

STATE OF TEXAS §
 §
COUNTY OF DENTON §

**DEVELOPMENT AGREEMENT
FOR The Dog Stop (PD-23-03342)**

This Development Agreement for The Dog Stop ("**Agreement**") is entered into between Happy Tails of Texas, LLC ("**Developer**"), whose address for purposes of this Agreement is 16101 Madison Square Way, Prosper, TX 75078, and the Town of Little Elm, Texas ("**Town**"), whose address for purposes of this Agreement is 100 W. Eldorado Parkway, Little Elm, TX 75068. Developer and the Town are sometimes referred herein together as the "**Parties**" and individually as a "**Party**."

Recitals:

1. Developer is the owner of approximately 2.476 acres located at 802 and 804 East Eldorado Parkway in the Town of Little Elm, Texas (the "**Property**"), which Property is more particularly described in **Exhibit A** attached hereto.
2. In furtherance of the development of the Property, the Parties have negotiated certain matters regarding the Property as set forth in this Agreement.
3. The Parties seek to memorialize these negotiated matters and to include them in this contractually-binding Agreement.

NOW, THEREFORE, for and in consideration of the above and foregoing premises, the benefits to each of the Parties from this Agreement, and other good and valuable consideration, the sufficiency of which is hereby acknowledged and agreed, the Parties do hereby agree as follows:

Section 1. Incorporation of Premises. The above and foregoing Recitals are true and correct and are incorporated herein and made a part hereof for all purposes.

Section 2. Term. This Agreement shall be effective as of the date of execution of this Agreement by the last of the Parties to do so ("**Effective Date**"). This Agreement shall remain in full force and effect from the Effective Date until terminated by the mutual agreement of all of the Parties in writing, or until all obligations in the Agreement have been fulfilled ("**Term**").

Section 3. Agreements. The Parties agree as follows:

- A.** The negotiated and agreed upon zoning and development standards contained in the Dog Stop PD Ordinance, No. 1744, attached hereto as **Exhibit B**, which incorporate by reference the general zoning regulations of the Town's zoning ordinance, are hereby adopted and incorporated into this agreement as contractually-binding obligations of the Developer.
- B.** Hammerhead paving shall be removed at the time the adjacent property to the west develops and provides Fire and Access easements. Upon hammerhead removal, tree and shrub planting shall be provided in compliance with landscaping requirements per Town Ordinance, at the time of planting.

- C. Future publicly accessible dog park areas must follow the minimum standards of maintenance and operation attached as part of **Exhibit C**.
- D. Dog splash pad examples shall serve as reference of minimal standard and are included as part of **Exhibit C**.

Section 4. Miscellaneous.

A. **Applicability of Town Ordinances.** When the Property is developed, Developer shall construct all structures on the Property, in accordance with all applicable Town ordinances and building/construction codes, whether now existing or arising prior to such construction in the future.

B. **Default/Mediation.** No Party shall be in default under this Agreement until notice of the alleged failure of such Party to perform has been given (which notice shall set forth in reasonable detail the nature of the alleged failure) and until such Party has been given a reasonable time to cure the alleged failure (such reasonable time determined based on the nature of the alleged failure, but in no event less than thirty (30) days after written notice of the alleged failure has been given). In addition, no Party shall be in default under this Agreement if, within the applicable cure period, the Party to whom the notice was given begins performance and thereafter diligently and continuously pursues performance until the alleged failure has been cured. If either Party is in default under this Agreement, the other Party shall have the right to enforce the Agreement in accordance with applicable law, provided, however, in no event shall any Party be liable for consequential or punitive damages. In the event of any disagreement or conflict concerning the interpretation of this Agreement, and such disagreement cannot be resolved by the signatories hereto, the signatories agree to submit such disagreement to non-binding mediation.

C. **Venue.** This Agreement and any dispute arising out of or relating to this Agreement shall be governed by and construed in accordance with the laws of the State of Texas, without reference to its conflict of law rules. In the event of any dispute or action under this Agreement, venue for any and all disputes or actions shall be instituted and maintained in Denton County, Texas.

D. **Relationship of Parties.** It is acknowledged and agreed by the Parties that the terms hereof are not intended to and shall not be deemed to create a partnership, joint venture, joint enterprise, or other relationship between or among the Parties.

E. **Severability.** In the event any one or more of the provisions contained in this Agreement shall for any reason be held to be invalid, illegal, or unenforceable in any respect, such invalidity, illegality, or unenforceability shall not affect other provisions, and it is the intention of the Parties to this Agreement that in lieu of each provision that is found to be illegal, invalid, or unenforceable, a provision shall be added to this Agreement which is legal, valid and enforceable and is as similar in terms as possible to the provision found to be illegal, invalid or unenforceable.

F. Cumulative Rights and Remedies. The rights and remedies provided by this Agreement are cumulative and the use of any one right or remedy by either Party shall not preclude or waive its right to use any or all other remedies. Said rights and remedies are given in addition to any other rights the Parties may have by law statute, ordinance, or otherwise. The failure by any Party to exercise any right, power, or option given to it by this Agreement, or to insist upon strict compliance with the terms of this Agreement, shall not constitute a waiver of the terms and conditions of this Agreement with respect to any other or subsequent breach thereof, nor a waiver by such Party of its rights at any time thereafter to require exact and strict compliance with all the terms hereof. Any rights and remedies any Party may have with respect to the other arising out of this Agreement shall survive the cancellation, expiration or termination of this Agreement, except as otherwise expressly set forth herein.

G. Exhibits. All exhibits to this Agreement are incorporated herein by reference for all purposes wherever reference is made to the same.

H. Surviving Rights. Any of the representations, warranties, covenants, and obligations of the Parties, as well as any rights and benefits of the parties, pertaining to a period of time following the termination or expiration of this Agreement shall survive termination or expiration.

I. Applicable Laws. This Agreement is made subject to the existing provisions of the Charter of the Town of Little Elm, its present rules, regulations, procedures and ordinances, and all applicable laws, rules, and regulations of the State of Texas and the United States.

J. Authority to Execute. The undersigned officers and/or agents of the Parties hereto are the properly authorized persons and have the necessary authority to execute this Agreement on behalf of the Parties hereto.

K. Amendments. This Agreement may be only amended or altered by written instrument signed by the Parties.

L. Headings. The headings and captions used in this Agreement are for the convenience of the Parties only and shall not in any way define, limit or describe the scope or intent of any provisions of this Agreement.

M. Entire Agreement. This Agreement is the entire agreement between the Parties with respect to the subject matters covered in this Agreement. There are no other collateral oral or written agreements between the Parties that in any manner relates to the subject matter of this Agreement, except as provided or referenced in this Agreement.

N. Filing in Deed Records. This Agreement shall be recorded in the real property records of Denton County, Texas. This Agreement and all of its terms, conditions, and provisions is and shall constitute a restriction and condition upon the development of the Property and all portions thereof and a covenant running with the Property and all portions thereof, and is and shall be binding upon Developer and all of Developer's heirs, successors, and assigns and the future owners of the Property and any portion thereof;

provided, however, this Agreement shall not constitute an obligation of or be deemed a restriction or encumbrance with respect to any final platted residential lot upon which a completed home has been constructed.

O. Notification of Sale or Transfer; Assignment of Agreement. Developer shall notify the Town in writing of any sale or transfer of all or any portion of the Property, within ten (10) business days of such sale or transfer. Developer has the right (from time to time without the consent of the Town, but upon written notice to the Town) to assign this Agreement, in whole or in part, and including any obligation, right, title, or interest of Developer under this Agreement, to any person or entity (an “**Assignee**”) that is or will become an owner of any portion of the Property or that is an entity that is controlled by or under common control with Developer. Each assignment shall be in writing executed by Developer and the Assignee and shall obligate the Assignee to be bound by this Agreement with respect to the portion of the Property transferred to Assignee. If the Property is transferred or owned by multiple parties, this Agreement shall only apply to, and be binding on, such parties to the extent of the Property owned by such successor owner, and if the Developer or any Assignee is in default under this Agreement, such default shall not be an event of default for any non-defaulting Assignee which owns any portion of the Property separate from the defaulting Developer or Assignee. A copy of each assignment shall be provided to the Town within ten (10) business days after execution. Provided that the successor developer assumes the liabilities, responsibilities, and obligations of the assignor under this Agreement with respect to the Property transferred to the successor developer, the assigning party will be released from any rights and obligations under this Agreement as to the Property that is the subject of such assignment, effective upon receipt of the assignment by the Town. No assignment by Developer shall release Developer from any liability that resulted from an act or omission by Developer that occurred prior to the effective date of the assignment. Developer shall maintain true and correct copies of all assignments made by Developer to Assignees, including a copy of each executed assignment and the Assignee’s Notice information.

P. Sovereign Immunity. The Parties agree that the Town has not waived its sovereign immunity from suit by entering into and performing its obligations under this Agreement.

Q. Exactions/Infrastructure Costs. Developer has been represented by legal counsel, or has had an opportunity to do so, in the negotiation of this Agreement, and been advised, or has had the opportunity to have legal counsel review this Agreement and advise Developer, regarding Developer’s rights under Texas and federal law. Developer hereby waives any requirement that the Town retain a professional engineer, licensed pursuant to Chapter 1001 of the Texas Occupations Code, to review and determine that the exactions required by the Town in this Agreement are roughly proportional or roughly proportionate to the proposed development’s anticipated impact. Developer specifically reserves its right to appeal the apportionment of municipal infrastructure costs in accordance with § 212.904 of the Texas Local Government Code; however, notwithstanding the foregoing, Developer hereby releases the Town from any and all liability under § 212.904 of the Texas Local Government Code, as amended, regarding or related to the cost of those municipal infrastructure requirements imposed by this Agreement.

R. Waiver of Texas Government Code § 3000.001 et seq. With respect to the improvements constructed on the Property pursuant to this Agreement, Developer hereby waives any right, requirement or enforcement of Texas Government Code §§ 3000.001-3000.005.

S. Rough Proportionality. Developer hereby waives any federal constitutional claims and any statutory or state constitutional takings claims under the Texas Constitution with respect to infrastructure requirements imposed by this Agreement. Developer and the Town further agree to waive and release all claims one may have against the other related to any and all rough proportionality and individual determination requirements mandated by the United States Supreme Court in *Dolan v. City of Tigard*, 512 U.S. 374 (1994), and its progeny, as well as any other requirements of a nexus between development conditions and the projected impact of the terms of this Agreement, with respect to infrastructure requirements imposed by this Agreement.

T. Form 1295 Certificate. The Developer agrees to comply with Texas Government Code, Section 2252.908 and in connection therewith, the Developer agrees to go online with the Texas Ethics Commission to complete a Form 1295 Certificate and further agrees to print the completed certificate and execute the completed certificate in such form as is required by Texas Government Code, Section 2252.908 and the rules of the Texas Ethics Commission and provide to the Town, at the time of delivery of an executed counterpart of this Agreement, a duly executed completed Form 1295 Certificate.

U. Undocumented Workers Provision. The Developer certifies that Developer does not and will not knowingly employ an undocumented worker in accordance with Chapter 2264 of the Texas Government Code, as amended. If during the Term of this Agreement, Developer is convicted of a violation under 8 U.S.C. § 1324a(f), Developer shall repay the amount of any public subsidy provided under this Agreement to Developer plus six percent (6.0%), not later than the 120th day after the date the Town notifies Developer of the violation.

V. Non-Boycott of Israel Provision. In accordance with Chapter 2270 of the Texas Government Code, a Texas governmental entity may not enter into an agreement with a business entity for the provision of goods or services unless the agreement contains a written verification from the business entity that it: (1) does not boycott Israel; and (2) will not boycott Israel during the term of the agreement. Chapter 2270 of the Texas Government Code does not apply to a (1) a company that is a sole proprietorship; (2) a company that has fewer than ten (10) full-time employees; or (3) the contract has a value of less than One Hundred Thousand Dollars (\$100,000.00). Unless Developer is not subject to Chapter 2270 of the Texas Government Code for the reasons stated herein, the signatory executing this Agreement on behalf of Developer verifies that Developer does not boycott Israel and will not boycott Israel during the Term of this Agreement.

W. Prohibition on Contracts with Certain Companies Provision. In accordance with Section 2252.152 of the Texas Government Code, the Parties covenant and agree that Developer is not on a list maintained by the State Comptroller's office prepared and maintained pursuant to Section 2252.153 of the Texas Government Code.

X. Report Agreement to Comptroller's Office. Town covenants and agrees to report this Agreement to the State Comptroller's office within fourteen (14) days of the Effective Date of this Agreement, in accordance with Section 380.004 of the Texas Government Code, as added by Texas House Bill 2404, 87th Tex. Reg. Session (2021) (effective September 1, 2021). [For Chapter 380 Agreements]

Y. Verification Against Discrimination of Firearm or Ammunition Industries. Pursuant to Texas Government Code Chapter 2274, (as added by Texas Senate Bill 19, 87th Tex. Reg. Session (2021) (effective September 1, 2021)) unless otherwise exempt, if the Developer employs at least ten (10) fulltime employees and this Agreement has a value of at least \$100,000 that is paid wholly or partly from public funds of the Town, the Developer represents that: (1) the Developer does not have a practice, policy, guidance, or directive that discriminates against a firearm entity or firearm trade association; and (2) the Developer will not discriminate during the Term of the Agreement against a firearm entity or firearm trade association.

Z. Verification Against Discrimination Developer Does Not Boycott Energy Companies. Pursuant to Texas Government Code Chapter 2274, (as added by Texas Senate Bill 13, 87th Tex. Reg. Session (2021) (effective September 1, 2021)) unless otherwise exempt, if the Developer employs at least ten (10) fulltime employees and this Agreement has a value of at least \$100,000 that is paid wholly or partly from public funds of the Town, the Developer represents that: (1) the Developer does not boycott energy companies; and (2) the Developer will not boycott energy companies during the Term of this Agreement.

EXECUTED by the Parties on the dates set forth below, to be effective as of the date first written above.

DEVELOPER

a _____ company

By: _____

Date: _____

TOWN OF LITTLE ELM, TEXAS

By: _____

Matt Mueller
Town Manager

Date: _____

ATTEST:

By: _____

Caitlan Biggs
Town Secretary

STATE OF TEXAS §
 §
COUNTY OF DENTON §

Before me, the undersigned authority, on this ____ day of _____, 2024, personally appeared MATT MUELLER, Town Manager of the Town of Little Elm, Texas, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

[Seal]

By: _____
Notary Public, State of Texas

My Commission Expires: _____

STATE OF TEXAS §
 §
COUNTY OF _____ §

Before me, the undersigned authority, on this ____ day of _____, 2024, personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed and in the capacity of a duly authorized representative of _____.

