

STATE OF TEXAS §
 §
COUNTY OF DENTON §

**DEVELOPMENT AGREEMENT
FOR 217 EAST PARK DRIVE**

This Development Agreement for 217 East Park Drive (“**Agreement**”) is entered into between Jose Sanchez Correa and Maria del Carmen Sanchez, the property owners, (“**Developer**”), whose address for purposes of this Agreement is 217 East Park Drive, Little Elm TX 75068, and the Town of Little Elm, Texas (“**Town**”), whose address for purposes of this Agreement is 100 W. Eldorado Parkway, Little Elm, TX 75068. Developer and the Town are sometimes referred herein together as the “**Parties**” and individually as a “**Party**.”

Recitals:

1. Developer is the owner of .2369 acres generally located at 217 East Park Drive, on the west side of East Park Drive, approximately 400 feet south of Main Street, identified as Lot 13, Block 2 of the Frisco Park Estates, in the Town of Little Elm, Texas (the “**Property**”), which Property is more particularly described in **Exhibit A** attached hereto.

2. In furtherance of the development of the Property, the Parties have negotiated certain matters regarding the Property as set forth in this Agreement.

3. The Parties seek to memorialize these negotiated matters and to include them in this contractually-binding Agreement.

NOW, THEREFORE, for and in consideration of the above and foregoing premises, the benefits to each of the Parties from this Agreement, and other good and valuable consideration, the sufficiency of which is hereby acknowledged and agreed, the Parties do hereby agree as follows:

Section 1. Incorporation of Premises. The above and foregoing Recitals are true and correct and are incorporated herein and made a part hereof for all purposes.

Section 2. Term. This Agreement shall be effective as of the date of execution of this Agreement by the last of the Parties to do so (“**Effective Date**”). This Agreement shall remain in full force and effect from the Effective Date until terminated by the mutual agreement of all of the Parties in writing, or until all obligations in the Agreement have been fulfilled (“**Term**”).

Section 3. Agreements. The Parties agree as follows:

A. The negotiated and agreed upon development plans attached hereto as **Exhibit B**, which incorporate by reference the general zoning regulations of the Town’s zoning ordinance, are hereby adopted and incorporated into this agreement as contractually-binding obligations of the Developer.

Section 4. Miscellaneous.

A. **Applicability of Town Ordinances.** When the Property is developed, Developer shall construct all structures on the Property, in accordance with all applicable Town

ordinances and building/construction codes, whether now existing or arising prior to such construction in the future.

B. Default/Mediation. No Party shall be in default under this Agreement until notice of the alleged failure of such Party to perform has been given (which notice shall set forth in reasonable detail the nature of the alleged failure) and until such Party has been given a reasonable time to cure the alleged failure (such reasonable time determined based on the nature of the alleged failure, but in no event less than thirty (30) days after written notice of the alleged failure has been given). In addition, no Party shall be in default under this Agreement if, within the applicable cure period, the Party to whom the notice was given begins performance and thereafter diligently and continuously pursues performance until the alleged failure has been cured. If either Party is in default under this Agreement, the other Party shall have the right to enforce the Agreement in accordance with applicable law, provided, however, in no event shall any Party be liable for consequential or punitive damages. In the event of any disagreement or conflict concerning the interpretation of this Agreement, and such disagreement cannot be resolved by the signatories hereto, the signatories agree to submit such disagreement to non-binding mediation.

C. Venue. This Agreement and any dispute arising out of or relating to this Agreement shall be governed by and construed in accordance with the laws of the State of Texas, without reference to its conflict of law rules. In the event of any dispute or action under this Agreement, venue for any and all disputes or actions shall be instituted and maintained in Denton County, Texas.

D. Relationship of Parties. It is acknowledged and agreed by the Parties that the terms hereof are not intended to and shall not be deemed to create a partnership, joint venture, joint enterprise, or other relationship between or among the Parties.

E. Severability. In the event any one or more of the provisions contained in this Agreement shall for any reason be held to be invalid, illegal, or unenforceable in any respect, such invalidity, illegality, or unenforceability shall not affect other provisions, and it is the intention of the Parties to this Agreement that in lieu of each provision that is found to be illegal, invalid, or unenforceable, a provision shall be added to this Agreement which is legal, valid and enforceable and is as similar in terms as possible to the provision found to be illegal, invalid or unenforceable.

F. Cumulative Rights and Remedies. The rights and remedies provided by this Agreement are cumulative and the use of any one right or remedy by either Party shall not preclude or waive its right to use any or all other remedies. Said rights and remedies are given in addition to any other rights the Parties may have by law statute, ordinance, or otherwise. The failure by any Party to exercise any right, power, or option given to it by this Agreement, or to insist upon strict compliance with the terms of this Agreement, shall not constitute a waiver of the terms and conditions of this Agreement with respect to any other or subsequent breach thereof, nor a waiver by such Party of its rights at any time thereafter to require exact and strict compliance with all the terms hereof. Any rights and remedies any Party may have with respect to the other arising out of this

Agreement shall survive the cancellation, expiration or termination of this Agreement, except as otherwise expressly set forth herein.

G. Exhibits. All exhibits to this Agreement are incorporated herein by reference for all purposes wherever reference is made to the same.

H. Surviving Rights. Any of the representations, warranties, covenants, and obligations of the Parties, as well as any rights and benefits of the parties, pertaining to a period of time following the termination or expiration of this Agreement shall survive termination or expiration.

I. Applicable Laws. This Agreement is made subject to the existing provisions of the Charter of the Town of Little Elm, its present rules, regulations, procedures and ordinances, and all applicable laws, rules, and regulations of the State of Texas and the United States.

J. Authority to Execute. The undersigned officers and/or agents of the Parties hereto are the properly authorized persons and have the necessary authority to execute this Agreement on behalf of the Parties hereto.

K. Amendments. This Agreement may be only amended or altered by written instrument signed by the Parties.

L. Headings. The headings and captions used in this Agreement are for the convenience of the Parties only and shall not in any way define, limit or describe the scope or intent of any provisions of this Agreement.

M. Entire Agreement. This Agreement is the entire agreement between the Parties with respect to the subject matters covered in this Agreement. There are no other collateral oral or written agreements between the Parties that in any manner relates to the subject matter of this Agreement, except as provided or referenced in this Agreement.

N. Filing in Deed Records. This Agreement shall be recorded in the real property records of Denton County, Texas. This Agreement and all of its terms, conditions, and provisions is and shall constitute a restriction and condition upon the development of the Property and all portions thereof and a covenant running with the Property and all portions thereof, and is and shall be binding upon Developer and all of Developer's heirs, successors, and assigns and the future owners of the Property and any portion thereof; provided, however, this Agreement shall not constitute an obligation of or be deemed a restriction or encumbrance with respect to any final platted residential lot upon which a completed home has been constructed.

O. Notification of Sale or Transfer; Assignment of Agreement. Developer shall notify the Town in writing of any sale or transfer of all or any portion of the Property, within ten (10) business days of such sale or transfer. Developer has the right (from time to time without the consent of the Town, but upon written notice to the Town) to assign this Agreement, in whole or in part, and including any obligation, right, title, or interest of Developer under this Agreement, to any person or entity (an "Assignee") that is or will

become an owner of any portion of the Property or that is an entity that is controlled by or under common control with Developer. Each assignment shall be in writing executed by Developer and the Assignee and shall obligate the Assignee to be bound by this Agreement with respect to the portion of the Property transferred to Assignee. If the Property is transferred or owned by multiple parties, this Agreement shall only apply to, and be binding on, such parties to the extent of the Property owned by such successor owner, and if the Developer or any Assignee is in default under this Agreement, such default shall not be an event of default for any non-defaulting Assignee which owns any portion of the Property separate from the defaulting Developer or Assignee. A copy of each assignment shall be provided to the Town within ten (10) business days after execution. Provided that the successor developer assumes the liabilities, responsibilities, and obligations of the assignor under this Agreement with respect to the Property transferred to the successor developer, the assigning party will be released from any rights and obligations under this Agreement as to the Property that is the subject of such assignment, effective upon receipt of the assignment by the Town. No assignment by Developer shall release Developer from any liability that resulted from an act or omission by Developer that occurred prior to the effective date of the assignment. Developer shall maintain true and correct copies of all assignments made by Developer to Assignees, including a copy of each executed assignment and the Assignee's Notice information.

P. Sovereign Immunity. The Parties agree that the Town has not waived its sovereign immunity from suit by entering into and performing its obligations under this Agreement.

Q. Exactions/Infrastructure Costs. Developer has been represented by legal counsel, or has had an opportunity to do so, in the negotiation of this Agreement, and been advised, or has had the opportunity to have legal counsel review this Agreement and advise Developer, regarding Developer's rights under Texas and federal law. Developer hereby waives any requirement that the Town retain a professional engineer, licensed pursuant to Chapter 1001 of the Texas Occupations Code, to review and determine that the exactions required by the Town in this Agreement are roughly proportional or roughly proportionate to the proposed development's anticipated impact. Developer specifically reserves its right to appeal the apportionment of municipal infrastructure costs in accordance with § 212.904 of the Texas Local Government Code; however, notwithstanding the foregoing, Developer hereby releases the Town from any and all liability under § 212.904 of the Texas Local Government Code, as amended, regarding or related to the cost of those municipal infrastructure requirements imposed by this Agreement.

R. Waiver of Texas Government Code § 3000.001 et seq. With respect to the improvements constructed on the Property pursuant to this Agreement, Developer hereby waives any right, requirement or enforcement of Texas Government Code §§ 3000.001-3000.005.

S. Rough Proportionality. Developer hereby waives any federal constitutional claims and any statutory or state constitutional takings claims under the Texas Constitution with respect to infrastructure requirements imposed by this Agreement. Developer and the Town further agree to waive and release all claims one may have

against the other related to any and all rough proportionality and individual determination requirements mandated by the United States Supreme Court in *Dolan v. City of Tigard*, 512 U.S. 374 (1994), and its progeny, as well as any other requirements of a nexus between development conditions and the projected impact of the terms of this Agreement, with respect to infrastructure requirements imposed by this Agreement.

T. Form 1295 Certificate. The Developer agrees to comply with Texas Government Code, Section 2252.908 and in connection therewith, the Developer agrees to go online with the Texas Ethics Commission to complete a Form 1295 Certificate and further agrees to print the completed certificate and execute the completed certificate in such form as is required by Texas Government Code, Section 2252.908 and the rules of the Texas Ethics Commission and provide to the Town, at the time of delivery of an executed counterpart of this Agreement, a duly executed completed Form 1295 Certificate.

U. Undocumented Workers Provision. The Developer certifies that Developer does not and will not knowingly employ an undocumented worker in accordance with Chapter 2264 of the Texas Government Code, as amended. If during the Term of this Agreement, Developer is convicted of a violation under 8 U.S.C. § 1324a(f), Developer shall repay the amount of any public subsidy provided under this Agreement to Developer plus six percent (6.0%), not later than the 120th day after the date the Town notifies Developer of the violation.

V. Non-Boycott of Israel Provision. In accordance with Chapter 2270 of the Texas Government Code, a Texas governmental entity may not enter into an agreement with a business entity for the provision of goods or services unless the agreement contains a written verification from the business entity that it: (1) does not boycott Israel; and (2) will not boycott Israel during the term of the agreement. Chapter 2270 of the Texas Government Code does not apply to a (1) a company that is a sole proprietorship; (2) a company that has fewer than ten (10) full-time employees; or (3) the contract has a value of less than One Hundred Thousand Dollars (\$100,000.00). Unless Developer is not subject to Chapter 2270 of the Texas Government Code for the reasons stated herein, the signatory executing this Agreement on behalf of Developer verifies that Developer does not boycott Israel and will not boycott Israel during the Term of this Agreement.

W. Prohibition on Contracts with Certain Companies Provision. In accordance with Section 2252.152 of the Texas Government Code, the Parties covenant and agree that Developer is not on a list maintained by the State Comptroller's office prepared and maintained pursuant to Section 2252.153 of the Texas Government Code.

X. Report Agreement to Comptroller's Office. Town covenants and agrees to report this Agreement to the State Comptroller's office within fourteen (14) days of the Effective Date of this Agreement, in accordance with Section 380.004 of the Texas Government Code, as added by Texas House Bill 2404, 87th Tex. Reg. Session (2021) (effective September 1, 2021). [For Chapter 380 Agreements]

Y. Verification Against Discrimination of Firearm or Ammunition Industries. Pursuant to Texas Government Code Chapter 2274, (as added by Texas Senate Bill 19,

87th Tex. Reg. Session (2021) (effective September 1, 2021)) unless otherwise exempt, if the Developer employs at least ten (10) fulltime employees and this Agreement has a value of at least \$100,000 that is paid wholly or partly from public funds of the Town, the Developer represents that: (1) the Developer does not have a practice, policy, guidance, or directive that discriminates against a firearm entity or firearm trade association; and (2) the Developer will not discriminate during the Term of the Agreement against a firearm entity or firearm trade association.

Z. Verification Against Discrimination Developer Does Not Boycott Energy Companies. Pursuant to Texas Government Code Chapter 2274, (as added by Texas Senate Bill 13, 87th Tex. Reg. Session (2021) (effective September 1, 2021)) unless otherwise exempt, if the Developer employs at least ten (10) fulltime employees and this Agreement has a value of at least \$100,000 that is paid wholly or partly from public funds of the Town, the Developer represents that: (1) the Developer does not boycott energy companies; and (2) the Developer will not boycott energy companies during the Term of this Agreement.

EXECUTED by the Parties on the dates set forth below, to be effective as of the date first written above.

DEVELOPER

TOWN OF LITTLE ELM, TEXAS

By: _____

Date: _____

By: _____

Matt Mueller
Town Manager

Date: _____

ATTEST:

By: _____

Caitlan Biggs
Town Secretary

STATE OF TEXAS §
 §
COUNTY OF DENTON §

Before me, the undersigned authority, on this ____ day of _____, 2023, personally appeared MATT MUELLER, Town Manager of the Town of Little Elm, Texas, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

[Seal]

By: _____
Notary Public, State of Texas

My Commission Expires: _____

STATE OF TEXAS §
 §
COUNTY OF _____ §

Before me, the undersigned authority, on this ____ day of _____, 2023, personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed and in the capacity of a duly authorized representative of _____.

