Persons may address the Planning and Zoning Commission on any issue. This is the appropriate time for citizens to address the Commission on any concern whether on this agenda or not. Each member of the public who desires to address the P&Z Commission regarding an item on an agenda for an open meeting of the P&Z Commission shall have the right to address the Commission on the item before the Commission's consideration of the item. All speakers not requiring a translator are given 3 minutes to speak and may address the Commission only once on each agenda item. Non-English Speakers who require a translator are given 6 minutes to speak and may address the Commission only once on each agenda item. In accordance with the State of Texas Open Meeting Act, the board may not comment or deliberate such statements during this period, except as authorized by Section 551.042, Texas Government Code. To address the Commission for any public hearing item please sign a speaker's sheet located on the tables by the front entry and submit to a Staff member.

1		.20	DR4	14/04		:
1.	5	:30	PIVI	Work	(se	SSION

Specific Use Permit (SUP) Workshop

- 2. Roll Call
- 6:00 PM Regular Meeting
- 4. Consent Agenda
 - 1. Discuss and take action regarding the approval of the September 15, 2022 Regular Planning and Zoning Commission Meeting Minutes.
 - 2. **FINAL PLAT**/ Lakeside Shops and Business Park (FP-22-05640). Presentation, discussion, and consideration on a request for approval of a Final Plat for Lakeside Shops and Business Park, Lots 1 and 2, Block A, moving lot lines and establishing easements necessary fo development, on approximately 5.006 acres situated in the David M. Cule Survey, Abstract No. 226, within Little Elm's Town limits.
 - Presentation
 - Discussion
 - Recommendation
 - 3. **FINAL PLAT**/ Wisdom Montessori Addition (20-FP-006). Presentation, discussion, and consideration on a request for approval of a Final Plat for Wisdom Montessori Addition, platting Lot 2 and Lot 3 of Block A, replatting Lot 1R of Block A and establishing the necessary easements, on approximately 10.712 acres situated in the C. Borhmann Survey, Abstract No. 86, within Little Elm's Town limits.
 - Presentation
 - Discussion
 - Recommendation

- 4. **FINAL PLAT/** Linden Hills Phase 3 (FP-21-03423). Presentation, discussion, and consideration on a request for approval of a Final Plat consisting of 25 acres, situated in the S. Guarrara Survey, Abstract No. 456 and J. Gonzalez Survey, Abstract No. 447, within the Town of Little Elm's Extraterritorial Jurisdiction, in order to establish 104 residential lots, 3 open spaces, right-of-way, and easements necessary for development.
 - Presentation
 - Discussion
 - Recommendation
- 5. **FINAL PLAT**/ Shops at Little Elm (FP-22-05621) Presentation, discussion, and consideration on a request for approval of a Final Plat for Shops at Little Elm, Lot 1, Block A, consisting of 3.521 acres, situated in the Richard Hensworth Survey, Abstract No. 577, within Little Elm's Town limits in order to adhere to the Town's subdivision standards necessary for development, permitting, and building occupation.
 - Presentation
 - Discussion
 - Recommendation
- 6. **REPLAT**/ Northshore Communities (RP-22-06026) Presentation, discussion, and consideration on a request for approval of a Final Plat for Northshore Communities, establishing Lots 2R1 and 3R1, Block A, moving lot lines and abandoning one fire easement, on approximately 3.474 acres situated in the J. Gonzalez Survey, Abstract No. 447, within Town of Little Elm's Extraterritorial Jurisdiction.
 - Presentation
 - Discussion
 - Recommendation
- 7. **CONVEYANCE PLAT/** Union Place Ph 1 (CP-22-06235) Presentation, discussion, and consideration on a request for approval of a Conveyance Plat for Union Place Ph. 1, establishing the necessary easements and lot lines for conveyance, on approximately 1.103 acres situated in the Thomas Navo Survey, Abstract No. 964, within Little Elm's Town limits.
 - Presentation
 - Discussion
 - Recommendation
- 5. Regular Meeting
 - 1. **PUBLIC HEARING** / Habibi Hookah (SUP-22-04373). Public hearing, discussion, and take action on a recommendation regarding a request to rezone suite 2100 approximately 2,114 sq ft. in size, currently zoned as Light Commercial (LC), in order to establish a new Specific Use Permit, in order to allow for a new smoking establishment, with on premise sales and smoking of hookah products, as well as the sale of alcoholic beverages for on premise consumption only.
 - Staff Report/Applicant Presentation
 - Open Public Hearing
 - Receive Public Comment
 - Close Public Hearing
 - Discussion and Recommendation

2.	PUBLIC HEARING/ Lakeshore Plaza (PD-22-01947) Public hearing, discussion, and take action on a recommendation regarding a request to rezone approximately 4.159 acres of land, currently zoned as Lakefront District (LF), in order to establish a new Planned Development district based on Lakefront (LF) district, to allow a new commercial development with modified development standards and establish a new type of mixed use planned development. • Staff Report • Open Public Hearing • Receive Public Comment • Close Public Hearing • Discussion and Recommendation

- 6. Discussion of future agenda items, update on Council action, and requests for new business considerations
- 7. Adjourn

Certificate

I certify that the above notice of the Planning & Zoning Commission meeting was posted on the bulletin board of the Town of Little Elm, Texas on October 3, 2022, prior to 5:00 p.m. The Little Elm Town Hall is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive service must be made 48 hours prior to this meeting. Please contact the Town Secretary's office at 214-975-0404 or 972-377-5540 (fax) for arrangements.

Olga Chernomorets - Planning Manag	er



Project	Adoption of the September 15, 2022 Planning & Zoning Commission Meeting Minutes
P&Z Hearing	10/06/2022
Council Hearing	N/A
Size	N/A
Current Zoning	N/A
Proposed Use	N/A
Existing Use	N/A
Future Land Use Plan Designation	N/A
Applicant	N/A
Owner	N/A
Strategic Goal	

Agenda Item

Discuss and take action regarding the approval of the September 15, 2022 Regular Planning and Zoning Commission Meeting Minutes.

Location

N/A

Planning Analysis

N/A

Recommended Action

N/A

Attachments

DRAFT



Minutes

Town of Little Elm PLANNING & ZONING COMMISSION

Regular Meeting
Thursday, SEPTEMBER 15, 2022 - 7:00 pm

Present: Michael Bell, Chairperson; Jack Skinner, Commissioner; Stephen Horn, Commissioner; Chip

Norman, Alternate Commissioner

Absent: Ron Trees, Vice-Chair; Tom Ocelli, Commissioner; Brent Thibeaux, Commissioner; Robert

Martin, Commissioner; Debra Cadet, Alternate Commissioner

Staff Present: Olga Chernomorets, Planning Manager

Rachel Mendoza, Development Manager

Brian Salvesen, Planner

1. 5:30 PM Work Session

P&Z Training Video - Ethics in Planning

Specific Use Permit (SUP) Workshop

2. Roll Call

3. **6:00 PM Regular Meeting**

Chairperson Bell opened the meeting at 6:00pm.

1. Discuss and take action regarding the approval of the September 1, 2022 Regular Planning and Zoning Commission Meeting Minutes.

Motion: Approve the September 1, 2022 Regular Planning and Zoning Commission Meeting minutes as presented.

Motion by Commissioner Jack Skinner, seconded by Alternate Commissioner Chip Norman

AYE: Chairperson Michael Bell, Commissioner Jack Skinner, Commissioner Stephen Horn, Alternate Commissioner Chip Norman

4 - 0 Passed - Unanimously

- 2. **FINAL PLAT**/ Lakeside Shops and Business Park (FP-22-05640) Presentation, discussion, and consideration on a request for approval of a Final Plat for Lakeside Shops and Business Park Lots 1 and 2, Block A, moving lot lines and establishing the necessary easements, on approximately 5.006 acres situated in the David M. Cule Survey, Abstract No. 226, within Little Elm's Town limits.
 - Staff Report
 - Applicant Presentation
 - Discussion and Recommendation

Staff presented the request for an extension to the October 6, 2022 Planning and Zoning Commission meeting.

Motion: Approve the applicant's request for an extension to the October 6, 2022 Planning and Zoning Commission meeting.

Motion by Alternate Commissioner Chip Norman, seconded by Commissioner Jack Skinner

AYE: Chairperson Michael Bell, Commissioner Jack Skinner, Commissioner Stephen Horn, Alternate Commissioner Chip Norman

- 4 0 Passed Unanimously
- 4. Discussion of future agenda items, update on Council action, and requests for new business considerations

Alternate Commissioner Norman requested staff explore the possibility of only conducting 1 meeting a month when submittals are low.

5. Adjourn

Chairperson Bell adjourned the meeting at 6:05pm.



Project	FINAL PLAT/ Lakeside Shops and Business Park (FP-22-05640)
P&Z Hearing	10/06/2022
Council Hearing	N/A
Size	Approximately 5.006 Acres
Current Zoning	Planned Development (Light Commercial)
Proposed Use	Retail/Commercial
Existing Use	Vacant
Future Land Use Plan Designation	Neighborhood Retail/Commercial
Applicant	Dan Kelleher
Owner	Hackberry Business Park LLC
Strategic Goal	

Agenda Item

FINAL PLAT/ Lakeside Shops and Business Park (FP-22-05640). Presentation, discussion, and consideration on a request for approval of a Final Plat for Lakeside Shops and Business Park, Lots 1 and 2, Block A, moving lot lines and establishing easements necessary fo development, on approximately 5.006 acres situated in the David M. Cule Survey, Abstract No. 226, within Little Elm's Town limits.

- Presentation
- Discussion
- Recommendation

Location

Generally located 300 feet east of the Old Highway 24 and Oak Grove Parkway intersection.

Planning Analysis

This is a Final Plat for Lakeside Shops and Business Park, a Light Commercial Planned Development district through Ordinance 1477. The Final Plat identifies the site layout of the development as captured in the development agreement, along with dedicating the proper easements and setbacks necessary for development.

The purpose of a final plat is to ensure that the proposed subdivision and development of the land is consistent with all standards of this subdivision ordinance pertaining to the adequacy of public facilities, that public improvements to serve the subdivision or development have been installed and accepted by the

town or that provision for such installation has been made, that all other requirements and conditions have been satisfied or provided to allow the final plat to be recorded.

ENGINEERING

Staff has reviewed the submitted plat document and made the determination that the submittal does not fully meet the requirements of Section 107 - Subdivision Ordinance but can be conditionally approved with corrections being made before being signed by Town Officials.

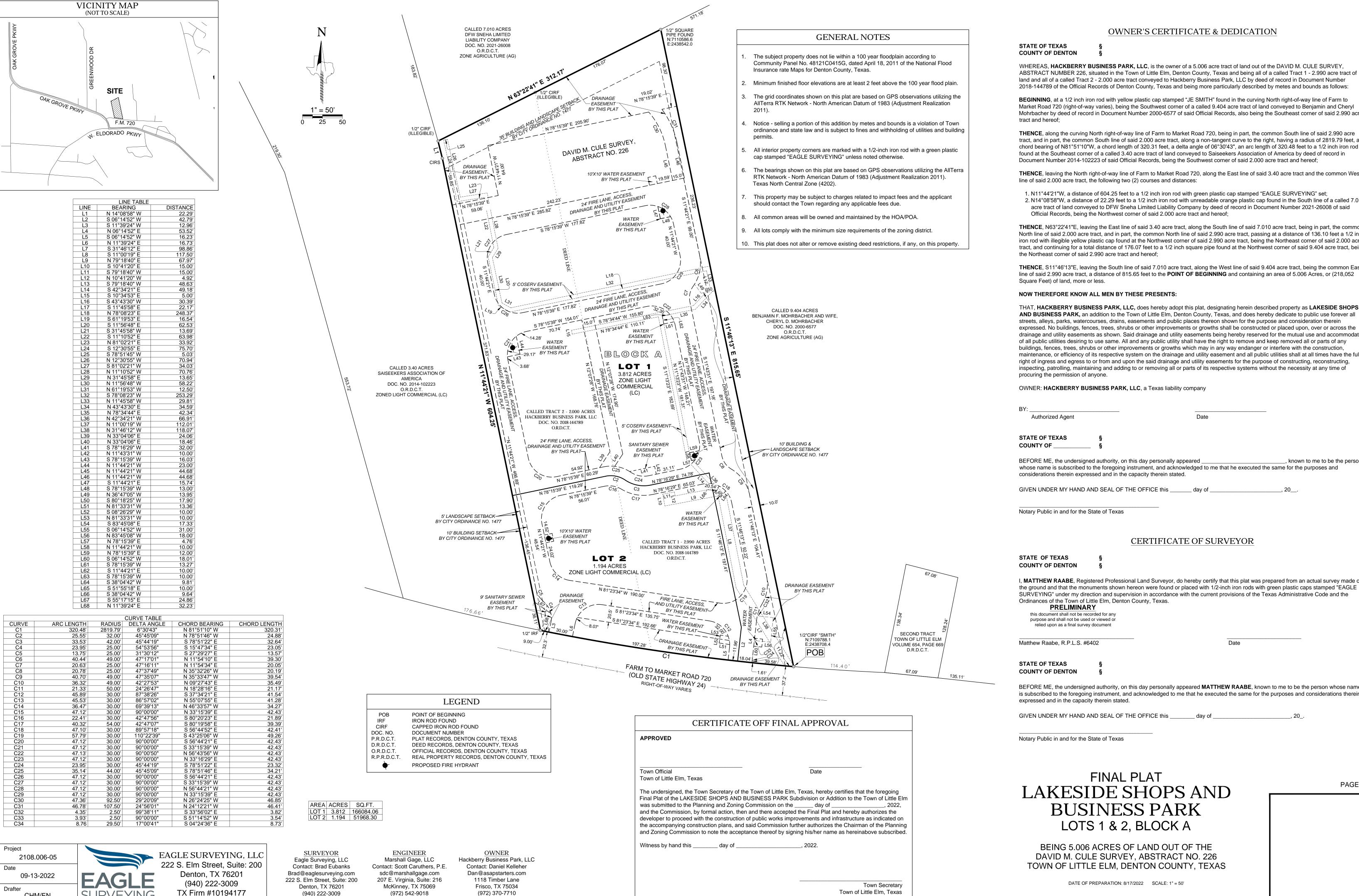
Recommended Action

Staff Recommends Approval of the request subject to the following conditions:

- 1. Prior to recording the plat, properly label "24' Fire Lane, Access, Drainage, and Utility Easement" along the front of the property
- 2. Prior to recording the plat, add square footage in each lot description
- 3. Prior to recording the plat, replace "Chairman of the Planning and Zoning Commission" with "Town Official" within the Town's signature block paragraph

Attachments

FP-22-05640 Lakeside Shops and Business Park FP



OWNER'S CERTIFICATE & DEDICATION

WHEREAS, HACKBERRY BUSINESS PARK, LLC, is the owner of a 5.006 acre tract of land out of the DAVID M. CULE SURVEY, ABSTRACT NUMBER 226, situated in the Town of Little Elm, Denton County, Texas and being all of a called Tract 1 - 2.990 acre tract of land and all of a called Tract 2 - 2.000 acre tract conveyed to Hackberry Business Park, LLC by deed of record in Document Number

BEGINNING, at a 1/2 inch iron rod with yellow plastic cap stamped "JE SMITH" found in the curving North right-of-way line of Farm to Market Road 720 (right-of-way varies), being the Southwest corner of a called 9.404 acre tract of land conveyed to Benjamin and Cheryl Mohrbacher by deed of record in Document Number 2000-6577 of said Official Records, also being the Southeast corner of said 2.990 acre

THENCE, along the curving North right-of-way line of Farm to Market Road 720, being in part, the common South line of said 2.990 acre tract, and in part, the common South line of said 2.000 acre tract, along a non-tangent curve to the right, having a radius of 2819.79 feet, a chord bearing of N81°51'10"W, a chord length of 320.31 feet, a delta angle of 06°30'43", an arc length of 320.48 feet to a 1/2 inch iron rod found at the Southeast corner of a called 3.40 acre tract of land conveyed to Saiseekers Association of America by deed of record in Document Number 2014-102223 of said Official Records, being the Southwest corner of said 2.000 acre tract and hereof;

THENCE, leaving the North right-of-way line of Farm to Market Road 720, along the East line of said 3.40 acre tract and the common West

1. N11°44'21"W, a distance of 604.25 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set; 2. N14°08'58"W, a distance of 22.29 feet to a 1/2 inch iron rod with unreadable orange plastic cap found in the South line of a called 7.010 acre tract of land conveyed to DFW Sneha Limited Liability Company by deed of record in Document Number 2021-26008 of said

THENCE, N63°22'41"E, leaving the East line of said 3.40 acre tract, along the South line of said 7.010 acre tract, being in part, the common North line of said 2.000 acre tract, and in part, the common North line of said 2.990 acre tract, passing at a distance of 136.10 feet a 1/2 inch iron rod with illegible yellow plastic cap found at the Northwest corner of said 2.990 acre tract, being the Northeast corner of said 2.000 acre tract, and continuing for a total distance of 176.07 feet to a 1/2 inch square pipe found at the Northwest corner of said 9.404 acre tract, being

THENCE, S11°46'13"E, leaving the South line of said 7.010 acre tract, along the West line of said 9.404 acre tract, being the common East line of said 2.990 acre tract, a distance of 815.65 feet to the **POINT OF BEGINNING** and containing an area of 5.006 Acres, or (218,052

AND BUSINESS PARK, an addition to the Town of Little Elm, Denton County, Texas, and does hereby dedicate to public use forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose and consideration therein expressed. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the drainage and utility easements as shown. Said drainage and utility easements being hereby reserved for the mutual use and accommodation of all public utilities desiring to use same. All and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the drainage and utility easement and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said drainage and utility easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of

Authorized Agent	Date	
STATE OF TEXAS § COUNTY OF §		
BEFORE ME, the undersigned auth whose name is subscribed to the fo considerations therein expressed a	regoing instrument, and acknowledged to	, known to me to be the person me that he executed the same for the purposes and
GIVEN UNDER MY HAND AND SE	EAL OF THE OFFICE this day of	, 20
Notary Public in and for the State of	f Texas	

I, MATTHEW RAABE, Registered Professional Land Surveyor, do hereby certify that this plat was prepared from an actual survey made on the ground and that the monuments shown hereon were found or placed with 1/2-inch iron rods with green plastic caps stamped "EAGLE SURVEYING" under my direction and supervision in accordance with the current provisions of the Texas Administrative Code and the

BEFORE ME, the undersigned authority, on this day personally appeared MATTHEW RAABE, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein

PAGE 1 OF 1

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this _____ day of ______, 20_.

RECORDED IN CABINET _____

CHM/EN

(940) 222-3009

(972) 370-7710

(972) 542-9018



Project	FINAL PLAT/ Wisdom Montessori Addition (20-FP-006)
P&Z Hearing	10/06/2022
Council Hearing	N/A
Size	Approximately 10.712 Acres
Current Zoning	Planned Development (Light Commercial Base)
Proposed Use	Commercial
Existing Use	Commercial
Future Land Use Plan Designation	Commercial
Applicant	Juan Vasquez
Owner	Srinivas Chaluvadi
Strategic Goal	

Agenda Item

FINAL PLAT/ Wisdom Montessori Addition (20-FP-006). Presentation, discussion, and consideration on a request for approval of a Final Plat for Wisdom Montessori Addition, platting Lot 2 and Lot 3 of Block A, replatting Lot 1R of Block A and establishing the necessary easements, on approximately 10.712 acres situated in the C. Borhmann Survey, Abstract No. 86, within Little Elm's Town limits.

- Presentation
- Discussion
- Recommendation

Location

Located on the northeast corner of FM 423 and Smotherman Road, within Little Elm's town limits.

Planning Analysis

This is a Final Plat for Lotus Commercial Ventures (Lot 2) zoned Light Commercial Planned Development Ordinance 1539, The Church of Latter-day Saints (Lot 3) zoned Light Commercial, and Replating Wisdom Montessori Addition (Lot 1R) zoned Light Commercial with a Specific Use Permit (SUP) for a daycare facility, through Ordinance 1172. The Final Plat revises Lot 1, Block A along with dedicating the proper easements and setbacks on all lots that are currently necessary for development. The purpose of a final plat is to ensure that the proposed subdivision and development of the land is consistent with all standards of this subdivision ordinance pertaining to the adequacy of public facilities, that public improvements to serve the subdivision or development have been installed and accepted by the town or that provision for such installation has been

made, that all other requirements and conditions have been satisfied or provided to allow the final plat to be recorded.

ENGINEERING Staff has reviewed the submitted plat document and made the determination that the submittal does not fully meet the requirements of Section 107 - Subdivision Ordinance but can be conditionally approved with corrections being made before being signed by Town Officials.

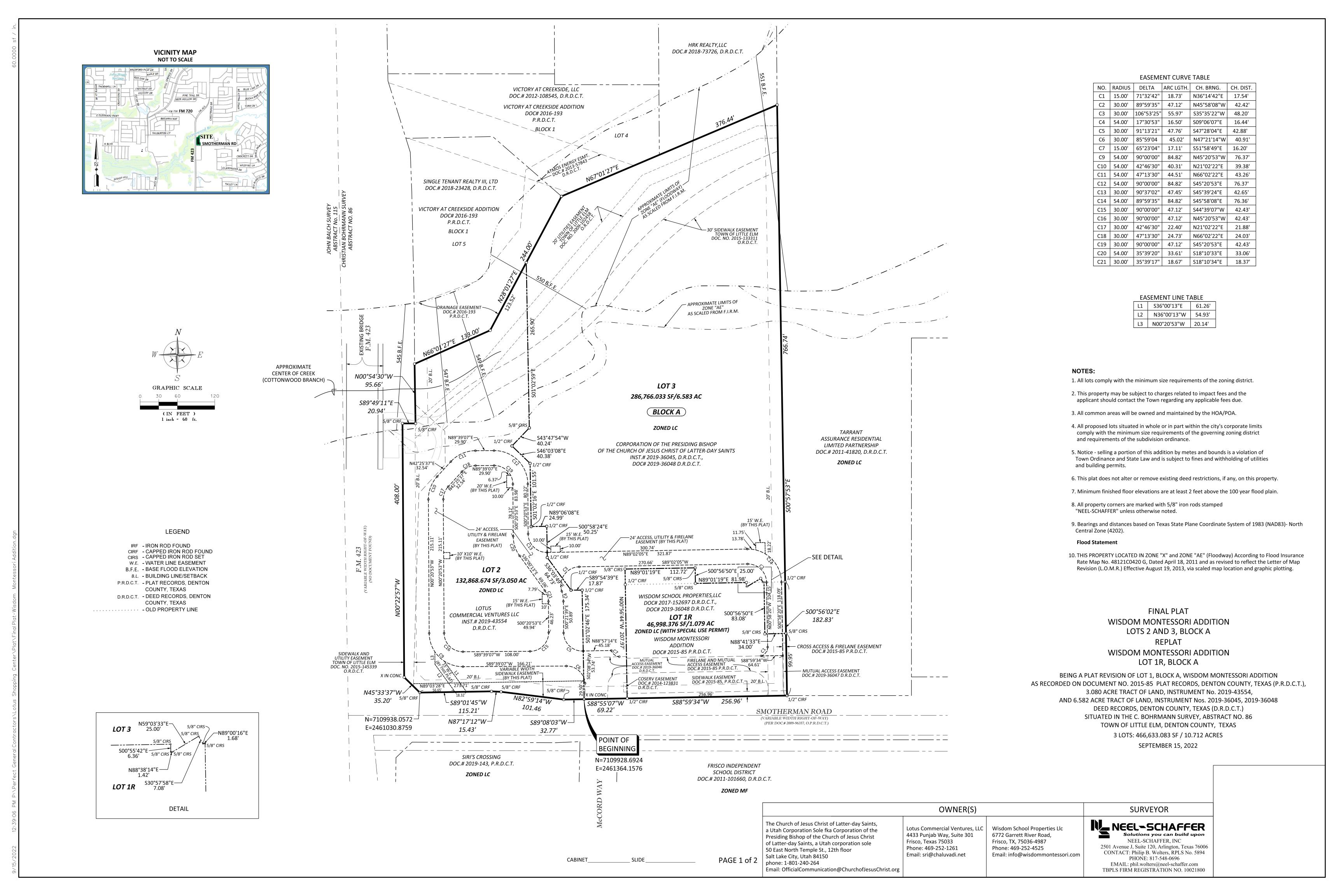
Recommended Action

Staff Recommends Approval of the request subject to the following conditions:

- 1. Prior to recording the plat, box for County recording seal is to be 3" by 3" minimum
- 2. Prior to recording the plat, fill in appropriate blanks and change "Chairman, Planning and Zoning Commission," in both signature line and paragraph, to "Town Official" within the Town's Signature block

Attachments

20-FP-006 Wisdom Montessori Addition FP



BEGINNING at an "X" set on concrete in the north line of Smotherman Road, for the southeast corner of said Lotus Commercial Ventures LLC tract, same being the southwest corner of said Corporation of the Presiding Bishop of the Church of Jesus Christ of Latter-day Saints tract;

2019-36048 D.R.D.C.T., and being more particularly described by metes and bounds as follows:

THENCE South 89 Degrees 08 Minutes 03 Seconds West, with the north line of said Smotherman Road, a distance of 32.77 feet to a found 5/8 inch iron rod capped "HKS" for corner;

THENCE North 82 Degrees 59 Minutes 14 Seconds West, continuing with said north line, a distance of 101.46 feet to a found 5/8 inch iron rod capped "HKS" for corner;

THENCE North 87 Degrees 17 Minutes 12 Seconds West, continuing with said north line, a distance of 15.43 feet to a found 5/8 inch iron rod capped "HKS" for corner:

THENCE South 89 Degrees 01 Minutes 45 Seconds West, continuing with said north line, a distance of 115.21 feet to a found 5/8 inch iron rod capped "HKS" for the southeast corner of a corner clip at the intersection of said north line of Smotherman Road and with the east line of F.M. 423 (variable width right-of-way);

THENCE North 45 Degrees 33 Minutes 37 Seconds West, with the northeast line of said corner clip, a distance of 35.20 feet to an "X" found in concrete for corner, said point being the westernmost southwest corner of the herein described tract and in the east line of said F.M. 423;

THENCE North 00 Degrees 22 Minutes 57 Seconds West, with said east line, a distance of 408.00 feet to a found 5/8 inch iron rod capped "HKS" for corner;

THENCE South 89 Degrees 49 Minutes 11 Seconds East, continuing with said east line of said, a distance of

20.94 feet to a found 5/8 inch iron rod capped "HKS" for corner;

THENCE North 00 Degrees 54 Minutes 30 Seconds West, continuing with said east line, a distance of 95.66 feet to a point for corner in a creek, said point being the southwest corner of Lot 5, Block 1 of Victory at Creekside Addition, recorded in Document No. 2016-193, P.R.D.C.T., same being the northernmost Northwest corner of the herein described tract;

THENCE North 66 Degrees 01 Minutes 27 Seconds East, departing said east line, and with the westernmost southeast line of said Lot 5, a distance of 133.00 feet to a point for corner in a creek, same being an angle point corner of said Lot 5;

THENCE North 28 Degrees 01 Minutes 27 Seconds East, with the easternmost southeast line of said Lot 5, a distance of 123.52 feet passing the northeast corner of said Lotus Commercial Ventures, LLC tract, same being a northwest corner of said Corporation of the Presiding Bishop of the Church of Jesus Christ of Latter-day Saints tract, and continuing for a total distance of 244.00 feet to a point for corner in a creek, said point being the southernmost southeast corner of Lot 4, Block 1, of said Victory at Creekside Addition;

THENCE North 67 Degrees 01 Minutes 27 Seconds East, with the easternmost southeast line of said Lot 4, a distance of 170.79 feet passing a point in a creek for the easternmost southeast corner, said Lot 4, same being the southwest corner of a tract of land conveyed by deed to HRK Realty, LLC recorded in Document No. 2018-73726 D.R.D.C.T., continuing for a total distance of 376.44 feet to a point in a creek in the west line of a tract of land conveyed by deed to Tarrant Assurance Residential Limited Partnership, recorded in Document No. 2011-41820 D.R.D.C.T. for the southeast corner of said HRK Realty, LLC tract;

THENCE South 00 Degrees 57 Minutes 53 Seconds East, with the east line of said Tarrant Assurance Residential Limited Partnership tract, a distance of 766.74 feet to a found 1/2 inch capped iron rod for

THENCE South 00 Degrees 56 Minutes 02 Seconds East, continuing with the east line of said Tarrant Assurance Residential Limited Partnership tract, a distance of 182.83 feet to a found 1/2 inch capped iron rod in the north line of said Smotherman Road for the southeast corner of said Lot 1, Block A, Wisdom Montessori Addition for corner;

THENCE South 88 Degrees 59 Minutes 34 Seconds West, with said north line, a distance of 256.96 feet to a found 1/2 inch capped iron rod for the southwest corner of said Lot 1, same being the southernmost southeast corner of said Corporation of the Presiding Bishop of the Church of Jesus Christ of Latter-day Saints tract for corner;

THENCE South 88 Degrees 55 Minutes 07 Seconds West, continuing with said north line, a distance of 69.22 feet to the POINT OF BEGINNING and containing 466,633.083 square feet or 10.712 acres of land, more or less.