[Seal]

By: _____
Notary Public, State of Texas

My Commission Expires: _____

EXHIBIT A

Property Description

METES AND BOUNDS DESCRIPTION
2.476 ACRES
OUT OF LOT 1 AND LOT 2, BLOCK A, CARTER ESTATES
IN THE MATTHEW JONES SURVEY, A-667
TOWN OF LITTLE ELM, DENTON COUNTY, TEXAS

All that certain 2.476 acres of land, which is out of the property described in the deeds to Eduardo Chaparro and Manuel Alonzo, recorded in Document Number 2016-18030 and 2017-1405 in the Deed Records of Denton County, Texas (D.R.D.C.T.), which is the remainder of Lot 1 and Lot 2, Block A, Carter Estates, recorded in Cabinet P, Slide 347 in the Plat Records of Denton County, Texas (P.R.D.C.T.), in the Matthew Jones Survey, A-667, Town of Little Elm, Denton County, Texas and more particularly described by metes and bounds as follows: (All bearings shown hereon are based on the Texas Coordinate System of 1983, North Central Zone)

BEGINNING at a 1/2" iron rod found for the southwest corner of the 37 square foot right-of-way dedication to the State of Texas, recorded in Document Number 2009-14727 D.R.D.C.T., common to the northeast corner of Tract 2 – 0.418 acres, described in the deed to Premier Family Limited Partnership, recorded in Document Number 2013-128480 D.R.D.C.T., in the south right-of-way line of East Eldorado Parkway (R.O.W. Varies) and in the west line of said Lot 1, Block A, Carter Estates, and from which a found 1/2" iron rod bears South 73° 28' West - 0.27', which is a point of a curve to the right, having a central angle of 05° 40' 49", a radius of 1086.00', and a chord bearing and distance of North 56° 50' 07" East – 107.62';

THENCE along said curve to the left, along the south right-of-way line of said East Eldorado Parkway, an arc distance of 107.66' to a 1/2" iron rod with a cap stamped "SPRY 5647" set for the most northerly northeast corner of the herein described tract, common to the northwest corner of the 0.328 acre tract described in the deed to the Town of Little Elm, recorded in Document Number 2008-5764 D.R.D.C.T.

THENCE South 29° 34' 28" East - 110.27' to a 1/2" iron rod with a cap found for the southwest corner of said 0.328 acre tract;

THENCE North 83° 15' 13" East - 76.74' to the most easterly northeast corner of the herein described tract, in the west line of Lot 1R, Block 1, One Elm Place Addition, recorded in Document Number 2016-205 P.R.T.C.T., from which a 1/2" iron rod with a cap stamped "LS 3047" found for the northwest corner of said Lot 1R, Block 1, One Elm Place Addition bears North 00° 34' 29" East – 145.54', and from which a found 1/2" iron rod with a cap bears North 83° 15' 13" East – 0.94';

THENCE South 00° 34' 29" West - 126.97' to a Corp of Engineers brass monument found for the most easterly southeast corner of the herein described tract, in the north line of Lake Lewisville;

THENCE South 29° 03' 18" West - 106.57' (plat called 107.06') along the north line of said Lake Lewisville, to a Corp of Engineers brass monument found for corner;

THENCE South 03° 21' 22" West - 305.63' continuing along the north line of said Lake Lewisville, a 1/2" iron rod with a cap stamped "SPRY 5647" set for the most southerly southeast corner of the herein described tract,

THENCE South 61° 00' 31" West - 170.93' continuing along the north line of said Lake Lewisville, a 1/2" iron rod found for the southwest corner of the herein described tract, common to the southeast corner Tract 1 -1.591 acres described in said deed to Premier Family Limited Partnership;

THENCE North 00° 10' 54" West - 333.61' (plat called 334.02') to a P.K. Nail in concrete found for a point for corner, common to the most easterly northeast corner of said Tract 1, common to the southeast corner of said Tract 2;

THENCE North 00° 08' 43" East - 302.49' to the POINT OF BEGINNING and containing 2.476 acres of land.

EXHIBIT B

The Dog Stop PD Ordinance, No. 1744

**TOWN OF LITTLE ELM
ORDINANCE NO. 1744**

AN ORDINANCE OF THE TOWN OF LITTLE ELM, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE, BY ESTABLISHING A NEW PLANNED DEVELOPMENT – LIGHT COMMERCIAL (PD-LC) DISTRICT IN ORDER TO ALLOW A NEW COMMERCIAL DEVELOPMENT WITH MODIFIED USES AND DEVELOPMENT STANDARDS ON APPROXIMATELY 2.476 ACRES OF LAND LOCATED AT 802 AND 804 EAST ELDORADO PARKWAY, GENERALLY SOUTH OF THE INTERSECTION OF LAKE TRAIL DRIVE AND EAST ELDORADO PARKWAY; PROVIDING A SAVINGS CLAUSE; CORRECTING THE OFFICIAL ZONING MAP; PROVIDING A PENALTY; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEALER CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Town of Little Elm ("Town") is a home rule municipal corporation organized and existing by virtue of the Constitution and laws of the State of Texas and by its Charter adopted on May 1, 2001; and

WHEREAS, the Town possesses all the rights, powers, and authorities possessed by all home rule municipalities, including the authority to regulate land uses under Chapter 211 of the Texas Local Government Code; and

WHEREAS, a request for Planned Development-Light Commercial (PD-LC) with modified development standards on approximately 2.476 acres of land, more specifically described in the exhibits, attached hereto; and

WHEREAS, this zoning change is in accordance with the most current adopted Comprehensive Plan of the Town of Little Elm; and

WHEREAS, the Town Council and the Planning & Zoning Commission of the Town of Little Elm, in compliance with the laws of the State of Texas and the ordinances of the Town of Little Elm, have given the required notices and held the required public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area and in the vicinity thereof regarding the requested zoning change described herein; and

WHEREAS, at its regular meeting held on December 7, 2023 the Planning & Zoning Commission considered and made recommendations on Case No. PD-23-03342; and

WHEREAS, after due deliberations and consideration of the recommendation of the Planning & Zoning Commission and any other information and materials received at the public hearing, the Town Council of the Town of Little Elm, Texas, has determined that the request is in the interest of public health, safety and welfare of the citizens of the Town of Little Elm.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF LITTLE ELM, TEXAS:

SECTION 1. INCORPORATION OF PREMISES. The above and foregoing premises are true and correct and are incorporated herein and made a part hereof for all purposes.

SECTION 2. ZONING AMENDMENT. That Ordinance No. 226 of the Town of Little Elm, Texas, the same being the Comprehensive Zoning Ordinance of the Town, is hereby amended by establishing a new Planned Development-Light Commercial (PD-LC) based on Light Commercial (LC) district requirements with modified uses and development standards, on property located at 802 and 804 East Eldorado, within Little Elm's town limits, on approximately 2.476 acres of land more particularly described in **Exhibit A**, and attached hereto, subject to all of the terms and conditions set forth herein, the terms and conditions of the Comprehensive Zoning Ordinance, and all other applicable ordinances, laws, rules, regulations, and standards.

SECTION 3. CONDITIONS AND REGULATIONS. The permitted standards shall be in accordance with the Light Commercial (LC) District, and all applicable provisions of Chapter 106 – Zoning Ordinance in general, plus as specified herein:

- a. The Zoning and Land Use Regulations, and all conditions set forth in **Exhibit B** attached hereto and made a part hereof for all purposes shall be adhered to in their entirety for the purposes of this Planned Development. In the event of conflict between the provisions of **Exhibit B** and provisions of any other exhibit, the provisions of **Exhibit B** control.
- b. Dog Kennel with outside runs, dog splash pad, and future publicly accessible dog parks shall be allowed as shown in **Exhibit C**.
- c. Hammerhead paving shall be removed at the time the adjacent property to the west develops and provides Fire and Access easements. Upon hammerhead removal, tree and shrub planting shall be provided in compliance with

landscaping requirements per Town Ordinance, at the time of planting.

SECTION 4. PLANNED DEVELOPMENT MASTER PLAN. The Concept Plan and related plans, images, and documents approved and described as **Exhibit C** attached hereto and made a part hereof are approved. The subject property shall be improved in accordance with the plans set forth in **Exhibit C**.

- a) If, after two years from the date of approval of the Planned Development Master Plan, no substantial development progress has been made within the PD, then the Planned Development Master Plan shall expire. If the Planned Development Master Plan expires, a new Planned Development Master Plan must be submitted and approved according to the procedures within the Zoning Ordinance, Planned Development Districts. An extension of the two year expiration shall be granted if a development application for the PD has been submitted and is undergoing the development review process or if the Director of Development Services determines development progress is occurring.
- b) The Planned Development Master Plan shall control the use and development of the property, and all building permits and development requests shall be in accordance with the plan until it is amended by the City Council.
- c) If a change to the Concept Plan, if any, is requested, the request shall be processed in accordance with the development standards in effect at the time the change is requested for the proposed development.

SECTION 5. SAVINGS. This Ordinance shall be cumulative of all other ordinances of the Town, and shall not repeal any of the provisions of those ordinances except in those instances where the provisions of those ordinances are indirect conflict with the provisions of this Ordinance; provided, however, that any complaint, notice, action, cause of action, or claim which prior to the effective date of this Ordinance has been initiated or has arisen under or pursuant to such other ordinance(s) shall continue to be governed by the provisions of that ordinance or those ordinances, and for that purpose that ordinance or those ordinances shall be deemed to remain and shall continue in full force and effect.

SECTION 5. ZONING MAP. The official zoning map of the Town shall be amended to reflect the changes in zoning made by this ordinance.

SECTION 6. PENALTY. Any person, firm, or corporation violating any of the provision of this ordinance shall be punished by a penalty of a fine not to exceed the sum of Two Thousand Dollars (\$2,000) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 7. SEVERABILITY. The sections, paragraphs, sentences , phrases, and words of this Ordinance are severable, and if any section or provision of this ordinance or the

application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid or unconstitutional, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any person, firm, corporation, situation or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance of the Town of Little Elm, Texas, and the Town Council hereby declares that it would have adopted the valid portions and applications of the ordinance without the valid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 8. REPEALER. That all ordinances of the Town of Little Elm in conflict with the provisions of this ordinance be and the same are hereby repealed to the extent of that conflict.

SECTION 9. EFFECTIVE DATE. That this Ordinance shall take effect immediately upon its adoption and publication in accordance with and as provided by law and the Town Charter.

PASSED AND APPROVED by the Town Council of the Town of Little Elm, Texas on the 16th day of January, 2024.

Town of Little Elm, Texas

Curtis Cornelious, Mayor

ATTEST:

Caitlan Biggs, Town Secretary

Exhibit A
Metes and Bounds

METES AND BOUNDS DESCRIPTION
2.476 ACRES
OUT OF LOT 1 AND LOT 2, BLOCK A, CARTER ESTATES
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THENCE along said curve to the left, along the south right-of-way line of said East Eldorado Parkway, an arc distance of 107.66' to a 1/2" iron rod with a cap stamped "SPRY 5647" set for the most northerly northeast corner of the herein described tract, common to the northwest corner of the 0.328 acre tract described in the deed to the Town of Little Elm, recorded in Document Number 2008-5764 D.R.D.C.T.

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THENCE North 00° 08' 43" East - 302.49' to the POINT OF BEGINNING and containing 2.476 acres of land.

Exhibit B
PD Standards

Exhibit B

Planned Development District Standards

Except as otherwise set forth in these development standards, the development of this area shall follow the regulation of the Town of Little Elm's Zoning Ordinance and the Subdivision Ordinance, as they exist, or may be amended, at the time of development.

General Conditions for PD:

1. Purpose:

The purpose of this Planned Development is to allow for a commercial retail building, housing a dog boarding, daycare, grooming facility with outdoor dog play areas and publicly accessible dog park areas as provided in Exhibit C. This PD will allow for alternative standards to building design, signage, and an alternative to the foundation planting requirement.

2. Project Location:

The proposed PD site is commonly known as 802 East Eldorado Parkway, Little Elm, Texas 75068. A legal description is set forth in Exhibit A, and a site plan is set forth in Exhibit C. The Property is zoned Light Commercial and under the Future Land Use map approved by Little Elm, is surrounded by Light Commercial. Currently, the adjacent parcel to the west of the Property (currently used as a church) is zoned single family, the adjacent land south of the property is the Lake Lewisville Floodplain, the land on the north across East Eldorado Parkway is Light Commercial, and the adjacent land to the east is Light Commercial. No land adjacent to the PD site is used as residential.

3. Use Regulations:

All permitted uses in the Light Commercial (LC) district shall be allowed with the same provisions and restrictions, including uses permitted by a Specific Use Permit (SUP) and Conditional Use Permit (C), except as noted below may be allowed by right as shown in Exhibit C:

Light Commercial to allow for the following waivers and amendments:

- a. Two outdoor publicly accessible dog parks located on the south side of the property as depicted in Exhibit C;
 - b. Outdoor play areas adjacent to the south side of the building as depicted in Exhibit C;
-

- c. One small outdoor play area adjacent to the west side of the building as depicted in Exhibit C;
- d. One outdoor splash pad adjacent to the southeast side of the building as depicted in Exhibit C;

4. Base Zoning District:

The permitted uses and standards will be in accordance with the (LC) Light Commercial zoning as defined in the Zoning Ordinance, unless otherwise specified in the PD regulations.

5. Height and Area Regulations:

This PD shall follow and conform to all Landscape Requirements set forth for Light Commercial zoning as defined in Zoning Ordinance section 106.06.08 – Special area and height regulations.

6. Conceptual Site Plan:

Exhibit C identifies and locates the waivers and amendments of this PD. The proposed development will have design elements as currently included in the design requirements of the Light Commercial Zoning except as otherwise specified in Exhibit C.

7. Landscape Requirements:

All provisions within Article VI. Division 4. Landscaping and Tree Preservation shall be met, as it exists or may be amended in accordance with the standards in effect at the time of development, or requested change, unless otherwise described below and shown on the Landscape Plans attached hereto.

- a. The outdoor play areas adjacent to the building will utilize artificial turf instead of grass;
 - b. The Foundation Planting Requirements will be met through provision of a shaded outdoor seating structure.
 - c. Due to lot size constraints, in lieu of placing a landscape buffer and vehicular screening along the west side of the hammer head, if and when the adjacent parcel to the west of the subject property is developed and attaches a fire lane to the location of the hammer head as depicted on Exhibit C, the portion of the hammer head south of the southern fire lane boundary (that runs parallel to east/west) shall be removed and replaced with planting.
-

Landscape Point System for less than three acres equals 25 points.

Points applicable to PD design:

5 pts	Buffer Berms
5 pts	Open space provision
5 pts	Shaded or decorative outdoor seating areas
5 pts	Public art small
5 pts	Public dog parks (one for small dogs and one for large dogs)
5 pts	Enhanced hardscape (meandering walking trails in and near the public dog parks)

8. Screening Standards:

Subject property is surrounded by commercial uses and will therefore not require a masonry perimeter wall. The PD shall follow all applicable requirements within DIVISION 3. –SCREENING WALLS AND FENCES with the following exceptions:

- a. Outdoor Dog Play Areas shall have at least 8 foot white vinyl screening fence, or better. Splash Pad are shall have a black vinyl coated chain-link fence, or better. Dog Park Areas shall have at least 6 foot black vinyl coated chain-link fence, or better.

9. Architectural Standards:

This PD shall follow and conform to all architectural guidelines set forth for Light Commercial zoning as defined in Zoning Ordinance section 106.06.05 – Architectural standards for commercial structures, except as otherwise depicted on the plans as part of Exhibit C.

10. Parking Standards:

All parking requirements in section 106.06.41 will be followed. This PD shall require 1 parking space per 500 square feet of kennel/boarding/daycare floor area, per section 106.06.45. The site plan depicted in Exhibit C exceeds the parking space required by section 106.06.45.

