

## **TOWN OF LITTLE ELM**

### **ORDINANCE NO. 1754**

**AN ORDINANCE OF THE TOWN OF LITTLE ELM, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE TO GRANT A NEW SPECIFIC USE PERMIT FOR AN EXISTING AUTOMATIC CAR WASH WITH VACUUMS, ON 1.78 ACRES OF LAND GENERALLY LOCATED ON THE SOUTH SIDE OF WEST UNIVERSITY DRIVE, APPROXIMATELY 500 FEET WEST OF MAGNOLIA BOULEVARD; PROVIDING A PENALTY; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEALER CLAUSE; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the Town of Little Elm ("Town") is a home rule municipal corporation organized and existing by virtue of the Constitution and laws of the State of Texas and by its Charter adopted on May 1, 2001; and

**WHEREAS**, the Town possesses all the rights, powers, and authorities possessed by all home rule municipalities, including the authority to regulate land uses under Chapter 211 of the Texas Local Government Code; and

**WHEREAS**, Chapter 106 (Zoning) of the Little Elm Code of Ordinances, requires a Specific Use Permit be granted by Town Council in order to legally operate and occupy the subject property with an automatic carwash while it is zoned Light Commercial (LC); and

**WHEREAS**, a request for a Specific Use Permit for an automatic carwash with vacuums has been submitted by Washguys 13 LLC, on property located approximately 500 feet west of the intersection of Magnolia Blvd. and U.S. Highway 380; and

**WHEREAS**, Section 106.02.17 of the Little Elm Code of Ordinances provides that Town Council may impose such additional development standards and safeguards as the conditions and locations indicate important to the welfare and protection of adjacent property from noise, vibration, dust, dirt, smoke, fumes, odor, gas, explosion, glare, offensive view, or other undesirable or hazardous conditions; and

**WHEREAS**, Town Council and the Planning & Zoning Commission of the Town of Little Elm, in compliance with the laws of the State of Texas and the ordinances of the Town of Little Elm, have given the required notices and held the required public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area and in the vicinity thereof regarding the requested planned development amendment described herein; and

**WHEREAS**, at its regular meeting held on March 7, 2024 the Planning & Zoning Commission considered and made recommendations on a request grant a Specific Use Permit for an automatic carwash with vacuums (Case No. SUP-22-04008); and

**WHEREAS**, after due deliberations and consideration of the recommendation of the Planning & Zoning Commission and any other information and materials received at the public hearing, the Town Council of the Town of Little Elm, Texas, has determined that the request would be in the interest of public health, safety and welfare of the citizens of the Town of Little Elm.

**NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF LITTLE ELM, TEXAS:**

**SECTION 1. INCORPORATION OF PREMISES.** The above and foregoing premises are true and correct and are incorporated herein and made a part hereof for all purposes.

**SECTION 2. AMENDMENT.** That Ordinance No. 226 of the Town of Little Elm, Texas, the same being the Comprehensive Zoning Ordinance of the Town, as amended, is hereby amended by the following:

- A. Granting a Specific Use Permit authorizing an automatic carwash with vacuums on approximately 1.78 acres of land, generally located on the south side of West University Drive, approximately 500 feet west of Magnolia Boulevard, subject to the following conditions:
  - 1. Prior to the issuance of a Certificate of Occupancy, said Property shall be improved in accordance with the site plan, landscape plan, and façade plans, which are attached hereto as Exhibit A and made a part hereof for all purposes.
  - 2. The Specific Use Permit granted herein specifically for an automated carwash with vacuums as designated on the approved site plan, limited to a 5,980 square foot automated carwash facility with a three-lane approach, eight drive-thru vacuum stands, and 15 drive-up vacuum stations.
  - 3. Prior to obtaining permits for site improvements and new vacuum station installation, property owner must provide executed agreements from all impacted easement owners on the subject property for the allowance to plant and properly maintain the landscaping improvements as shown in the attached exhibits.

**SECTION 3. SAVINGS.** This Ordinance (which includes the New Zoning Ordinance) shall be cumulative of all other ordinances of the Town, and shall not repeal any of the provisions of those ordinances except in those instances where the provisions of those ordinances are in direct conflict with the provisions of this Ordinance; provided, however, that any complaint, notice, action, cause of action, or claim which prior to the effective date of this Ordinance has been initiated or has arisen under or pursuant to such other ordinance(s) shall continue to be governed by the provisions of that ordinance or those ordinances, and for that purpose that ordinance or those ordinances shall be deemed to remain and shall continue in full force and effect.

**SECTION 4. PENALTY.** Any person, firm, or corporation violating any of the provision of

this Ordinance shall be punished by a penalty of a fine not to exceed the sum of Two Thousand Dollars (\$2,000) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 5. SEVERABILITY.** The sections, paragraphs, sentences, phrases, and words of this Ordinance are severable, and if any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid or unconstitutional, the adjudication shall not affect any other section or provision of this Ordinance or the application of any other section or provision to any person, firm, corporation, situation or circumstance, nor shall adjudication affect any other section or provision of the New Zoning Ordinance of the Town of Little Elm, Texas, and the Town Council hereby declares that it would have adopted the valid portions and applications of this Ordinance (which includes the New Zoning Ordinance) without the invalid parts and to this end the provisions of this Ordinance shall remain in full force and effect.

**SECTION 6. REPEALER.** That all ordinances of the Town of Little Elm in conflict with the provisions of this Ordinance are hereby repealed to the extent of that conflict.

**SECTION 7. EFFECTIVE DATE.** This Ordinance shall take effect immediately upon its adoption in accordance with and as provided by law and the Town Charter.

**PASSED AND APPROVED** by the Town Council of the Town of Little Elm, Texas on the 2<sup>nd</sup> day of April, 2024.

**The Town of Little Elm, Texas**

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Curtis J. Cornelious, Mayor

ATTEST:

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Caitlan Biggs, Town Secretary

ATTACHMENT – EXHIBIT A



PARKING SPACES

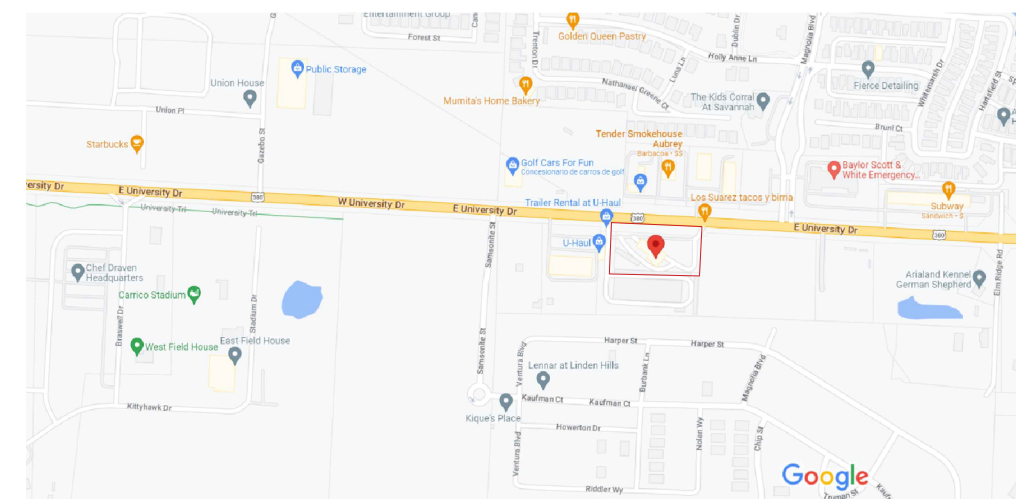
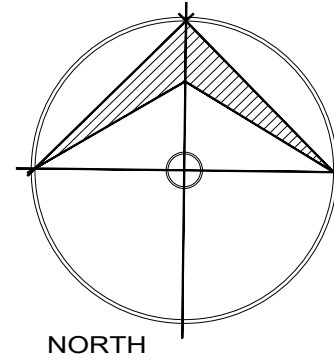
P.S. = Parking Spaces  
15 = Regular Parking Spaces  
1 = Handicap Parking Spaces  
16 = Total Parking Spaces

AREA CALCULATION TABLE

1 STORY BRICK & STONE BUILDING	5,980 SQ.FT.
1 STORY BRICK BUILDING	273 SQ.FT.
CONCRETE FLATWORK AREA	42,400 SQ. FT
TOTAL COVERED AREA	48,653 SQ.FT.
LANDSCAPE AREA	31,294 SQ.FT.
AWNING AREA	4,896 SQ. FT.
TOTAL LOT AREA	79,947 SQ.FT.
LOT COVERAGE PERCENTAGE	60%
TOTAL ACRES AREA	1.84

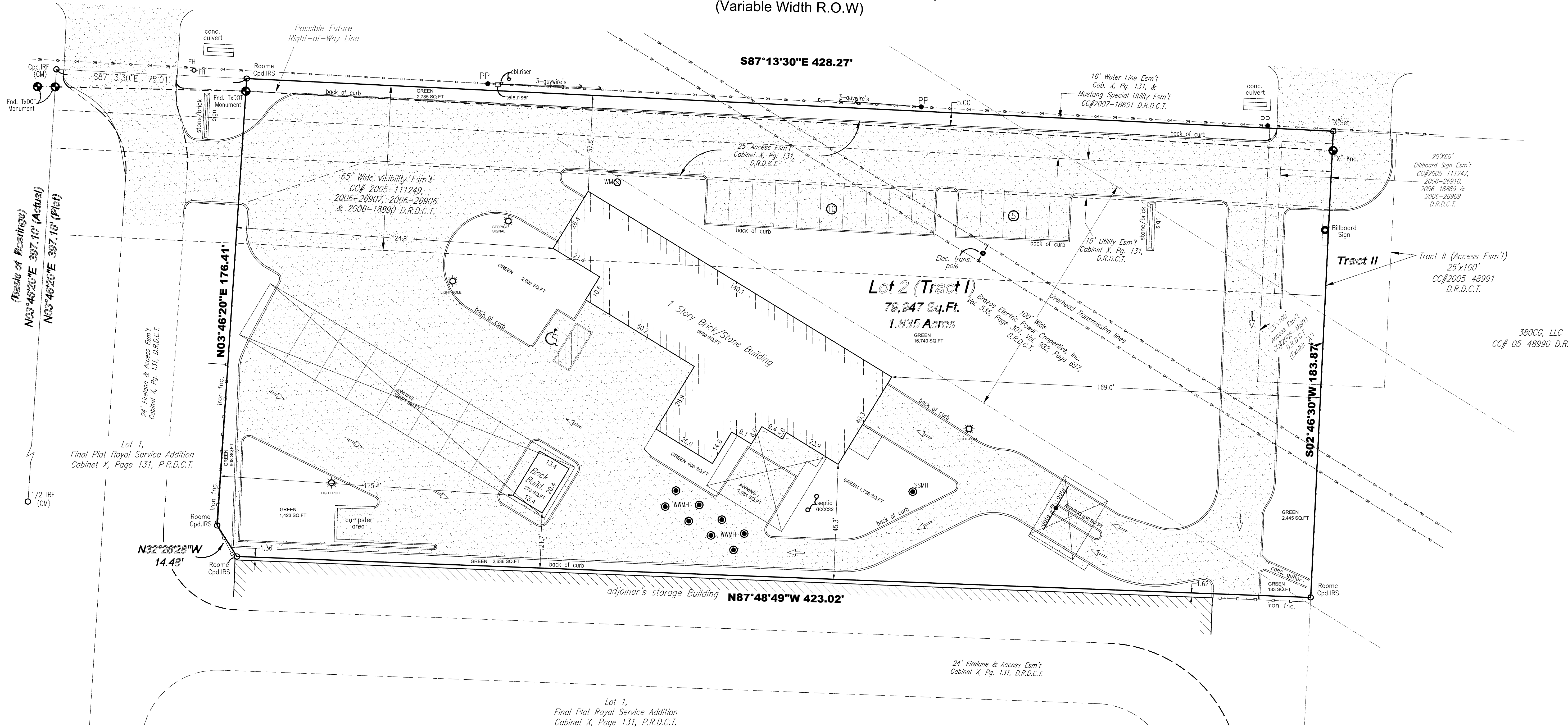
LEGEND

CM CONTROLLING MONUMENT	CONCRETE	WOOD
5/8" IRON ROD FOUND	COVERED CARPORT, PORCH, DECK, ETC	
"X" FOUND IN CONCRETE	OHT OVERHEAD TELEPHONE	
POINT FOR CORNER	OHP OVERHEAD ELECTRIC	
FIBER OPTIC PEDESTAL	PIPE FENCE	
POWER POLE	METAL FENCE	
A/C AIR CONDITIONING	WOOD FENCE	
WATER METER	S SANITARY SEWER MANHOLE	
TELE. MANHOLE	SD STORM DRAIN MANHOLE	
TELE. VAULT	H HANDICAP PARKING	
LP LIGHT POLE	E ELECTRIC BOX	C CLEANOUT
UNDERGROUND ELECTRIC	T TELEPHONE PEDESTAL	
FH FIRE HYDRANT	CABLE PEDESTAL	
GAS METER	ASPHALT PAVING	
WATER VALVE	GRAVEL/ROCK	
BOLLARD	ROAD OR DRIVE	
SIGN		



VICINITY MAP FOR REFERENCE ONLY

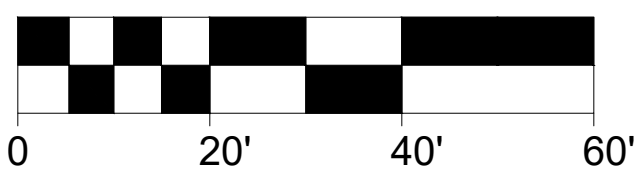
U.S. Highway 380 (University Drive)  
(Variable Width R.O.W)



SITE PLAN (E)

SCALE: 1"= 20'

GRAPHIC SCALE: 1 INCH = 20 FEET



TITLE SITE PLAN  
ROYAL SERVICE ADDITION  
LOT 2 (TRACT I)

JOSE GONZALES SURVEY, ABSTRACT No. 447  
26780 U.S. HIGHWAY 380 TOWN OF LITTLE ELM,  
DENTON COUNTY, TEXAS  
SEPTEMBER 29,2017

PROJECT:  
COMMERCIAL  
FLATWORK ADDITION

OWNER: JOHN PAPPAS

LOCATION:  
26780 US-380 HWY.  
LITTLE ELM, TEXAS 75068



Gamma Group, Design & Construction LLC  
3309 ELM ST. #250, Dallas Texas, 75226  
www.gammagroup-usa.com  
gamma@gamma-usa.com  
(469)583-7174, (469)463-276, (214)272-8186

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGN CONCEPTS, IDEAS AND EXPRESSIONS THERE OF SHOWN IN THE DOCUMENTS. THE DESIGNER RETAINS ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS IN THEM INCLUDING COPYRIGHTS. ANY VIOLATION OF THE DESIGNER'S RIGHTS, INCLUDING, WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND OF THE COPYRIGHT LAWS IS SUBJECT TO LEGAL ACTION.