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS

That We, Wisdom School Properties, LLC, do hereby adopt this plat designating the herein before described property as Replat Lot 1R, Block A, Wisdom Montessori Addition, and Final Plat Lots 2 & 3, Block A, Wisdom Montessori Addition, an addition to the Town of Little Elm, Denton County, Texas, and do hereby dedicate to the public use forever, all streets, alleys and public areas shown hereon, the easements, as shown, for mutual accommodation of the Town of Little Elm and all public utilities desiring to use or using same. All and any public utility and the Town of Little Elm shall have the right to remove and keep removed all or part of any buildings, fences, shrubs, trees, or other improvements or growths, in which any way endanger or interfere with the construction, maintenance or efficiency of it's respective systems on said easements, and the Town of Little Elm and all public utilities constructing, reconstructing, inspecting and patrolling, maintaining and adding to or removing all parts of it's respective systems, without the necessity at any time, of procuring the permission of anyone. This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the Town of Little Elm, Texas.

WITNESS, my hand, this	day of	,2022
. ,	,	

By: Wisdom School Properties, LLC

Manager: Manish Arora

STATE OF TEXAS COUNTY OF DENTON

Before me, the undersigned authority, a notary to the public of the State of Texas, on this day personally appeared, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____DAY OF

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS

That We, The Church of Jesus Christ of Latter-day Saints, a Utah Corporation Sole fka Corporation of the Presiding Bishop of the Church of Jesus Christ of Latter-day Saints, a Utah corporation sole, do hereby adopt this plat designating the herein before described property as Replat Lot 1R, Block A, Wisdom Montessori Addition, and Final Plat Lots 2 & 3, Block A, Wisdom Montessori Addition, an addition to the Town of Little Elm, Denton County, Texas, and do hereby dedicate to the public use forever, all streets, alleys and public areas shown hereon, the easements, as shown, for mutual accommodation of the Town of Little Elm and all public utilities desiring to use or using same. All and any public utility and the Town of Little Elm shall have the right to remove and keep removed all or part of any buildings, fences, shrubs, trees, or other improvements or growths, in which any way endanger or interfere with the construction, maintenance or efficiency of it's respective systems on said easements, and the Town of Little Elm and all public utilities constructing, reconstructing, inspecting and patrolling, maintaining and adding to or removing all parts of it's respective systems, without the necessity at any time, of procuring the permission of anyone. This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the Town of Little Elm, Texas.

WITNESS, my hand, this_____day of ___

By: The Church of Jesus Christ of Latter-day Saints, a Utah Corporation Sole fka Corporation of the Presiding Bishop of the Church of Jesus Christ of Latter-day Saints, a Utah corporation sole

Owner: The Church of Jesus Christ of Latter-day Saints, a Utah Corporation Sole fka Corporation of the Presiding Bishop of the Church of Jesus Christ of Latter-day Saints, a Utah corporation sole

STATE OF UTAH COUNTY OF

Before me, the undersigned authority, a notary to the public of the State of Utah, on this day personally appeared, , known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE ______ DAY OF ____

NOTARY PUBLIC IN AND FOR THE STATE OF UTAH

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS

That We, Lotus Commercial Ventures, LLC, do hereby adopt this plat designating the herein before described property as Replat Lot 1R, Block A, Wisdom Montessori Addition, and Final Plat Lots 2 & 3, Block A, Wisdom Montessori Addition, an addition to the Town of Little Elm, Denton County, Texas, and do hereby dedicate to the public use forever, all streets, alleys and public areas shown hereon, the easements, as shown, for mutual accommodation of the Town of Little Elm and all public utilities desiring to use or using same. All and any public utility and the Town of Little Elm shall have the right to remove and keep removed all or part of any buildings, fences, shrubs, trees, or other improvements or growths, in which any way endanger or interfere with the construction, maintenance or efficiency of it's respective systems on said easements, and the Town of Little Elm and all public utilities constructing, reconstructing, inspecting and patrolling, maintaining and adding to or removing all parts of it's respective systems, without the necessity at any time, of procuring the permission of anyone. This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the Town of Little Elm, Texas.

WITNESS, my hand, this_____day of _____

By: Lotus Commercial Ventures, LLC

Manager: Srinivas Chaluvadi

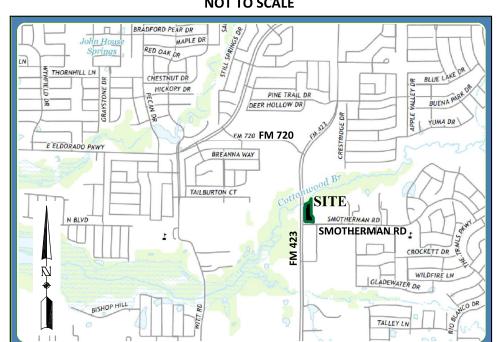
STATE OF TEXAS COUNTY OF DENTON

Before me, the undersigned authority, a notary to the public of the State of Texas, on this day personally appeared, , known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF ___

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

CABINET SLIDE **VICINITY MAP NOT TO SCALE**



SURVEYOR'S CERTIFICATION

KNOWN ALL MEN BY THESE PRSENTS:

I, Philip B. Wolters, of Neel-Schaffer Inc., a Registered Professional Land Surveyor of the State of Texas, do hereby certify that the plat shown hereon accurately represents the property determined by an actual on the ground survey, and that the corner monuments shown thereon were found or properly placed under my personal supervision in accordance

PRELIMINARY - FOR REVIEW

Philip B. Wolters, RPLS No. 5894

STATE OF TEXAS **COUNTY OF DENTON** Before me, the undersigned authority, a notary to the public of the State of Texas, on this day personally , known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed. GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

CERTIFICATE OF FINAL PLAT APPROVAL

Approved

Town Official Town of Little Elm, Texas

The undersigned, the Town Secretary of the Town of Little Elm, Texas, hereby certifies that the foregoing Final Plat of the Wisdom Montessori Addition, Lots 2 and 3, Block A, Replat of the Wisdom Montessori Addition, Lot 1R, Block A to the Town of Little Elm was submitted to the Planning and Zoning Commission on the _____ day of__ and the Commission, by formal action, then and there accepted the Final Plat and public works improvements and infrastructure, and said Commission further authorizes the Chairman of the Planning and Zoning Commission to note the acceptance thereof by signing his/her name as hereinabove subscribed.

Witness by hand this ______ day of ______, 2022.

Town Secretary Town of Little Elm, Texas

FINAL PLAT WISDOM MONTESSORI ADDITION LOTS 2 AND 3, BLOCK A REPLAT WISDOM MONTESSORI ADDITION LOT 1R, BLOCK A

BEING A PLAT REVISION OF LOT 1, BLOCK A, WISDOM MONTESSORI ADDITION AS RECORDED ON DOCUMENT NO. 2015-85 PLAT RECORDS, DENTON COUNTY, TEXAS (P.R.D.C.T.), 3.080 ACRE TRACT OF LAND, INSTRUMENT No. 2019-43554, AND 6.582 ACRE TRACT OF LAND, INSTRUMENT Nos. 2019-36045, 2019-36048 DEED RECORDS, DENTON COUNTY, TEXAS (D.R.D.C.T.) SITUATED IN THE C. BOHRMANN SURVEY, ABSTRACT NO. 86 TOWN OF LITTLE ELM, DENTON COUNTY, TEXAS

3 LOTS: 466,633.083 SF / 10.712 ACRES **SEPTEMBER 15, 2022**

TBPLS FIRM REGISTRATION NO. 10021800

OWNER(S) SURVEYOR The Church of Jesus Christ of Latter-day Saints, NEEL-SCHAFFER Lotus Commercial Ventures, LLC Wisdom School Properties Llc a Utah Corporation Sole fka Corporation of the 4433 Punjab Way, Suite 301 Solutions you can build upon 6772 Garrett River Road, Presiding Bishop of the Church of Jesus Christ NEEL-SCHAFFER, INC Frisco, Texas 75033 Frisco, TX, 75036-4987 of Latter-day Saints, a Utah corporation sole 2501 Avenue J, Suite 120, Arlington, Texas 76006 Phone: 469-252-1261 Phone: 469-252-4525 50 East North Temple St., 12th floor CONTACT: Philip B. Wolters, RPLS No. 5894 Email: sri@chaluvadi.net Email: info@wisdommontessori.com Salt Lake City, Utah 84150 PHONE: 817-548-0696 phone: 1-801-240-264 EMAIL: phil.wolters@neel-schaffer.com

PAGE 2 of 2

Email: OfficialCommunication@ChurchofJesusChrist.org



Project	FINAL PLAT/ Linden Hills Phase 3 (FP-21-03423)
P&Z Hearing	10/06/2022
Council Hearing	N/A
Size	25.00 acres
Current Zoning	N/A
Proposed Use	Low Density Residential
Existing Use	Undeveloped Land
Future Land Use Plan Designation	N/A
Applicant	Kimley-Horn and Associates
Owner	Lennar Homes of Texas
Strategic Goal	

Agenda Item

FINAL PLAT/ Linden Hills Phase 3 (FP-21-03423). Presentation, discussion, and consideration on a request for approval of a Final Plat consisting of 25 acres, situated in the S. Guarrara Survey, Abstract No. 456 and J. Gonzalez Survey, Abstract No. 447, within the Town of Little Elm's Extraterritorial Jurisdiction, in order to establish 104 residential lots, 3 open spaces, right-of-way, and easements necessary for development.

- Presentation
- Discussion
- Recommendation

Location

Generally located east of Rivers Creek Lane and west of Ipkiss Avenue.

Planning Analysis

The purpose of a final plat is to ensure that the proposed subdivision and development of the land is consistent with all standards of the Town's Subdivision Ordinance pertaining to the adequacy of public facilities, that public improvements to serve the subdivision or development have been installed and accepted by the Town or that provision for such installation has been made, that all other requirements and conditions have been satisfied or provided to allow the final plat to be recorded.

At this time, the applicant is requesting to withdraw the plat request in order to reconfigure this phase of the development to accommodate a public school, and establish a Development Agreement.

Recommended Action

Staff recommends approval of the request to withdraw the plat document. Applicant will reapply and begin the platting process at the time that a Development Agreement has been executed.



Project	FINAL PLAT/ Shops at Little Elm (FP-22-05621)
P&Z Hearing	10/06/2022
Council Hearing	N/A
Size	Approximately 3.521 acres
Current Zoning	Lakefront District (LF)
Proposed Use	Retail/Commercial
Existing Use	Commercial
Future Land Use Plan Designation	Retail/Commercial
Applicant	Jim Nichols
Owner	Efrat Weisfield
Strategic Goal	

Agenda Item

FINAL PLAT/ Shops at Little Elm (FP-22-05621) Presentation, discussion, and consideration on a request for approval of a Final Plat for Shops at Little Elm, Lot 1, Block A, consisting of 3.521 acres, situated in the Richard Hensworth Survey, Abstract No. 577, within Little Elm's Town limits in order to adhere to the Town's subdivision standards necessary for development, permitting, and building occupation.

- Presentation
- Discussion
- Recommendation

Location

Located west of the South Park Drive and Eldorado Parkway intersection, within Little Elm's Town limits.

Planning Analysis

This is a Final Plat for the Shops at Little Elm, Lot 1, Block A, an existing commercial/retail development currently zoned as Lakefront District. The Final Plat is intended to set the proper lot boundaries, building lines, and the proper easements necessary for development.

The purpose of a final plat is to ensure that the proposed subdivision and development of the land is consistent with all standards of this subdivision ordinance pertaining to the adequacy of public facilities, that public improvements to serve the subdivision or development have been installed and accepted by the town or that provision for such installation has been made, that all other requirements and conditions have

been satisfied or provided to allow the final plat to be recorded.

ENGINEERING

Staff has reviewed the submitted plat document and made the determination that the submittal does not fully meet the requirements of Section 107 - Subdivision Ordinance. However, there is only one outstanding item, therefore Staff believes it is appripriate to conditionally approve the plat request at this time.

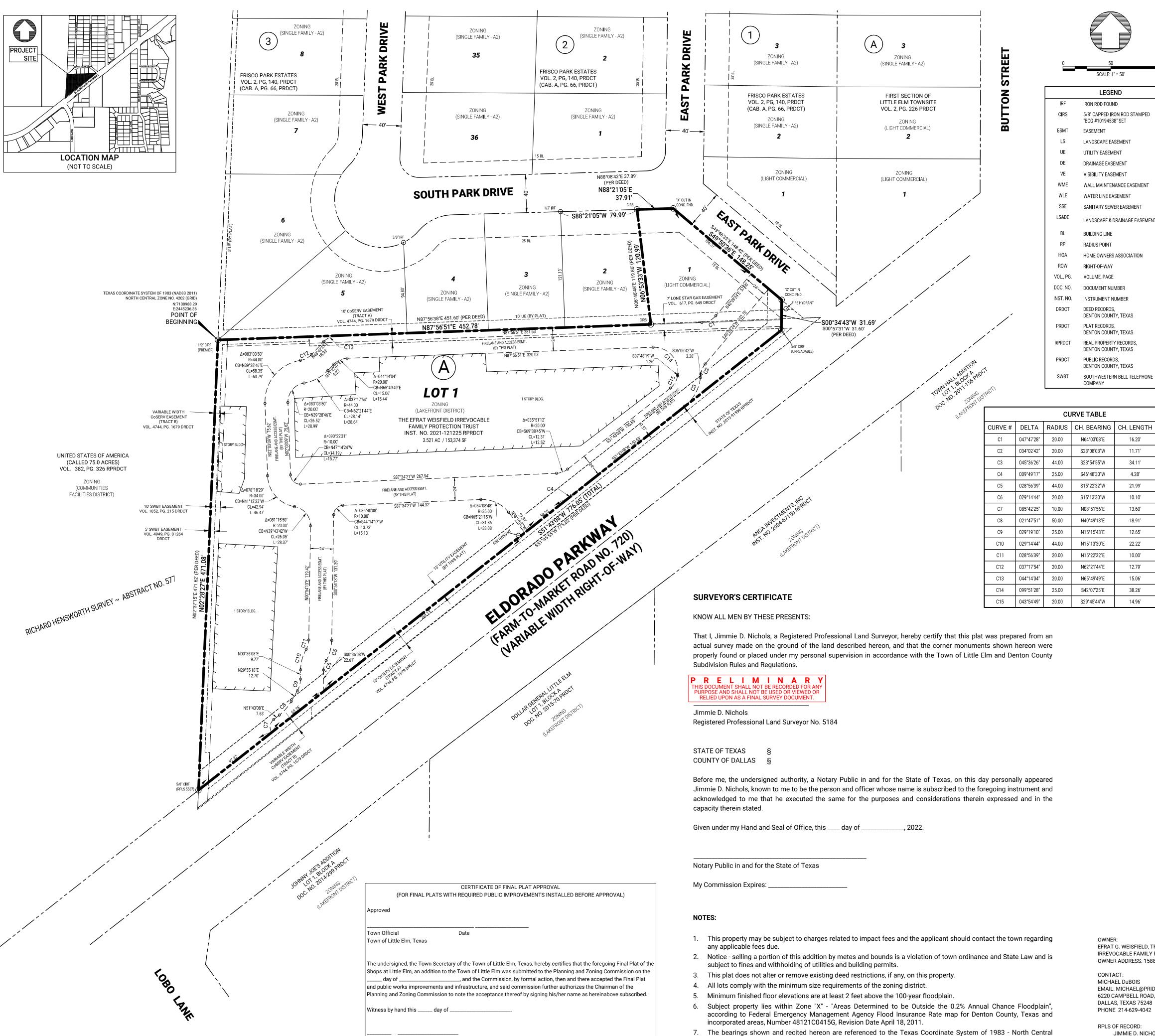
Recommended Action

Staff recommends approval of the item with the following conditions:

1. Change "Chairman of the Planning and Zoning Commission" to "Town Official" in the signature block paragraph.

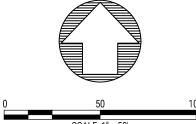
Attachments

(FP-22-05621) Shops at Little Elm



Town Secretary

Town of Little Elm, Texas



	LEGEND
IRF	IRON ROD FOUND
CIRS	5/8" CAPPED IRON ROD STAMPED "BCG #10194538" SET
ESMT	EASEMENT
LS	LANDSCAPE EASEMENT
UE	UTILITY EASEMENT
DE	DRAINAGE EASEMENT
VE	VISIBILITY EASEMENT
WME	WALL MAINTENANCE EASEMENT
WLE	WATER LINE EASEMENT
SSE	SANITARY SEWER EASEMENT
LS&DE	LANDSCAPE & DRAINAGE EASEMEN
BL	BUILDING LINE
RP	RADIUS POINT
HOA	HOME OWNERS ASSOCIATION
ROW	RIGHT-OF-WAY
VOL., PG.	VOLUME, PAGE
DOC. NO.	DOCUMENT NUMBER
INST. NO.	INSTRUMENT NUMBER
DRDCT	DEED RECORDS, DENTON COUNTY, TEXAS
PRDCT	PLAT RECORDS, DENTON COUNTY, TEXAS
RPRDCT	REAL PROPERTY RECORDS, DENTON COUNTY, TEXAS
PRDCT	PUBLIC RECORDS, DENTON COUNTY, TEXAS

CURVE # | DELTA | RADIUS | CH. BEARING | CH. LENGTH | LENGTH 16.20 16.68 11.71 11.88 35.02 34.11' 4.28' 21.99' 10.10' 10.21 13.60' 14.96 18.91' 19.02 12.65 12.79 22.22' 22.46 13.02 15.06 15.44 38.26' 43.57 14.96 15.33

OWNER'S CERTIFICATION

STATE OF TEXAS

COUNTY OF DENTON S

WHEREAS Efrat G. Weisfield of the Efrat Weisfield Irrevocable Family Protection Trust, is the owner of that certain tract of land situated in the Richard Hensworth Survey, Abstract No. 577, Town of Little Elm, Denton County, Texas, and being all of that certain called 3.523 tract of land described in deed to Efrat G. Weisfield of the Efrat Weisfield Irrevocable Family Protection Trust recorded in Instrument No. 2021-121225 of the Real Property Records of Denton County, Texas (RPRDCT), which includes all of Lot 1, Block 3 of Frisco Park Estates, an addition to Denton County, Texas, recorded in Volume 2, Page 140 of the Plat Records, Denton County, Texas (PRDCT), and Cabinet A, Page 66, PRDCT, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2-inch capped iron rod stamped "PREMIER" found at the northwest corner of said Weisfield tract, and being the southwest corner of said Block 3 of Frisco Park Estates;

THENCE North 87°56'51" East, with the north line of said Weisfield tract, and the south line of said Block 3 of Frisco Park Estates, a distance of 452.78 feet to a 5/8-inch iron rod with cap stamped "BCG 10194538" set for corner at the southwest corner of said Lot 1, Block 3, and the southeast corner of Lot 2, Block 3 of Frisco Park Estates;

THENCE North 06°53'33" West, with the west line of said Lot 1, and the east line of said Lot 2, a distance of 120.99 feet to a 5/8-inch iron rod with cap stamped "BCG 10194538" set for corner located in the south right-of-way line of South Park Drive (called 40' right-of-way), from which a 1/2-inch iron rod found at the northwest corner of Lot 2, and the northeast corner of Lot 4, Block 3, Frisco Park Estates bears South 88°21'05" West, a distance of 79.99 feet;

THENCE with said south right-of-way line of South Park Drive, the following courses:

North 88°21'05" East, a distance of 37.91 feet to an "X" cut in concrete found for corner;

And South 49°50'36" East, a distance of 148.25 feet to an "X" cut in concrete found for corner in the northwest right-of-way line of Eldorado Parkway (Farm-to-Market Road No. 720 - variable width right-of-way), said northwest right-of-way line according to deed to the State of Texas recorded in Instrument No. 2013-91599, RPRDCT;

THENCE with the northwest right-of-way line of said El Dorado Parkway, the following courses:

South 00°34'43" West, a distance of 31.69 feet to a 5/8-inch capped iron rod found (unreadable);

And South 51°43'08" West, a distance of 776.05 feet to a 5/8-inch capped iron rod stamped "RPLS 5587" found at the southwest corner of said Weisfield tract;

THENCE North 02°28'27" East, with the west line of said Weisfield tract, a distance of 471.08 feet to the POINT OF **BEGINNING**, containing an area of 3.521 acres of land.

DEDICATION STATEMENT

NOW THEREFORE. KNOW ALL MEN BY THESE PRESENTS

That, EFRAT G. WEISFIELD, TRUSTEE OF THE EFRAT WEISFIELD IRREVOCABLE FAMILY PROTECTION TRUST acting herein by and through its duly authorized officer, does hereby adopt this plat designating the herein above described property as SHOPS AT LITTLE ELM, an addition to the Town of Little Elm, Texas, and does hereby dedicate to the public use forever by fee simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, parks, and trails, and to the public use forever easements for sidewalks, storm drain facilities, floodways, water mains, wastewater mains and other utilities, and any other property necessary to serve the plat and to implement the requirements of the platting ordinances, rules, and regulations thereon shown for the purpose and consideration therein expressed.

BY:	
STATE OF TEXAS §	
COUNTY OF §	
Before me, the undersigne	authority, a Notary Public in and for the State of Texas, on this day personally appeared, known to me to be the person and officer whose name is subscribed to the foregoing
instrument and acknowledge and in the capacity therein:	ed to me that he executed the same for the purposes and considerations therein expressed

en under my Hand and Seal of Office, this ₋	day of	, 2

otarv	Public	in and	I for the	State of	Texas

My Commission Expires: _	

THE INTENT OF THIS DOCUMENT IS TO FILE A PLAT OF UN-PLATTED TRACTS FOR THE PUPOSE OF ADHERING TO THE TOWN OF LITTLE ELM PLATTING STANDARDS.

FINAL PLAT SHOPS AT LITTLE ELM

3.521 ACRES LOT 1, BLOCK A

SITUATED IN THE RICHARD HENSWORTH SURVEY, ABSTRACT NO. 577 TOWN OF LITTLE ELM DENTON COUNTY, TEXAS

EFRAT G. WEISFIELD, TRUSTEE OF THE EFRAT WEISFIELD IRREVOCABLE FAMILY PROTECTION TRUST OWNER ADDRESS: 15880 GLEN UNA DR, LOS GATOS, CA, 95030

MICHAEL DuBOIS EMAIL: MICHAEL@PRIDEDFW.COM 6220 CAMPBELL ROAD, STE. 104 DALLAS, TEXAS 75248 PHONE 214-629-4042

RPLS OF RECORD:

Zone 4202 (NAD83). All distances are surface distances with a surface to grid scale factor of 0.999849393.

8. Zoning shown hereon is according to the Town of Little Elm Zoning Map.

JIMMIE D. NICHOLS REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5184 EMAIL: JNichols@Barraza-Group.com



TBPLS FIRM REG. NO. 10194538 TBPE FIRM REG. NO. 20683 801 EAST CAMPBELL ROAD, STE. 650 RICHARDSON, TEXAS 75081 TELEPHONE - (214)-484-7055 PROJECT NO. 2022007-01 DATE September 26, 2022

PAGE 1 OF 1

Project	REPLAT/ Northshore Communities (RP-22-06026)								
P&Z Hearing	10/06/2022								
Council Hearing	N/A								
Size	Approximately 3.474 acres								
Current Zoning	ETJ								
Proposed Use	Commercial								
Existing Use	Vacant								
Future Land Use Plan Designation	Commercial/Retail								
Applicant	John Gardner								
Owner	Ajay Godaba								
Strategic Goal									

Agenda Item

REPLAT/ Northshore Communities (RP-22-06026) Presentation, discussion, and consideration on a request for approval of a Final Plat for Northshore Communities, establishing Lots 2R1 and 3R1, Block A, moving lot lines and abandoning one fire easement, on approximately 3.474 acres situated in the J. Gonzalez Survey, Abstract No. 447, within Town of Little Elm's Extraterritorial Jurisdiction.

- Presentation
- Discussion
- Recommendation

Location

Located southwest of the intersection of Savannah Blvd. and US Hwy 380, within Little Elm's Extraterritorial Jurisdiction.

Planning Analysis

This is a Replat for Northshore Communities, changing 3 lots into 2 commercial lots in the Town's Extraterritorial Jurisdiction. The Replat identifies the layout of the development as captured in the Town's Subdivision Ordinance (Chapter 107), along with dedicating the proper easements and setbacks necessary for development.

ENGINEERING

Staff has reviewed the submitted plat document and made the determination that the submittal does not

fully meet the requirements of Section 107 - Subdivision Ordinance but can be conditionally approved with corrections being made before being signed by Town Officials.

Recommended Action

Staff recommends approval of the agenda item subject to the following condition:

• Prior to recording of the plat document, accurately indicate Zoning District of the subject, and surrounding properties.

Attachments

FP-22-06026 Northshore Communities RP



5200 State Highway 121 Colleyville, TX 76034 Phone: 817-488-4960

LEGEND OF ABBREVIATIONS

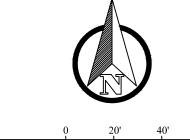
- D.R.D.C.T. DEED RECORDS, DENTON COUNTY, TEXAS
- P.R.D.C.T. PLAT RECORDS, DENTON COUNTY, TEXAS O.P.R.D.C.T. OFFICIAL PUBLIC RECORDS, DENTON COUNTY, TEXAS
- DOC.# DOCUMENT NUMBER
- C.M. CONTROLLING MONUMENT • SQ. FT. SQUARE FEET
- ROW RIGHT OF WAY
- CAPPED REBAR SET CRS

VICINITY MAP - NOT TO SCALE FORSYTHE DR MERCER WAY AZALEA DR SITE

SURVEYOR'S NOTES:

- 1. Bearings are based on the State Plane Coordinate System, Texas North Central Zone (4202) North American Datum of 1983 (NAD '83), distances are surface with a combined scale factor of 1.00015063.
- 2. Monuments are found unless specifically designated as set.
- 3. Elevations (if shown) are North American Vertical Datum of 1988 (NAVD '88).

1. This property may be subject to charges related to impact fees and the applicant should contact the Town regarding any 2. All common areas will be owned and maintained by the HOA/POA.



SCALE: 1" = 40'

U.S. HIGHWAY 380

ZONING: LIMITED PURPOSE ANNEXATION

(UNIVERSITY DRIVE)

PLAT NOTES:

applicable fees due.

any, on this property.

100 year flood plain.

County, Texas.

