



# TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

May 18, 2023

*Persons may address the Planning and Zoning Commission on any issue. This is the appropriate time for citizens to address the Commission on any concern whether on this agenda or not. Each member of the public who desires to address the P&Z Commission regarding an item on an agenda for an open meeting of the P&Z Commission shall have the right to address the Commission on the item before the Commission's consideration of the item. All speakers not requiring a translator are given 3 minutes to speak and may address the Commission only once on each agenda item. Non-English Speakers who require a translator are given 6 minutes to speak and may address the Commission only once on each agenda item. In accordance with the State of Texas Open Meeting Act, the board may not comment or deliberate such statements during this period, except as authorized by Section 551.042, Texas Government Code. To address the Commission for any public hearing item please sign a speaker's sheet located on the tables by the front entry and submit to a Staff member.*

## 1. **5:30 PM Work Session**

- Planning & Zoning Commission as the Capital Improvements Advisory Committee - Town Engineer Wesley Brandon to discuss the Commission's role.

## 2. **6:00 PM Regular Meeting**

## 3. **Roll Call**

## 4. **Consent Agenda**

1. Discuss and take action regarding the approval of the May 4, 2023, Regular Planning and Zoning Commission Meeting Minutes.
2. **FINAL PLAT/ Ace Hardware (FP-23-01029).** Presentation, discussion, and consideration on a request for approval of a Final Plat consisting of 7.645 acres, situated in D.M. Cule Survey, Abstract No. 226, within Little Elm's Town Limits, in order to establish one commercial lot and easements necessary for development.
  - Presentation
  - Discussion
  - Recommendation
3. **FINAL PLAT/ King Road Business Park (FP-23-01030).** Presentation, discussion, and consideration on a request for approval of a Final Plat consisting of 8.251 acres, situated in J.W. King Survey, Abstract No. 694, within Little Elm's Town Limits, in order to establish a commercial lot, easements, and dedicate Right-of-way necessary for development.
  - Presentation
  - Discussion
  - Recommendation

5. **Regular Agenda**

1. **PUBLIC HEARING/Liquor Mart (SUP-23-01048).** Public hearing, discussion, and take action on a recommendation regarding a request for a Specific Use Permit (SUP) for a 3,040 square-foot Liquor Store use, generally located in Building 200, 11700 FM 423, currently zoned Planned Development with a Light Commercial base through Ordinance #1691, in order to allow for sale of alcoholic beverages for off-site consumption only.
  - Staff Report/ Applicant Presentation
  - Open Public Hearing
  - Receive Public Comment
  - Close Public Hearing
  - Discussion and Recommendation
2. **PUBLIC HEARING/ Lakeshore Plaza Addition (PD-23-00838).** A request to rezone approximately 4.159 acres of land, currently zoned as Lakefront District (LF), with an SUP for a daycare use (Ordinance No. 1462), generally located 500 feet west of the intersection of E Eldorado Parkway and Hillside Drive, within Little Elm's town limits, in order to establish a new Planned Development district based on Lakefront (LF) district standards, to capture existing nonconforming development, expand the existing daycare square footage, and allow a new mixed-use commercial/residential development with modified development standards.
  - Staff Report
  - Open Public Hearing
  - Receive Public Comment
  - Close Public Hearing
  - Discussion and Recommendation

6. **Discussion of future agenda items, update on Council action, and requests for new business considerations**

7. **Adjourn**

Certificate

I certify that the above notice of the Planning & Zoning Commission meeting was posted on the bulletin board of the Town of Little Elm, Texas on May 15, 2023, prior to 5:00 p.m. The Little Elm Town Hall is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive service must be made 48 hours prior to this meeting. Please contact the Town Secretary's office at 214-975-0404 or 972-377-5540 (fax) for arrangements.

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Olga Chernomorets - Managing Director of Planning



# TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

05/18/2023

## OVERVIEW

<b>Project</b>	Adoption of the May 4, 2023 Planning & Zoning Commission Meeting Minutes
<b>P&amp;Z Hearing</b>	05/18/2023
<b>Council Hearing</b>	N/A
<b>Size</b>	N/A
<b>Current Zoning</b>	N/A
<b>Proposed Use</b>	N/A
<b>Existing Use</b>	N/A
<b>Future Land Use Plan Designation</b>	N/A
<b>Applicant</b>	N/A
<b>Owner</b>	N/A
<b>Strategic Goal</b>	

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### Agenda Item

Discuss and take action regarding the approval of the May 4, 2023, Regular Planning and Zoning Commission Meeting Minutes.

### Location

N/A

### Planning Analysis

N/A

### Recommended Action

N/A

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### Attachments

P&Z Minutes May 4, 2023

# DRAFT



## Minutes

**Town of Little Elm**  
**PLANNING & ZONING COMMISSION**  
**Regular Meeting**  
**Thursday, MAY 4, 2023 - 7:00 pm**

**Present:** Ron Trees, Vice Chairman; Tom Ocelli, Commissioner; Stephen Horn, Commissioner; Jack Skinner, Commissioner; Robert Martin, Commissioner

**Absent:** Michael Bell, Chairman; Brent Thibeaux, Commissioner; Chip Norman, Alternate Commissioner; Debra Cadet, Alternate Commissioner

**Staff Present:** Olga Chernomorets, Managing Director of Planning  
Wesley Brandon, Town Engineer  
Rachel Mendoza, Development Manager  
Brian Salvesen, Planner

1. **5:50 PM Work Session**

2. **6:00 PM Regular Meeting**

Vice-Chair Trees opened the meeting at 6:00pm.

3. **Roll Call**

4. **Consent Agenda**

Motion: Approve consent agenda as presented.

Motion by Commissioner Jack Skinner, seconded by Commissioner Robert Martin

AYE: Vice Chairman Ron Trees, Commissioner Tom Ocelli, Commissioner Stephen Horn,  
Commissioner Jack Skinner, Commissioner Robert Martin

**5 - 0 Passed - Unanimously**

1. Discuss and take action regarding the approval of the April 20, 2023, Regular Planning and Zoning Commission Meeting Minutes.

Item passed in Consent Agenda motion.

2. **FINAL PLAT/ Ace Hardware (FP-23-01029).** Presentation, discussion, and consideration on a request for approval of a Final Plat consisting of 7.645 acres, situated in D.M. Cule Survey, Abstract No. 226, within Little Elm's Town Limits, in order to establish one commercial lot and easements necessary for development.
  - Presentation
  - Discussion
  - Recommendation

Extension request approved in consent agenda motion.

3. **FINAL PLAT/ King Road Business Park (FP-23-01030).** Presentation, discussion, and consideration on a request for approval of a Final Plat consisting of 8.251 acres, situated in J.W. King Survey, Abstract No. 694, within Little Elm's Town Limits, in order to establish a commercial lot, easements, and dedicate Right-of-way necessary for development.
  - Presentation
  - Discussion
  - Recommendation

Extension request approved in consent agenda motion.

## 5. **Regular Agenda**

1. **REPLAT/ North Texas Collegiate Academy (FP-23-00833).** Presentation, discussion, and consideration on a request for approval of a Final Plat consisting of 4.219 acres, situated in D. Cule Survey, Abstract No. 226, within Little Elm's Town Limits, in order to combine multiple lots into one commercial lot, and establishing easements necessary for development.
  - Presentation
  - Discussion
  - Consideration

Staffed briefed the commission that the plat had been resubmitted to staff since the agenda was posted. Staff requested that the latest submittal be approved.

Motion: Approve Plat as presented.

Motion by Commissioner Tom Ocelli, seconded by Commissioner Jack Skinner

AYE: Vice Chairman Ron Trees, Commissioner Tom Ocelli, Commissioner Stephen Horn,  
Commissioner Jack Skinner, Commissioner Robert Martin

**5 - 0 Passed - Unanimously**

2. **SUBDIVISION VARIANCE/Ladera Little Elm (VAR-23-01532).** Presentation, discussion, and consideration on a request for a Variance from Section 107 - Subdivision Ordinance, for Ladera Little Elm, approximately 58.5 acres, situated in the DAVID M. CULE SURVEY, Abstract No. 226, within Little Elm's town limit, in order to allow for asphalt street construction instead of concrete as required by the Town's Engineering Design Standards.
- Staff Report
  - Applicant Presentation
  - Discussion and Recommendation

Staff briefed the commission on the subdivision variance request.

Vice-Chair Ron Trees asked for clarification on how many other gated communities Little Elm had and what paving surface they used.

Staff: To Staff's knowledge there is only one other gated area in Town, and it uses concrete paving.

Commissioner Martin inquired whether this type of variance for asphalt instead of concrete been approved previously?

Staff: To Staff's knowledge this type of variance request has not been previously approved.

The Applicant, John Delin with Integrity Group, the developer for Ladera, gave a presentation to the Commission.

Mr. Delin stated that the cost of materials has increased which has in turn increased the projected asking price of the houses being built. Mr. Delin also claimed that the asphalt that would be used would be comparable to a concrete product and that Integrity Group would provide additional funds to the Condo Owner Association to offset any change in the malignance projections for the COA. Additionally, the development will still do concrete intersections where the vehicle impact to the paving would be the highest.

The Commission had the following questions for Mr. Delin:

Vice-Chair Ron Trees: Will the resident's monthly fee change, regardless of concrete or asphalt?

Mr. Delin: There will be no change.

Commissioner Ocelli: Is asphalt what you use in other projects?

Mr. Delin: This would be the first project to utilize asphalt, but speculation is that other cities are also considering allowing asphalt.

Commissioner Martin: Is the projected asking price an average or a base? What are the higher end models going to go for? And how do you plan to deal with the temperature difference of materials?

Mr. Delin: The projecting asking price of \$368,000 (\$348,000 if utilizing asphalt) is for our base model, the anticipated highest end model we have will have an asking price of over \$600,000. Mr. Delin stated he did not know the temperature difference but would get an answer.

Commissioner Horn: What is the change in price of the concrete and how much will the COA bring in annually?

Mr. Delin: The change in concrete has grown from \$100 per yard to \$179 per yard since the project was priced in 2021. The COA will bring in around \$1 million annually.

Commissioner Horn questioned the stated concrete costs based on his research, indicating that \$179 is significantly higher what the Builder's Association had listed online for current concrete costs.

With no more questions for Mr. Delin, the Commission discussed their consideration of the subdivision variance.

Vice-Chair Trees had concerns over the maintenance and replacement costs.

Commissioner Horn stated that approving the variance request sets a bad precedent for future similar requests and that he has seen the Town having to step in to cover an Owner's Associations' necessary improvements when that Association is not holding up their end of their maintenance agreements.

Commissioner Skinner agreed on the variance setting a bad precedent and doesn't want the Commission to get involved in the profitability of a company.

Commissioner Ocelli had concerns over the change in quality and durability of asphalt.

Commissioner Martin didn't see a link between the variance request and reasons outlined for Commission's consideration of possible variance approval within the Town's Subdivision Ordinance.

Motion: Deny the Variance Request.

Motion by Commissioner Jack Skinner, seconded by Commissioner Robert Martin

AYE: Vice Chairman Ron Trees, Commissioner Tom Ocelli, Commissioner Stephen Horn,  
Commissioner Jack Skinner, Commissioner Robert Martin

**5 - 0 Passed - Unanimously**

6. **Discussion of future agenda items, update on Council action, and requests for new business considerations**

7. **Adjourn**

Meeting adjourned at 6:40pm.



# TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

05/18/2023

## OVERVIEW

<b>Project</b>	FINAL PLAT/ Ace Hardware (FP-23-01029)
<b>P&amp;Z Hearing</b>	05/18/2023
<b>Council Hearing</b>	N/A
<b>Size</b>	Approximately 7.645 acres
<b>Current Zoning</b>	Planned Development (Light Commercial Base)
<b>Proposed Use</b>	Planned Development (Light Commercial Base)
<b>Existing Use</b>	Vacant
<b>Future Land Use Plan Designation</b>	Commercial/Retail
<b>Applicant</b>	Roger Yale
<b>Owner</b>	Roger Yale
<b>Strategic Goal</b>	

## Agenda Item

**FINAL PLAT/ Ace Hardware (FP-23-01029).** Presentation, discussion, and consideration on a request for approval of a Final Plat consisting of 7.645 acres, situated in D.M. Cule Survey, Abstract No. 226, within Little Elm's Town Limits, in order to establish one commercial lot and easements necessary for development.

- Presentation
- Discussion
- Recommendation

## Location

Generally located 400 feet east of the intersection of Hill Lane and Oak Grove Parkway, within Little Elm's town limits.

## Planning Analysis

The purpose of a final plat is to ensure that the proposed subdivision and development of the land is consistent with all standards of the Town's Subdivision Ordinance pertaining to the adequacy of public facilities, that public improvements to serve the subdivision or development have been installed and accepted by the Town or that provision for such installation has been made, that all other requirements and conditions have been satisfied or provided to allow the final plat to be recorded.

The applicant has reached the maximum 60-day time limit allowed by state law for plat processing and has requested the item be withdrawn.

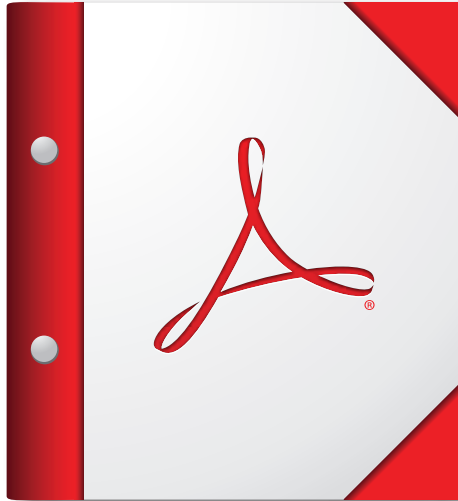
**Recommended Action**

Staff recommends approval of the applicant's withdrawal request.

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**Attachments**

Withdrawal Request



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Acrobat X or Adobe Reader X, or later.**

**Get Adobe Reader Now!**



# TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

05/18/2023

## OVERVIEW

<b>Project</b>	FINAL PLAT/ King Road Business Park (FP-23-01030)
<b>P&amp;Z Hearing</b>	05/18/2023
<b>Council Hearing</b>	N/A
<b>Size</b>	Approximately 8.251 acres
<b>Current Zoning</b>	Light Commercial (LC)
<b>Proposed Use</b>	Commercial
<b>Existing Use</b>	Commercial
<b>Future Land Use Plan Designation</b>	Retail/Commercial
<b>Applicant</b>	Kamran Mehdizadeh
<b>Owner</b>	Kamran Mehdizadeh
<b>Strategic Goal</b>	

## Agenda Item

**FINAL PLAT/ King Road Business Park (FP-23-01030).** Presentation, discussion, and consideration on a request for approval of a Final Plat consisting of 8.251 acres, situated in J.W. King Survey, Abstract No. 694, within Little Elm's Town Limits, in order to establish a commercial lot, easements, and dedicate Right-of-way necessary for development.

- Presentation
- Discussion
- Recommendation

## Location

Generally located on the northwest side of the King Road and Anthem Drive intersection, within Little Elm's town limits

## Planning Analysis

The purpose of a final plat is to ensure that the proposed subdivision and development of the land is consistent with all standards of the Town's Subdivision Ordinance pertaining to the adequacy of public facilities, that public improvements to serve the subdivision or development have been installed and accepted by the Town or that provision for such installation has been made, that all other requirements and conditions have been satisfied or provided to allow the final plat to be recorded.

The property is undergoing Development Agreement discussions due to existing site and use

non-conformities. However, at this time, the applicant and Town have not reached consensus with regard to the DA details, therefore a plat cannot be approved as the property does not comply with the Town's Zoning Ordinance. Since the applicant has reached the maximum 60-day time limit allowed by state law for plat processing, action needs to be taken on this request.

**Recommended Action**

Staff recommends denial of the request plat document.

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# TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

05/18/2023

## OVERVIEW

<b>Project</b>	PUBLIC HEARING/ Liquor Mart (SUP-23-01048)
<b>P&amp;Z Hearing</b>	05/18/2023
<b>Council Hearing</b>	June 20, 2023
<b>Size</b>	3,040 square feet
<b>Current Zoning</b>	Planned Development (Light Commercial Base)
<b>Proposed Use</b>	Commercial
<b>Existing Use</b>	Vacant
<b>Future Land Use Plan Designation</b>	Commercial/Retail
<b>Applicant</b>	Andy Sissney, Consultant
<b>Owner</b>	Dhaval Solanki
<b>Strategic Goal</b>	

## Agenda Item

**PUBLIC HEARING/Liquor Mart (SUP-23-01048).** Public hearing, discussion, and take action on a recommendation regarding a request for a Specific Use Permit (SUP) for a 3,040 square-foot Liquor Store use, generally located in Building 200, 11700 FM 423, currently zoned Planned Development with a Light Commercial base through Ordinance #1691, in order to allow for sale of alcoholic beverages for off-site consumption only.

- Staff Report/ Applicant Presentation
- Open Public Hearing
- Receive Public Comment
- Close Public Hearing
- Discussion and Recommendation

## Location

Approximately located at the southwest corner of the intersection of Woodlake Parkway and FM 423, within Little Elm's Town Limits.

## Planning Analysis

**Background.**

Subject property is currently zoned Planned Development – Light Commercial (PD-LC), first through Ordinance #1526 and later amended through Ordinance #1691. This PD covers the two current parcels with the intent to further subdivide the parcels as development occurs. The proposed SUP will be on the northern lot, which is 3.2 acres in size with two commercial retail buildings totaling 25,438 square feet. The proposed liquor store would occupy 3,040 square feet within Suite 250, located in the center of the northern building. The building is currently under construction.

Per Section 106.01.13, Liquor Store is defined as “A facility for the sale of beer, wine, and/or liquor not for on-premise consumption that derives 75 percent or more of its gross revenue from the on-premise sale of beer, wine, and/or liquor.”

Section 106.05.02.2 (o) proves 3 provisions for a liquor store:

1. A liquor store may be no less than 1,000 ft from another liquor store. (The nearest liquor store is over 7,000 feet to the south of the Lot)
2. Prior to issuance of a certificate of occupancy, the business owner shall provide the town with a copy of its state permit to operate a liquor store.
3. All alcohol-related activities must meet all standards found in Chapter 10, alcoholic beverages, of the Little Elm Code of Ordinances.

Chapter 106 of the Little Elm Code of Ordinances allows liquor store uses to locate within the Light Commercial (LC) district, through a Specific Use Permit (SUP). The purpose of the SUP requirement is to allow the Town to determine the situational suitability and appropriateness of each particular proposal. This allows review of the proposed operation any potential nuisances, as well as possible mitigation efforts, on a case by case basis. Thus, the Administration has broad discretionary approval of the requested SUP.

**Proposal.**

The applicant is requesting approval of a liquor store as an allowed use on the subject property, for the purposes of on-premises sales of alcoholic beverages for off-premise consumption only. The applicant has provided a letter of intent describing a high-end, neighborhood one-stop-shop for beer, wine, and liquor.

The proposal includes a total SUP area of 3,040 square feet, with the submitted floor plan showing a typical retail store layout with aisles of shelves, walk-in-cooler, liquor storage, restrooms, and checkout area. The applicant has also provided pictures of the interior space of other liquor stores they own as a concept for the interior of this store, which will be adopted as part of the SUP Ordinance as the minimum standard. The proposed store hours are Monday through Saturday, 10AM to 9PM.

The owner currently operates the Liquor Mart located at 500 W. Eldorado and would like to expand their business to a second location within the town. Overall, the owner currently has 3 stores within Denton and Collin County with similar hours to what are being proposed.

**Zoning Standards**

Design and Landscape Standards: There are no proposed exterior alterations to the approved “Site Development” plans and “New Commercial Shell” building plans.

Parking: The proposed use is required to be parked at a ratio of one parking space per 200 square feet of floor area. The existing site was developed through an approved Site Development Plan, which included two mixed-use (retail, and restaurant) buildings and requires a total of 127 parking spaces at full tenant occupancy. The site provides a total of 146 parking spaces which meets parking requirements.

**Signage.**

When a sign permit is submitted, it will be reviewed by town staff in accordance to chapters 86 and 106 of Town Code. According to Section 86-13 Permitted Signs, (14) Window, “[The] maximum sign area is 30 percent of the window area per wall. Signs exceeding 30 percent shall be calculated against the maximum wall sign area permitted, upon discretionary review and approval by the director.” Past SUP requests for

Liquor Stores have had restrictions on window signage to allow only legally required signs and operational signs. Staff believes this an appropriate request for this location to ensure the store remains cohesive with the entirety of the site and creates an active storefront.