ENGINEERING GENERAL NOTES

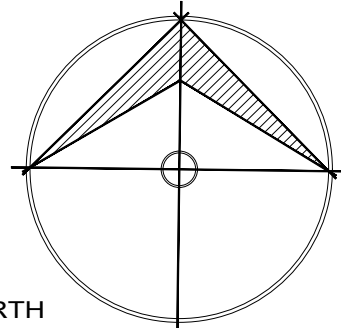
GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. NOT ARE WE LICENSED TO DESIGN STRUCTURAL, FRAMING, WINDBRACING OR FOUNDATIONS. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGN. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGN FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, WHETHER OR FORM IF ANY PROBLEMS MAY ARISE.

NOTE:  
GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.  
THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:  
1- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.  
2- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL LOCAL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE.  
3- PLANS INDICATE LOCATIONS ONLY.  
ENGINEERING ASPECTS SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

CONTRACTOR NOTES

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP, AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED. BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS, THE BUILDER AND/OR SUB-CONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS. ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWINGS SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

DIRECTION:



REVISION:

EXPIRATION DATE:

PLAN:

SITE PLAN EXISTING

DATE:

05/24/2022

DRAWN BY:

F.G.M.

A1

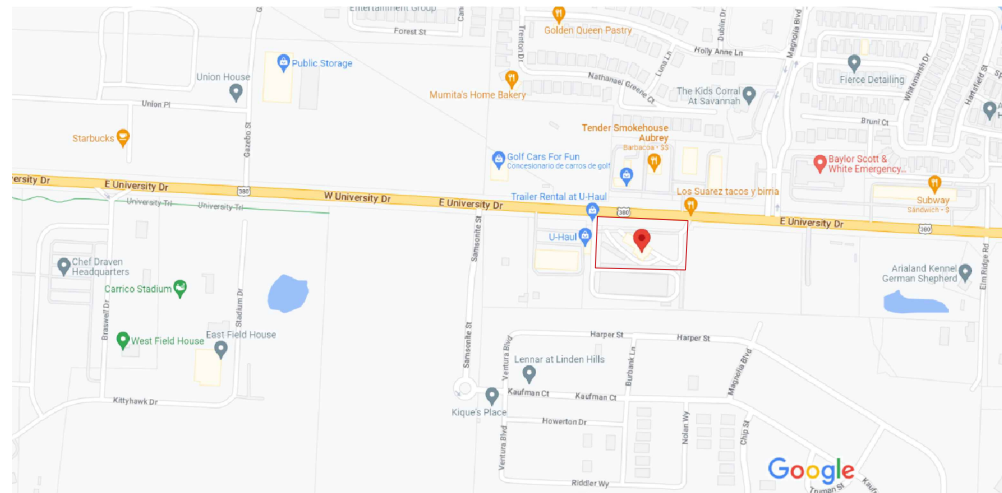
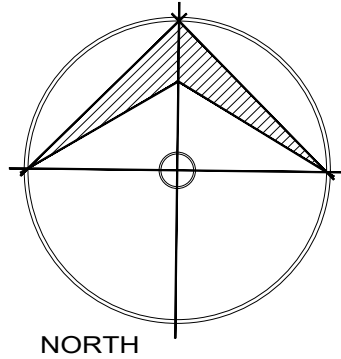
SHEET 01 OF 08



PARKING SPACES

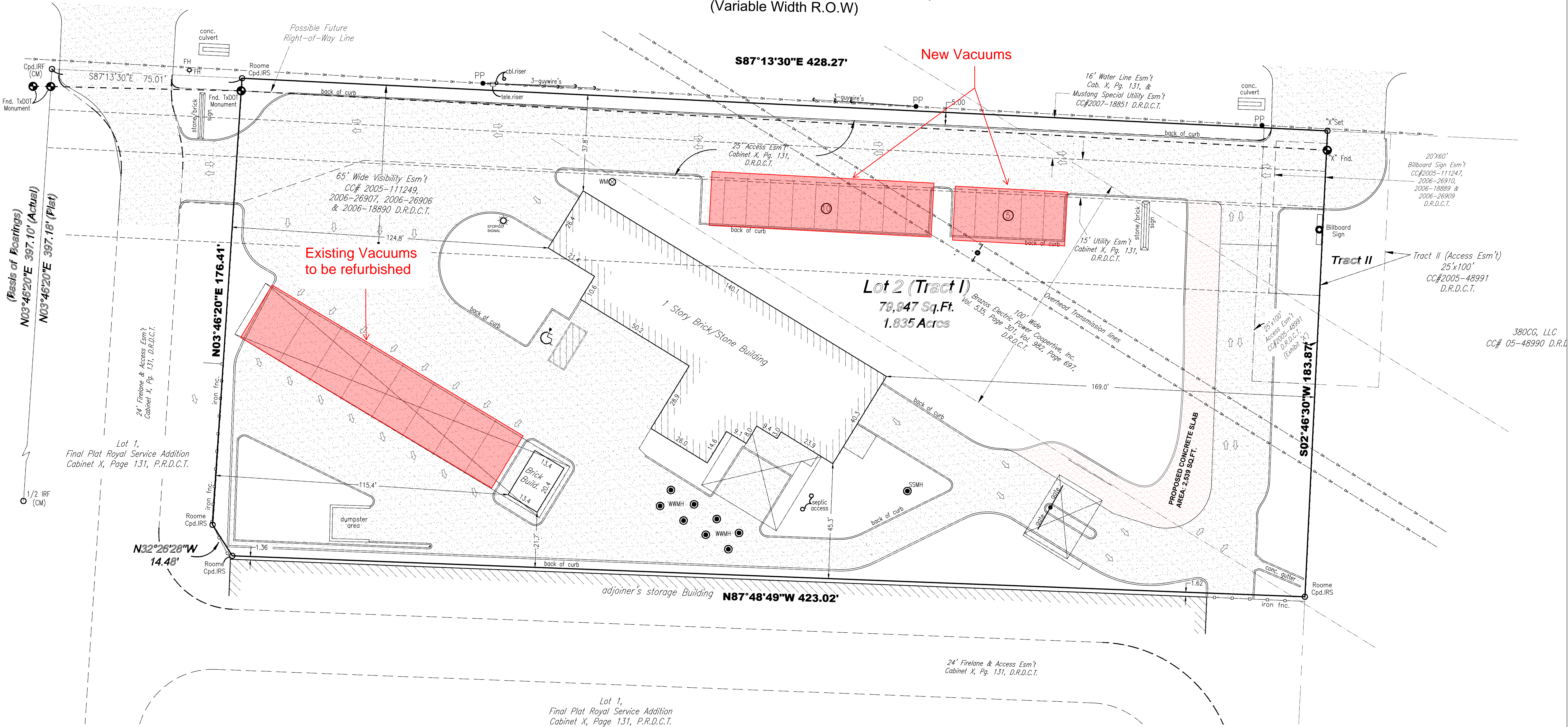
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AWNING AREA	4,896 SQ. FT.
TOTAL LOT AREA	79,947 SQ.FT.
LOT COVERAGE PERCENTAGE	64%
TOTAL ACRES AREA	1.84



VICINITY MAP FOR REFERENCE ONLY

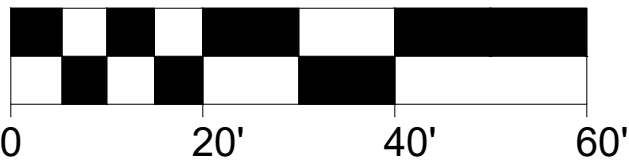
U.S. Highway 380 (University Drive)  
(Variable Width R.O.W)



SITE PLAN (P)

SCALE: 1"= 20'

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PROJECT:  
COMMERCIAL  
FLATWORK ADDITION

OWNER: JOHN PAPPAS

LOCATION:  
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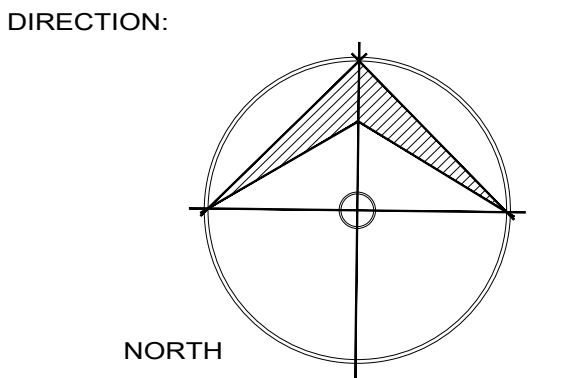
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LEGEND	
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5/8" IRON ROD FOUND	BUILDING
"X" FOUND IN CONCRETE	CONCRETE SLAB ADDITION
POINT FOR CORNER	COVERED CARPORT
FIBER OPTIC PEDESTAL	GHP OVERHEAD ELECTRIC
POWER POLE	PIPE FENCE
A/C AIR CONDITIONING	METAL FENCE
WATER METER	WOOD FENCE
TELE. MANHOLE	SANITARY SEWER MANHOLE
TELE. VAULT	STORM DRAIN MANHOLE
VACUUM	HANDICAP PARKING
LP LIGHT POLE	ELECTRIC BOX
UNDERGROUND ELECTRIC	CLEANOUT
PH FIRE HYDRANT	TELEPHONE PEDESTAL
GAS METER	CABLE PEDESTAL
WATER VALVE	ASPHALT PAVING GRAVEL



REVISION:

EXPIRATION DATE:

PLAN:

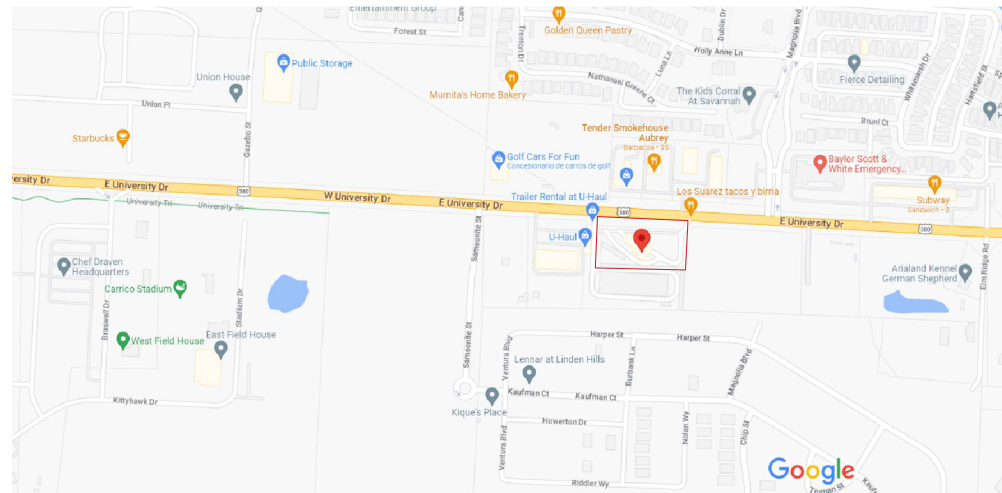
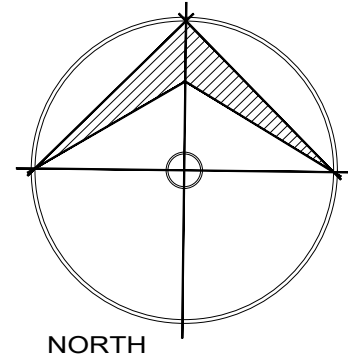
SITE PLAN PROPOSAL

DATE:  
06/30/2023  
DRAWN BY:  
F.G.M.  
SHEET 02 OF 08

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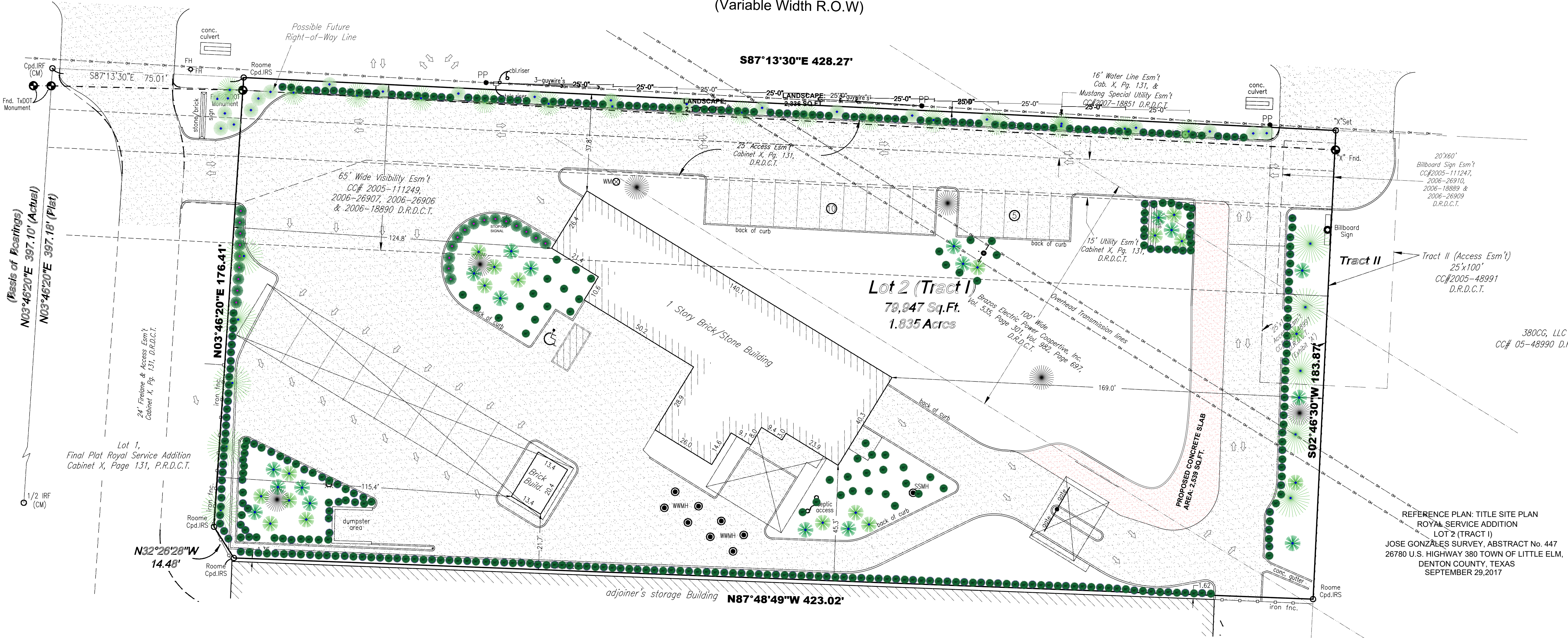


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VICINITY MAP FOR REFERENCE ONLY

## U.S. Highway 380 (University Drive) (Variable Width R.O.W)



### List of materials provided for the installation of landscaping in the lot

- A.-Shrubs: Includes a variety of ornamental plants, shrubs that are suitable for Texas climate and conditions. This may include native plants adapted to the region.
- B.-Soil and compost: To prepare the soil and improve its quality, this will help enrich the soil and provide nutrients to the plants.
- C.-Stones and gravel: Decorative stones and gravel are used to create paths, paths and accent areas in the garden.
- D.-Mulch: Mulch is used to cover the soil around plants and trees. It helps retain moisture, control weeds and improve the appearance of the garden.
- E.-Wood or edge stone: To delimit and define areas in the garden, use wood or stone edges. These materials provide structure and an aesthetic appearance to the garden.
- F.-Irrigation system: To keep plants properly hydrated, need to install an irrigation system. It can include sprinklers, drip or sprinklers according to the needs of the garden.
- G.-Outdoor lighting: To highlight garden features at night and provide security.
- H.-Gardening tools: tools as shovels, rakes, mowers, pruning shears, garden hoses, among others, for garden maintenance and care.