[Seal]

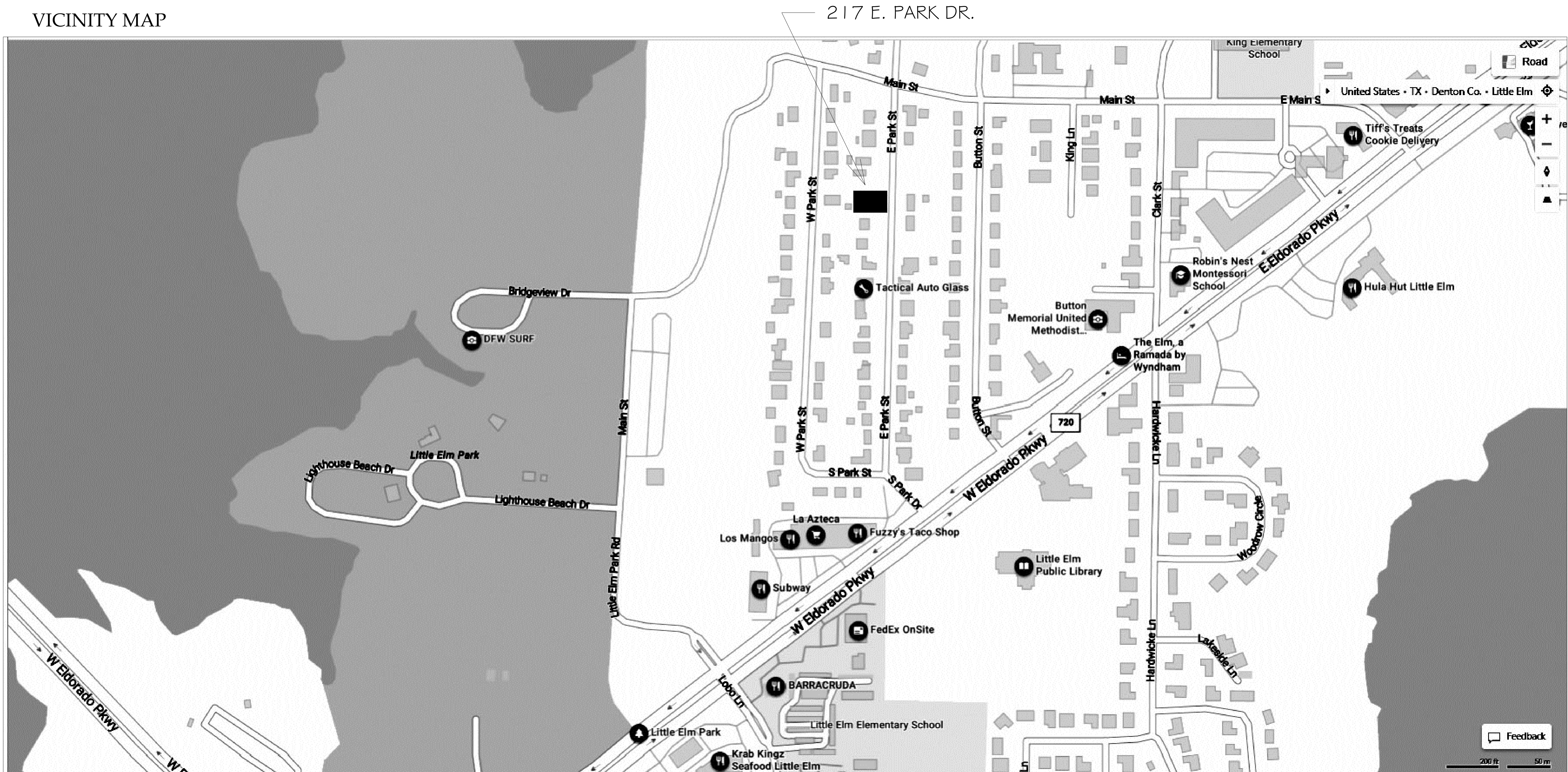
By: _____
Notary Public, State of Texas

My Commission Expires: _____

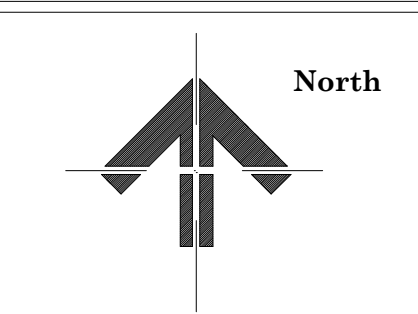
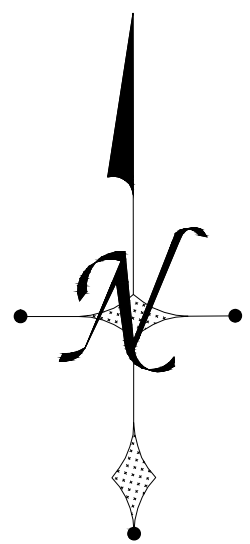
EXHIBIT A

Property Description

VICINITY MAP



0 200' 400'
SCALE: 1" = 200'



THESE PLANS ARE INTENDED TO PROVIDE BASIC DESIGN INFORMATION NECESSARY TO COMPLETE THIS STRUCTURE. ALL PORTIONS OF THE WORK, INCLUDING PLUMBING, MECHANICAL AND ELECTRICAL SHALL BE PERFORMED IN FULL ACCORDANCE WITH ALL APPLICABLE CITY, COUNTY, STATE AND NATIONAL CODES. THE BUILDER RESERVES THE RIGHT TO MODIFY THESE PLANS AS REQUIRED BY LOCAL CODES, ORDINANCES, AND RESTRICTIONS. ANY CHANGES OR MODIFICATIONS TO THE PLANS SHALL BE THE RESPONSIBILITY OF THE BUILDER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF MATERIALS AND ASSEMBLIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

ACRES
0.2369
GENERAL CONTRACTOR
Carlos Silva 682.554.5124
DESIGNER
Rico Designs 469.570.1609
ENGINEER:
Armando Escamilla 1425 W. Pioneer Dr. Suite #126 Irving, Texas 75061
OWNER
Jose Sanches Maria De la Torre Sanches 972.693.5432
LEGAL DESCRIPTION
FRISCO PARK ESTATES BLOCK 2 LT 13

217 E. Park Ln.
Little Elm, Texas 75068

Date
JULY 30, 2023
Sheet Title
COVER PAGE
Scale
1" = 200'
Sheet No.
A1
1 of 3

Client:

Jose Sanches
Maria De la Torre Sanches
217 E. Park Ln.
Little Elm, Tx. 75068
misscarmen08@gmail.com
972.693.5432

Designer:

Juan Carlos Rico
Rico Designs
2805 Saint George Dr.
Garland, Tx. 75044
jcr_5187@hotmail.com
469.570.1609

Engineer:

Armando Escamilla
Red Line Engineering
1425 W. Pioneer Drive
Suite #126
Irving, Texas 75061
armando@redline-usa.com
214.274.2823

General Contractor:

Carlos Silva
Service & Design SH LLC
3304 Hardy St.
Fort Worth, Texas 76106
carlos.silva091989@gmail.com
682.554.5124

Plumbing:

t.b.d.

Mechanical:

t.b.d.

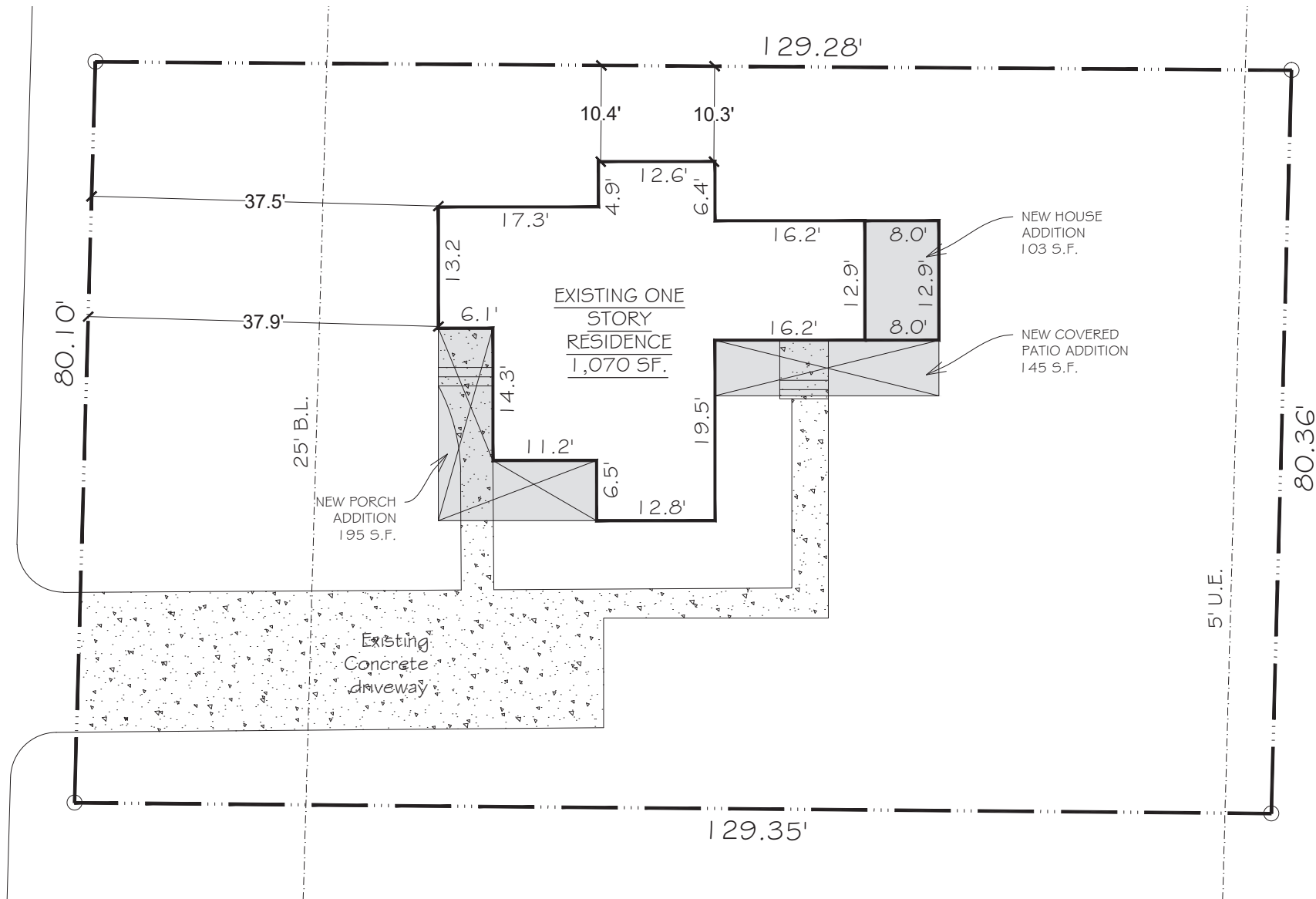
Electrical:

t.b.d.

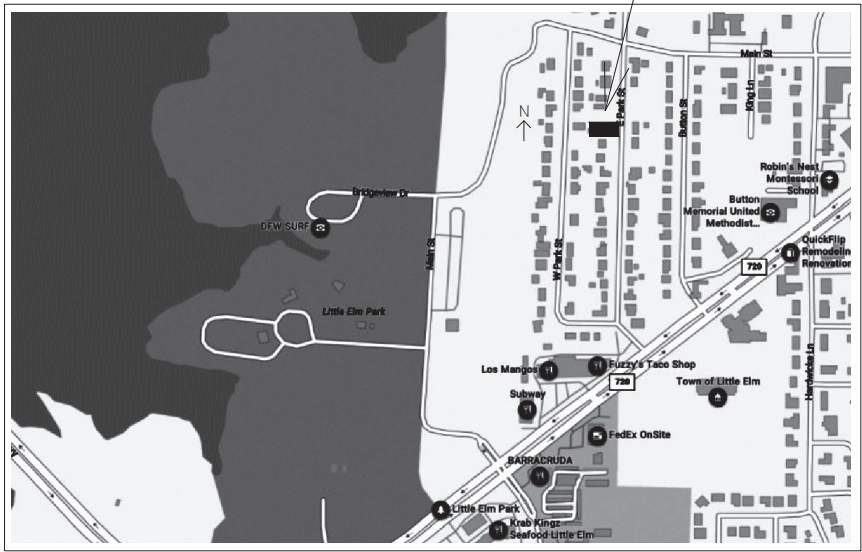


SITE PLAN
SCALE: 1/16" = 1'-0"

EAST PARK DRIVE
(40' R.O.W.)



VICINITY MAP
217 E. PARK DR.



Applicable Codes

2018 IBC
2018 IRC
2018 IMC
2018 IPC
2018 IECC

Project Description

This project is a house addition of 103 s.f. of air conditioned space on pier and beam foundation. An addition of 145 s.f. covered patio. An addition of 195 s.f. front porch. All the existing roof will be completely removed and a new roof will be installed.

SITE PLAN INFORMATION	
LOT SIZE	10,320 S.F.
BUILDING AREA	1,513 S.F.
PERCENT LOT COVERED	14.66%
A MINIMUM OF 70% OF THE NON-ROOF AREA OF THE LOT COVERED WILL HAVE LANDSCAPE (GRASS, TREES, ETC.)	



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION NECESSARY TO COMPLETE THIS STRUCTURE. ALL PORTIONS OF THE WORK, INCLUDING PLUMBING, MECHANICAL AND ELECTRICAL, SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE CITY, COUNTY, STATE AND NATIONAL CODES. BUILDER RESERVES THE RIGHT TO MODIFY THESE PLANS AS REQUIRED. LOCAL CODES, ORDINANCES, AND RESTRICTIONS WILL APPLY SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND LOCAL REQUIREMENTS.

217 E. Park Dr.
Little Elm, Texas 75068
Frisco Park Estates
Block 2 LT 13

RICO DESIGNS
469.570.1609

MAY 28, 2023

Sheet Title

SITE PLAN

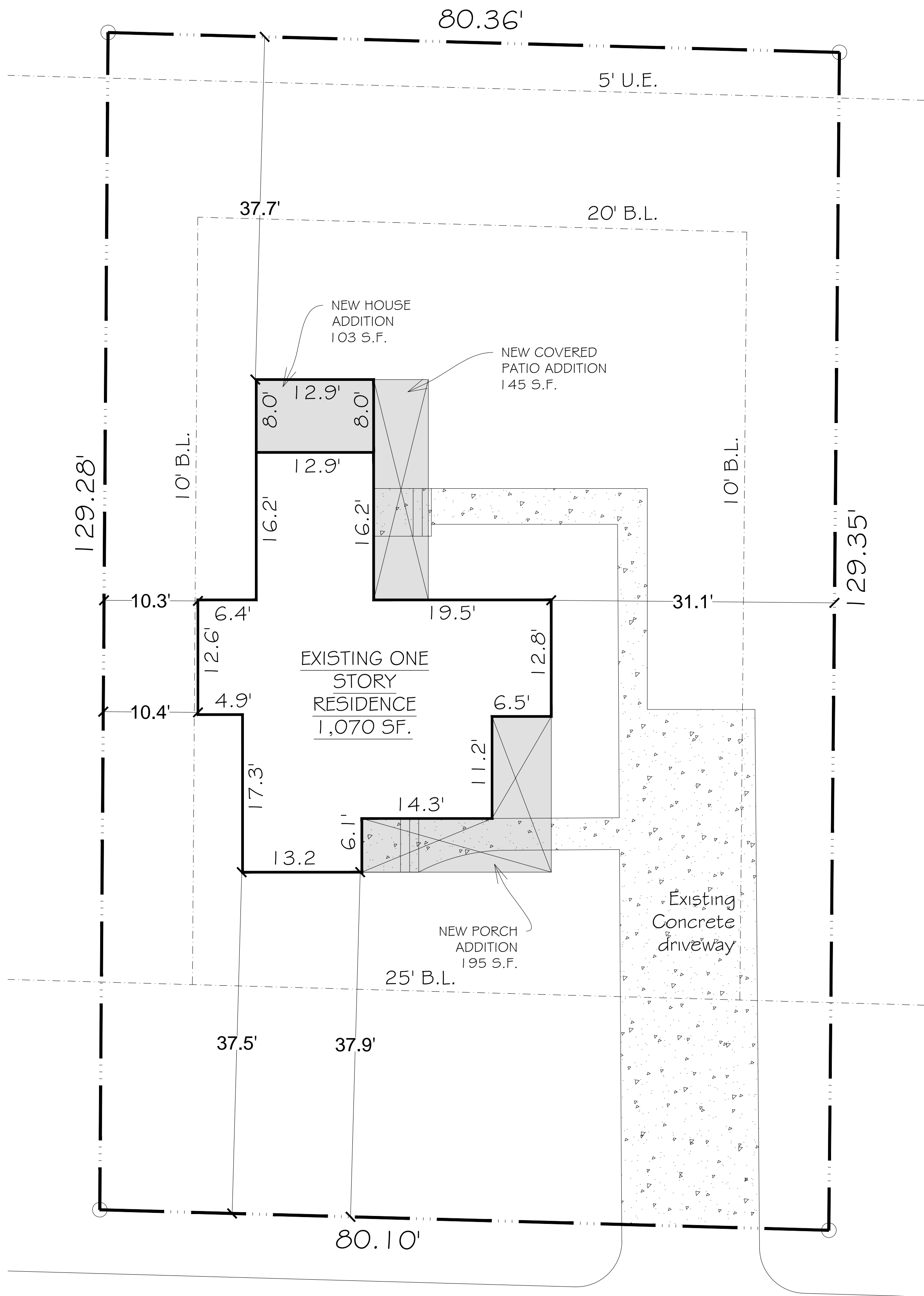
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Sheet No.

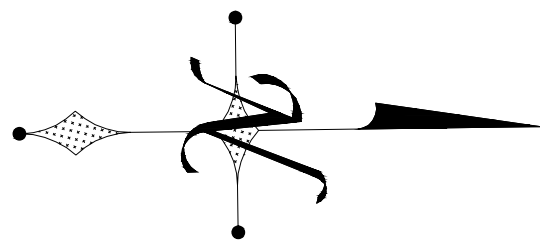
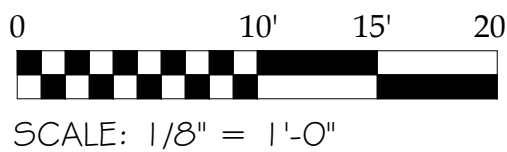
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1 of 12

EXHIBIT B

Development Plans



EAST PARK DRIVE
(40' R.O.W.)



