

**TOWN OF LITTLE ELM
ORDINANCE NO. 1762**

AN ORDINANCE OF THE TOWN OF LITTLE ELM, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE, BY AMENDING THE ZONING FROM PLANNED DEVELOPMENT - LAKEFRONT DISTRICT (PD-LF), THROUGH ORDINANCE NO. 1752, IN ORDER TO ESTABLISH MODIFIED DEVELOPMENT STANDARDS FOR A PORTION OF THE CONCEPT PLAN AREA AND APPROVE DEVELOPMENT PLANS FOR A 25-TOWN HOME DEVELOPMENT ON 4.9 ACRES OF LAND GENERALLY LOCATED ON THE NORTH SIDE OF MAIN STREET AT EAST PARK DRIVE; PROVIDING A SAVINGS CLAUSE; CORRECTING THE OFFICIAL ZONING MAP; PROVIDING A PENALTY; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEALER CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Town of Little Elm ("Town") is a home rule municipal corporation organized and existing by virtue of the Constitution and laws of the State of Texas and by its Charter adopted on May 1, 2001; and

WHEREAS, the Town possesses all the rights, powers, and authorities possessed by all home rule municipalities, including the authority to regulate land uses under Chapter 211 of the Texas Local Government Code; and

WHEREAS, a request to establish modified development standards and approve development plans on approximately 4.9 acres of land, more specifically described in the exhibits, attached hereto; and

WHEREAS, this zoning change is in accordance with the most current adopted Comprehensive Plan of the Town of Little Elm; and

WHEREAS, the Town Council and the Planning & Zoning Commission of the Town of Little Elm, in compliance with the laws of the State of Texas and the ordinances of the Town of Little Elm, have given the required notices and held the required public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area and in the vicinity thereof regarding the requested zoning change described herein; and

WHEREAS, at its regular meeting held on May 16, 2024 the Planning & Zoning

Commission considered and made recommendations on a request to amend existing Planned Development-Lakefront (PD-LF), Case No. PD-23-004665; and

WHEREAS, after due deliberations and consideration of the recommendation of the Planning & Zoning Commission and any other information and materials received at the public hearing, the Town Council of the Town of Little Elm, Texas, has determined that the request is in the interest of public health, safety and welfare of the citizens of the Town of Little Elm.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF LITTLE ELM, TEXAS:

SECTION 1. INCORPORATION OF PREMISES. The above and foregoing premises are true and correct and are incorporated herein and made a part hereof for all purposes.

SECTION 2. ZONING AMENDMENT That Ordinance No. 226 of the Town of Little Elm, Texas, the same being the Comprehensive Zoning Ordinance of the Town, is hereby amended by amending Planned Development-Lakefront (PD-LF), through Ordinance No. 1752, establishing modified development standards for a portion of the concept plan area and approving development plans for a 25-town home development, generally located on the north side of Main Street at East Park Drive, within Little Elm Town limits, approximately 4.9 acres of land more particularly described as **Exhibit A**, and attached hereto, subject to all of the terms and conditions set forth herein, the terms and conditions of the Comprehensive Zoning Ordinance, and all other applicable ordinances, laws, rules, regulations, and standards.

SECTION 3. CONDITIONS AND REGULATIONS. The permitted uses and standards shall be in accordance with PD-LF District through Ordinance No. 1752, unless otherwise specified herein:

- a) The Zoning and Land Use Regulations, and all conditions set forth in **Exhibit B** attached hereto and made a part hereof for all purposes shall be adhered to in their entirety for the purposes of this Planned Development-Lakefront (PD-LF) amendment. In the event of conflict between the provisions of **Exhibit B** and provisions of any other exhibit, the provisions of **Exhibit B** control.

SECTION 4. PLANNED DEVELOPMENT MASTER PLAN The Concept Plan Exhibit and related plans, images, and documents approved and described as **Exhibit C** attached hereto and made a part hereof are approved. The subject property shall be improved in accordance with the plans set forth in **Exhibit C**.