11. Signs:

All provisions within Chapter 86 – Sign Ordinance shall be met except as specified below:

- a. North Facade is allowed an additional 304 sq ft perforated metal sign in the form of a dog, as shown within Exhibit C.
 - b. East Façade is allowed an additional three perforated metal paw prints 4 foot x 4 foot, each.
-

Requested waivers and other amendments contained herein:

1. Dog parks located on the south side of the property as depicted in Exhibit C (approximately one acre);
 2. Outdoor play areas adjacent to the south side of the building as depicted in Exhibit C;
 3. One outdoor play area adjacent to the west side of the building as depicted in Exhibit C;
 4. One outdoor splash pad adjacent to the southeast side of the building as depicted in Exhibit C;
 5. Artwork and signage on the building and sign monument as depicted in Exhibit C (approximately 304 square feet on the north elevation of the building; approximately 48 square feet on the east elevation of the building; and approximately 60 square feet on the sign monument near Eldorado Parkway pursuant to Little Elm's sign ordinance Section 86-13(b)(7)c);
 6. Varying materials in percentages as stated and depicted in Exhibit C (North Elevation: 30% Glazing, 35% Metal Cladding, & 57% Masonry, 8% Stucco; East Elevation: 30% Glazing, 4% Metal Cladding, 80% Masonry, & 16% Stucco; West Elevation: 22% Glazing, 90% Masonry, 10% Stucco; South Elevation 100% Masonry). Due to building function Glazing requirements were not able to be met on the West Elevation.
 7. A single dumpster enclosure approximately 12 ft. X 14 ft. due to lot size restrictions.
 8. Regarding the publicly accessible dog parks, six-foot black vinyl coated chain link fencing.
 9. Regarding the outdoor dog play areas adjacent to the building, eight-foot solid white vinyl fencing.
 10. Regarding the outdoor dog water park play area, transparent fencing such as thick glass, plexiglass, wrought iron, or similar.
-

Exhibit C
Development Plans

PROPOSED SITE PLAN

PRELIMINARY
FOR INTERIM REVIEW ONLY

THESE DOCUMENTS ARE FOR INTERIM
REVIEW AND ARE NOT INTENDED FOR
REGULATORY APPROVAL PERMIT,
BIDDING OR CONSTRUCTION PURPOSES,
THEY WERE PREPARED BY, OR UNDER
THE SUPERVISION OF:

K. Hameed

NAVEEN KHAMMAMPATI	123697
NAME	P.E. NO.
DATE	12/21/2023
TBPE FIRM #F22283	

NOT FOR CONSTRUCTION

No.	Revision/Issue	Date

Firm Name and Address

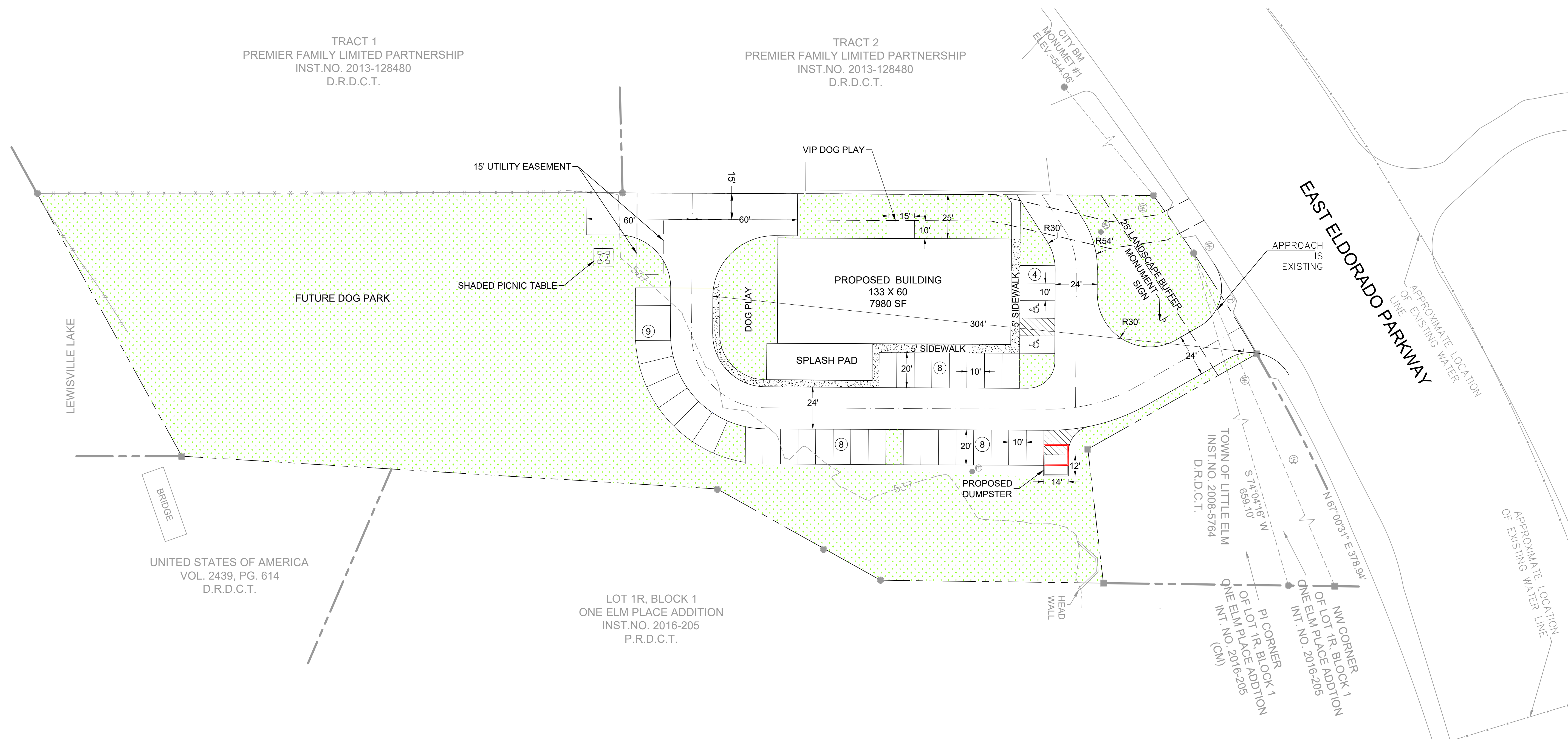
TURNKEY TRACT
2770 MAIN ST #171
FRISCO, TX 75033
F-22283
nkcivilengineer4@gmail.com
214-483-1599

Project Name and Address

THE DOG STOP

802 E ELDORADO PKWY
LITTLE ELM, TEXAS 75068

Project	Sheet
Date 12 / 21 / 2023	<div style="font-size: 2em; margin: 0;">03</div> <hr style="border: 0; border-top: 1px solid black; margin: 5px 0;"/> <div style="font-size: 2em; margin: 0;">09</div>
Scale	

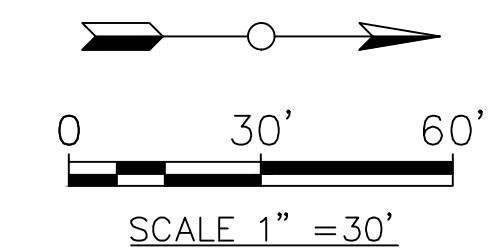


NOTE:

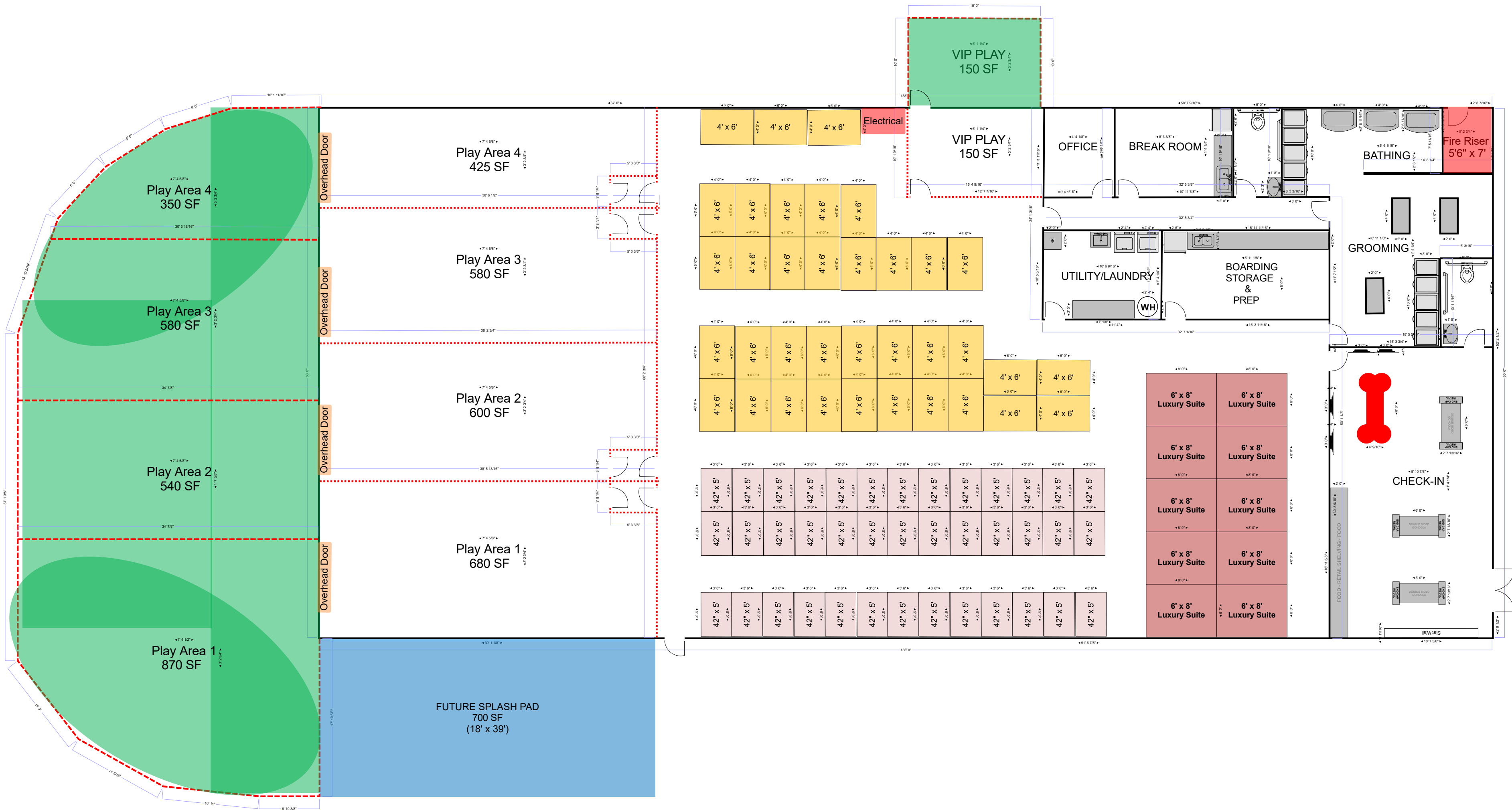
PROPOSED ENTRANCE UTILIZE EXISTING CURB CUT.

SITE DATA:

SITE AREA = 2.47 AC
EXISTING ZONING = LIGHT COMMERCIAL
PROPOSED ZONING = PLANNED DEVELOPMENT - LIGHT COMMERCIAL
PARKING SIZE = 20' (L) X 10' (W)
PARKING REQUIRED = KENNEL SPACE: 1 PER 500SF = 15 SPACES
RETAIL: 1 PER 200SF = 3 SPACES
TOTAL NO. OF PARKING REQUIRED = 18 SPACES
TOTAL NO. OF PARKING PROVIDED= 37 SPACES
TOTAL ADA PARKING PROVIDED = 2 SPACES
FIRE LANE WIDTH = 24'



10 [6' x 8'] (Luxury), 39 [3.5' x 5'] and 36 [4' x 6']
TOTAL 85 Kennels
Building Total 7980 SF



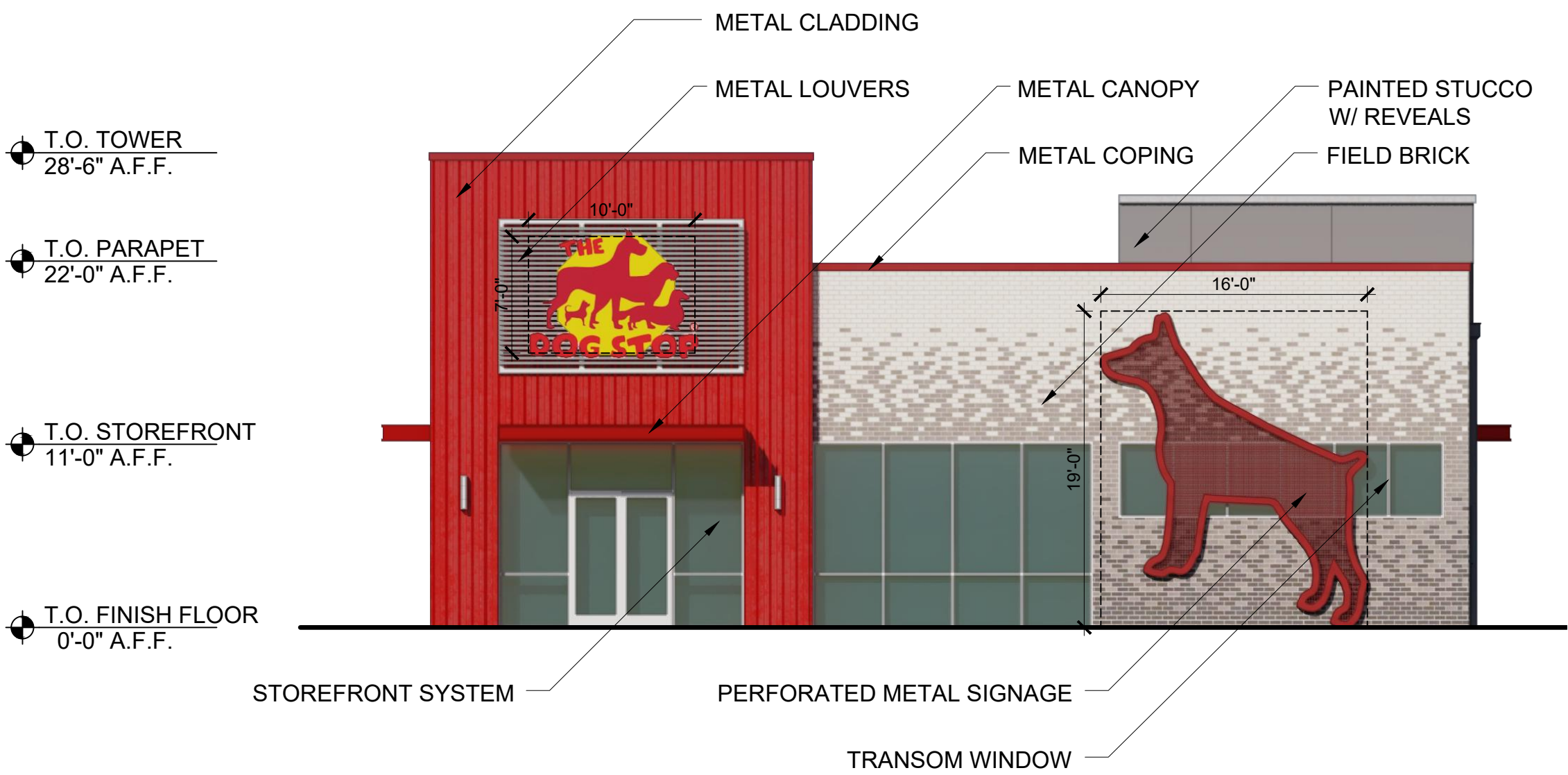


CONCEPTUAL RENDERING

THE DOG STOP

NOV 13 2023 802 EAST ELDORADO PKWY.
LITTLE ELM, TX 23053_dog Stop_elevations_231113.dwg 4:48 PM