SITE PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. ALL WORK MUST BE DONE ACCORDING TO MANUFACTURE'S SPECIFICATIONS & INDUSTRY STANDARDS.
2. ALL WORK MUST BE DONE ACCORDING TO ALL CONCERNED CODE & REGULATIONS.
3. A STRUCTURAL ENGINEER MUST BE CONSULTED FOR ALL CONSTRUCTION DETAILS.
4. CONTRACTOR TO FIELD VERIFY BUILDING ELEVATIONS AND EXISTING UTILITIES.
5. VERIFY CLEARANCES ARE REQUIRED FOR ALL EQUIPMENT.
6. BEFORE PROCEEDING WITH ANY WORK OR ORDERING ANY MATERIALS, THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND LOCATIONS OF BUILDING COMPONENTS AND THEIR INTERRELATIONSHIP AT THE BUILDING SITE, AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS.
7. CONTRACTOR AND/ OR SUBCONTRACTOR IS ULTIMATELY RESPONSIBLE FOR VERIFYING AND MAKING ADJUSTMENTS TO ANY DISCREPANCIES BETWEEN THE PLANS AND THE BUILDING SITE.

BUILDING CODE ANALYSIS

PROJECT NAME:	HOME ADDITION
PROJECT ADDRESS:	217 E. PARK LN. LITTLE ELM, TX. 75068
PROPERTY ZONING:	SINGLE FAMILY (A2)
OCCUPANCY:	RESIDENTIAL
CONSTRUCTION TYPE:	V
USE OF BUILDING:	RESIDENTIAL
BUILDING AREA:	MAIN BLDG. 1,007 SF. ADDITION 103 SF.
BUILDING HEIGHT:	19'-3"
NUMBER OF STORIES:	ONE STORY
FIRE SPRINKLED:	NO

Zoning

Single family (A2)

Area Requirements:

- Minimum lot area = 6,000 S.F.
- Min. Lot Width = 60 feet

Dwelling Regulations:

- Min. Square footage = 1,000 S.F.

Yard Requirements:

- Minimum front yard = 25 feet
- Min. Side Yard = 10 feet
- Min. Rear Yard = 20 feet

Height of Structure:

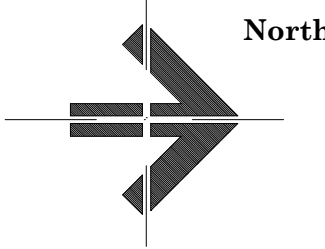
- Max. main structure = 35 feet

Parking:

- Minimum parking space = 2

SITE PLAN INFORMATION

LOT SIZE	10,320 S.F.
BUILDING AREA	1,513 S.F.
PERCENT LOT COVERED	14.66%



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ACRES

0.2369

GENERAL CONTRACTOR

Carlos Silva
682.554.5124

DESIGNER

Rico Designs
469.570.1609

ENGINEER:

Armando Escamilla
1425 W. Pioneer Dr.
Suite #126
Irving, Texas 75061

OWNER

Jose Sanches
Maria De la Torre Sanches
972.693.5432

LEGAL DESCRIPTION

FRISCO PARK ESTATES
BLOCK 2 LT 13

217 E. Park Ln.
Little Elm, Texas 75068

Date

JULY 30, 2023

Sheet Title

SITE PLAN

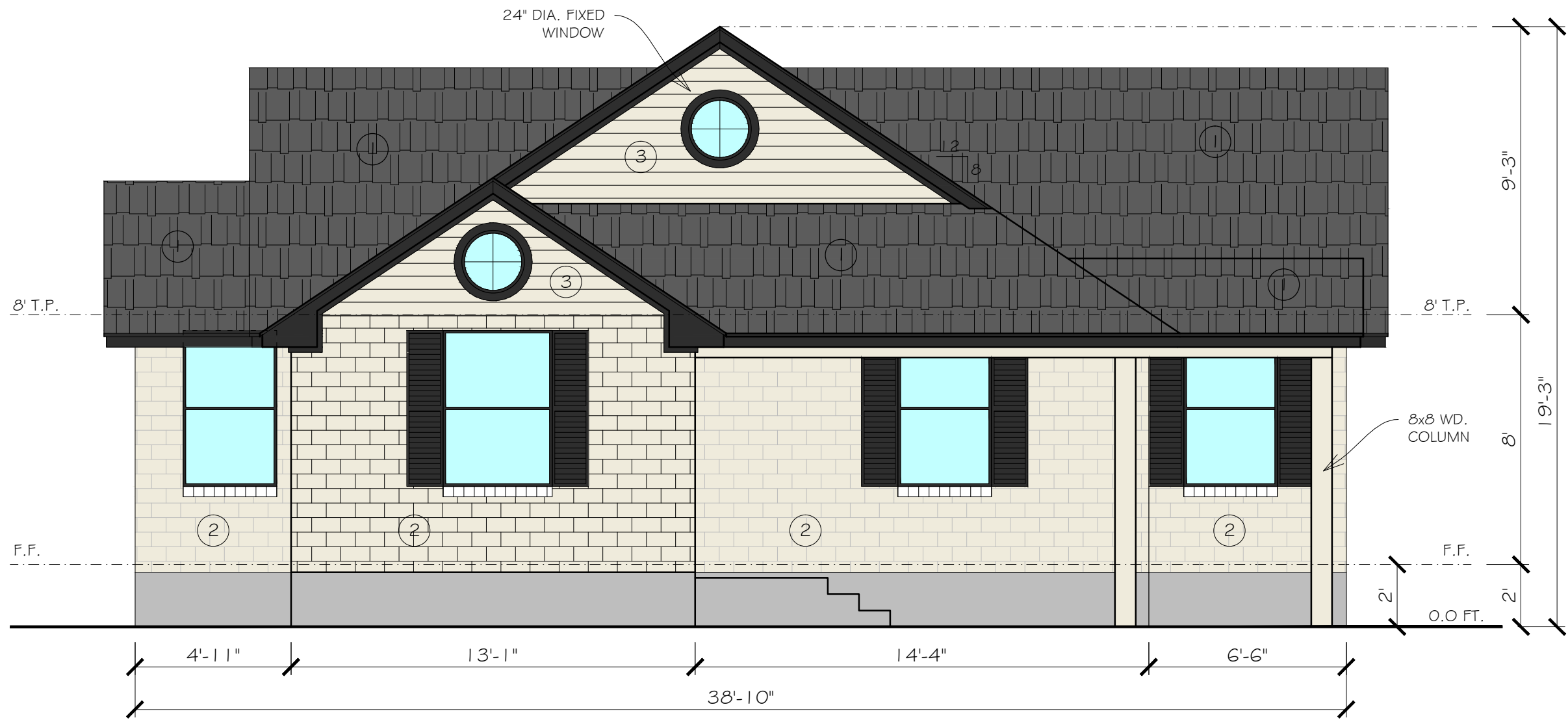
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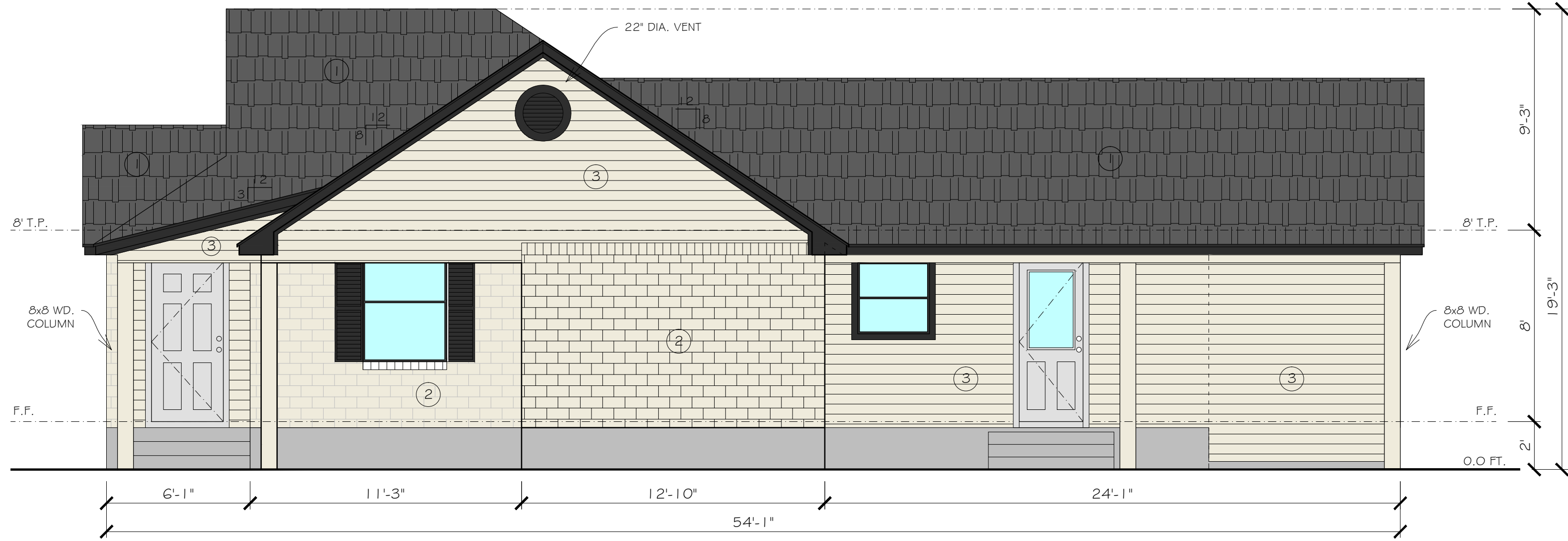
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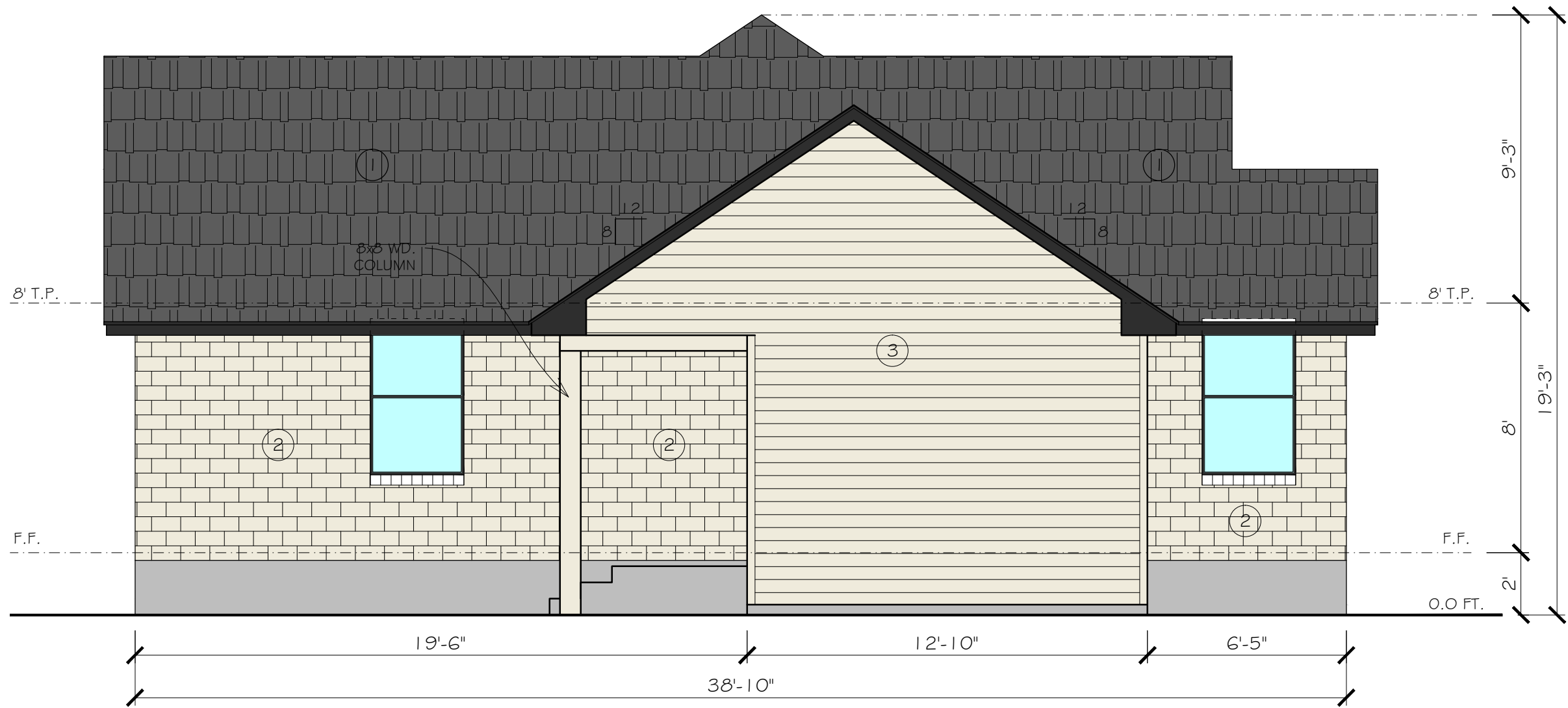
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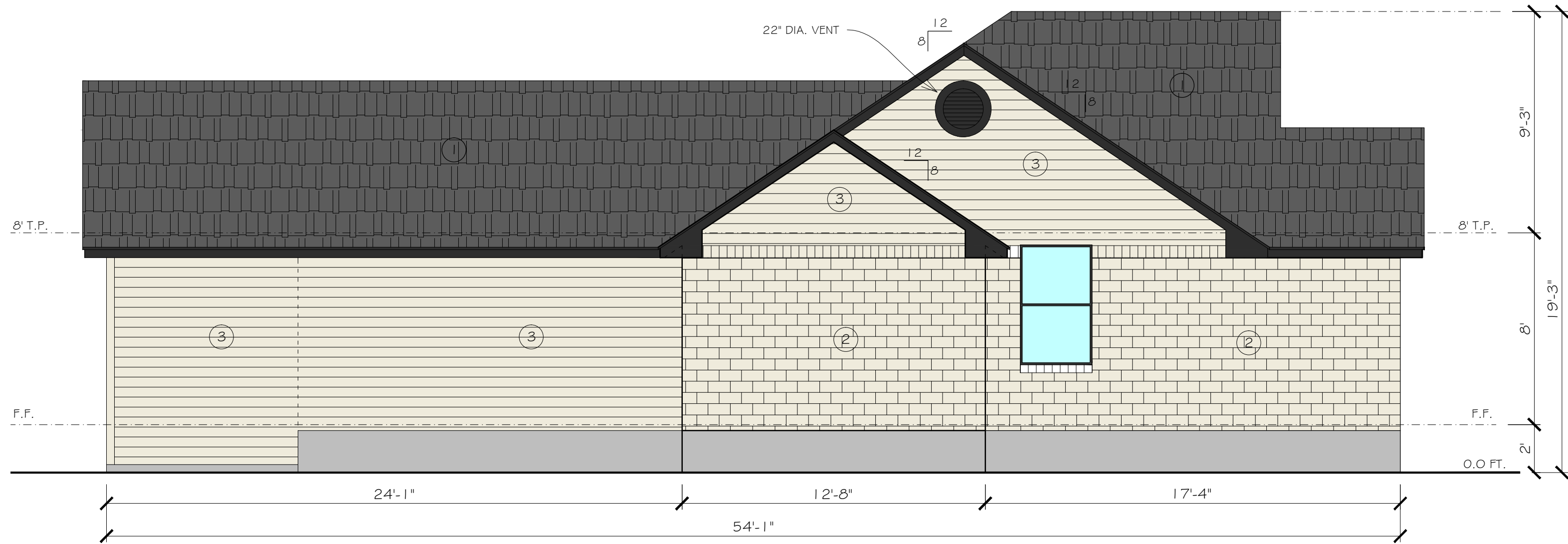
EAST ELEVATION SCALE: 3/16"= 1'-0"



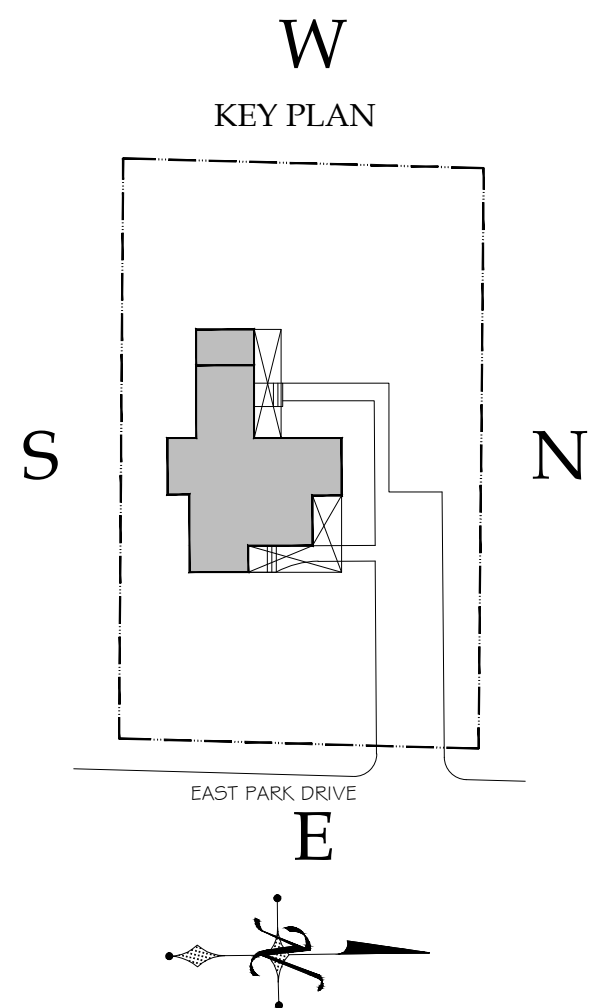
NORTH ELEVATION SCALE: 3/16"= 1'-0"