- a) If, after two years from the date of approval of the Planned Development Master

Plan, no substantial development progress has been made within the PD, then the Planned Development Master Plan shall expire. If the Planned Development Master Plan expires, a new Planned Development Master Plan must be submitted and approved according to the procedures within the Zoning Ordinance, Planned Development Districts. An extension of the two year expiration shall be granted if a development application for the PD has been submitted and is undergoing the development review process or if the Director of Development Services determines development progress is occurring.

- b) The Planned Development Master Plan shall control the use and development of the property, and all building permits and development requests shall be in accordance with the plan until it is amended by the City Council.
- c) If a change to the Concept Plan, if any, is requested, the request shall be processed in accordance with the development standards in effect at the time the change is requested for the proposed development.

SECTION 5. SAVINGS. This Ordinance shall be cumulative of all other ordinances of the Town, and shall not repeal any of the provisions of those ordinances except in those instances where the provisions of those ordinances are indirect conflict with the provisions of this Ordinance; provided, however, that any complaint, notice, action, cause of action, or claim which prior to the effective date of this Ordinance has been initiated or has arisen under or pursuant to such other ordinance(s) shall continue to be governed by the provisions of that ordinance or those ordinances, and for that purpose that ordinance or those ordinances shall be deemed to remain and shall continue in full force and effect.

SECTION 5. ZONING MAP. The official zoning map of the Town shall be amended to reflect the changes in zoning made by this ordinance.

SECTION 6. PENALTY. Any person, firm, or corporation violating any of the provision of this ordinance shall be punished by a penalty of a fine not to exceed the sum of Two Thousand Dollars (\$2,000) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 7. SEVERABILITY. The sections, paragraphs, sentences , phrases, and words of this Ordinance are severable, and if any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid or unconstitutional, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any person, firm, corporation, situation or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance of the Town of Little Elm, Texas, and the Town Council hereby declares that it would have adopted the valid portions and applications of the ordinance without the valid parts and

to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 8. REPEALER. That all ordinances of the Town of Little Elm in conflict with the provisions of this ordinance be and the same are hereby repealed to the extent of that conflict.

SECTION 9. EFFECTIVE DATE. That this Ordinance shall take effect immediately upon its adoption and publication in accordance with and as provided by law and the Town Charter.

PASSED AND APPROVED by the Town Council of the Town of Little Elm, Texas on the 18th day of June, 2024.

Town of Little Elm, Texas

Curtis Cornelious, Mayor

ATTEST:

Caitlan Biggs, Town Secretary

EXHIBIT A

Property Description – Overall Subject Area

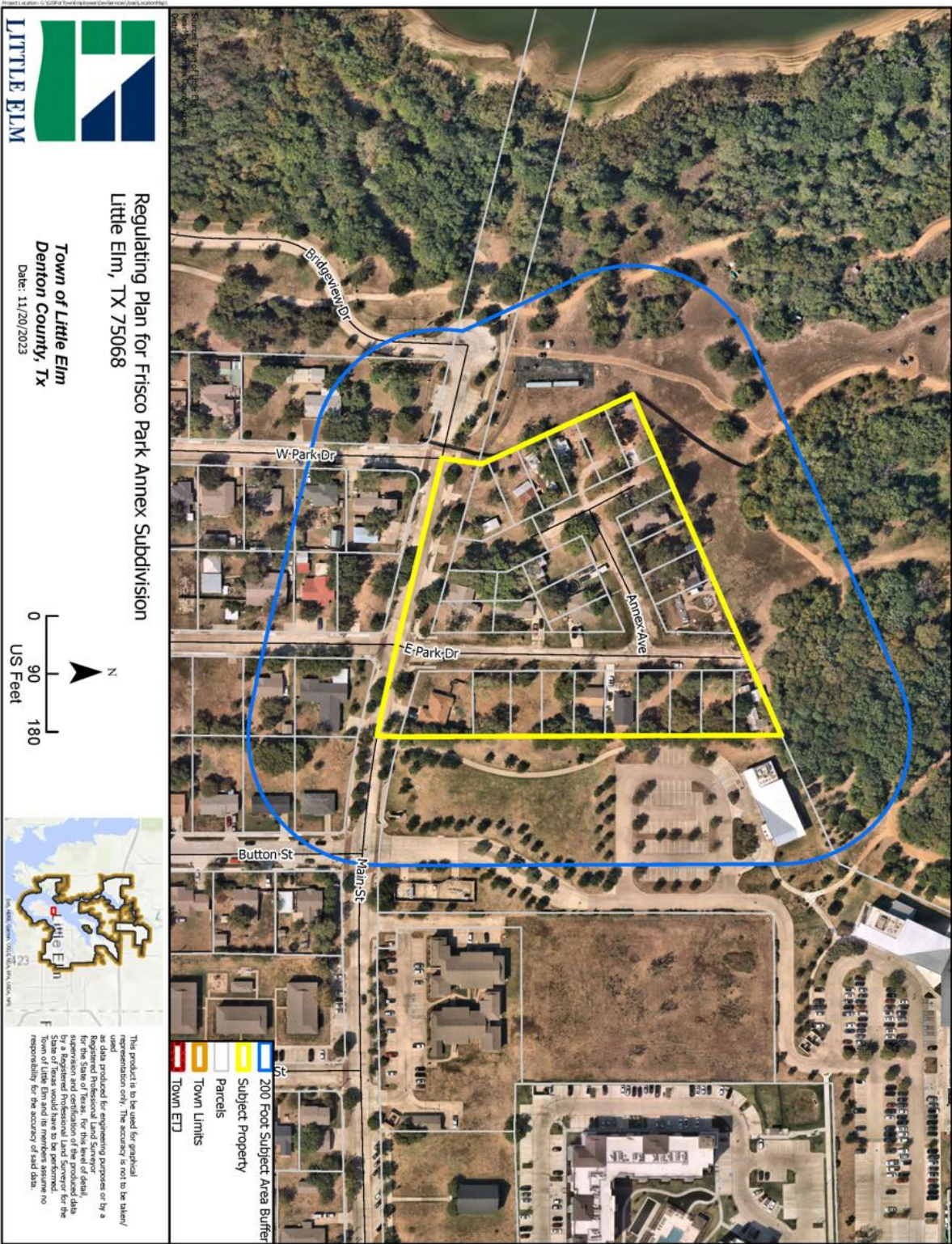


EXHIBIT A

Property Description – Phase 1 Property

Being Lots 14, 15, 16, 17, 18, 19, 20, 21, 22, and 28, of FRISCO PARK ANNEX, an addition to the Town of Little Elm, according to the Plat thereof recorded in Volume 2, Page 160, Plat Records, Denton County, Texas.



Exhibit B
PD Standards

FRISCO PARK ANNEX SUBDIVISION - TOWNHOMES PLANNED DEVELOPMENT DISTRICT

This zoning submittal is an amendment to the existing Planned Development - Lakefront District ("PD-LF") through Ordinance No. 1752, which encompasses approximately 4.9 acres of land within the Town of Little Elm. This amendment establishes additional criteria for the overall area, and establishes modified development standards specific to a 1.61-acre Phase 1 of redevelopment, more fully described and attached as Exhibit A (the "Property"). Phase 1 consists of a new owner-occupied townhome development, establishing six buildings and a total of 25, three-bedroom, townhome units. This development shall align with the goals of previously envisioned PD-LF district for cohesive, high-quality redevelopment that enhances the natural characteristics of the property, and provides the highest and best use based on its location within the Lakefront District. This amendment to the existing PD-LF will provide the zoning regulations as depicted in Exhibit B, specific to the 1.61-acre Property. The final layout must generally conform with Exhibit C, and the concept plan as previously approved through ordinance No. 1752.