### ACCORDING TO THE LANDSCAPE ORDINANCE THE DESIGN WAS MADE BASED ON THE FOLLOWING:

A minimum of ten percent (10%) of the gross vehicular use area shall be devoted to living landscape which includes grass, ground cover, plants, shrubs and trees. This is to be measured from the edge of the parking and/or driveway paving and sidewalks.

There shall be a minimum of one (1) Large Canopy tree planted for each four hundred (400) square feet or fraction thereof of required interior landscape area. Three (3) Small Ornamental trees, minimum six feet (6') in height and three inches (3") in diameter, may be substituted for one (1) required Large Canopy tree not to exceed twenty-five percent (25%) of the required Large Canopy trees.

Interior areas of parking lots shall contain planting islands located so as to best relieve the expanse of paving. Such islands shall contain at least one (1) Large Canopy tree, and shall be located at the terminus of all parking rows. The remainder of the island space shall be landscaped with shrubs, lawn, and living ground cover not to exceed three feet in height. Any trees located within a planting island may be counted towards the required number of interior trees. The minimum total area of such islands shall be nine feet (9') by eighteen feet (18'), but may design their radii to facilitate traffic maneuverability.

Planting islands shall not be spaced greater than every twelve (12) spaces unless approved on the landscape plan in order to preserve existing trees and natural features or due to unique site features. In all cases, the total area requirements for landscaped islands for the respective parking areas shall be satisfied.

Big Boxes may, in lieu of providing a tree every 12 spaces, choose to provide a minimum 10' wide continuous landscape island every 8 single rows of parking, with a Large Canopy tree each 30 linear feet, subject to review and approval by the Director. This does not waive the requirement for terminus islands and trees on parking rows.

In retail developments of 15,000 square feet or more, an Urban Tree shall be placed in a tree grate or tree well each thirty (30) feet on center within a minimum twelve (12) foot wide sidewalk along active storefronts and mixed use building fronts. Trees may be clustered so 13 not to block the main vestibule. Façade trees are not required in areas with an architectural arcade.

A Small Ornamental tree is required along Major Access Lanes each 25 linear feet within a development where reasonable, subject to review and approval by the Director.

An Urban Tree is required along internal pedestrian connections for each 30 linear feet.

All landscaped areas will be protected by a raised six inch (6") concrete curb or wheel stop. Wheel stops are required for all perimeter parking spaces. Pavement will not be placed closer than four feet (4') from the trunk of a tree unless approved by the Director.

The applicant is also encouraged to plant a variety of ornamental trees, shrubs, and flowers in addition to the required plantings. Any permeable surface not occupied by trees, shrubs, planting beds, signs or other permitted fixtures shall be planted with turf or other living ground cover.

Industrial uses shall be exempt from the Interior Landscape requirements, subject to review and approval by the Director.

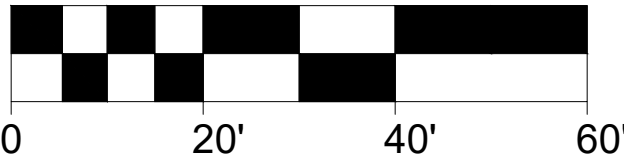
PLANT SCHEDULE					
SYMBOL	SCIENTIFIC NAME	COMMON NAME	TYPE	HEIGHT	NOTES
	Ulmus crassifolia	Cedar Elm	LARGE CANOPY TREE	3'	<b>NOTE:</b> ALL THE LARGE CANOPY TREES WILL HAVE AT LEAST A 4" GAUGE AT THE TIME OF PLANTING.
	Taxodium distichum	Bald Cypress	LARGE CANOPY TREE	3'	<b>NOTE:</b> ALL THE LARGE CANOPY TREES WILL HAVE AT LEAST A 4" GAUGE AT THE TIME OF PLANTING.
	Myrica cerifera	Wax Myrtle	SMALL ORNAMENTAL TREE	3'	<b>NOTE:</b> ALL THE LARGE CANOPY TREES WILL HAVE AT LEAST A 3" GAUGE AT THE TIME OF PLANTING.
	Acer truncatum	Shantung Maple	URBAN TREE	3'	<b>NOTE:</b> ALL THE LARGE CANOPY TREES WILL HAVE AT LEAST A 4" GAUGE AT THE TIME OF PLANTING.
	Leucophyllum frutescens	Texas Sage	EVERGREEN SCRUB	8'	<b>NOTE:</b> ALL THE LARGE CANOPY TREES WILL HAVE AT LEAST 36" WHEN PLANTING.
	Buxus sempervirens	Boxwood	EVERGREEN SCRUB	5'	<b>NOTE:</b> ALL THE LARGE CANOPY TREES WILL HAVE AT LEAST 36" WHEN PLANTING.
	Ulmus crassifolia	Cedar elm	LARGE CANOPY TREE	50"	<b>NOTE:</b> ALL THE LARGE CANOPY TREES WILL HAVE AT LEAST A 4" GAUGE AT THE TIME OF PLANTING.
	EXISTING TREE	EXISTING TREE	EXISTING SMALL CANOPY TREE	----	

The percent of landscape area required is the 10% of gross vehicular use area:

## LANDSCAPE PLAN

SCALE: 1"= 20'

GRAPHIC SCALE: 1 INCH = 20 FEET



PROJECT:  
**COMMERCIAL  
FLATWORK ADDITION**

OWNER: **JOHN PAPPAS**

LOCATION:  
**26780 US-380 HWY.  
LITTLE ELM, TEXAS 75068**



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### ENGINEERING GENERAL NOTES

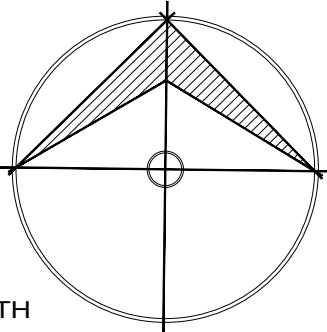
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DIRECTION:



REVISION:

EXPIRATION DATE:

PLAN:

**LANDSCAPE PLAN**

DATE:

**07/27/2023**

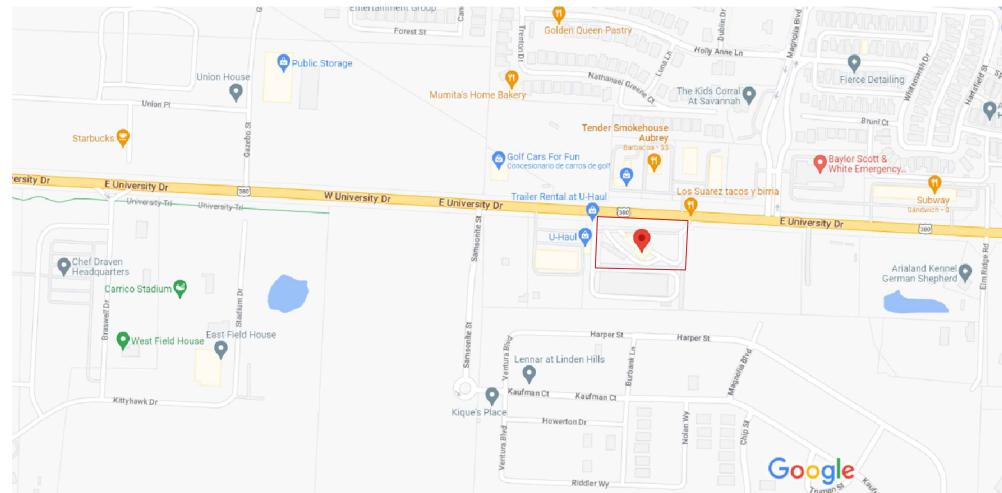
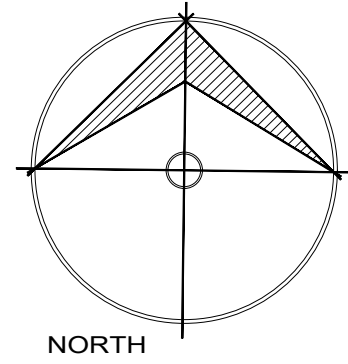
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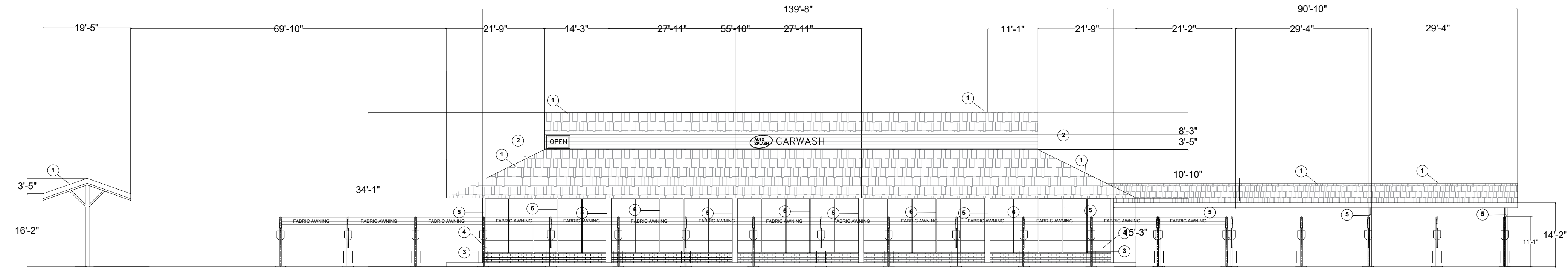
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SHEET 03 OF 08





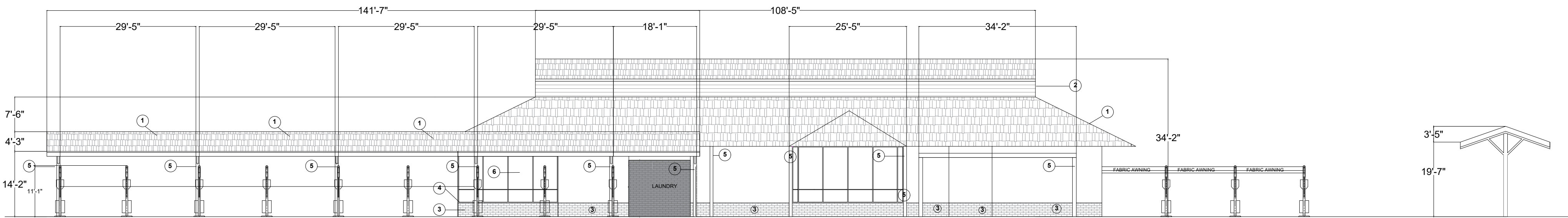
VICINITY MAP FOR REFERENCE ONLY



TYPE MARK	MATERIAL	MANUFACTURER	NORTH ELEVATION SQ.FT.	MATERIAL PERCENTAGE
1	U.S. 90-90 Synthetic Steel 20 Gauge Roofing Panel in Red	CEMEX-TAK	2,622 SQ.FT.	53.36%
2	U.S. 90-90 Synthetic Steel 20 Gauge Roofing Panel in Blue	CEMEX-TAK	436 SQ.FT.	8.86%
3	Rustic Concrete Block Birch color	RECONCRO-RECONCRO WALLS	231.5 SQ.FT.	4.72%
4	Rustic Concrete Block Chocolate color	RECONCRO-RECONCRO WALLS	44 SQ.FT.	.89%
5	Steel C Channel 8-6 painted yellow	CR-STEEL	146.73 SQ.FT.	2.98%
6	Aluminum frame, double glazed with non-heat glass or gas/heat clear glass	WISDOM GLASS	1,439 SQ.FT.	29.25%
		TOTAL AREA	4,919.23 SQ.FT.	100%

## NORTH ELEVATION (FRONT)

SCALE:1/16"= 1'-0"



TYPE MARK	MATERIAL	MANUFACTURER	NORTH ELEVATION SQ.FT.	MATERIAL PERCENTAGE
1	U.S. 90-90 Synthetic Steel 20 Gauge Roofing Panel in Red	CEMEX-TAK	2,560 SQ.FT.	55.84%
2	U.S. 90-90 Synthetic Steel 20 Gauge Roofing Panel in Blue	CEMEX-TAK	436 SQ.FT.	9.14%
3	Rustic Concrete Block Birch color	RECONCRO-RECONCRO WALLS	1,432.63 SQ.FT.	26.76%
4	Rustic Concrete Block Chocolate color	RECONCRO-RECONCRO WALLS	33.7 SQ.FT.	.63%
5	Steel C Channel 8-6 painted yellow	CR-STEEL	109 SQ.FT.	2.04%
6	Aluminum frame, double glazed with non-heat glass or gas/heat clear glass	WISDOM GLASS	303.2 SQ.FT.	5.5%
		TOTAL AREA	5,364.53 SQ.FT.	100%

## SOUTH ELEVATION

SCALE:1/16"= 1'-0"

# ELEVATIONS

SCALE: 1/8"=1'-0"

PROJECT:  
**COMMERCIAL  
FLATWORK ADDITION**

OWNER: **JOHN PAPPAS**

LOCATION:

26780 US-380 HWY.  
LITTLE ELM, TEXAS 75068



Gamma Group, Design & Construction LLC

3309 ELM ST. #250, Dallas Texas, 75226

www.gammagroup-usa.com

gamma.ded@outlook.com

(469)583-7174, (469)463-276, (214)272-8186

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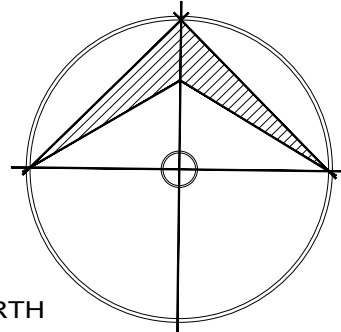
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### SYMBOLOLOGY

TYPE MARK	SPECIFICATION
1	SIDING PANEL IN RED
2	SIDING PANEL IN BLUE
3	RUSTIC CONCRETE BLOCK BIRCH COLOR
4	RUSTIC CONCRETE BLOCK CHOCOLATE COLOR
5	STEEL
6	GLASS

DIRECTION:



REVISION:

EXPIRATION DATE:

PLAN:

ELEVATIONS PLAN

DATE:

07/27/2023

DRAWN BY:

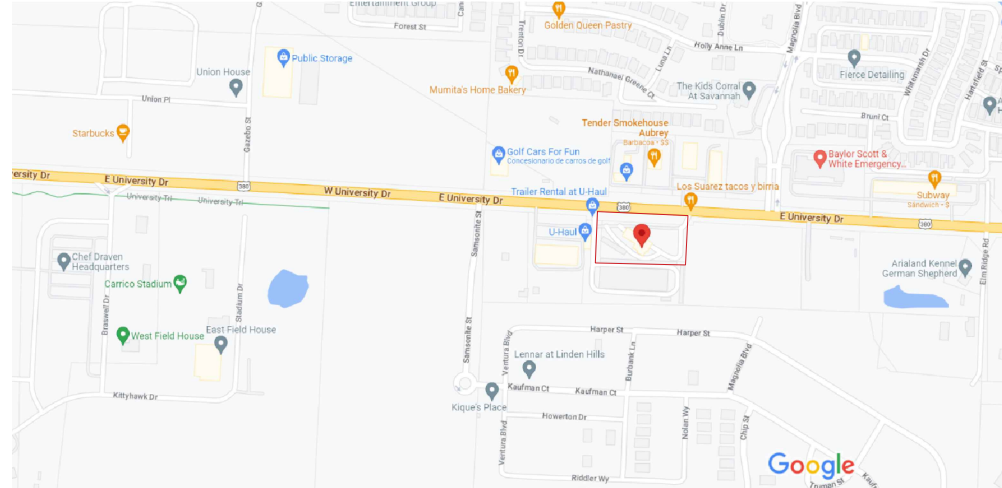
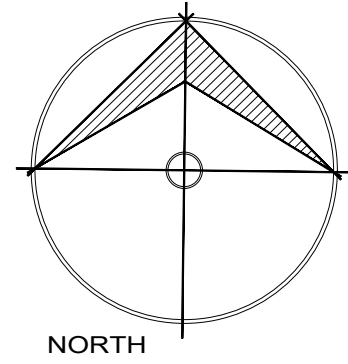
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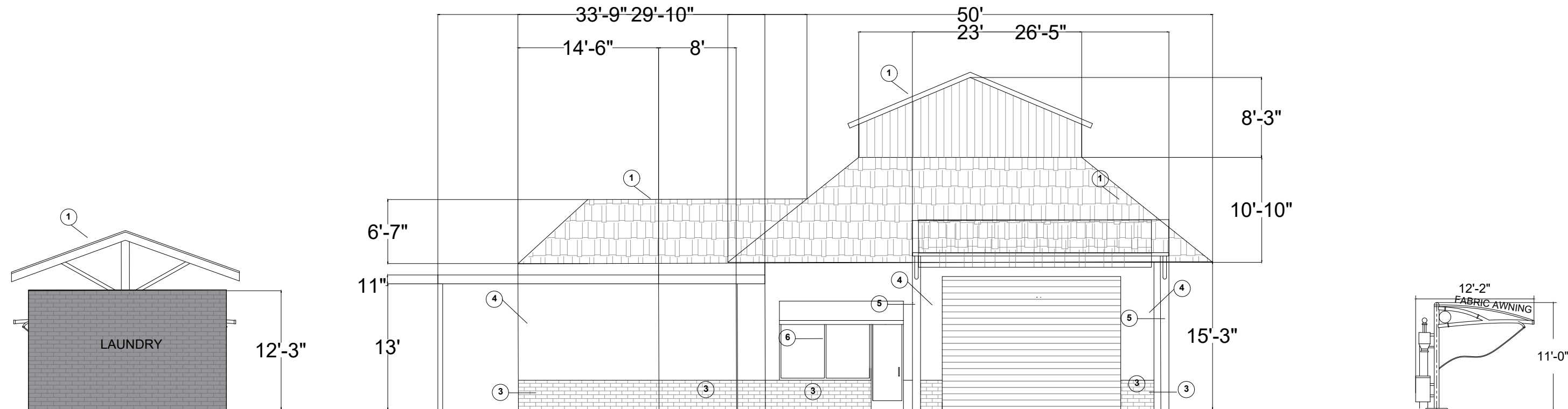
SHEET 04 OF 08

### Notes:

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- All mechanical units shall be screened from public view as required by the Director
- All signage areas and locations are subject to approval of Development Services
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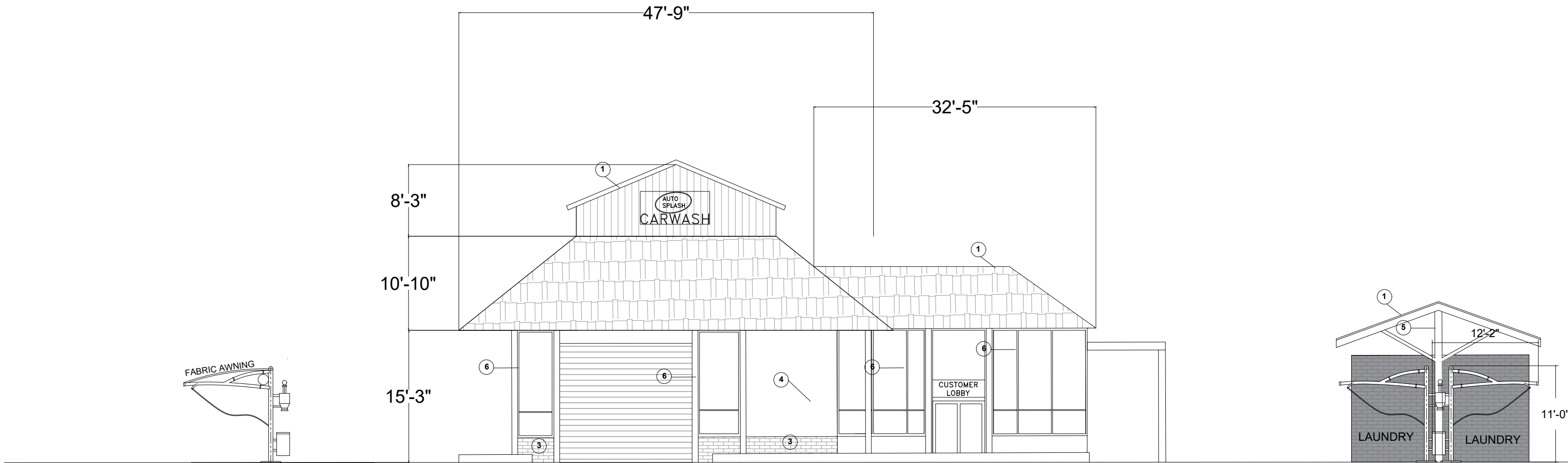


VICINITY MAP FOR REFERENCE ONLY



## EAST ELEVATION

SCALE:3/32"= 1'-0"



## WEST ELEVATION

SCALE:3/32"= 1'-0"

TYPE MARK	MATERIAL	MANUFACTURER	NORTH ELEVATION SQ.FT.	MATERIAL PERCENTAGE
1	10 ft. SM-Rib Galvalume Steel 29-Gauge Roof/Siding Panel in Red	GBR/LTAR	577.6 SQ.FT.	33.21%
2	10 ft. SM-Rib Galvalume Steel 29-Gauge Roof/Siding Panel in Blue	GBR/LTAR	134.2 SQ.FT.	8.2%
3	Rustic Concrete block Birch color	ROCKWOOD RETAINING WALLS	825.1 SQ.FT.	50.4%
4	Rustic Concrete block chocolate color	ROCKWOOD RETAINING WALLS	14.3 SQ.FT.	.87%
5	Steel C-Channel Bolt painted yellow	QH STEEL	46.7 SQ.FT.	2.85%
6	Aluminum frame, double glazed with 3mm clear glass/tem or gas/tem clear glass	WEBER GLASS	73.2 SQ.FT.	4.47%
	TOTAL		1,637.2 SQ.FT.	100%

TYPE MARK	MATERIAL	MANUFACTURER	NORTH ELEVATION SQ.FT.	MATERIAL PERCENTAGE
1	10 ft. SM-Rib Galvalume Steel 29-Gauge Roof/Siding Panel in Red	GBR/LTAR	577.6SQ.FT.	17.37%
2	10 ft. SM-Rib Galvalume Steel 29-Gauge Roof/Siding Panel in Blue	GBR/LTAR	134.2 SQ.FT.	4.04%
3	Rustic Concrete block Birch color	ROCKWOOD RETAINING WALLS	455.7 SQ.FT.	13.71%
4	Rustic Concrete block chocolate color	ROCKWOOD RETAINING WALLS	13.4 SQ.FT.	.4%
5	Steel C-Channel Bolt painted yellow	QH STEEL	120.6 SQ.FT.	3.63%
6	Aluminum frame, double glazed with 3mm clear glass/tem or gas/tem clear glass	WEBER GLASS	2,022.9 SQ.FT.	60.85%
	TOTAL		3,324.4 SQ.FT.	100%

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PROJECT:  
**COMMERCIAL  
FLATWORK ADDITION**

OWNER: **JOHN PAPPAS**

LOCATION:

26780 US-380 HWY.  
LITTLE ELM, TEXAS 75068



Gamma Group, Design & Construction LLC  
3309 ELM ST. #250, Dallas Texas, 75226  
www.gammagroup-usa.com  
gamma.fred@icloud.com  
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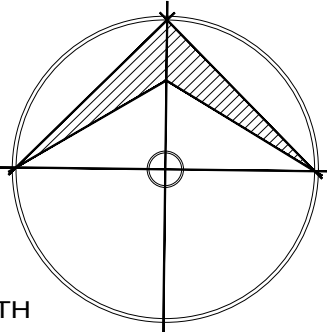
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### SYMBOLOLOGY

MATERIALS	
NUMBER	DESCRIPTION
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2	SIDING PANEL IN BLUE
3	RUSTIC CONCRETE BLOCK BIRCH COLOR
4	RUSTIC CONCRETE BLOCK CHOCOLATE COLOR
5	STEEL
6	GLASS

DIRECTION:



REVISION:

EXPIRATION DATE:

PLAN:

ELEVATIONS PLAN

DATE:

7/27/2023

DRAWN BY:

F.G.M.

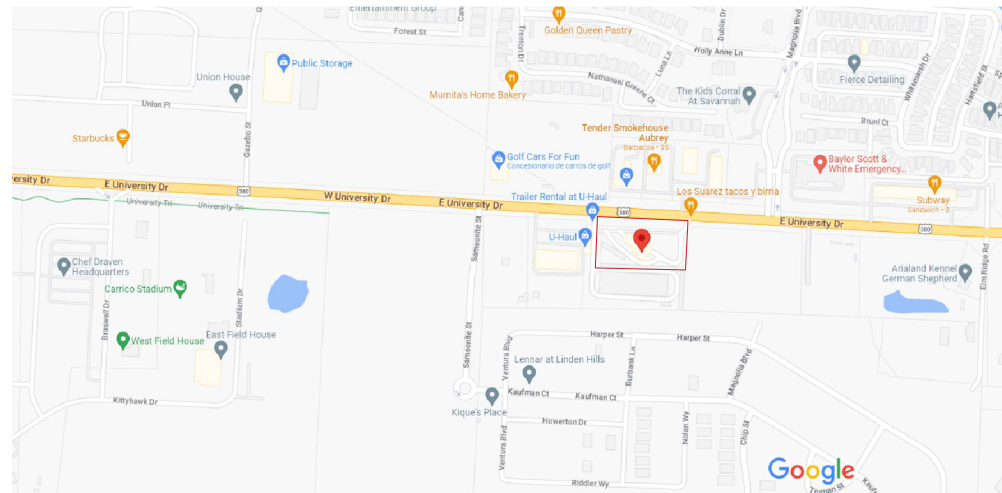
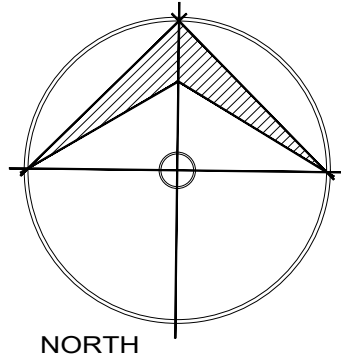
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SHEET 05 OF 08

## ELEVATIONS

SCALE: 1/8"=1'-0"