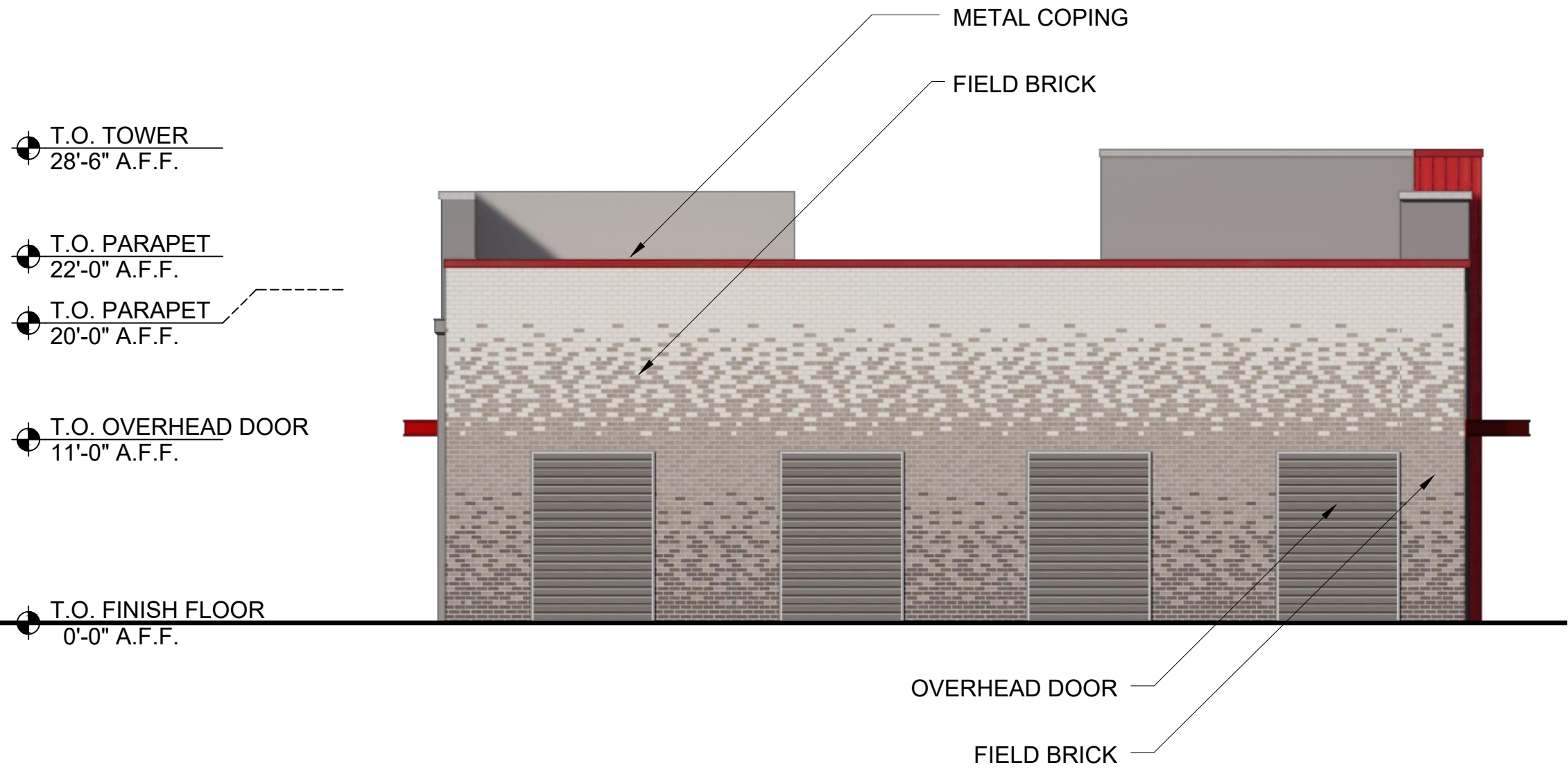
THIS DRAWING IS FOR PRESENTATION PURPOSES ONLY. ANY AND ALL FEATURES, MATTERS AND OTHER INFORMATION DEPICTED HEREON OR CONTAINED HEREIN ARE FOR ILLUSTRATIVE MARKETING PURPOSES ONLY, ARE SUBJECT TO MODIFICATION WITHOUT NOTICE, ARE NOT INTENDED TO BE RELIED UPON BY ANY PARTY AND ARE NOT INTENDED TO CONSTITUTE REPRESENTATIONS AND WARRANTIES AS TO THE SIZE AND NATURE OF IMPROVEMENTS TO BE CONSTRUCTED (OR THAT ANY IMPROVEMENTS WILL BE CONSTRUCTED) OR AS TO THE IDENTITY OR NATURE OF ANY OCCUPANTS THEREOF.



01 NORTH ELEVATION

SCALE: 1/8" = 1'-0"

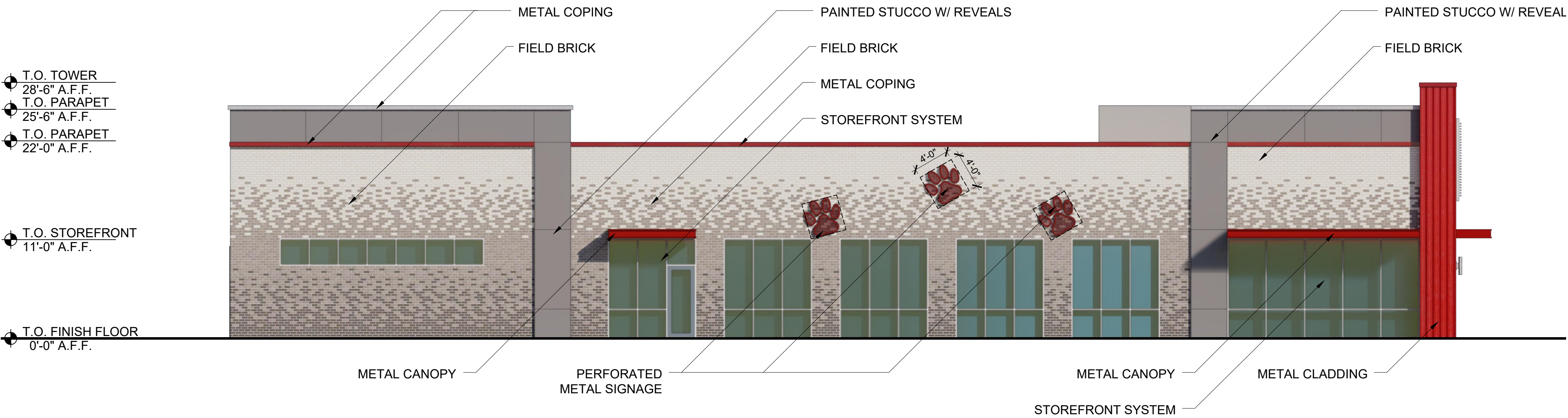
DATA TABLE:	
GLAZING	30%
METAL CLADDING	35%
MASONRY	57%
STUCCO	8 %
SIGNAGE	370 SF



03 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

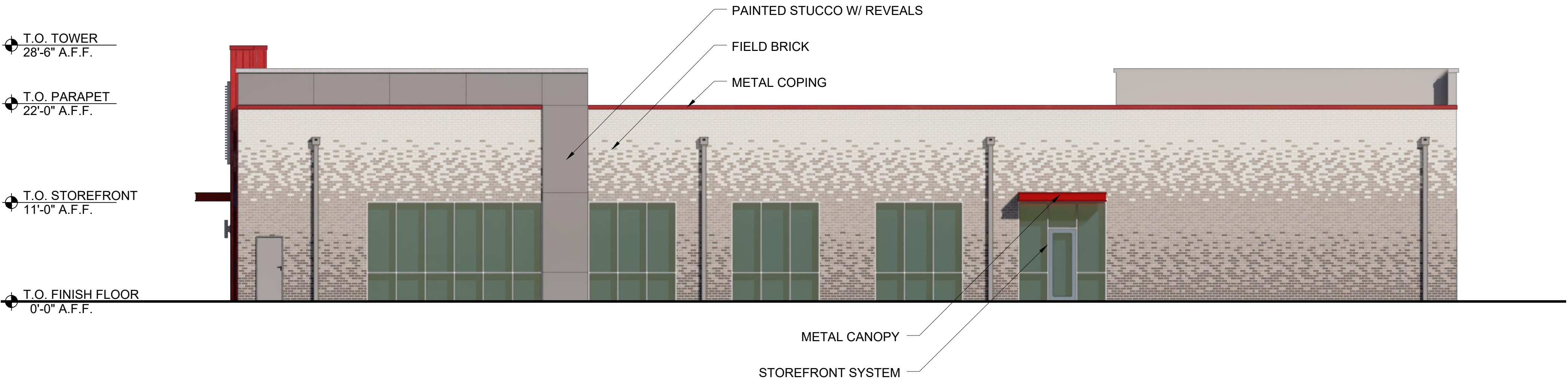
DATA TABLE:	
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MASONRY	100%



02 EAST ELEVATION

SCALE: 1/8" = 1'-0"

DATA TABLE:	
GLAZING	30%
METAL CLADDING	4%
MASONRY	80%
STUCCO	16%
SIGNAGE	48 SF



01 WEST ELEVATION

SCALE: 1/8" = 1'-0"

DATA TABLE:	
GLAZING	22%
MASONRY	90%
STUCCO	10%

MATERIAL LEGEND :	
METAL CLADDING:	PAC-CLAD - HIGHLINE C1 CARDINAL RED
MASONRY :	BRICK - CLOUD CERAMIC CLOUD GREY & ASH GREY & BLACK DIAMOND
STUCCO :	PAINT - SHERWIN WILLIAMS SW 7024 FUNCTIONAL GRAY

GENERAL NOTES:	
-PRELIMINARY SITE PLAN, ALL LINEWORK IS APPROXIMATE AND PENDING RECEIPT OF SURVEY / CAD LINEWORK. NOT FOR CONSTRUCTION	



PRELIMINARY ELEVATIONS

THE DOG STOP

NOV 13 2023 802 EAST ELDORADO PKWY. LITTLE ELM, TX 23053_dog Stop_elevations_231113.dwg 4:48 PM
THIS DRAWING IS FOR PRESENTATION PURPOSES ONLY. ANY AND ALL FEATURES, MATTERS AND OTHER INFORMATION DEPICTED HEREON OR CONTAINED HEREIN ARE FOR ILLUSTRATIVE MARKETING PURPOSES ONLY, ARE SUBJECT TO MODIFICATION WITHOUT NOTICE, ARE NOT INTENDED TO BE RELIED UPON BY ANY PARTY AND ARE NOT INTENDED TO CONSTITUTE REPRESENTATIONS AND WARRANTIES AS TO THE SIZE AND NATURE OF IMPROVEMENTS TO BE CONSTRUCTED (OR THAT ANY IMPROVEMENTS WILL BE CONSTRUCTED) OR AS TO THE IDENTITY OR NATURE OF ANY OCCUPANTS THEREOF.



One Inch

Landscape Plan

The Dog Stop
Town of Little Elm, Denton County, Texas

#	PLAN REVIEW REVISIONS	BY	DATE
1	PER CITY COMMENTS		10/17/2023
2	Plans Revised per City Comments	CA	11-7-2023
3	Plans Revised per City Comments	CA	11-14-2023

PROJECT

SGC001

LATE

HEET



EXISTING TREES TO REMAIN

Bald Cypress / Taxodium distichum
(4" caliper)

Texas Red Oak / Quercus buckleyi
(4" caliper)

Live Oak / Quercus virginiana
(4" caliper)

Forest Pansy Red Bud / Cercis canadensis 'Forest Pansy'
(3" caliper)

Dwarf Buford Holly / Bufordii nana

Little Blue Stem / Schizachyrium scoparium

Blue Rug Juniper / Juniperus horizontalis 'Wiltonii'

Upright Rosemary / Rosmarinus officinalis 'upright'

Artificial Turf

Solid Common Bermuda Sod

Decomposed Granite



SCALE: 1/4" = 1'-0"