It is the intent of this PD-LF to primarily follow the Lakefront District (LF) zoning regulations as the base district, with modified development standards as outlined within Exhibit B, therefore amending the existing Town of Little Elm, Texas zoning map. Any conflict between this PD-LF and the Zoning Ordinance shall be resolved in favor of the regulations set forth in the PD-LF, or as may be ascertained through the intent of this PD-LF. As used herein, "Zoning Ordinance" means the comprehensive zoning of the Town of Little Elm, Texas, in effect on the effective date of this Agreement, except otherwise defined in this Agreement. Uses and development regulations specifically modified, designated or included in this PD-LF shall not be subject to amendment after the date of the adoption of this PD-LF (the "Effective Date") (whether through the amendment of the Zoning Ordinance or otherwise), except through an amendment of this PD-LF. Uses and development regulations which otherwise are not specifically modified, designated, or included in this PD-LF shall be controlled by the "Zoning Ordinance", as it may be amended unless context provides to the contrary.

CONCEPT PLAN REQUIRED

The Concept Plan attached hereto as Exhibit C, and incorporated herein by reference, regulates the general layout of townhome development, required amenities, and private street layout. An amendment to a concept plan approved as a part of an ordinance establishing a planned development district is a change in zoning district classification and must follow the same procedures set forth in Section 106.04.03, except the Director may approve minor revisions which do not alter the basic relationship of the proposed development, and align with the visions, goals, and intent of the Lakefront District and Ordinance No. 1752.

As used herein, "Director" means the Director of Development Services.

EXHIBIT B

Development Standards

Except as otherwise set forth in these development standards, the development of this area shall follow the regulation of the Town Little Elm's Zoning Ordinance and the Subdivision Ordinance, as they exist, or may be amended, at the time of development.

Generally. The 4.9 acres of land shall be generally improved in accordance with the Regulating Concept Plan and Design Vision documents forth in Exhibit B of Ordinance 1752, providing conceptual framework and architectural design options for townhome development. Development standards shall be in accordance with the Lakefront District (LF) and the Zoning Ordinance in general.

Amenities. Open Space and Amenity Center shall be provided generally as shown in the Regulating Concept Plan.

Open Space shall be amenitized per approval of the Director; including, but not limited to, landscaping, trail, covered seating, and either sculpture, water feature, or barbeque grills. Open Space could alternatively be a private dog park with landscaping and amenities appropriate for such use. Open Space landscaping shall follow the typical Townhome District requirement of a minimum of three large canopy trees and six small ornamental trees for every 1,600 square feet of open space area.

Amenity Center shall be constructed to match the materials and design of the townhomes, per the intent of the adopted design guide, and shall provide meeting space/event club house and an outdoor pool with landscaping, per approval of the Director. Additional or alternative amenity options are subject to approval of the Director, and must be supported by the HOA.

Open Space and Amenity Center, whichever is most relevant based on location of development at that time, shall be provided in concurrence to the issuance of a building permit for building containing the units that add up to 45 of the total 66 possible townhome units. The second amenity shall be provided prior to the issuance of a building permit for the building containing the last of the 66 units.

GENERAL CONDITIONS FOR PHASE 1 “PROPERTY”

1. Use Regulations

- a. No building, structure, land or premises will be used, and no building or structure shall hereafter be erected, constructed, reconstructed, or altered, except for one or more of the uses specified herein as depicted on the concept site plan attached as Exhibit C.
 - i. Maximum of 25 owner-occupied townhomes

2. Area and Height Regulations

- a. Lot regulations shall be in accordance with the Zoning and Subdivision Ordinance, unless otherwise specified in the Regulating Concept Plan and herein.
 - i. Phase 1 will remain as one lot with a maximum of 25 dwellings units platted through a condo plat to provide for individual townhome ownership, and establish an HOA for the maintenance of private streets and common areas.
 - ii. The minimum setbacks are established as follow:

Front yard building setback from Main Street:	10 feet
Rear yard building setback from Army Corps of Engineers land:	10 feet
Side yard building setback on the east and west:	5 feet
Building separation:	20 feet
- b. Maximum Height is 45 feet, with only the buildings facing the existing Army Corps of Engineers land with possible additional 2 feet at the peak of the middle townhome unit.