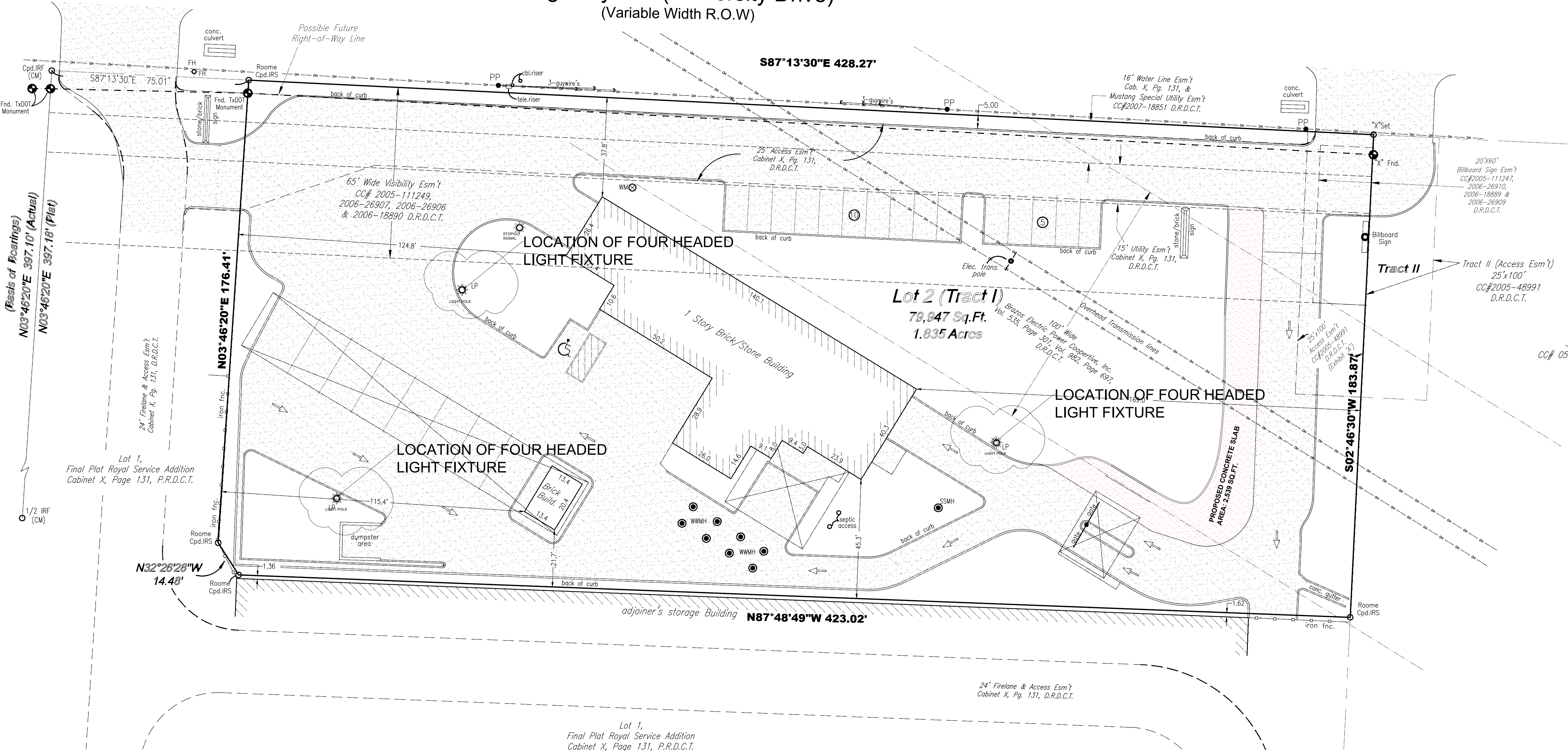


LEGEND	
CM CONTROLLING MONUMENT	CONCRETE
5/8" IRON ROD FOUND	WOOD
"X" FOUND IN CONCRETE	COVERED CARPORT, PORCH, DECK, ETC
POINT FOR CORNER	OHT OVERHEAD TELEPHONE
FIBER OPTIC PEDESTAL	OHP OVERHEAD ELECTRIC
POWER POLE	PIPE FENCE
A/C AIR CONDITIONING	METAL FENCE
WATER METER	WOOD FENCE
TELE. MANHOLE	SANITARY SEWER MANHOLE
TELE. VAULT	STORM DRAIN MANHOLE
VACUUM	HANDICAP PARKING
L.P. LIGHT POLE	ELECTRIC BOX
UNDERGROUND ELECTRIC	CLEANOUT
F.H. FIRE HYDRANT	TELEPHONE PEDESTAL
GAS METER	CABLE PEDESTAL
WATER VALVE	ASPHALT PAVING
BOLLARD	GRAVEL/ROCK
SIGN	ROAD OR DRIVE



VICINITY MAP FOR REFERENCE ONLY

U.S. Highway 380 (University Drive)  
(Variable Width R.O.W)



NOTES:

- ALL LIGHTING LUMINAIRES SHALL USE LED LAMPS.
- FIXTURES, POLES, BASES AND APPURTENANCES SHALL BE BLACK IN COLOR.
- MATCHING POLE-MOUNTED BANNER ARMS MAY BE REQUIRED ON ANY FIXTURE DEPENDING ON LOCATION.

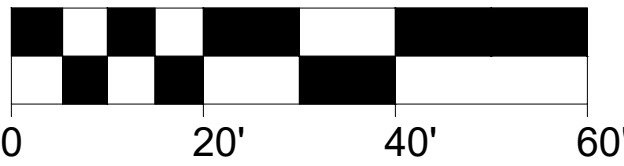
TITLE LIGHTNING  
ROYAL SERVICE ADDITION  
LOT 2 (TRACT I)

JOSE GONZALES SURVEY, ABSTRACT No. 447  
26780 U.S. HIGHWAY 380 TOWN OF LITTLE ELM,  
DENTON COUNTY, TEXAS  
SEPTEMBER 29, 2017

LIGHTING SITE PLAN

SCALE: 1" = 20'

GRAPHIC SCALE: 1 INCH = 20 FEET



PROJECT:  
COMMERCIAL  
FLATWORK ADDITION

OWNER: JOHN PAPPAS

LOCATION:  
26780 US-380 HWY.  
LITTLE ELM, TEXAS 75068



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ENGINEERING GENERAL NOTES

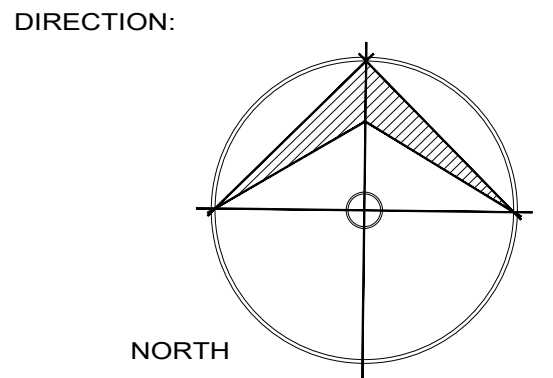
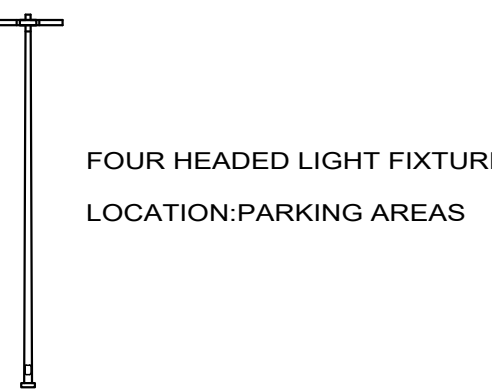
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SYMBOLOLOGY



REVISION:

EXPIRATION DATE:

PLAN:

LIGHTNING PLAN

DATE:

07/27/2023

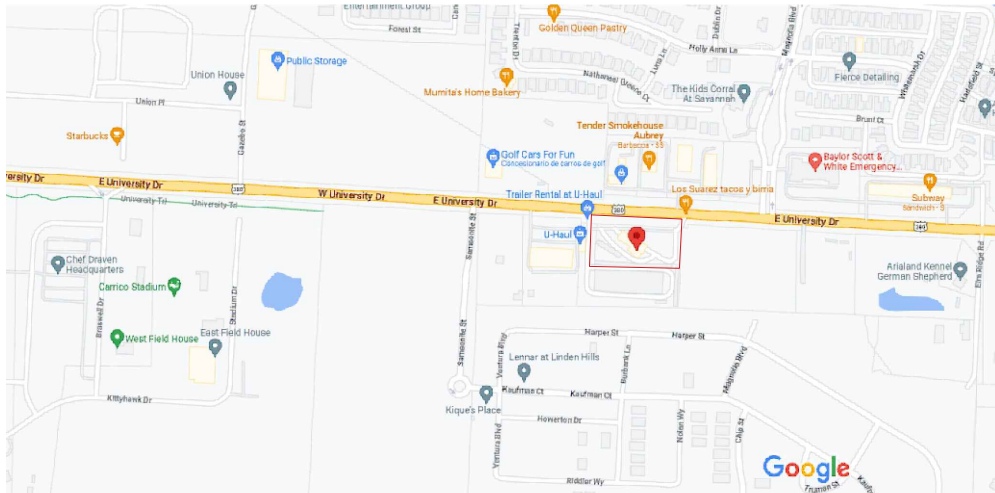
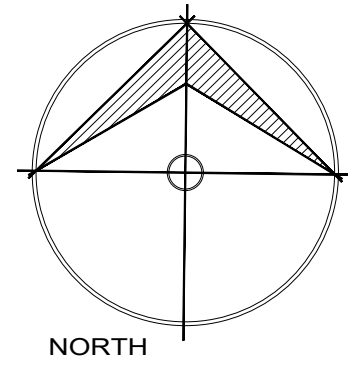
DRAWN BY:

F.G.M.

L1

SHEET 06 OF 08





VICINITY MAP FOR REFERENCE ONLY

PROJECT:  
**COMMERCIAL  
FLATWORK ADDITION**

OWNER:  
**JOHN PAPPAS**

LOCATION:  
**26780 US-380 HWY.  
LITTLE ELM, TEXAS 75068**



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3300 ELM ST. #250, Dallas Texas, 75226  
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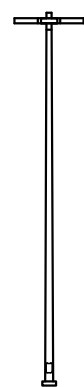
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2- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL LOCAL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.  
3- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECTS SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

**CONTRACTOR NOTES**

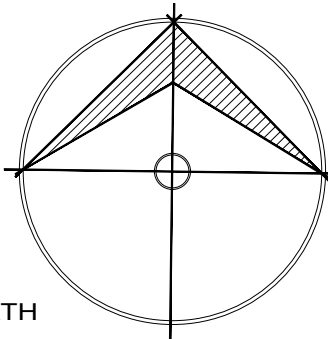
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**SYMBOLOLOGY**



**FOUR HEADED LIGHT FIXTURE  
LOCATION-PARKING AREAS**

**DIRECTION:**



**CORRECTION:**

NO.	DATE	COMMENTS

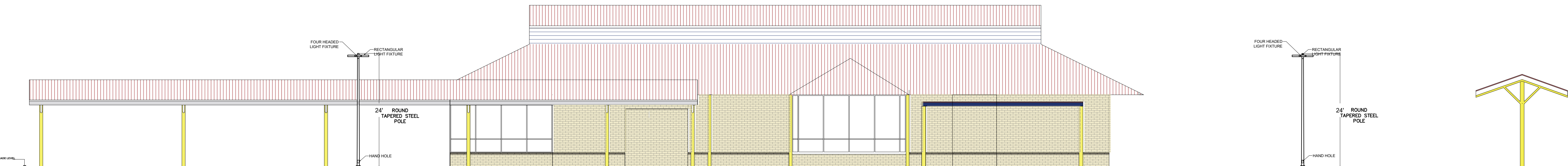
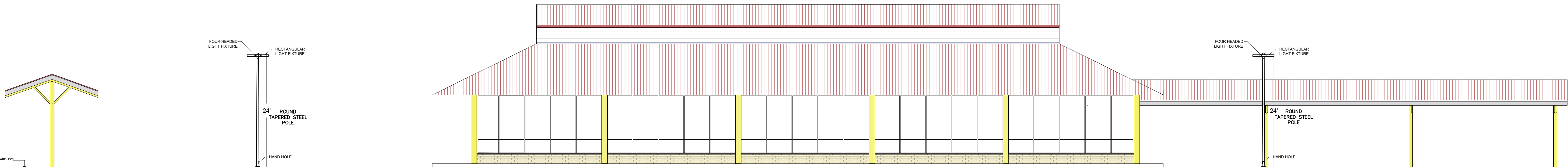
**EXPIRATION DATE:**

**PLAN:**

**LIGHTNING PLAN**

DATE:  
**07/27/2023**  
DRAWN BY:  
**F.G.M.**

**L1.1**  
SHEET **07** OF **08**



**NOTES:**

- ALL LIGHTING LUMINAIRES SHALL USE LED LAMPS.
- FIXTURES, POLES, BASES AND APPURTENANCES SHALL BE BLACK IN COLOR.
- MATCHING POLE-MOUNTED BANNER ARMS MAY BE REQUIRED ON ANY FIXTURE DEPENDING ON LOCATION.

**LIGHTNING PLAN**  
SCALE: 3/32"=1'-0"

**TITLE LIGHTNING  
ROYAL SERVICE ADDITION  
LOT 2 (TRACT I)  
JOSE GONZALES SURVEY, ABSTRACT No. 447  
26780 U.S. HIGHWAY 380 TOWN OF LITTLE ELM,  
DENTON COUNTY, TEXAS  
SEPTEMBER 29,2017**

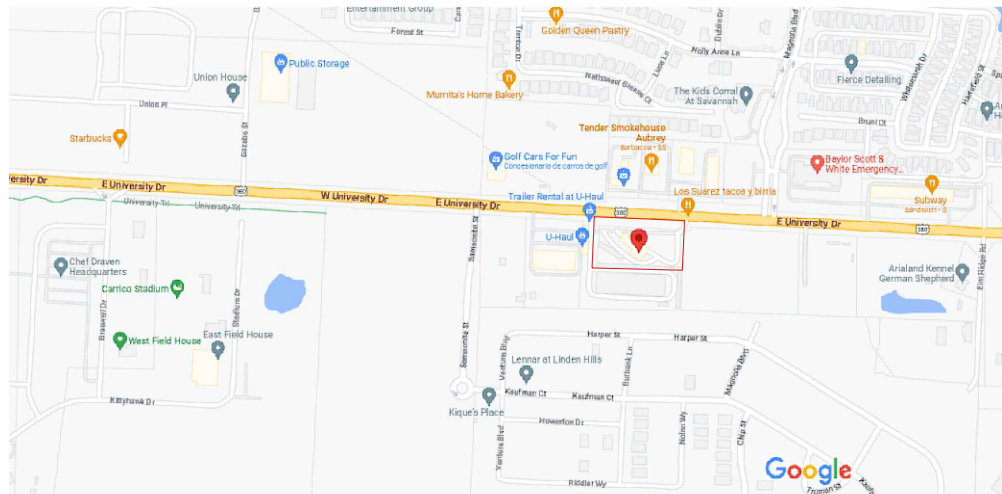
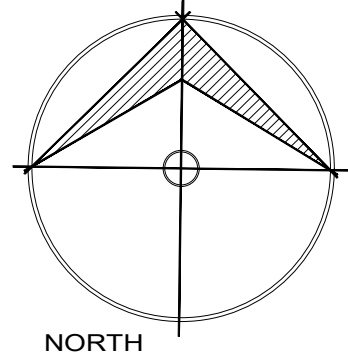
LIGHTNING PLAN

SCALE: 1/8"=1'-0"