WEST ELEVATION SCALE: 3/16"= 1'-0"

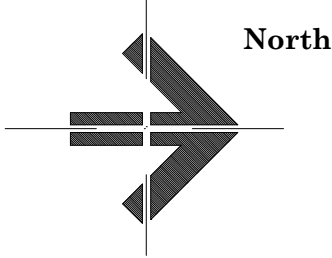


SOUTH ELEVATION SCALE: 3/16"= 1'-0"



MATERIAL		
SYMBOL	DESCRIPTION	COLOR
1	GAF- TIMBERLINE HD ARCHITECTURAL SHINGLES	CHARCOAL
2	ACME BRICK (EXISTING)	PAINTED SHERWIN WILLIAMS CITY LOFT
3	8" JAMES HARDIE PLANK	PAINTED SHERWIN WILLIAMS CITY LOFT

MATERIAL CALCULATION									
SYMBOL	NORTH ELEVATION		SOUTH ELEVATION		WEST ELEVATION		EAST ELEVATION		
	S.F.	%	S.F.	%	S.F.	%	S.F.	%	
1	605	57	545	52	460	55	446	56	
2	180	17	231	22	188	23	284	37	
3	275	26	274	26	179	22	58	7	



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ACRES
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DESIGNER
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ENGINEER:
Armando Escamilla
1425 W. Pioneer Dr.
Suite #126
Irving, Texas 75061

OWNER
Jose Sanches
Maria De la Torre Sanches
972.693.5432

LEGAL DESCRIPTION
FRISCO PARK ESTATES
BLOCK 2 LT 13

217 E. Park Ln.
Little Elm, Texas 75068

Date
JULY 30, 2023

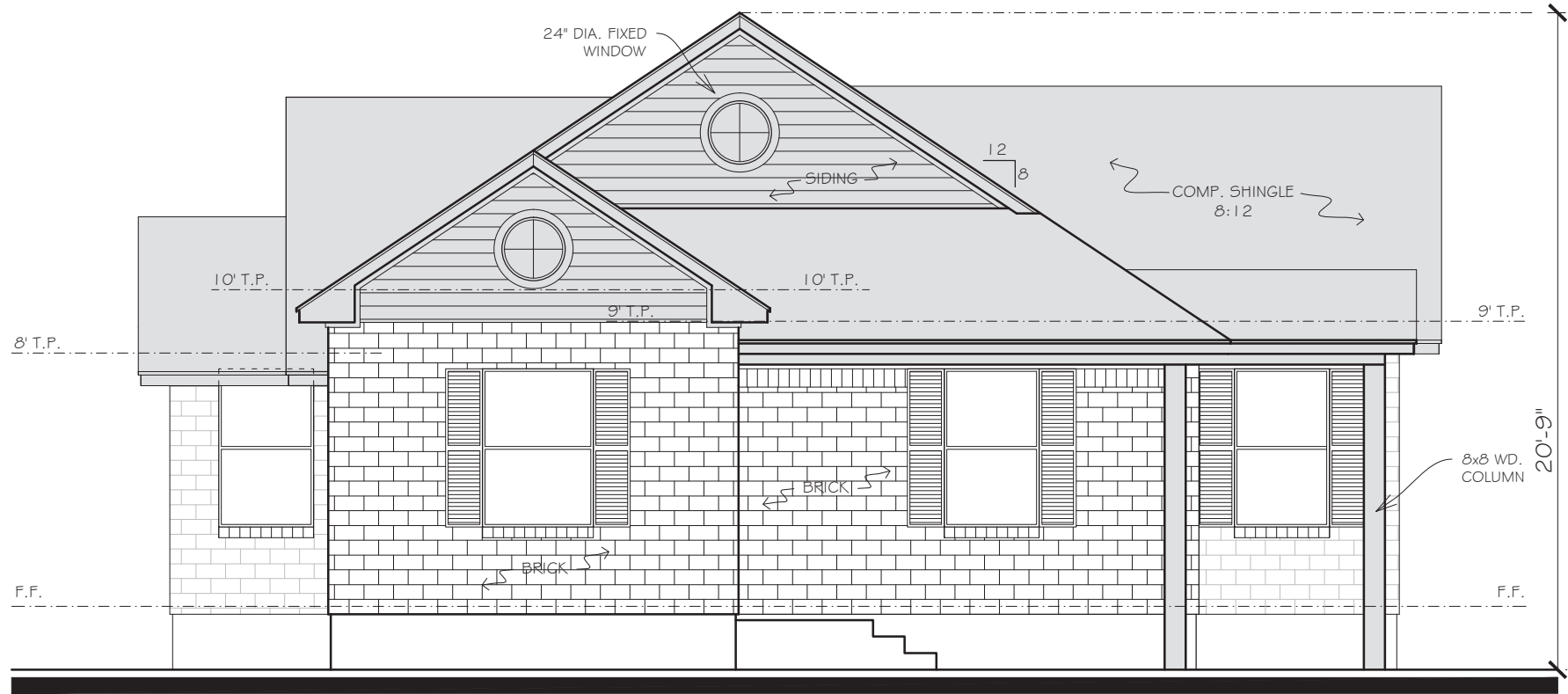
Sheet Title
ELEVATIONS

Scale
1/4" = 1'-0"

Sheet No.

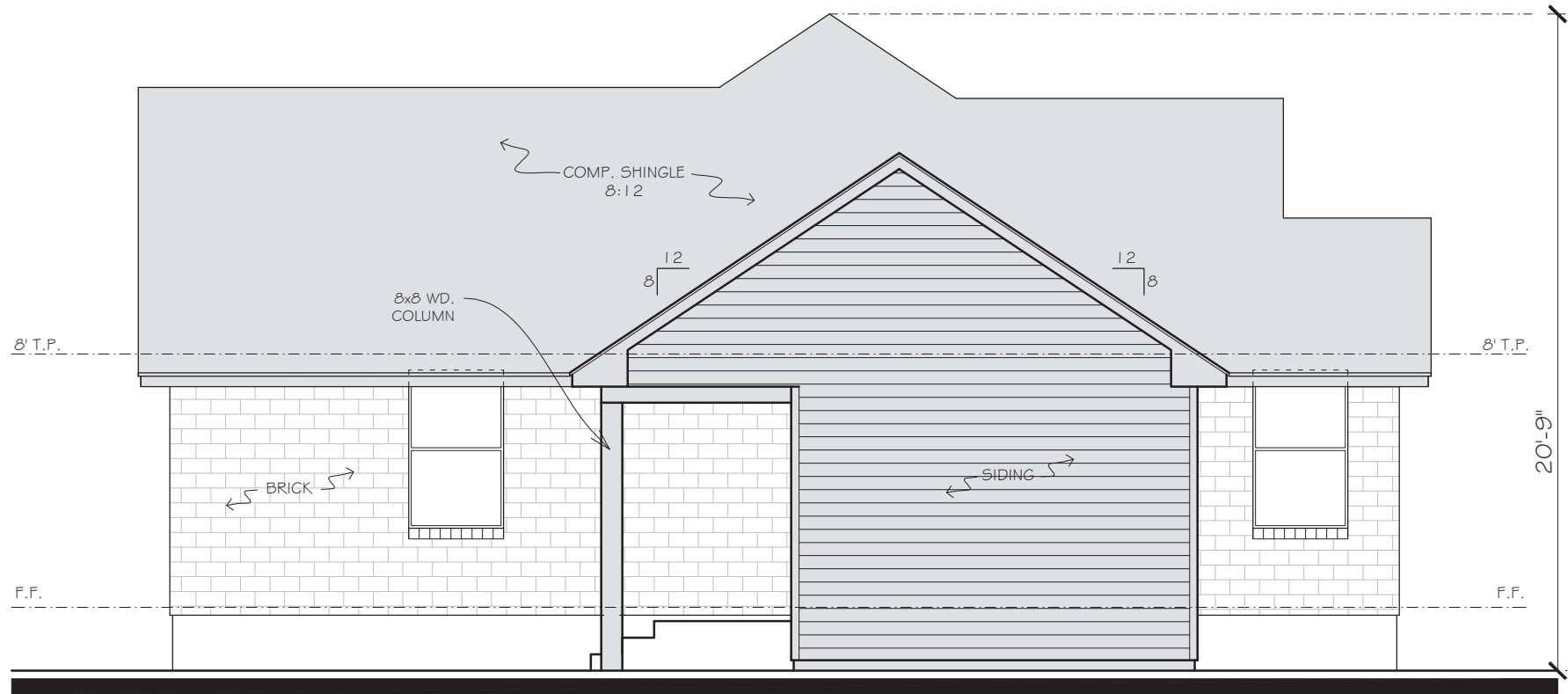
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FRONT ELEVATION

SCALE: 3/16" = 1'-0"



REAR ELEVATION

SCALE: 3/16" = 1'-0"



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217 E. Park Ln.
Little Elm, Texas 75068
Frisco Park Estates
Block 2 LT 13

RICO DESIGNS
469.570.1609

Date
MAY 28, 2023

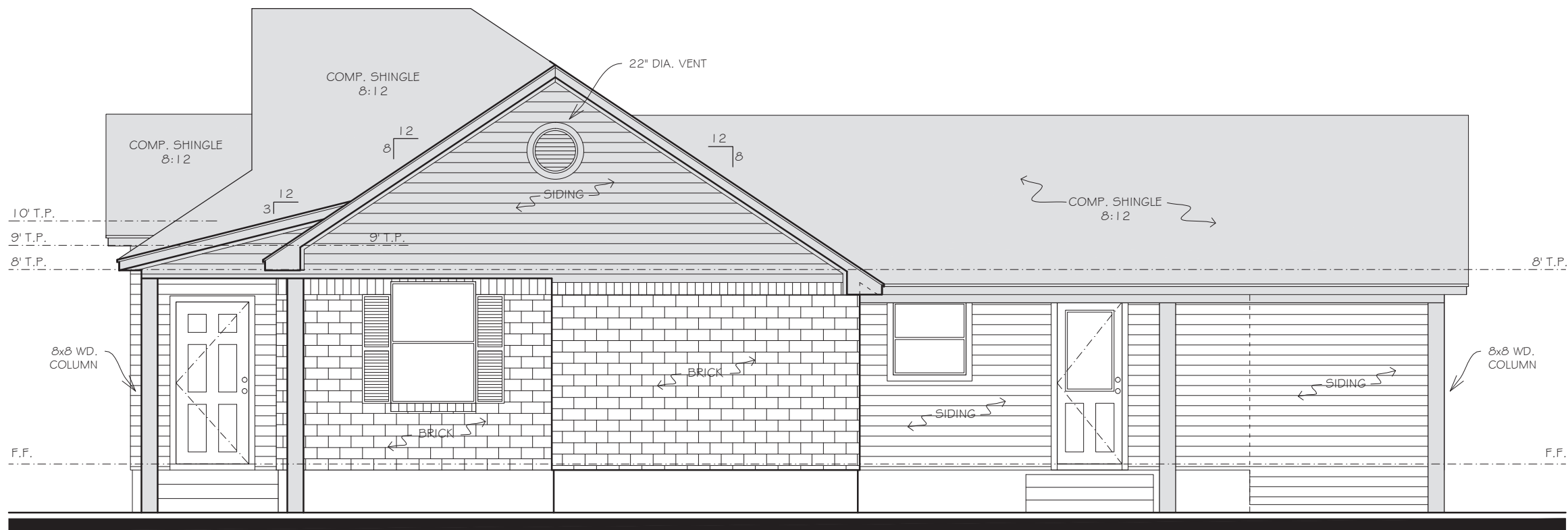
Sheet Title

ELEVATIONS

Scale
3/16" = 1'-0"

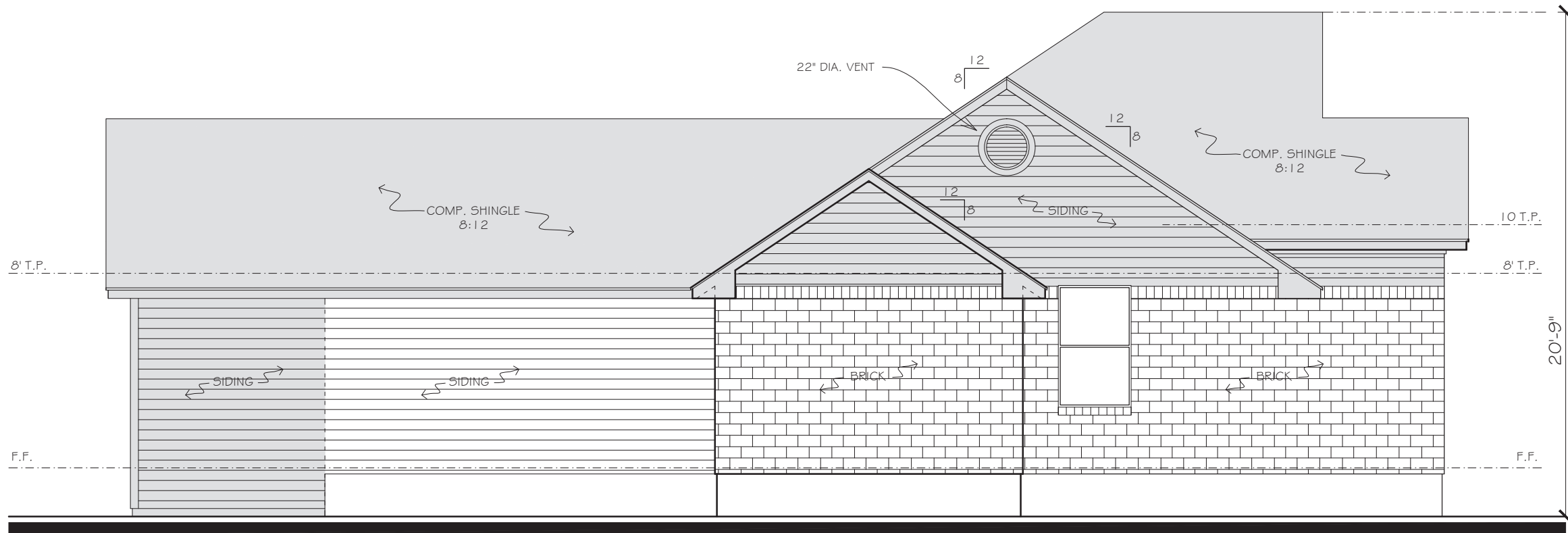
Sheet No.