3. Front Door Entry

- a. The front door entry shall be located a minimum of 6 inches above the sidewalk elevation and include a minimum 50 square foot stoop.
- b. If pre-empted by topographic conditions, the entry may be lowered in elevation, subject to approval of the Director.
- c. There shall be a landscaped area separating the private area from the public/private sidewalk area.
- d. Up to 50 percent of units may be ADA accessible from the sidewalk.

4. Architectural Standards

- a. Architectural standards shall be in accordance with the Zoning Ordinance, Section 106.04.02 - Lakefront District and Section 106.06.04 Architectural Standards for Townhomes, unless otherwise specified in the Façade Plans, referenced in Exhibit C, and provided herein.
 - i. Buildings must be developed per approved Facades Plans.
 - ii. Townhomes shall be finished with a minimum of 60% Category A (masonry) materials on the first floor and 50% on all other floors. The remaining percentage on each floor should be Category B materials, with Category C materials allowed as accents not to exceed 10%.
 - iii. Garage doors and front entry doors visible from the right-of-way, or a private street, shall consist of stained cedar, redwood, spruce, fir or other hardwood, or other products, including products that are not wood but have a wood appearance and approved by the Director.
 - iv. Mailboxes must be grouped. Exterior of the structure shall be masonry to match the primary buildings, the roof made of metal materials, located on a common lot and maintained by the HOA.
 - v. Outside of designated trash pickup times, trash receptacles shall be stored inside, out of view from any private or public street.

5. Landscaping Standards

- a. All provisions within Article VI. Division 2. Landscaping and Tree Preservation shall be met, as it exists or may be amended in accordance with the standards in effect at the time of development, or requested change, unless otherwise shown on the Landscape Plans attached hereto as Exhibit C.
 - i. Front Yard Landscape Zones
Zone 1. The intent of this zone is met through provision of sidewalks and street trees.
Zone 2. A minimum five-foot-wide clear sidewalk.
Zone 3. A minimum five-foot landscape area adjacent to the building.
 - ii. Rear Entries shall be provided with adequate landscaping and maintain a clear path to the door.
 - iii. Tree mitigation shall be met by the provision of trees over the required amount, provision of 6-inch caliper trees, and enhanced shrub heights, as shown within Exhibit C.

Total number of trees and shrubs, as shown in Exhibit C, must be planted on-site; if any conflict arises due to circumstances outside of the developer's control, trees may be relocated within proximity of original location, but must be planted within the boundaries of the subject 4.9 acre area.

6. Parking and Accessibility

- a. All provisions within Section 106.03.01(j) - Townhome District and Section 106.04.02 - Lakefront District in general shall be met except as specified below:
 - i. Minimum garage and driveway space size established as shown in the Site Plan referenced in Exhibit C.
 - ii. Garage driveway spaces can be counted toward the minimum number of other parking spaces required per unit, in addition to the two-car garage.
 - iii. On-street parking is prohibited.