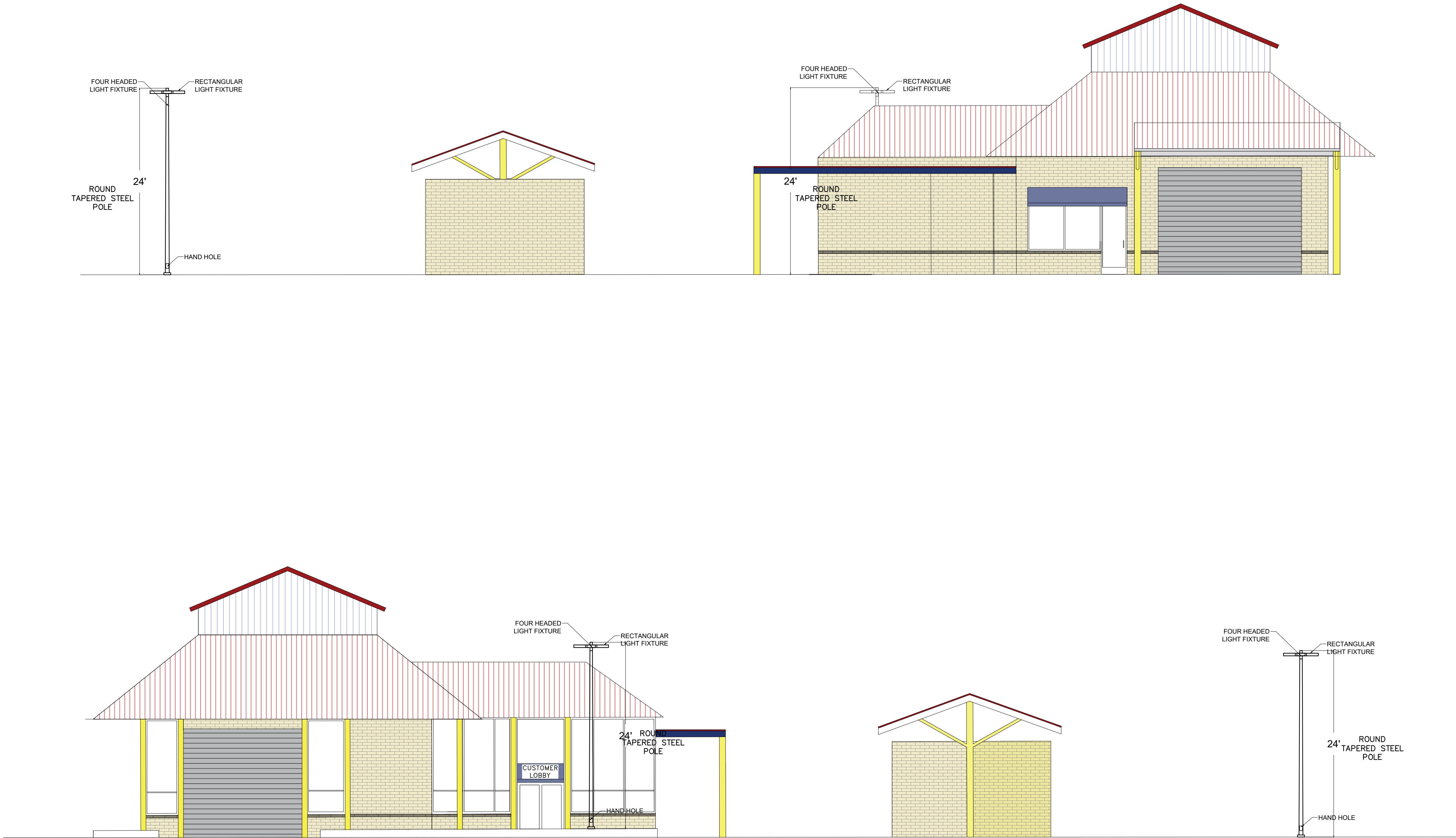
NOTES:

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- FIXTURES, POLES, BASES AND APPURTENANCES SHALL BE BLACK IN COLOR.
- MATCHING POLE-MOUNTED BANNER ARMS MAY BE REQUIRED ON ANY FIXTURE DEPENDING ON LOCATION.

TITLE LIGHTNING  
ROYAL SERVICE ADDITION  
LOT 2 (TRACT I)  
JOSE GONZALES SURVEY, ABSTRACT No. 447  
26780 U.S. HIGHWAY 380 TOWN OF LITTLE ELM,  
DENTON COUNTY, TEXAS  
SEPTEMBER 29,2017



VICINITY MAP FOR REFERENCE ONLY



PROJECT:  
COMMERCIAL  
FLATWORK ADDITION

OWNER: JOHN PAPPAS

LOCATION:

26780 US-380 HWY.  
LITTLE ELM, TEXAS 75068



Gamma Group, Design & Construction LLC  
3309 ELM ST. #250, Dallas Texas, 75226  
www.gammagroup-usa.com  
gamma\_fedi@hotmail.com  
(469)583-7174,(469)463-276, (214)272-8186

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NOTE:  
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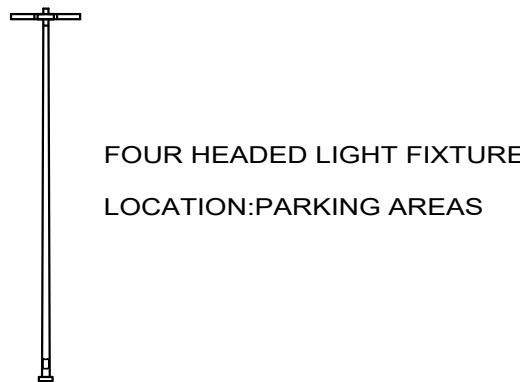
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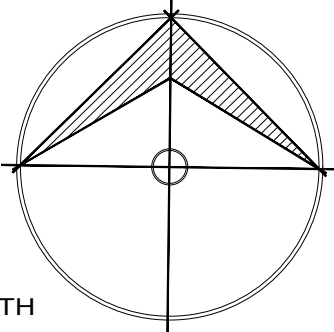
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SYMBOLLOGY



DIRECTION:



CORRECTION:

NO.	DATE	COMMENTS

EXPIRATION DATE:

PLAN:

LIGHTNING PLAN

DATE:

07/27/2023

DRAWN BY:

F.G.M.

L1.3

SHEET 08 OF 08





**Washguys Car Wash**

26780 US-380 Little Elm, TX 76227

Cameron Ray  
Washguys Car Wash  
26780 US-380  
Little Elm, TX 76227  
2-20-24

City of Little Elm Development Committee  
100 W. Eldorado Parkway  
Little Elm, TX 75068

Dear City of Little Elm Development Committee,

Subject: Proposal for Vacuum Canopy Post Coverings at Washguys Car Wash, Little Elm

I hope this letter finds you well. On behalf of Washguys Car Wash I am writing to outline and seek approval for any of the various vacuum post covering options that we are proposing for the addition of vacuum canopies on the northside of our property. Our goal is to enhance the aesthetic appeal and functionality of our facility while ensuring that the new additions harmonize with the existing structures and the surrounding environment.

We have evaluated several materials and designs for the vacuum post coverings, and we are presenting the following options for your consideration:

**Traditional Brick Coverings:** This option involves using bricks that are identical or very similar to those used in the current structure of our building. The traditional brick covering aims to ensure a seamless integration with the existing architecture, maintaining the established aesthetic and structural integrity.

**Painted Traditional Brick:** As an alternative to the natural brick look, we are considering painting the traditional brick coverings to match the exact color scheme of the existing building. This option allows for a uniform appearance across the property while still offering the durability and appeal of brick.

**Variety of Stone Options:** Recognizing the unique character and diversity of Little Elm, we are also proposing a range of stone coverings. These include but are not limited to limestone, sandstone, and slate. Each stone type has been selected for its durability, aesthetic appeal, and compatibility with the local environment. We believe that offering a variety of stone options allows for customization that can enhance the visual appeal of the area while respecting the natural beauty of Little Elm.

Our team has carefully considered the impact of these additions on the local community, environment, and the overall aesthetic of the area. We are committed to using high-quality materials that are environmentally friendly and sustainable. Moreover, we have ensured that all proposed options comply with the local zoning laws, building codes, and architectural guidelines.

Enclosed with this letter, you will find detailed images for each proposed covering option. We are eager to work closely with the City of Little Elm Development Committee to review these proposals and make any necessary adjustments to meet the city's standards and expectations.

We request the committee's feedback and approval to proceed with our planned enhancements. We believe that these upgrades will not only benefit Washguys Car Wash but also contribute positively to the visual and functional landscape of Little Elm.

Thank you for considering our proposal. We look forward to your guidance and approval to move forward with this project. Please do not hesitate to contact me directly at 972-214-8139 or [Cameron@Washguys.net](mailto:Cameron@Washguys.net) for further discussion or clarification on any of the proposed options.

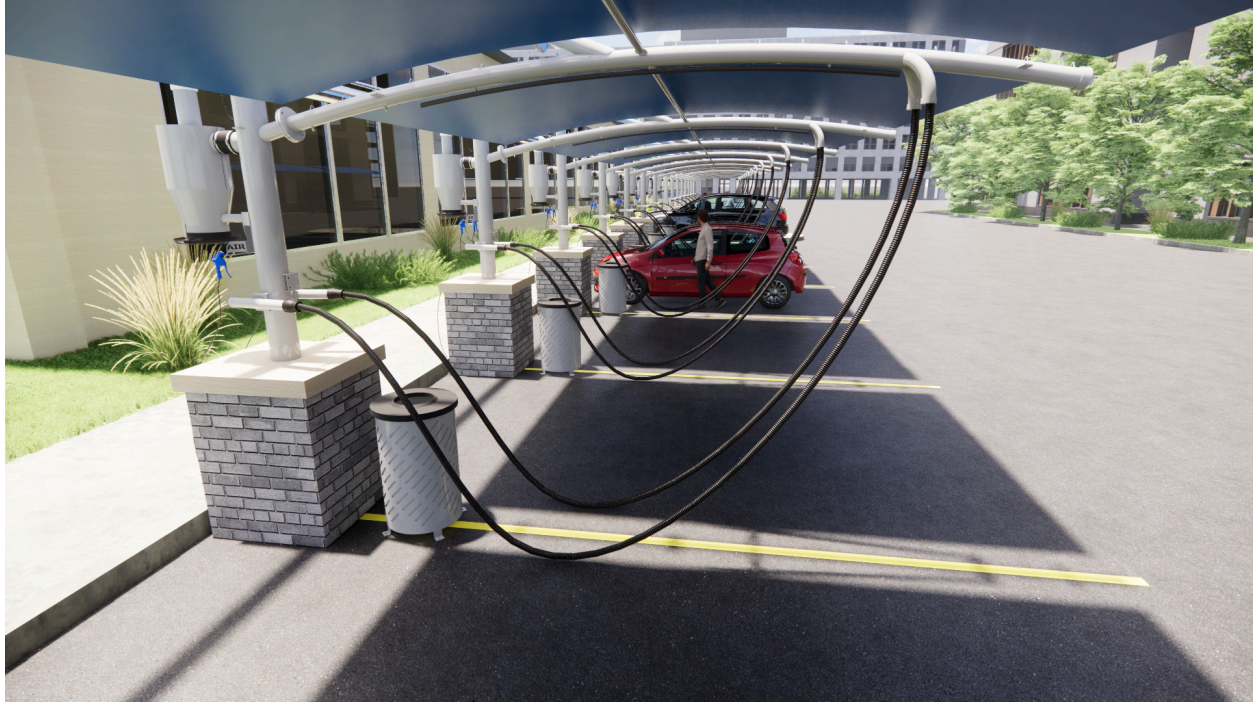
Warmest regards,

Cameron Ray  
Washguys Car Wash  
972-214-8139





















\*THIS DRAWING IS PRELIMINARY AND NOT TO BE USED FOR CONSTRUCTION\*

GENERAL NOTES

Preliminary Drawings:

Preliminary drawings may be provided with a quote to indicate the location of vacuum equipment, piping, and hoses. Drawings may be used in direct coordination with Architects' and Engineers' plans for city/AHJ/client approval. Accurate and complete site plans must be provided to ensure the quality of your vacuum area to coordinate issues such as vacuum parking space width/angle, traffic flow, and hose reach.

Drawings are preliminary until the final system order is signed by the client.

Changes made to a vacuum system without Vacutech's consultation voids all Vacutech responsibility as well as the system warranty.

INSTALLATION NOTES

Installation By Others:

Installation drawings are provided with each project. Most projects require 2 or more installers and a forklift. Buried pipe, footings and concrete equipment pad(s) should be completed before installing Vacutech systems. J-bolt template kits for footings for vacuum arches and stanchions are available for purchase from Vacutech. Refer to drawings for footing requirements. Changes to vacuum piping, vacuum equipment location, and vacuum equipment enclosure will effect the performance of your system. Changes made to a vacuum system without Vacutech's consultation voids all Vacutech responsibility and the system warranty.

Vacutech System Install:

Vacutech offers installation as an option when bidding a project.

Please note that the scope of Vacutech's installation only includes work above ground. Vacutech will install vacuum arches/stanchions to concrete footings, install vacuum piping and set vacuum equipment in place.

Vacutech does not dig trenches, auger footings, dig/backfill/bury pipe or conduit, or provide any work below grade.

Vacutech does not pour footings, install J-bolts, install concrete trenches with covers, pour concrete pads, or do concrete work of any kind. Vacutech does not do core drilling through building walls.

Vacutech does not wire lights, turbines, disconnects, VFDs , starters or any other electrical component. Vacutech does not pull wire through conduits. These items must be done by a Licensed Electrician.

WARRANTY NOTES

CHANGES MADE TO VACUUM SYSTEM WITHOUT VACUTECH CONSULTATION VOIDS ALL VACUTECH RESPONSIBILITY AND SYSTEM WARRANTY

Equipment warranty information:

(if applicable)  
When vacuum equipment is installed in an enclosure with 4 walls and a roof it must be ventilated. Enclosure door must be louvered and an exhaust fan with thermostat set at 85°f must be installed to turn over air every 15 min. Vacuum turbine must be exhausted outside with metallic pipe no smaller than 6" with exhaust pipe opening protected from elements. Equipment pad must be flat and level.

Variable frequency drive (VFD) warranty information:

(if applicable)  
VFDs must be wired from main distribution panel in separate conduit (sized per code; based on turbine H.P. and voltage) to each VFD and from each VFD to turbine motor.

A separate conduit, sized per code, must also be installed from VFD to vacuum pressure transducer installed on filter separator. If two (2) or more VFD's are installed in one (1) enclosure, a separate conduit must be installed for each VFD. Install separate conduit from enclosure to each turbine motor, and each filter separator if there is more than one (1).

PIPE NOTES

Piping systems above ground

Piping system shall be schedule 40 (or sch 80) solid core PVC or ABS plastic pipe, with plastic D.W.V. (drain, waste and vent) fittings. Zinc, aluminum, or galvanized tubing, with directional flow zinc fittings of no less than 16 gauge, designed specifically for central vacuum systems are also acceptable.