**Building and Fire Approval.**

Should the SUP request be approved, Building and Fire will review specific interior finish out and signage plans for compliance with adopted building and fire codes.

**Comprehensive Plan.**

The Future Land Use Plan (FLUP) designates the subject property with a retail/commercial land use category, which is appropriate for the proposed establishment. Therefore, the requested SUP, if approved, would not be in conflict with the Town's vision for this area.

**Recommended Action**

The purpose of an SUP is to add or modify specific land use rights to those already granted within a zoning district. Section 106.02.17 provides that each request considers the intensity of the proposed use within the context of the proposed location based on compatibility and suitability, and in evaluating the compatibility of the proposed use within the existing area context, "the town council may impose such additional development standards and safeguards as the conditions and locations indicate important to the welfare and protection of adjacent property from noise, vibration, dust, dirt, smoke, fumes, odor, gas, explosion, glare, offensive view, or other undesirable or hazardous conditions."

Given the purpose of a Specific Use Permit, Staff believes there are several possible conditions that could be placed on this SUP request to help make it more appropriate within the context of the existing shopping center, as well as its proximity to other uses.

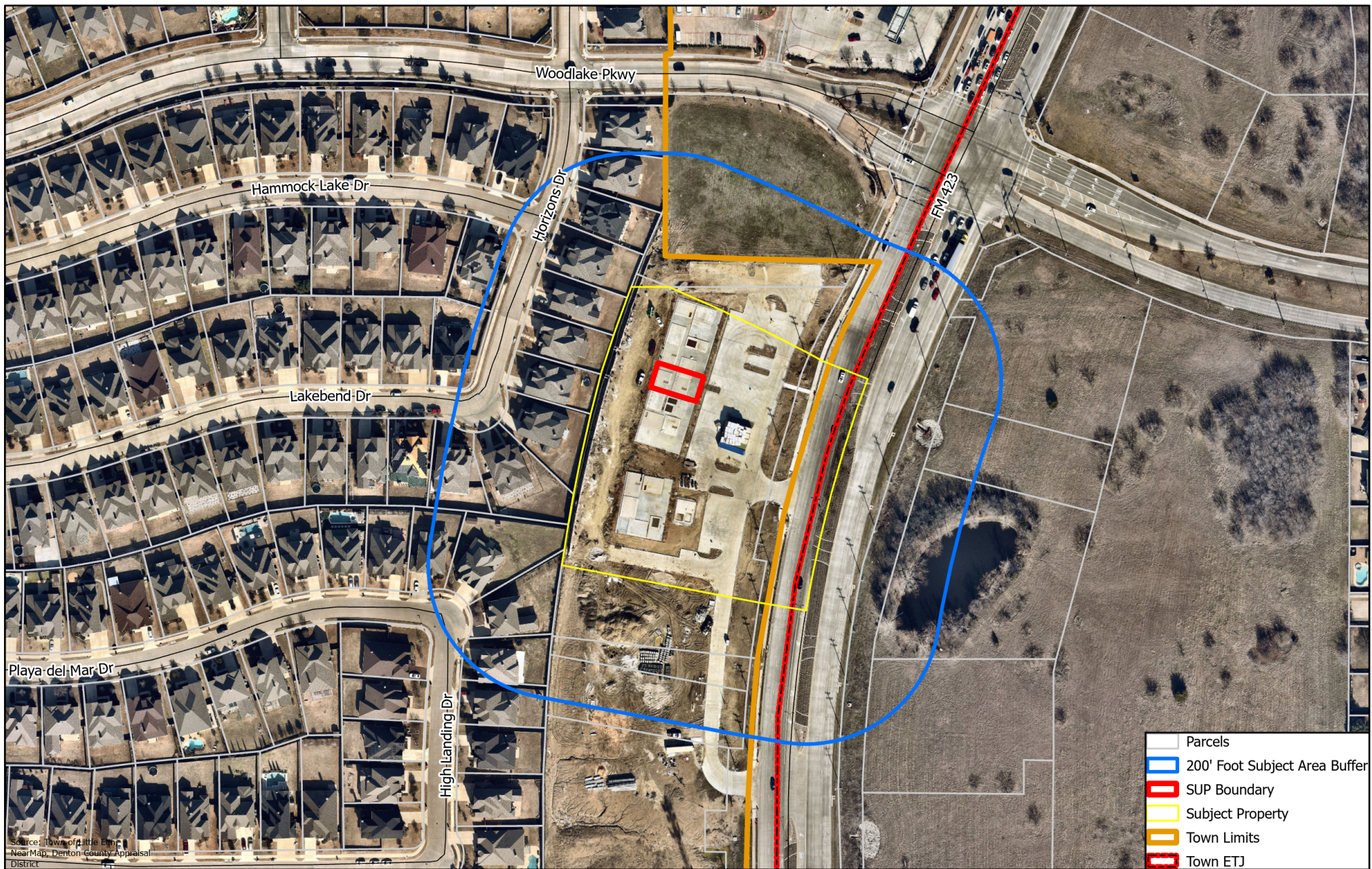
- Prior to issuance of a certificate of occupancy, the business owner shall provide the town with a copy of its state permit to operate as a bar, brewpub, or similar use.
- All alcohol-related activities must meet all standards found in Chapter 10, Alcoholic Beverages, of the Little Elm Code of Ordinances.
- No shelving in front of the glazing and limited window signage coverage to only legal and operational signs.

Staff recommends the Planning and Zoning Commission evaluate the proposed SUP request based on the presented information, in accordance with Section 106.02.17, and make a recommendation accordingly.

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**Attachments**

Location Map  
Proposed Interior Pictures  
Suite Exhibit  
Floor Plan  
Letter of Intent



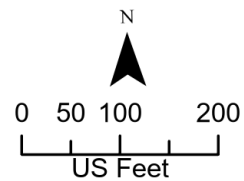
Source: Town of Little Elm  
NearMap, Denton County Appraisal  
District



**Specific Use Permit: Liquor Mart**  
**11700 FM 423, Suite 250, Little Elm, TX, USA**

**Town of Little Elm**  
**Denton County, Tx**

Date: 5/1/2023



This product is to be used for graphical representation only. The accuracy is not to be taken/used as data produced for engineering purposes or by a Registered Professional Land Surveyor for the State of Texas. For this level of detail, supervision and certification of the produced data by a Registered Professional Land Surveyor for the State of Texas would have to be performed. Town of Little Elm and its members assume no responsibility for the accuracy of said data.

LIQUOR STORE ADDRESS

11700 FM 423, Suite 250, Little Elm, TX 75068

Store Sign

**LIQUOR  
MART**

Sample floor Plan



Micheal will be sending by tomorrow Morning.

Liquor Mart Future site – Little Elm – Floor layout



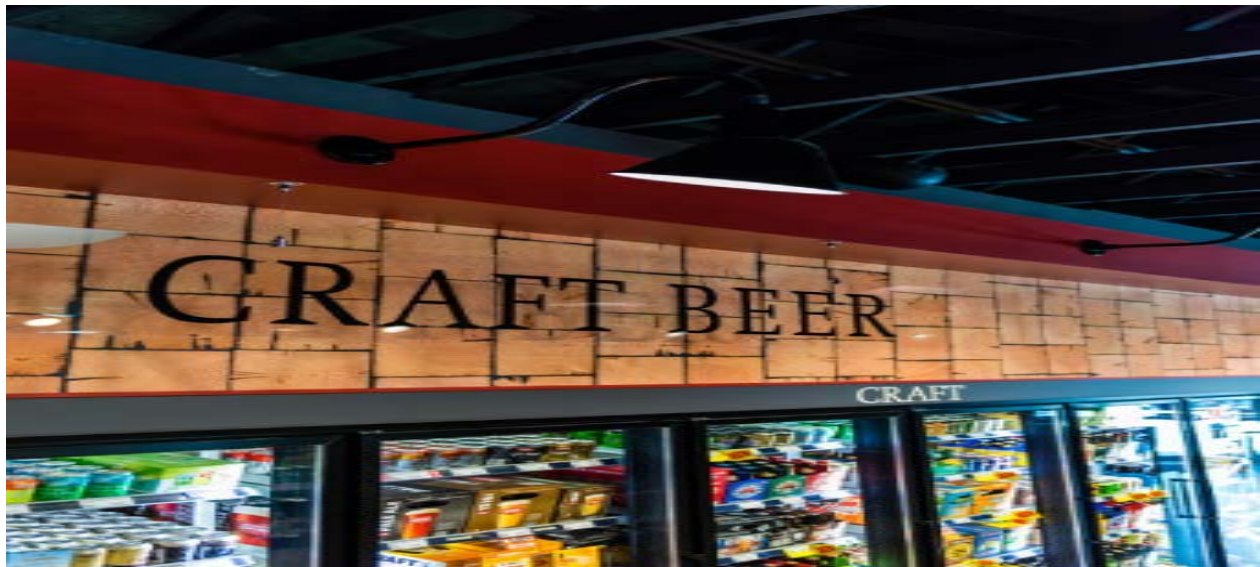
Liquor Mart Future site – Little Elm – Inside shelves layout



Liquor Mart Future site – Little Elm -Store Checkout counter



Liquor Mart Future site – Little Elm – Outside cooler layout



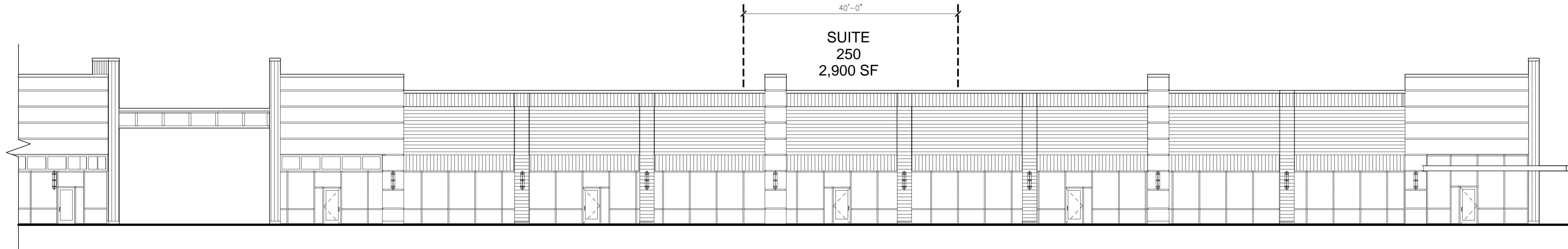
Liquor Mart Future site – Little Elm – Inside cooler layout



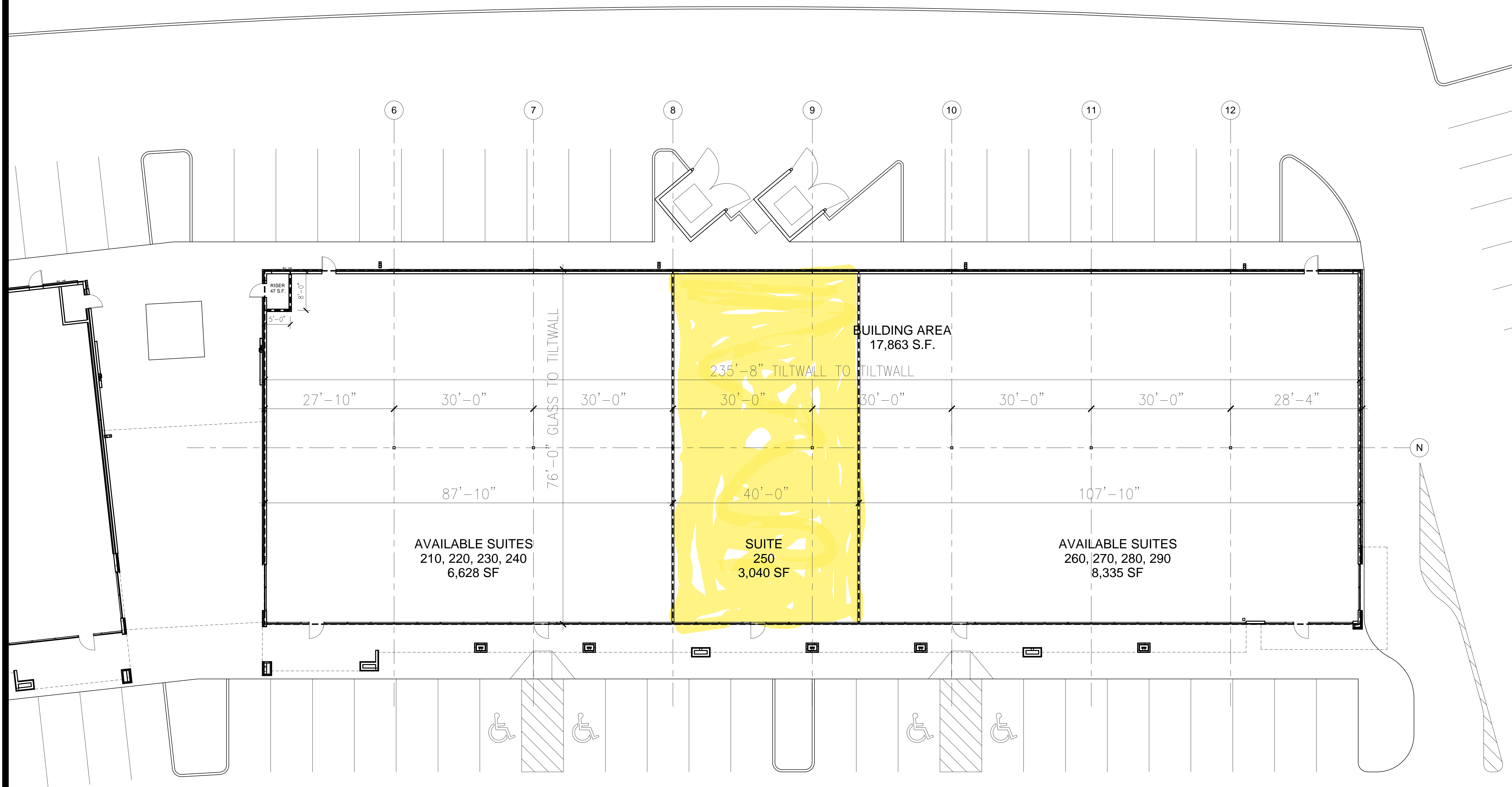
Liquor Mart Future site – Little Elm

Below Wood + Metal Shelves and wooden shelves will be used inside the store.





**2** TENANT ELEVATION - BLDG B  
3/32" = 1'-0"



**1** TENANT LEASE PLAN - BLDG 200  
3/32" = 1'-0"



KM REALTY ADVISORS LLC  
7500 SAN FELIPE, SUITE 750  
HOUSTON, TX 77063  
PH (713) 690-2700  
FAX (713) 690-0102  
CONTACT: RANDY KEITH

ISSUE	
LEASE PLAN	03-20-23

**Heights Venture**  
ARCHITECTURE • DESIGN

HOUSTON 1111 North Loop West, Suite 800 Houston, Texas 77008 713-860-1103 V  
DALLAS 5741 Legacy Drive, Suite 320 Plano, Texas 75024 972-490-7292 V



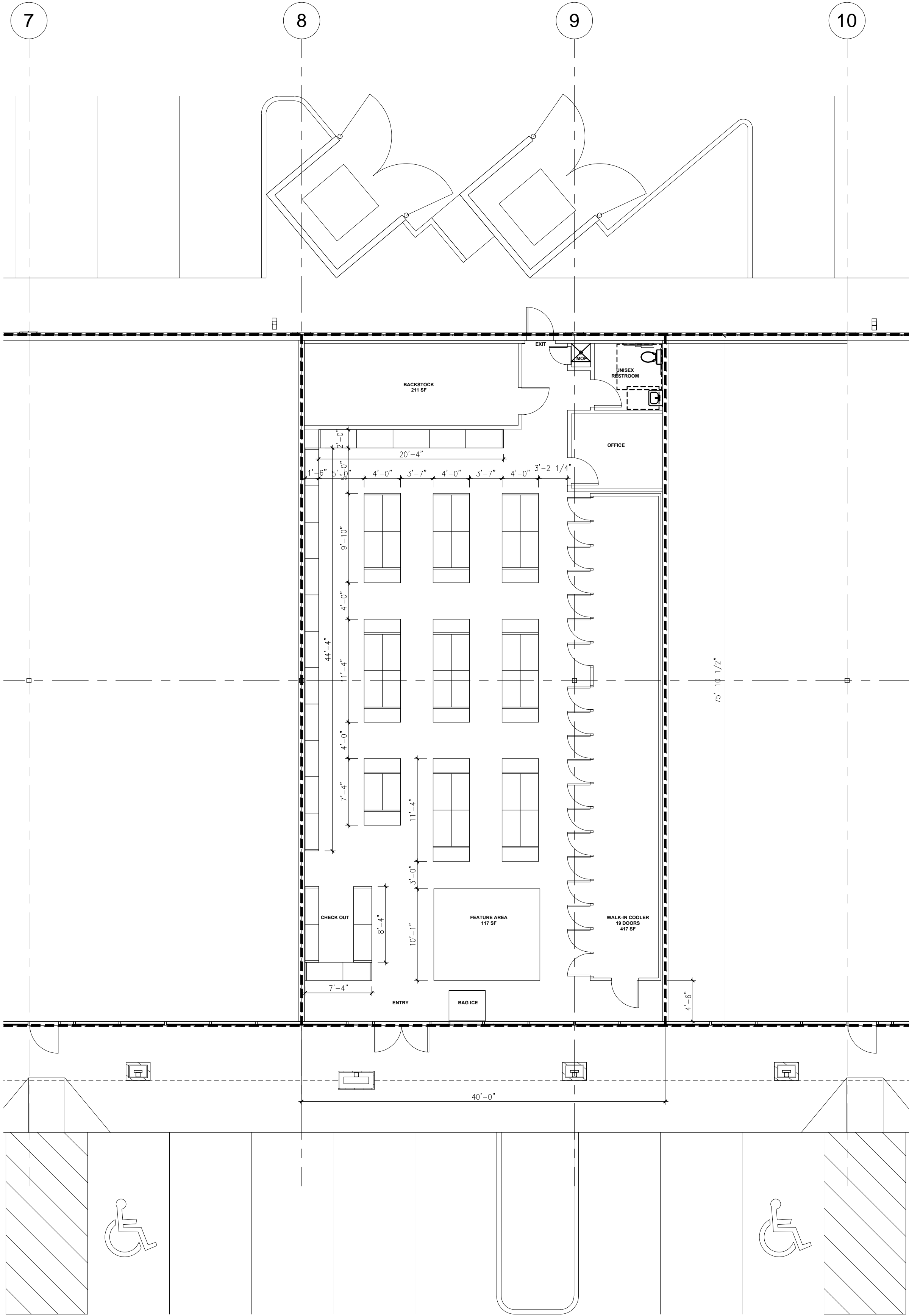
**LITTLE ELM  
RETAIL CENTER  
BLDG 200**

11700 FARM TO MARKET  
ROAD NO. 423  
LITTLE ELM, TEXAS

Project Number:	18165
Date Plotted:	03/03/2022
Drawn By:	MK
Checked By:	MK
File Name	

**A9.5**  
TENANT LEASE PLAN

© COPYRIGHT 2023 HEIGHTS VENTURE



1 SUITE 250 - LIQUOR STORE FLOOR PLAN  
1/8" = 1'-0"

ISSUE	
LEASE PLAN	03-20-23

**Heights Venture**  
ARCHITECTURE • DESIGN

HOUSTON DALLAS  
1111 North Loop West, Suite 800 5741 Legacy Drive, Suite 320  
Houston, Texas 77008 Plano, Texas 75024  
713 860 1103 V 972 490 7262 V



LITTLE ELM  
RETAIL CENTER  
BLDG 200

11700 FARM TO MARKET  
ROAD NO. 423  
LITTLE ELM, TEXAS

Project Number: 18165	
Date Plotted: 03/03/2022	
Drawn By: MK	Checked By: MK
File Name	

A1.1  
LIQUOR STORE  
FLOOR PLAN

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# LIQUOR MART

Date- April 10, 2023

From Dhaval Solanki  
EKADANTAYA LLC  
1409 Isaac Ln  
McKinney Texas 75071

**Subject:** Revised Letter of intent for Liquor Mart Store at 11700 FM 423, Suite 800, Little Elm, TX 75068

To Whom it may concern,

I am writing this letter of intent to the City of Little Elm as part of my application to open a liquor store at shops at Panther Creek located at 11700 FM 423, Suite 800, Little Elm, TX 75068.