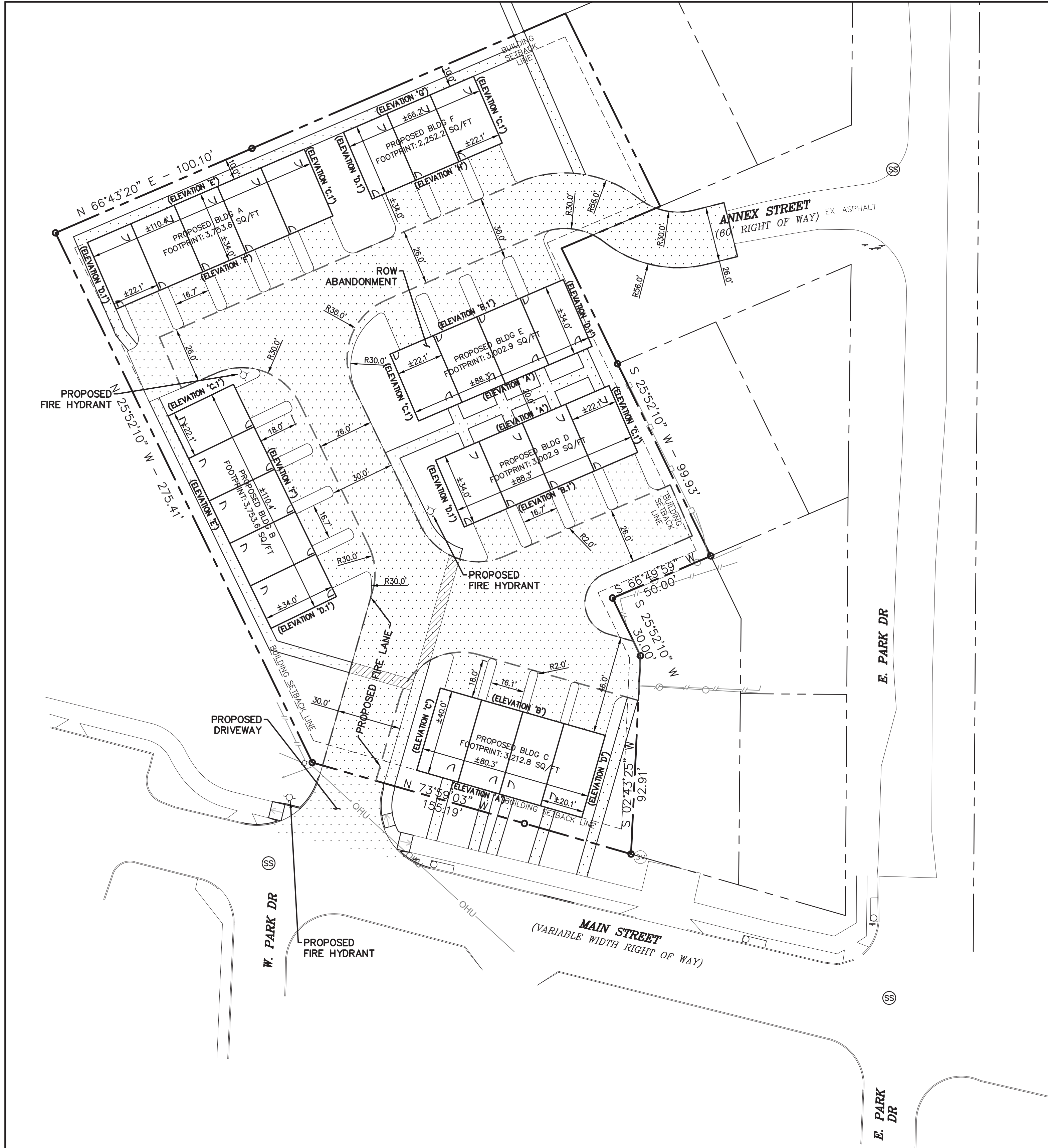
7. Screening

- a. All provisions within Article VI. Division 3 Screening Walls and Fences shall be met.
- b. Any ground-, roof-, or wall-mounted mechanical/electrical equipment or utilities must be located away from Main Street and fully screened at the time of installation.
- c. Screening shrubs and additional decorative fence or panels must be used for ground-mounted equipment visible from Main Street, as approved by the Director.
- d. If any ground-mounted equipment is required within the landscape islands at the rear garage entries, a decorative cover must be provided, as approved by the Director.
- e. No perimeter fencing allowed.

8. Homeowners Association

- a. A Homeowners' Association (HOA) will be established for the development.
- b. Dedicated open space, required landscape, private streets and parkway areas, any retaining walls or screening walls/mechanisms, signage, common areas, amenities, or other ancillary items will be owned and maintained by the HOA.
- c. Final Covenants, Conditions, and Restrictions (CC&Rs) required to be approved by the Director and recorded prior to the Town being able to sign off on the plat document.