3. Notice – selling a portion of this addition by metes and bounds is a

4. This plat does not alter or remove existing deed restrictions, if

6. The subject property does not lie within a 100 year flood plain

Minimum finished floor elevations are at least 2 feet above the

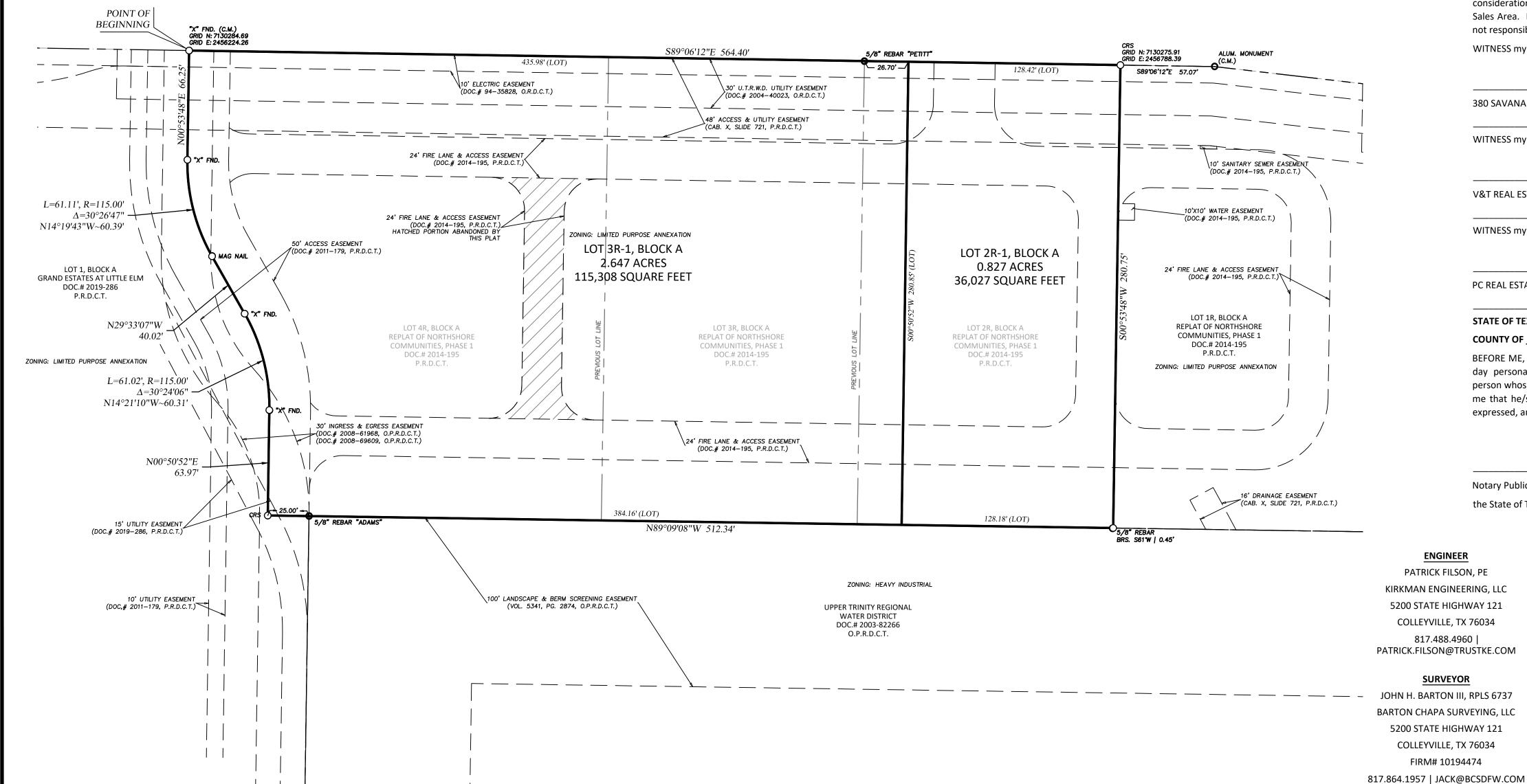
according to Community Panel No. 48121C0410G, dated April 18,

2011, of the National Flood Insurance rate Maps for Denton

and withholding of utilities and building permits.

violation of Town ordinance and State Law and is subject to fines

(VARIABLE WIDTH ROW AS SHOWN ON DOC.# 2014-195, P.R.D.C.T.) APPROXIMATE CENTERLINE



COUNTY OF DENTON WHEREAS 380 SAVANA LLC, V&T REAL ESTATE LLC, AND PC REAL ESTATE LLC are the owners of a tract situated in the J. Gonzales Survey, Abstract Number 447, Town of Little Elm, Denton County, Texas, being all of Lots 2, 3, and 4, Block A, Northshore Communities, Phase 1, an addition in the Town of Little Elm, Denton County, Texas,

STATE OF TEXAS

according to the plat recorded in Document Number 2014-195, Plat Records, Denton County, Texas, the subject tract being more particularly described as

BEGINNING at an "X" cut found at the northwest corner of said Lot 4, lying on the south right-of-way of US Highway 380;

THENCE with the south right-of-way of said US Highway 380, SOUTH 89 degrees 06 minutes 12 seconds EAST, a distance of 564.40 feet to a 1/2 inch rebar with pink plastic cap stamped "BARTON CHAPA" set (hereinafter "capped rebar set") at the northeast corner of said Lot 2;

THENCE with the east line of said Lot 2, SOUTH 00 degrees 53 minutes 48 seconds WEST, a distance of 280.75 feet to the southeast corner of said Lot 2, from which a 5/8 inch rebar found bears SOUTH 61 degrees WEST, 0.45 feet;

THENCE with the south line of said Lots 2-4, NORTH 89 degrees 09 minutes 08 seconds WEST, a distance of 512.34 feet to a capped rebar set at the southwest corner of said Lot 4;

THENCE with the west line of said Lot 4, NORTH 00 degrees 50 minutes 52 seconds EAST, a distance of 63.97 feet to an "X" cut found at the beginning of a tangent curve to the left, having a radius of 115.00 feet, a central angle of 30 degrees 24 minutes 06 seconds, and a chord bearing and distance of NORTH 14 degrees 21 minutes 10 seconds WEST, 60.31 feet;

THENCE along the arc of said curve, with the west line of said Lot 4, an arc distance of 61.02 feet to an "X" cut found;

THENCE with the west line of said Lot 4, NORTH 29 degrees 33 minutes 07 seconds WEST, a distance of 40.02 feet to a "Mag" nail found at the beginning of a tangent curve to the right, having a radius of 115.00 feet, a central angle of 30 degrees 26 minutes 47 seconds, and a chord bearing and distance of NORTH 14 degrees 19 minutes 43 seconds WEST, 60.39 feet;

THENCE along the arc of said curve, with the west line of said Lot 4, an arc distance of 61.11 feet to an "X" cut found;

THENCE with the west line of said Lot 4, NORTH 00 degrees 53 minutes 48 seconds EAST, a distance of 66.25 feet, returning to the **POINT OF BEGINNING** and enclosing 3.474 acres (151,336 square feet) of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS

THAT, 380 SAVANA LLC, V&T REAL ESTATE LLC, AND PC REAL ESTATE LLC, owners, do hereby adopt this final plat designating the above described property as LOTS 2R1 AND 3R1, BLOCK A, NORTHSHORE COMMUNITIES, PHASE 1, a subdivision in the Town of Little Elm, Denton County, Texas, and whose name is subscribed hereto, hereby dedicate to the public use forever by fee simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, parks, and trails and to the public use forever easements for sidewalks, storm drainage facilities, floodways, water mains, wastewater mains and other utilities, and any other property necessary to serve the plat and to implement the requirements of the platting ordinances, rules, and regulations thereon shown for the purpose and consideration therein expressed. This property is located within a Limited Purpose Sales Area. Denton County is the governing jurisdiction. The Town of Little Elm is not responsible for maintaining infrastructure on this site.

WITNESS my hand this the _____ day of _____ 20___

day of	20
NAME/TITLE)	
day of	20
	day of NAME/TITLE) day of

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared _ _, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same as for the purpose and consideration therein expressed, and in the capacity therein stated.

Notary Public in and for the State of Texas

STATE OF TEXAS

COUNTY OF

Notary Public in and for the State of Texas STATE OF TEXAS COUNTY OF _ BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared , known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same as for the purpose and consideration therein expressed, and in the capacity therein stated. Notary Public in and for the State of Texas SURVEYOR'S CERTIFICATE STATE OF TEXAS COUNTY OF I, John H. Barton, III, the undersigned, a Registered Professional Surveyor in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property made under my supervision on the ground.

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this

person whose name is subscribed to the foregoing instrument and acknowledged to

me that he/she executed the same as for the purpose and consideration therein

, known to me to be the

STATE OF TEXAS COUNTY OF _____ BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared _, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same as for the purpose and consideration therein

Notary Public in and for the State of Texas

STATE OF TEXAS

day personally appeared

expressed, and in the capacity therein stated.

Fieldwork was completed on May 9, 2021.

expressed, and in the capacity therein stated.

Date of Plat/Map: **September 21, 2022**

John H. Barton III, RPLS# 6737

COUNTY OF _

Approved **Town Official** Town of Little Elm, Texas The undersigned, the Town Secretary of the Town of Little Elm Texas, hereby certifies that the foregoing Final Plat of the LOTS 2R1 AND 3R1, BLOCK A, NORTHSHORE COMMUNITIES, PHASE 1 Addition to the Town of Little Elm was submitted to the Planning and Zoning Commission on the , and the Commission, by formal

action, then and there accepted the Final Plat and hereby authorizes the developer to proceed with the construction of public works improvements and infrastructure as indicated on the accompanying construction plans, and said Commission further authorizes the Chairman of the Planning and Zoning Commission to note the acceptance thereof by signing his/her name as hereinabove subscribed. Witness by hand this ___

Town Secretary Town of Little Elm, Texas

ENGINEER

PATRICK FILSON, PE KIRKMAN ENGINEERING, LLC 5200 STATE HIGHWAY 121 COLLEYVILLE, TX 76034 817.488.4960 |

PATRICK.FILSON@TRUSTKE.COM

SURVEYOR

JOHN H. BARTON III, RPLS 6737 BARTON CHAPA SURVEYING, LLC 5200 STATE HIGHWAY 121 COLLEYVILLE, TX 76034 FIRM# 10194474

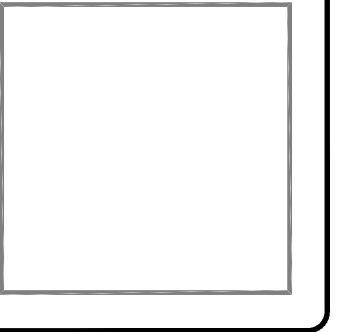
OWNER/APPLICANT FIRST INFRA CONTACT: AJAY GODOBA 600 PAIGE RD., SUITE #244 THE COLONY, TX 75056 937.708.9589

THE PURPOSE OF THIS REPLAT IS TO PLAT 3 LOTS INTO 2

REPLAT NORTHSHORE COMMUNITIES, PHASE 1 LOTS 2R1 AND 3R1, BLOCK A

3.474 ACRES SITUATED IN THE J. GONZALEZ SURVEY, ABSTRACT #447 AN ADDITION IN THE TOWN OF LITTLE ELM DENTON COUNTY, TEXAS

PREPARED JULY 12, 2022





Project	CONVEYANCE PLAT/ Union Place Ph 1 (CP-22-06235)								
P&Z Hearing	10/06/2022								
Council Hearing	N/A								
Size	Approximately 1.103 acres								
Current Zoning	Planned Development (Light Commercial Base)								
Proposed Use	Commercial								
Existing Use	Vacant								
Future Land Use Plan Designation	Commercial/Retail								
Applicant	John Tedesco								
Owner	Elaine Ford								
Strategic Goal									

Agenda Item

CONVEYANCE PLAT/ Union Place Ph 1 (CP-22-06235) Presentation, discussion, and consideration on a request for approval of a Conveyance Plat for Union Place Ph. 1, establishing the necessary easements and lot lines for conveyance, on approximately 1.103 acres situated in the Thomas Navo Survey, Abstract No. 964, within Little Elm's Town limits.

- Presentation
- Discussion
- Recommendation

Location

Located approximately 700 feet west of the Gazebo St. intersection with Union Place, within Little Elm's Town limits.

Planning Analysis

This is a Conveyance Plat for Union Place Phase 1 Block B, Lot 2, currently zoned Light Commercial under Planned Development district through Ordinance 1559. The Conveyance Plat identifies the lot lines and existing easements necessary for conveying the lot and is intended for the purpose of selling the lot, no development can take place until the property obtains Final Plat approval.

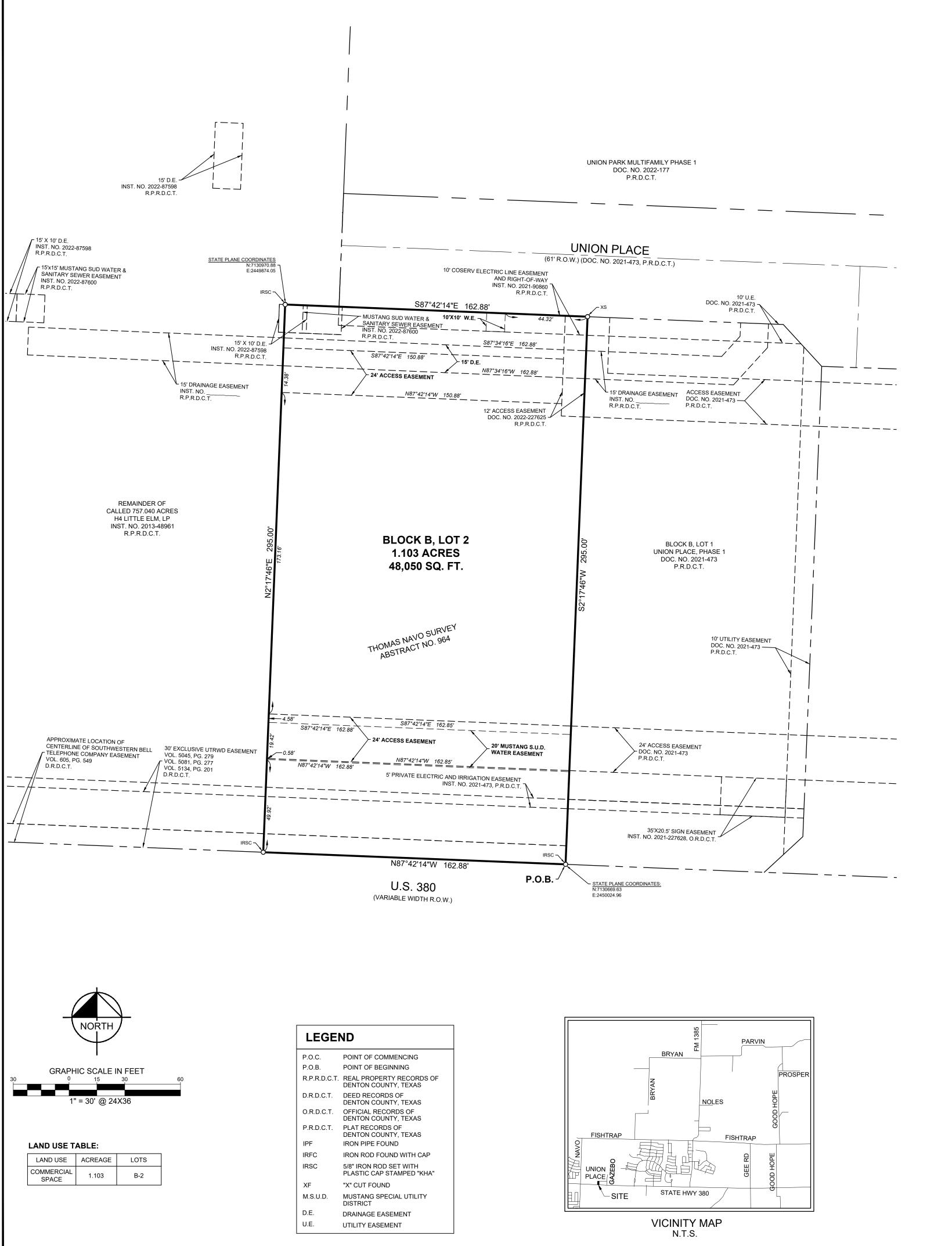
ENGINEERING Staff has reviewed the submitted plat document and made the determination that the submittal fully meets the requirements of Section 107 - Subdivision Ordinance.

Recommended Action

Staff recommends approval of the request as submitted.

Attachments

CP-22-06235 Union Park Conveyance Plat



OWNER'S	CERTIFICATE	

STATE OF TEXAS

COUNTY OF DENTON §

WHEREAS H4 LITTLE ELM, LP, is the sole owner of the following described tract of land:

BEING a tract of land situated in the Thomas Navo Survey, Abstract No. 964, Collin County, Texas, and being a portion of a called 757.040 acre tract of land described in a deed to H4 Little Elm, LP, as recorded in Instrument No. 2013-48961 of the Real Property Records of Denton County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod with plastic cap stamped "KHA" set for the southwest corner of Block B, Lot 1 of Union Place, Phase 1, according to the Conveyance Plat thereof recorded in Document No. 2021-473 of the Plat Records of Denton County, Texas, same being on the southerly line of said 757.040 acre tract and the northerly right-of-way line of U.S. Highway 380, a variable width right-of-way;

THENCE North 87°42'14" West, along the southerly line of said 757.040 acre tract and the northerly right-of-way line of said U.S. Highway 380, a distance of 162.88 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for corner;

THENCE North 02°17'46" East, departing the southerly line of said 757.040 acre tract and the northerly right-of-way line of said U.S. Highway 380, and crossing said 757.040 acre tract, a distance of 295.00 feet to a 5/8 inch iron rod with plastic cap stamped "KHA' set for corner;

THENCE South 87°42'14" East, continuing across said 757.040 acre tract, passing en route the south end of the westerly terminus of Union Place, a 61 foot wide right-of-way, and continuing along the same course and along the southerly right-of-way line of said Union Place, a distance of 162.88 feet to an "X" cut in concrete set for the northwest corner of said Block B, Lot 1;

THENCE South 02°17'46" West, departing the southerly right-of-way line of said Union Place and along the westerly line of said Block B, Lot 1, a distance of 295.00 feet to the **POINT OF BEGINNING** and containing 1.103 acre (48,050 square feet) of land, more or less.

OWNER'S ACKNOWLEDGEMENT AND DEDICATION

STATE OF TEXAS §

COUNTY OF DENTON §

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That H4 LITTLE ELM, LP, ("Owner") does hereby adopt this plat designating the herein above property as UNION PLACE, PHASE 1, BLOCK B, LOT 2, an addition to the Town of Little Elm, Denton County, Texas, and does hereby dedicate in fee simple to Highway 380 Municipal Management District No. 1 (The District) to exclusive use forever, the streets and public use areas shown hereon, and does hereby dedicate the easements shown on the plat for the purposes indicated to the District's exclusive use forever, and said dedications being free and clear of all liens and encumbrances except as shown herein or subordinated to this plat. No buildings, fences, trees, shrubs or other improvements shall be constructed or placed upon, over or across the easements of said plat. At the discretion of the District and subject to its written approval. Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use the same unless the easement limits the use to a particular utility or utilities. Said use by public utilities being subordinate to the District's use thereof. Any public utility given the right by the District to use said easements shall have the right to: remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on any of these easements; and any public utility shall at all times have the right of ingress and egress to and from and upon said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or part of its respective system without the necessity at any time procuring the permission of anyone. I do hereby bind myself, my successors and assigns to forever warrant and defend all and singular above described streets, alleys, easements an rights unto the District against every person whomsoever lawfully claiming or to claim the same or any part thereof by and through Owner but not otherwise. This property is not located within the extraterritorial jurisdiction of any municipality. This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Little Elm, Texas.

Witness, my hand this the _____ day of _____, 2022.

H4 LITTLE ELM, LP, a Texas limited partnership

BY: BOH Investment GP, LLC, a Delaware limited liability company, its general partner

By: _______Elaine Ford, Senior Vice President

STATE OF TEXAS

COUNTY OF ______ §

Before me, the undersigned authority in and for ______ County, Texas, on this day personally appeared _____, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she is _____, and that he/she is authorized to execute the foregoing instrument for the purposes and consideration therein expressed, and in the capacity therein stated.

Given under my hand and seal this _____ day of _____, 202

Notary Public in and for the State of Texas

Type or Print Notary's Name

My Commission Expires:

NOTES:

- 1. Bearing system for this survey is based upon NAD 83 Texas North Central Zone, Horizontal Adjustment to NAD 83 (1993). To convert the Surface distances to Grid Values, multiply the distances by a Combined Scale Factor of 0.999853696.
- 2. All corners set are monumented with a 5/8 inch iron rod with red plastic cap stamped "KHA", unless otherwise noted.
- 3. According to Community Panel No. 48121C0410G, dated April 18, 2011 of the National Flood Insurance Program Map, Flood Insurance Rate Map of Denton County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, this property is within Zone "X-Unshaded", which is not a special flood hazard area. For portions of this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.
- 4. Notice selling a portion of this addition by metes and bounds is a violation of Town ordinance and State Law and is subject to fines and withholding of utilities and building permits.
- 5. This plat does not alter or remove existing deed restrictions, if any, on this property.
- All dedicated public roads will be maintained by the Town of Little Elm.
- 7. All lots comply with the minimum size requirements of the zoning district.
- 8. This property may be subject to charges related to impact fees and the applicant should contact the Town regarding any applicable fees due.
- 9. Minimum finished floor elevations are at least 2 feet above the 100 year flood plain.
- 10. This conveyance plat is intended for one or more of the allowed purposes as listed in Section 107.04.02(a) of the Little Elm Code of Ordinances and does not authorize any development on the property, nor shall any building permit be issued as a result of the approval of a conveyance plat.

CERTIFICATE OF SURVEYOR

STATE OF TEXAS §

COUNTY OF COLLIN §

KNOW ALL MEN BY THESE PRESENTS:

I, the undersigned, a Registered Professional Surveyor in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property made under my supervision on the ground.

Sylviana Gunawan
Registered Professional Land Surveyor No. 6461
Kimley-Horn and Associates, Inc.
6160 Warren Parkway, Suite 210
Frisco, Texas 75034
Phone 972-335-3580
Fax 972-335-3779

PRELIMINARY

THIS DOCUMENT SHALL

NOT BE RECORDED FOR

ANY PURPOSE AND

SHALL NOT BE USED OR

VIEWED OR RELIED

UPON AS A FINAL

SURVEY DOCUMENT

STATE OF TEXAS §

COUNTY OF COLLIN §

BEFORE ME, the undersigned authority, on this day personally appeared, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same for the purposes and considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____ day of ______, 2022.

Notary Public, State of Texas

CERTIFICATE OF CONVEYANCE PLAT APPROVAL

APPROVED

Town of Little Elm, Texas

Chairman, Planning and Zoning Commission

Date

ommission Date

The undersigned, the Town Secretary of the Town of Little Elm, Texas, hereby certifies that the foregoing Conveyance Plat of the UNION PLACE, PHASE 1, BLOCK B, LOT 2 Subdivision or Addition to the Town of Little Elm was submitted to the Planning and Zoning Commission on the ______ day of ______, 2022, and the Commission, by formal action, then and there accepted the Conveyance Plat and hereby authorizes the developer to proceed with the construction of public works improvements and infrastructure as indicated on the accompanying construction plans, and said Commission further authorizes the Chairman of the

Planning and Zoning Commission to note the acceptance thereof by signing his/her name as hereinabove subscribed.

Witness by hand this _____day of _____, 2022.

Town Secretary
Town of Little Elm, Texas

CONVEYANCE PLAT UNION PLACE, PHASE 1 BLOCK B, LOT 2

BEING 1.103 ACRES SITUATED IN THE THOMAS NAVO SURVEY, ABSTRACT NO. 964 TOWN OF LITTLE ELM, DENTON COUNTY, TEXAS

	(im	ley	》》H	orn								
	arren Parkway, S exas 75034		0193822	Tel. No. (972) 3 Fax No. (972) 3								
<u>Scale</u> 1" = 30'	Drawn by Checked by Date Project No. Shee JLN/SG KHA 09/08/2022 063260501 1 OF											
OWNER: H4 Little Elm, LP 3000 Turtle Creek Dallas, Texas 7521 972-201-2980 Contact: Elaine For Email: Elaine.Ford(ENGINEER / S Kimley-Horn and 260 East Davis Stre McKinney, Texas 75 469-301-2597 Contact: John Tede Email: john.tedesco	rd @hillwood.com SURVEYOR: Associates, Inc. eet, Suite 100 5069 sco, P.E.											



Project	Public Hearing/ Habibi Hookah (SUP-22-04373)								
P&Z Hearing	10/06/2022								
Council Hearing	November 1, 2022								
Size	2,114 sq ft.								
Current Zoning	Light Commercial (LC)								
Proposed Use	Commercial								
Existing Use	Commercial								
Future Land Use Plan Designation	Commercial/Retail								
Applicant	Samer Abuaita								
Owner	Sujana Gorusu								
Strategic Goal									

Agenda Item

PUBLIC HEARING / Habibi Hookah (SUP-22-04373). Public hearing, discussion, and take action on a recommendation regarding a request to rezone suite 2100 approximately 2,114 sq ft. in size, currently zoned as Light Commercial (LC), in order to establish a new Specific Use Permit, in order to allow for a new smoking establishment, with on premise sales and smoking of hookah products, as well as the sale of alcoholic beverages for on premise consumption only.

- Staff Report/Applicant Presentation
- Open Public Hearing
- Receive Public Comment
- Close Public Hearing
- Discussion and Recommendation

Location

Located at 14111 King Road, Suite 2100, on the south side of King Road, approximately 500 feet west of FM 423, within Little Elm Town limits.

Planning Analysis

Background. Subject property is zoned Light Commercial (LC) and currently houses a total of six newly constructed, single-story buildings. The two buildings in the front of the property are primarily intended for retail purposes, while the four buildings in the rear of the property are primarily office and medical uses. Most of the retail spaces are currently still vacant.

The proposed smoking establishment and bar would occupy one of the end-cap spaces in the eastern-most retail building, a currently vacant 2,114 square-foot Suite 2100.

A smoking establishment is defined as "an establishment that sells products and devices primarily for the purpose of smoking or vaping in various forms. These establishments sometimes provide a contained area with a separate ventilation system for the purpose of smoking within the associated structure."

A bar is defined as "an establishment principally for the sale and consumption of alcoholic beverages on the premises that derives 75 percent or more of its gross revenue on a quarterly (three-month) basis from the sale or service of alcoholic beverages, as defined in the Texas Alcoholic Beverage Code, for on-premises consumption."

Typically, smoking is prohibited where other uses are involved, however, Sec. 70-208. - Places Where Smoking is Not Prohibited lists smoking establishments, where the primary use is retail of smoking products, and the sale of alcoholic beverages is incidental. Therefore, the two proposed uses would be allowed to co-habitate in accordance with the Town's requirements as long as the criteria of this section is met.

"Retail tobacco stores, hookah lounges, or other smoking establishments that are permitted to sell alcohol, where the sale of tobacco products, and accessories is the primary retail use and in which the sale of other products is merely incidental. Separate ventilation and HVAC systems that prevent the commingling of air with other businesses, common areas, hallways and other non-smoking areas shall be required."

The applicant, Habibi Hookah, is proposing a hookah lounge and bar focusing on providing hookah for on-premise consumption, a sampling of foods, and alcoholic beverages for on-premise consumption. The applicant does not currently own any similar establishments, so this would be their first location.

Chapter 106 of the Little Elm Code of Ordinances requires a Specific Use Permit (SUP) be issued for smoking establishment use as well as a bar use within the Light Commercial District. Because a smoking establishment and a bar require a Specific Use Permit, the applicant is requesting a Specific Use Permit in order to be able to occupy and operate within this space.