I am a business entrepreneur. I started my business journey back in 2014 and later I bought first my Liquor store at Allen TX dba name as Liquor Mart. Currently I have 3 Liquor Mart Locations in DFW metroplex areas. We Love our customers. We give first class services when they visit our stores. We have known as best whiskey, Vodka, Rum, Tequila and beer selection stores in Denton and Collin County. I will be able help the local economy and I will provide jobs for employees. There will be at least 3 employees working at any given time at this locations.

Liquor Mart is Owned by Mr Dhaval Solanki who has successfully managed and owned 3 locations in DFW metroplex areas. This is family business, and it will be managed by his family member.

This will be very high end and unique Liquor Store in Town of Little Elm. It will not be same as regular mom and pop liquor stores. We have known for our best selections for whiskey, Vodka, Rum, Tequila, and beer.

A few of my innovations will contribute to society by raising awareness for safe drinking and drinking under the influence. There will be banner and signs throughout the store to help customer understands the consequences of being under the influence of alcohol. There will also be banners with the hotline for Substance Abuse and Selling to Minors. The store will actively support the Foundation for Advancing Alcohol Responsibility Resource Center and continue to provide staff training.

Store operations will include strict protocol for employees to check photo ID before any attempted purchase, thus denying those who are underage or do not have photo ID the right to purchase alcohol and tobacco products.

All customers will be asked to show photo ID before making a purchase. If a customer does not have photo ID or is underage, the purchase will be rejected, and the individual will be asked to leave the premises immediately.

*Letter Of Intent for Liquor Mart*

Liquor Mart is going to operate a standard and licensed neighborhood liquor store that will retail a wide range of liquors, beers, and fine wines just like any other licensed and standard liquor store in the state of Texas. Hours of operation will be Monday through Saturday from 10:00 am to 9:00 pm and Sunday Closed. Also, we will be closed on Thanksgiving day, Christmas Day and Jan-1.

Store Hours will be as below for Liquor Mart located at 11700 FM 423, Suite 800, Little Elm, TX 75068.

Monday	10:00 AM to 9:00 PM
Tuesday	10:00 AM to 9:00 PM
Wednesday	10:00 AM to 9:00 PM
Thursday	10:00 AM to 9:00 PM
Friday	10:00 AM to 9:00 PM
Saturday	10:00 AM to 9:00 PM

There will be two separate locations for Liquor Mart in Town of Little Elm. Current Liquor Mart is located at 500 W Eldorado Pkwy #200, Little Elm, TX 75068, and this Location will remain as it is to serve local residents. The New location (Location # 2) will be at 11700 FM 423, Suite 800, Little Elm, TX 75068. New Location will have more variety of selection of whiskey, Vodka, Rum, Tequila, and beers. Location # 2 will be very high end and unique Store in Town of Little Elm.

Best Regards,  
Dhaval Solanki

*Dhaval Solanki*

EKADANTAYA LLC





# TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

05/18/2023

## OVERVIEW

<b>Project</b>	PUBLIC HEARING/ Lakeshore Plaza (PD-23-00838)
<b>P&amp;Z Hearing</b>	05/18/2023
<b>Council Hearing</b>	June 20, 2023
<b>Size</b>	Approximately 4.159 acres
<b>Current Zoning</b>	Lakefront District (LF)
<b>Proposed Use</b>	Mixed Use Planned Development
<b>Existing Use</b>	Commercial
<b>Future Land Use Plan Designation</b>	Lakefront District (LF)
<b>Applicant</b>	Mahdi Matt Shekari
<b>Owner</b>	Mahdi Matt Shekari
<b>Strategic Goal</b>	

## Agenda Item

**PUBLIC HEARING/ Lakeshore Plaza Addition (PD-23-00838).** A request to rezone approximately 4.159 acres of land, currently zoned as Lakefront District (LF), with an SUP for a daycare use (Ordinance No. 1462), generally located 500 feet west of the intersection of E Eldorado Parkway and Hillside Drive, within Little Elm's town limits, in order to establish a new Planned Development district based on Lakefront (LF) district standards, to capture existing nonconforming development, expand the existing daycare square footage, and allow a new mixed-use commercial/residential development with modified development standards.

- Staff Report
- Open Public Hearing
- Receive Public Comment
- Close Public Hearing
- Discussion and Recommendation

## Location

Located at 550 East Eldorado Parkway, approximately 500 feet southwest of the Hillside Dr. and Eldorado Parkway intersection, within Little Elm's Town limits.

## Planning Analysis

**Background.**

Subject property consists of one lot, currently containing an existing indoor commercial amusement building, an existing daycare facility, and undeveloped land, partially within the Army Corps of Engineers 537 flowage easement. The property is zoned as the Lakefront District, however, the existing commercial building, Building A, was developed under the Light Commercial (LC) District standards, the zoning designation at that time. The Light Commercial District does not require the building to be located within 15 feet of the right-of-way, which is the requirement of the Lakefront District. The daycare facility, Building B, was also developed under the Light Commercial (LC) District standards with a detailed Specific Use Permit (SUP), Ordinance No. 1462, which outlined the site development and building design standards. However, the site and both buildings were ultimately developed with additional non-conforming standards as they don't completely follow the approved development plans.

The applicant, Matt Shekari with TOPTTEL LLC, also the property owner and developer, has gone through several different requests and processes over the last six years. In 2017, the applicant received a waiver approval for a similar project, with a different concept and different site plan. However, without Army Corps of Engineers' site plan approval, the applicant was unable to obtain a building permit within the allotted two-year period. This resulted in lapse of approval and expiration of the permitted waiver in 2019.

The applicant ultimately received approval from the Army Corps of Engineers in 2020. At that time, given the intricacies of the original daycare SUP Ordinance, existing non-conformities of the site and the existing buildings' nonconformance with the current LF zoning, as well as the applicant's intent to move forward with the mixed-use condo development, which required certain waivers and agreements, it was determined that a Planned Development (PD) is the best approach to cohesively incorporate everything happening on this site. The applicant submitted the Planned Development (PD) request for a mixed-use condo project in 2020, while Building A was still undergoing construction as an indoor commercial amusement. The PD request was ultimately withdrawn by the applicant in 2021, at the direction of Town Council, in an effort to allow the applicant to resolve the outstanding issues, and fully meet all requirements, of the building permit process for Building A. Applicant was advised to complete the construction and permitting process for Building A prior to undertaking another development project.

After the completion of Building A, the applicant proceeded with his new PD request in 2022, however, at that time the request had changed in order to meet new height requirements of the Lakefront District. The applicant had also decided to expand the existing daycare facility, provide additional site improvements on that portion of the site, as well as make additional layout changes to the portion of the site within the Army Corps of Engineers' 537 flowage easement. Staff had worked with the applicant over a period of six months, in order to bring the proposal as close to meeting as many requirements of the Zoning Ordinance as possible and to ensure a quality development. Unfortunately, at that time, there were still too many outstanding items and requests to deviate from the Town's development standards. This most recent PD request was denied by Town Council on November 15, 2022.

Since the denial, the applicant has been working with Town Staff and has met with a couple of the Council Members, receiving direction to improve the design and quality of the proposed development, and address all outstanding items. The applicant has addressed the previously outstanding tree mitigation and improved the proposed development plans eliminating a lot of the previously requested waivers, as well as enhancing the architectural design of the proposed building.

**Proposal.**

The applicant is requesting to establish a new PD for the entire subject property, based on the Lakefront Zoning District requirements with the following modified development standards.

- Block Face Requirement for Building C
- Building Height 49 feet 10 inches
- 9 feet by 20 feet parking spaces, only 15 spaces as visible from Eldorado Parkway
- Shared dumpsters between Lot 1R and Lot 3

The existing site improvements and existing buildings, Building A and B, were constructed under the Light

Commercial (LC) requirements, classifying them as non-conforming with the current Lakefront District zoning designation. In addition to capturing these existing non-conformities, the proposed PD would also capture the expansion of the previously approved daycare SUP, as well as allow the development of mixed-use retail/residential condo building.

The proposed PD consists of three commercial lots, Lot 1R containing proposed Building C (retail/residential), Lot 3 containing Building A (Snowy Fun), and Lot 4 containing Building B (daycare).

Lot 1R contains the proposed new 32,769 square foot mixed-use, owner-occupied condo development, Building C. The three-story building will house 3,320 square feet of retail space, residential lobby, condo garages, and a 700 square foot residential amenity space on the ground floor, with 16 residential condo units on the two floors above. The proposed condos range between 723-850 square-foot one-bedroom units and 962-1,679 square-foot two-bedrooms units. The development plans also show proposed site improvements in the form of a large green open space with gazebo, playground equipment, benches, trails connecting to the existing public trail, and a large dog park.

The proposed building aligns with existing Building A and provides a continuation of the existing site improvements. While the proposed development complies with most of the requirements of the LF district, as part of this PD request, the applicant requests a list of waivers to the development standards in order to allow for the subdivision of the lot layout as presented, as well as provide a continuous block face along Eldorado Parkway.

Lot 3 contains the existing Building A, a 9,820 square foot, one-story, indoor commercial amusement currently operating as Snowy Fun. While the site and building were developed under the LC district, not all the requirements were actually met at the time of construction.

Lot 4 contains the existing 4,823 square foot Building B, a one-story daycare facility. The applicant is proposing to expand Building B by 1,247 square feet, bringing the building to a total of 6,070 square feet, and expand the outdoor play area as shown on the plans, providing new commercial grade, covered, playground equipment. Proposed development plans show the locations of all exterior improvements, and the PD narrative indicates the addition to the building will match the existing building design and materials.

Through the submitted development plans, the applicant is proposing to bring the majority of Lot 3 and Lot 4 into compliance with the current landscape standards. However, where improvements are more costly and/or not as easily achievable, such as existing building construction, setback, and parking, the existing non-conformities would be captured as permitted through this new PD.

The paragraphs below outline in more detail the requested modified development standards for the proposed site improvements.

### **Lakefront District Development Standards.**

#### **General District Standards.**

**Block Face.** It is intended that building walls should be continuous along block faces to create a strong edge to the street and contribute to creating an attractive and active pedestrian environment, with allowance for some limited variation and opportunities for outside dining, pocket parks and special building entry features. Buildings should also be constructed close to the street to provide a sense of enclosure. While most of the requirements of this section are met by both the existing and proposed new development, one of the requirements states that block face shall be located within 15 feet of the right-of-way, with an allowance for 80% maximum variation. The existing commercial amusement Building A was developed under the Light Commercial (LC) District standards and does not meet this requirement. ***The applicant is requesting to capture the existing Building A and allow proposed Building C street setback at varying depths as proposed on the Site Plan. Relocating existing Building A is not a reasonable expectation, therefore Staff is generally supportive of this request in order to provide***

consistency with the existing building frontage.

#### Buildings.

It is intended that commercial spaces are designed and constructed in a manner that allows flexibility to accommodate a range of uses over time in order to avoid the need to demolish and rebuild for successive uses. Buildings should directly contribute to the attractiveness, safety and function of the street and public areas. Buildings that accommodate retail at-grade should feature the retail activity over the building's architecture. Buildings should be constructed in a manner, and with materials, that are highly durable and will continue to endure and be attractive over a long time, especially adjacent to public and pedestrian areas.

Building Standards. Buildings shall not exceed three stories, or 45 feet, in height; additional height along Eldorado Parkway may be allowed at specific locations by major waiver. ***Per direction received after the last PD request denial, the applicant has enhanced the building design in order to provide more prominent vertical articulation, which caused the decorative tower component to go up to 49 feet and 10 inches, while maintaining the 45-foot max on the rest of the building*** The applicant provided several perspectives in order to show the small height difference does not negatively impact the lake views from across the street, or down the street.

#### Parking and Accessibility.

The intent of this section is to support the creation of shared, convenient and efficient parking in order to create an active and vibrant mixed-use environment and enable visitors to access the different offerings within the LF District in a pedestrian and bicycle-friendly environment.

All new commercial development is required to provide parking spaces at 10 feet by 20 feet. Currently, all existing parking spaces on the subject property are provided at 9 feet by 20 feet, which was the standard at the time of Building A and Building B development. ***The applicant is requesting to provide seven 9 feet by 20 feet parking spaces along Eldorado Parkway to maintain consistency with the existing spaces, and eight along the western boundary. The rest of the proposed parking spaces for Building C are 10 feet by 20 feet.***

#### Landscape.

Dumpster Requirements. All new commercial lots are required to provide a double dumpster enclosure in order to accommodate a trash and recycling. Currently Building A and Building B, share one single dumpster. The proposed development plans show a total of three double dumpster enclosures to be provided, however, because of the way the lots are being proposed to be subdivided, two of the enclosures would need to be located on Lot 1R (Building C). ***The applicant is requesting a waiver to this requirement and an allowance to provide a shared dumpster agreement between Lot 3 and Lot 1R.*** While Staff is generally supportive of a shared dumpster agreement between the two lots, there is a need to include a drafted agreement within the PD and Development Agreement documents in order to avoid any issues in the future.

**Fire and Engineering.** Proposed development plans have been reviewed and generally approved for the purposes of the zoning request only; this is not an approval of the plans for actual construction, which will require approval from the Army Corps of Engineers, Administrative approval of a Site Development Permit, and subdivision approval by the Planning and Zoning Commission.

**Comprehensive Plan.** The future land use of this area is identified as Lakefront District. The proposed uses and development concepts do not significantly conflict with the overall vision for this area.

**Development Agreement.** Should this Planned Development be approved, a Development Agreement will also be drafted for approval by Town Council. Staff believes that the conditions of the previously drafted Development Agreements from 2021 and 2022 are still valid, and would serve as safeguards for the Town with regard to ensuring quality development, inside and out. Staff recommends the following conditions to be carried over:

- All development plans and associated renderings and documents captured as part of the DA
- Shared dumpster access and use Agreement Document for Lot 3 and Lot 1R
- Formation of a Condominium Association Document
- Ceiling heights for second and third floor to be at minimum 10 feet.
- Any exterior signage for Building C to specifically reference "Condominiums"
- Accessory Structures – proposed accessory structures within this District shall be reviewed at the discretion of the Development Services Director. Appeals to the Director's decision shall go before the Planning & Zoning Commission, appeals to the Commission's decision shall go before Town Council for final consideration.
- Future Building & Construction Permits –
  - Interior layouts and finishes associated with the residential component of Building C, showing stainless steel appliances, granite counter tops, and specific style and brand, lighting and plumbing fixtures and hardware, to be captured as the minimum standard for proposed brand and quality
  - Referenced playground equipment, playground shade structure, benches, trash receptacles, and wrought iron fence, to be captured as the minimum standard for proposed quality
  - Future construction and building permit applications are subject to meeting relative International Codes and Engineering Design Standards, as amended
  - Any potential changes to plans may also be subject to additional review and approval by USACE and/or TXDOT

### **Recommended Action**

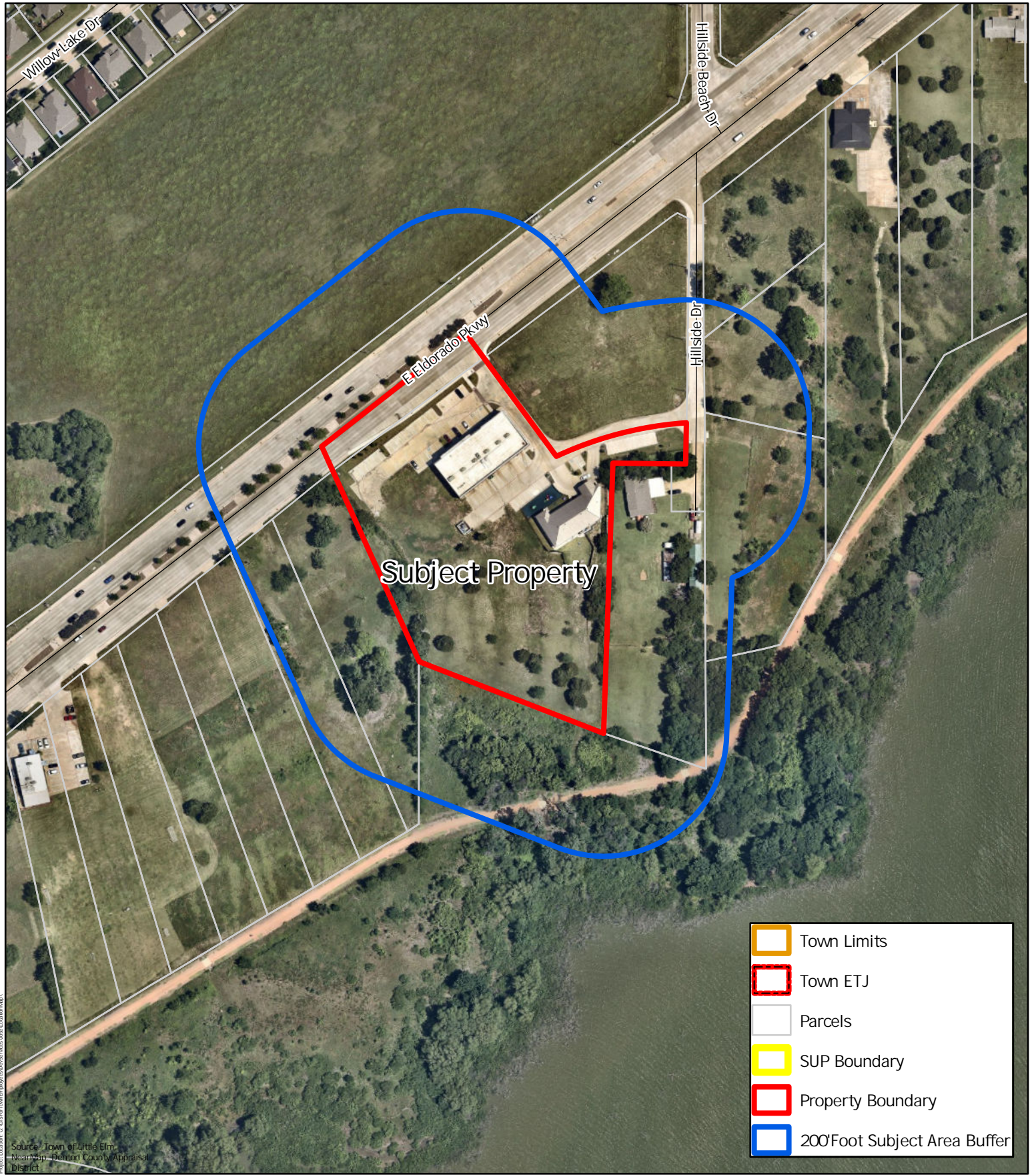
After the denial of the last PD request, the applicant has put forth the effort to eliminate a majority of the previously requested waivers to the development standards. The waivers that remain as part of this request are not atypical from recent PD submittals reviewed by the Town.

Staff recommends that the Planning and Zoning Commission review this request based on the impact and suitability of the proposed development within the context of the existing area, and whether it meets the overall vision of the Lakefront District. The Commission should also consider the importance of the development standards from which the property is requesting to vary and whether the proposed development, despite the waivers, still presents a quality development that provides a positive contribution to this area as well as the Town overall.

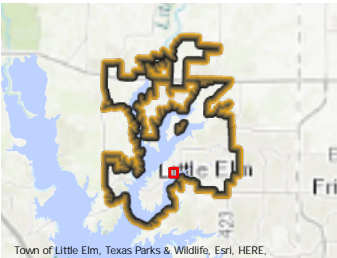
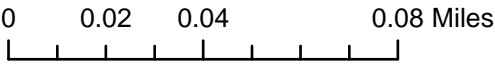
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### **Attachments**

Location Map  
PD Exhibits



PD: 22-1632  
Lakeshore Plaza



**Town of Little Elm**  
**Denton County, Tx**  
Date: 9/12/2022

This product is to be used for graphical representation only. The accuracy is not to be taken/used as data produced for engineering purposes or by a Registered Professional Land Surveyor for the State of Texas. For this level of detail, supervision and certification of the produced data by a Registered Professional Land Surveyor for the State of Texas would have to be performed. Town of Little Elm and its members assume no responsibility for the accuracy of said data.