Exhibit C
Development Plans



SITE NOTES:

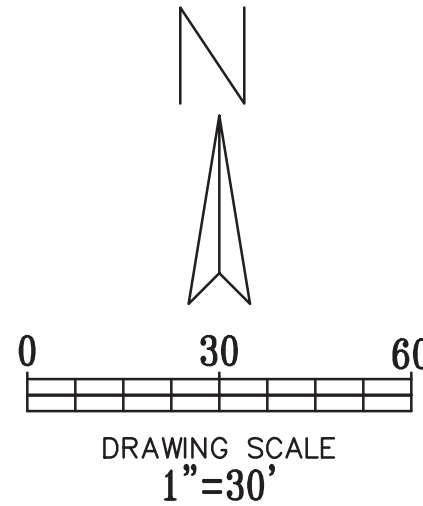
1. ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND A 5% MAXIMUM SLOPE IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHALL INCLUDE ALL LANDINGS, MARKINGS, ETC AS REQUIRED BY CODE.
2. PREMISE IDENTIFICATION SHALL BE PER THE FIRE DEPARTMENT REQUIREMENTS
3. ALL DIMENSIONS ARE FROM FACE OF CURB TO EDGE OF CONCRETE OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
4. SITE SIGNAGE SHALL BE BY SEPARATE PERMIT.
5. ALL FIRE LANES SHALL BE CONCRETE A MINIMUM OF 6" THICK WITH #3 REBAR, 18" ON CENTER. IT SHALL HAVE 6" LIME STABILIZATION OR 2" OF CONCRETE IN LIEU OF LIME WITH TOWN APPROVAL.

!!! CAUTION !!!
UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
CONTACT TOWN OF LITTLE ELM & 811 FOR UTILITY LOCATES AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.