Buried piping systems cast iron no-hub

In-ground piping systems that are subject to ground freeze/thaw conditions or excessive movement shall be cast iron with no-hub fittings and no-hub couplings (w/ stainless steel band).

Buried piping systems PVC sch 40 (or sch 80)

In-ground piping systems using PVC pipe shall be sch 40 (or sch 80) solid core, with PVC D.W.V. (drain, waste, and vent) fittings. Plastic pipe installed in-ground have a potential of possible cracking and wear. All plastic pipe systems in-ground must be below freeze line.

System notes:

All interior surfaces shall be free of burrs and obstructions for a non-restrictive air flow. ABS and PVC piping shall be cut straight and removed of burrs. Piping shall be attached together using a primer, and a cement (clear PVC cement for PVC/ black abs cement for abs) for a 100% tight seal.

Overhead piping systems shall be supported by means of approved pipe hangers, and shall be installed at a maximum of six feet O.C. when using abs or PVC pipe and ten feet when using zinc or aluminum tubing. All fittings supporting vacuum drop/hose assemblies shall be supported with within one foot on each side of fitting connection.

Piping systems shall be tested to hold 10 psi for a minimum of 24 hours.

When vacuum system is installed in potentially explosive environment, the following may be required as a minimum: Explosion proof motor Class I - Group D & Class II - Group E, F & G. Aluminum piping with zinc fittings. Primary and filtered separators and hose assemblies require special grounding. Verify all conditions.

PVC and ABS plastic pipe are not U.V. rated and will discolor and soften/cause bowing when exposed to direct sunlight. It is recommended that all exposed plastic pipe and fittings be primed and painted to help prevent this. It is recommended to use zinc, or aluminum tubing and zinc fittings be used when exposed to sun.

Plastic pipe exposed to elements:

PVC pipe will become brittle at 40° f and can crack/split when moving debris collides with it, it is recommended to use cast iron, zinc, or aluminum tubing for colder conditions.

ADDITIONAL NOTES

VFD Systems:

Instructions for wiring VFD to Turbine and Filter Separator are available for your electrician. After wiring is complete, call our customer service to complete programming.

Arch Systems: How Awnings are ordered (Coolaroo/Weblon)

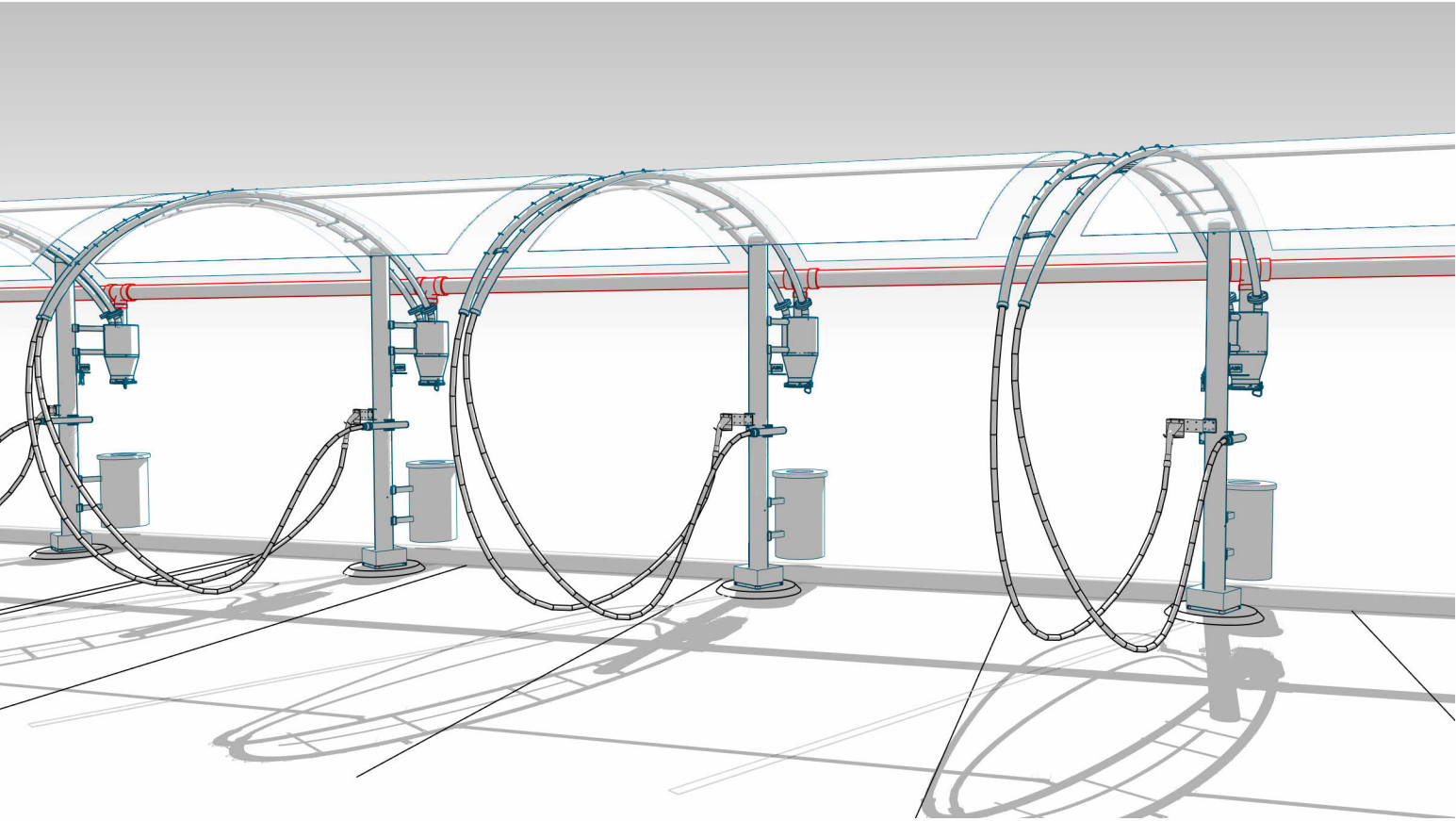
Step 1: Arches are to be completely installed on site.  
Step 2: After installation, Vacutech will send an awning measurement form to be filled out with instructions on how and where to measure. The awning form must be filled out entirely, signed, dated, and faxed or emailed to Vacutech for production.  
Step 3: Awnings are shipped to site w/ instructions.

Maintenance:

System longevity under continuous operation is extended by regular maintenance. Issues commonly result from failure to remove obstructions in the piping system, replace damaged or worn parts, or not regularly changing filter bags. Refer to Vacutech maintenance instructions

Assign a person to central vacuum maintenance:

To ensure continued trouble free central vacuum system operation and to avoid downtime during periods of heavy use, assign an employee to follow a strict maintenance schedule. Refer to Vacutech recommended maintenance schedule.



Elevation: 545' ASL

SHEET INDEX

NO.	NAME	REV.
V001	COVER SHEET	
V101	OVERALL SITE PLAN	
V111	VACUUM SITE PLAN - A	
V112	VACUUM SITE PLAN - B	
V121	VAC. SITE ISOMETRIC - A	
V122	VAC. SITE ISOMETRIC - B	

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1350 HI-TECH DRIVE  
SHERIDAN, WY 82801  
PHONE: (307) 675-1982  
EMAIL: vacinfo@ncswash.com  
WEB: www.vacutechllc.com

WASH GUYS 13

26780 US HIGHWAY 380  
LITTLE ELM, TEXAS 76227

#	Revision	By	Chk	Date

COVER SHEET

Project Number	111934
Date	4/18/22
Drawn By	ML
Checked By	TD

V001

4/18/2022 10:08:30 AM

CONSTRUCTION NOTES

GENERAL NOTES:

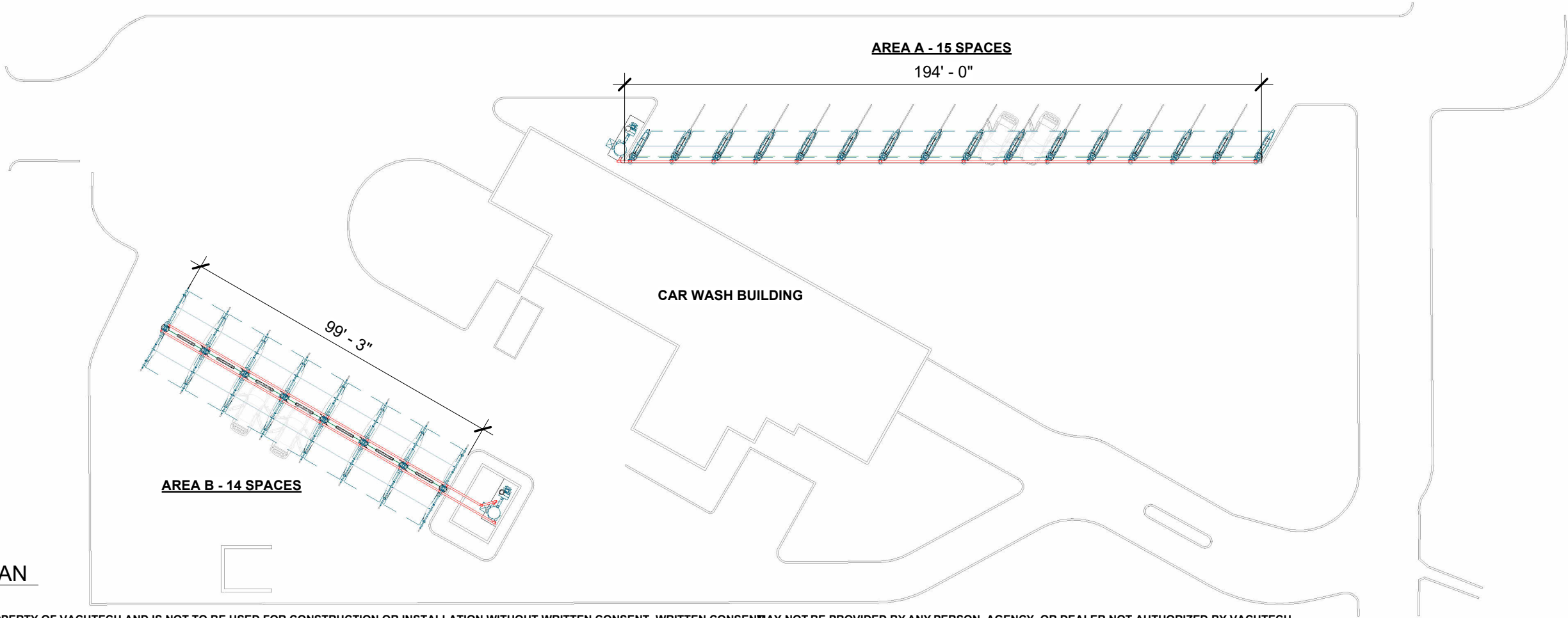
- a. ALL DIMENSIONS TO BE FIELD VERIFIED BY OWNER
- b. IF VACUUM EQUIPMENT IS ENCLOSED WITH ROOF/CEILING, REFER TO VENTILATION REQUIREMENTS UNDER EQUIPMENT WARRANTY INFORMATION
- c. PIER DESIGN AND REINFORCEMENT FOR CONCEPTUAL USE ONLY. CONSULT STRUCTURAL ENGINEER IN YOUR AREA FOR SPECIFIC DESIGN CRITERIA.
- d. COMPLY WITH ALL STATE/ COUNTY BUILDING CODES IN YOUR AREA

EQUIPMENT & MATERIAL:

- a. RUN COMPRESSED AIR TO AIR COMPRESSOR LOCATION (BY OTHERS)
- b. WALL PENETRATION: CORE DRILLING MAY BE REQUIRED FIELD VERIFY HEIGHT
- c. 14'Lx5'Wx4"H MINIMUM FLAT AND LEVEL CONCRETE FLOOR SPACE REQUIRED FOR VACUUM EQUIPMENT VERIFY SEPARATOR WILL FIT THROUGH DOOR (60" CLEAR OPENING WIDTH RECOMMENDED) - BOTH AREAS

VACUUM & PLUMBING:

- a. SUPPORT SCHEDULE 40 PVC OVERHEAD DRY/WET VACUUM PIPE EVERY 6' MAXIMUM; USE UNISTRUT & CLAMP OR OTHER SUPPORT (PROVIDED BY OTHERS)
- b. ALL FITTINGS TO BE 'DWV'



1 OVERALL SITE PLAN

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WASH GUYS 13

26780 US HIGHWAY 380  
LITTLE ELM, TEXAS 76227

#	Revision	By	Chk	Date

OVERALL SITE PLAN

Project Number	111934
Date	4/18/22
Drawn By	ML
Checked By	TD

V101



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VACUUM AREA A

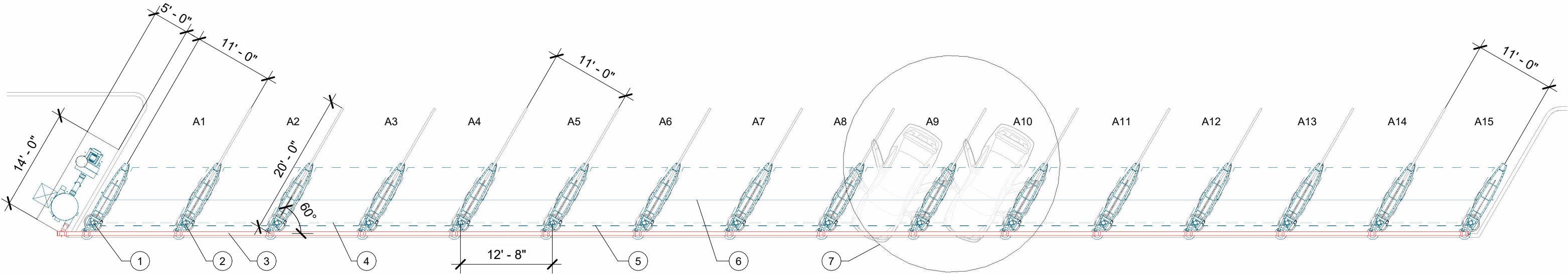
QTY	ITEM
2	SINGLE USER UMBRELLA ARCH
14	DUAL USER UMBRELLA ARCH
15	CLAW VACUUM TOOL & HOLDER
15	CREVICE VACUUM TOOL & HOLDER
15	CLAW TOOL EXTENSION BRACKET
30	1-1/2"x15' VACUUM HOSE
16	AIR NOZZLE & HOSE
16	AIR TOOL HANGER
16	30 GALLON WASTE RECEPTACLE
16	6' LED LIGHT
15	9' - 16'-6" ADJUSTABLE CROSSBAR
15	FABRIC AWNING