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RIGHT ELEVATION

SCALE: 3/16" = 1'-0"



LEFT ELEVATION

SCALE: 3/16" = 1'-0"



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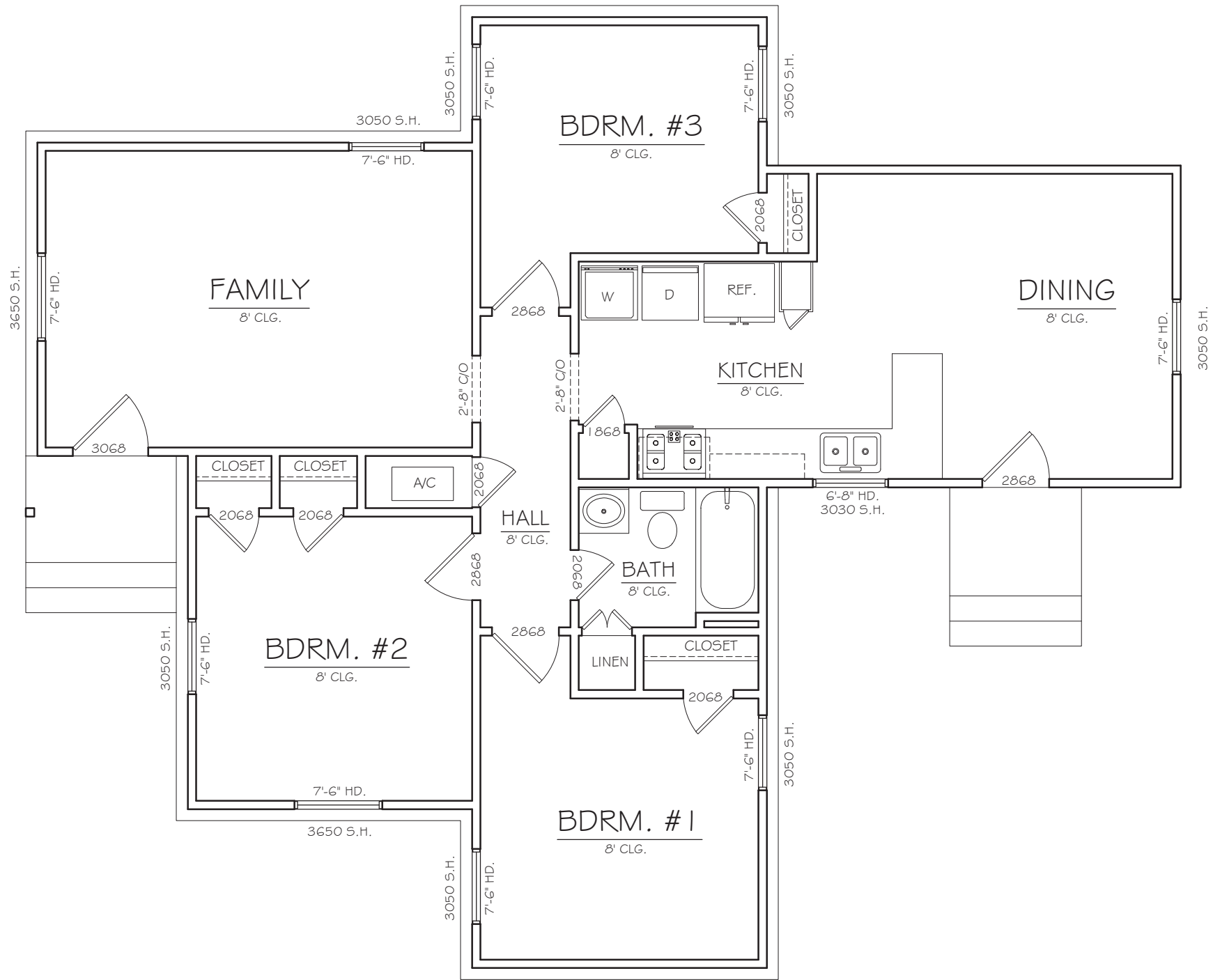
ELEVATIONS

Scale
3/16" = 1'-0"

Sheet No.

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EXISTING FLOOR PLAN

SCALE: 3/16" = 1'-0"



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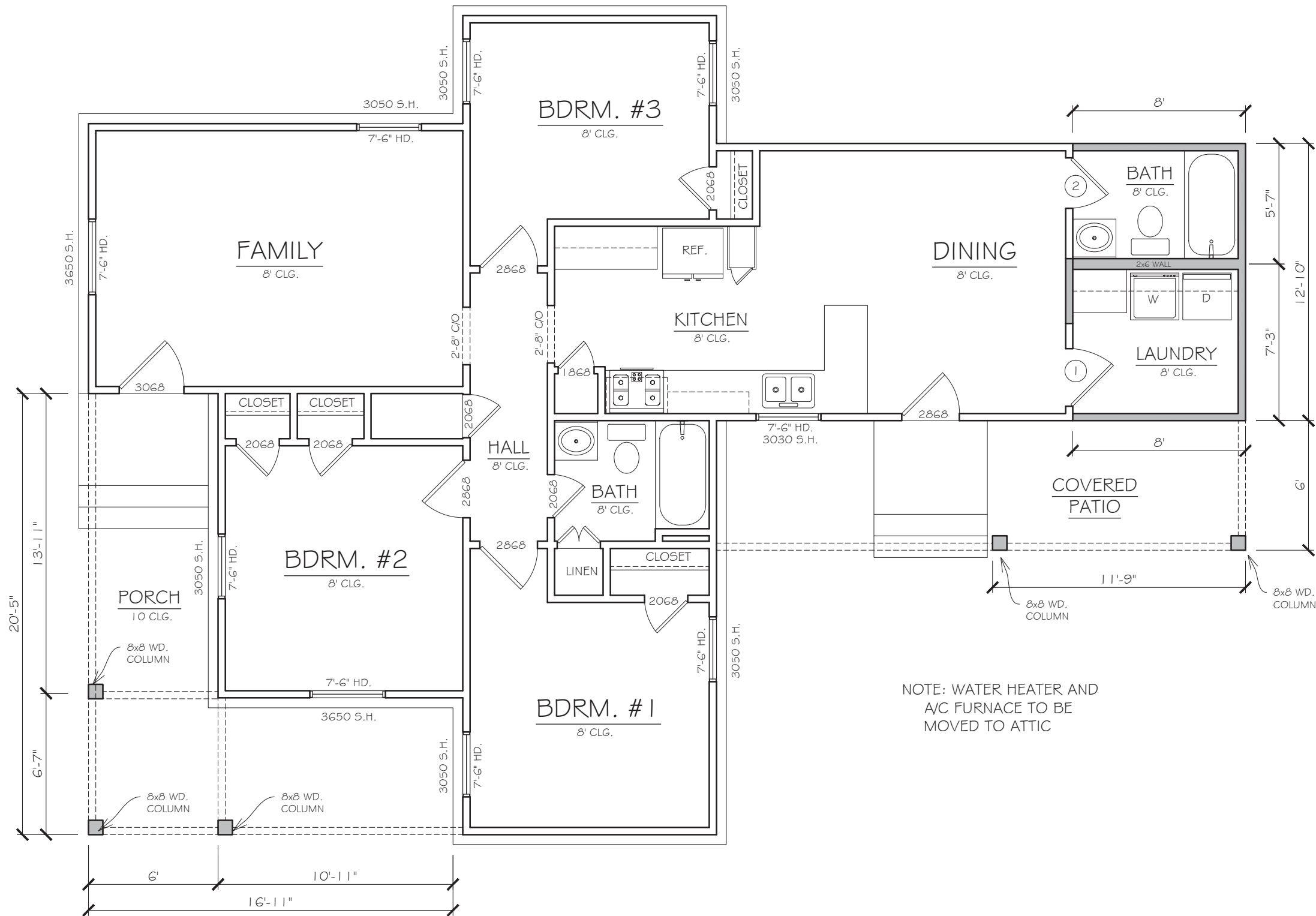
Date
MAY 28, 2023

Sheet Title
EXISTING
FLOOR PLAN

Scale
3/16" = 1'-0"

Sheet No.

2
2 of 12



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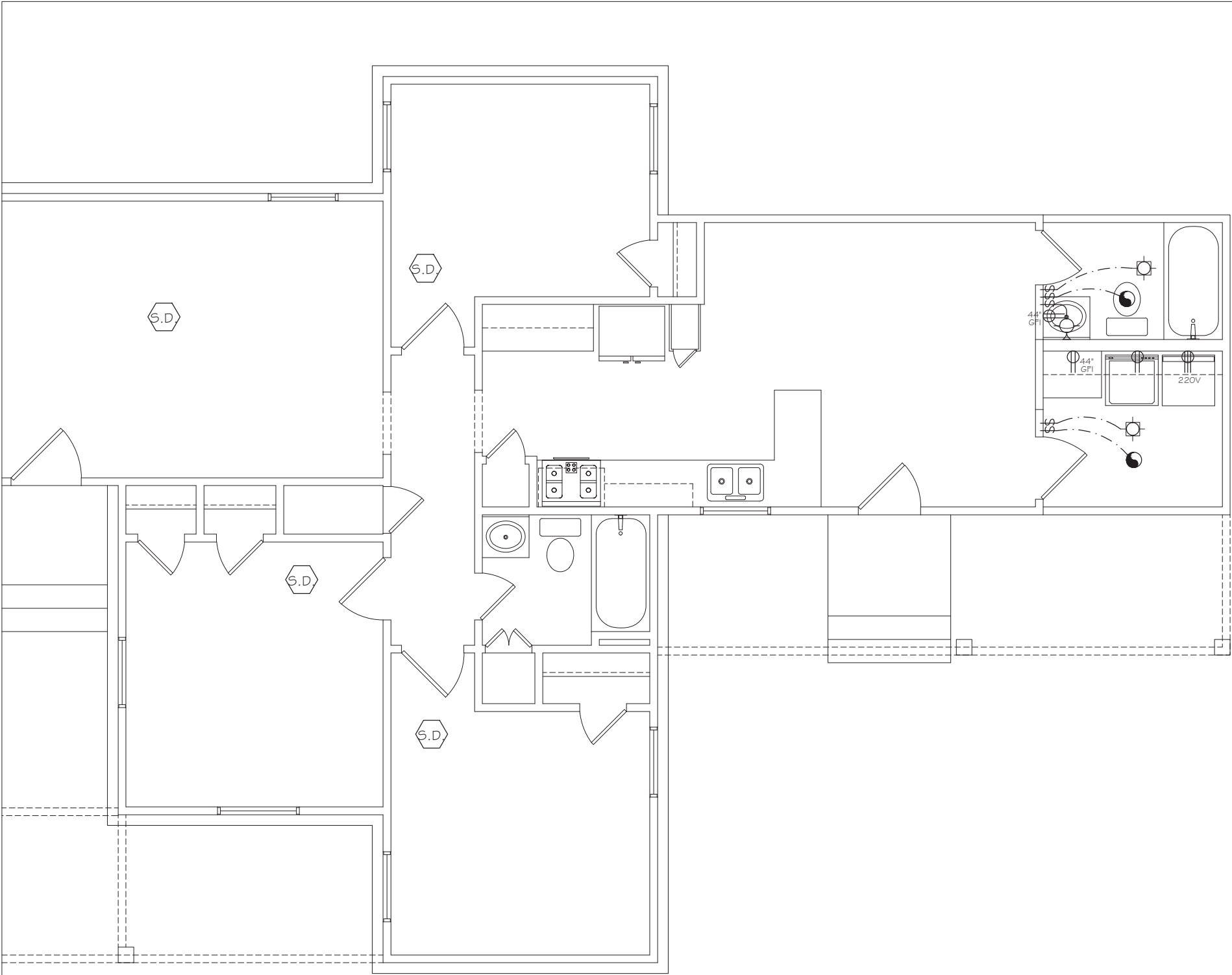
Date
MAY 28, 2023

Sheet Title
PROPOSED
FLOOR PLAN

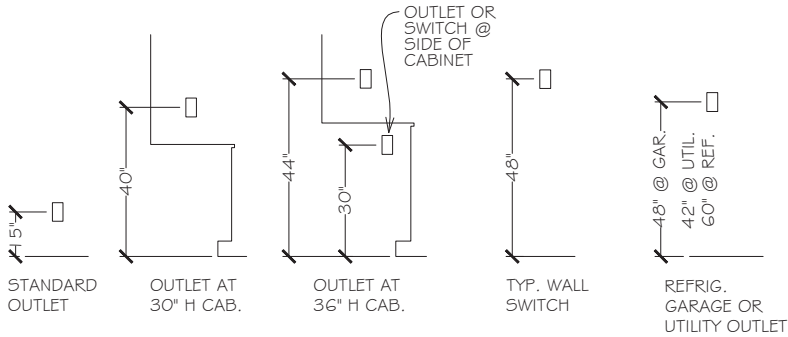
Scale
3/16" = 1'-0"

Sheet No.

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ELECTRIC FIXTURE HEIGHTS
UNLESS NOTED OTHERWISE



GENERAL ELECTRICAL NOTES

1. ALL ELECTRICAL DEVICES AND WORK SHALL COMPLY WITH THE HIGHEST STANDARD OF THE GOVERNING ELECTRICAL CODE.
2. PERFORMANCE STANDARDS SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS AS ESTABLISHED BY GOVERNING AND APPROVAL AGENCIES.
3. ALL DEVICES SHALL BE U.L. APPROVED AND BEAR U.L. LABELS.
4. UNLESS NOTED OTHERWISE, ALL SWITCHES AND OUTLET HEIGHTS SHALL BE AS NOTED ON THESE DRAWINGS.
5. SWITCH AND DUPLEX OUTLETS OF MULTIPLE SWITCHES UP TO (4) FOUR WHEN SHOWN ADJACENT TO EACH OTHER ON PLAN SHALL BE GROUPED UNDER (1) ONE PLATE.
6. VERIFY SERVICES AND LOCATION REQUIREMENTS FOR ALL APPLIANCES AND MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.
7. PROVIDE A MINIMUM OF TWO SEPARATE 20 AMP CIRCUITS TO KITCHEN APPLIANCES.
8. PROVIDE A MINIMUM OF ONE SEPARATE 20 AMP CIRCUIT TO LAUNDRY APPLIANCES.

ELECTRICAL LEGEND

\$	SWITCH, SINGLE POLE, +48" AFF (30W)
\$ ₃	THREE-WAY SWITCH
⦶	DUPLEX OUTLET
⦶ _{WP}	WEATHERPROOF GROUND 110 V OUTLET
⦶ _{220V}	220 VOLT OUTLET
⦶ 	GARAGE OUTLET
⦶	FLOOR DUPLEX
S.D.	SMOKE DETECTOR
▲	PHONE OUTLET
⦶ _{TV}	TV OUTLET
⦶	LIGHT INCANDESCENT (75W)
⦶	RECESS CEILING LIGHT
⦶	WALL MOUNT LIGHT
☾	120V TOILET EXHAUST FANS TO BE SWITCHED WITH LOCAL LIGHTS (75 W)
FAN/LT	CEILING FAN WITH LIGHT
■	ELECTRIC PANEL

NOTE: NOT ALL SYMBOLS ARE USED

NOTE: VERIFY W/ OWNER - ALL ELECTRICAL AND LIGHTING LOCATIONS AND SPECS... INCLUDING SECURITY, AUDIO/VISUAL, ETC.



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MAY 28, 2023

Sheet Title

ELECTRICAL

Scale
3/16" = 1'-0"

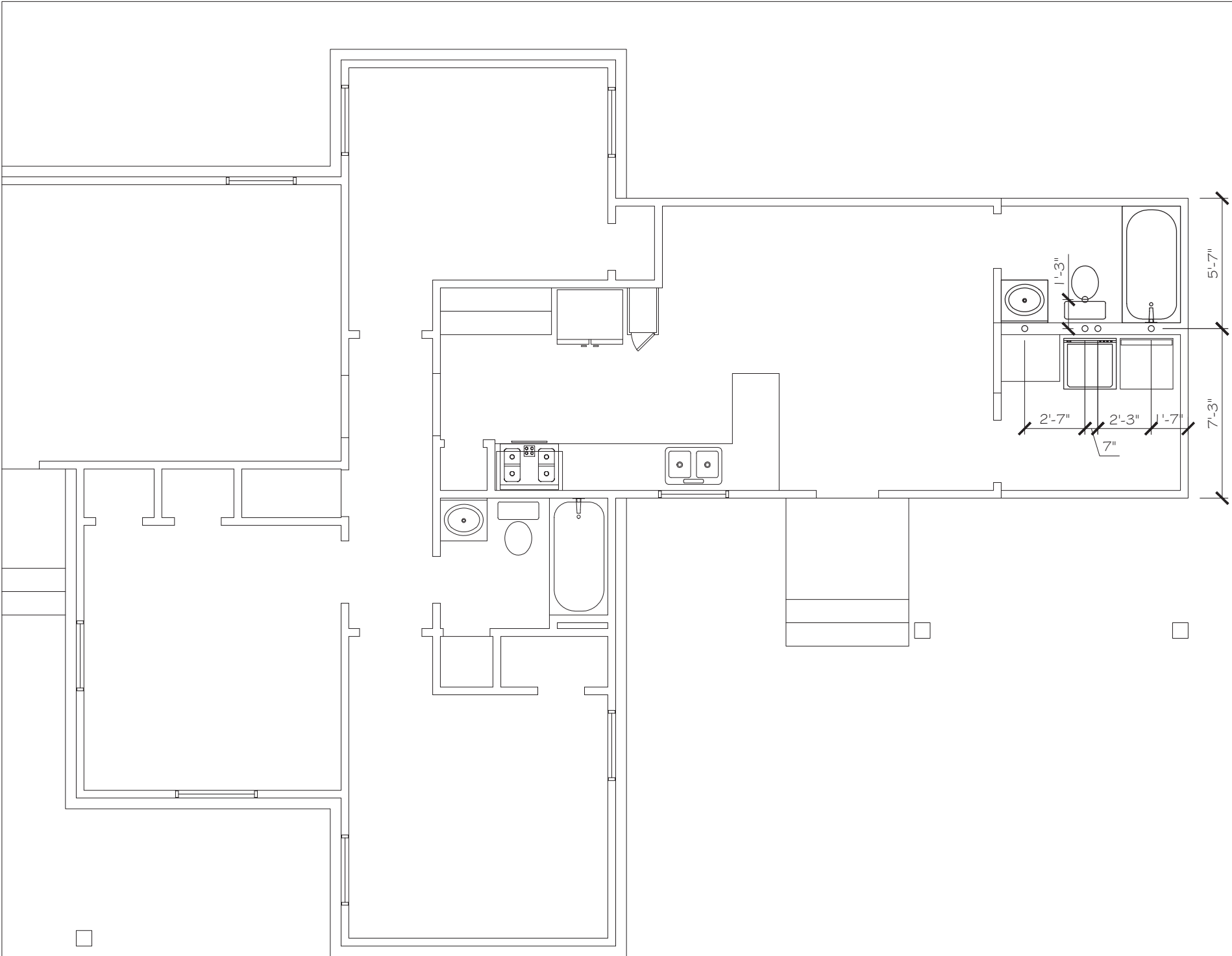
Sheet No.