1. A TREE PERMIT IS REQUIRED FOR ALL REMOVAL OF ALL TREES, PROTECTED AND UNPROTECTED.
2. PLANT MATERIAL SHALL BE MEASURED AND SIZED ACCORDING TO THE LATEST EDITION OF THE TEXAS NURSERY & LANDSCAPE ASSOCIATION (TNLA) SPECIFICATIONS, GRADES AND STANDARDS.
3. ALL PLANT SUBSTITUTIONS ARE SUBJECT TO TOWN OF LITTLE ELM APPROVAL, AND MUST BE SPECIFIED ON THE APPROVED LANDSCAPE PLAN.
4. GROUND COVER PLANTS MUST BE SEEDS THAT PROVIDE COMPLETE COVERAGE WITHIN ONE (1) YEAR OF PLANTING AND MAINTAIN ADEQUATE COVERAGE AS APPROVED BY THE TOWN OF LITTLE ELM.
5. TREES MUST BE PLANTED FOUR FEET (4') OR GREATER FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND/OR OTHER STRUCTURES. THE TOWN OF LITTLE ELM HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
6. TREE PITS SHALL HAVE ROUGHENED SIDES AND BE TWO TO THREE TIMES WIDER THAN THE ROOT BALL OF THE TREE IN ORDER TO FACILITATE HEALTHY ROOT GROWTH.
7. TREES SHALL NOT BE PLANTED DEEPER THAN THE BASE OF THE "TRUNK FLARE".
8. THE TREE PIT SHALL BE BACKFILLED WITH NATIVE TOPSOIL FREE OF ROCK AND OTHER DEBRIS.
9. BURLAP, TWINE AND WIRE BASKETS SHALL BE LOOSEENED AND PULLED BACK FROM THE TRUNK OF TREE AS MUCH AS POSSIBLE.
10. TREES SHALL NOT BE WATERED TO EXCESS THAT RESULTS IN SOIL SATURATION. IF SOIL BECOMES SATURATED, THE WATERING SCHEDULE SHALL BE ADJUSTED TO ALLOW FOR DRAINAGE AND ABSORPTION OF THE EXCESS WATER.
11. A 3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
12. NO PERSON(S) OR ENTITY MAY USE IMPROPER OR MALICIOUS MAINTENANCE OR PRUNING TECHNIQUES WHICH WOULD LIKELY LEAD TO THE DEATH OF THE TREE. IMPROPER OR MALICIOUS TECHNIQUES INCLUDE, BUT ARE NOT LIMITED TO, TOPPING OR OTHER UNSYMMETRICAL TRIMMING OF TREES, TRIMMING TREES WITH A BACKHOE, OR USE OF FIRE OR POISON TO CAUSE THE DEATH OF A TREE.
13. ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TO A DEPTH OF 8" MINIMUM.
14. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD OR OTHER MULCH.
15. TREES OVERHANGING WALKS AND PARKING SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 7 FEET. TREES OVERHANGING PUBLIC STREET PAVEMENT DRIVE AISLES AND FIRE LANES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 14 FEET.
16. AT A VERTICAL TRIANGLE MUST BE PROVIDED AT ALL INTERSECTIONS. SHRUBS ARE NOT TO EXCEED 30 INCHES IN HEIGHT. TREES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 7 FEET AT TIME OF PLANTING.
17. TREES PLANTED ON A SLOPE SHALL HAVE THE SOIL STAIN AT THE AVERAGE GRADE OF SLOPE.
18. NO SHRUBS SHALL BE PERMITTED WITHIN AREAS LESS THAN 3 FEET IN WIDTH. ALL BEDS LESS THAN 3 FEET IN WIDTH SHALL BE GRASS, GROUNDCOVER OR SOME TYPE OF FIXED PAVING.
19. THE OWNER, TENANT, AND/OR THEIR AGENTS, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE, ESTABLISHMENT, AND PERFORMANCE OF PLANT MATERIAL. ALL LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE, BUT NOT LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, AND OTHER ACTIVITIES NECESSARY FOR THE MAINTENANCE OF LANDSCAPED AREAS.
20. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT IS DAMAGED, DESTROYED, OR REMOVED SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE AND VARIETY WITHIN 30 DAYS UNLESS OTHERWISE APPROVED IN WRITING BY THE TOWN OF LITTLE ELM.
21. LANDSCAPE AND OPEN AREAS SHALL BE KEPT FREE OF TRASH, LITTER AND WEEDS.
22. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO IRRIGATE ALL LANDSCAPE AREAS. OVERSPRAY ON STREETS AND WALKS IS PROHIBITED. A PERMIT FROM THE BUILDING INSPECTION DEPARTMENT IS REQUIRED FOR EACH IRRIGATION SYSTEM.
23. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON RIGHT-OF-WAY, SIDEWALKS OR EASEMENTS TO THE EXTENT THAT THE VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
24. NO PLANTING AREAS SHALL EXCEED 3:1 SLOPE. 3" HORIZONTAL TO 1" VERTICAL.
25. EARTHEN BERMS SHALL NOT INCLUDE CONSTRUCTION DEBRIS. CONTRACTOR MUST CORRECT SLUFFAGE OR DAMAGE TO THE SMOOTH FINISH GRADE OF THE BERM PRIOR TO ACCEPTANCE.
26. ALL WALKWAY MATERIALS MEET D.A. AND T.A.S. REQUIREMENTS.
27. CONTRACT TOWN OF LITTLE ELM'S PLANNING DEPARTMENT AT FOR LANDSCAPE INSPECTION. NOTE LANDSCAPE INSTALLATION MUST COMPLY WITH APPROVED LANDSCAPE PLANS PRIOR FINAL ACCEPTANCE BY THE TOWN OF LITTLE ELM AND/OR OBTAINING A CERTIFICATE OF OCCUPANCY.
28. FINAL INSPECTION AND APPROVAL OF SCREENING WALLS, IRRIGATION AND LANDSCAPE IS SUBJECT TO ALL PUBLIC UTILITIES, INCLUDING BUT NOT LIMITED TO MANHOLES, VALVES, WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, TO BE ACCESSIBLE, ADJUSTED TO GRADE AND TO THE TOWN OF LITTLE ELM'S PUBLIC WORKS DEPARTMENT STANDARDS.
29. PRIOR TO CALLING FOR A LANDSCAPE INSPECTION, CONTRACTOR IS RESPONSIBLE FOR MARKING ALL MANHOLES, VALVES, WATER METERS, CLEANOUTS AND OTHER UTILITY APPURTENANCES WITH FLAGGING FOR FIELD VERIFICATION BY THE PUBLIC WORKS DEPARTMENT.

SYMBOL	COMMON/BOTANICAL NAME	SIZE	SPACING	QUANTITY	REMARKS
LO	LIVE OAK / QUERCUS VIRGINIANA	4" CALIFER	AS SHOWN	10	6' MINIMUM SPREAD; MINIMUM 12' HEIGHT; FULL ROUNDED HEAD 6' MINIMUM BRANCHING HEIGHT; NURSERY GROWN
PRO	TEXAS RED OAK / QUERCUS BUCKLEYI	4" CALIFER	AS SHOWN	9	6' MINIMUM SPREAD; MINIMUM 12' HEIGHT; FULL ROUNDED HEAD 6' MINIMUM BRANCHING HEIGHT; NURSERY GROWN
BC	BALD CYPRESS / TAXODIUM DISTICHUM	4" CALIFER	AS SHOWN	3	6' MINIMUM SPREAD; MINIMUM 12' HEIGHT; FULL ROUNDED HEAD 6' MINIMUM BRANCHING HEIGHT; NURSERY GROWN
RB	FOREST PANSY REDBUD / CERCI'S CANADENSIS 'FOREST PANSY'	3" CALIFER	AS SHOWN	4	5' MINIMUM SPREAD; MINIMUM 8' HEIGHT; 2" MIN. CAL.; FULL HEAD NURSERY GROWN
	DWARF BUFORD HOLLY / BUFORDII NANA	36" HEIGHT	AS SHOWN	287	FULL PLANTS
	LITTLE BLUESTEM GRASS / SCHIZACHYRIUM SCOPARIUM	1 GALLON	12" O.C.	479	FULL PLANTS
	BLUE RUG JUNIPER / JUNIPERUS HORIZONTALIS 'WILTONII'	1 GALLON	12" O.C.	584	FULL PLANTS
	UPRIGHT ROSEMARY / ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	AS SHOWN	36	FULL PLANTS
	DECOMPOSED GRANITE	4" DEPTH	SQUARE FEET	1,783	MINIMUM 100% COVERAGE
	ARTIFICIAL TURF	SOLID SOD	SQUARE FEET	2,462	MINIMUM 100% COVERAGE
	COMMON BERMUDA SOLID SOD	SOLID SOD	SQUARE	64,315	MINIMUM 100% COVERAGE

SITE TREE REQUIREMENTS

A. 10 % OF GROSS VEHICULAR AREA TO BE LANDSCAPED.
ONE (1) TREE PER 400 SQ. FT. OF REQUIRED LANDSCAPED AREA.
VEHICULAR AREA: 27,386 SQ. FT.
PROVIDED:
LANDSCAPED AREA: 2,778 SQ. FT. (10%)
TREES: 22 SHADE TREES, 4 (3") ORNAMENTAL TREES

PARKING LOTS

B. PROVIDED:
ALL PARKING SPACES MUST BE LOCATED WITHIN 10 FT OF LARGE CANOPY TREE.
ONE TREE PER ISLAND AND ONE ISLAND FOR EVERY TEN (10) SPACES.

PERIMETER LANDSCAPE REQUIREMENTS

C. 1-4" CAL. CANOPY TREE / 40 LF OF LANDSCAPE EDGE
258 LF OF FRONTAGE / 40 LF = 7 - 4" CAL. TREES REQUIRED.
3-8" ORNAMENTAL TREES / 5 SHADE TREES
7 SHADE TREES = 35 ORNAMENTAL TREES = 2 - 3" ORNAMENTAL TREES REQUIRED.
PROVIDED:
7 - 4" CALIPER CANOPY TREES PROVIDED
4 - 3" CALIPER ORNAMENTAL TREES PROVIDED.

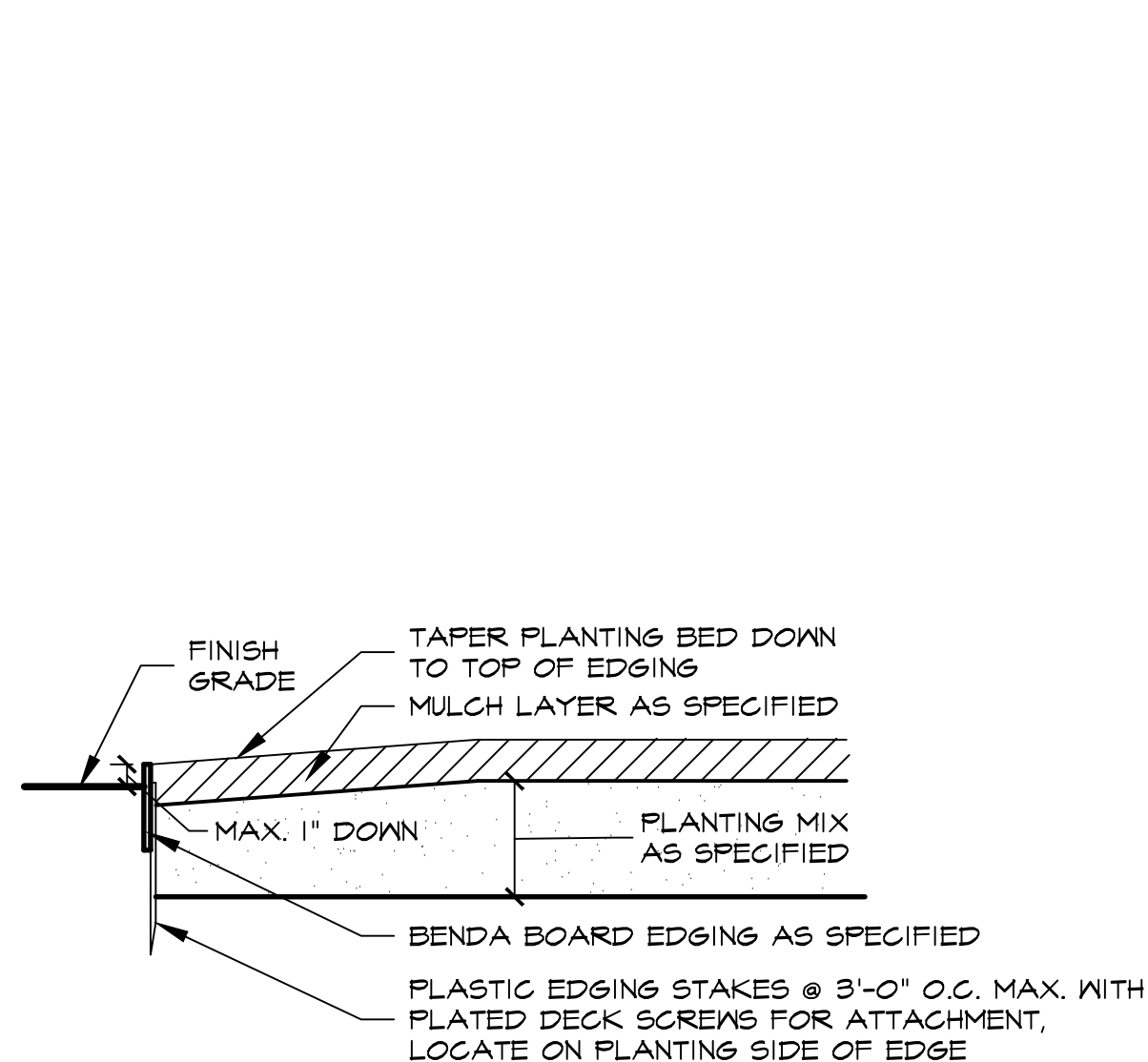
D. 36" HEIGHT EVERGREEN SHRUBS PROVIDED AS VEHICULAR SCREENING.

E. FOUNDATION PLANTING AND ORNAMENTAL TREES PROVIDED ON NORTH SIDE OF BUILDING.

E. SOUTH PERIMETER:
REQUIRED 8 FT. MASONRY WALL ALONG ENTIRE LENGTH OF PERIMETER AND A TWENTY (20) FOOT LANDSCAPE BUFFER W/ TREES FIFTEEN (15) FT ON CENTER.
PROVIDED:
43 - 4" CALIPER TREES
8' MASONRY WALL
20 FT LANDSCAPE BUFFER

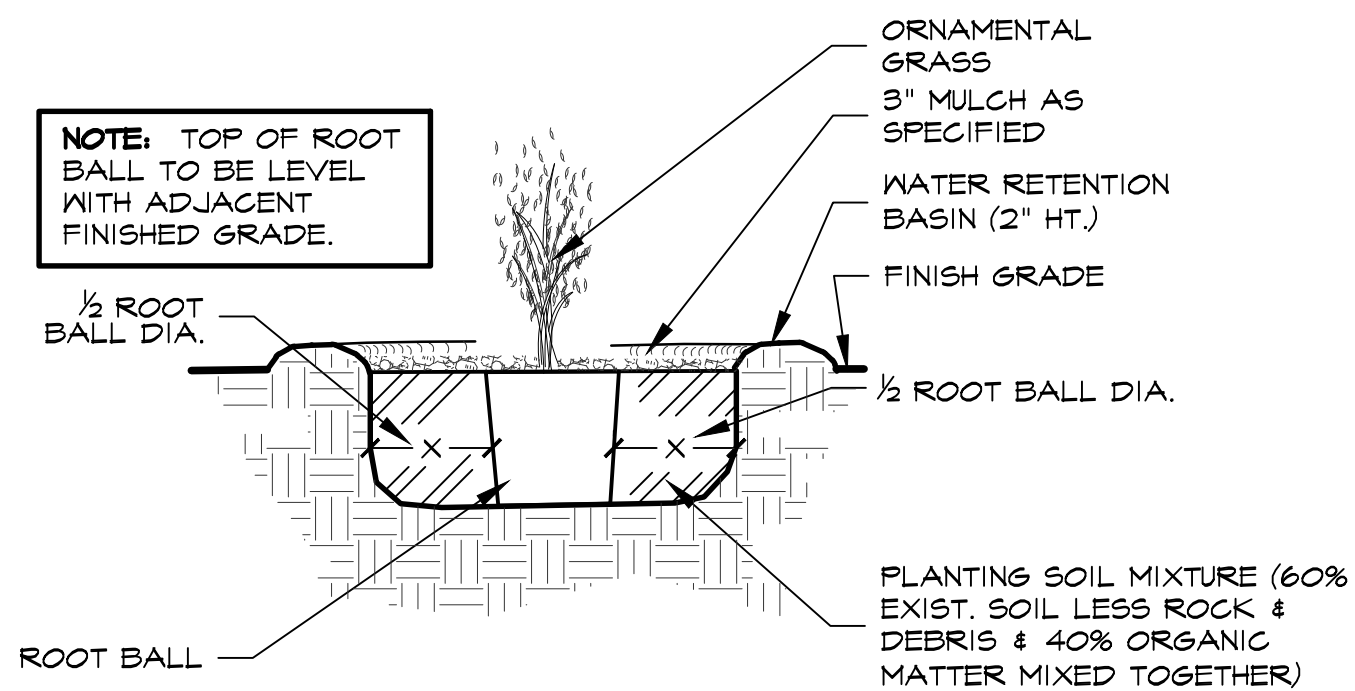
DETENTION POND REQUIREMENTS

C. 1-4" CAL. CANOPY TREE / 30 LF OF LANDSCAPE EDGE
351 LF OF FRONTAGE / 30 LF = 12 - 4" CAL. TREES REQUIRED.
PROVIDED: 12 - 4" CALIPER CANOPY TREES PROVIDED