## **LAKE SHORE PLAZA PLANNED DEVELOPMENT DISTRICT**

This zoning submittal encompasses approximately 4.159 total acres of land within the Town of Little Elm more fully depicted on attached Exhibit A (the "Property"). The proposed use for the Property is a daycare facility, an indoor commercial amusement, commercial/retail, and 16 owner-occupied residential condo units, with surface and garage parking, and indoor gym amenity for the residents. This planned development ("PD") will provide the zoning regulations, as depicted on Exhibit B (Development Standards), necessary to develop the site. The development of this site must generally conform to Exhibit C (Development Plans and samples of products and materials).

It is the intent of this PD to alter the zoning for the Property from current zoning of Lakefront District to Planned Development district (PD-LF) based on the Lakefront District with modified development standards as outline within this document. As used herein "Zoning Ordinance" means the comprehensive zoning of the Town of Little Elm, Texas, in effect on the effective date of this Agreement, except as otherwise defined in this Agreement. Uses and development regulations specifically modified, designated or included in the PD shall not be subject to amendment after the date of the adoption of this PD (the "Effective Date") (whether through an amendment of the Zoning Ordinance or otherwise), except through an amendment of this PD. Uses and development regulations which otherwise are not specifically modified, designated or included in this PD shall be controlled by the "Zoning Ordinance", unless the context provides the contrary.

### **PROJECT LOCATION**

The proposed PD is located at the current address of 550 Eldorado Parkway approximately 500 feet southwest of the Hillside Drive and Eldorado Parkway intersection, within Little Elm's Town limits. The property description is included as (Exhibit A) and the approved site plan is included within (Exhibit C).

### **SITE PLAN REQUIRED**

The Site Plan attached hereto as Exhibit C, and incorporated herein by reference, demonstrates locations of the proposed ad existing buildings and improvements within the Property. Any amendment to the site plan approved as a part of the ordinance establishing the Planned Development District is a change in zoning district classification and must follow the same procedures as set forth in Section 106.04.03, except that the Director of Development Services may approve minor revisions which do not alter the basic relationship of the proposed development.

The development shall provide unified and consistent design elements, a cohesive aesthetic, and overall align with the general vision and intent of the Lakefront District.

## **EXHIBIT A**

Property Location



## EXHIBIT B

### Development Standards

#### GENERAL CONDITIONS FOR PD:

- 1) Use Regulations.
  - a. No building, structure, land or premises will be used, and no building or structure shall hereafter be erected, constructed, reconstructed or altered except for one more of the uses specified in 106.04.02 - Lakefront District and Sec. 106.05.01 (b) Nonresidential Zoning Districts Uses.
  - b. Daycare facility use shall be allowed only on Lot 4 and shall be limited to that particular area designated on the approved site plan as encompassing a total area not to exceed 6,070 square feet.
- 2) Base Zoning District. The permitted uses and standards shall be in accordance with the Lakefront District, unless otherwise specified herein.
- 3) General District Standards. All provisions within Division 3 of Sec. 106.04.02 - Lakefront District shall be met except as specified below:
  - a. The minimum lot area shall be maintained as show on the Site Plan
  - b. Block face. Continuous building frontage will be considered to be met if 80 percent or more of the primary building facade is located within 96.5 feet of the right-of-way.
  - c. Buildings. Buildings shall not exceed three (3) stories, or 45 feet, in height; additional height up to 49 feet and 10 inches along Eldorado Parkway is allowed only for articulation design purposes, as shown on the Façade Plans.
  - d. Exterior construction for the 1,247 square-foot addition to Building B, the existing daycare facility, as shown on the floor plan shall comply with standards within Sec. 106.04.02 - Lakefront District, and be cohesive with existing building design and aesthetic.
- 4) Parking and Accessibility. All provisions within Division 5 of Sec. 106.04.02 - Lakefront District shall be met except as specified below:
  - a. Parking spaces allowed at 9 feet wide by 20 feet long as shown on the Site Plan
- 5) Lighting and Mechanical. All provisions within Division 6 of Sec. 106.04.02 - Lakefront District shall be met.

6) Landscape. All provisions within Division 6 of Sec. 106.04.02 - Lakefront District shall be met, and all landscaping shall comply with the Zoning Ordinance in general, as it exists or may be amended in accordance with the standards in effect at the time of development or requested change.

- a. Foundation planting shall be met through provision of outdoor amenities, in the form of a gazebo, two covered playgrounds (Lot 1R and 4), a large dog park, trail connection, benches, trash receptacles.
- b. Open space and landscaping for residential mixed-use projects. In lieu of the Town's requirement for open space and trees for residential development, a publicly accessible amenitized green space shall be provided as shown on the Development Plans.
- c. Dumpster Requirements. Dumpster for Lot 3 shall be allowed to locate on Lot 1R, through shared dumpster agreement.
- d. Ground mounted mechanical equipment that is unable to be screened by living evergreen shrubs, tall enough at the time of planting to fully and completely screen the equipment, if deemed appropriate by the Director of Development Services, shall be screened in its entirety with a decorative steel screen fence as referenced on the Development Plans.

7) Future Buildings and Construction Permits.

- a. Interior layouts and finishes associated with the residential component of Building C, showing stainless steel appliances, granite counter tops, and specific style and brand, lighting and plumbing fixtures and hardware, to be captured as the minimum standard for proposed brand and quality.
- b. Future construction and building permit applications are subject to meeting relative International Codes and Engineering Design Standards, as amended.
- c. Any potential changes to plans may also be subject to additional review and approval by USACE and/or TXDOT.

W. ELDORADO PARKWAY - F. M. ROAD NO. 720  
(R. O. W. VARIES)

STATE OF TEXAS  
VOL. 647, PG. 312,  
D. R. D. C. T.

972-363-6155  
www.triunearchitectureplc.com



Lakeshore Plaza  
Bldg. 'C'

Eldorado Pkwy.  
and Hillside Dr.  
Little Elm, TX  
75206

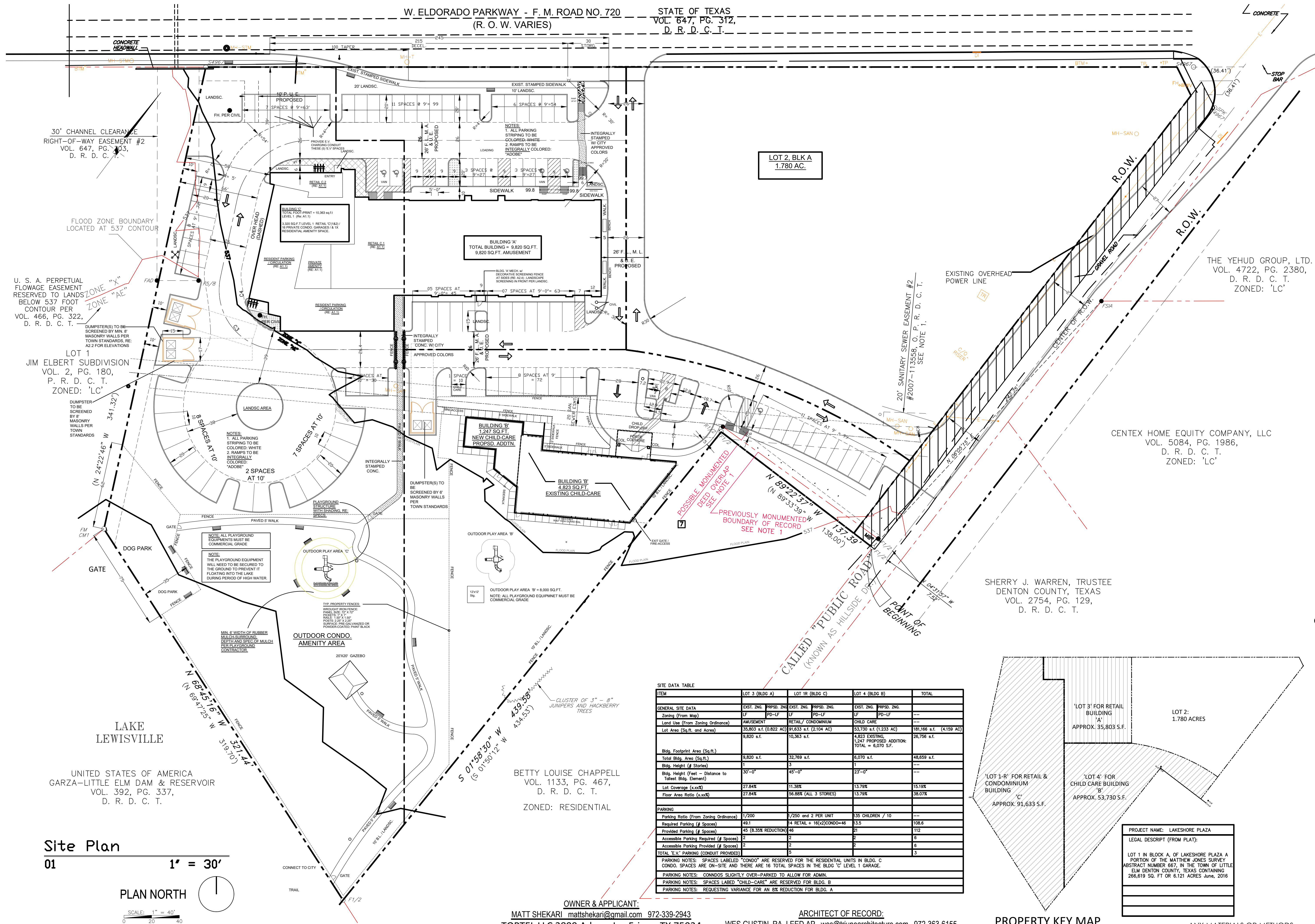
Site Review 02-24-22  
PD 03-11-22  
PD 03-30-22  
PD 05-20-22  
PD 08-05-22

PRELIMINARY  
NOT FOR  
REGULATORY  
APPROVAL OR  
COPNSTRUCTION

Project #: 2003.00

SITE  
MASTER  
PLAN

A0.1  
10-20-2022



30' CHANNEL CLEARANCE  
RIGHT-OF-WAY EASEMENT #2  
VOL. 647, PG. 303,  
D. R. D. C. T.

FLOOD ZONE BOUNDARY  
LOCATED AT 537 CONTOUR

U. S. A. PERPETUAL  
FLOWAGE EASEMENT  
RESERVED TO LANDS  
BELOW 537 FOOT  
CONTOUR PER  
VOL. 466, PG. 322,  
D. R. D. C. T.

LOT 1  
JIM ELBERT SUBDIVISION  
VOL. 2, PG. 180,  
P. R. D. C. T.  
ZONED: 'LC'

THE YEHUD GROUP, LTD.  
VOL. 4722, PG. 2380,  
D. R. D. C. T.  
ZONED: 'LC'

CENTEX HOME EQUITY COMPANY, LLC  
VOL. 5084, PG. 1986,  
D. R. D. C. T.  
ZONED: 'LC'

SHERRY J. WARREN, TRUSTEE  
DENTON COUNTY, TEXAS  
VOL. 2754, PG. 129,  
D. R. D. C. T.

LAKE  
LEWISVILLE

UNITED STATES OF AMERICA  
GARZA-LITTLE ELM DAM & RESERVOIR  
VOL. 392, PG. 337,  
D. R. D. C. T.

Site Plan

01

1" = 30'

PLAN NORTH

SCALE: 1" = 40'

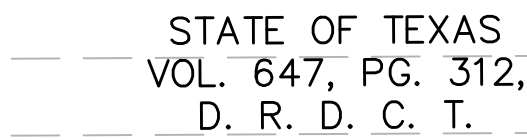
BETTY LOUISE CHAPPELL  
VOL. 1133, PG. 467,  
D. R. D. C. T.

ZONED: RESIDENTIAL

OWNER & APPLICANT:  
MATT SHEKARI mattshekari@gmail.com 972-339-2943  
TOPTEL LLC 3899 Adams Ln, Frisco, TX 75034

ARCHITECT OF RECORD:  
WES GUSTIN, RA, LEED AP wes@triunearchitecture.com 972-363-6155

ANY MATERIALS OR METHODS  
CONTAINING OR USING ASBESTOS  
ARE PROHIBITED



1. THE OWNER, TENANT AND THEIR AGENT, IF ANY SHALL BE JOINTLY AND SEVERELY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING. ALL REQUIRED SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOVING, EDGING, PRUNING, AND FERTILIZING, WATERING, WEEDING AND SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING.
2. LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH ACTIVITIES COMMON TO MAINTENANCE OF LANDSCAPING.
3. NO SUBSTITUTIONS FOR PLANT MATERIALS ARE ALLOWED WITHOUT WRITTEN APPROVAL BY THE DIRECTOR AND ACKNOWLEDGED BY AN APPROVAL STAMP ON THE LANDSCAPE PLAN.
4. THE RIGHT-OF-WAY ADJACENT TO REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE ADJACENT PROPERTY OWNER IN THE SAME MANNER AS THE REQUIRED LANDSCAPE AREA. ALL DRIVEWAYS WILL MAINTAIN VISIBILITY AS APPROVED BY THE DIRECTOR. ALL PLANTINGS INTENDED FOR EROSION CONTROL WILL BE MAINTAINED THE TOWN MAY REQUIRE RELEGATION TO PREVENT EROSION OR SLIPPAGE.
5. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIALS WHICH DIE SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, WITHIN 30 DAYS OR A DATE APPROVED BY THE DIRECTOR, BASED ON CURRENT SEASONS AND WEATHER CONDITIONS (E.G. DROUGHT OR FREEZE).
6. WHEN POWER LINES ARE PRESENT, TREES SHALL NOT BE PLANTED UNDERNEATH AND SHOULD BE ORIENTED IN A MANNER TO AVOID CONFLICT. SUBSTITUTION OF PLANT MATERIAL IS NOT ALLOWED WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE DIRECTOR.
7. ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLER AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL, AND INSTALLED BY A LICENSED IRRIGATOR.
8. ALL TREES ARE TO BE EQUIPPED WITH A BUBBLER IRRIGATION SYSTEM.
9. REQUIRED LANDSCAPED OPEN AREA AND DISTURBED AREAS SHALL BE COMPLETELY COVERED WITH LIVING PLANT MATERIAL, PER THE LANDSCAPE ORDINANCE.
10. ALL LANDSCAPING SHALL BE PLANNED AREAS THAT IS DEFINED BY EDGING, MULCH OR ANOTHER PRACTICE APPROVED BY THE TOWN.
11. ALL STREETS/CAPAD FURNITURE (BENCHES, BOLLARDS, LAMPPOST, TRASH RECEPTACLES, PATIO FURNITURE, BIKE RACKS, ETC) SHALL BE A CHIP AND FLAKE RESISTANT METAL, DECORATIVE, AND GENERALLY BLACK "STORM CLOUD" IN COLOR.

1. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS
2. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
4. CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
5. ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
6. ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
7. ALL LAWN AREAS TO BE SOLID SOO BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

1. FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
2. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AHEAD FROM BUILDINGS. PROVIDE UNIFORM DRAINAGE AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
3. ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE & OPERATE WITH ON-SITE CONSTRUCTION MANAGER.
4. IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM SOIL & SOIL FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
5. ALL LAWN AREAS TO BE FINE GRADED. IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
6. ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL, AND ANY LAWN INSTALLATION.
7. CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

**SITE TREE REQUIREMENTS**  
 Requirements: 10% of gross vehicular area to be landscaped.  
 (1) tree per 400 s.f. of required landscaped area.  
 Total Area: (181,166 s.f.)  
 Vehicular Area: (62,031 s.f.)

Required 6,203 s.f. (10%)	Provided 7,882 s.f. (13%)
Required (16) trees	Provided (48) trees (10) 3" cal. ornamental trees

Requirement: All parking spaces must be located within 70' of large canopy tree. One (1) tree per island and One island for every (10) spots.  
Provided

Requirements- Vehicular screening is required from public R.O.W  
and abutting properties.  
Provided

Required	Provided
16 trees	10 proposed trees- 4" cal.
	4 existing trees- 4" cal.
	6 ornamental trees (2 proposed, 4 ex.)

Required:	Provided:
(34) trees	(32) trees + (4) existing
(102) ornamental trees	(85) ornamental trees + (17) existing

Perimeter vehicular screening provided with 36" ht. evergreen shrubs  
Provided

LANDSCAPE DESIGN OPTIONS  
25 POINTS REQUIRED

- Enhanced Streetscape Elements (Benches) - 5 points
- Enhanced hardscape (crosswalks are concrete pavers) - 5 points
- Enhanced site canopy - 5 points
- Open Space Greater than Required (20%+) - 5 points
- Use of shaded/outdoor seating (Gazebo) - 5 points

Total points = 25.00

## FOUNDATION PLANTING

In place of foundation planting the following is proposed

- Play-set with rubber fall surface
- 5' concrete perimeter walk
- 12 metal benches
- 4 metal trash receptacles

Chinese  
Pistache



Weeping Willow

Trident  
Red Maple

## Pecan

Red Oak

Crepe  
Myrtle

Vitex

Nellie R. Stevens

## Dwarf Wax Myrtle

## Seasonal Color

## Liriope

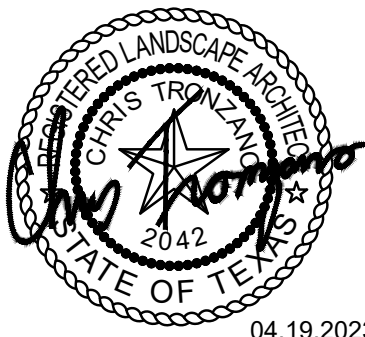
1. FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED LEAVE AREAS TO RECOVER TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
2. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
3. ALL LAWN AREAS TO RECEIVE SOD SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
4. CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
5. PLANT SOD BY HAND TO COVER EXISTING AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL Voids.
6. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDLINATIONS.
7. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
8. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
9. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

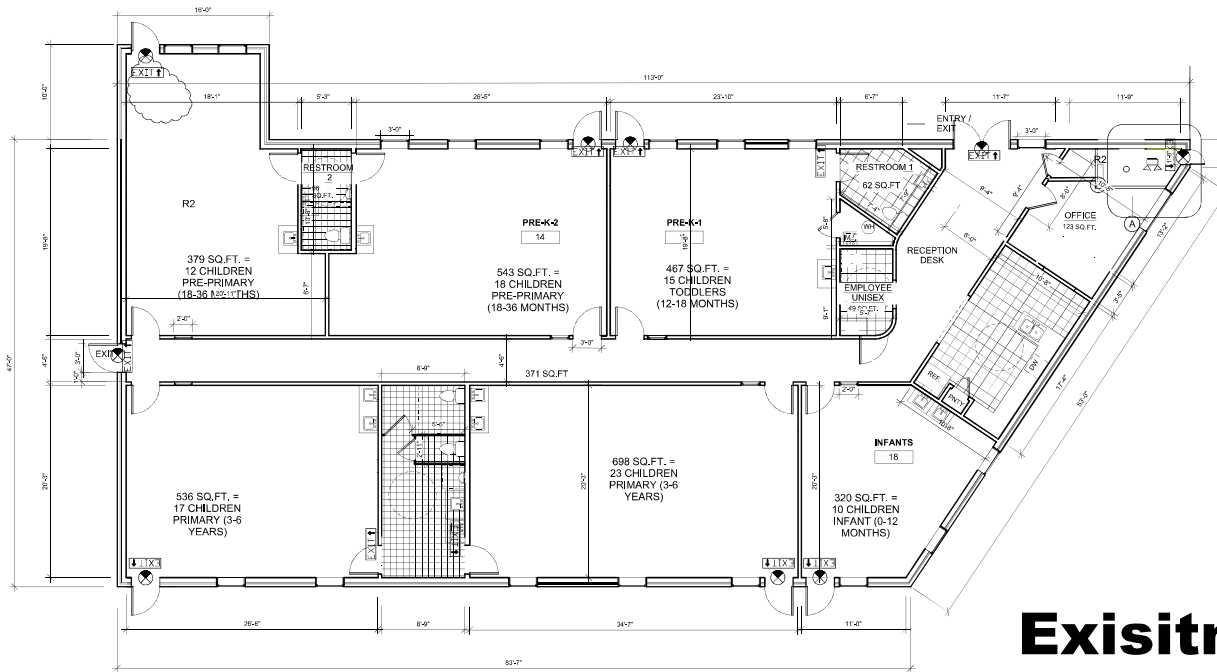
ALL METAL FENCING IS TO BE 6' HEIGHT DECORATIVE  
METAL FENCE TO MATCH EXISTING. REFER TO ARCHITECTURAL  
SITE PLAN DETAILS AND SPECIFICATIONS

PLANT MATERIAL SCHEDULE					
<b>TREES</b>					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CP	16	Chinese Pistache	<i>Pistachia chinensis</i>	4" cal.	container, 12' ht., 5' spread, 6' clear straight trunk
RM	14	Trident Red Maple	<i>Acer rubrum 'Trident'</i>	4" cal.	B&B, 12' ht., 4' spread, 5' clear straight trunk
RO	17	Red Oak	<i>Quercus shumardii</i>	4" cal.	container, 12' ht., 5' spread, 6' clear straight trunk
PN	9	Pecan	<i>Carya hirsutissima</i>	4" cal.	container, 12' ht., 5' spread, 6' clear straight trunk
WW	3	Weeping Willow	<i>Salix babylonica</i>	4" cal.	container, 12' ht., 5' spread, 6' clear straight trunk
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CM	14	Crepe Myrtle	<i>Lagerstroemia indica</i>	3" cal.	container, 10' ht., 5' spread, 3 trunks
VIT	21	Vitex	<i>Vitex angust-castus</i>	3" cal.	container, 10' ht., 4' spread, 3 trunks
DW	10	Desert Willow	<i>Chilopsis linearis</i>	3" cal.	B&B, container grown, 10' ht.
FC	10	Flowering Crabapple	<i>Malus sylvestris</i>	3" cal.	container grown, 10' ht.
PL	12	Purple Plum	<i>Prunus cerasifera</i>	3" cal.	container grown, 10' ht.
RB	13	Oklahoma Red Bud	<i>Cercis canadensis</i>	3" cal.	B&B, container grown, 10' ht.
<b>SHRUBS</b>					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DWM	232	Dwarf Wax Myrtle	<i>Myrica Pauciflora</i>	7 gal.	container, 36" ht., 24" spread
NRS	53	Nellie R. Stevens	<i>Ilex x 'Nellie R. Stevens'</i>	7 gal.	container, 36" ht., 24" spread
<b>GROUNDCOVERS</b>					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
SC	100	Seasonal Color	<i>Liriope muscari</i>	4" pots	selection by owner, 10" o.c.
LIR	820	Liriope	<i>Cynodon dactylon '419'</i>	4" pots	container full, well rooted solid sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be branching within varieties.