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ELECTRICAL PLAN

SCALE: 3/16" = 1'-0"




PLUMBING PLAN

SCALE: 3/16" = 1'-0"

PLUMBING NOTES

- A. CONTRACTOR TO VISIT SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS, TO DETERMINE THE EXTENT OF DEMOLITION REQUIRED TO FACILITATE NEW CONSTRUCTION AND INCLUDE ALL SUCH WORK IN HIS/HER BID.
- B. ALL ITEMS TO BE DEMOLISHED NOT SCHEDULED FOR REUSE SHALL BE TURNED OVER TO OWNER FOR SALVAGE AT HIS/ HER DECISION. ANY ITEMS NOT RETAINED BY OWNER SHALL BE DISPOSED OF AT CONTRACTOR'S EXPENSE.
- C. COORDINATE ALL DEMOLITION WITH ARCHITECT AND BUILDING MANAGEMENT.
- D. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
- E. REFER TO ARCHITECTURAL DRAWING FOR PLUMBING FIXTURE TYPES AND SPECIFICATIONS. PROVIDE ALL STOP VALVES SHUT-OFF VALVES, P-TRAPS, TAIL PIECES, TRAP PRIMERS, PISTON-TYPE WATER HAMMER ARRESTORS, ETC. AS REQUIRED FOR COMPLETE INSTALLATION. INSULATE ALL EXPOSED WASTE AND WATER LINES WITH 'PLUMBEREX PRO SERIES 2000' INSULATION KIT.
- F. CORE-DRILL ALL HOLES ON SLAB AS REQUIRED FOR NEW PIPING. VERIFY ALLOWABLE CORE SIZE(S) AND EXACT LOCATION OF STRUCTURE BELOW FLOOR WITH STRUCTURAL ENGINEER BEFORE CORING FLOOR. DO NOT CUT ANY STRUCTURAL SUPPORTS. FLOOR MUST BE SEALED TO A WATER TIGHT CONDITION. IF THE EXISTING FLOOR SLAB IS A POST-TENSION TYPE SLAB, THE FLOOR SHALL BE X-RAYED PRIOR TO CORING ANY HOLES THROUGH FLOOR. DO NOT CUT ANY POST-TENSION CABLES WHEN CORING HOLES THROUGH FLOOR.

FIXTURE CONNECTION					
MARK	FIXTURE	WASTE	VENT	CW	HW
WC	WATER CLOSET	4"	2"	3/4"	—
TB	TUB	2"	—	3/4"	3/4"
HS	HAND SINK	2"	1 1/2"	3/4"	3/4"
WH	WATER HEATER	—	—	3/4"	3/4"
WM	WASH MACH.	2"	—	3/4"	3/4"
NOTES: 1. SIZES SHOWN ARE MINIMUM UNIFORM PLUMBING CODE REQUIREMENTS FOR TRAPS, TRAP ARM & ROUGH-IN CONNECTION. 2. WASTE AND VENT PIPES SHALL BE 2" MIN. 3. PEX TUBING TO BE USED TO COLD AND HOT WATER 4. PEX BARS BRASS FITTINGS TO BE USED FOR POTABLE WATER. 5. SEWER PVC TO BE USED FOR WASTE WATER					



North

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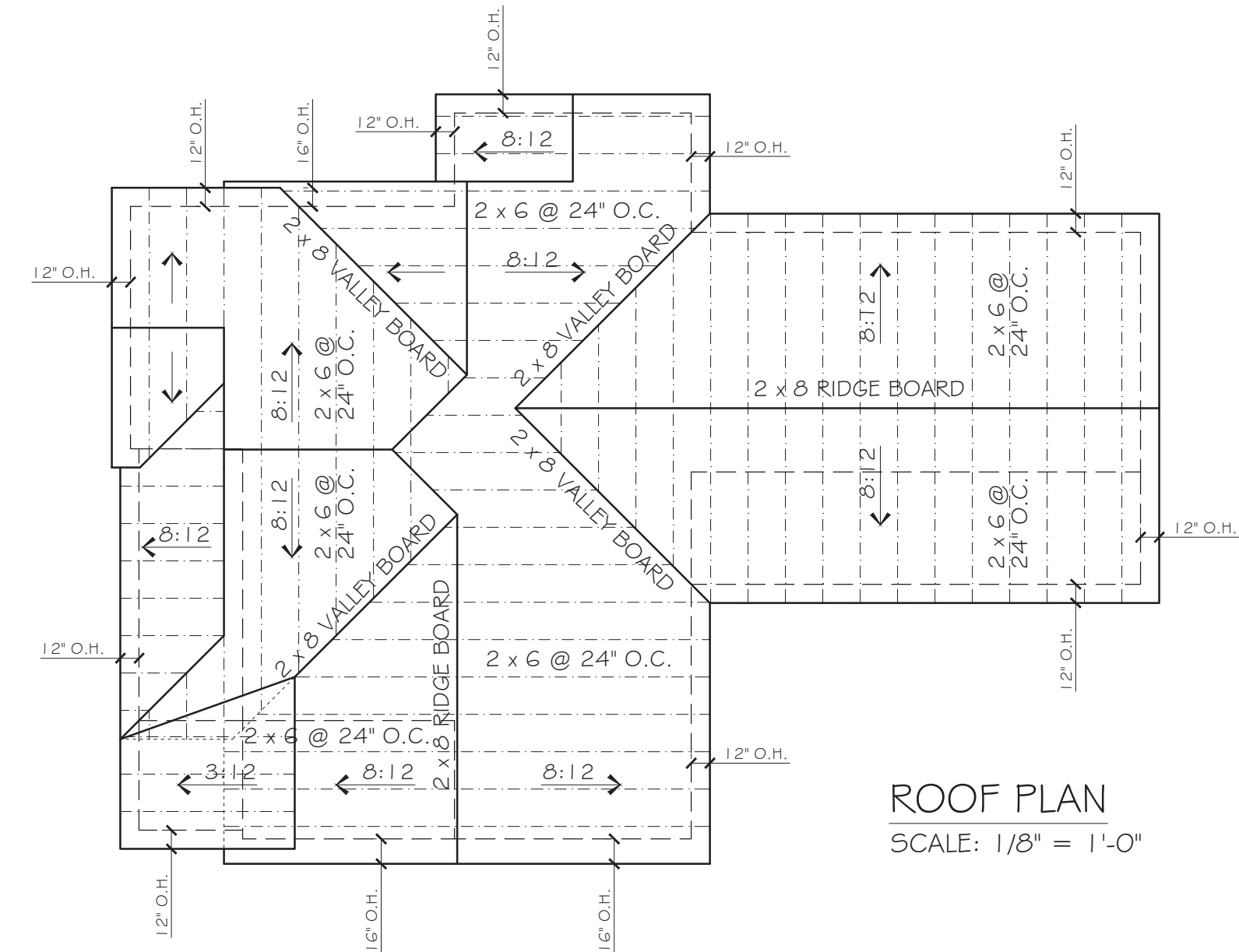
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PLUMBING

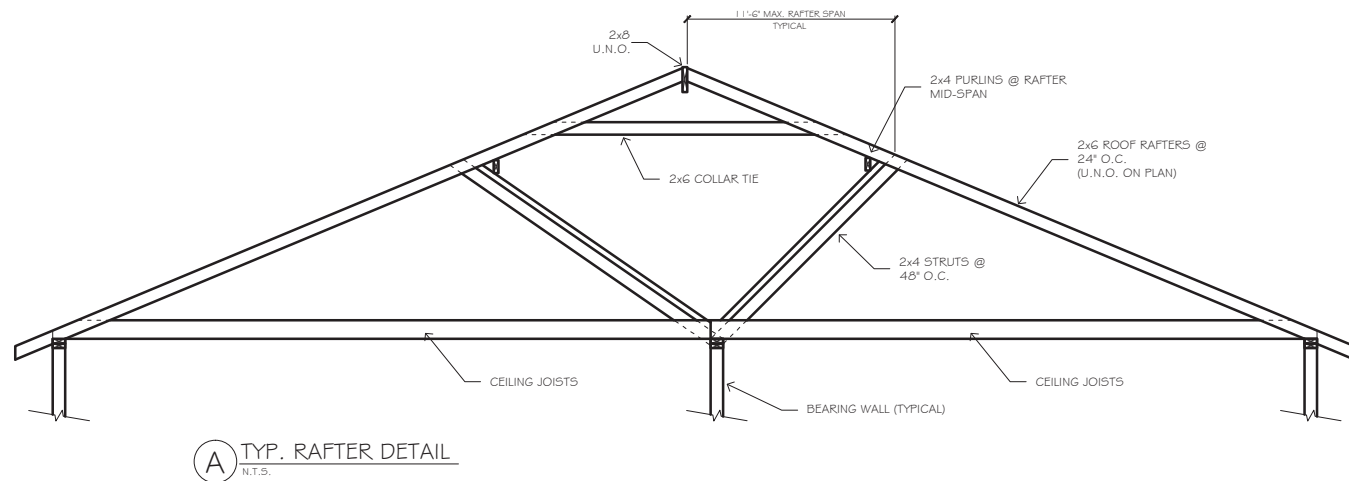
Scale
3/16" = 1'-0"

Sheet No.

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ROOF PLAN
SCALE: 1/8" = 1'-0"



A TYP. RAFTER DETAIL
N.T.S.

RAFTER SPAN CHART (SHINGLES 20psf)
REFERENCE=INTERNATIONAL RESIDENTIAL CODE 2018
TABLE R802.4.1(2)

RAFTERS: CEILING NOT ATTACHED TO RAFTERS,
DL = 20 PSF, LL = 20 PSF, $\Delta = 1/180$
RAFTERS: CEILING ATTACHED TO RAFTERS,
DL = 20 PSF, LL = 20 PSF, $\Delta = 1/240$

SPAN CHART FOR #2 SOUTHERN PINE

	RAFTERS, CEILING NOT ATTACHED TO RAFTERS				RAFTERS, CEILING ATTACHED TO RAFTERS			
	12"	16"	19.2"	24"	12"	16"	19.2"	24"
2 X 4	9'-0"	7'-9"	7'-1"	6'-4"	9'-0"	7'-9"	7'-1"	6'-4"
2 X 6	13'-6"	11'-8"	10'-8"	9'-6"	13'-6"	11'-8"	10'-8"	9'-6"
2 X 8	17'-1"	14'-9"	13'-6"	12'-1"	17'-1"	14'-9"	13'-6"	12'-1"
2 X 10	20'-3"	17'-6"	16'-0"	14'-4"	20'-3"	17'-6"	16'-0"	14'-4"
2 X 12	26'-0"	20'-8"	18'-10"	16'-10"	23'-10"	20'-8"	18'-10"	16'-10"

ROOF BRACING SCHEDULE			
TYPICAL ROOF BRACING	HT	REQUIREMENTS	SECTION
	1-8FT.	2X4 "T" BRACING	
	9-16FT.	2X6/2X6 "T" BRACING	
	17-25FT.	2X8/2X8 "T" BRACING	

NOTES, ROOF BRACING

- RAFTERS, RIDGES, HIPs AND VALLEYS SHALL BE #2 SOUTHERN PINE OR EQUAL.
- RIDGE, HIP, VALLEYS, AND PURLIN LOADS SHALL BE DISTRIBUTED TO WALLS OR BEAMS BELOW BY "T" BRACES OF (2) 2X6'S. THE "T" BRACES SHALL BE INSTALLED AT AN ANGLE GREATER THAN 45 DEGREES WITH THE HORIZONTAL. BRACE PURLINS AT 4'-0" O.C.
- RAFTER SPANS EXCEEDING 11'-8" WITH THE HORIZONTAL SHALL BE BRACED WITH A 2X6 PURLIN.
- USE 2X6 RAFTERS @ 24" O.C. UNLESS NOTED OTHERWISE. ALTERNATELY, USE THE SPAN CHARTS PROVIDED.
- NAIL RAFTERS TO RIDGE, VALLEYS, AND HIP USING 4=16D COMMON TOE NAILED OR 3=16D COMMON FACE NAILED MINIMUM.
- TOE NAIL ALL CEILING JOISTS TO TOP PLATE USING 3 10D COMMON. NO MORE THAN 2 NAILS SHALL BE INSTALLED ON EACH SIDE OF A JOIST WITH 2X4 TOP PLATE AND NO MORE THAN 3 NAILS INSTALLED ON EACH OF JOIST WITH A 2X6 TOP PLATE.
- ALL SPLICED RAFTERS SHALL BE SPLICED AND BRACED AT PURLIN LOCATION.



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217 E. Park Dr.
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Block 2 LT 13

Date
MAY 28, 2023

Sheet Title

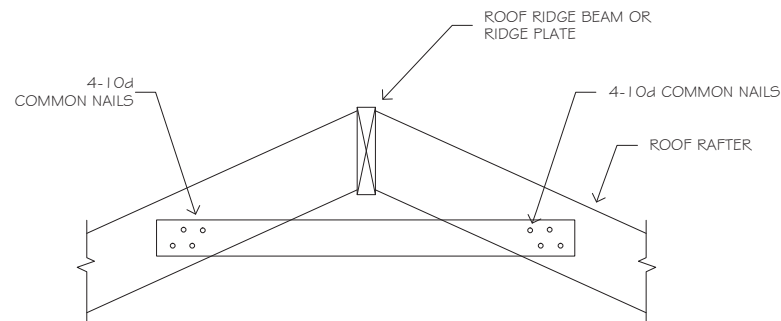
ROOF PLAN

Scale
1/8" = 1'-0"

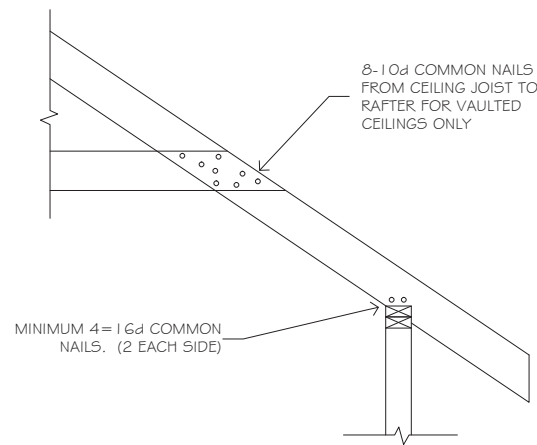
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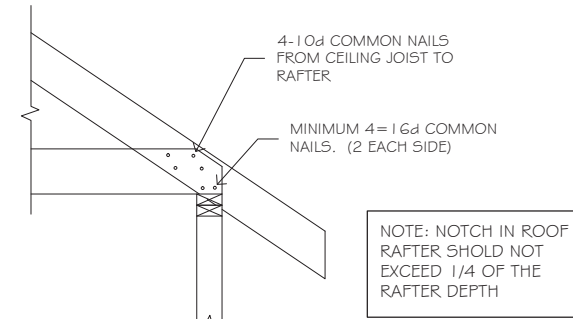
8 of 12



A TYPICAL COLLAR TIE
CONNECTION DETAIL
N.T.S.