Proposal.

The applicant is requesting approval of a smoking establishment and bar as allowed uses on the subject property, within Suite 2100, for the purposes of establishing a hookah lounge, with sale of alcoholic beverages for on-premise consumption only.

The proposal includes a total SUP area of 2,114 square feet. The submitted floor plan depicts a large open lounge area with chairs and couches set around coffee tables. The rest of the suite has a large service counter and display area, and kitchen in the back; no bar area is being proposed. The proposed hours of operation are Sunday through Thursday, 3 pm to -12 am, and Friday through Saturday, 3 pm through 2 am.

The applicant has also provided sample concepts of the interior space, which will be adopted as part of the SUP Ordinance.

The proposed request is similar to the recently approved Good Cigar, at the southeast corner of Eldorado Parkway and Little Elm Parkway, which is also a smoking establishment with on-premise alcohol sales and consumption. While no food is offered for sale, the Good Cigar focuses primarily on showcasing specialty cigar product rather than being a bar. Hours of operation are 11am to 11pm.

Parking.

The proposed use is required to be parked at a ratio of one parking space per 200 square feet of floor area. The existing site was developed with a total of 44,425 square feet of commercial space, providing a total of 178 parking spaces, with the intent to split the uses in order to fit within the parking requirements. SUP requests are required to provide Site Plan, which among other important information, includes a data table showing the breakdown of all the potential, and currently occupied, uses and square footages. While at this time, most of the suites are vacant and parking should not be an issue, the submitted parking analysis, in place of a Site Plan, does not provide sufficient, nor accurate, information, therefore Staff is unable to determine parking compliance at this time.

Development Standards.

This site was developed following the Light Commercial building standards and since the applicant is not making any exterior changes or site improvements in order to accommodate the proposed use, no additional site requirements were reviewed at this time.

Comprehensive Plan.

The Future Land Use Plan (FLUP) designates the subject property with a retail/commercial land use category, which is appropriate for the proposed establishment. Therefore, the requested SUP, if approved, would not be in conflict with the Town's vision for this area.

Recommended Action

Staff have worked with the applicant over the last several months, in order to obtain all the needed documents and plans to enable Staff to properly evaluate the proposed SUP. There are outstanding items that still need to be addressed. That being said, at this time, the applicant has voiced concerns over the extensive review process and has requested to move forward and present the proposal to the Administration.

Concept Site Plan

All zoning requests require a Concept Site Plan that follow's the Concept Site Plan Checklist as outlined within the Town's Development Handbook. The Site Plan provides information necessary for the review and evaluation of a request, and is ultimately captured within the Ordinance for record and tracking purposes. Instead of a Site Plan, the applicant provided a parking analysis schematic, which does not provide the necessary information, and the information that is provided is not accurate.

Letter of Intent

Additionally, all zoning requests require a letter of intent. This serves as the applicant's introduction, to the Town, of their specific request, background in that particular business, proposed business operation for this particular location, and commitments to uphold certain standards and requirements. Staff does not believe that the provided letter of intent relays all the information pertinent to the evaluation of the request.

Hours of Operation

Staff has concerns about the proposed hours of operation being outside of the typical establishments in this area, most of which close by 12pm. This area primarily offers neighborhood level retail, restaurant, and entertainment, and the subject property, while not direct adjacent, is still in close proximity to low density residential; late night hours potentially open the door for the type of use that might not be fitting within this area's context. Staff believes the hours of operation should be capped at 12am.

Food Menu

The provided menu has a very small selection of food offerings and without fully understanding the business operation, Staff has concerns that without more focus on food, the establishment will provide more of a late night and alcohol driven atmosphere. In an effort to avoid any potential nuisances and better fit into the context of the surrounding area, Staff believes that the menu should be expanded

and a minimum percentage established for the revue derived from food sales.

The purpose of an SUP is to add or modify specific land use rights to those already granted within a zoning district. Section 106.02.17 provides that each request considers the intensity of the proposed use within the context of the proposed location based on compatibility and suitability, and in evaluating the compatibility of the proposed use within the existing area context, "the town council may impose such additional development standards and safeguards as the conditions and locations indicate important to the welfare and protection of adjacent property from noise, vibration, dust, dirt, smoke, fumes, odor, gas, explosion, glare, offensive view, or other undesirable or hazardous conditions."

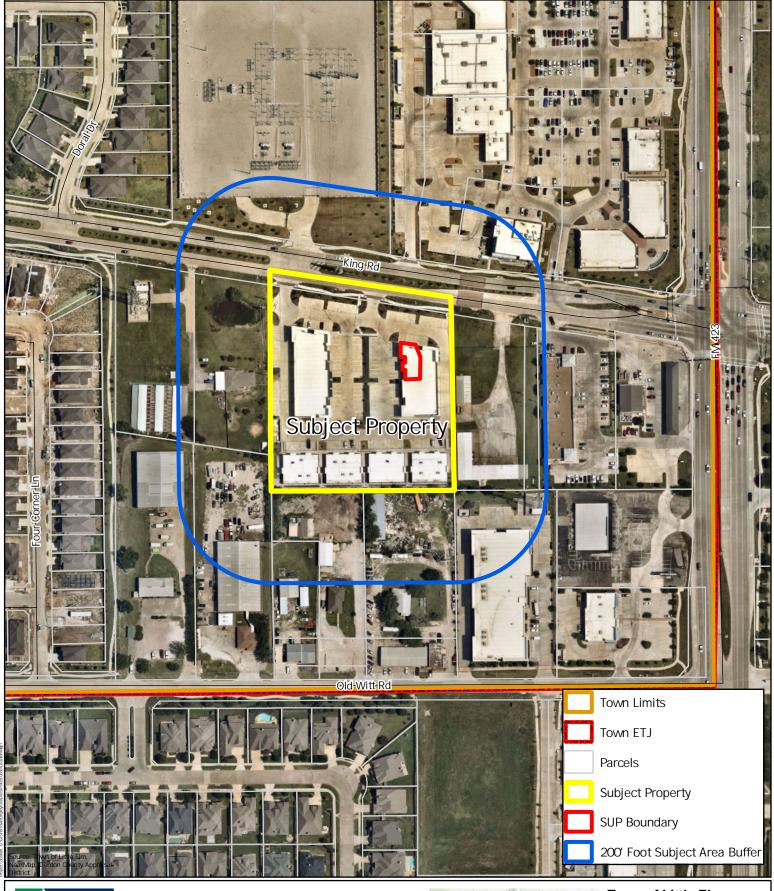
Given the purpose of a Specific Use Permit, as well as the several outstanding items and Staff concerns, Staff believes if the Planning and Zoning Commission considers supporting this request, the following conditions should be included. These conditions help to make the request more appropriate within the context of the existing shopping center, as well as its proximity to other uses.

- 1. Concept Site Plan shall be provided at least none week prior to Town Council meeting.
- 2. Letter of Intent shall be provided at least none week prior to Town Council meeting.
- 3. Hours of Operation shall not exceed 12 am on any given day.
- 4. Food menu shall be expanded and the establishment shall derive at least 25 percent of its gross revenue on a quarterly (three-month) basis from the sale or service of food items.
- 5. All windows shall remain clear, especially from shelving and product display, and maintain and active storefront.
- 6. Applicant must provide a separate ventilation system and must comply with the requirements listed in Chapter 70, Article IX. Smoking.
- 7. Prior to issuance of a certificate of occupancy, the business owner shall provide the town with a copy of its state permit to operate as a bar, brewpub, or similar use.
- 8. All alcohol-related activities must meet all standards found in Chapter 10, Alcoholic Beverages, of the Little Elm Code of Ordinances.

Staff recommends the Planning and Zoning Commission evaluate the proposed SUP request based on the presented information, in accordance with Section 106.02.17, and make a recommendation accordingly.

Attachments

Location Map SUP Exhibits





SUP: 22-04373 Habibi Hookah King Plaza Property

0 0.02 0.04 0.08 Miles



Town of Little Elm Denton County, Tx

Date: 9/12/2022

This product is to be used for graphical representation only. The accuracy is not to be taken/used as data produced for engineering purposes or by a Registered Professional Land Surveyor for the State of Texas. For this level of detail, supervision and certification of the produced data by a Registered Professional Land Surveyor for the State of Texas would have to be performed. Town of Little Elm and its members assume no responsibility for the accuracy of said data.

Habibi Hookah Lounge 14111 King Rd. Unit 200 Frisco, TX 75036

LETTER OF INTENT

August 23, 2022

Town of Little Elm 100 W. Eldorado Parkway Little Elm, TV 75068

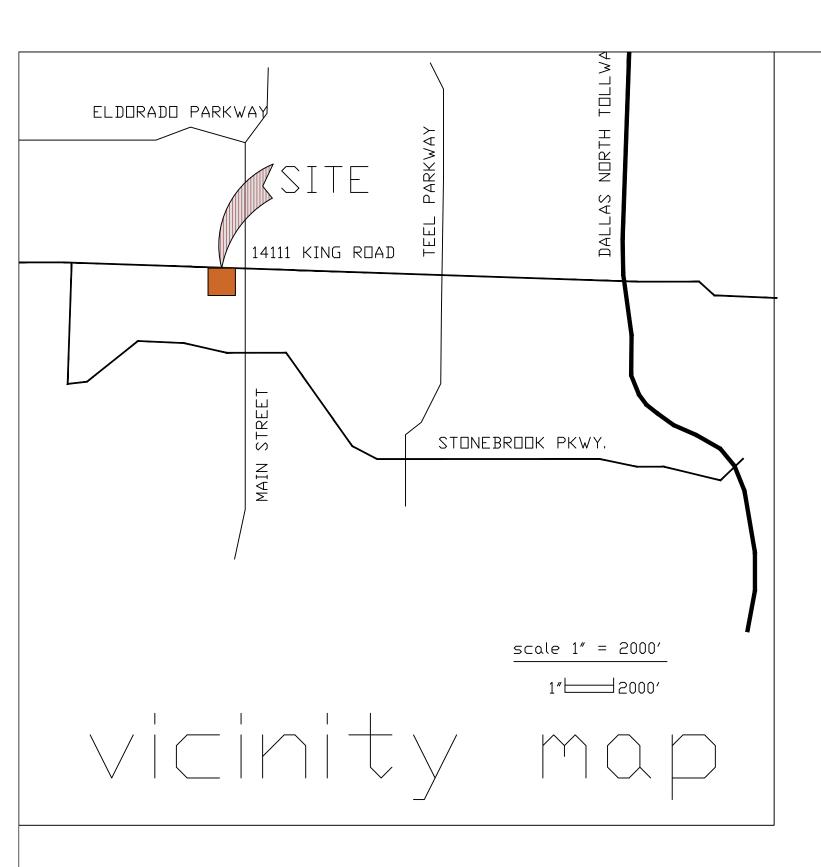
RE: Special Use Permit for Hookah License

To Whom It May Concern,

Please accept this letter of intent to permit the use of hookah, finger foods, and alcohol at Habibi Hookah Lounge. The purpose of this request is to be able to provide customers a setting where they can enjoy smoking hookah, while grabbing a bite to eat or enjoy a drink in a relaxed, aesthetic environment. Habibi means "Friend" in Arabic which is why our mission is to provide the best customer service along with an elegant lounge where anyone would feel welcome coming in. There will also be training to ensure our employees are prepared to provide the best quality of service and meet safety requirements. Habibi Hookah Lounge will be a positive addition to the already developing marketplace surrounding the current bars and restaurants across the street. As there are other competitors in neighboring cities of Little Elm, we will ensure that the best offers are provided to our customers. The environment will be maintained for friends and families to enjoy our service and relax.

Thank You,

Samer Abuaita



NOTE :

PROJECT ENTAILS INTERIOR FINISH OUT OF EXISTING RETAIL SUITE OF EXISTING RETAIL SHOPPING CENTER NO CHANGES IN SITE WORK FINISH DUT PER DWNER SELECTIONS



CODE DATA

IBC 2015 INTERNATIONAL BUILDING CODE IMC 2015 INTERNATIONAL MECHANICAL CODE IPC 2015 INTERNATIONAL PLUMBING CODE NEC 2015 NATIONAL ELECTRICAL CODE IFC 2015 INTERNATIONAL FIRE CODE IECC 2015 INT. ENERGY CONSERVATION CODE IC/ANSI A117. 198C ACCESSIBILITY CODE

817 994-2624

Patrick Saucedo PROJECT MANAGER

(817) 808-2664

Dallas, FTW/TEXAS

Patmanwill@gmail.com

Cad Tech's, & Planners, As-Built and Re-model Code Design Integrations

Ka; Hamdan

75068

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King Road,

Project

Remodel

Hookah

72 SPACES REQ'D

1 SPACE PER 200 S.F.

TOTAL 10,290 S.F. 170 TOTAL OCCUPANTS

BUILDING #2

BUILDING #1

#3,4.5 & 6 4,560 EACH, TOTAL 18,240 S.F. 32 TOTAL OCCUPANTS , (8 EACH). X4

72 SPACES PROVIDED

51 SPACES REQ'D 1 SPACE PER 200 S.F.

51 SPACES PROVIDED

23 SPACES EACH REQ'D 1 SPACE PER 200 S.F.

52 SPACES PROVIDED

44 TOTAL SPACES REQ'D

167 TOTAL PARKING SPACES REQ'D

175 TOTAL PARKING SPACES PROVIDED

REVISION

-ISSUE FOR REVIEW 04-21-2022

-REVISED PER COMMENTS
ADDED NOTES & VIC. MAP 06-6-2022

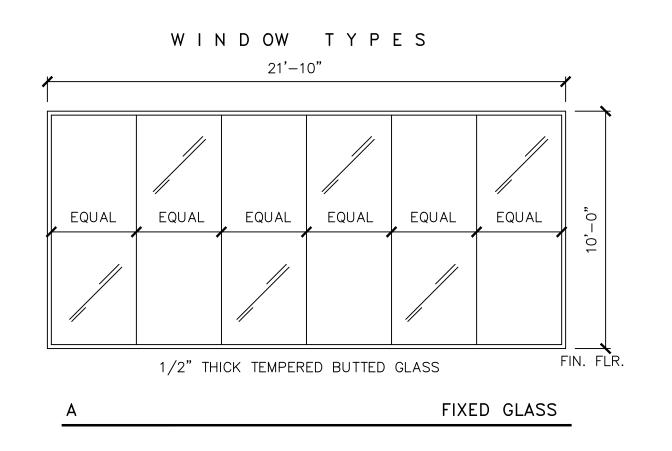
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PA1

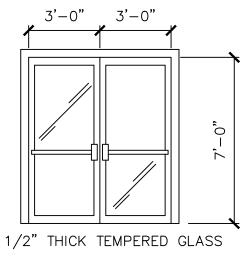
REV. DATE:

ORIG. DATE:

PARKING ANALYSIS PLAN



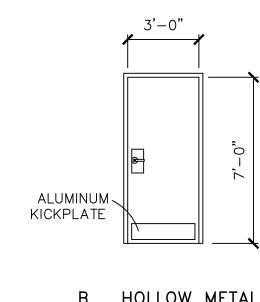
DOOR TYPES



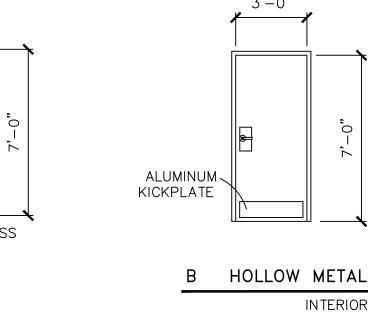
FULL GLASS

EXTERIOR

3'-0"







1. EXISTING FIRE SPRINKLER SYTEMS TO REMAIN CHECK OR ADJUST HEADS AS REQUIRED, TYP.

Additional Notes:

1. REFERENCE SHEET A3 FOR A.D.A. DETAILS

2. TOTAL SEATS = 66, TOTAL SUP S.F. = 2,548

3. SEPARATE VENTILATION SYSTEM TO COMPLY WITH

Grease Trap

GAL. GREASE TRAP

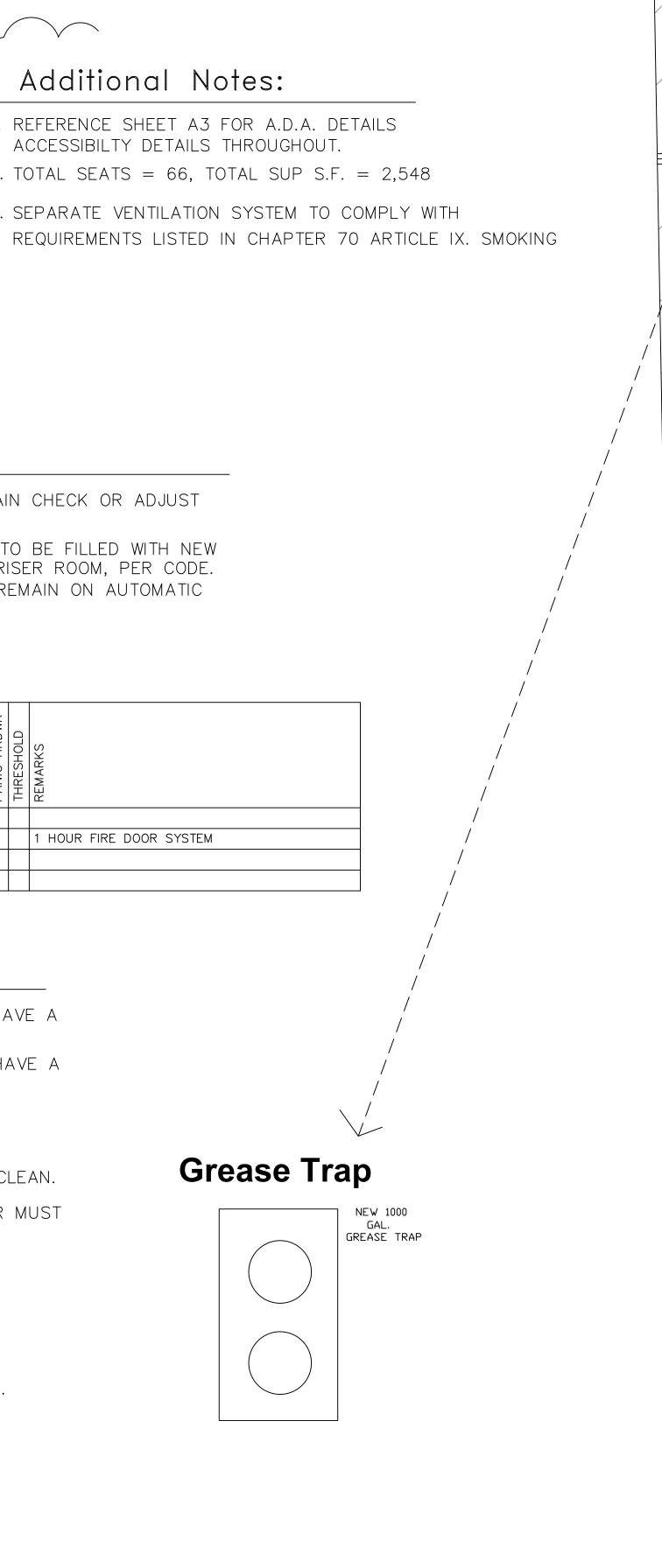
ACCESSIBILTY DETAILS THROUGHOUT.

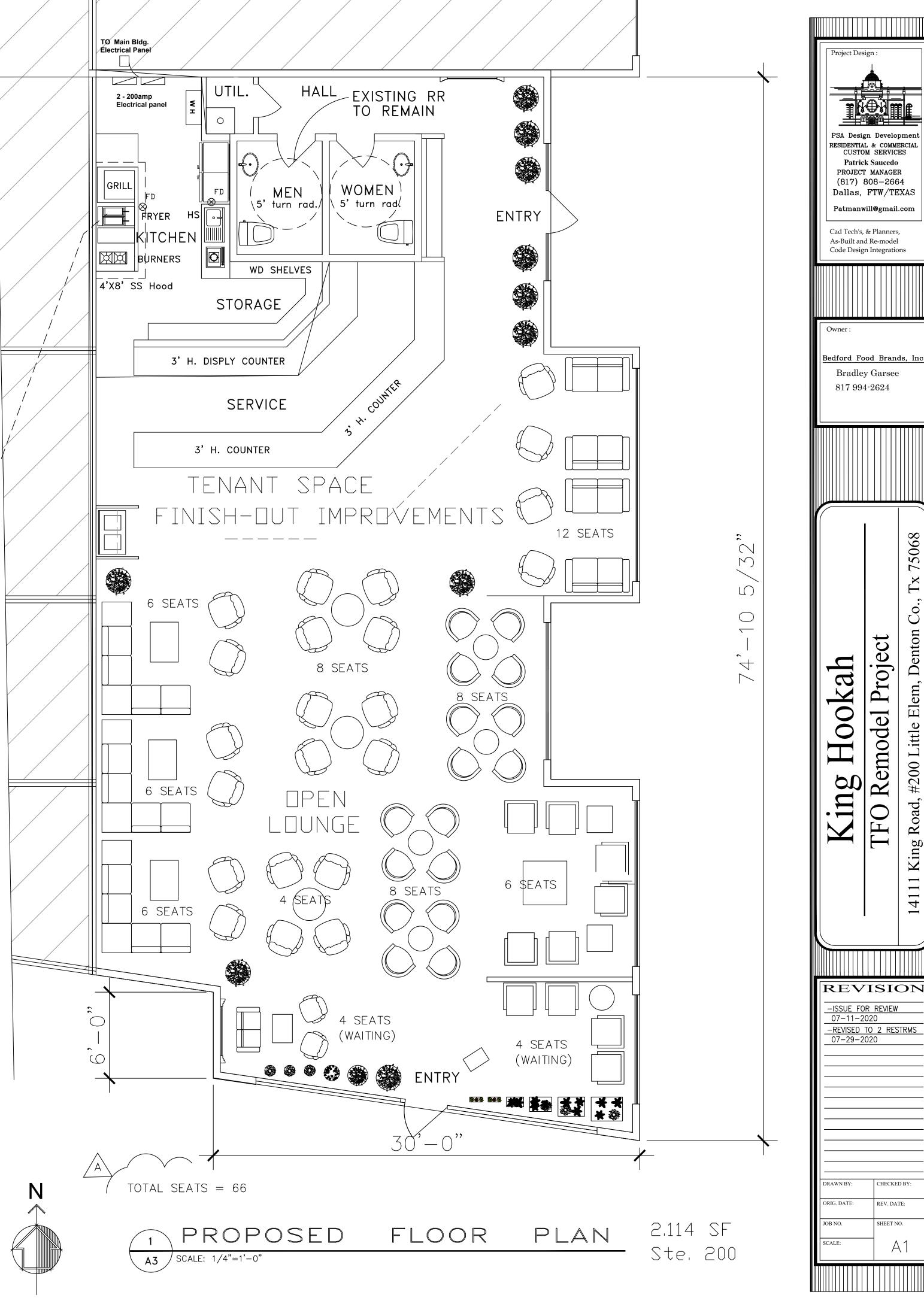
2. EXISTING ELECTRICAL METER AND PANELS TO BE FILLED WITH NEW CIRCUITS PER LANDLORD MAIN IN UTILITY RISER ROOM, PER CODE. EXTERIOR LIGHTING AND ENTRY LITES, TO REMAIN ON AUTOMATIC DAYLITE SENSOR DEVICE CIRCUITS, TYP.

DOOR	SCHEDULE	OR TYPE	MUNIMU.	OLLOW METAL	EEL	WOOD	AMES	MUMINUM	OLLOW METAL	TEEL	HARDWARE	DOOR CLOSER	:Y LOCK	UMB LOCK	ANIC HRDWR	IRESHOLD	REMARKS
ITEM	SIZE	2	4	밀	STE	×	[뚠	AL.	모	S	H	2	Ā		РА	Ĕ	\\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\
D100	3'-0" x 7'-0"	Ά	•					•				•	•				
D101	3'-0" x 7'-0"	' В		•					•			•		•			1 HOUR FIRE DOOR SYSTEM
D102	3'-0" × 7'-0"	C				•			•			•					

General Notes:

- 1. ALL ICE MAKERS, COFFEE MAKERS AND SOFT DRINK DISPENSERS TO HAVE A BACK FLOW PREVENTER PER CITY OF LITTLE ELM SPECIFICATIONS.
- 2. ALL ICE MAKERS, COFFEE MAKERS AND SOFT DRINK DISPENSERS TO HAVE A ONE INCH (1") AIR GAP AT FLOOR SINKS.
- 3. ALL EQUIPMENT SHOWN TO BE COMMERCIAL GRADE EQUIPMENT.
- 4. PROVIDE SOAP AND TOWEL DISPENSERS FOR ALL HANDWASH SINKS.
- 5. ALL WALLS MUST BE LIGHT IN COLOR, SMOOTH FINISH AND EASY TO CLEAN.
- 6. CEILING OVER COFFEE MAKER, SOFT DRINK DISPENSER AND ICE MAKER MUST BE SMOOTH FINISH AND EASY TO CLEAN.
- 7. ALL FLOORS MUST BE WATER TIGHT AND SEALED.
- 8. ALL RESTROOMS TO BE PROPERLY VENTED TO OUTSIDE.
- 9. SELF CLOSING DOORS REQUIRED FOR ALL RESTROOMS.
- 10. ALL LIGHT FIXTURES MUST BE PLASTIC COATED.
- 11. FOOD PREP SINK MUST HAVE ONE INCH (1") AIR GAP AT FLOOR SINK.
- 12. WALK—IN COOLER BOX (insulated prefab.).
- 13. OUTSIDE TRASH DUMPSTER MUST BE LOCATED ON CONCRETE PAD.
- 14. CEILING AND WALLS IN DRY STORAGE AREA MUST BE SMOOTH FINISH AND LIGHT IN COLOR AND EASY TO CLEAN.