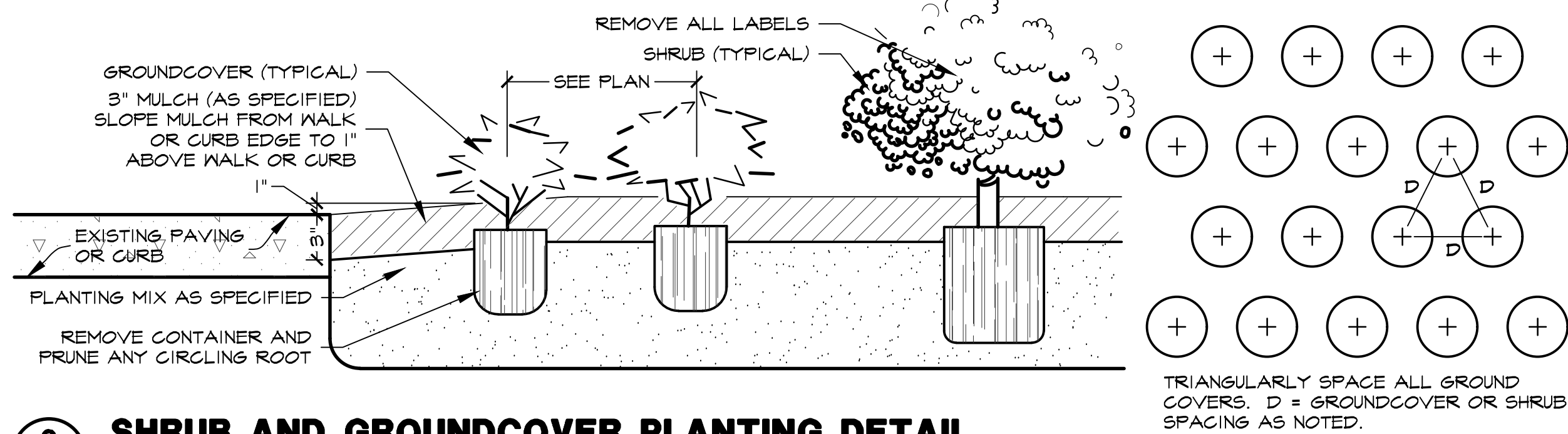
3 **TYPICAL BED EDGING DETAIL**

L2 NOT TO SCALE



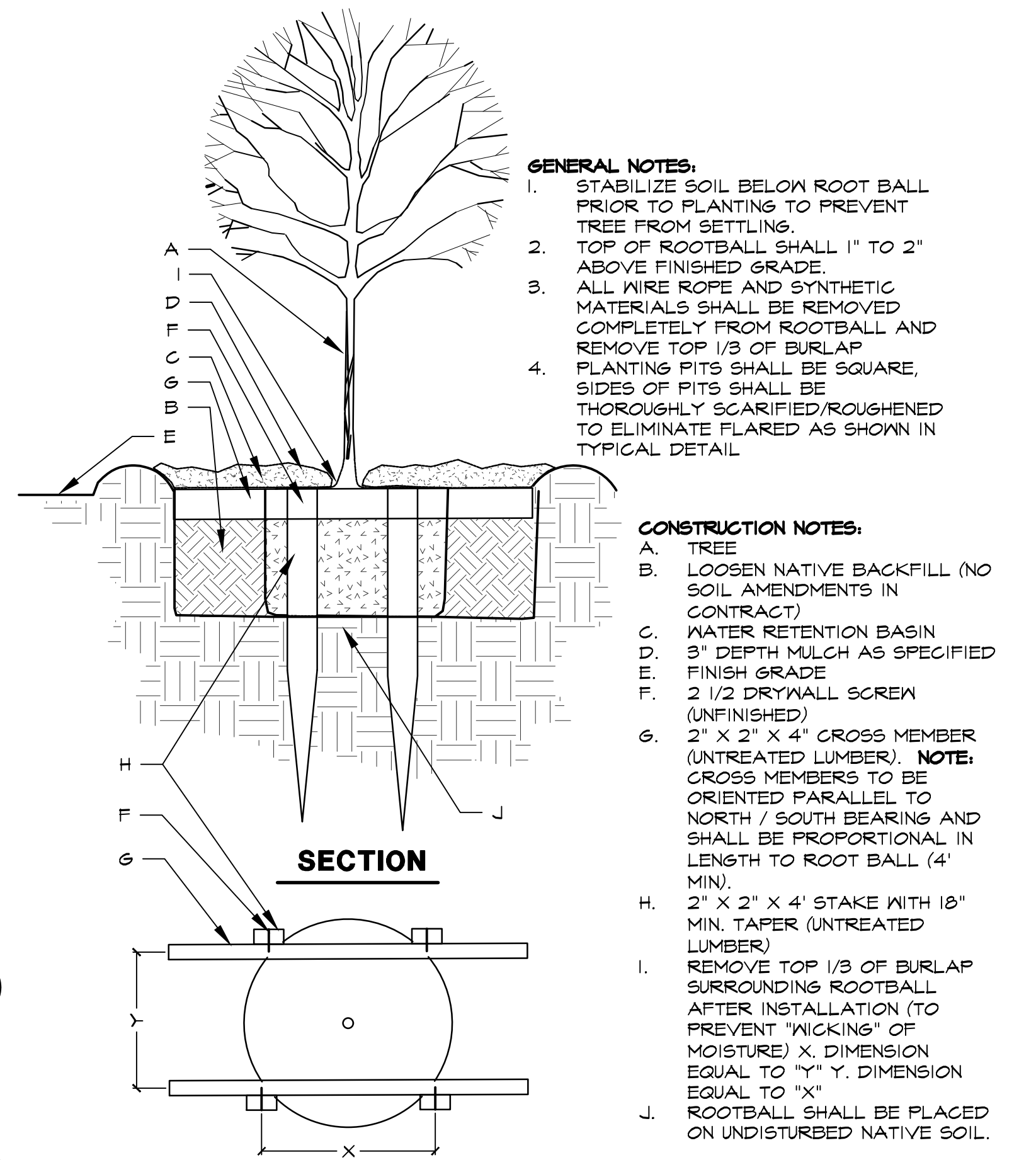
POCKET PLANTING ORNAMENTAL GRASS DETAIL

NOT TO SCALE



2 **SHRUB AND GROUND COVER PLANTING DETAIL** SPACING AS NOTED.

L2 NOT TO SCALE



4 TREE PLANTING

THESE DOCUMENTS ARE
FOR INTERIM REVIEW
ONLY AND NOT INTENDED
FOR CONSTRUCTION OR
BIDDING PURPOSES.

Submittal 11-14-2023

bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

LANDSCAPE AND SCREENING

Landscape Plan

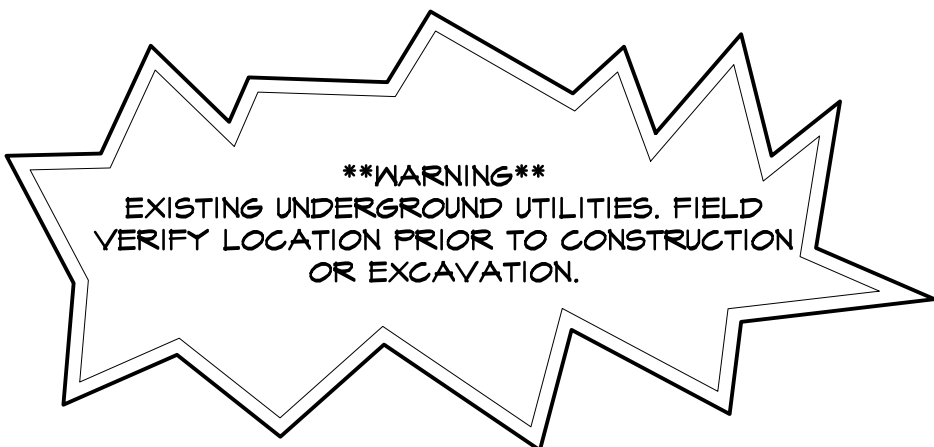
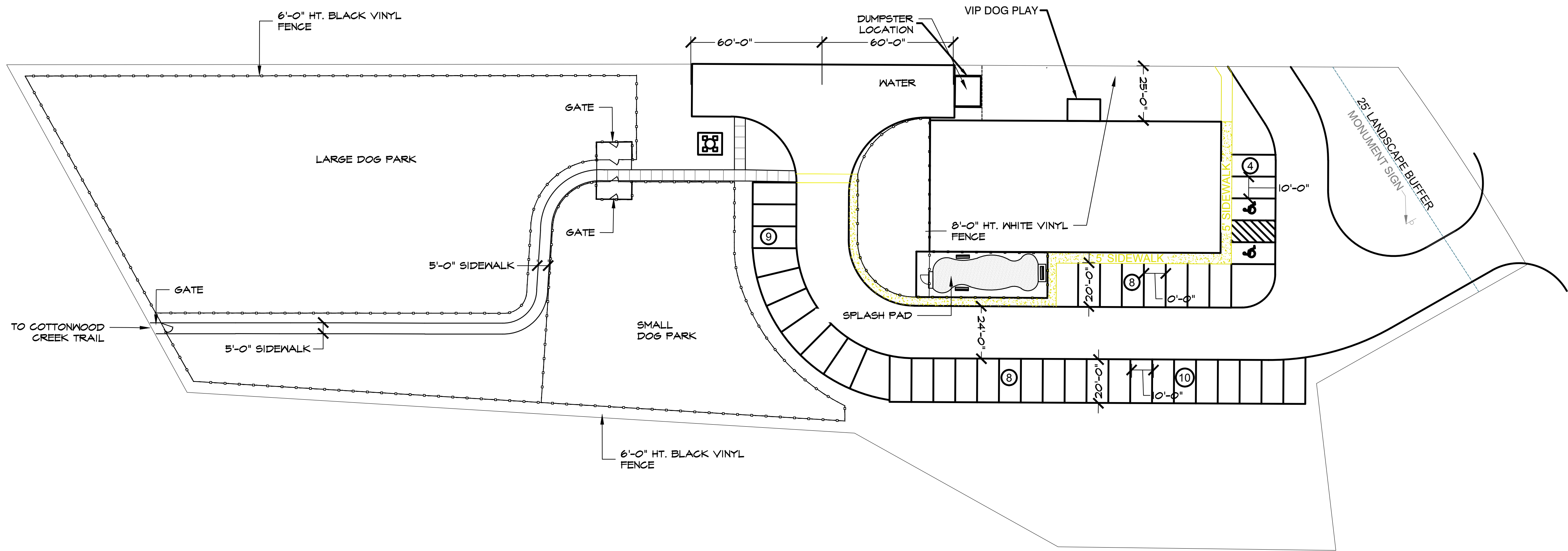
The Dog Stop

Town of Little Elm, Denton County, Texas

PROJECT		PLAN REVIEW REVISIONS		BY	DATE
PLATE 2	SHEET LS2	1	PER CITY COMMENTS		10/17/2023
		2	Plans Revised per City Comments	CA	11-7-2023
		2	Plans Revised per City Comments	CA	11-14-2023

Plotted by: Station11 Plot Date: 11/14/2023 4:31 PM

Drawing: W:\Shared With Me\shared\Projects\SGC001 - The Dog Stop\DWG\SGC001 HS.dwg Saved By: Station11 Save Time: 11/14/2023 12:19 PM



ACCESSIBILITY GENERAL NOTES

1. ALL ACCESSIBLE ROUTES AND RAMPS SHALL CONFORM TO THE TEXAS ACCESSIBILITY STANDARDS (T.A.S.)
2. PUBLIC ACCESSIBLE ROUTES SHALL NOT HAVE A RUNNING SLOPE GREATER THAN 1:20 AND CROSS SLOPE GREATER THAN 1:50.
3. RAMPS SHALL NOT HAVE A RUNNING SLOPE GREATER THAN 1:12 AND A CROSS SLOPE GREATER THAN 1:50.
4. HANDRAILS WILL BE REQUIRED IF RAMP IS LONGER THAN 12 INCHES WITH A MAXIMUM RUNNING SLOPE OF 1:12.

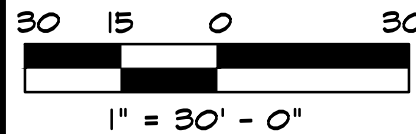
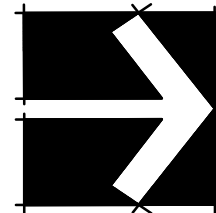


Studio 13 Design Group, PLLC.
386 W. Main Street
Lewisville, Texas 75057
469-635-1900

TBAE Firm #BR643

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Submittal 11-14-2023



Bar is one inch on original
drawing. If not one inch on this
sheet, adjust scale as necessary.

One Inch

LANDSCAPE AND SCREENING

Hardscape Layout

The Dog Spot

Town of Little Elm, Denton County, Texas

#	PLAN REVIEW/REVISIONS	BY	DATE
2	Plans Revised per City Comments	CA	11-7-2023
3	Plans Revised per City Comments	CA	11-14-2023

STUDIO 13 PROJECT #

SGC001

PLATE

1

SHEET

HS1

Drawing: W:\Shared With Me\shared\Projects\SGC001 - The Dog Stop\DWG\SGC001 HS.dwg Saved By: Station11 Save Time: 11/14/2023 4:25 PM
Plotted By: Station11 Plot Date: 11/14/2023 4:25 PM
12:19 PM

WALL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
2. ALL CONCRETE USED IN FOOTINGS AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS. CONCRETE USED IN COLUMNS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. ALL REINFORCING SHALL BE NEW BILLET STEEL, ASTM A615, GRADE 60 EXCEPT STIRRUPS SHALL BE GRADE 40 AND SPIRALS SHALL BE ASTM A62, GRADE 60.
4. CONCRETE FOR DRILLED PIERS SHALL BE POURED WITHIN 8 HOURS OF DRILLING PIER HOLES.
5. REFER TO DETAILS FOR TYPE AND SIZE OF BRICK AND STONE WALL REINFORCING.
6. ALL MORTAR TO BE TYPE S. MORTAR COLOR SHALL BE APPROVED BY OWNER PRIOR TO ORDERING MATERIAL. MASONRY CEMENT WILL NOT BE ALLOWED.
7. ALL MORTAR JOINTS ARE TO BE 3/8" CONCAVE TOOLED JOINTS.
8. BRICK CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE BRICK INSTITUTE OF AMERICA.
9. BRICK MATERIAL, IF NOT SPECIFIED ON PLANS OR DETAILS, SHALL BE SELECTED BY THE OWNER PRIOR TO CONSTRUCTION.
10. VERIFY ALL DIMENSIONS IN THE FIELD BEFORE MANUFACTURING CAST-STONE.
11. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS, APPLICABLE FEES, AND CITY INSPECTIONS.
12. LAYOUT OF THE PROPOSED SCREENING WALL SHALL BE PERFORMED IN THE FIELD BY THE OWNER'S REPRESENTATIVE AND THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
13. THE STONE MATERIAL AND PATTERN, IF NOT SPECIFIED ON PLANS OR DETAILS, SHALL BE SELECTED BY THE OWNER PRIOR TO CONSTRUCTION.
14. LAY STONE COURSES LEVEL AND PLUMB. DO NOT EXCEED 1/4" VARIATION FROM LEVEL IN 20 FEET MAXIMUM.
15. CLEAN STONEMWORK PROMPTLY AFTER COMPLETION WITH FIBER BRUSHES, CLEAN WATER OR APPROVED CLEANING AGENT. DO NOT USE WIRE BRUSHES OR ACID TYPE CLEANING AGENTS.
16. THE CONTRACTOR SHALL PROVIDE A 4' X 4' MOCKUP OF THE STONE AND BRICK SCREEN WALL FOR THE OWNERS REVIEW PRIOR TO BEGINNING THE STONE WORK. THE APPROVED "MOCKUP" SHALL SERVE AS THE STANDARD FOR THE STONE WORK ON THE PROJECT.