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.





## Existing Floor plan

CHILD CARE  
AT LAKESHORE PLAZA, LITTLE ELM,  
BUILDING "B"  
ONE-STORY, WOOD-FRAMED  
4,850 SQ.FT.  
TOTAL OCCUPANCY = 128

### FLOOR PLAN GENERAL NOTES

1. ATTENTION ALL USERS OF THESE DRAWINGS GENERAL CONTRACTORS, SUB-CONTRACTORS, MANUFACTURERS AND SUPPLIERS CAREFULLY AND THOROUGHLY REVIEW THESE GENERAL NOTES. IT IS YOUR RESPONSIBILITY TO KNOW AND ADHERE TO THESE REQUIREMENTS IF CONFLICT OCCURS, CONTACT ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
2. EVERY EFFORT HAS BEEN MADE TO MAKE THESE DOCUMENT CONCISE AND COORDINATED, TO DEFINE WORK IN THE MOST LOGICAL PLACE AND TO ELIMINATE REDUNDANCY. DO NOT PRESUME THAT YOUR SCOPE OF WORK IS DEFINED THROUGHOUT THE ENTIRE SET OF DRAWINGS AND SPECIFICATIONS. YOU MUST REVIEW THE ENTIRE SET OF CONTRACT DOCUMENTS TO DETERMINE YOUR SCOPE OF WORK. NO ADDITIONAL COST SHALL BE ACCESSED TO THE OWNER FOR NOT UNDERSTANDING SCOPE OF WORK. IF CONFLICT OCCURS, CONTACT THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
3. DO NOT SCALE DRAWINGS
4. SEE THE PROJECT GENERAL NOTES LOCATED IN THE G-SERIES DRAWINGS
5. DIMENSION SHOWN FOR INTERIOR WALLS/PARTITION ARE FROM FACE OF GYPSUM BOARD, OR CENTER OF COLUMN. EXTERIOR WALL DIMENSIONS ARE FROM FACE OF STUD AND/OR END OF STRUCTURAL SLAB U.N.O., SEE ENLARGED FLOOR PLANS FOR THIR ADDITIONAL DIMENSIONS NOT INDICATED ON OVERALL DIMENTIONED PLANS
6. CONTRACTOR SHALL CROSS REFERENCE ALL SHEETS FOR WINDOW TYPES, ALL ALL HINGE SIDE DOOR JAMBS SHALL BE 5" FROM ADJACENT INTERSECTION, U.N.O.
7. WINDOW TYPES MAY NOT APPEAR ON FLOOR PLANS
8. REFERENCE PLUMBING PLAN FOR FLOOR DRAINS
9. FOR KITCHEN EQUIPMENT PLAN AND FOOD SERVICE EQUIPMENT/FURNITURE REFERENCE(K) SHEETS PROVIDED FROM FOOD SERVICE EQUIPMENT COMPANY /SUPPLIER /DESIGN/INSTALLATION.

S-2.021

## FLOOR PLAN



PROJECT NORTH

NO.	DATE	DESCRIPTION

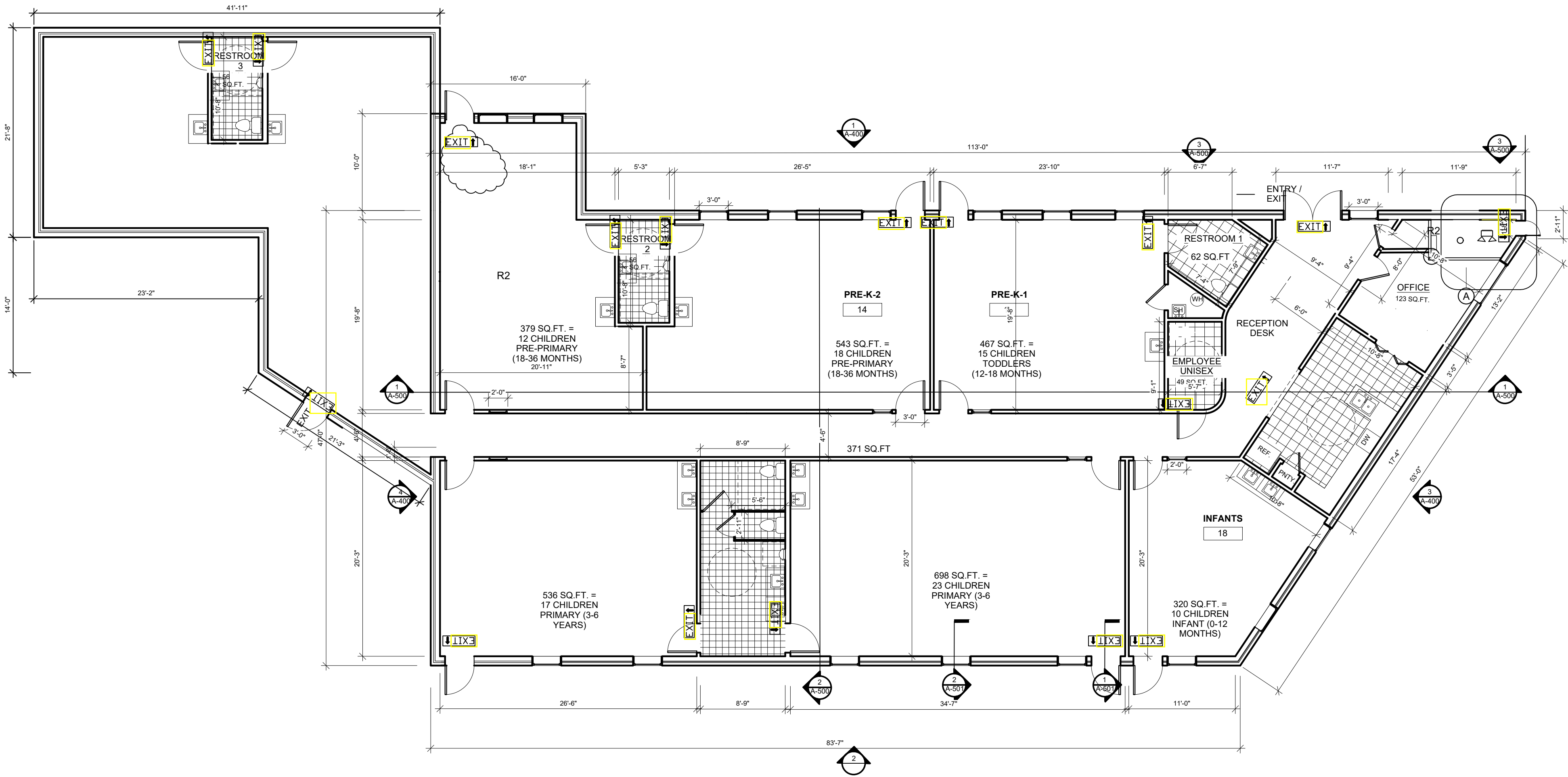
CORE AND SHELL  
ELDORADOPKWAY & HILL  
SIDE DR LITTLE ELX, TX 75068

Toptel Ilc 3899 Adams  
Ln Frisco TX 75034

PROJECT NO. 00000
DIMENTIONED FLOOR PLAN
<b>A-201</b>
OF _____
DRAWN: Author CHECKED: _____

Project Status

© 2018



# Proposed Floor plan

## FLOOR PLAN GENERAL NOTES

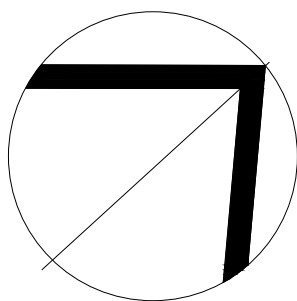
1. ATTENTION ALL USERS OF THESE DRAWINGS.GENERAL CONTRACTORS,SUB-CONTRACTORS, MANUFACTURERS AND SUPPLIERS.CAREFULLY AND THOROUGHLY REVIEW THESE GENERAL NOTES .IT IS YOUR RESPONSIBILITY TO KNOW AND ADHERE TO THESE REQUIREMENTS .IF CONFLICT OCCURS , CONTACT ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
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9. FOR KITCHEN EQUIPMENT PLAN AND FOOD SERVICE EQUIPMENT/FURNITURE REFERENCE(K) SHEETS PROVIDED FROM FOOD SERVICE EQUIPMENT COMPANY /SUPPLIER /DESIGN/INSTALLATION .

CHILD CARE  
AT LAKESHORE PLAZA, LITTLE ELM,  
BUILDING "B"  
ONE-STORY, WOOD-FRAMED  
6070 SQ.FT.  
TOTAL OCCUPANCY= 135

Note: b. The expansion of the daycare facility not only follows the design standards within the LF District but also matches the existing building.

S-2.021

# FLOOR PLAN



PROJECT NORTH

NO.	DATE	DESCRIPTION

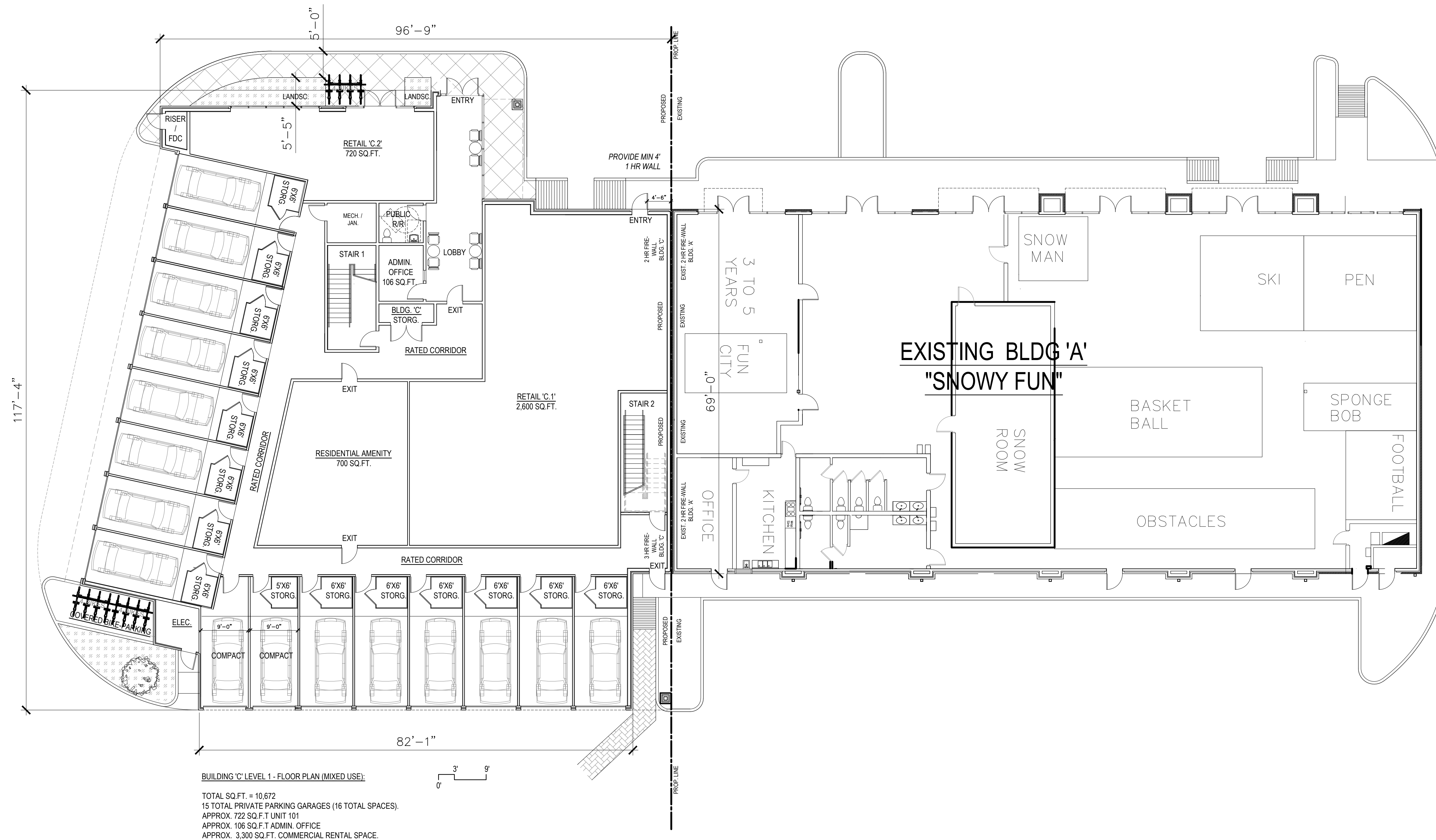
CORE AND SHELL  
ELDORADOPKWY & HILL  
SIDE DR LITTLE ELX, TX 75068

Toptel Iic 3899 Adams  
Ln FriscoTX 75034

PRO ECT NO.00000  
DIMENTIONED FLOOR PLAN

A-201

DRAWN: Author CHECKED:





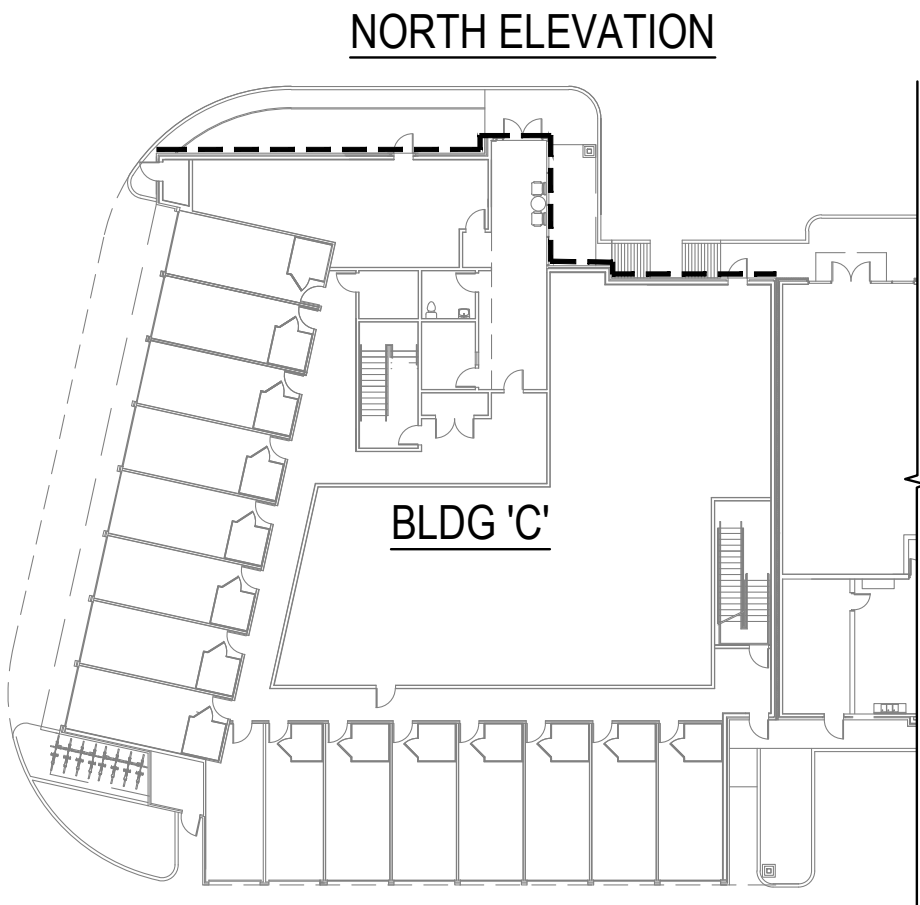
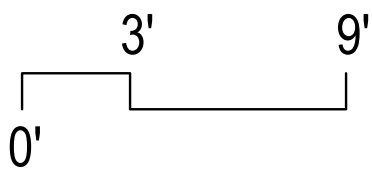
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- All signage areas and locations are subject to approval of Development Services Director
- When permitted, exposed utility boxes and conduits shall be painted to match the building
- Roof access shall be provided internally, unless otherwise permitted by the Chief Building Official



LEGEND\* \*RE SHEET A2.5 (MATERIAL SAMPLE BOARD FOR ADDTL. INFO)

	CORONADO STONE PRODUCTS: "ELEMNT LEDGESTONE-NORTHLAND"		STEEL TURN-BUCKLE SYSTEM, PAINT SILVER		WALL SCONCE
	BRICK PRODUCT: MODULAR; COLOR: "ROXBURY"		PRE-FIN ALUM. FASCIA COLOR: ALUMINUM		WROUGHT IRON RAILINGS, PAINT BLACK
	BRICK: ACME-COLOR: "ELDERWOOD"		PRE-FIN ALUM. FASCIA AT BALCONIES		
	"NICHIIHA CEMENT-FIBER" PRODUCT: VINTAGE WOOD SERIES: "CEDAR" (parallel pattern)		METAL OVERHEAD DOOR BY "OVERHEAD OF PLANO", STYLE: "PLANKS" COLOR: "BROWN AND SANDSTONE MIX"		
	CAST STONE SILL / COLOR: BEIGE				

MATERIAL TABULATIONS:  
Total Elev. Surface = 4,510  
Total Windows & Doors (30% Required) = 1,353  
Total Windows & Doors (30.18% Provided) = 1,361  
Total Elev. (Minus Doors/Windows): 3,149 sq.ft.  
1,634 sq.ft. Brick (52%)  
411 sq.ft. "Nichiha" (13%)  
912 sq.ft. Stacked Stone (29%)  
192 sq.ft. Accent Materials (6%)  
-Metal Awnings  
-Metal Coping



Floor Plan Key  
02  
1" = 300'  
PLAN NORTH

Front Elevation-Building 'C' (North)

01  
3/16" = 1'-0"

ANY MATERIALS OR METHODS  
CONTAINING OR USING ASBESTOS  
ARE PROHIBITED

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www.triunearchitectureplc.com

**TRIUNE**  
ARCHITECTURE

Lakeshore Plaza  
Bldg. 'C'