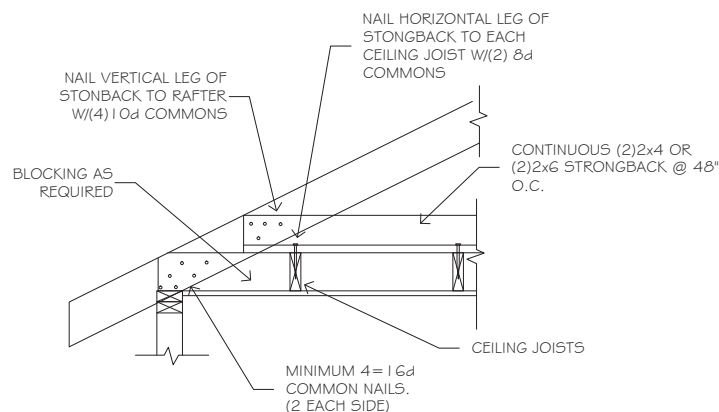


B TYPICAL DETAIL @
VAULTED CEILING
N.T.S.

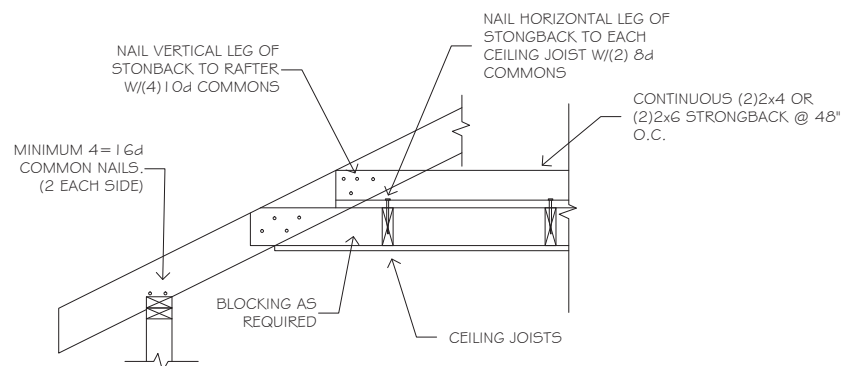


C TYPICAL ROOF RAFTER
ATTACHMENT TO TOP PLATE
N.T.S.

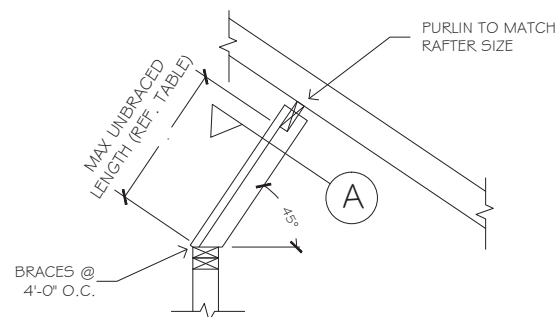
T-BRACE		
UNBRACED LENGTH	FLANGE SIZE	WEB SIZE
UP TO 6'-0"	---	2x4
UP TO 10'-0"	2x4	2x4
UP TO 16'-0"	2x4	2x6
UP TO 20'-0"	2x6	2x6
UP TO 26'-0"	2x6	(2)2x6



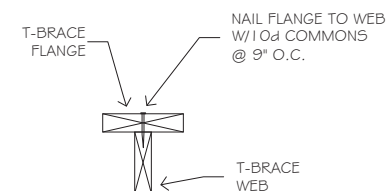
D CEILING JOIST PERPENDICULAR
TO ROOF RAFTER
N.T.S.



E VAULTED CLG. w/ CLG. JOIST
PERPENDICULAR TO RAFTERS
N.T.S.



F TYP. "T" BRACE
ROOF PURLIN SUPPORT DET.
N.T.S.



SECTION A-A



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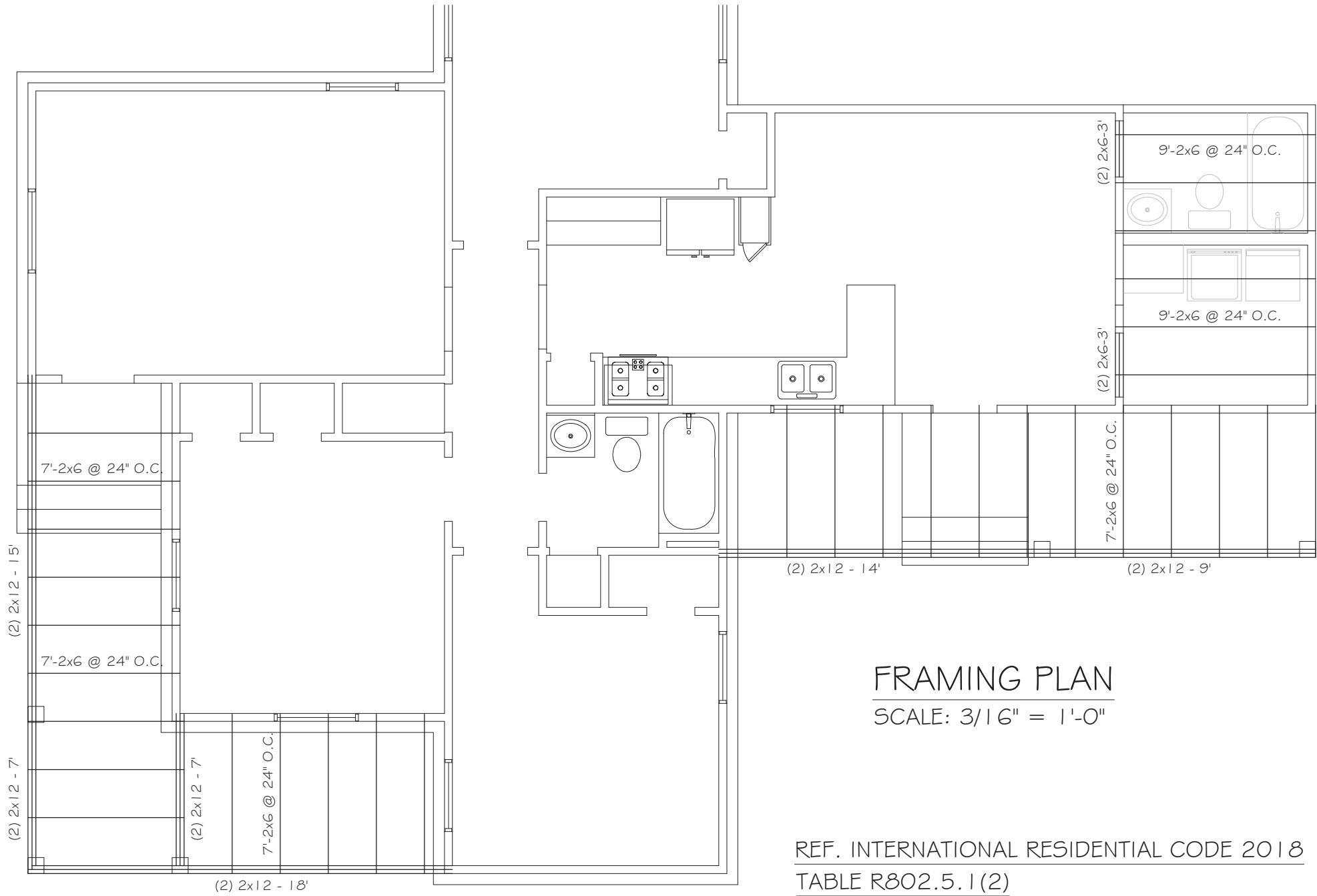
Sheet Title

ROOF DETAILS

Scale
3/16" = 1'-0"

Sheet No.

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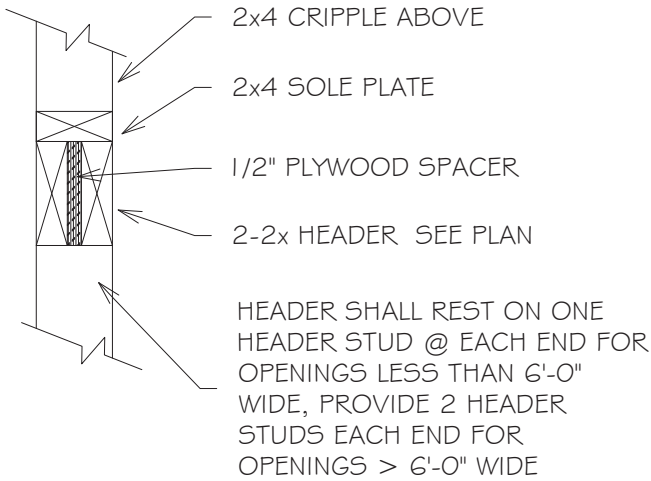
FRAMING PLAN
SCALE: 3/16" = 1'-0"

REF. INTERNATIONAL RESIDENTIAL CODE 2018
TABLE R802.5.1(2)

DL = 5psf LL = 10psf, Δ = 1/240
DL = 10psf LL = 20psf, Δ = 1/240

SPAN CHART FOR #2 SOUTHERN PINE

	CEILING JOISTS DEAD LOAD = 5 LIVE LOAD = 10				CEILING JOISTS DEAD LOAD = 10 LIVE LOAD = 20			
	12"	16"	19.2"	24"	12"	16"	19.2"	24"
2 X 4	11'-10"	10'-9"	10'-2"	9'-3"	9'-3"	8'-0"	7'-4"	6'-7"
2 X 6	18'-8"	16'-11"	15'-7"	13'-11"	13'-11"	12'-0"	11'-0"	9'-10"
2 X 8	24'-7"	21'-7"	19'-8"	17'-7"	17'-7"	15'-3"	13'-11"	12'-6"
2 X 10	26'-0"	25'-6"	23'-5"	20'-11"	20'-11"	18'-1"	16'-6"	14'-9"
2 X 12								

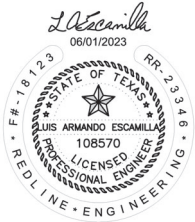


A TYP. HEADER DETAIL
N.T.S.

NOTES

1. ALL CEILING JOISTS TO BE #2 SOUTHERN PINE.
2. ALL CEILING JOISTS MUST BE NAILED TO TOP PLATE W/3=8D COMMON NAILS.
3. ALL CEILING JOISTS MUST BE NAILED TO RAFTER W/9=16D COMMON NAILS.
4. JOISTS AND BEAM HANGERS, WHERE SPECIFIED, SHALL BE FULLY NAILED PER MANUFACTURER'S CATALOG SPECIFICATIONS.
5. DECKING FOR UNINHABITABLE ATTICS WITH LIMITED STORAGE SHALL BE MINIMUM 7/16" PLYWOOD OR OSB, WITH A SPAN RATING THAT MEETS OR EXCEEDS THE CEILING JOIST SPACING.
6. MULTIPLE-PLY BEAMS, WHERE SPECIFIED, SHALL HAVE EACH PLY NAILED TOGETHER WITH 2 ROWS OF 16D COMMONS @ 12" O.C. (3 ROWS OF NAILS REQUIRED FOR BEAMS EXCEEDING 12" MIN. DEPTH)
7. ALL MULTIPLE-PLY BEAM CALLOUTS ON PLANS SHALL BE #2 SOUTHERN PINE UNLESS NOTED OTHERWISE.

HEADER SPAN ALLOWANCE (MAXIMUM)		
(PLY) SIZE	LOAD BEARING	NON-LOAD BEARING
(2) 2X6's	-	4 FT
(2) 2X8's	4 FT	6 FT
(2) 2X10's	6 FT	8 FT
(2) 2X12's	8 FT	10 FT
LOAD BEARING HEADERS GREATER THAN 8'-0" NEED TO BE SIZED		



North

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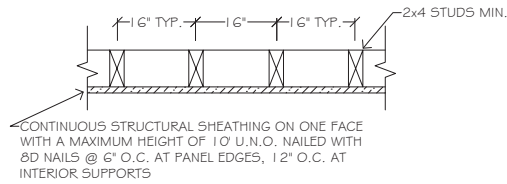
217 E. Park Dr.
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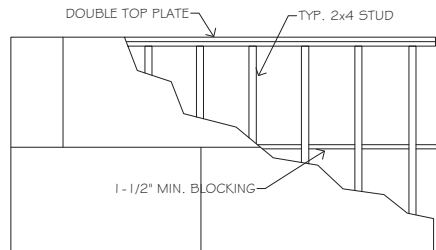
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FRAMING

Scale
3/16" = 1'-0"

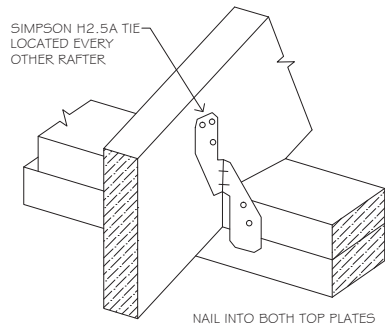
Sheet No.
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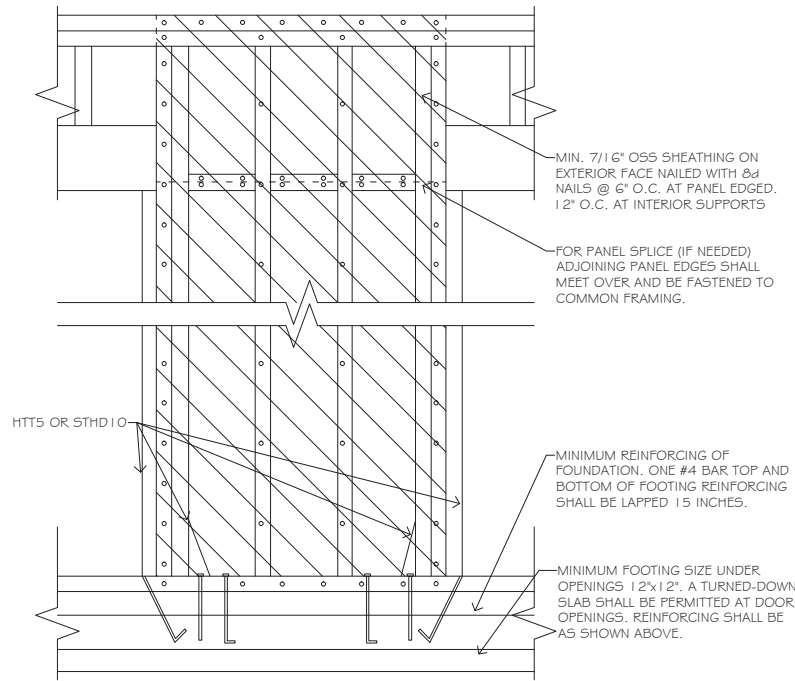
1 SECTION DETAIL
N.T.S.



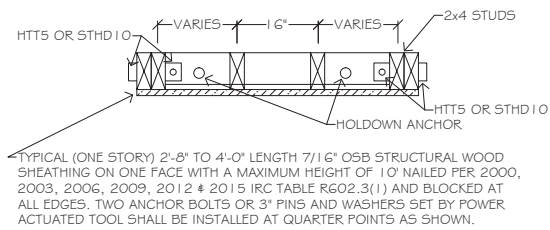
PANEL BLOCKING DETAIL
N.T.S.



RAFTER TO TOP PLATE DETAIL
N.T.S.

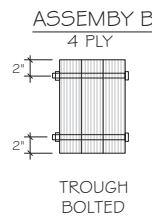
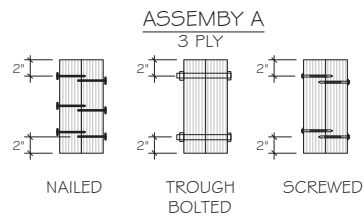


2 SECTION DETAIL (EXTERIOR ELEVATION)
N.T.S.

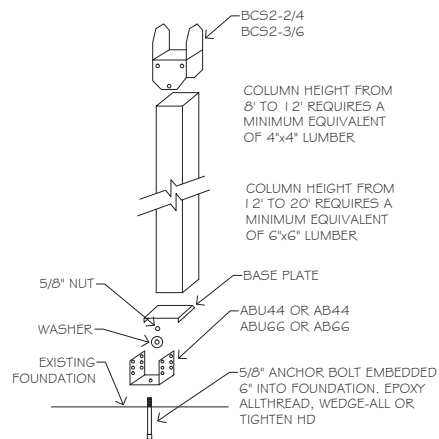


2 SECTION DETAIL (PLAN VIEW)
N.T.S.

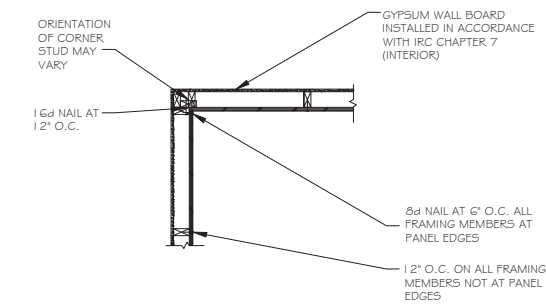
SIDE-LOADED MULTIPLE MEMBER CONNECTION SCHEDULE			
ASSEMBY TYPE	NAILED CONN.	THROUGH-BOLTED CONN.	STRUCTURAL WOOD SCREW CONN.
ASSEMBLY A	3 ROWS 12d COMMON WIRE NAILS AT 12" O.C.	2 ROWS 1/2" DIA. BOLTS W/ WASHERS AT 12" O.C.	2 ROWS 1/4" DIA. x 3 1/2" LONG SCREWS AT 12" O.C.
ASSEMBLY B	NOT APPLICABLE	2 ROWS 1/2" DIA. BOLTS W/ WASHERS AT 12" O.C.	NOT APPLICABLE



LVL BEAM ASSEMBLY
N.T.S.