FENCE LAYOUT NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPE AND STRUCTURES WHETHER OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF ALL UNDERGROUND UTILITIES AND WILL BE RESPONSIBLE FOR COSTS INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES OR STRUCTURES CAUSED BY HIS FORCES.
2. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION, AS DESIGNED, WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS OR CONFLICTS EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT OF THE PROPOSED WALLS AND COLUMNS. THE OWNER'S ENGINEER SHALL STAKE THE LOCATIONS OF THE PROPERTY, R.O.W. LINES AND EASEMENTS.
4. THE CONTRACTOR SHALL STAKE ALL OF THE FENCE AND COLUMN LOCATIONS FOR REVIEW BY THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION. THE OWNER'S REPRESENTATIVE MAY MAKE MINOR ALTERATIONS TO THE LAYOUT AFTER STAKING AND BEFORE CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
5. ALL "STEPS" IN THE WALL MADE NECESSARY BY GRADE CHANGES OR EXISTING SLOPE SHALL OCCUR ONLY AT MINOR OR MAJOR COLUMNS. THE MINIMUM "STEP" AT A COLUMN SHALL BE 8" AND THE MAXIMUM "STEP" AT A COLUMN SHALL BE 6".
6. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN AND SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS.
7. THE ELECTRICAL WORK SHALL INCLUDE ALL NECESSARY CONDUITS, WIRE, FITTINGS, FIXTURES TRENCHING AND OTHER MISCELLANEOUS ITEMS NECESSARY TO COMPLETE THE WORK.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY PERMITS AND CITY ACCEPTANCE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AS NEEDED FOR FENCE AND COLUMN INSTALLATION. THE CONTRACTOR SHALL RETURN THE SITE TO PRE-CONSTRUCTION CONDITION.

BRICK THIN-WALL NOTES

1. MORTAR SHALL BE TYPE S WITH WELL GRADED SAND
2. BRICK PANEL REINFORCING WIRE SHALL BE 1/8 INCH CENTER TO CENTER #6@8 HOT DIPPED GALVANIZED JOINT REINFORCING AT SPECIFIED JOINT SPACING.
3. GROUT FILL SHALL BE PEA-GRAVEL AND PORTLAND CEMENT MIX. GROUT SHALL BE VIBRATED TO ASSURE ALL VOIDS ARE FILLED.
4. BRICK SHALL BE GRADE SW (SEVERE WEATHERING) RATED BRICK.
5. CONCRETE FOR PIERS AND MOW STRIP SHALL BE 3000 PSI COMPRESSIVE STRENGTH NORMAL ANDIGHT PORTLAND MIX CONCRETE.
6. WIRE TIES AT COLUMNS SHALL BE HOT DIPPED GALVANIZED JOINT REINFORCING AT SPECIFIED JOINT SPACING.
7. SPACING BETWEEN COLUMNS SHALL NOT EXCEED 10 FEET.

WOOD FENCE NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES. VERIFY LOCATION OF ALL UTILITIES WITH THE TOWN AND VARIOUS UTILITY COMPANIES BEFORE DRILLING PIERS.
2. ALL CONCRETE USED IN FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY AND REQUIRED PERMITS AND INSPECTIONS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF XX CODES AND REQUIREMENTS.
4. WOOD MATERIAL FOR FENCE
 - 4.1. STRINGERS- CEDAR, #2 GRADE OR BETTER.
 - 4.2. PICKETS- CEDAR, #2 GRADE OR BETTER.
 - 4.3. CAPS- CEDAR, #2 GRADE OR BETTER
5. ALL FENCE POST TO BE SCHEDULE 40 - GALVANIZED.
6. ALL FASTENERS, NAILS, BRACKETS, STEEL POSTS, ETC., ARE TO BE HOT DIPPED GALVANIZED.
7. ALL PICKETS ARE TO BE FASTENED TO THE RAILS USING GALVANIZED SCREWS. STAPLES AND/OR NAILS WILL NOT BE ALLOWED. SCREW WITHOUT SPLITTING MEMBERS; DRILL PILOT HOLES IF NECESSARY. ALL SPLIT MEMBERS WILL BE REQUIRED TO BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
8. ACCURATELY CUT, FIT FASTEN MEMBERS, MAKE PLUMB, LEVEL, TRUE, AND RIGID. DO NOT SPLICE INDIVIDUAL FRAMING MEMBERS BETWEEN SUPPORTS. ERECT FACES OF FRAMING MEMBERS IN STRAIGHT EVEN PLANES TO RECEIVE FINISH MATERIALS. INSTALL STRINGERS WITH BOTTOM EDGES FREE OF DEFECTS. MITER ALL EXPOSED FINISHED JOINTS.
9. REMOVE ALL MARKS, STAMPS, DIRT, LOOSE FIBERS FROM ALL WOOD SURFACES.
10. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.

ORNAMENTAL METAL FENCE NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
2. ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS.
4. ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
5. PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS.
6. GRIND SMOOTH ALL WELDS.
7. ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF RUSTPROOF PAINT, COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE.
9. ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
10. FENCE MEMBER SIZES TO BE AS FOLLOWS:
 - 10.1. PICKETS, 3/4" SQUARE 16 GA.
 - 10.2. RAILS, 1-1/2" X 1-1/2" SOLID FLAT 16 GA.
 - 10.3. POSTS, 2" SQUARE 11 GA. ; SEE DETAILS
11. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURE DESIGN OF GATES.
12. CONCRETE FOOTING FOR POSTS SHALL BE 4X POST.
13. POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 7'-0" O.C.

GENERAL PAVING NOTES

1. THE LAYOUT OF ALL PROPOSED PAVING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REVIEWED BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
2. ALL PAVING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CONSTRUCTION DETAILS SHOWN HEREIN.
3. THE SUB GRADE BENEATH ALL PAVING SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
4. THE EDGES OF ALL FINISHED PAVING AND PLAYGROUND EDGES SHALL BE SMOOTH, GRACEFUL CURVILINEAR OR STRAIGHTFORMS WITH NO INTERRUPTIONS SUCH AS CHORDS, WAVES, JOGS, OR MISSED TANGENTS. ANY PAVEMENT WITH SUCH INTERRUPTIONS SHALL BE SUBJECT TO REPLACEMENT AT NO COST TO THE OWNER.
5. CONCRETE SHALL NOT BE POURED UNTIL THE OWNER'S REPRESENTATIVE HAS INSPECTED THE FORMS AND REINFORCING. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AT LEAST 48 HOURS IN ADVANCE OF ALL CONCRETE POURS.
6. PROVIDE AN UNDERCUT HEADER WHEREVER PROPOSED CONCRETE PAVING IS TO ABUT EXISTING CONCRETE PAVING.
7. ALL EXPOSED VERTICAL CONCRETE SURFACES SHALL HAVE A HAND RUBBED FINISH WITH NO HONEYCOMBS OR VOIDS.
8. ALL CONSTRUCTION SHALL CONFORM WITH THE CITY OF XX CONSTRUCTION STANDARDS AND DETAILS.

GENERAL MASONRY NOTES

- CAST-IN-PLACE CONCRETE
1. ALL CONCRETE SHALL BE 3000 PSI, NORMAL WEIGHT, 28 DAY STRENGTH WITH A 4 TO 6 INCH SLUMP. THE CEMENT SHALL BE TYPE I AND SHALL CONFORM TO ASTM C150. AGGREGATES SHALL CONFORM TO ASTM C33.
 2. ALL MIXING, TRANSPORTING, PLACING, AND CURING OF CONCRETE SHALL COMPLY WITH ACI 318.
 3. CONCRETE SHALL NOT BE PLACED IN RAINING OR FREEZING WEATHER.
 4. CHLORIDES SHALL NOT BE USED.
 5. MAXIMUM AGGREGATE SIZE = 1".

- CONCRETE REINFORCING STEEL
1. ALL REINFORCEMENT SHALL CONFORM TO ASTM A615 60 GRADE AND DEFORMED PER ASTM A603. PROVIDE 36 BAR DIAMETER LAP SPLICES FOR ALL CONTINUOUS BARS UNLESS NOTED OTHERWISE.
 2. PROVIDE THE FOLLOWING CLEAR COVER FOR CAST-IN-PLACE REINFORCEMENT:

CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO THE EARTH.	3"
CONCRETE EXPOSED TO EARTH OR WEATHER, NO.5 BAR AND SMALLER.	1 1/2"
CONCRETE EXPOSED TO EARTH OR WEATHER, NO.6 THROUGH NO.18 BARS.	2"
CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND.	3/4"

3. ALL REINFORCING STEEL SHALL BE CLEAN AND FREE OF GREASE.

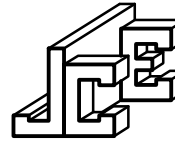
- DRILLED PIERS
1. PIERS NOT SPECIFICALLY LOCATED ON THE PLAN SHALL BE CENTERED ON WALL OR BEAM.
 2. PIER REINFORCING AND CONCRETE SHALL BE PLACED IMMEDIATELY OR TO WITHIN A MAXIMUM OF 8 HOURS AFTER DRILLING IS COMPLETE.
 3. STEEL CASING IS REQUIRED WHEN MORE THAN 2 INCHES OF STANDING WATER IS PRESENT AT THE BOTTOM OF THE SHAFTS PRIOR TO PLACEMENT OF STEEL AND CONCRETE.
 4. PROVIDE 64 BAR DIAMETER LAP SPLICES IN ALL VERTICAL PIER REINFORCING AS REQUIRED
 5. PROVIDE PIER TO GRADE BEAM DOVELS TO MATCH SIZE, QUANTITY, AND LOCATION OF LONGITUDINAL PIER REINFORCING. MIN DOVEL PROJECTION INTO PIER = 80 BAR DIA. MIN DOVEL PROJECTION INTO BEAM = TOP LONGITUDINAL GRADE BEAM REINFORCING. PROVIDE STANDARD HOOK AT TERMINAL END OF DOVEL IN GRADE BEAM.

- STRUCTURAL CONCRETE MASONRY UNIT
1. CONCRETE MASONRY UNITS SHALL BE HOLLOW LOAD-BEARING TYPE N-1 CONFORMING TO ASTM C40 AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI.
 2. CONCRETE MASONRY UNITS SHALL HAVE A MINIMUM PRISM STRENGTH OF 1800 PSI AT 28 DAYS.
 3. MORTAR SHALL BE ASTM C270, TYPE S, WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI IN ACCORDANCE WITH ASTM C780. MASONRY CEMENT IS PROHIBITED.
 4. COARSE GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2800 PSI AND A MAXIMUM AGGREGATE SIZE OF 1/2" IN ACCORDANCE WITH ASTM C416. REFER TO DETAILS FOR WALL REINFORCING BAR SIZE AND SPACING.
 5. REINFORCE HORIZONTAL JOINTS WITH GALVANIZED LADDER-TYPE STEEL IN ACCORDANCE WITH ANSI/ASTM A82. SIDE AND CROSS RODS SHALL BE #1 GA MINIMUM.
 6. HORIZONTAL REINFORCEMENT SHALL BE SPACED AT 16" MAXIMUM. PROVIDE A 16" LAP AT SPLICES.
 7. JOINT REINFORCING SHALL BE DISCONTINUOUS AT CONTROL AND EXPANSION JOINTS.
 8. LAP VERTICAL REINFORCING BARS AT 12 BAR DIAMETERS.
 9. LAP HORIZONTAL REINFORCING BARS AT 48 BAR DIAMETERS.
 10. PLACE GROUT USING LOW-LIFT METHOD, 6'-8" MAXIMUM LIFTS.



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JORDAN CONSULTING
ENGINEERS, INC.

TBPE FIRM #4430

THESE DOCUMENTS ARE
FOR INTERIM REVIEW
ONLY AND NOT INTENDED
FOR CONSTRUCTION OR
BIDDING PURPOSES.

Submittal 11-14-2023

Bar is one inch on original
drawing. If not one inch on this
sheet, adjust scale as necessary.

One Inch

LANDSCAPE AND SCREENING

Hardscape Notes

The Dog Spot

Town of Little Elm, Denton County, Texas

#	PLAN REVIEW REVISIONS	BY	DATE
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STUDIO 13 PROJECT #

SGC001

PLATE	SHEET
2	NOTES



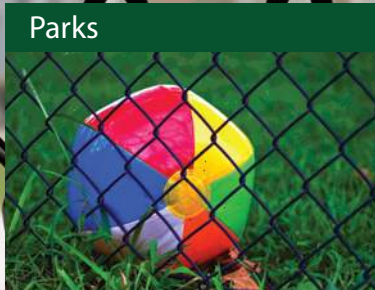
Spectra® Color Chain-Link... made to perform

Spectra® is the latest generation of Master Halco's residential, commercial and industrial chain-link fence systems. It provides the corrosion protection of zinc, with the durability and attractive appearance of a colored polyester framework and extruded PVC fabric, to ensure years of attractive and reliable performance that blends in beautifully with the environment.

Pets



Parks



Property Lines



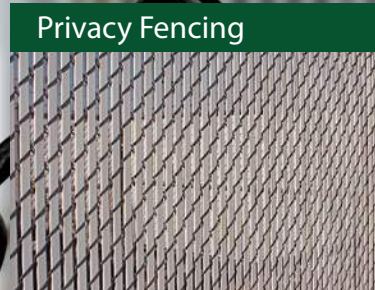
Residential



Schools



Privacy Fencing



Our Spectra Fencing System

Premium quality frame and fabric is guaranteed for 15 years.



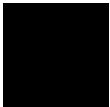
15 Year Warranty

Features and Benefits:

- Zinc-coated steel framework is thoroughly cleaned during the pre-treatment process, then color coated with a 3 mil minimum polyester layer for protection from corrosion.
- All galvanized wire has a 15 mil minimum extruded polyvinyl chloride coating for dual protection from corrosion and the elements.
- Fittings are made of galvanized steel with a 3 mil minimum of polymer layer for protection from corrosion.

Available Colors

Choose from 3 serene colors that blend in perfectly with the environment. Spectra® defines property lines, and will add value to any residential or commercial property.



Midnight Black



Forest Green

Available Wire Gauges (Finish and Core)

Use the finish gauge number when ordering.