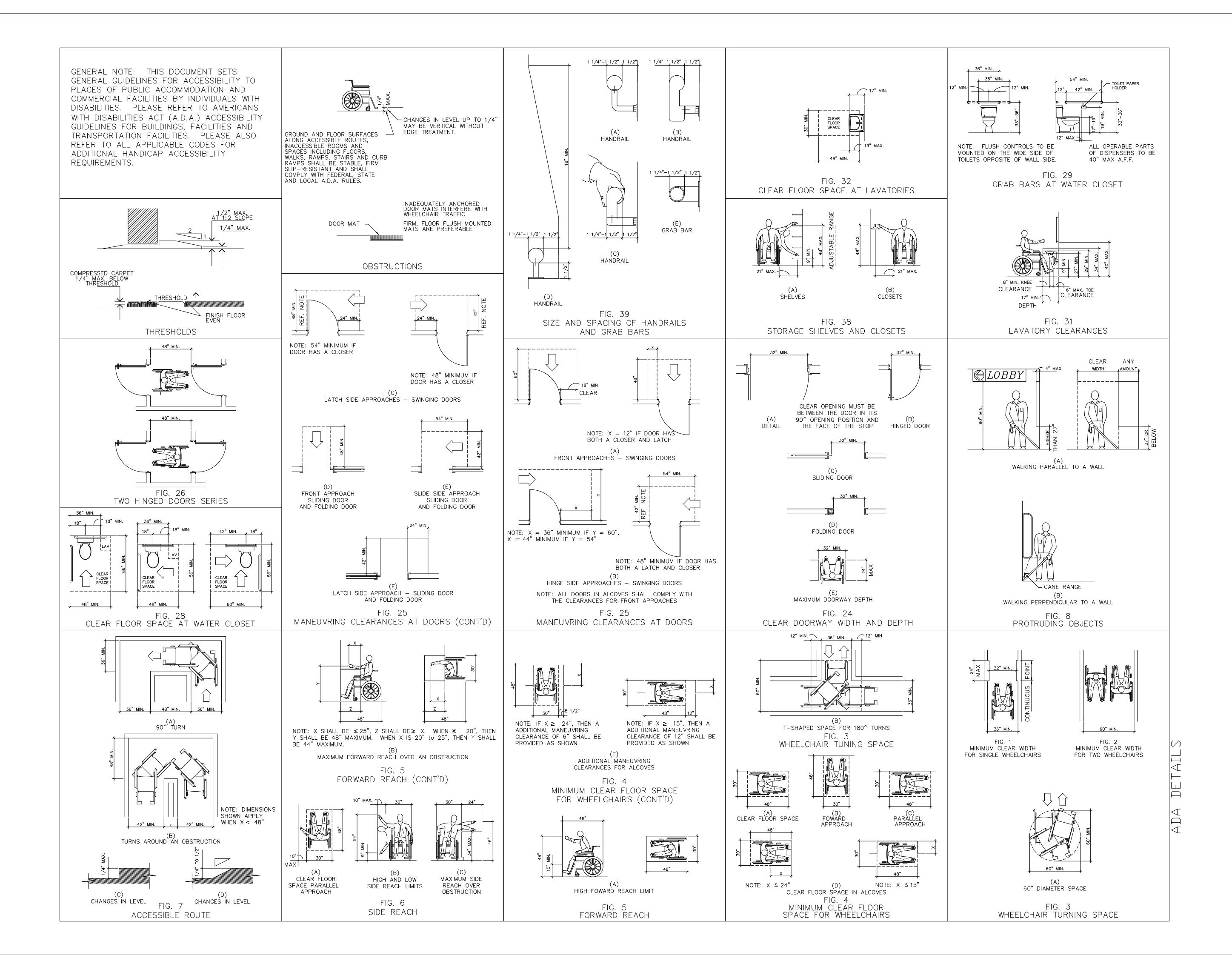




75068

King Road,

141111





CUSTOM SERVICES Patrick Saucedo PROJECT MANAGER (817) 808-2664 Dallas, FTW/TEXAS Patmanwill@gmail.com

Cad Tech's, & Planners, As-Built and Re-model Code Design Integrations

Owner:

Bedford Food Brands, In Bradley Garsee 817 994-2624

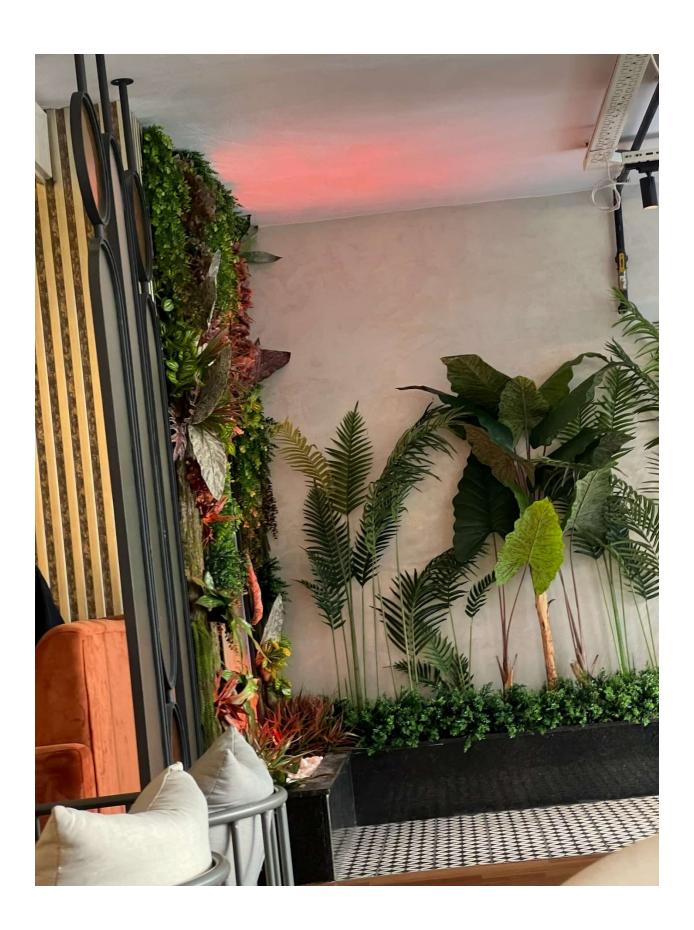
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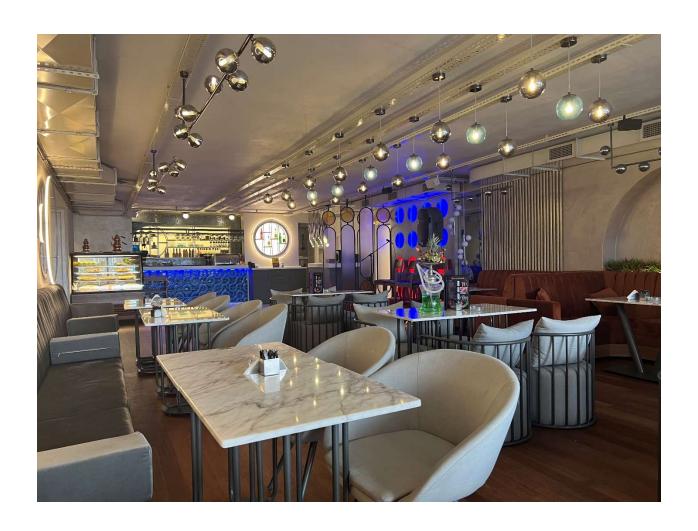
Remodel #200 Little 111 King Road, 141111

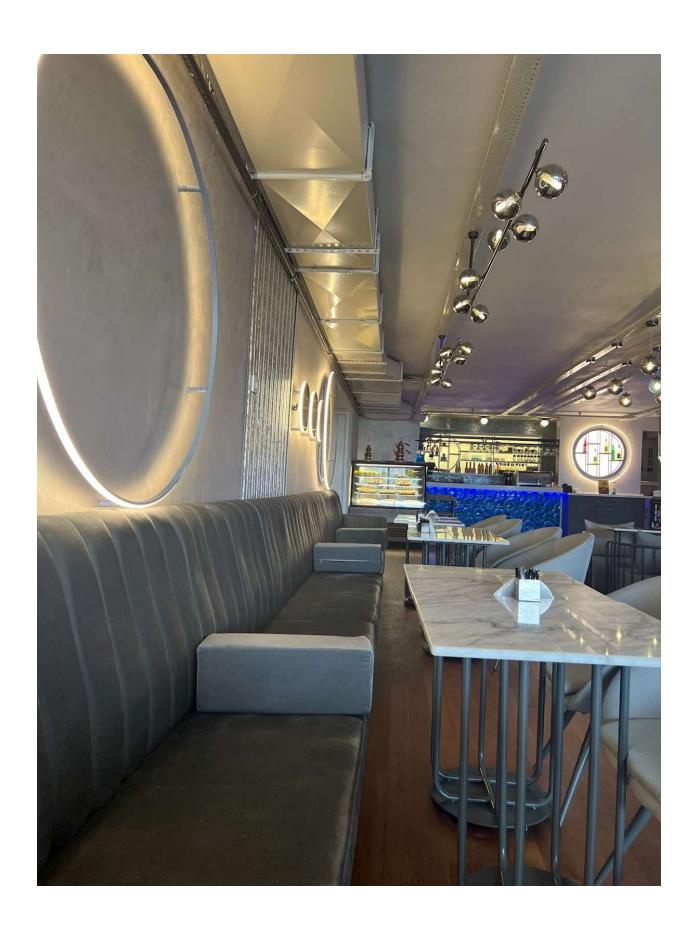
REVISION -ISSUE FOR REVIEW 07-11-2020 -REVISED TO 2 RESTRMS 07-29-2020

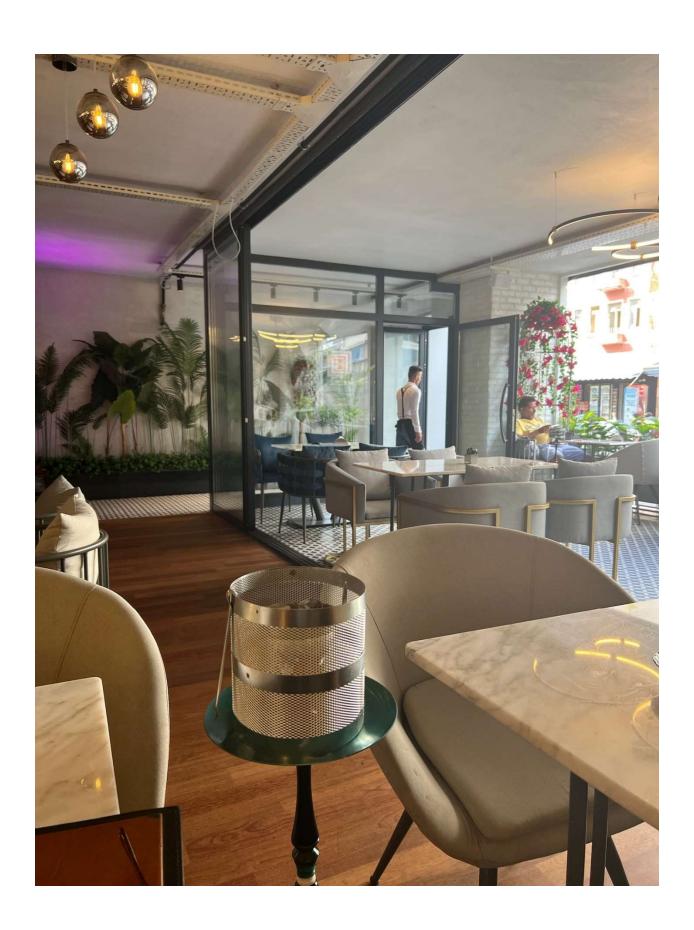
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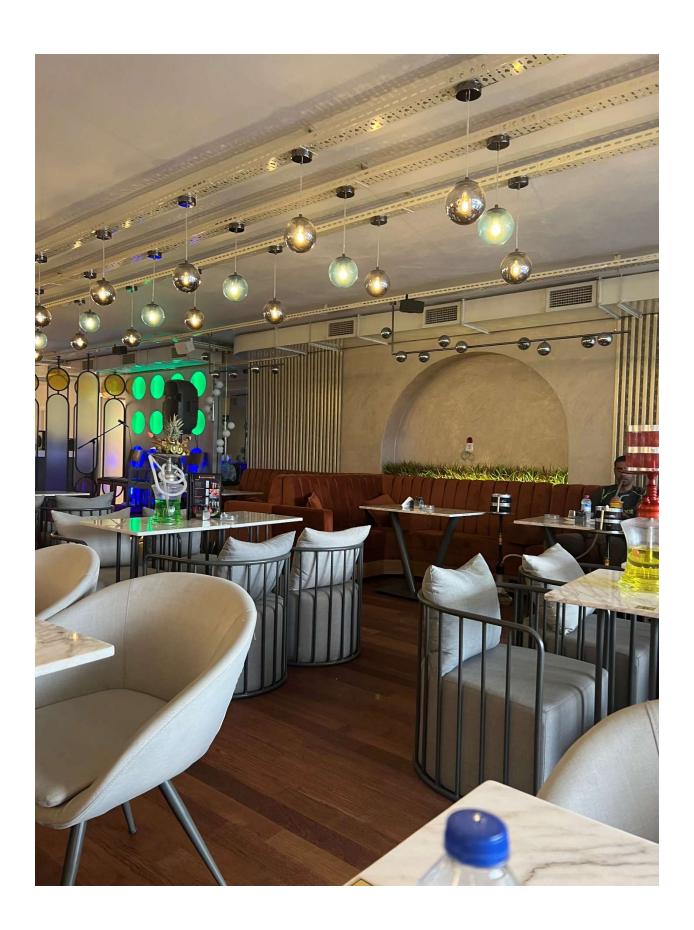
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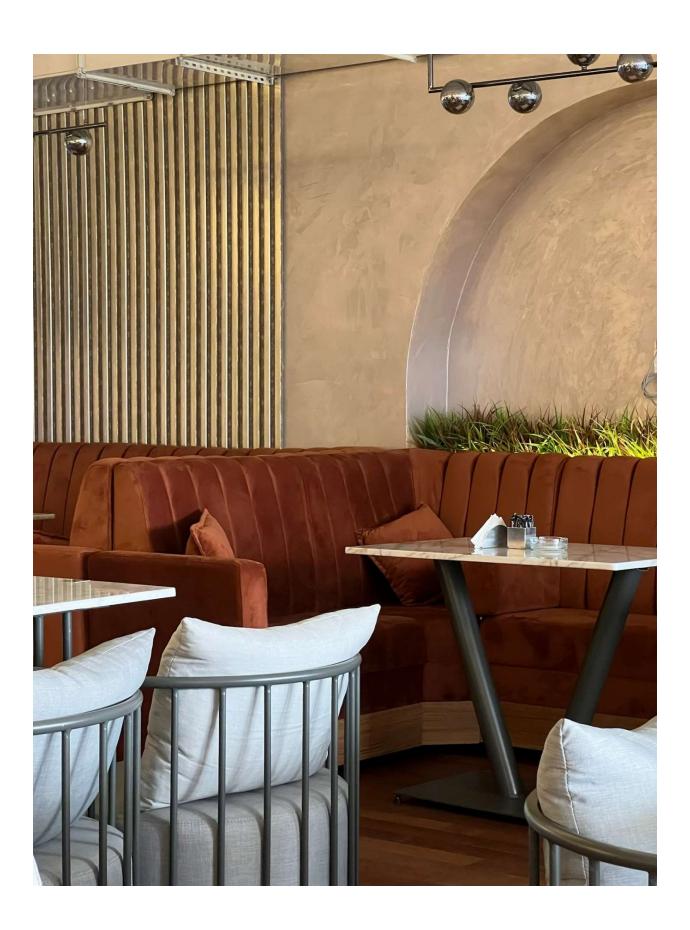












Menu

Sample Menu for Habibi Hookah Bar



- Chicken Tenders
 - Onion Rings
 - Wings
 - Fries
 - Hummus



- Beef Shawarma Plate
- Chicken Shawarma Plate
 - Beef Kabob Plate
 - Habibi Burger



OVERVIEW

Project	PUBLIC HEARING/ Lakeshore Plaza (PD-22-01947)
P&Z Hearing	10/06/2022
Council Hearing	October 18, 2022
Size	Approximately 4.159 acres
Current Zoning	Lakefront District (LF)
Proposed Use	Mixed Use Planned Development
Existing Use	Commercial
Future Land Use Plan Designation	Lakefront District (LF)
Applicant	Mahdi Matt Shekari
Owner	Mahdi Matt Shekari
Strategic Goal	

Agenda Item

PUBLIC HEARING/ Lakeshore Plaza (PD-22-01947) Public hearing, discussion, and take action on a recommendation regarding a request to rezone approximately 4.159 acres of land, currently zoned as Lakefront District (LF), in order to establish a new Planned Development district based on Lakefront (LF) district, to allow a new commercial development with modified development standards and establish a new type of mixed use planned development.

- Staff Report
- Open Public Hearing
- Receive Public Comment
- Close Public Hearing
- Discussion and Recommendation

Location

Located at 550 East Eldorado Parkway, approximately 500 feet southwest of the Hillside Dr. and Eldorado Parkway intersection, within Little Elm's Town limits.

Planning Analysis

Background. Subject property consists of one lot, currently containing an existing indoor commercial amusement building, an existing daycare facility, and undeveloped land. The property is zoned as the Lakefront District. The existing commercial building, Building A, was developed under the Light Commercial (LC) District requirements, current zoning at that time, which did not require the building to be located within 15 feet from the right-of-way. The daycare facility was developed through a detailed Specific Use Permit (SUP), Ordinance No. 1462. However, the site and both buildings were ultimately developed with additional nonconforming standards.

The applicant, Matt Shekari with TOPTEL LLC, also the property owner and developer, has gone through several different requests and processes over the last six years. Initially, the Planned Development (PD) request for the mixed-use condo project was submitted back in 2020, while the indoor commercial amusement building was still undergoing construction. The PD request was ultimately withdrawn by the applicant, at the direction of Town Council, in an effort to allow the applicant to resolve any outstanding issues and fully meet all requirements of the building permit process for the indoor commercial amusement, and in general complete that project prior to undertaking another development project.

Since that time, the applicant has also decided to expand the existing daycare facility and provide additional improvements on that portion of the site. Given the intricacies of the original daycare SUP, existing nonconformities of the site and the existing buildings' nonconformance with the current LF zoning, as well as the applicant's intent to move forward with the mixed-use condo development, it was determined that the best approach to cohesively incorporate everything happening on this site was to request a new PD.

Staff have worked with the applicant since March 2022 on the new PD request, in order to bring the proposal as close to meeting as many requirements of the Zoning Ordinance as possible and to ensure a quality development. However, there are still several outstanding items and a lengthy list of requests that Staff believes need to be addressed prior to determination by the Administration.

That being said, at this time, the applicant has voiced concerns over the extensive review process and has requested to move forward and present his proposal to the Administration. The applicant is requesting a new PD for the entire subject property, based on the Lakefront Zoning District requirements with modified development standards.

This property is unique in that the existing site improvements and existing buildings, Building A and B, were constructed under the Light Commercial (LC) requirements. In addition to capturing the existing nonconformities of the site and the existing buildings, the applicant is also requesting relief from several of the sections of the Lakefront District for the proposed mixed-use condo development. Staff believes given the context of this request, it is appropriate for the applicant to bring the site, in its entirety, as much into compliance with the current regulations as feasible.

It should also be noted that earlier this year, the applicant removed a large number of tree caliper inches from the property and has been working with the Town since January 2022 in an effort to mitigate the tree removal. This effort is still underway and the mitigation requirement is not yet met. As a result, Staff will recommend that any determination on this PD request, be subject to the applicant meeting tree mitigation requirements.

Proposal.

The proposed PD consists of three separate commercial lots, Lot 1R containing Building C, Lot 3, containing Building A, and Lot 4 containing Building B.

Lot 1R contains the proposed new 32,769 square foot mixed-use, owner-occupied condo development, Building C. The three-story building will house 3,300 square feet of retail space, residential lobby, condo garages, and one residential unit at-grade, with an additional 16 residential condo units on the two floors above. The development plans also show proposed site improvements in the form of green open space with gazebo, playground equipment, benches, trails connecting to the existing public trail, and a dog park. The proposed building and site improvements provide a continuation of the existing Building A, also known as

Snowy Fun. While the proposed development complies with most of the requirements of the LF district, as part of this PD request, the applicant requests a list of waivers to the development standards in order to fit the building on site and make the development financially feasible.

Lot 3 contains the existing Building A, a 9,820 square foot, one-story, indoor commercial amusement currently operating as Snowy Fun. While the site and building were developed under the LC district, not all the requirements were met at the time of construction.

Lot 4 contains the existing 4,823 square foot Building B, a one-story daycare facility. The applicant is proposing to expand Building B by 1,247, bringing the building to a total of 6,070 square feet, and provide site improvements in the form of an expanded drop-off area and play area with new commercial grade, covered, playground equipment.

Through the submitted development plans, and as part of the required tree mitigation efforts, the applicant is proposing to bring the majority of Lot 3 and Lot 4 into compliance with the current landscape standards. However, where improvements are more costly and/or not as easily achievable, such as existing building construction, setback, and parking, the applicant is requesting to capture the nonconformities as permitted through the new PD.

The applicant is proposing to meet all of the requirements outlined within the Lakefront (LF) District, with the following deviations:

- General District Standards.
 - o Block Face Requirements
 - o Residential at-grade frontage does not provide sufficient landscaping
- Building Standards:
 - Exterior Façade Materials, allowing increased stucco
 - Windows and glazing, allowing lesser glazing percentages
 - Residential at-grade: no primary entry from the sidewalk and a solid stone patio fence
 - Nonresidential at-grade: ceiling heights below required minimum and no awning or canopy
- Parking Requirements
 - o single-purpose reserved parking
 - o 9 feet by 20 feet parking spaces
 - o no electrical vehicle infrastructure provided
 - o insufficient bicycle rack capacity and location
- Landscape Requirements
 - o foundation planting requirements to be met through provision of outdoor amenities
 - o weeping willows requested as allowed plant material
 - o the ground mechanical equipment for Lot 3 not screened
 - o parking lot landscape islands not provided every 8 spaces at minimum
 - o shared dumpsters between Lot1R and Lot 3
 - o dumpster enclosure screening and wall height

The purpose of the Lakefront District is to establish a pedestrian-oriented lakefront to serve as the civic and cultural center of the Town. The following section will list all the divisions of the Lakefront District, specifically outlining how the proposed development deviates from the current standards.

Lakefront District Development Standards.

General District Standards.

Building and Land Use. It is intended that allowed uses will encourage pedestrian-oriented mixed-use projects that are well integrated with retail and residential activities. *The proposed new condo development and existing uses comply with the intent.*

Block Face. It is intended that building walls should be continuous along block faces to create a strong

edge to the street and contribute to creating an attractive and active pedestrian environment, with allowance for some limited variation and opportunities for outside dining, pocket parks and special building entry features. Buildings should also be constructed close to the street to provide a sense of enclosure. While most of the requirements of this section are met by both the existing and proposed new development, one of the requirements states that block face shall be located within 15 feet of the right-of-way, with an allowance for 80% maximum variation. The existing commercial amusement Building A was developed under the Light Commercial (LC) District standards and does not meet this requirement. The applicant is requesting to capture the existing Building A and proposed Building C street setback at varying depths as proposed on the Site Plan. Relocating existing Building A is not a reasonable expectation, therefore Staff is generally supportive of this request in order to provide consistency with the existing building frontage.

Streets. It is the intent that public and private streets and accessways provide a framework that will facilitate the movement of pedestrians and autos in an attractive environment, and provide for incremental long-term revitalization and redevelopment of parcels to meet changing market sector needs. The development plans comply with the requirements of this section.

Streetscape and landscape. It is the intent to both encourage and require streetscape and landscaping that reinforces the lakefront character and creates comfortable pedestrian environments and lower summer ambient temperature by shading sidewalks, parking areas and drive lanes. While most of the requirements of this section are met by both the existing and proposed new development, one of the requirements of this section specifically addresses residential at-grade frontages. A minimum of 5 feet of landscaping is required between the edge of sidewalk and the primary building façade. *The applicant is requesting to capture the proposed Building C as shown on the site plan, without the required landscaping.* Staff believes the requirement to provide at least 5 feet of landscaping between the sidewalk and the residential at-grade frontage is important in order to meet the intent of the LF District and there is opportunity to utilize the proposed patio space to meet this requirement.

Buildings.

Intent. It is intended that commercial spaces are designed and constructed in a manner that allows flexibility to accommodate a range of uses over time in order to avoid the need to demolish and rebuild for successive uses. Buildings should directly contribute to the attractiveness, safety and function of the street and public areas. Buildings that accommodate retail at-grade should feature the retail activity over the building's architecture. Buildings should be constructed in a manner, and with materials, that are highly durable and will continue to endure and be attractive over a long time, especially adjacent to public and pedestrian areas.

General building configuration. The proposed new condo development and existing uses comply with the intent of this section.

Building Standards. This section addresses various components such as building form, architectural features, exterior façade materials, colors, and specific treatment of residential, and nonresidential uses at-grade. While the proposed PD complies with most of these requirements, several items do not.

For architectural features, the requirements that are not being met are as follow:
Each building and separate lease space at-grade along the street edge shall have a functioning primary entry from the sidewalk, inset from the front building plane by at least three feet.

Building A does not currently meet these requirements and will be captured as part of this PD.

The applicant is requesting to waive this requirement and not provide an inset for the entries to Building C.

For exterior materials, the requirements that are not being met are as follow: Primary facades, those exterior walls that are clearly visible from the street, excluding windows, doors, and other openings, shall be constructed of at least 80 percent group A materials, brick or stone, and up to 20 percent group B materials, stucco. The Buildings A and B comply with this

requirement. No elevations were provided for the expansion of Building B, therefore it is unclear what design or materials are being proposed. The applicant is requesting to increase group B material allowance for proposed Building C to 24% on the North elevation, 22% on the West elevation, and 31% on the East elevation.

For residential at-grade, the requirements that are not being met are as follow: All buildings which have residential unit floor plates within six feet of grade shall include a primary front door entrance into the unit which may be accessed from the sidewalk. The entry shall be located a minimum of two feet above the sidewalk elevation and include a minimum 24 square foot stoop. Balcony and patio railings and fences shall be largely transparent. *The applicant is requesting to waive these requirements and not provide a primary front door from the sidewalk for the at-grade residential unit and a solid stone patio wall on the front of Building C.*

For nonresidential at-grade, the requirements that are not being met are as follow: Have a minimum clear height of 16 feet between finished floor and the bottom of the structure above. Have an awning or canopy which extends at least six feet over the sidewalk for at least 75 percent of the frontage on any portion of the primary façade. Building A meets these requirements. Building B does not meet these requirements and will be captured as part of this PD. For Building C the applicant is requesting to waive this requirement and provide just below 14 feet between finished floors, without an awning for the retail space.

In general, Staff does not believe the submitted façade plans for proposed Building C offer the unique or interesting architectural features or elements that would directly contribute to the attractiveness of the street and enhance the pedestrian environment as intended by this section. Staff believes there is opportunity to enhance the proposed Building C design and material quality, improve the garage door design due to visibility off the street, provide 16-foot high ceilings at-grade for, provide an awning across the retail space frontage, inset the entries as required, and construct the residential unit at-grade in a way that activates the frontage of this building, instead of blocking it off by a stone wall.

Parking and Accessibility.

The intent of this section is to support the creation of shared, convenient and efficient parking in order to create an active and vibrant mixed-use environment and enable visitors to access the different offerings within the LF District in a pedestrian and bicycle-friendly environment. The intent of this section specifically discourages against designating and reserving parking spaces for specific single-purposes. *The submitted development plans show all parking spaces being reserved for specific tenants or uses, which does not align with the intent of this section.*

Vehicle Parking. While the proposed development plans comply with most of the requirements of this section, one of the standards states that all off-street surface parking shall be located at least 15 feet behind the front facade of the building which faces on a street or public open space. Building A does not currently meet this requirement, and will be captured as part of this PD. For Building C the applicant is requesting to waive this requirement and provide parking along the street in order to provide continuity with the existing Building A frontage. Staff is generally supportive of this request. While the proposed development plans show all three sites as providing a sufficient number of parking spaces overall, as mentioned above, reserving spaces for specific uses does not align with the shared parking across property lines within the LF District. Staff believes all parking spaces, aside from those specifically required for the residential component, should be unassigned.

Bicycle Parking. The LF District requires bicycle racks to be provided, located within 50 feet of an entrance to the building. Currently, no bicycle racks are provided on site. Proposed Building C site plan provides a bicycle rack, however it does not appear to be able to accommodate 10 bicycles for the overall required parking spaces for all three lots, nor are these racks located within 50 feet of a building entrance. *The applicant is requesting to modify and waive these requirements.* Given the uses on this site, Staff is generally supportive of the request to provide 8 bicycle racks instead of 10,

however, Staff believes it is important to locate these racks in a clearly visible location, closer to a building entrance.

In general, as a commercial property, the existing and proposed developments are required to provide parking spaces at 10 feet by 20 feet and provide 5 designated parking spaces with electrical vehicle infrastructure. Currently, all parking spaces are provided at 9 feet by 20 feet, which was the standard at the time of development. The applicant is requesting to provide 9 feet by 20 feet parking spaces with Building C in order to maintain consistency throughout the sites. The applicant is requesting a waiver for the required electrical vehicle infrastructure. While Staff is generally supportive of the request to maintain the parking space sizing for consistency, Staff believes there is a need for all new developments to provide electrical vehicle infrastructure accommodation.

<u>Lighting and Mechanical.</u> While not directly indicated on the development plans, the applicant does not request any specific waivers from this section of the LF District. Language will be added to the PD Narrative indicating this section will be fully met. Compliance will be confirmed at the time of the site development review process, prior to obtaining a construction permit.