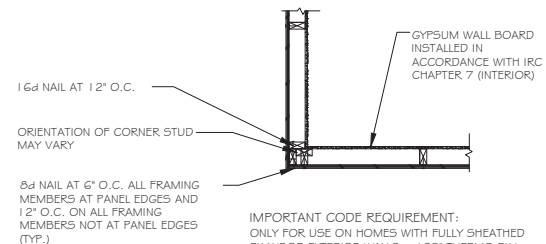


STANDARD COLUMN DETAIL
N.T.S.



IMPORTANT CODE REQUIREMENT:
ONLY FOR USE ON HOMES WITH FULLY SHEATHED PLYWOOD EXTERIOR WALLS. .135\"/>

EXAMPLE OF INSIDE CORNER DETAIL
N.T.S.



IMPORTANT CODE REQUIREMENT:
ONLY FOR USE ON HOMES WITH FULLY SHEATHED PLYWOOD EXTERIOR WALLS. .135\"/>

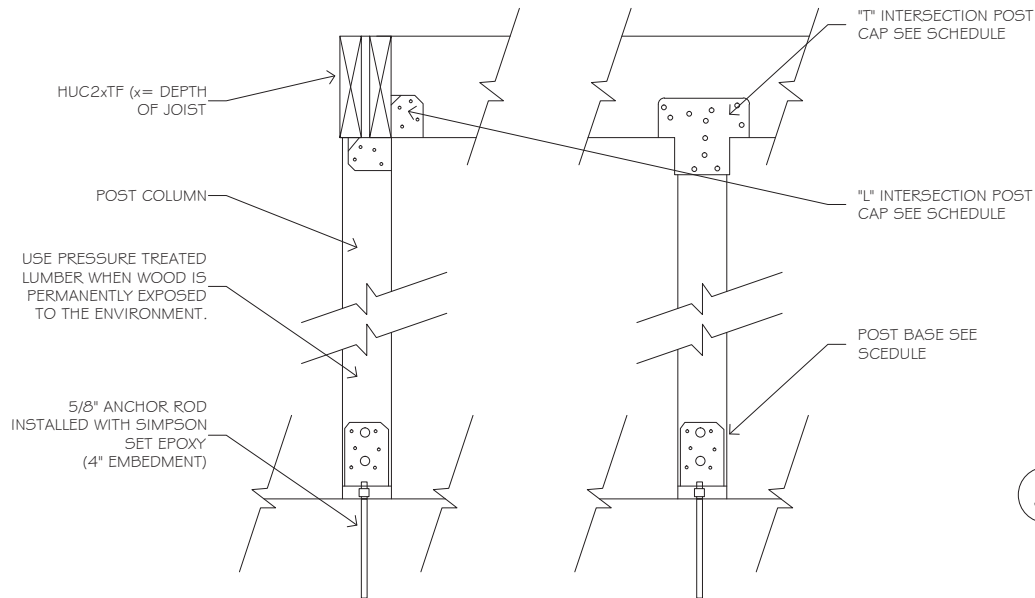
EXAMPLE OF OUTSIDE CORNER DETAIL
N.T.S.

GENERAL NOTES

- REFERENCE ARCHITECTURAL DRAWINGS FOR STUD SIZES AND DIMENSIONS.
- ALL RAFTERS/LEDGERS, STUDS, HEADERS AND SHEATHING SHALL BE NAILED IN ACCORDANCE WITH THE 2018 IRC TABLE R602.3(1), UNLESS OTHERWISE NOTED.
- SEAWALL SEGMENTS SHALL BE CONTINUOUS FROM THE MUDSLIDE THROUGH THE DOUBLE TOP PLATE.
- BRACE WALLS LESS THAN 2' IN WIDTH DO NOT REQUIRE BOLTS & WASHERS BETWEEN THE 2 INSTALLED HOLD DOWN STRAPS (HTTS/STHD IO). PROVIDE 1-ANCHOR BOLT C/L OR 2-3\"/>
- MUDSLIDE AT ALL EXTERIOR WALLS SAHLL BE ANCHORED TO THE FOUNDATION SLAB WITH 1/2\"/>
- WHERE RAFTERS MEET THE TOP PLATE OF EXTERIOR WALLS, INSTALL SIMPSON STRONG-TIE H2.5 ANCHORS AT EVERY OTHER RAFTER. ANCHORS WITH 445 LB. CAPACITY OR GREATER MAY BE USED AS AN ALTERNATE.
- ALL INTERIOR WALLS TO BE 1/2\"/>
- LET-IN BRACING MAY BE SUBSTITUTED WITH 4x8 STRUCTURAL SHEATHING (RED T-PLY OR OSB) FROM TOP TO BOTTOM PLATE OR CS16 X-BRACING.
- ALL INTERIOR BRACED WALLS MUST BE ANCHORED TO THE FOUNDATION USING SIMPSON TITEN HD 1/2\"/>
- 1 INSTALL TITEN HD ANCHOR BOLTS AT MAXIMUM SIX FEET ON CENTER, WITH MINIMUM 2-3/4\"/>
- 2 MINIMUM TWO BOLTS PER BRACED WALL SECTION, WITH ONE BOLT LOCATED NOT MORE THAN 12\"/>

NOTE: SIMPSON STHD IO OR HTTS CAN BE ROTATED 90°

NOTE: ALL SIMPSON PRODUCTS MAY BE SUBSTITUTED WITH APPROVED EQUAL



3 TYP. EXTERIOR COLUMN/ POST ANCHOR DETAIL
N.T.S.

POST SIZE	RECOMENDED BASE	RECOMENDED CAP	"T" CAP	"L" CAP
4 X 4	ABA44Z, ABU44, ABW44Z	BC4, LCE4, ACA	AC4, LP4Z	LCE4
6 X 6	ABAGGZ, ABUGG, ABWG6Z	BC6, LCE4 AC6	AC6, LPC6Z	LCE4
8 X 8	ABU88	BC8, LCE4, PC88	BC8, PCx8, CCx8	LCE4
10 X 10	CB1010	THROUGH BOLTS	ACE, THROUGH BOLTS	THROUGH BOLTS
12 X 12	CB1212	THROUGH BOLTS	ACE, THROUGH BOLTS	THROUGH BOLTS

* OR EQUIVALENT x = BEAM WIDTH

NOTES:

- USE SIMPSON Z-MAX FINISH or USP EQUIVALENT FOR POST CONNECTORS WITH PERMANENT EXTERIOR EXPOSURE
- USE PRESSURE TREATED LUMBER WHEN WOOD IS PERMANETLY EXPOSED TO THE ENVIRONMENT.



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217 E. Park Dr.
Little Elm, Texas 75068
Frisco Park Estates
Block 2 LT 13

Date
MAY 28, 2023

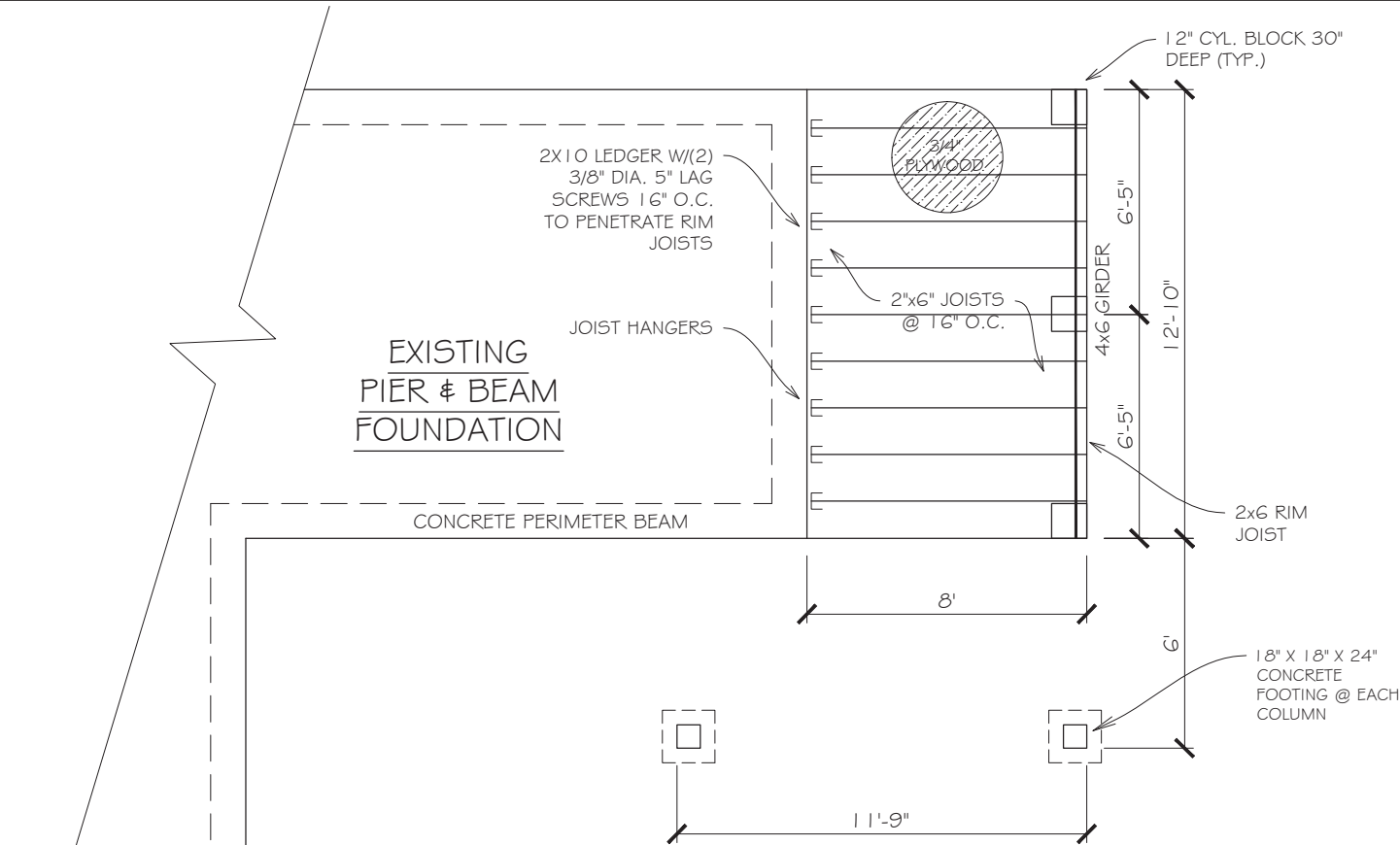
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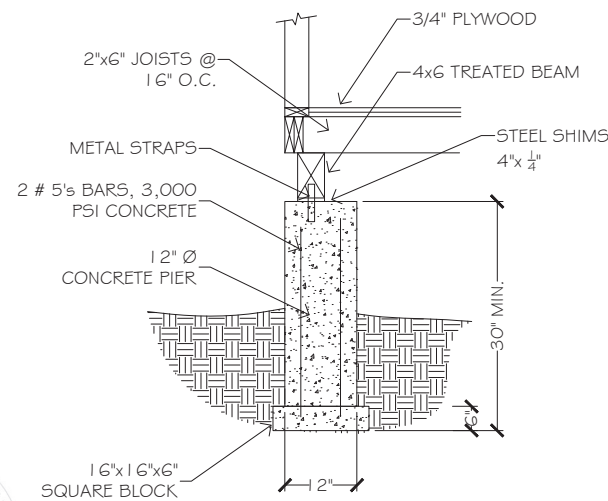
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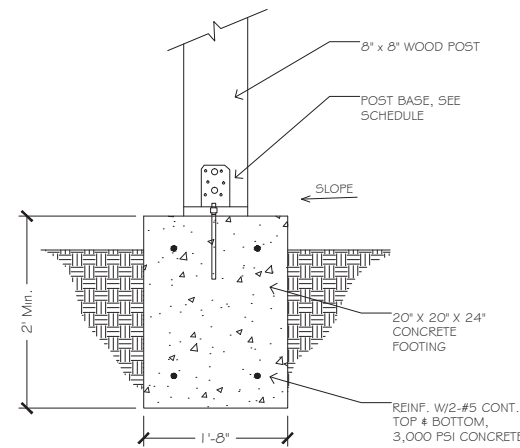
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11 of 12



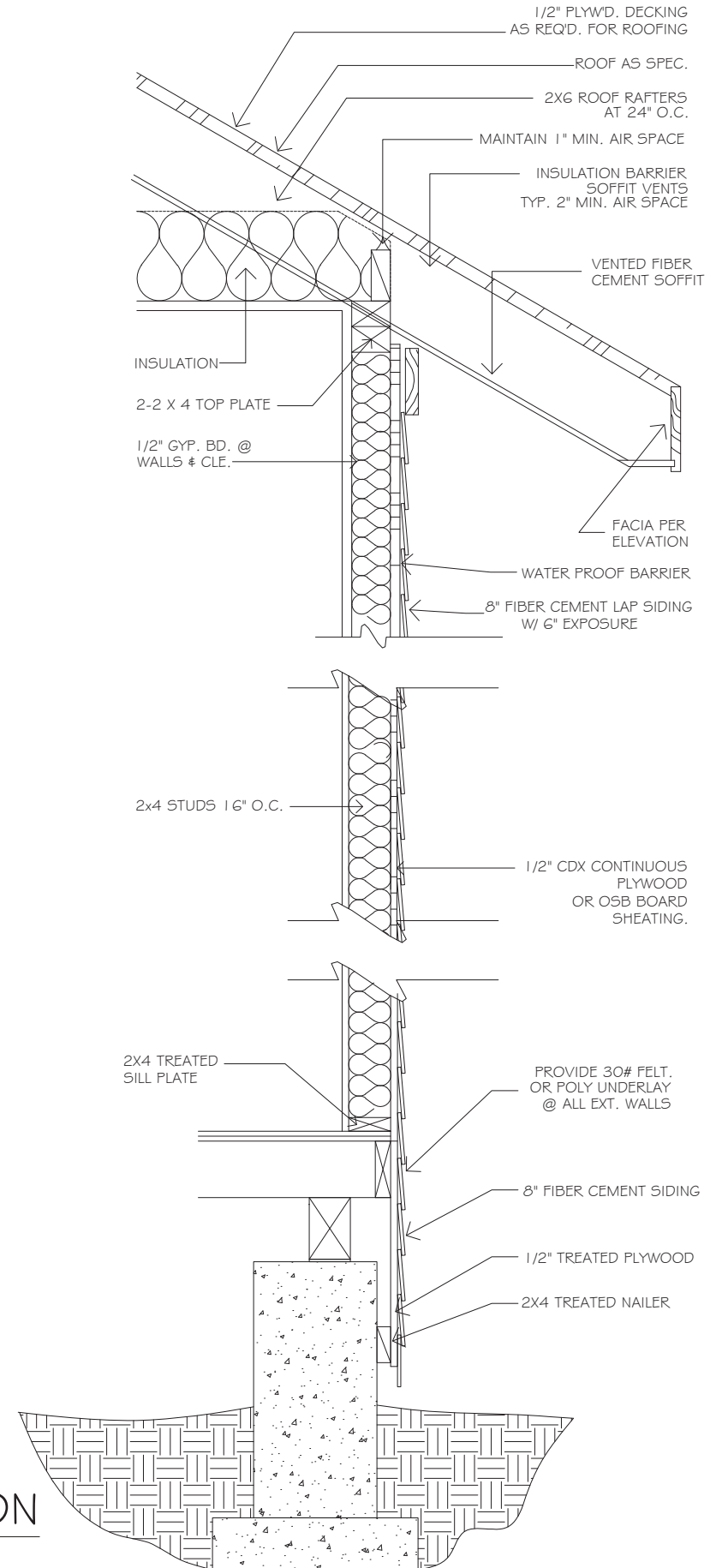
FOUNDATION PLAN
SCALE: 3/16" = 1'-0"



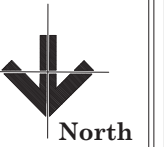
A EXTERIOR PIER
N.T.S.



B COLUMN FOOTING
N.T.S.



WALL SECTION
N.T.S.



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