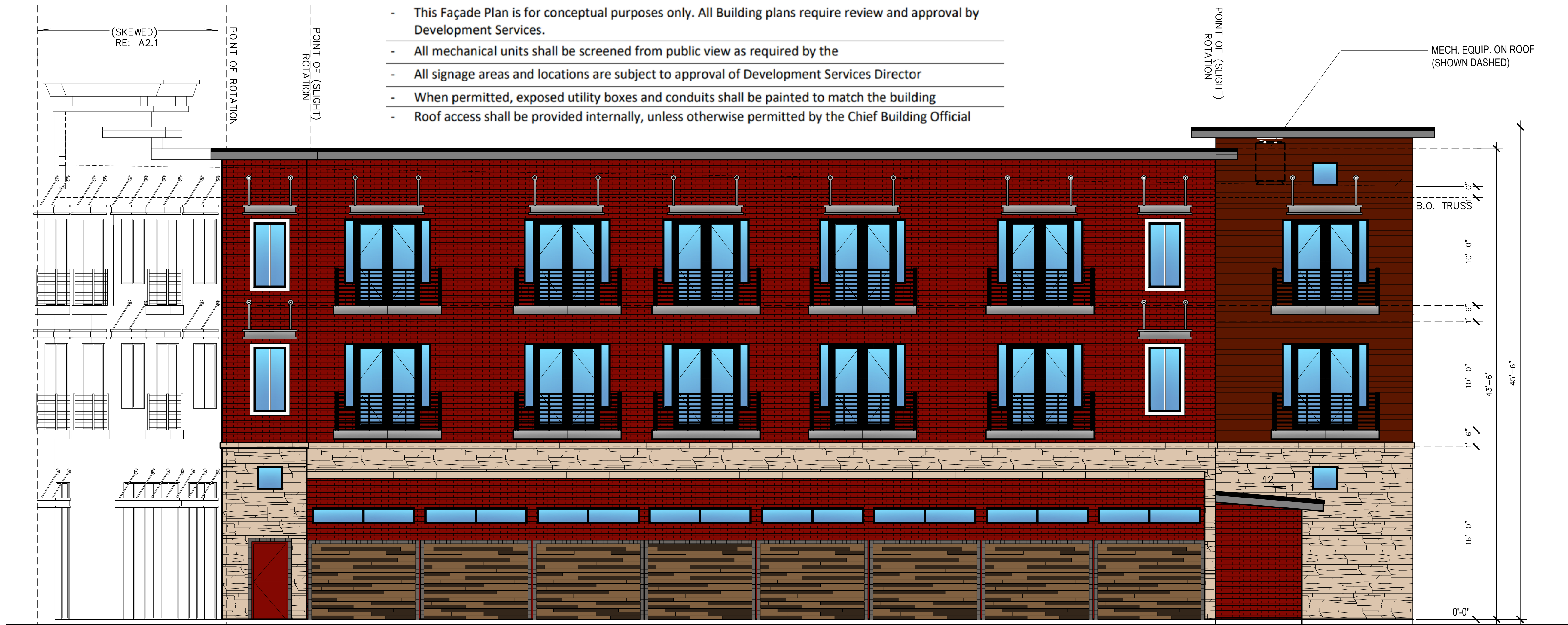
Eldorado Pkwy.  
and Hillside Dr.  
Little Elm, TX  
75206

PRELIMINARY  
NOT FOR  
REGULATORY  
APPROVAL OR  
COPNSTRUCTION

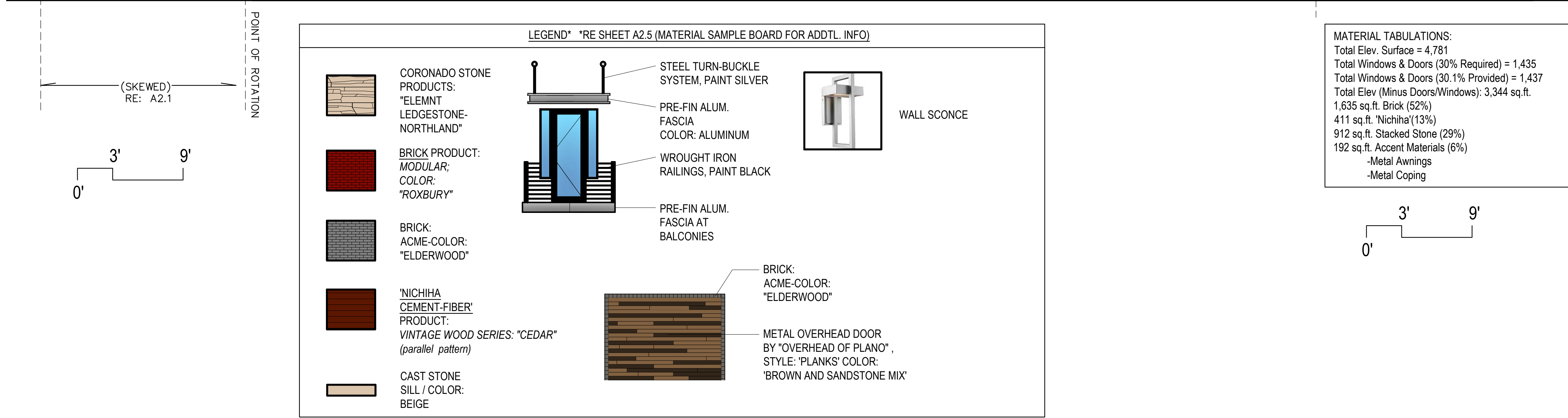
Project #: 2003.00

EXTERIOR  
ELEVATION

A2.1

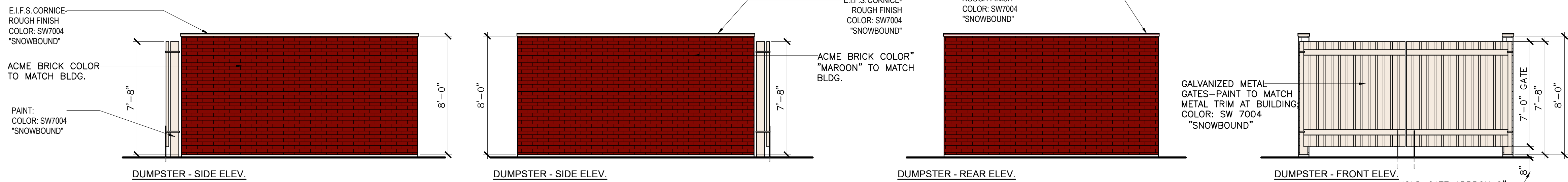


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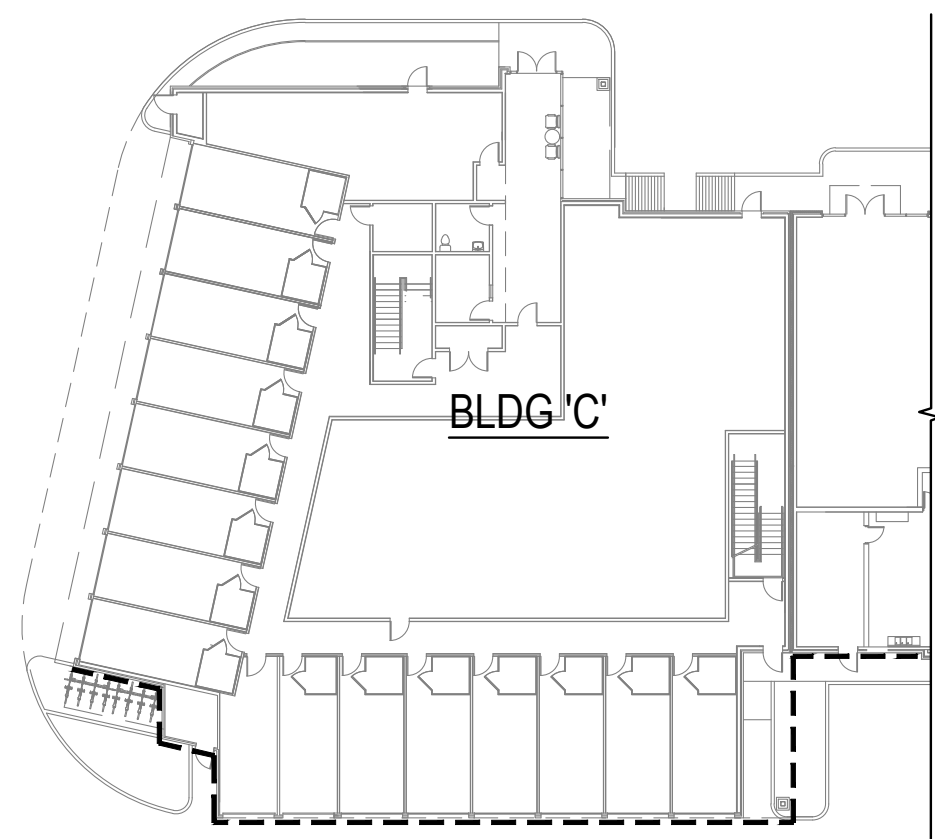
Side Elevation-Building 'C' (West)

01 3/16" = 1'-0"



Dumpster Elevations

02 1/4" = 1'-0"



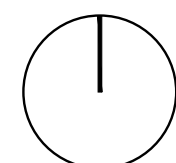
SOUTH ELEVATION

Floor Plan Key

03

1" = 300'

PLAN  
NORTH



ANY MATERIALS OR METHODS  
CONTAINING OR USING ASBESTOS  
ARE PROHIBITED

Lakeshore Plaza  
Bldg. 'C'

Eldorado Pkwy.  
and Hillside Dr.  
Little Elm, TX  
75206

PRELIMINARY  
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REGULATORY  
APPROVAL OR  
COPNSTRUCTION

EXTERIOR  
ELEVATION

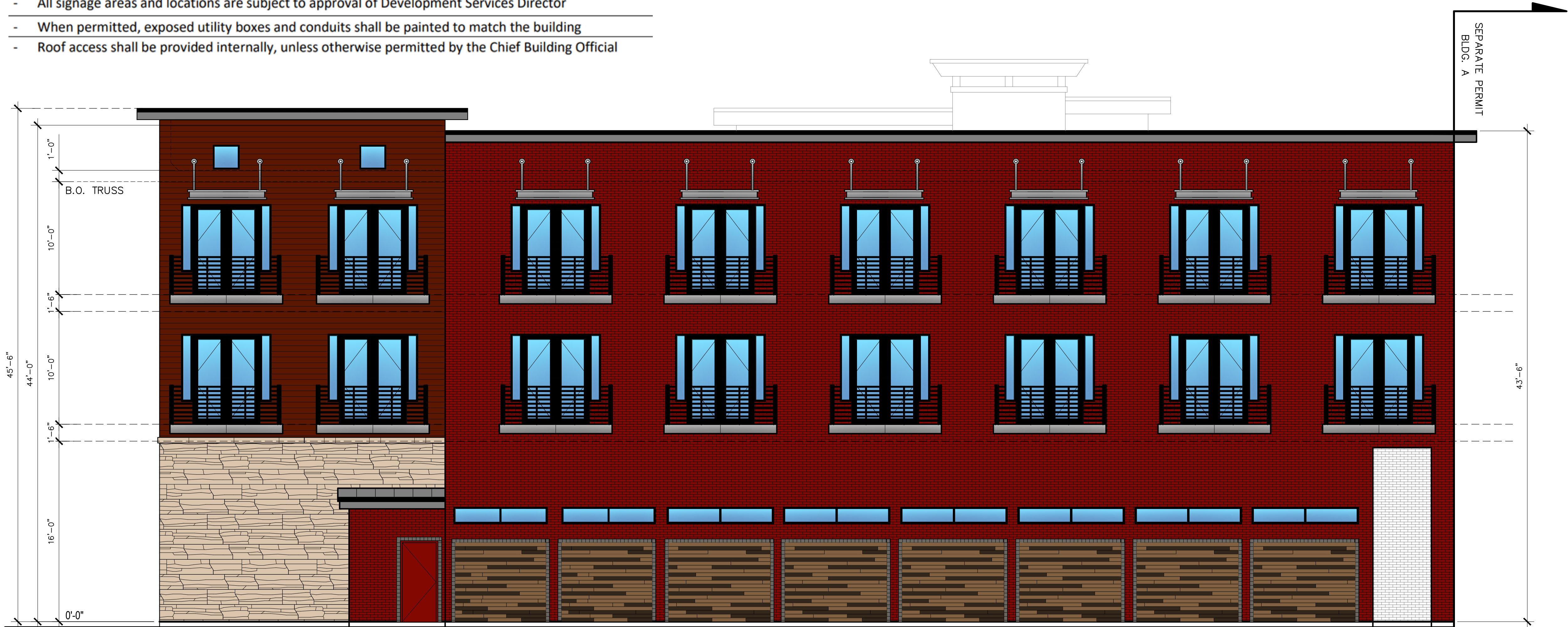
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Project #: 2003.00

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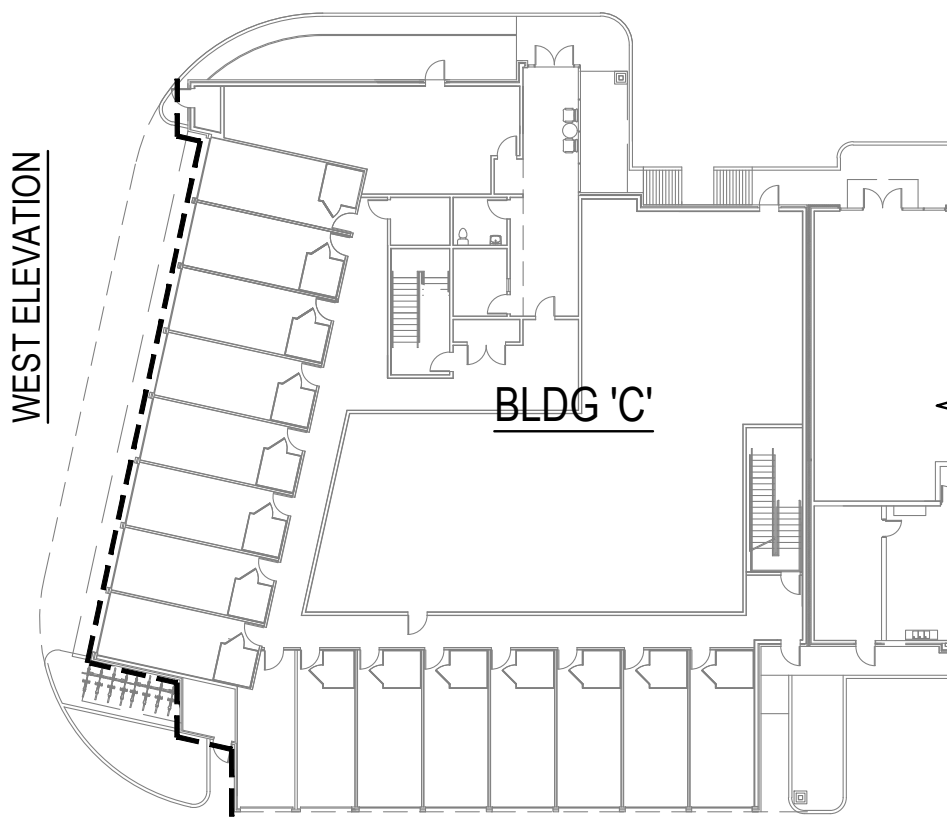
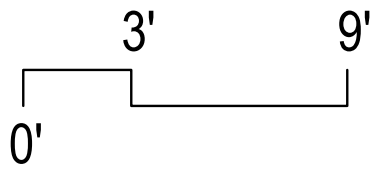
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LEGEND\* \*RE SHEET A2.5 (MATERIAL SAMPLE BOARD FOR ADDTL. INFO)

	CORONADO STONE PRODUCTS: "ELEMNT LEDGESTONE-NORTHLAND"		STEEL TURN-BUCKLE SYSTEM, PAINT SILVER		WALL SCONCE
	BRICK PRODUCT: MODULAR; COLOR: "ROXBURY"		PRE-FIN ALUM. FASCIA COLOR: ALUMINUM		
	BRICK: ACME-COLOR: "ELDERWOOD"		WROUGHT IRON RAILINGS, PAINT BLACK		
	"NICHHA CEMENT-FIBER" PRODUCT: VINTAGE WOOD SERIES: "CEDAR" (parallel pattern)		PRE-FIN ALUM. FASCIA AT BALCONIES		
	CAST STONE SILL / COLOR: BEIGE		BRICK: ACME-COLOR: "ELDERWOOD"		
			METAL OVERHEAD DOOR BY "OVERHEAD OF PLANO", STYLE: "PLANKS" COLOR: "BROWN AND SANDSTONE MIX"		

MATERIAL TABULATIONS:  
Total Elev. Surface = 5,075  
Total Windows & Doors (30% Required) = 1,523  
Total Windows & Doors (31.5% Provided) = 1,601  
Total Elev (Minus Doors/Windows): 3,474 sq.ft.  
2,501 sq.ft. Brick (72%)  
417 sq.ft. 'Nichiha'(12%)  
347 sq.ft. Stacked Stone (10%)  
209 sq.ft. Accent Materials (6%)  
-Metal Awnings  
-Metal Coping



Floor Plan Key  
02  
1" = 300'  
PLAN NORTH

Rear Elevation-Building 'C' (South)  
01  
3/16" = 1'-0"

ANY MATERIALS OR METHODS  
CONTAINING OR USING ASBESTOS  
ARE PROHIBITED

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TRIUNE  
ARCHITECTURE

Lakeshore Plaza  
Bldg. 'C'