Landscape.

Landscaping within the LF District shall comply with the provisions in this section, the town's list of approved plant materials, and the standards contained within Article VI of the Town's general Zoning Ordinance. While the existing site and proposed development plans mostly comply with the requirements of this section, there are several items that are out of compliance, as listed below:

Foundation Planting. Foundation plantings or sidewalk tree gates are required for buildings or groups of contiguous buildings that are 5,000 square feet or larger. One large canopy tree 4 inch minimum caliper, shall be required for every one thousand square feet of gross building area. These trees shall be located within 20 feet of the face of the building. These plantings are intended to provide pedestrian areas while breaking up the large areas of impervious surface. *Existing Building A does not currently meet this requirement, and will be captured as part of this PD*. Existing Building B would not have been required to comply due to building size at the time of construction, but given the new expansion, Building B would now have to provide foundation planting. *The applicant is requesting to meet the foundation planting requirements through provision of outdoor amenities, in the form of a gazebo, a covered playground, a dog park, trail connection, and benches.* While staff is generally supportive of this request, the proposed benches need to be increased in number and located more appropriately, within the dog park area, by the playground, and along the trails and open spaces. Staff also believes it is appropriate for the applicant to provide samples of the type of furnishing, playground equipment, playground shade cover, and any other outdoor amenity in order to ensure quality product is memorialized as part of this PD.

Approved Plant List. The Town provides a list of approved plant species in an effort to ensure survivability of all new plantings in this particular region, as well as avoid any invasive species. Weeping Willows are not currently on the approved plant list. *The applicant is requesting to utilize weeping willows within the open space for Building C.* While Staff is generally supportive of this tree species within the context of this development, the landscape plans need to be updated to show the weeping willows within the legend.

Mechanical Equipment. All mechanical equipment shall be screened on all sides from public view at a point six feet above ground level at the property line. For ground-mounted equipment a solid evergreen hedge of sufficient height and density to screen equipment within 18 months of planting may be used if properly irrigated and maintained. *Building A does not currently meet this requirement and the applicant is requesting to waive the ground mechanical equipment screening requirement.*Staff believes that given the proposed site improvements for the entire subject property, there is opportunity to provide proper screening for the ground-mounted mechanical equipment.

Parking Lot Landscaping. One of the requirements of this section states that parking lots shall not

exceed 8 spaces in a row without being interrupted by a landscaped island (9-foot minimum). **All three lots do not comply with this requirement and the applicant is requesting a waiver for all three lots.** Staff believes that given the proposed site improvements for the subject property in its entirety, there is opportunity to provide a landscape island every 8 spaces with the required tree planting.

Dumpster Requirements. All new commercial lots are required to provide a double dumpster enclosure in order to accommodate a trash dumpster and recycling container. Trash dumpsters, recycling containers and other waste receptacles shall be screened with a clay-fired brick or stone wall of a color that is consistent with the color of the primary building, minimum 8-foot in height. Screening enclosures shall be visually and aesthetically compatible with the overall project. Currently Building A and Building B, share one single trash dumpster. The proposed development plans show a total of 3 double dumpster enclosures to be provided, however two of the enclosure are located on Lot 1R (Building C). The applicant is requesting a waiver to this requirement and an allowance to provide a shared dumpster agreement between Lot 3 and Lot 1R. The applicant is also requesting waiver to dumpster enclosure screening and wall height. While Staff is generally supportive of a shared dumpster agreement between the two lots, there is a need to include a drafted agreement within the PD documents in order to avoid any issues in the future. However, Staff believes that all screening must be met and all dumpster enclosure walls must be 8 feet in height.

<u>Sign Standards.</u> While not directly indicated on the development plans, the applicant does not request any specific waivers from this section of the LF District. Language will be added to the PD Narrative indicating this section will be fully met. Compliance will be confirmed at the time of sign permit review process, prior to obtaining any sign permits. Given the multiple lots and tenants, the overall development will be required to comply with the Town's current sign master plan requirements.

Fire. The fire department has reviewed and generally approved the proposed development plans for the purposes of the zoning request. This is not an approval of the plans for actual construction.

Comprehensive Plan. The future land use of this area is identified as Lakefront District. The proposed uses and development concepts would not significantly conflict with the overall vision for this area.

Recommended Action

While the proposed development falls within the vision for future land use in this area, the property owner is requesting a significant number of deviations from the Town's development standards with the justification that the limited buildable area and height restriction on this property present challenges to developing the site to fully comply with all of the requirements and still be financially feasible.

Development standards exist in order to ensure quality and longevity of development. Developments built right now will ultimately guide the interest, quality, and value of future development in the area. Without a true downtown area, the Lakefront District serves as the Town's cultural, civic, and entertainment center, while also striving to provide a mix of appropriate housing opportunities within the context of these visions. For this reason, development that takes place within the Lakefront District is always reviewed more closely and held to a higher standard, as witnessed through the Lakefront District. Therefore, Staff's goal is to consistently encourage all developers to provide the highest and best uses, the most unique architecturally attractive design, and overall high-quality development that would continue to activate the corridor and encourage future high-quality development.

The subject property has gone through several different requests and processes over the last six years, with the most recent PD request for the mixed-use condo Building C submitted back in 2020. At that time, Staff and Council had several concerns and while the request was subsequently withdrawn, a Development Agreement was drafted, although also withdrawn, in an effort to capture some of the outstanding items. For the most part, the overall design and layout of the proposed Building C, mixed-use condo development, has not changed since initial submittal in 2020. In the meantime, the Town, and this corridor especially, has experience tremendous growth over the last few years, and Staff believes that there is a need to

continuously improve and enhance development design based on current times, market trends, and overall locational context. Staff believes that the proposed building and site design could be significantly improved from what was initially proposed over 6 years ago, in an effort to better align with current visions and new area development.

While this property poses some limitations due to flood plain constraints, there is still certain flexibility in site design when such development occurs on mostly greenfield sites. Staff also has concerns given some of the challenges that had to be overcome while working with the applicant, as the property owner and developer, of the existing two buildings on the subject property. As a result, there is a significant list of considerations Staff believes must be addressed if the applicant is wanting to move forward with the proposed development.

That being said, if all of the considerations are addressed and proper commitments made, Staff would be amenable to working through some of the more minor waiver requests as a trade-off for an otherwise enhanced site, landscape, and building design, with high quality, unique building aesthetic, and a development that could encourage continued exceptional development of the Lakefront District. At this time however, there is a significant list of outstanding considerations and Staff is not comfortable supporting the request even conditionally.

Staff believes that the following items are important in order to ensure the proposed development is properly executed and fits into the long-term vision for this area.

PD Narrative

Every PD request in the Town is required to provide a PD Narrative that outlines exactly what is being proposed, what development standards are being followed, how the development varies from the base zoning or typical requirements of the Town, and include all the relevant exhibits that capture the concept and the aesthetic of the proposal. Everything is essentially wrapped in a neat and straight forward package. A sufficient PD Narrative has not been provided. Staff believes that if the Commission considers supporting this PD request, that a sufficient PD Narrative be required prior to Council.

Previous Development Agreement

Staff believes that the conditions of the previously drafted but withdrawn Development Agreement from 2021 are still valid, and could serve as safeguards for the Town with regard to ensuring quality development, inside and out. Staff believes that a new Development Agreement should be drafted and the following conditions carried over:

- All development plans and associated renderings and documents to be captured as part of the DA
- Shared access and use agreement for the dumpsters on Lot 1R.
- Formation of a Condominium Association.
- Minimum ceiling heights for second and third floor to be at minimum 10 feet.
- Signage that reference Condominiums.
- Accessory Structures proposed accessory structures within this District shall be reviewed at
 the discretion of the Development Services Director. Appeals to the Director's decision shall go
 before the Planning & Zoning Commission, appeals to the Commission's decision shall go before
 Town Council for final consideration.
- Future Building & Construction Permits -
 - Interior layouts and finishes associated with the PD as previously provided, showing stainless steel appliances, granite counter tops, and specific style and brand lighting and plumbing fixtures and hardware, to be captured as the proposed brand and quality or higher.
 - Future construction and building permit applications are subject to meeting relative International Codes and Engineering Design Standards, as amended.
 - Potential changes to plans may also be subject to additional review and approval by USACE and/or TXDOT.

Development Plans Clean Up

In general, there are still some discrepancies and typos within the plans in terms of consistency, labeling, and accuracy of the Site Data Table. All plan pages need to be cleaned up and relay the same consistent message.

District Standards

Streetscape and Landscape for Residential At-Grade.

Staff believes the requirement to provide at least 5 feet of landscaping between the sidewalk and the residential at-grade frontage is important in order to meet the intent of the LF District and there is opportunity to utilize the proposed patio to meet this requirement.

Buildings.

In general, Staff does not believe the submitted façade plans for proposed Building C offer the unique or interesting architectural features or elements that would directly contribute to the attractiveness of the street and enhance the pedestrian environment as intended by this section. Staff believes there is opportunity to enhance the proposed Building C design and material quality, improve the garage door design due to visibility off the street, provide 16-foot high ceilings at-grade for, provide an awning across the retail space frontage, inset the entries as required, and construct the residential unit at-grade in a way that activates the frontage of this building, instead of blocking it off by a stone wall.

Staff also recommends that, if no elevations are to be provided with the request, language should be included within the PD Narrative to ensure that the expansion of the daycare facility not only follows the design standards within the LF District but also matches the existing building.

Parking and Accessibility.

While the proposed development plans show all three sites as providing a sufficient number of parking spaces overall, as mentioned above, reserving spaces for specific uses does not align with the shared parking across property lines within the LF District. Staff believes all parking spaces, aside from those specifically required for the residential component, should be unassigned. Staff also believes the applicant should provide the required 5 spaces with electrical vehicle charging station infrastructure.

This requirement does not take up room on the site as it utilizes existing parking spaces, and does not require the property owner to actually provide the charging stations, just provide the infrastructure necessary to install these stations in the future. This item is important because it promotes sustainability and encourages new developments to more into the future of the growing demand for innovative vehicle options.

Landscaping.

While staff is generally supportive of the request to meet the foundation planting requirement through the provision of outdoor amenities, the proposed benches need to be increased in number and located more appropriately, within the dog park area, by the playground, and along the trails and open spaces. Staff also believes it is appropriate for the applicant to provide samples of the type of furnishing, playground equipment, playground shade cover, and any other outdoor amenity in order to ensure quality product.

While Staff is generally supportive of weeping willow to be allowed within the context of this development, the landscape plans need to be updated to show the weeping willows within the legend.

Staff believes that given the proposed site improvements for the entire subject property, there is opportunity to provide proper screening for the ground-mounted mechanical equipment.

Staff believes that given the proposed site improvements for the subject property in its entirety, there is opportunity to provide a landscape island every 8 spaces with the required tree planting.

While Staff is generally supportive of a shared dumpster agreement between the two lots, there is a need to include a drafted agreement within the PD documents, as mentioned in the previous DA, in order to avoid any issues in the future. However, Staff believes that all screening must be fully met and all dumpster enclosure walls must be 8 feet in height.

Residential Amenities.

Staff believes that in order to ensure the longevity of the residential units, as well as to provide the best quality of life standards for future residents, the proposed Building C mixed-use condo development should provide appropriate indoor amenities, such as a gym, an event space, a shared office space, and/or a rooftop deck, garden, or pool.

Tree Mitigation

Prior to obtaining approval of the requested PD, the applicant must fully address the outstanding tree mitigation requirements.

Staff believes that if the Planning and Zoning Commission considers support of this item, the proposal should be amended in order to accommodate the above items before proceeding to Town Council.

As presented, Staff does not support the request at this time but is willing to continue working with the applicant in an effort to improve the request. Staff recommends that the Planning and Zoning Commission review and evaluate this request based on the impact and suitability of the proposed development within the context of the existing area, current development, and the significance of the development standards from which the applicant is requesting to vary, as well as how the proposed development would benefit the Town and the Lakefront District overall.

Attachments

Location Map PD Exhibits





PD: 22-1632 Lakeshore Plaza

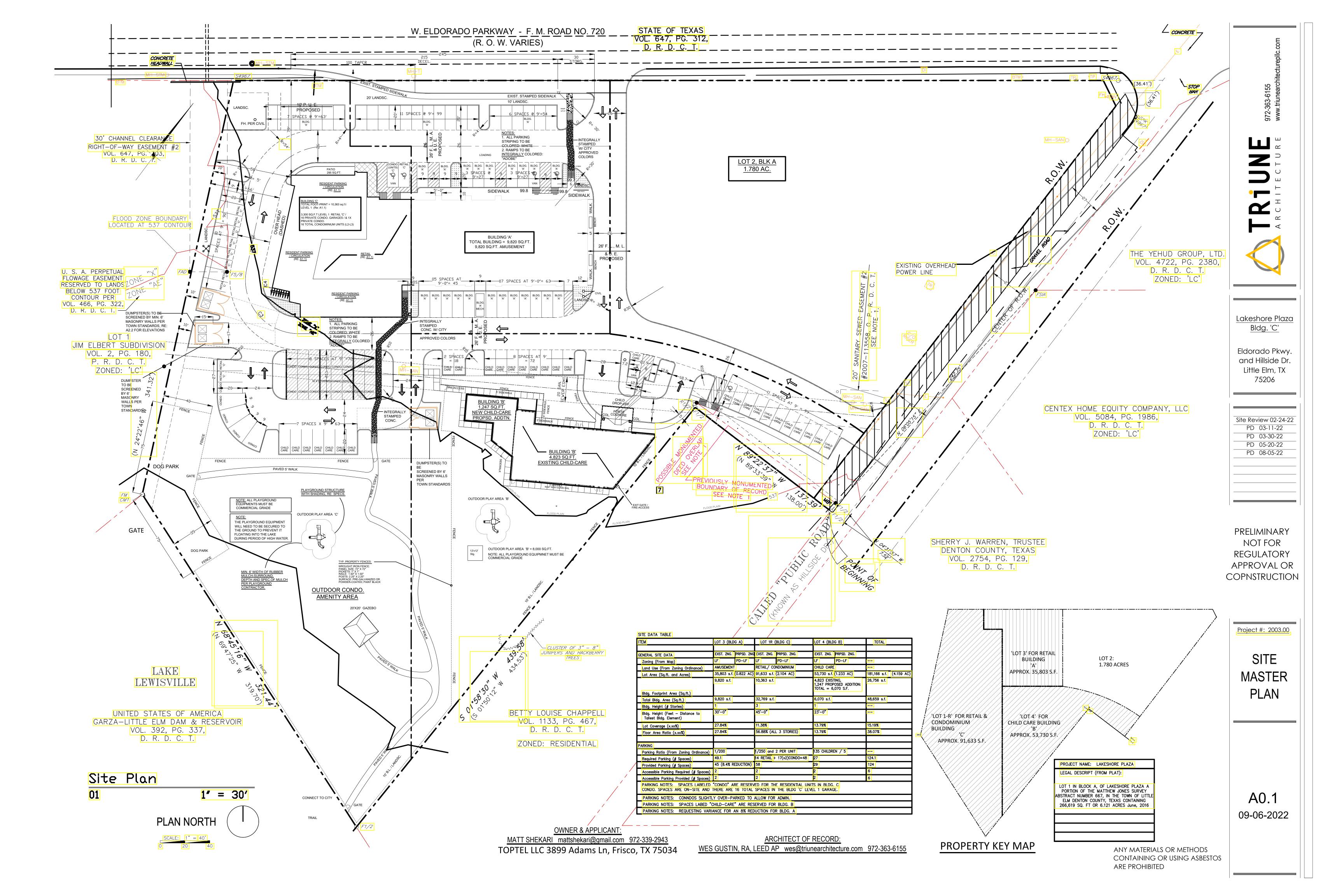
0 0.02 0.04 0.08 Miles



Town of Little Elm Denton County, Tx

Date: 9/12/2022

This product is to be used for graphical representation only. The accuracy is not to be taken/used as data produced for engineering purposes or by a Registered Professional Land Surveyor for the State of Texas. For this level of detail, supervision and certification of the produced data by a Registered Professional Land Surveyor for the State of Texas would have to be performed. Town of Little Elm and its members assume no responsibility for the accuracy of said data.



Eldorado Pkwy. and Hillside Dr. Little Elm, TX

PRELIMINARY NOT FOR REGULATORY

APPROVAL OR

COPNSTRUCTION

Project #: 2003.00

Level 1 Overall Floor Plan

PLAN NORTH (

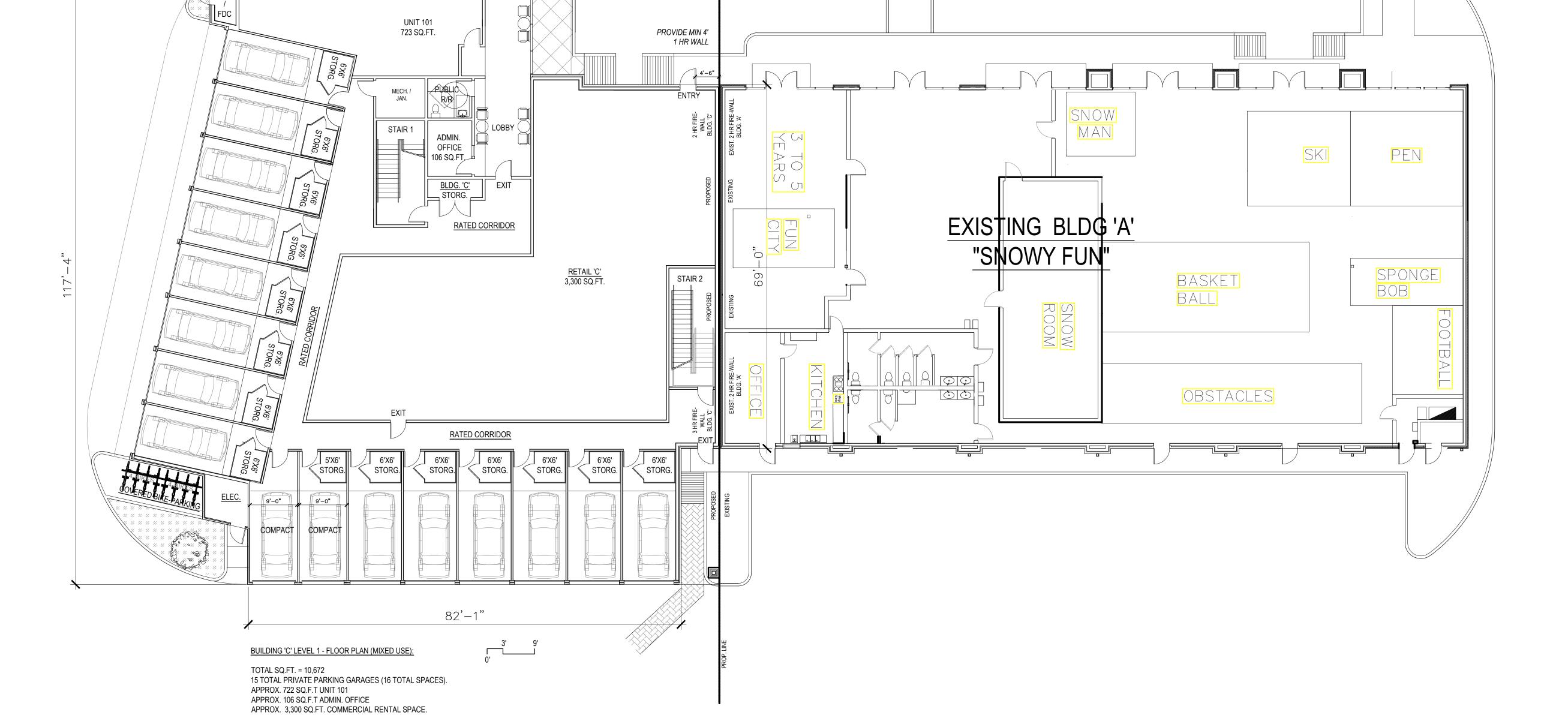
96'-9"



<u>Level 1 — Overall</u> 3/32" = 1'-0"

ANY MATERIALS OR METHODS CONTAINING OR USING ASBESTOS

ARE PROHIBITED



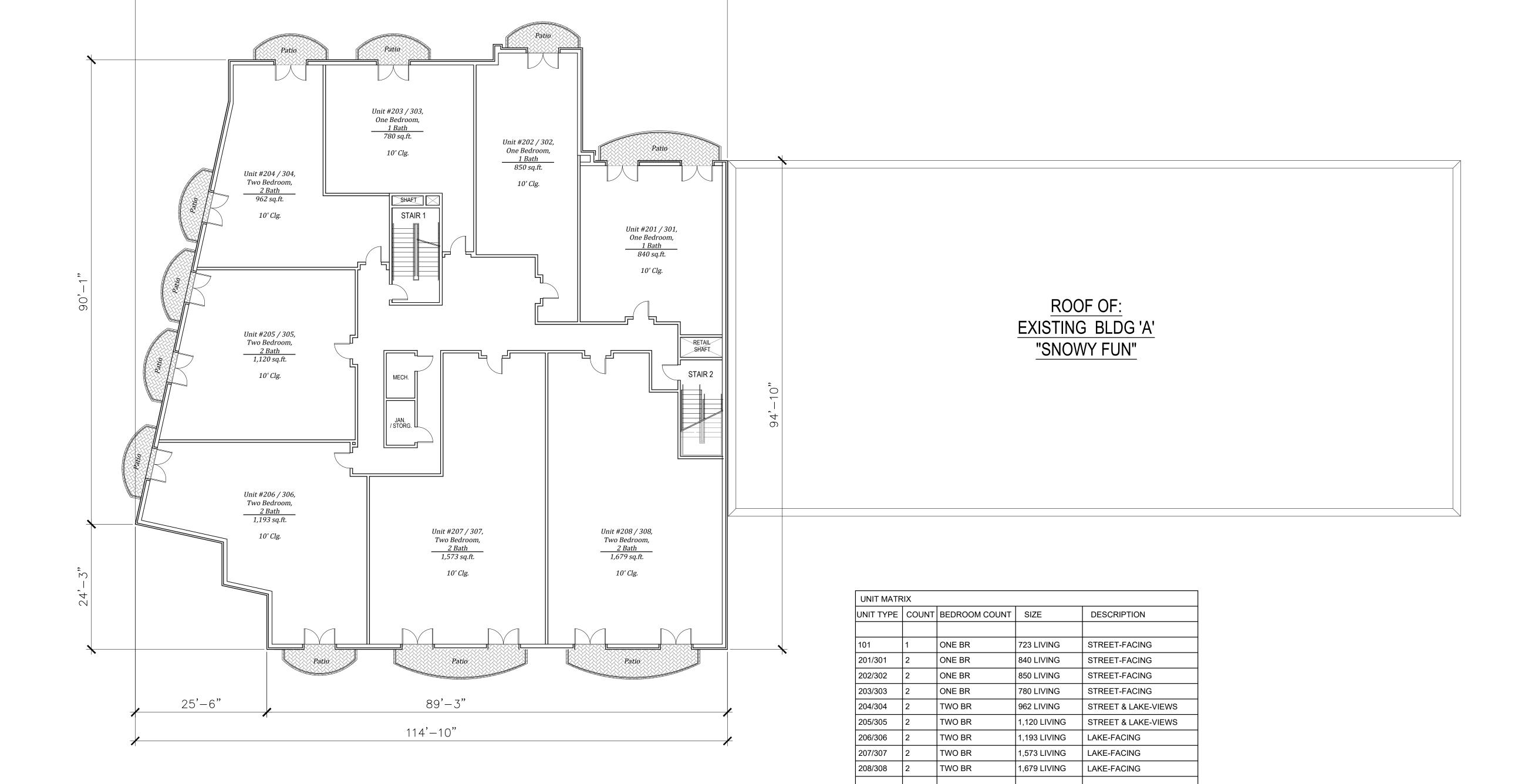
Eldorado Pkwy. and Hillside Dr. Little Elm, TX 75206

PRELIMINARY NOT FOR REGULATORY APPROVAL OR COPNSTRUCTION

Project #: 2003.00

Level 2 & 3

A1.2



Level 2 & 3 01

BUILDING 'C' LEVEL 2,3 - FLOOR PLAN (LIVING UNITS):

GRAND TOTAL SQ.FT. = 11,259 (NOT INCLUDING PATIOS)

3/32" = 1'-0" PLAN NORTH

114'-9"

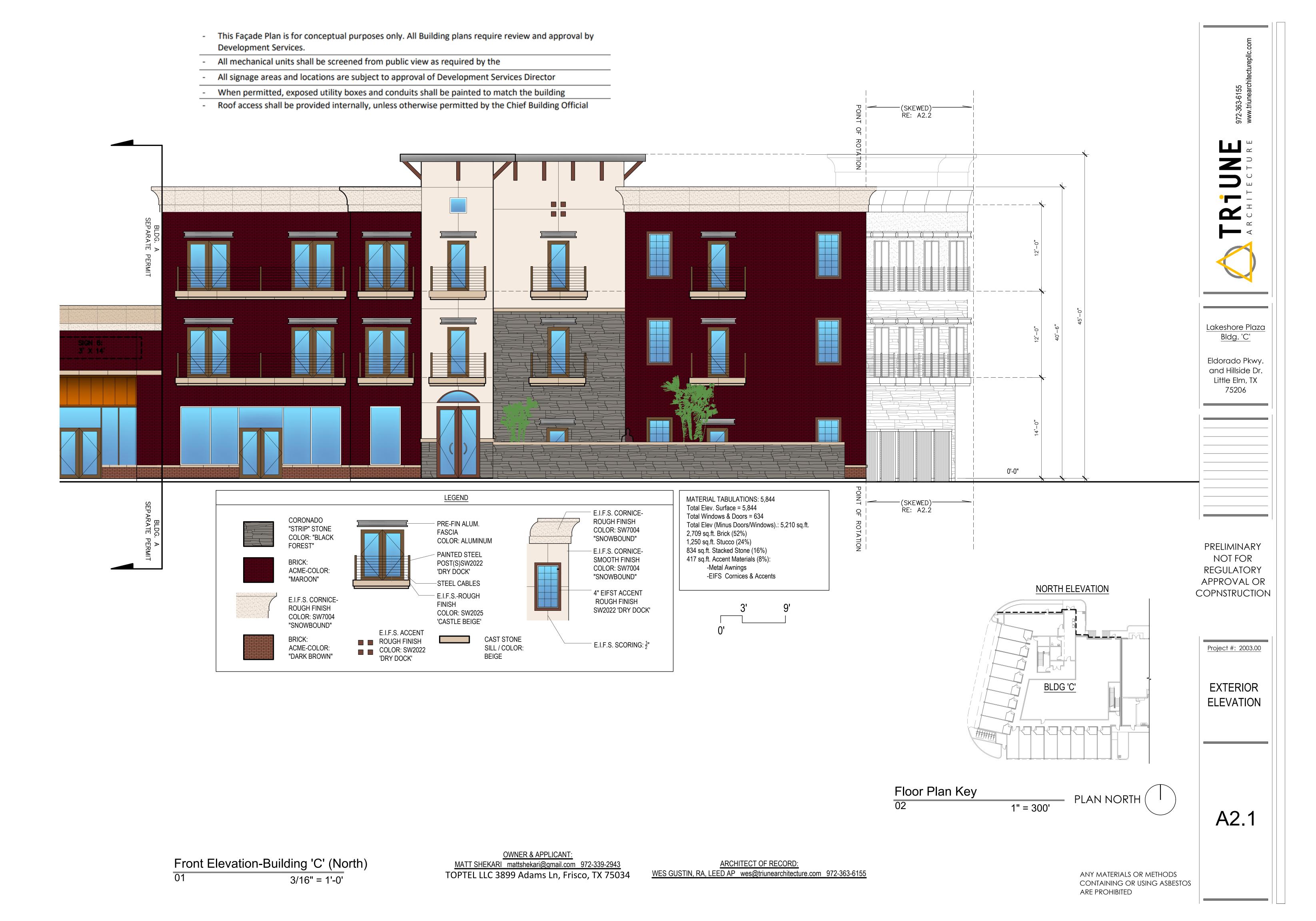
OWNER & APPLICANT:

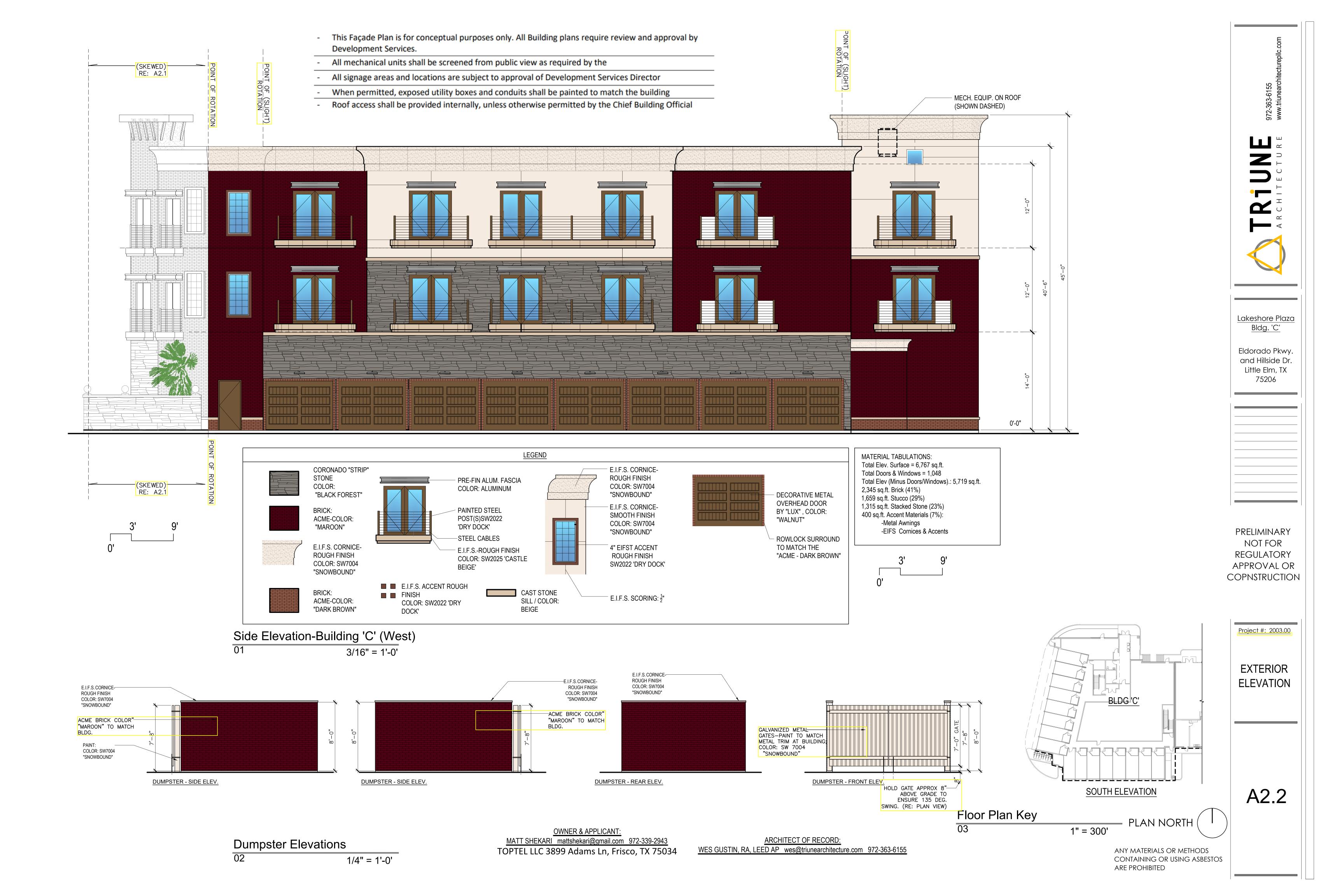
MATT SHEKARI mattshekari@gmail.com 972-339-2943

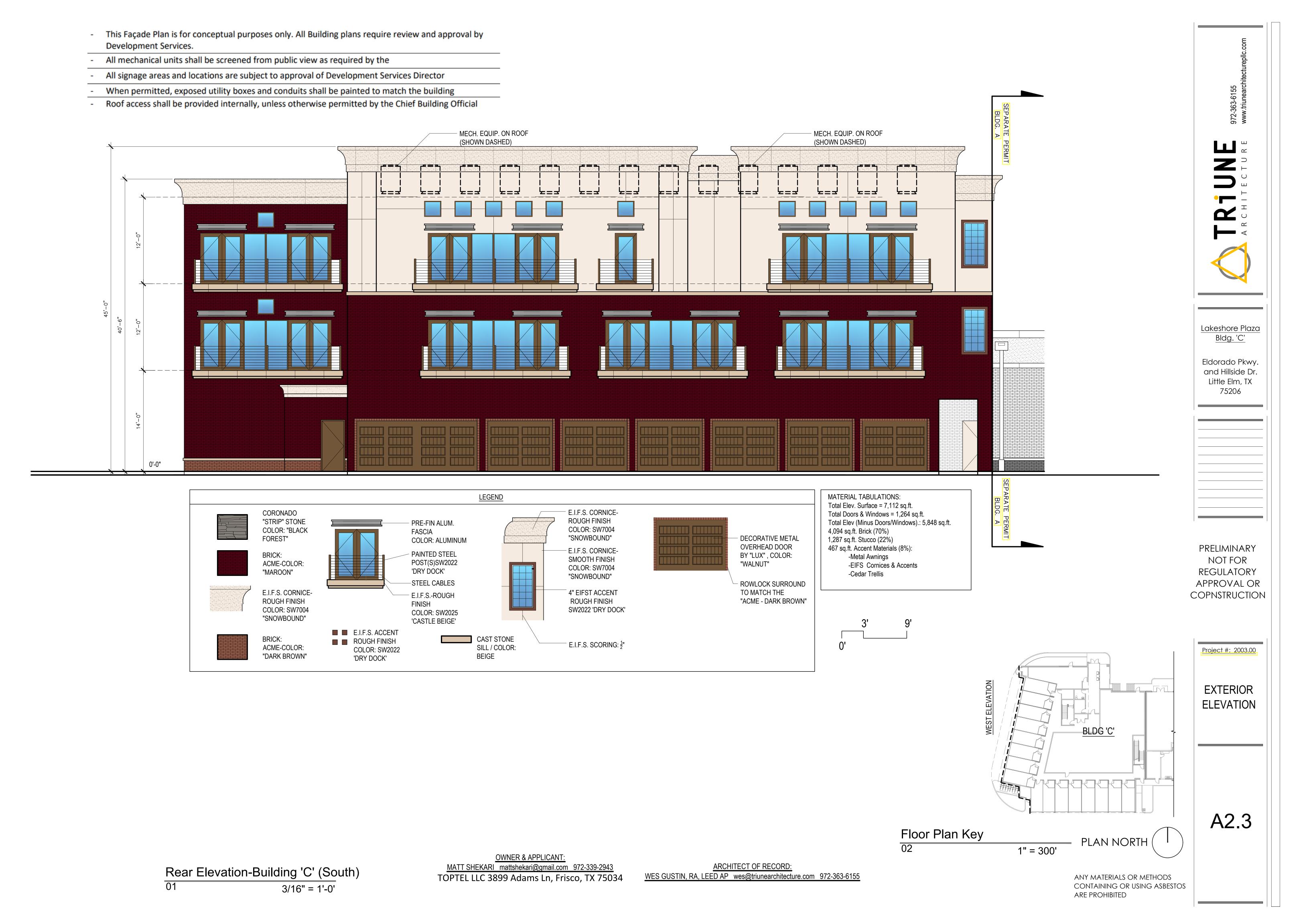
TOPTEL LLC 3899 Adams Ln, Frisco, TX 75034

ARCHITECT OF RECORD:
WES GUSTIN, RA, LEED AP wes@triunearchitecture.com 972-363-6155

TOTAL







Eldorado Pkwy. and Hillside Dr. Little Elm, TX

PRELIMINARY NOT FOR REGULATORY APPROVAL OR COPNSTRUCTION

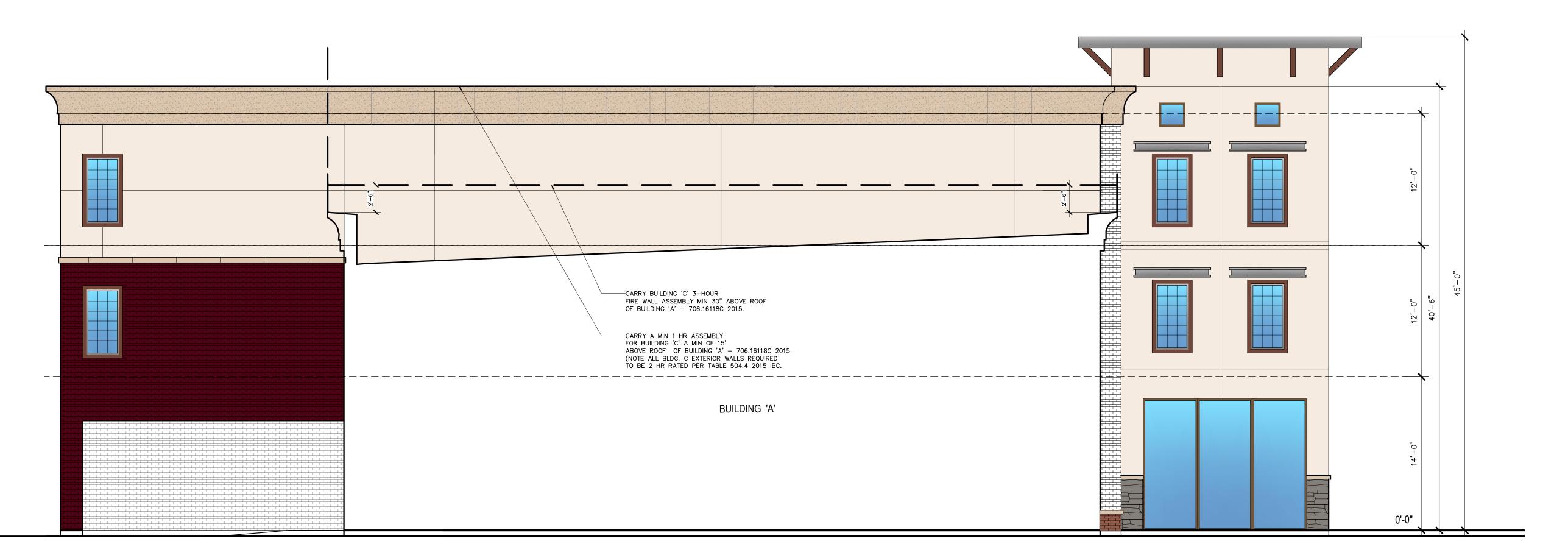
Project #: 2003.00

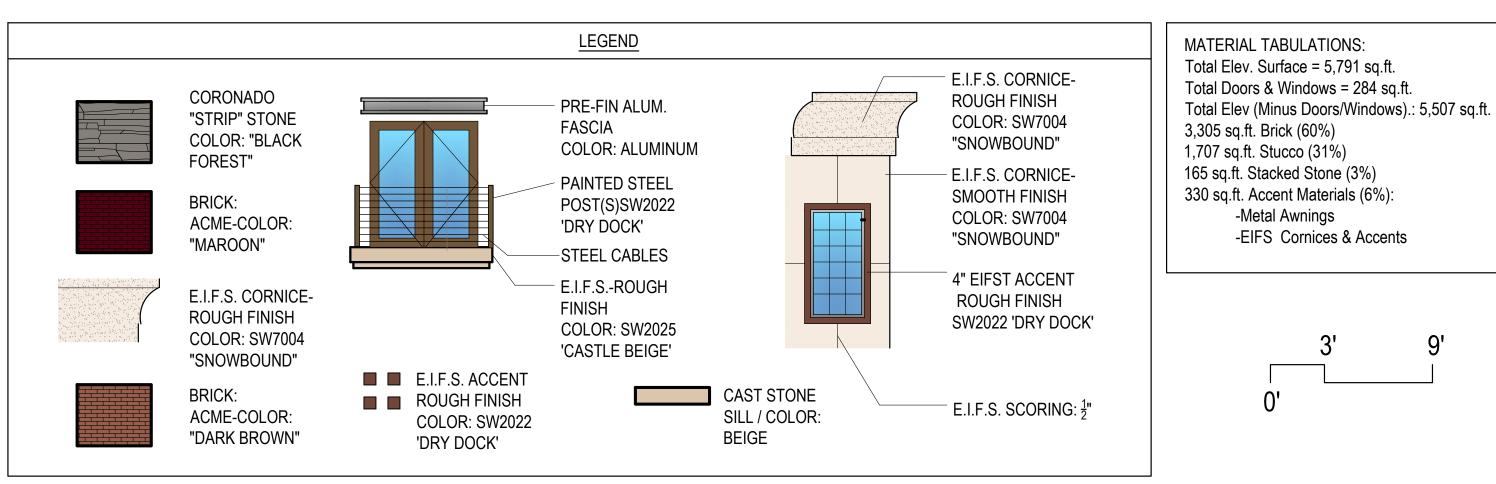
EXTERIOR

ELEVATION

A2.4

- This Façade Plan is for conceptual purposes only. All Building plans require review and approval by Development Services.
- All mechanical units shall be screened from public view as required by the
- All signage areas and locations are subject to approval of Development Services Director
- When permitted, exposed utility boxes and conduits shall be painted to match the building
- Roof access shall be provided internally, unless otherwise permitted by the Chief Building Official





BLDG 'C'

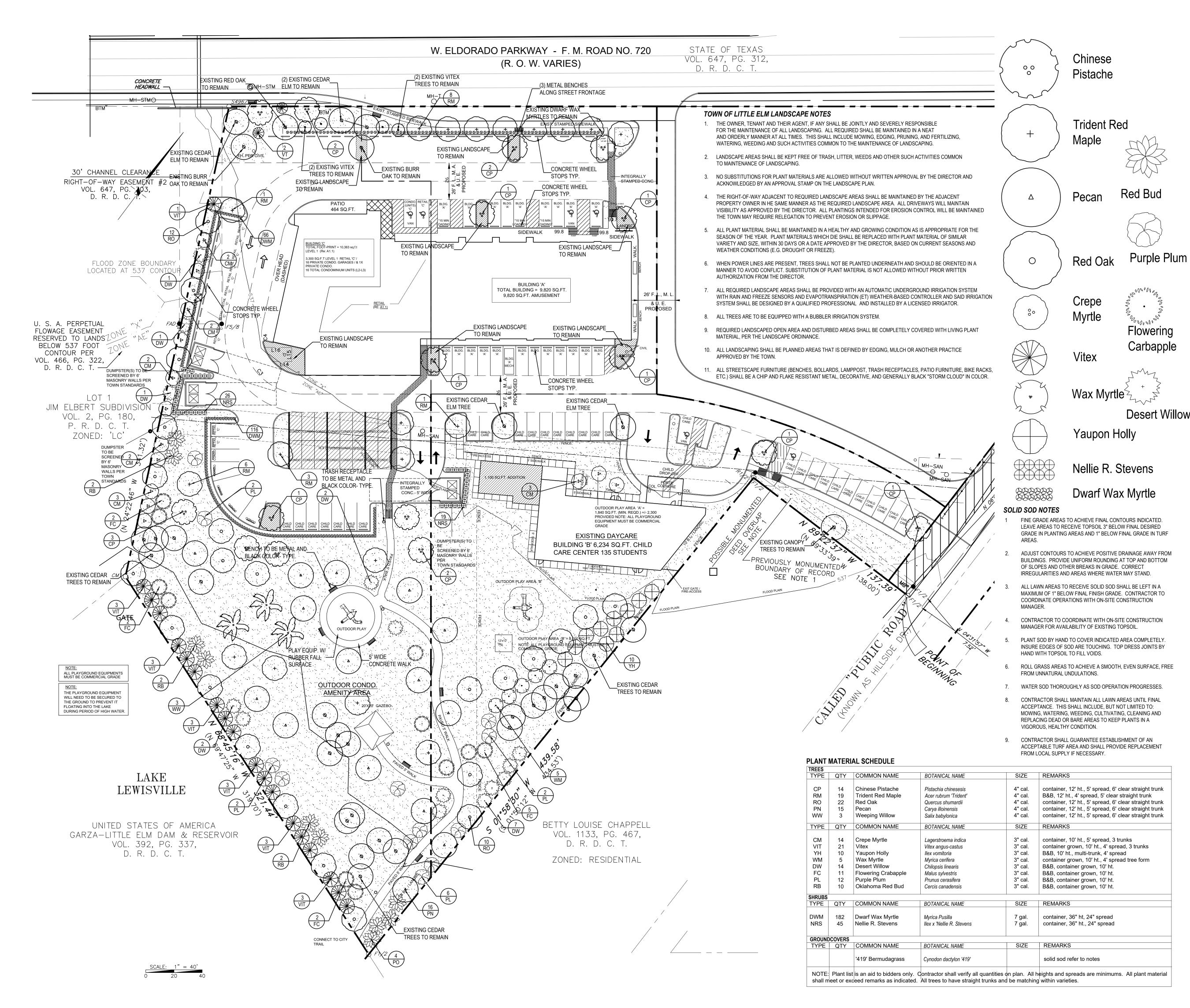
Floor Plan Key PLAN NORTH (1" = 300'

OWNER & APPLICANT: MATT SHEKARI mattshekari@gmail.com 972-339-2943 TOPTEL LLC 3899 Adams Ln, Frisco, TX 75034

ARCHITECT OF RECORD: WES GUSTIN, RA, LEED AP wes@triunearchitecture.com 972-363-6155

Side Elevation-Building 'C' (East) 3/16" = 1'-0'

ANY MATERIALS OR METHODS CONTAINING OR USING ASBESTOS ARE PROHIBITED



LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- 2. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- 3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
- 4. CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- 5. ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR
- 6. ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
- 7. ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

GENERAL LAWN NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- 8. ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- 4. IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES,

CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.

- 5. ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
- 6. ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION
- Desert Willow 7. Contractor shall provide (1") one inch of imported topsoil on all areas to receive lawn.

LANDSCAPE TABULATIONS

SITE TREE REQUIREMENTS

Requirements: 10% of gross vehicular area to be landscaped. (1) tree per 400 s.f. of required landscaped area. Total Area: (181,166 s.f.)
Vehicular Area: (62,031 s.f.)

Required Provided 6,203 s.f. (10%) 7,882 s.f. (13%)

Required Provided

(16) trees

Requirement: All parking spaces must be located within 70' of large canopy tree. One (1) tree per island and One island for every (10) spots.

(48) trees

(10) 3" cal. ornamental trees

PERIMETER LANDSCAPE REQUIREMENTS

Requirements- Vehicular screening is required from public R.O.W and abutting properties.

Provided Public R.O.W. Frontage- (304 l.f.) 1 large tree per 20 l.f. of street frontage

Required Provided
16 trees 10 proposed trees- 4" cal.

4 existing trees- 4" cal.

6 ornamental trees (2 proposed, 4 ex.)

Landscape buffers between properties- 844 l.f.
1 large tree per 25 l.f. and 3 ornamental per 5 large trees required

in perimeter buffer areas.

Required: Provided:

(34) trees (32) trees + (4) existing (102) ornamental trees (85) ornamental trees + (17) existing

Perimeter vehicular screening provided with 36" ht. evergreen

Provided

LANDSCAPE DESIGN OPTIONS 25 POINTS REQUIRED

Enhanced Streetscape Elements (Benches) - 5 points
Enhanced hardscape (crosswalks are concrete pavers) - 5 points
Enhanced site canopy - 5 points
Open Space Greater than Required (20%+) - 5 points
Use of shaded/outdoor seating (Gazebo) - 5 points

Total points = 25.00

FOUNDATION PLANTING

4 metal trash receptacles

In place of foundation planting the following is proposed Play-set with rubber fall surface 5' concrete perimeter walk 6 metal benches

SHEET NAME: LANDSCAPE PLAN

A

RE

HORE

S

AKE

ISSUE:

DATE:

07.28.2022

CITY COMMENTS 07.08.2022

CITY COMMENTS 07.28.2022

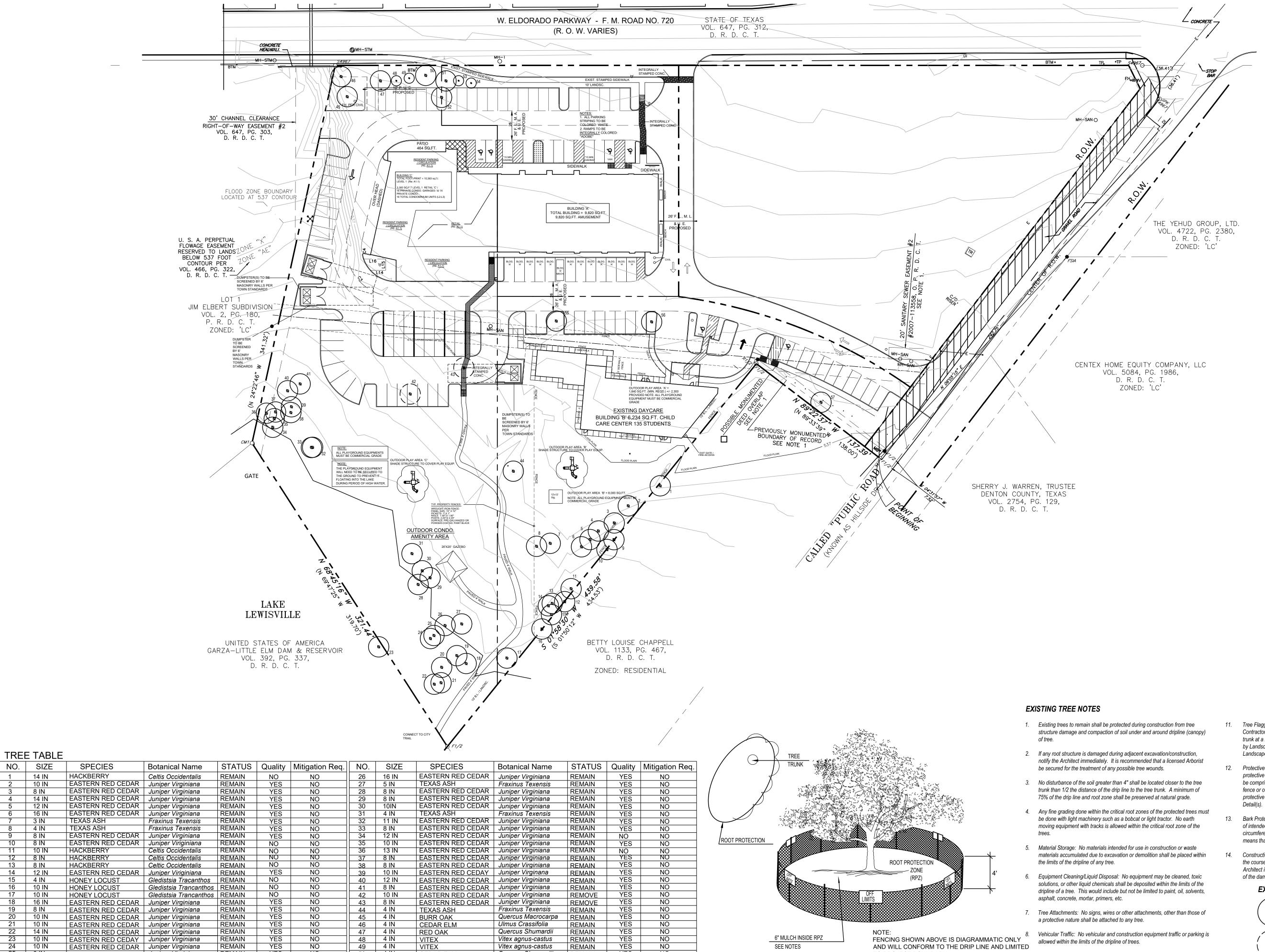
SHEET NUMBER:

1 2

01 LANDSCAPE PLAN
SCALE 1"=30'-0"

LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1784 W. McDERMOTT DR.
SUITE 110
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM





Vitex agnus-castus

Vitex agnus-castus

Quercus Shumardii

Quercus Shumardii

Vitex angus-castus

Ulmus Crassifolia

Ulmus Crassifolia

Ulmus Crassifolia

Quercus Macrocarpa REMAIN

CEDAR ELI

CEDAR ELM

BURR OAK

CEDAR ELM

CEDAR ELN

CEDAR ELI

4 IN

4 IN

4 IN

REMAIN

REMAIN

REMAIN

REMAIN

REMAIN

REMAIN YES

REMAIN YES

YES

Vitex agnus-castus REMAIN YES

REMAIN

25 8 IN EASTERN RED CEDAR Juniper Virginiana

REMAIN YES

YES

REMAIN YES NO

LANDSCAPE ARCHITEC STUDIO GREEN SPOT, INC 1784 W. McDERMOTT DR. SUITE 110 ALLEN, TEXAS 75013



(469) 369-4448

AKESHORE

11. Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4') feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.

12. Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4') foot approximate height. The protective fencing will be located as indicated on the Tree Protection

- 13. Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with lumber encircled with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).
- Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.

EXISTING TREE LEGEND

FENCING SHOWN ABOVE IS DIAGRAMMATIC ONLY

TO PROJECT BOUNDARY

(01) TREE PROTECTION FENCE A

AND WILL CONFORM TO THE DRIP LINE AND LIMITED

allowed within the limits of the dripline of trees.

. Boring of Utilities: May be permitted under protected trees in certain

circumstances. The minimum length of the bore shall be the width of the

tree's canopy and shall be a minimum depth of forty-eight (48") inches.

10. Trenching: Any irrigation trenching which must be done within the critical root

zone of a tree shall be dug by hand and enter the area in a radial manner.