VACUUM EQUIPMENT A

QTY	ITEM
1	60HP T5 DIRECT DRIVE TURBINE
1	8" T5 OUTDOOR EXHAUST SILENCER
1	45x96 FILTER SEPARATOR

SITE PLAN - AREA A

ITEM	DESCRIPTION
1	SINGLE USER UMBRELLA ARCH AT ENDS OF VACUUM SPACES
2	DUAL USER UMBRELLA ARCH BETWEEN VACUUM SPACES
3	6" OVERHEAD ALUMINUM VACUUM TUBE BETWEEN ARCHES
4	BURIED COMPRESSED AIR LINE (BY OTHERS)
5	FABRIC AWNING
6	9' - 16'-6" ADJUSTABLE CROSSBAR
7	15' HOSE REACH



1 SITE PLAN - AREA A

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WASH GUYS 13

26780 US HIGHWAY 380  
LITTLE ELM, TEXAS 76227

#	Revision	By	Chk	Date

VACUUM SITE PLAN - A

Project Number	111934
Date	4/18/22
Drawn By	ML
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V111

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VACUUM AREA B

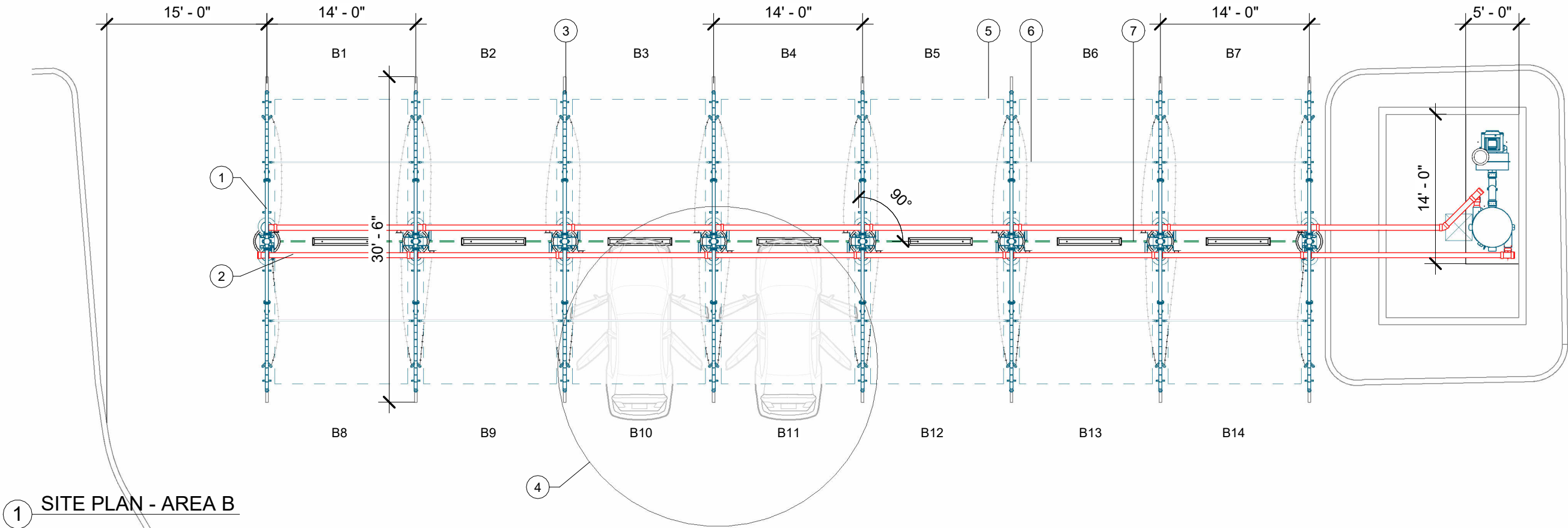
QTY	ITEM
2	SINGLE USER FULL PALM ARCH
6	DUAL USER FULL PALM ARCH
14	CLAW VACUUM TOOL & HOLDER
14	CREVICE VACUUM TOOL & HOLDER
4	FULL PALM CREVICE BRACKET SINGLE
12	FULL PALM U BRACKET
14	L-EXTENSION BRACKET
28	1-1/2"x15' VACUUM HOSE
16	AIR NOZZLE & HOSE
16	AIR TOOL HANGER
16	30 GALLON WASTE RECEPTACLE
16	8' LED LIGHT
14	9' - 16'-6" ADJUSTABLE CROSSBAR
14	FABRIC AWNING

VACUUM EQUIPMENT B

QTY	ITEM
1	60HP T5 DIRECT DRIVE TURBINE
1	8" T5 INDOOR EXHAUST SILENCER
1	45x96 FILTER SEPARATOR

SITE PLAN - AREA B

ITEM	DESCRIPTION
1	SINGLE USER FULL PALM ARCH AT ENDS OF VACUUM SPACES
2	6" OVERHEAD ALUMINUM VACUUM TUBE BETWEEN ARCHES
3	DUAL USER FULL PALM ARCH BETWEEN VACUUM SPACES
4	15' HOSE REACH
5	FABRIC AWNING
6	9' - 16'-6" ADJUSTABLE CROSSBAR
7	BURIED COMPRESSED AIR LINE (BY OTHERS)



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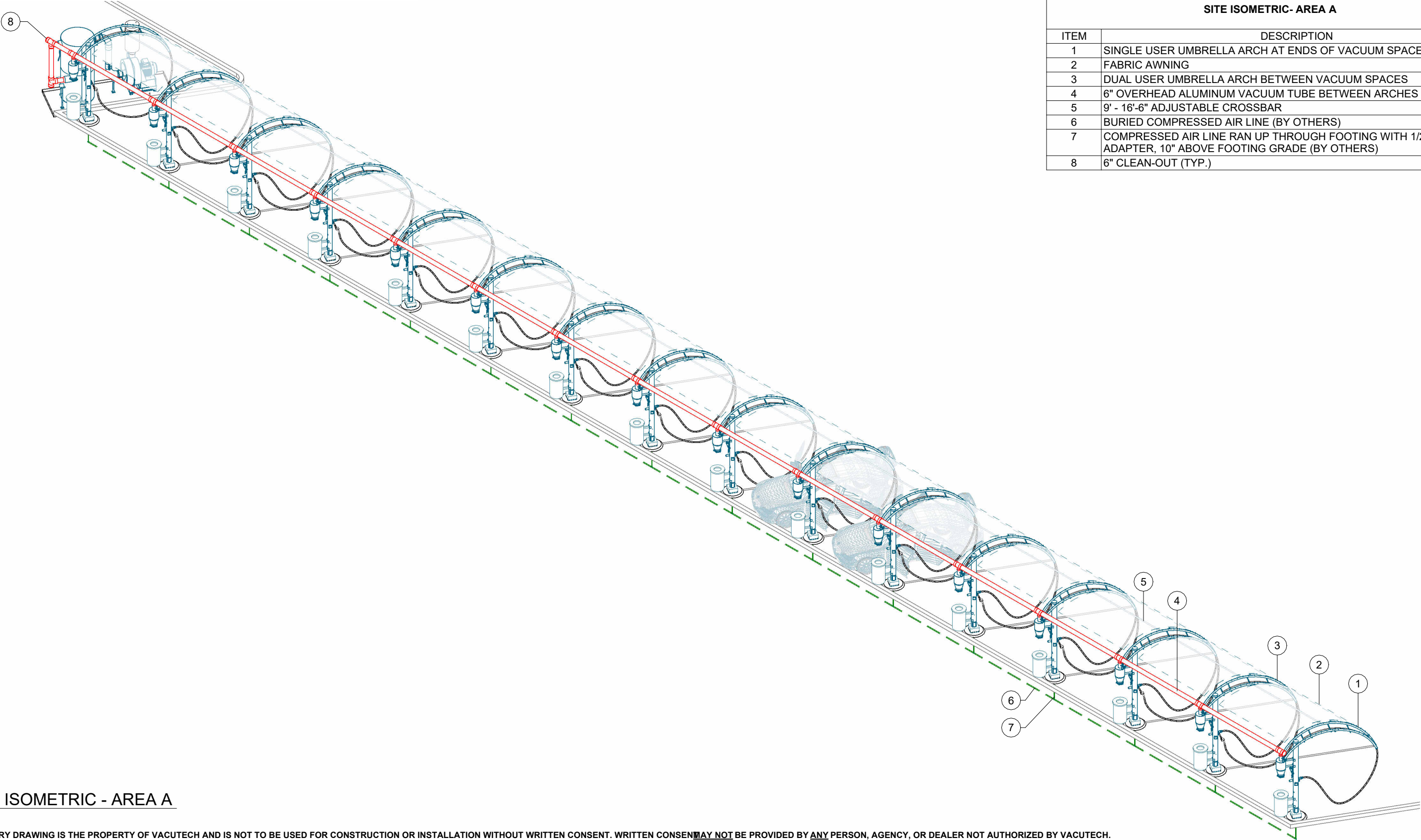
#	Revision	By	Chk	Date

VACUUM SITE PLAN - B

Project Number	111934
Date	4/18/22
Drawn By	ML
Checked By	TD

V112

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SITE ISOMETRIC- AREA A	
ITEM	DESCRIPTION
1	SINGLE USER UMBRELLA ARCH AT ENDS OF VACUUM SPACES
2	FABRIC AWNING
3	DUAL USER UMBRELLA ARCH BETWEEN VACUUM SPACES
4	6" OVERHEAD ALUMINUM VACUUM TUBE BETWEEN ARCHES
5	9' - 16'-6" ADJUSTABLE CROSSBAR
6	BURIED COMPRESSED AIR LINE (BY OTHERS)
7	COMPRESSED AIR LINE RAN UP THROUGH FOOTING WITH 1/2" FIPT ADAPTER, 10" ABOVE FOOTING GRADE (BY OTHERS)
8	6" CLEAN-OUT (TYP.)

1 SITE ISOMETRIC - AREA A

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#	Revision	By	Chk	Date

VAC. SITE ISOMETRIC - A

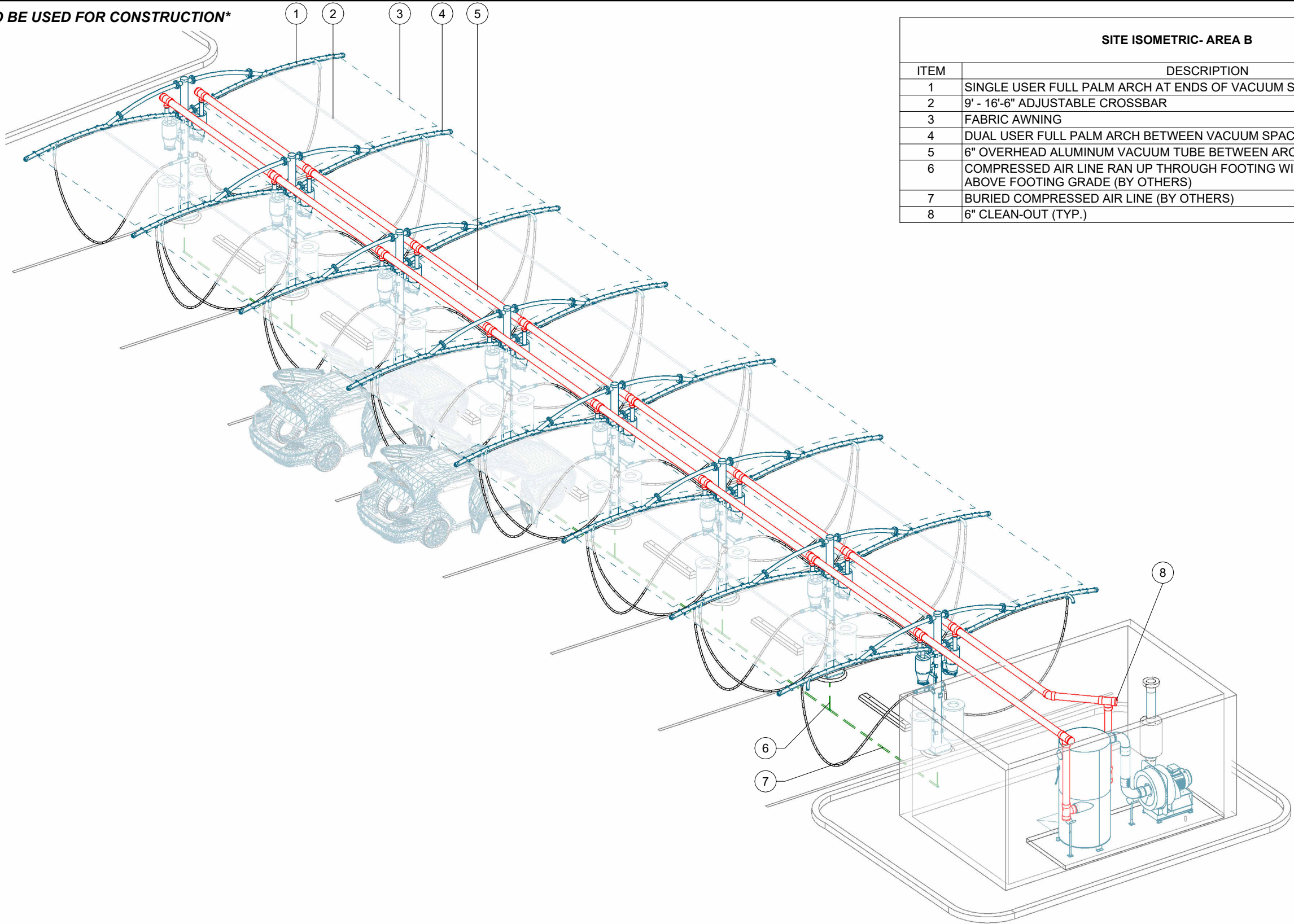
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Drawn By	ML
Checked By	TD

V121

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SITE ISOMETRIC- AREA B	
ITEM	DESCRIPTION
1	SINGLE USER FULL PALM ARCH AT ENDS OF VACUUM SPACES
2	9' - 16'-6" ADJUSTABLE CROSSBAR
3	FABRIC AWNING
4	DUAL USER FULL PALM ARCH BETWEEN VACUUM SPACES
5	6" OVERHEAD ALUMINUM VACUUM TUBE BETWEEN ARCHES
6	COMPRESSED AIR LINE RAN UP THROUGH FOOTING WITH 1/2" FIPT ADAPTER, 10" ABOVE FOOTING GRADE (BY OTHERS)
7	BURIED COMPRESSED AIR LINE (BY OTHERS)
8	6" CLEAN-OUT (TYP.)

1 SITE ISOMETRIC - AREA B

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#	Revision	By	Chk	Date

VAC. SITE ISOMETRIC - B

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