Eldorado Pkwy.  
and Hillside Dr.  
Little Elm, TX  
75206

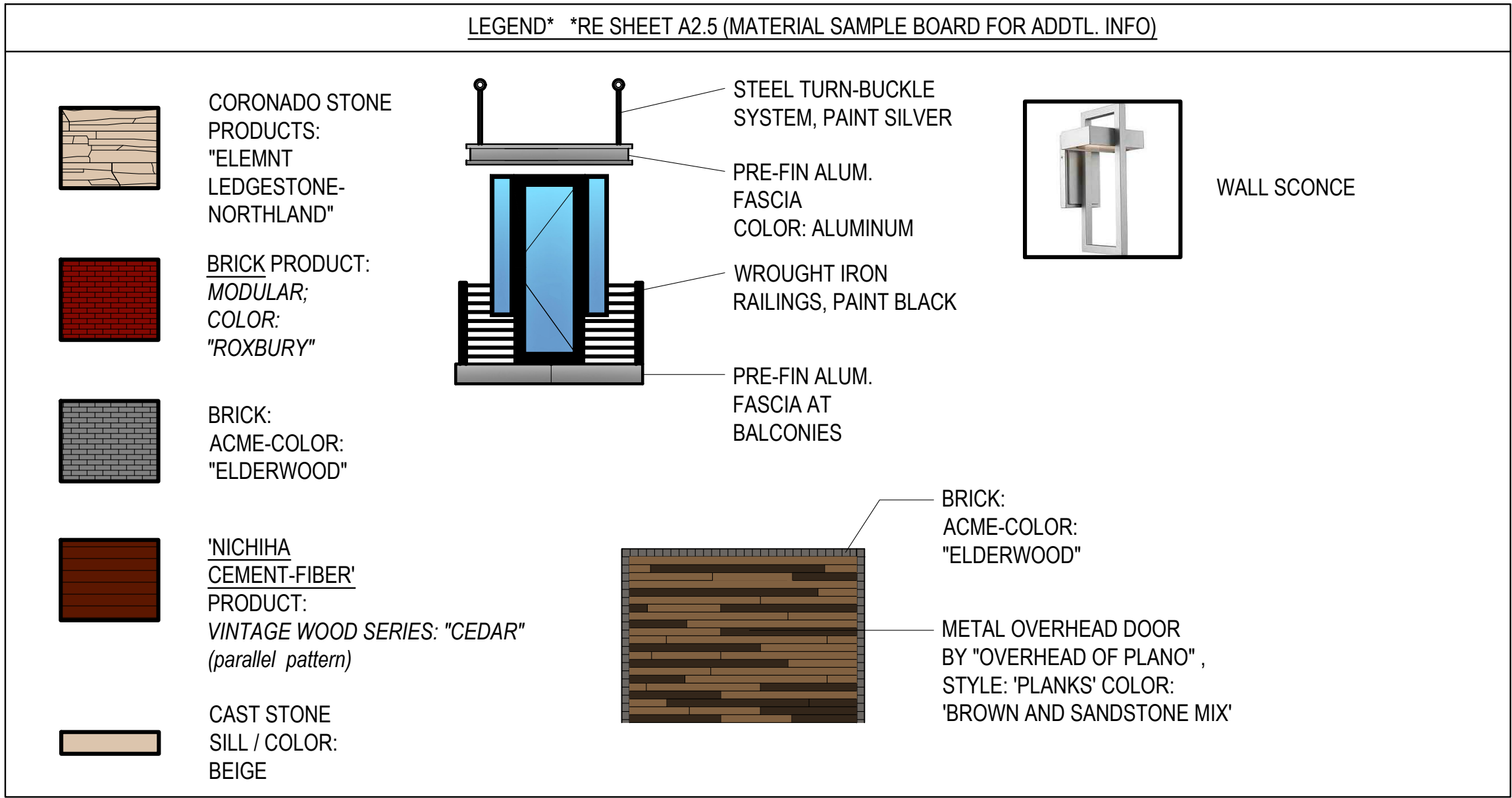
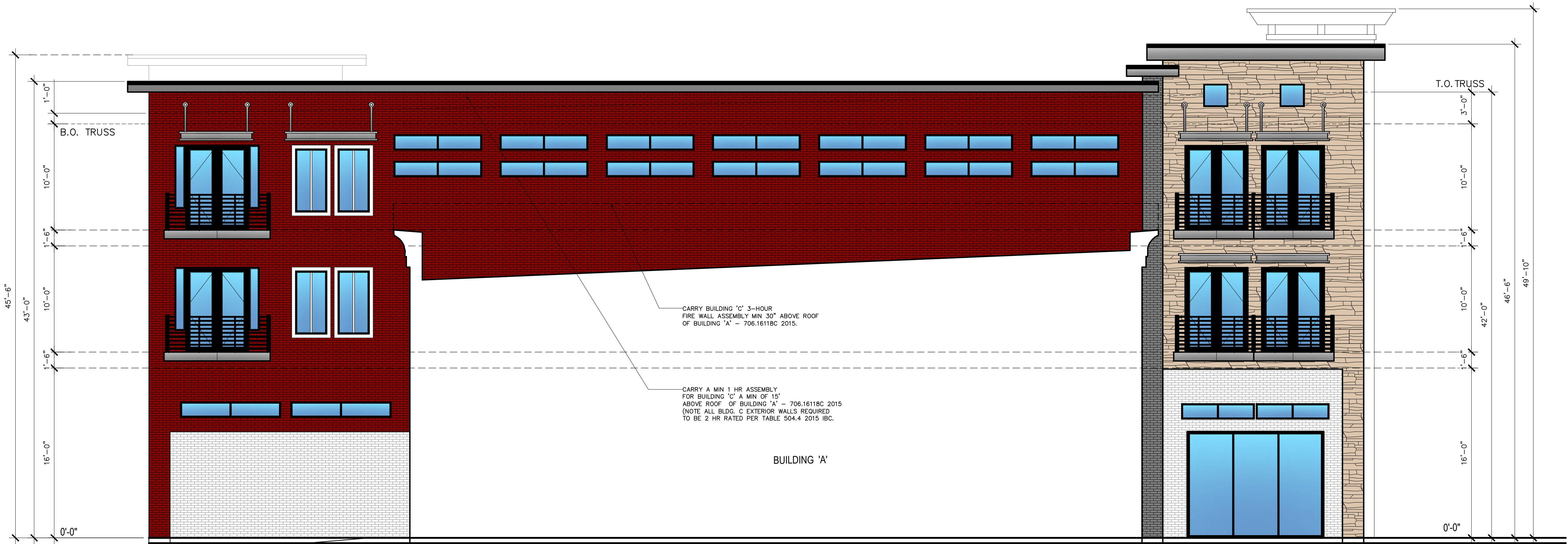
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REGULATORY  
APPROVAL OR  
COPNSTRUCTION

Project #: 2003.00

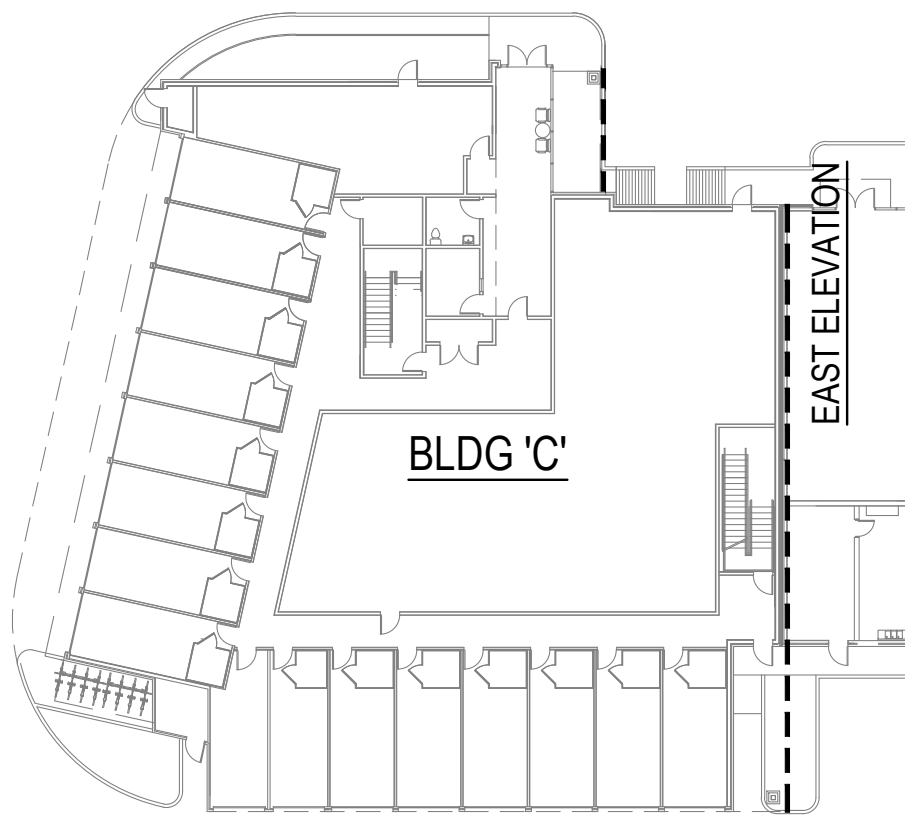
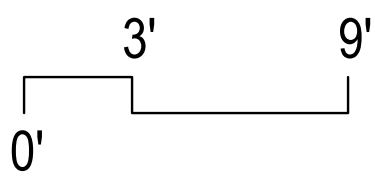
EXTERIOR  
ELEVATION

A2.3

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MATERIAL TABULATIONS:  
Total Elev. Surface = 2,660  
Total Windows & Doors (30% Required) = 798 Total  
Windows & Doors (30.2% Provided) = 802  
Total Elev (Minus Doors/Windows): 1,858 sq.ft.  
1,355 sq.ft. Brick (73%)  
409 sq.ft. Stacked Stone (22%)  
94 sq.ft. Accent Materials (5%)  
-Metal Awnings  
-Metal Coping



Floor Plan Key  
02  
1" = 300'  
PLAN NORTH

Side Elevation-Building 'C' (East)  
01  
3/16" = 1'-0"

ANY MATERIALS OR METHODS  
CONTAINING OR USING ASBESTOS  
ARE PROHIBITED

TRIUNE  
ARCHITECTURE

Lakeshore Plaza  
Bldg. 'C'

Eldorado Pkwy.  
and Hillside Dr.  
Little Elm, TX  
75206

Project #: 2003.00

EXTERIOR  
ELEVATION

A2.4

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REGULATORY  
APPROVAL OR  
COPNSTRUCTION



CORONADO STONE  
PRODUCTS:  
"ELEMNT  
LEDGESTONE-  
NORTHLAND"



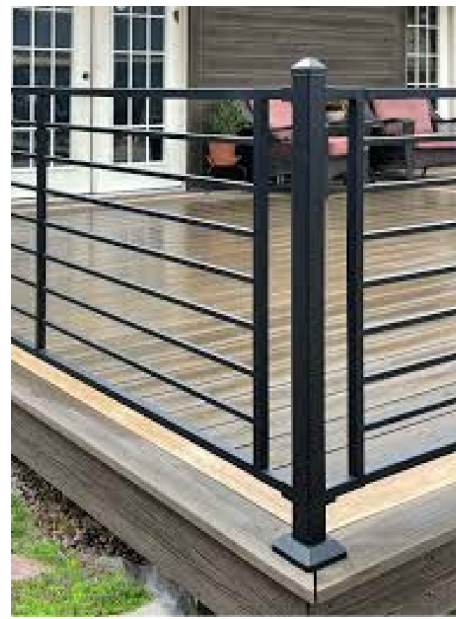
'NICHIIA  
CEMENT-FIBER'  
PRODUCT:  
VINTAGE WOOD  
SERIES: "CEDAR"  
(parallel pattern)



ACME BRICK  
PRODUCT:  
MODULAR;  
COLOR:  
"ELDERWOOD"



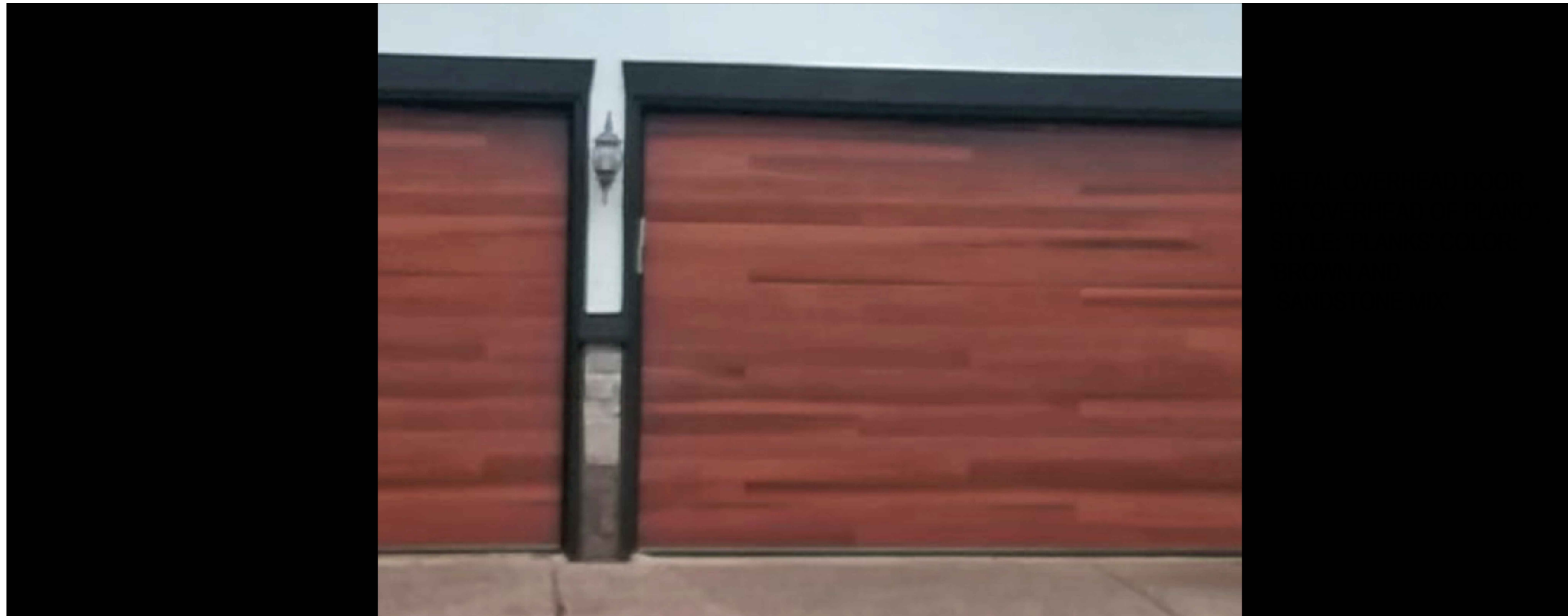
ACME BRICK  
PRODUCT:  
MODULAR;  
COLOR:  
"ROXBURY"



EXAMPLE:  
BLACK WROUGHT  
IRON RAIL AT  
PATIOS



EXAMPLE:  
ALUM. AWNING  
W/ TIE-RODS





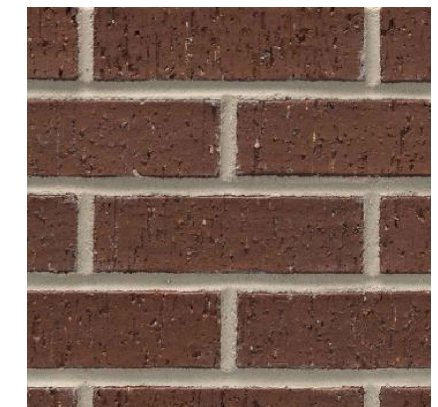
CORONADO STONE  
PRODUCTS:  
"ELEMNT  
LEDGESTONE-  
NORTHLAND"



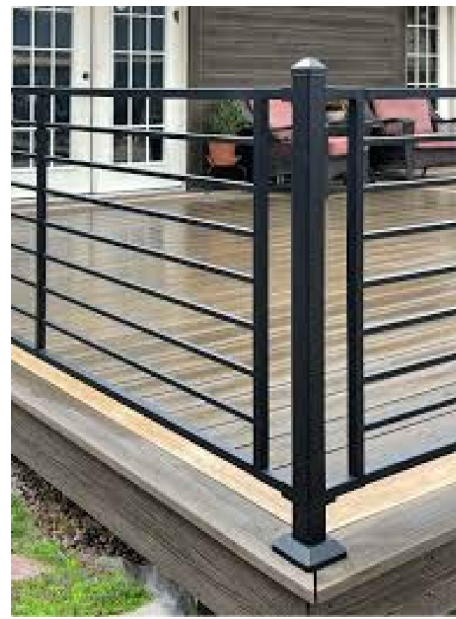
'NICHHA  
CEMENT-FIBER'  
PRODUCT:  
VINTAGE WOOD  
SERIES: "CEDAR"  
(parallel pattern)



ACME BRICK  
PRODUCT:  
MODULAR;  
COLOR:  
"ELDERWOOD"



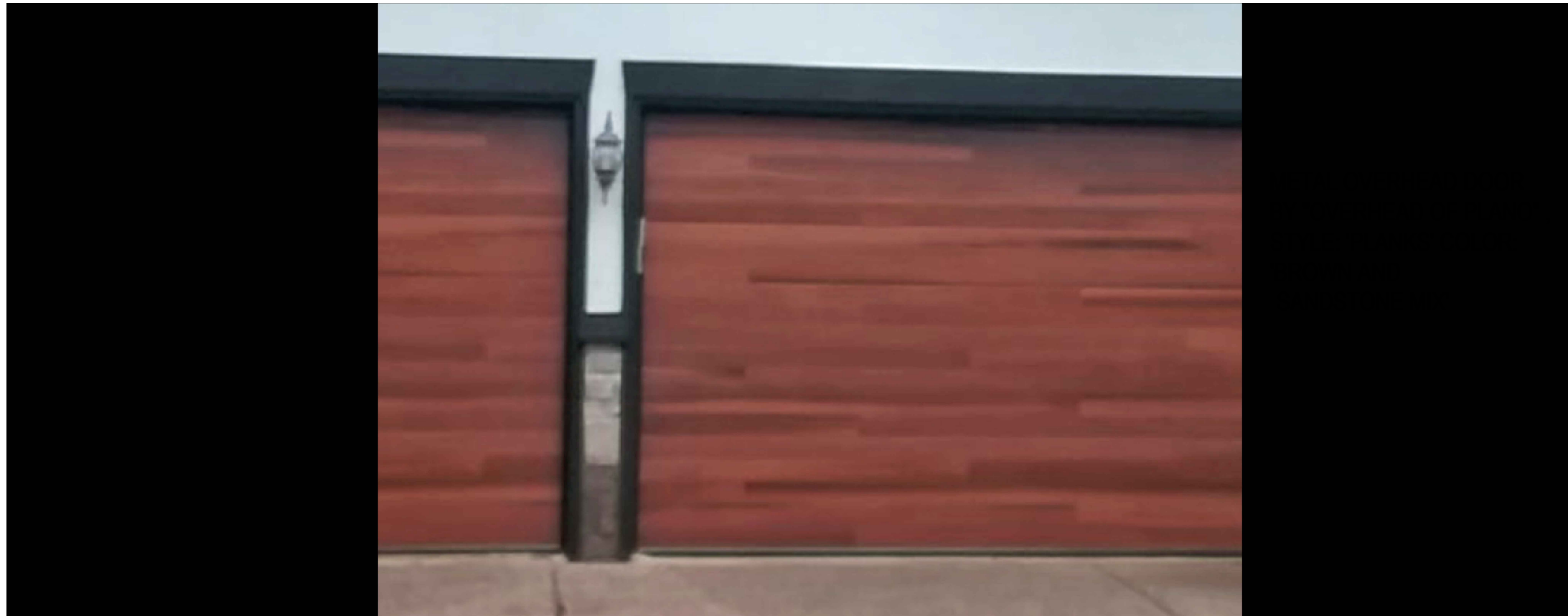
ACME BRICK  
PRODUCT:  
MODULAR;  
COLOR:  
"ROXBURY"