6 gauge finish
9 gauge core



8 gauge finish
11 gauge core



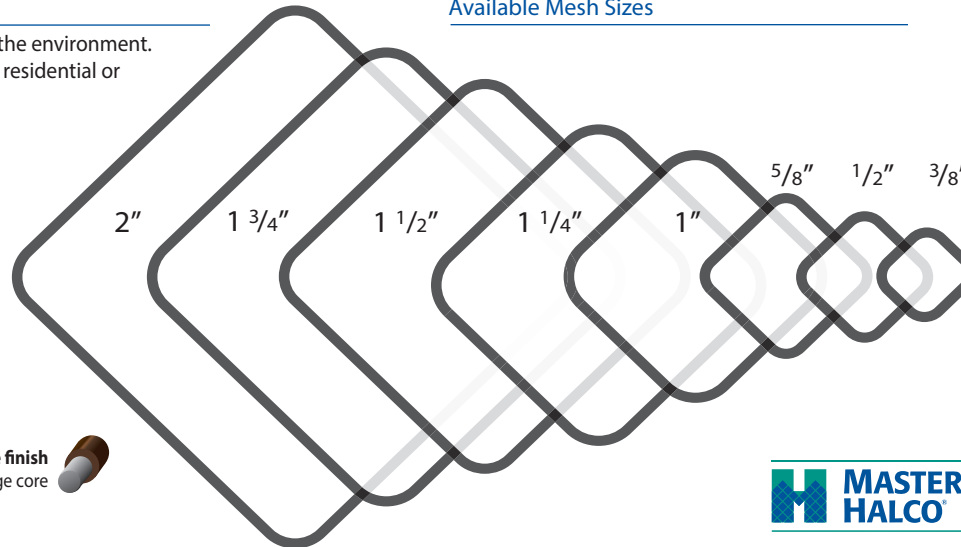
9 gauge finish
13 gauge core



11 gauge finish
14 gauge core



Available Mesh Sizes



Spectra Bond® Color Chain Link... made to withstand

Spectra Bond® is a step above for Master Halco's color commercial and industrial chain link fence systems. It is extruded bonded wire, which is a better alternative to simple extruded wire. The adhesive added before the wire is extruded seals the vinyl to the wire. This ensures years of attractive and reliable performance with a better protection against nature.



Our Spectra Bond® Fencing System

Premium quality fabric and framework is guaranteed for 15 years.



15 Year Warranty



Meets and Exceeds all ASTM Standards

Features and Benefits:

- Zinc-coated steel framework is thoroughly cleaned during the pre-treatment process, then color coated with a 3 mil minimum polyester layer for protection from corrosion.
- All galvanized wire has a 15 mil minimum extruded and adhered polyvinyl chloride coating for dual protection from corrosion and the elements.
- Fittings are made of galvanized steel with a 3 mil minimum of polyester coating for added protection.

Available Colors

Choose from 3 Spectra Bond® colors that will enhance any installation and blend in beautifully with any environment.

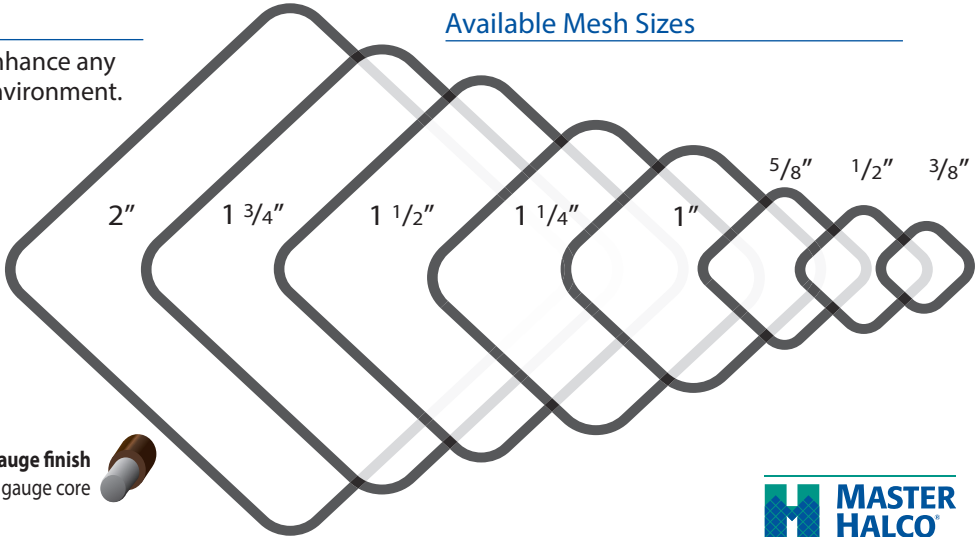


Available Wire Gauges (Finish and Core)

Use the core gauge number when ordering.



Available Mesh Sizes



Permafused® Color Chain-Link... made to be durable

Permafused, the next generation in color chain-link fence systems, offers unparalleled performance over ordinary systems, featuring a heavy mill coating that offers superior protection. Its outstanding resistance to ultra violet light and corrosive environments prevents premature fading and decay. It is an ideal choice for commercial applications that need the security of a chain-link fence system and an appearance that blends in beautifully with the environment.



Our Permafused Fencing System

Master Halco offers the highest quality products with unmatched reliability.



15 Year Warranty



Meets and Exceeds all ASTM Standards

Features and Benefits:

- Outstanding performance in highly corrosive environments provides years of protection.
- High impact resistance reduces the chance of damage during product handling and installation.
- Exceptional resistance to ultra violet light prevents premature fading.
- Extreme flexibility reduces susceptibility to cracking and chipping, even in changing weather conditions.
- 15 year limited warranty provides confidence and assurance that you've selected one of the best color chain-link fence systems available.

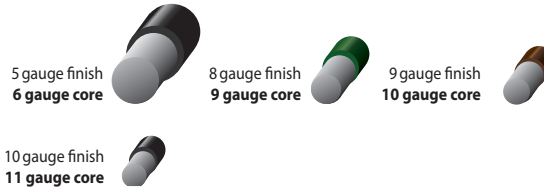
Available Colors

Choose from 3 Permafused colors that will enhance any installation and blend in beautifully with any environment.

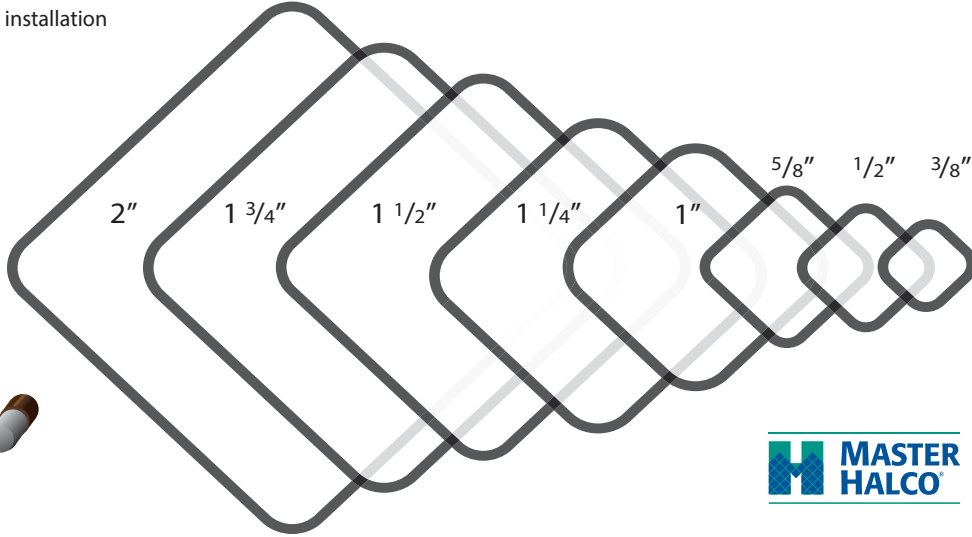


Available Wire Gauges (Finish and Core)

Use the core gauge number when ordering.



Available Mesh Sizes



Galvanized Chain Link Recommendations

Residential	
Fabric Type	Galvanized After Weaving and Galvanized Before Weaving
Fabric Gauge	9, 11, 11.5, and 12.5 gauge
Fabric Mesh	1-1/4", 2", 2-1/4", 2-1/2", and 2-3/8"
Fabric Height	3', 42", 4', 5', and 6'
Fabric Selvage	Knuckle - Knuckle (KK) for 5' and Under. Knuckle - Knuckle (KK) or Knuckle - Twist (KT) for 6'.

Top Rail	
3' to 5' High	1-3/8" O.D. 17 Gauge 1-3/8" O.D. 16 Gauge
6' High and over	1-3/8" O.D. 17 Gauge 1-3/8" O.D. 16 Gauge 1-5/8" O.D. 16 Gauge

Line Posts	
3' to 5' High	1-5/8" O.D. 16 Gauge
6' High and over	1-7/8" O.D. 16 Gauge

Terminal Posts	
3' to 5' High	1-7/8" O.D. 16 Gauge 2-3/8" O.D. 16 Gauge
6' High and over	2-3/8" O.D. 16 Gauge

Gates	
Fabric	Same Gauge and Mesh as Chain Link Selected
Frame	Same as Top Rail Selected

Fittings	
Tension and Brace Bands	Hot-Dipped Galvanized Pressed Steel
Caps, Eye Tops, Rail Ends	Malleable, Cast Iron Steel, Pressed Steel, or Die Cast Aluminum
Tie Wires	Aluminum or Galvanized Steel

Slats - Privacy	
Material Composition	Polyethylene Thermoplastic
Colors	Green, Black, Brown, Gray, White, Redwood, Blue, Desert Sand

Commercial	
Galvanized After Weaving	
6, 9, and 11 gauge	
3/8", 1/2", 5/8", 1", 1-1/4", 1-1/2", 1-3/4", and 2"	
3', 42", 4', 5', 6', 7', 8', 9', 10', and 12'	
Knuckle - Knuckle (KK) for 5' and Under. Knuckle - Knuckle (KK) or Knuckle - Twist (KT) for 6' and over.	

Top Rail	
1-5/8" O.D. Deluxe Quality (DQ) 1-5/8" O.D. Full Weight Pipe	
1-5/8" O.D. Deluxe Quality (DQ) 1-5/8" O.D. Full Weight Pipe	

Line Posts	
1-7/8" O.D. Deluxe Quality (DQ) 1-7/8" O.D. Full Weight Pipe 2-3/8" O.D. Commercial Quality (CQ) 2-3/8" O.D. Deluxe Quality (DQ) 2-3/8" O.D. Full Weight Pipe	
2-3/8" O.D. Commercial Quality (CQ) 2-3/8" O.D. Deluxe Quality (DQ) 2-3/8" O.D. Full Weight Pipe	

Terminal Posts	
3' to 5' High	2-3/8" O.D. Commercial Quality (CQ) 2-3/8" O.D. Deluxe Quality (DQ) 2-3/8" O.D. Full Weight Pipe 4" O.D. Commercial Quality (CQ) 4" O.D. Deluxe Quality (DQ) 4" O.D. Full Weight Pipe
For Heavy Gates	6-5/8" O.D. Full Weight Pipe 8-5/8" O.D. Full Weight Pipe

Spectra® and Spectra Bond® Color Chain Link Recommendations

Permafused® Color Chain Link Recommendations

Accessories, Framework & Fittings... for a complete fencing solution

FABRIC	
Permafused® Polyolefin Coating Fused and Adhered to Zinc-Coated Steel Core Wire per ASTM F Class 2b.	
Fabric Gauge	6 gauge, 9 gauge, 10 gauge, and 11 gauge core
Fabric Mesh	3/8", 1/2", 5/8", 1", 1-1/4", 1-1/2", 1-3/4", and 2"
Fabric Height	3', 42", 4', 5', 6', 7', 8', 9', 10', and 12'
Fabric Selvage	Knuckle - Knuckle (KK) for 5' and Under; for mesh sizes 1" and smaller. Knuckle - Knuckle (KK) or Knuckle - Twist (KT) for 6' and over.

FRAMEWORK - TYPE 1	
Spectra® Polyester, 3 mils minimum, over galvanized steel ASTM F 1043, Group 1C, with a minimum yield strength of 50,000 PSI. Protective coating per ASTM 1043, external coating Type B, zinc with organiz overcoat, 0.9 ounces per square foot with chromate conversion and verifiable polymer film.	

FRAMEWORK - TYPE 2	
Permafused® Heavy Mil, 15 mils minimum, over galvanized steel ASTM F 1043, Group 1C, with a minimum yield strength of 50,000 PSI. Protective coating per ASTM F 1043, external coating type B, zinc with organic overcoat, 0.9 ounces per square foot minimum zinc coating with chromate conversion coating and verifiable polymer film. Note: Heavy Mil Schedule 40 available upon request.	

Top Rail	1-5/8" O.D. Polyester Standard Weight Pipe (0.140" wall thickness, 2.27 lb./ft.)
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1-5/8" O.D. Polyester Deluxe Quality (DQ) Pipe (0.111" wall thickness, 1.83 lb./ft.)

Line Posts	2-3/8" O.D. Polyester Standard Weight Pipe (0.154" wall thickness, 3.65 lb./ft.)
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2-3/8" O.D. Polyester Deluxe Quality (DQ) Pipe (0.130" wall thickness, 3.12 lb./ft.)

Terminal Posts	2-7/8" O.D. Polyester Standard Weight Pipe (0.203" wall thickness, 5.79 lb./ft.)
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2-7/8" O.D. Polyester Deluxe Quality (DQ) Pipe (0.160" wall thickness, 4.64 lb./ft.)

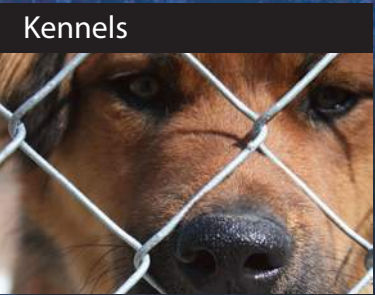
Gates	
Fabric	Same Gauge and Mesh as Chain Link Selected
Frame	Same as Top Rail Selected

Fittings	
Tension and Brace Bands	Polyester Coating, 3 Mils Minimum, Over Hot-Dipped Galvanized Pressed Steel
Caps, Eye Tops, Rail Ends	Polyester Coating, 3 Mils Minimum, Over Hot-Dipped Galvanized Pressed Steel or Aluminum
Sleeves	Polyester Coating, 3 Mils Minimum, Over Hot-Dipped Galvanized Steel
Tie Wires	Polyester Coating, 3 Mils Minimum, Over Zinc-Coated Steel Wire

Slats - Privacy	
Material Composition	Polyethylene Thermoplastic
Colors	Green, Black, Brown, Gray, White, Redwood, Blue, Desert Sand

Master Halco® is dedicated to providing a complete range of products for every fencing application. From temporary fencing to high security accessories, and automated gate systems to privacy screening, you'll find a solution that will fit any specific requirement for commercial or residential jobs. All products are constructed to the highest quality standards to deliver optimum performance and ensure efficient installation.

As the leader in the chain-link fencing market, you can look to Master Halco with confidence as your one-stop-shop for all high-quality, chain-link fencing products.



Framework & Fittings

The proper framework and fittings is a must for every job. Master Halco stocks the largest selection of imported and domestic pipe, tube and fittings in the nation to coordinate with our Chain-Link fabric styles, offering a complete fencing solution.

Whether you are looking to complete a small residential job or a large commercial one, Master Halco offers the perfect combination of products. Below are just a few examples of coordinating pipes, tubes and fittings available.

Pipe & Tube

- CQ20
- Structural
- Dura-Tube 16 Gauge
- RQ 15
- DQ 40
- HQ 30
- Dura-Lite 18 and 17 Gauge
- Schedule 40 Full Weight

Fittings

- Pressed Steel
- Aluminum
- Die Cast
- Malleable
- Heavy Mil Color
- Polyester Coated Color



EXHIBIT C

Additional Documents

EXAMPLE OF SPLASH PAD



EXAMPLE OF SPLASH PAD





EXAMPLE OF SPLASH PAD



EXAMPLE OF SPLASH PAD



EXAMPLE OF SPLASH PAD



EXAMPLE OF SPLASH PAD