EXISTING TREE TO REMAIN

EXISTING TREE TO BE REMOVED

TREE PROTECTION FENCING TO REMAIN DURING CONSTRUCTION REFER TO 01/L1.00

SHEET NUMBER: 02 TREE PRESERVATION PLAN

DATE:

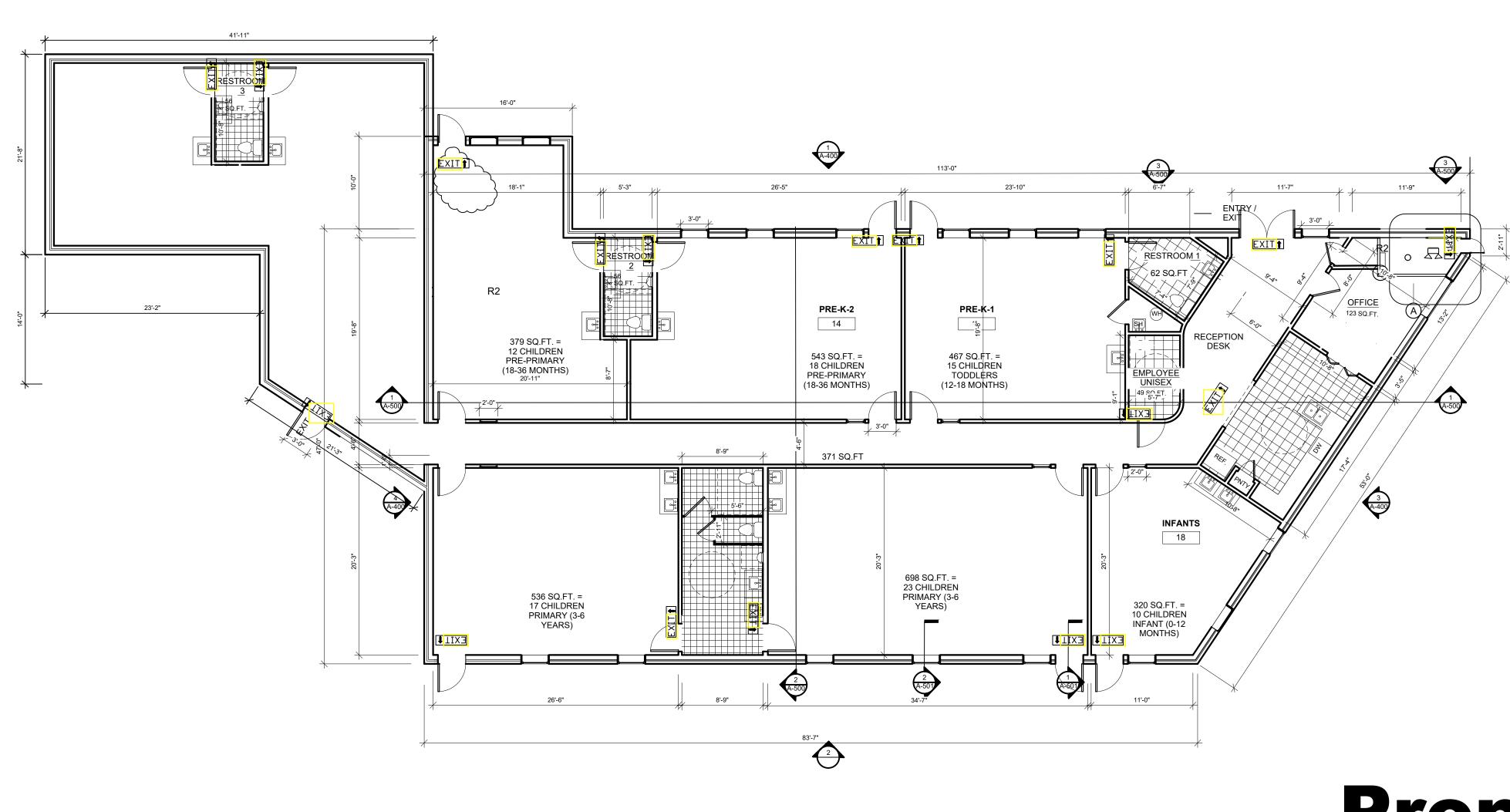
07.28.2022

SHEET NAME:

TREE PRESERVATION PLAN

ISSUE:

FOR APPROVAL 07.28.2022



Proposed Floor plan

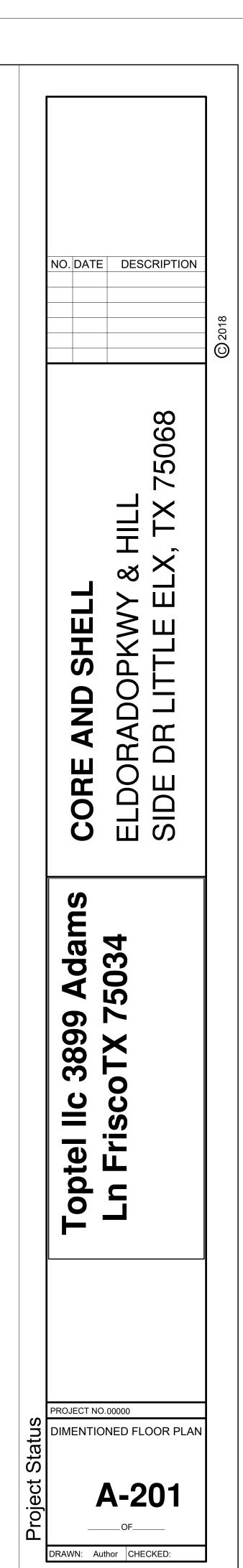
FLOOR PLAN GENERAL NOTES

- 1. ATTENTION ALL USERS OF THESE DRAWINGS, GENERAL CONTRACTORS, SUB-CONTRACTORS, MANUFACTURERS AND SUPPLIERS: CAREFULLY AND THOROUGHLY REVEIW THESE GENERAL NOTES .IT IS YOUR RESPONSIBILITY TO KNOW AND ADHERE TO THESE REQUIREMENTS .IF CONFLICT OCCURS, CONTACT ARCHITECT PRIOR TO COMMENCEMENT OF WORK
- 2. EVERY EFFORT HAS BEEN MADE TO MAKE THESE DOCUMENT CONCISE AND COORDINATED, TO DEFINE WORK IN THE MOST LOGICAL PLACE AND TO ELIMINATE REDUNDANCY, DO NOT PRESUME THAT YOUR SCOPE OF WORK IS DEFINED THROUGHOUT THE ENTIRE SET OF DRAWINGS AND SPECIFICATIONS. YOU MUST REVIEW THE ENTIRE SET OF CONTRACT DOCUMENTS TO DETERMINE YOUR SCOPE OF WORK. NO ADDITIONAL COST SHALL BE ACCESSED TO THE OWNER FOR NOT UNDERSTANDING SCOPE OF WORK. IF CONFLICT OCCURS, CONTACT THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- SEE THE PROJECT GENERAL NOTES LOCATED IN THE G-SERIES DRAWINGS
 DIMENSION SHOWN FOR INTERIOR WALLS/PARTITION ARE FROM FACE OF GYPSUM BOARD, OR CENTER OF COLUMN .EXTERIOR WALL DIMENSIONS ARE FROM FACE OF STUD AND/OR END OF STRUCTURAL SLAB U.N.O...SEE ENLARGED FLOOR PLANS FOR THR ADDITIONAL DIMENSIONS NOT INDICATED ON OVERALL DIMENTIONED PLANS
- 6. CONTRACTOR SHALL CROSS REFERENCE ALL SHEETS FOR WINDOW TYPES . ALL ALL HINGE SIDE DOOR JAMBS SHALL BE 5" FROM ADJACENT INTERSECTION,U.N.O
- 7. WINDOW TYPES MAY NOT APPEAR ON FLOOR PLANS
- 8. REFERENCE PLUMBING PLAN FOR FLOOR DRAINS.
- 9. FOR KITCHEN EQUIPMENT PLAN AND FOOD SERVICE EQUIPMENT/FURNITURE REFERENCE(K) SHEETS PROVIDED FROM FOOD SERVICE EQUIPMENT COMPANY /SUPPLIER /DESIGN/INSTALLATION.

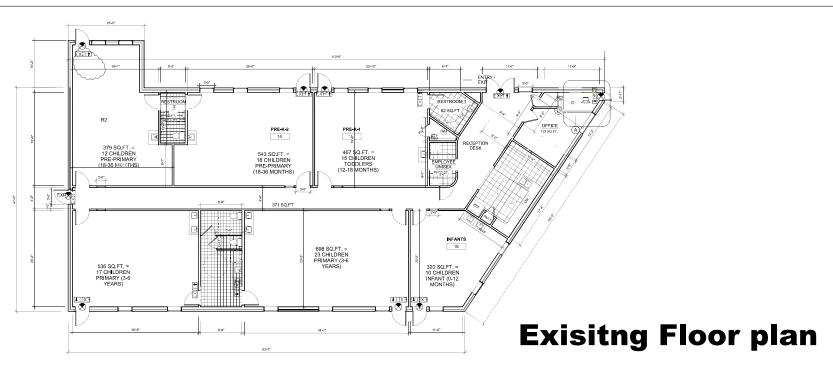
CHILD CARE
AT LAKESHORE PLAZA, LITTLE ELM,
BUILDING "B"
ONE-STORY, WOOD-FRAMED
6070 SQ.FT.
TOTAL OCCUPANCY= 128

PROJECT NORTH

FLOOR PLAN



S-2.021



FLOOR PLAN GENERAL NOTES

- ATTENTION ALL USERS OF THESE DRAWINGS, GENERAL CONTRACTORS, SUB-CONTRACTORS, MANUFACTURERS AND SUPPLIERS. CAREFULLY, AND THOROUGHLY, REVIEW THESE GENERAL NOTES. IT IS YOUR RESPONSIBILITY TO KNOW AND ADHERE TO THESE REQUIREMENTS IF CONFLICT COLURS, CONTRACT ARCHITECT PRIOR TO COMMENCEMENT OF
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CHILD CARE AT LAKESHORE PLAZA, LITTLE ELM, BUILDING "B" ONE-STORY, WOOD-FRAMED 4 850 SQ FT TOTAL OCCUPANCY= 128

FLOOR PLAN



NO. DATE DESCRIPTION

TX 75068 ELDORADOPKWY & HILL SIDE DR LITTLE ELX, TX CORE AND SHEL

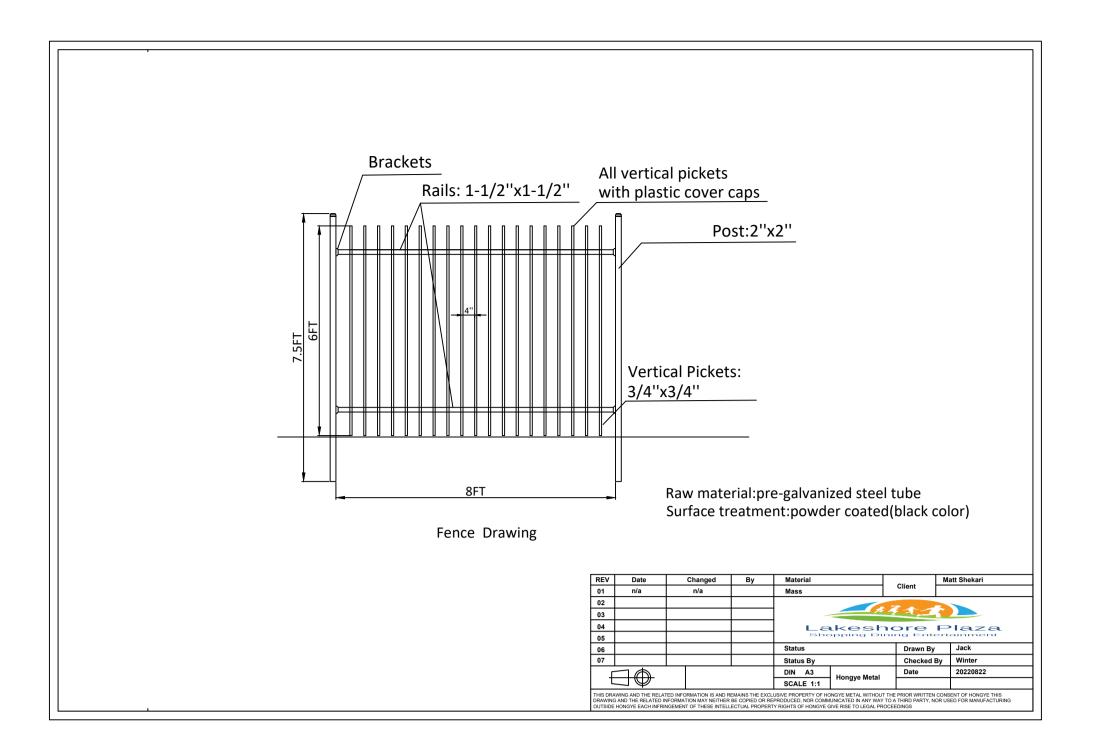
Adams Toptel IIc 3899 Adar Ln FriscoTX 75034

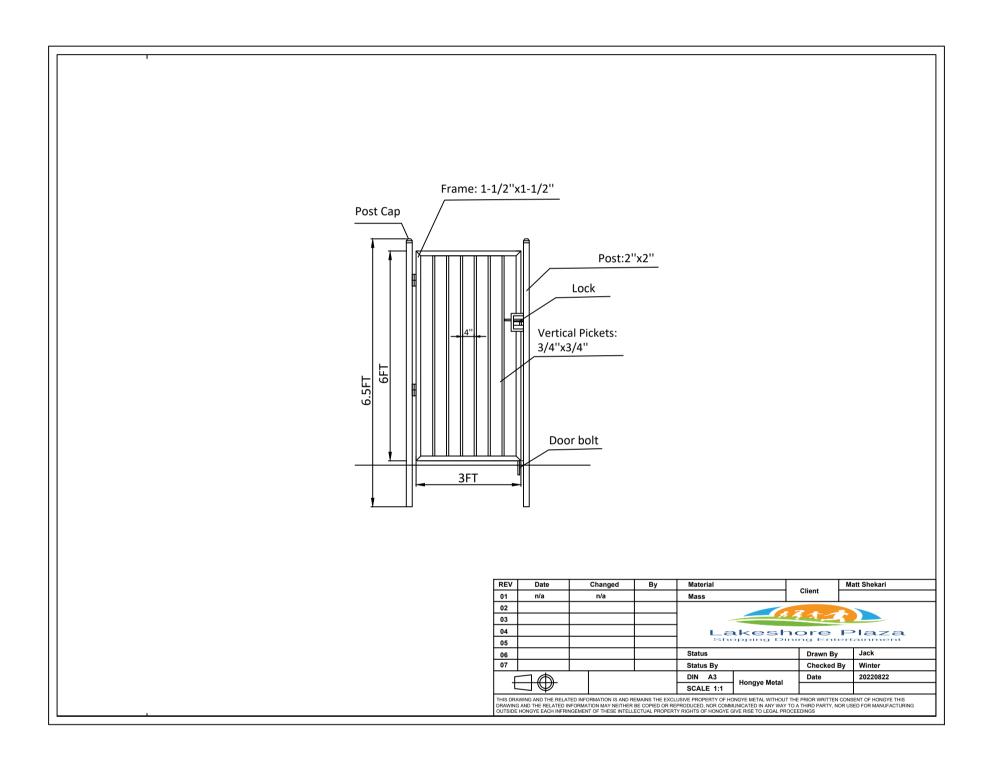
ROJECT NO.00000 DIMENTIONED FLOOR PLAN

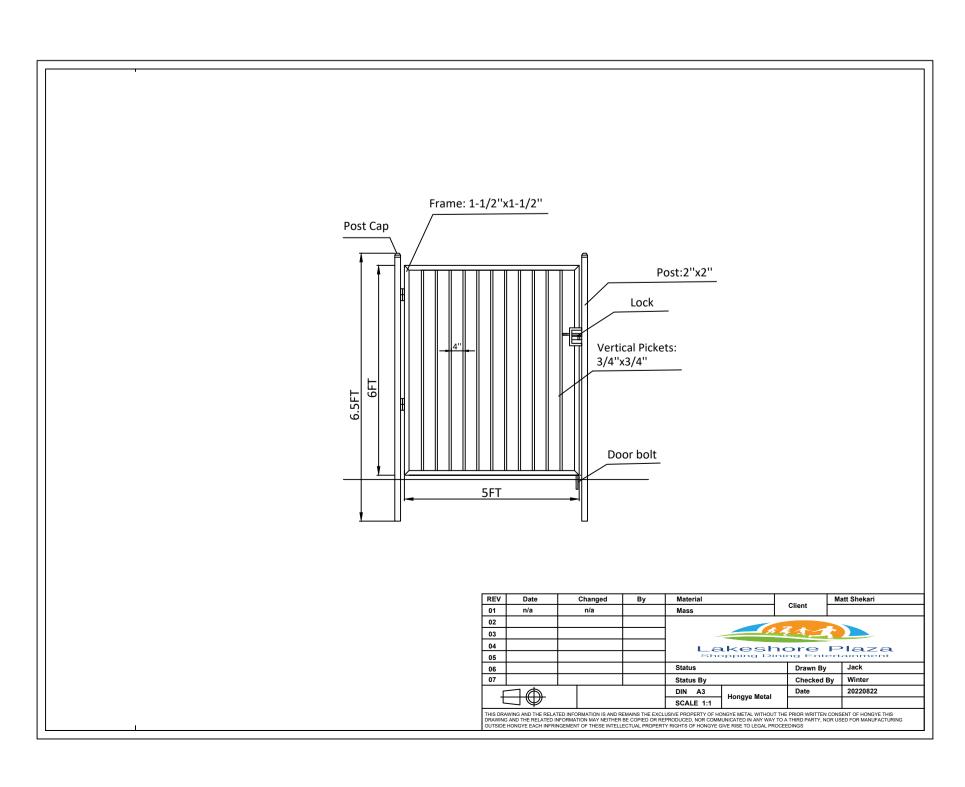
A-201

S-2.021

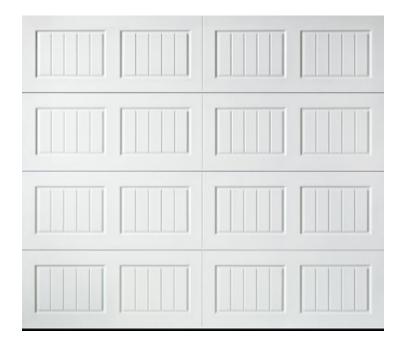
PROJECT NORTH













Colors









MAHOGANY (MY)‡





WICKER TAN (WK) SANDTONE (ST)



WALNUT (NT)‡

Amarr steel doors are pre-painted; for custom colors, exterior latex paint must be used.

Visit amarr.com for instructions on painting. Actual paint colors may vary from samples shown.

‡ Price upcharge applies.





36-inch Wide Side-by-Side Counter

Depth Refrigerator with StoreRight™

Dual Cooling System—23 cu. ft.



1.7 cu. ft. Microwave Hood Combination with Electronic Controls



4.8 Cu. Ft. Freestanding Electric Range with FlexHeat™ Dual Radiant Element





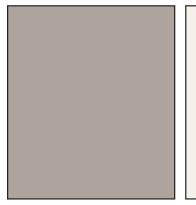
Heavy-Duty Dishwasher with 1-Hour Wash Cycle

Note: Subject to change based on availability

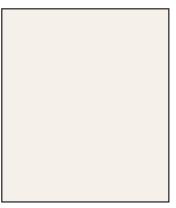
COLOR PALETTE

FLOORING

LIGHTING FIXTURES



WALL SHERWIN WILLIAMS **FUNCTIONAL GREY**



TRIM SHERWIN WILLIAMS ALABASTER



ACCENT SHERWIN WILLIAMS **URBANE BRONZE** *REFERENCE ONLY NOT USED IN UNIT



LVT NUCORE LIGHT GRAY PLANK



CARPET SHAW FLOORS

BATH



CEILING FAN KITCHLER 330002NI OUR HOME III - DOWNTOWN VASSAR 52" BRUSHED NICKEL



FIRE RATED RECESSED **CAN FIXTURE** RP LIGHTING

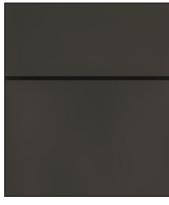


ISLAND ACCENT LIGHTING ELAN LIGHTING 84021-ZIN 9.75" HANGING GLOBE

LIGHTING FIXTURES



BATH/VANITY LIGHT AFX LIGHTING-CHARLOTTE LED VANITY 4.5"H x 3.375"W x 41.25"



MANHATTAN SLAB SLATE



#1600-96 CKP BRAND LINEAR - BRUSHED NICKEL

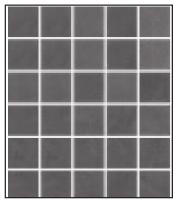


GRANITE COUNTERTOP MSI STONE **LUNA PEARL**



WALL TILE FLORIDA TILE - EDGE CARBON - BRICK LAY

KITCHEN



SHOWER FLOOR TILE FLORIDA - EDGE MOSAIC **CARBON**



BATH FAUCET MOEN GENTA SINGLE-HANDLE



BATH SINK KOHLER CAXTON RECTANGLE UNDERMOUNT

BATH



FRAMED MIRROR QUIOZEL LOCKPORT 24X36 BRUSHED NICKEL



HARDWARE TOWEL RACK/RING **BRUSHED NICKEL**



MANHATTAN SLAB SLATE



HARDWARE #1600-96 CKP BRAND LINEAR - BRUSHED NICKEL



GRANITE COUNTERTOP MSI STONE LUNA PEARL



BACKSPLASH FLORIDA -PIECE OF MIND



KITCHEN FAUCET KOHLER SIMPLCE

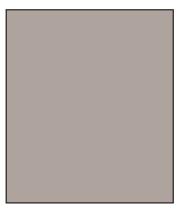


KITCHEN SINK KOHLER VAULT BALANCE BEIGE - 11.75X11.75 SINGLE-HANDLE - BRUSHED DUAL-MOUNT - STAINLESS

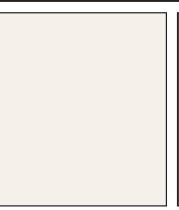
COLOR PALETTE

FLOORING

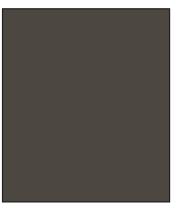
LIGHTING FIXTURES



WALL SHERWIN WILLIAMS **FUNCTIONAL GREY**



TRIM SHERWIN WILLIAMS **ALABASTER**



ACCENT SHERWIN WILLIAMS **URBANE BRONZE** *REFERENCE ONLY NOT USED IN UNIT



LVT NUCORE LIGHT GRAY PLANK



CARPET SHAW FLOORS

BATH



CEILING FAN KITCHLER 330002NI OUR HOME III - DOWNTOWN VASSAR 52" BRUSHED NICKEL



FIRE RATED RECESSED **CAN FIXTURE RP LIGHTING**



ISLAND ACCENT LIGHTING KITCHLER 43853NI 10"W x 9.25" H BRUSHED NICKEL

LIGHTING FIXTURES



BATH/VANITY LIGHT AFX LIGHTING-CHARLOTTE LED VANITY 4.5"H x 3.375"W x 41.25"



MANHATTAN SLAB MATTE WHITE



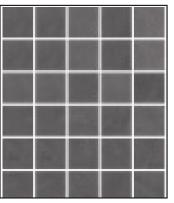
HARDWARE #489-3 CKP BRAND LINEAR - BLACK



GRANITE COUNTERTOP REPUBLIC ELITE WHITE ROSE



WALL TILE FLORIDA - STREAMLINE ARCTIC MATTE - BRICK LAY



SHOWER FLOOR TILE FLORIDA - EDGE MOSAIC CARBON



BATH FAUCET DELTA TRINSIC SINGLE-HANDLE



BATH SINK KOHLER CAXTON RECTANGLE UNDERMOUNT

BATH

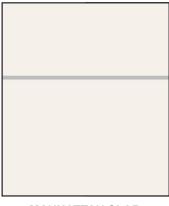
KITCHEN



FRAMED MIRROR QUIOZEL LOCKPORT 24X36 BRUSHED NICKEL



HARDWARE TOWEL RACK/RING **BLACK**



MANHATTAN SLAB MATTE WHITE



HARDWARE #489-3 CKP BRAND LINEAR - BLACK



GRANITE COUNTERTOP REPUBLIC ELITE WHITE ROSE



BACKSPLASH FLORIDA -PEACE OF MIND



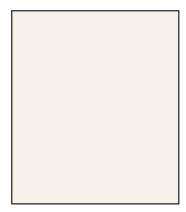
KITCHEN FAUCET KOHLER SIMPLCE BALANCE BEIGE 11.75X11.75 SINGLE-HANDLE - BRUSHED DUAL-MOUNT - STAINLESS



KITCHEN SINK KOHLER VAULT

'LAKESHORE COTTAGE #1'- LIGHT CABINETS, LIGHT COUNTER, WHITE/BLACK CONTRASTS **COLOR PALETTE FLOORING**

*FINISHES AND FIXTURES ARE SUBJECT TO CHANGE BASED ON AVAILABILITY LIGHTING FIXTURES



WALL SHERWIN WILLIAMS ALABASTER

LIGHTING FIXTURES



TRIM SHERWIN WILLIAMS ALABASTER



ACCENT SHERWIN WILLIAMS INKWELL *REFERENCE ONLY NOT USED IN UNIT



LVT NUCORE COFFEE OAK PLANK



CARPET SHAW FLOORS OUR HOME III - SUNBLEACHED

BATH



CEILING FAN KITCHLER 330002WH 52" VASAR CEILING FAN WHITE



FIRE RATED RECESSED **CAN FIXTURE** RP LIGHTING



ISLAND ACCENT LIGHTING ANP LIGHTING W516-BLC BLACK SHADE 16" PENDANT



BATH/VANITY LIGHT KITCHLER 45458OZ 14.75"W x 10" H BRONZE



SHAKER MATTE WHITE



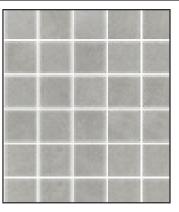
HARDWARE #55277 AMEROCK PULL GOLDEN CHAMPAGNE



GRANITE COUNTERTOP REPUBLIC ELITE WHITE ROSE



WALL TILE FLORIDA - STREAMLINE ARCTIC MATTE - BRICK LAY



SHOWER FLOOR TILE FLORIDA - EDGE MOSAIC SILVER



BATH FAUCET DELTA TRINSIC SINGLE HOLE - CHAMPAGNE RECTANGLE UNDERMOUNT



BATH SINK KOHLER CAXTON

BATH

KITCHEN



FRAMED MIRROR QUIOZEL LOCKPORT 24X36 ANTIQUE BRASS



HARDWARE TOWEL RACK/RING **BLACK BRONZE**



SHAKER MATTE WHITE



HARDWARE #55277 AMEROCK PULL **BLACK BRONZE**



GRANITE COUNTERTOP REPUBLIC ELITE WHITE ROSE



BACKSPLASH FLORIDA - PRECIOUS HDP CALACATTA - HERRINGBONE



KITCHEN FAUCET KOHLER SIMPLCE SINGLE-HANDLE - BLACK



KITCHEN SINK KOHLER VAULT **DUAL-MOUNT - STAINLESS**

COLOR PALETTE FLOORING LIGHTING FIXTURES

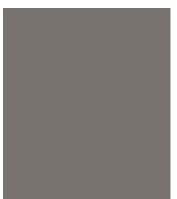


WALL SHERWIN WILLIAMS **REPOSE GRAY**

LIGHTING FIXTURES



TRIM SHERWIN WILLIAMS ALABASTER



ACCENT SHERWIN WILLIAMS SW GAUNTLET GRAY *REFERENCE ONLY NOT USED IN UNIT



LVT NUCORE COFFEE OAK PLANK



CARPET SHAW FLOORS OUR HOME III - SUNBLEACHED

BATH



CEILING FAN KITCHLER 330002WH 52" VASAR CEILING FAN WHITE



FIRE RATED RECESSED **CAN FIXTURE RP LIGHTING**



ISLAND ACCENT LIGHTING KITCHLER 44217CLP INDUSTRIAL FRAMES PENDANT



BATH/VANITY LIGHT KICHLER 45973OZ AVERY 24"W x 9.25" H BRONZE



SHAKER SLATE



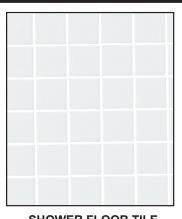
HARDWARE #55277 AMEROCK PULL **BLACK BRONZE**



GRANITE COUNTERTOP REPUBLIC ELITE WHITE ROSE



WALL TILE ERGON TREND GRAY-5X10



SHOWER FLOOR TILE FLORIDA-MOSAIC ART WHITE



BATH FAUCET DELTA TRINSIC SINGLE HOLE - CHAMPAGNE RECTANGLE UNDERMOUNT



BATH SINK KOHLER CAXTON

BATH KITCHEN



FRAMED MIRROR QUIOZEL LOCKPORT 24X36 ANTIQUE BRASS



HARDWARE TOWEL RACK/RING **BLACK**



SHAKER SLATE



HARDWARE #55277 AMEROCK PULL **BLACK BRONZE**



GRANITE COUNTERTOP REPUBLIC ELITE WHITE ROSE



BACKSPLASH FLORIDA TILE STREAMLINE DOVE GRAY-3X6



KITCHEN FAUCET KOHLER SIMPLCE SINGLE-HANDLE - BLACK



KITCHEN SINK KOHLER VAULT DUAL-MOUNT - STAINLESS