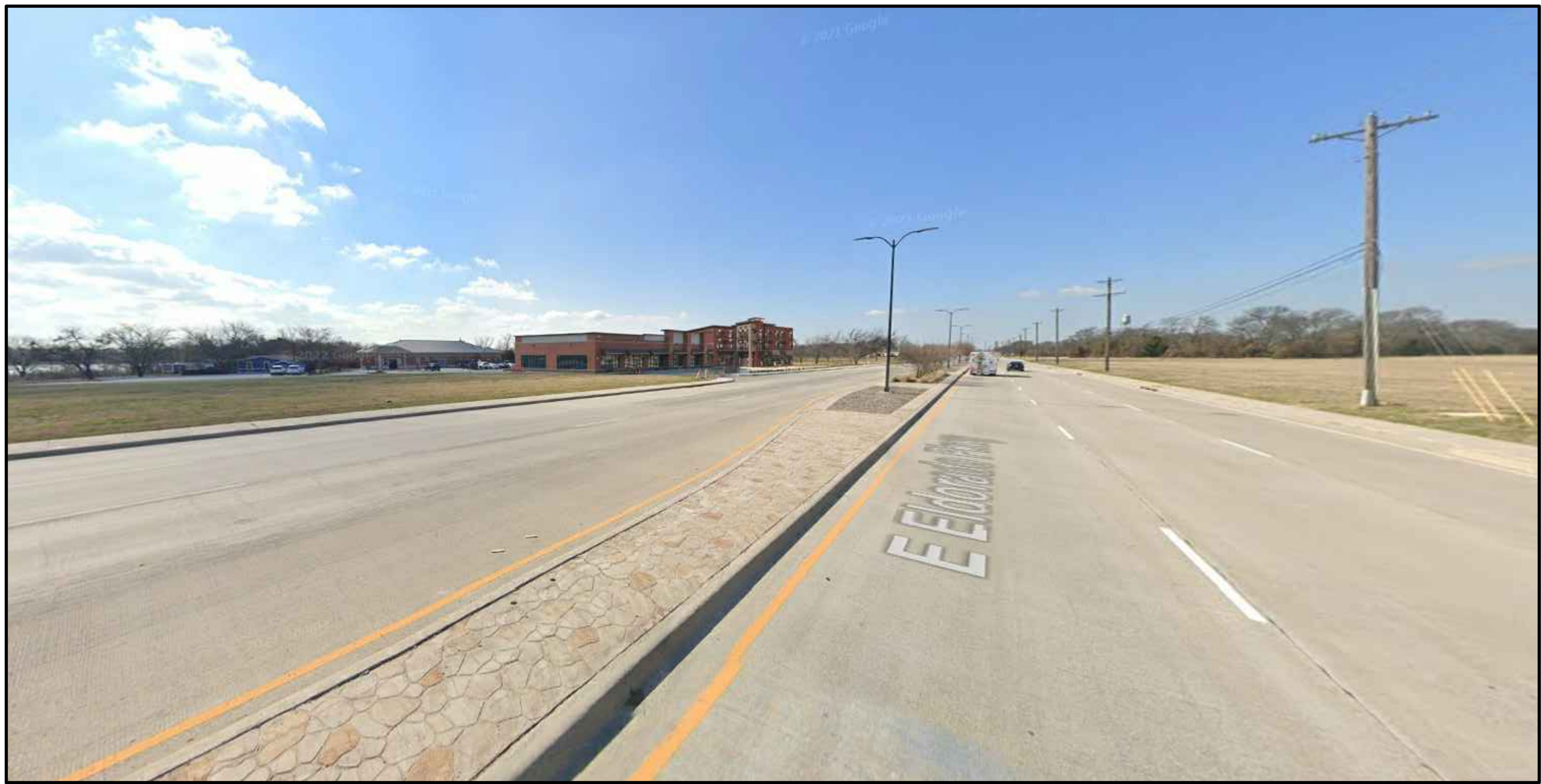
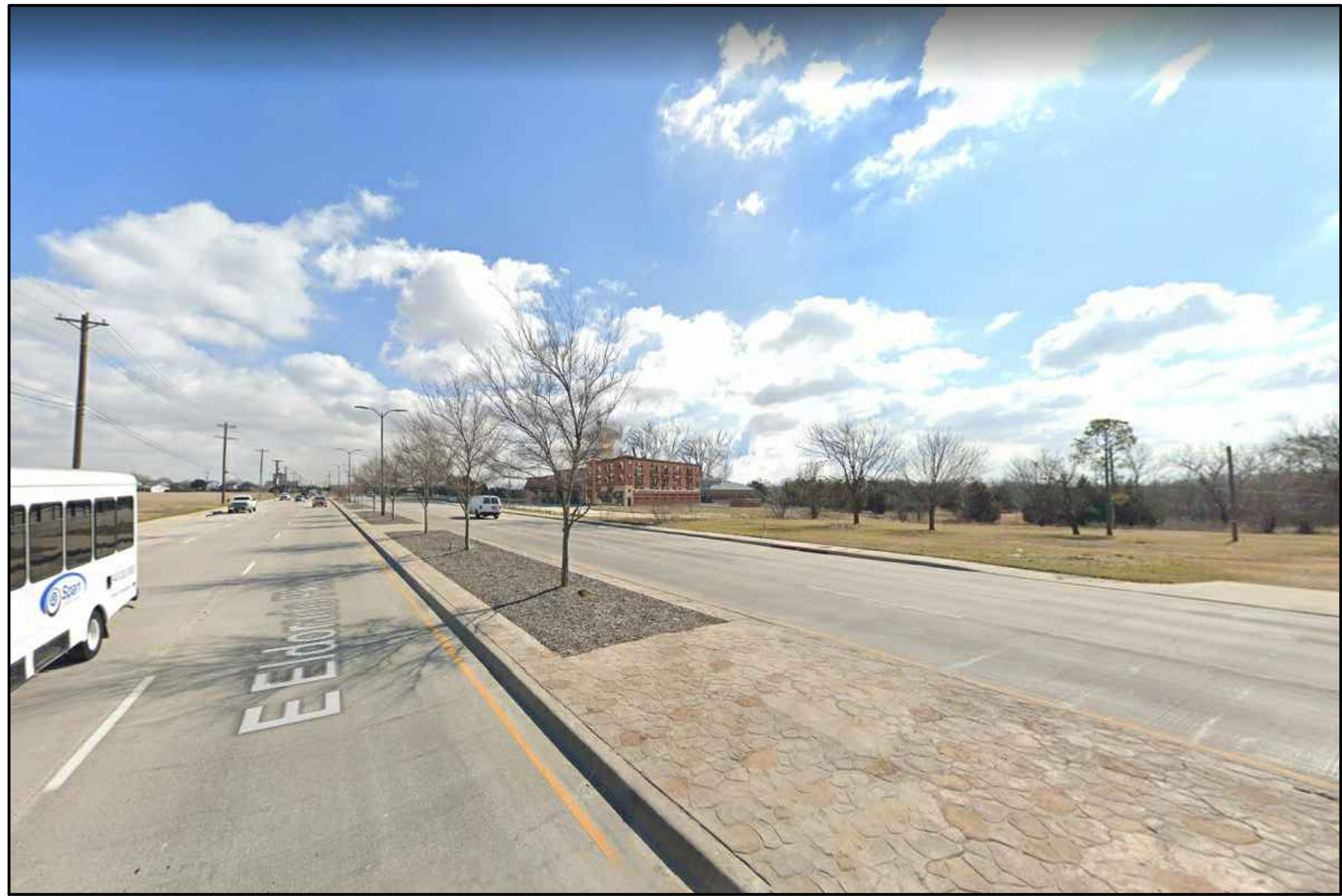


EXAMPLE:  
BLACK WROUGHT  
IRON RAIL AT  
PATIOS



EXAMPLE:  
ALUM. AWNING  
W/ TIE-RODS





Lakeshore Plaza
   
 Bldg. 'C'

Eldorado Pkwy.
   
 and Hillside Dr.
   
 Little Elm, TX
   
 75206

PRELIMINARY
   
 NOT FOR
   
 REGULATORY
   
 APPROVAL OR
   
 CONSTRUCTION

Project #: 2003.00

"DRIVE-BY"
   
 RENDERINGS

A2.7

  
**SOJOURN**  
CASTLE HILLS



**36-inch Wide Side-by-Side Counter  
Depth Refrigerator with StoreRight™  
Dual Cooling System—23 cu. ft.**



**1.7 cu. ft. Microwave Hood Combi-  
nation with Electronic Controls**



**4.8 Cu. Ft. Freestanding Electric Range  
with FlexHeat™ Dual Radiant Element**

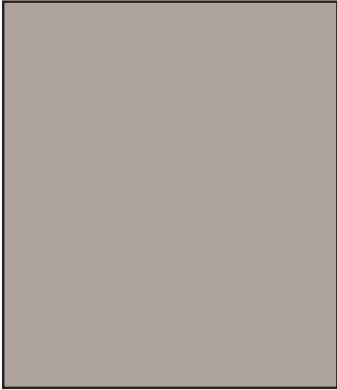
**Whirlpool®**  
Appliance Package



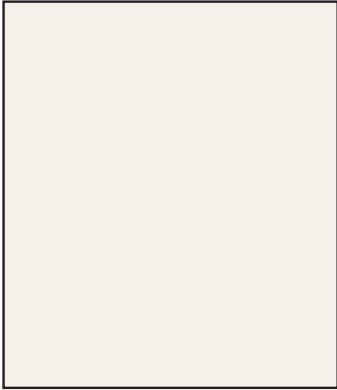
**Heavy-Duty Dishwasher with 1-Hour  
Wash Cycle**

Note: Subject to change based on availability


COLOR PALETTE



**WALL**  
SHERWIN WILLIAMS  
FUNCTIONAL GREY




**TRIM**  
SHERWIN WILLIAMS  
ALABASTER




**ACCENT**  
SHERWIN WILLIAMS  
URBANE BRONZE  
\*REFERENCE ONLY  
NOT USED IN UNIT

FLOORING




**LVT**  
NUCORE  
LIGHT GRAY PLANK




**CARPET**  
SHAW FLOORS  
OUR HOME III - DOWNTOWN


LIGHTING FIXTURES



**CEILING FAN**  
KITCHLER 330002NI  
VASSAR 52" BRUSHED NICKEL




**FIRE RATED RECESSED  
CAN FIXTURE**  
RP LIGHTING



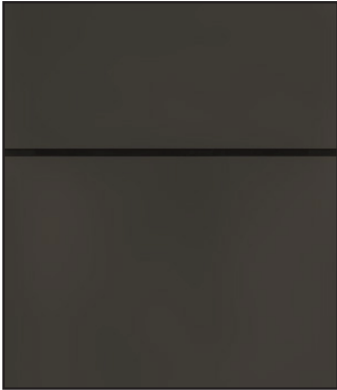
**ISLAND ACCENT LIGHTING**  
ELAN LIGHTING 84021-ZIN  
9.75" HANGING GLOBE

LIGHTING FIXTURES


BATH




**BATH/VANITY LIGHT**  
AFX LIGHTING-CHARLOTTE LED  
VANITY 4.5"H x 3.375"W x 41.25"




**MANHATTAN SLAB**  
SLATE



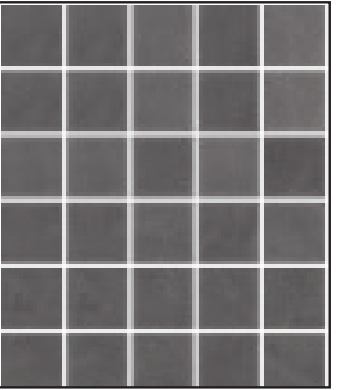
**HARDWARE**  
#1600-96 CKP BRAND  
LINEAR - BRUSHED NICKEL




**GRANITE COUNTERTOP**  
MSI STONE  
LUNA PEARL




**WALL TILE**  
FLORIDA TILE - EDGE  
CARBON - BRICK LAY



**SHOWER FLOOR TILE**  
FLORIDA - EDGE MOSAIC  
CARBON




**BATH FAUCET**  
MOEN GENTA  
SINGLE-HANDLE




**BATH SINK**  
KOHLER CAXTON  
RECTANGLE UNDERMOUNT

BATH


KITCHEN




**FRAMED MIRROR**  
QUIOZEL LOCKPORT  
24X36 BRUSHED NICKEL




**HARDWARE**  
TOWEL RACK/RING  
BRUSHED NICKEL




**MANHATTAN SLAB**  
SLATE




**HARDWARE**  
#1600-96 CKP BRAND  
LINEAR - BRUSHED NICKEL




**GRANITE COUNTERTOP**  
MSI STONE  
LUNA PEARL



**BACKSPLASH**  
FLORIDA -PIECE OF MIND  
BALANCE BEIGE - 11.75X11.75




**KITCHEN FAUCET**  
KOHLER SIMPLCE  
SINGLE-HANDLE - BRUSHED



**KITCHEN SINK**  
KOHLER VAULT  
DUAL-MOUNT - STAINLESS

Page 1

COLOR PALETTE			FLOORING		LIGHTING FIXTURES		
							
WALL SHERWIN WILLIAMS FUNCTIONAL GREY	TRIM SHERWIN WILLIAMS ALABASTER	ACCENT SHERWIN WILLIAMS URBANE BRONZE *REFERENCE ONLY NOT USED IN UNIT	LVT NUCORE LIGHT GRAY PLANK	CARPET SHAW FLOORS OUR HOME III - DOWNTOWN	CEILING FAN KITCHLER 330002NI VASSAR 52" BRUSHED NICKEL	FIRE RATED RECESSED CAN FIXTURE RP LIGHTING	ISLAND ACCENT LIGHTING KITCHLER 43853NI 10"W x 9.25" H BRUSHED NICKEL
LIGHTING FIXTURES							

							
BATH/VANITY LIGHT AFX LIGHTING-CHARLOTTE LED VANITY 4.5"H x 3.375"W x 41.25"	MANHATTAN SLAB MATTE WHITE	HARDWARE #489-3 CKP BRAND LINEAR - BLACK	GRANITE COUNTERTOP REPUBLIC ELITE WHITE ROSE	WALL TILE FLORIDA - STREAMLINE ARCTIC MATTE - BRICK LAY	SHOWER FLOOR TILE FLORIDA - EDGE MOSAIC CARBON	BATH FAUCET DELTA TRINSIC SINGLE-HANDLE	BATH SINK KOHLER CAXTON RECTANGLE UNDERMOUNT

BATH		KITCHEN					
							
FRAMED MIRROR QUIOZEL LOCKPORT 24X36 BRUSHED NICKEL	HARDWARE TOWEL RACK/RING BLACK	MANHATTAN SLAB MATTE WHITE	HARDWARE #489-3 CKP BRAND LINEAR - BLACK	GRANITE COUNTERTOP REPUBLIC ELITE WHITE ROSE	BACKSPLASH FLORIDA -PEACE OF MIND BALANCE BEIGE 11.75X11.75	KITCHEN FAUCET KOHLER SIMPLCE SINGLE-HANDLE - BRUSHED	KITCHEN SINK KOHLER VAULT DUAL-MOUNT - STAINLESS

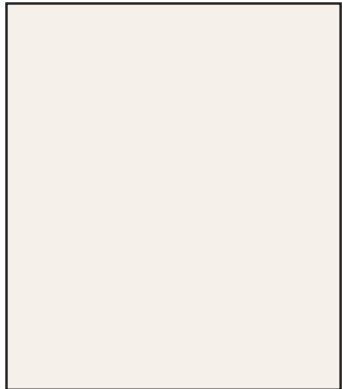
'LAKESHORE COTTAGE #1'- LIGHT CABINETS, LIGHT COUNTER, WHITE/BLACK CONTRASTS

COLOR PALETTE

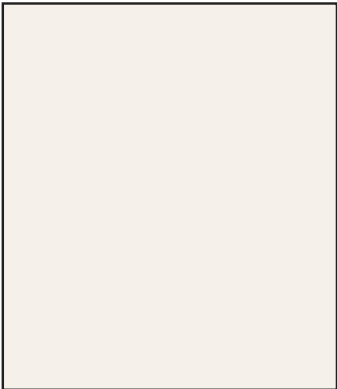
\*FINISHES AND FIXTURES ARE SUBJECT TO CHANGE BASED ON AVAILABILITY

FLOORING

LIGHTING FIXTURES



WALL  
SHERWIN WILLIAMS  
ALABASTER



TRIM  
SHERWIN WILLIAMS  
ALABASTER



ACCENT  
SHERWIN WILLIAMS  
INKWELL  
\*REFERENCE ONLY  
NOT USED IN UNIT



LVT  
NUCORE  
COFFEE OAK PLANK



CARPET  
SHAW FLOORS  
OUR HOME III - SUNBLEACHED



CEILING FAN  
KITCHLER 330002WH  
52" VASAR CEILING FAN  
WHITE



FIRE RATED RECESSED  
CAN FIXTURE  
RP LIGHTING



ISLAND ACCENT LIGHTING  
ANP LIGHTING W516-BLC  
BLACK SHADE 16" PENDANT

LIGHTING FIXTURES

BATH



BATH/VANITY LIGHT  
KITCHLER 45458OZ  
14.75"W x 10" H BRONZE



SHAKER  
MATTE WHITE



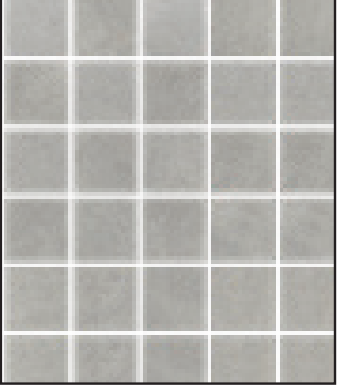
HARDWARE  
#55277 AMEROCK PULL  
GOLDEN CHAMPAGNE



GRANITE COUNTERTOP  
REPUBLIC ELITE  
WHITE ROSE



WALL TILE  
FLORIDA - STREAMLINE  
ARCTIC MATTE - BRICK LAY



SHOWER FLOOR TILE  
FLORIDA - EDGE MOSAIC  
SILVER



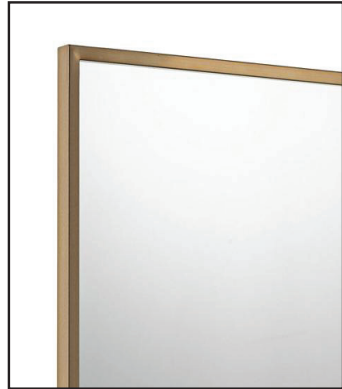
BATH FAUCET  
DELTA TRINSIC  
SINGLE HOLE - CHAMPAGNE



BATH SINK  
KOHLER CAXTON  
RECTANGLE UNDERMOUNT

BATH

KITCHEN



FRAMED MIRROR  
QUIOZEL LOCKPORT  
24X36 ANTIQUE BRASS



HARDWARE  
TOWEL RACK/RING  
BLACK BRONZE



SHAKER  
MATTE WHITE



HARDWARE  
#55277 AMEROCK PULL  
BLACK BRONZE



GRANITE COUNTERTOP  
REPUBLIC ELITE  
WHITE ROSE



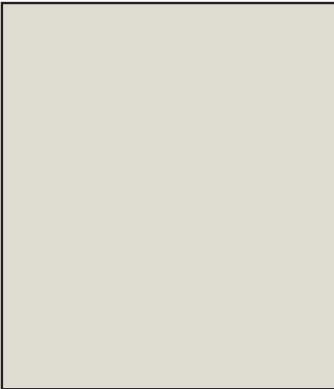






BACKSPLASH  
FLORIDA - PRECIOUS HDP  
CALACATTA - HERRINGBONE



KITCHEN FAUCET  
KOHLER SIMPLCE  
SINGLE-HANDLE - BLACK



KITCHEN SINK  
KOHLER VAULT  
DUAL-MOUNT - STAINLESS

COLOR PALETTE			FLOORING		LIGHTING FIXTURES		
							
<b>WALL</b> SHERWIN WILLIAMS REPOSE GRAY	<b>TRIM</b> SHERWIN WILLIAMS ALABASTER	<b>ACCENT</b> SHERWIN WILLIAMS SW GAUNTLET GRAY *REFERENCE ONLY NOT USED IN UNIT	<b>LVT</b> NUCORE COFFEE OAK PLANK	<b>CARPET</b> SHAW FLOORS OUR HOME III - SUNBLEACHED	<b>CEILING FAN</b> KITCHLER 330002WH 52" VASAR CEILING FAN WHITE	<b>FIRE RATED RECESSED CAN FIXTURE</b> RP LIGHTING	<b>ISLAND ACCENT LIGHTING</b> KITCHLER 44217CLP INDUSTRIALFRAMES PENDANT
LIGHTING FIXTURES			BATH				

							
<b>BATH/VANITY LIGHT</b> KICHLER 45973OZ AVERY 24"W x 9.25" H BRONZE	<b>SHAKER</b> SLATE	<b>HARDWARE</b> #55277 AMEROCK PULL BLACK BRONZE	<b>GRANITE COUNTERTOP</b> REPUBLIC ELITE WHITE ROSE	<b>WALL TILE</b> ERGON TREND GRAY-5X10	<b>SHOWER FLOOR TILE</b> FLORIDA-MOSAIC ART WHITE	<b>BATH FAUCET</b> DELTA TRINSIC SINGLE HOLE - CHAMPAGNE	<b>BATH SINK</b> KOHLER CAXTON RECTANGLE UNDERMOUNT

BATH		KITCHEN					
							
<b>FRAMED MIRROR</b> QUIOZEL LOCKPORT 24X36 ANTIQUE BRASS	<b>HARDWARE</b> TOWEL RACK/RING BLACK	<b>SHAKER</b> SLATE	<b>HARDWARE</b> #55277 AMEROCK PULL BLACK BRONZE	<b>GRANITE COUNTERTOP</b> REPUBLIC ELITE WHITE ROSE	<b>BACKSPLASH</b> FLORIDA TILE STREAMLINE DOVE GRAY- 3X6	<b>KITCHEN FAUCET</b> KOHLER SIMPLCE SINGLE-HANDLE - BLACK	<b>KITCHEN SINK</b> KOHLER VAULT DUAL-MOUNT - STAINLESS



## Colors



TRUE WHITE (TW)



ALMOND (AL)



WICKER TAN (WK)



SANDTONE (ST)



TERRATONE (TT)



DARK BROWN (DN)



GOLDEN OAK (OK)‡



WALNUT (NT)‡



MAHOGANY (MY)‡

Amarr steel doors are pre-painted; for custom colors, exterior latex paint must be used.

Visit [amarr.com](http://amarr.com) for instructions on painting. Actual paint colors may vary from samples shown.

‡ Price upcharge applies.



Contact an Expert Today!  888.920.4628



# WillyGoat™



Search



**MADE IN USA**





# WENZHOU JIQI AMUSEMENT EQUIPMENT CO.,LTD

## Verification for Playground

To Whom May Concern

Hereby we would like 2 inform you that The playground  
(items 22LY066-190 and 22SS005-158, pictures below) sold to lake  
shore plaza is commercial gade.



Dimintions: 660\*260\*380cm

Materral: Hot-Galvanized tube+Import LLDPE



Dimintions: 840\*300\*500cm

Materral: Hot-Galvanized tube+Import LLDPE



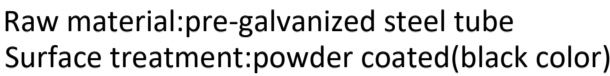
WENZHOU JIQI AMUSEMENT EQUIPMENT CO.,LTD

2022.10.31

温州吉奇游乐设备有限公司  
WENZHOU JIQI AMUSEMENT EQUIPMENT CO.,LTD.



FENCE EXAMPLE AT  
'BLDG A' MECH.  
SCREENING



## Fence Drawing

REV	Date	Changed	By	Material	Client	Matt Shekari
01	n/a	n/a		Mass		
02						
03						
04						
05						
06				Status	Drawn By	Jack
07				Status By	Checked By	Winter
				DIN A3	Date	20220822
				SCALE 1:1	Hongye Metal	

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