LEGEND

- EXISTING CURB
- PROPOSED CURB
- PROPOSED PAVEMENT



SITE PLAN SUMMARY CHART

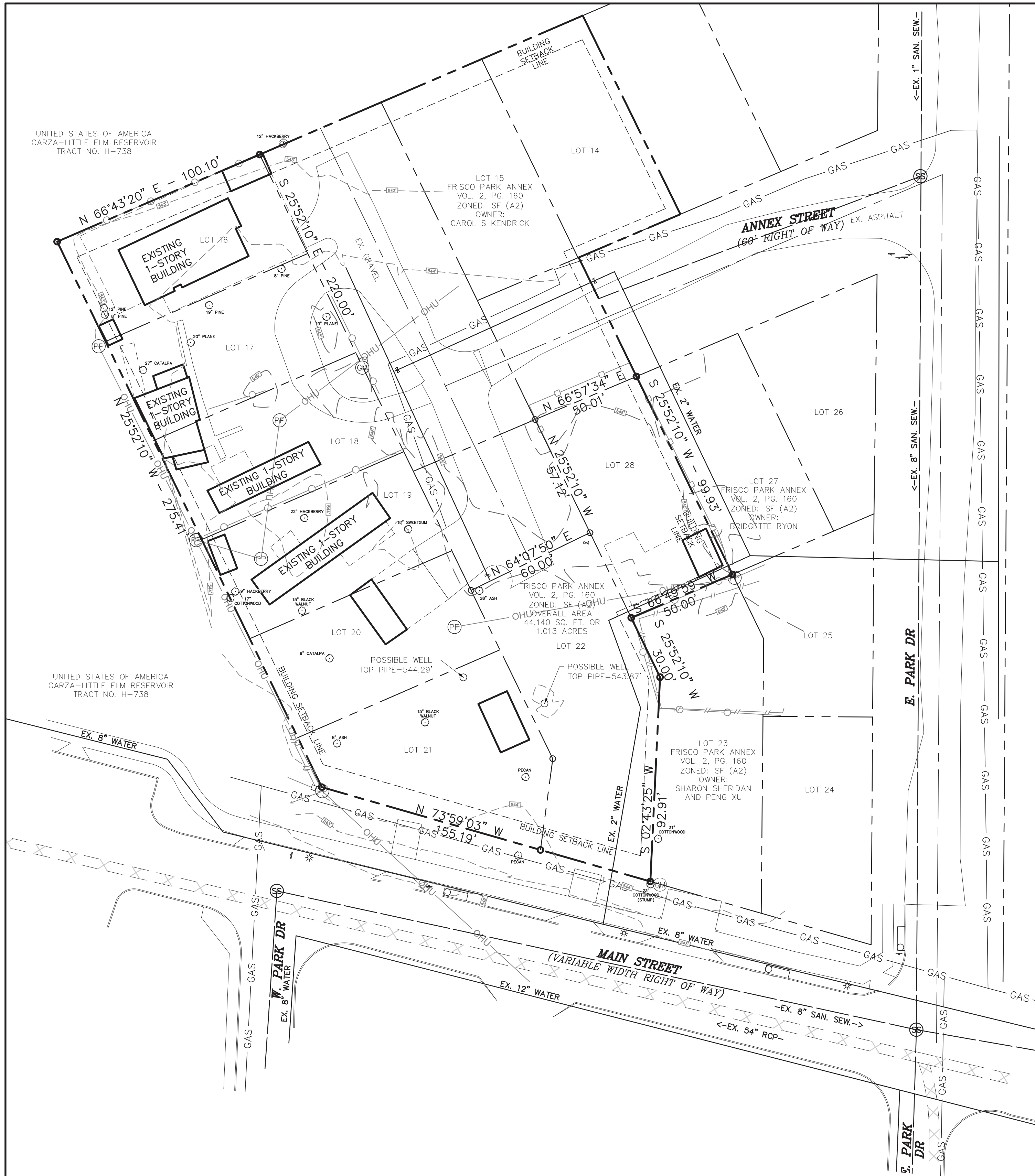
SITE DATA SUMMARY	EXISTING	PROPOSED
EXISTING ZONING	PLANNED DEVELOPMENT TOWN HOMES	PLANNED DEVELOPMENT TOWN HOMES
FRONT SETBACK	6'	6'
SIDE SETBACK	5'	5'
REAR SETBACK	20'	10'
LAND USE DESIGNATION	TOWNHOMES	TOWNHOMES
GROSS ACREAGE	1.61 ACRES	1.61 ACRES
NET ACREAGE	1.61 ACRES	1.61 ACRES
NUMBER OF PROPOSED LOTS	1	1
PERCENTAGE OF SITE COVERAGE	25%	75%
AREA OF OPEN SPACE	52,636 SQFT	17,440 SQFT
PERCENTAGE OF OPEN SPACE	75%	25%
PERCENTAGE OF LANDSCAPE	0%	10%
AREA OF IMPERVIOUS COVERAGE	17,632 SQFT	52,827 SQFT
PERCENTAGE OF IMPERVIOUS COVERAGE	25%	75%
PROPOSED BUILDING AREA (SQUARE FOOTAGE FOOTPRINT)	9,427 SQFT	18,978 SQFT
NUMBER OF SINGLE-STORY BUILDINGS	8	0
NUMBER OF TWO-STORY BUILDINGS	0	0
MAXIMUM BUILDING HEIGHT	45	45
PROPOSED FLOOR AREA	—	56,934 SQFT
PROPOSED FLOOR AREA BY USE	—	56,934 SQFT
REQUIRED PARKING	—	25
PROPOSED PARKING	—	25
STANDARD (DRIVE/GARAGE PARKING)	—	25
HANDICAP	—	0
TOTAL	—	25
INVENTORY PARKING	—	0
ELECTRIC VEHICLE CHARGING INFRASTRUCTURE	0	0
BICYCLE RACKS	0	0
REQUIRED LOADING SPACES	—	0



04/24/24

FOR REVIEW, NOT FOR CONSTRUCTION.

REVISIONS			
REV NO.	DATE	DESCRIPTION	BY
ENGINEER: Cumulus Design Firm #14810 2080 N. Highway 360, Suite 240 Grand Prairie, Texas 75050 Tel. 214.235.0367			
ZONING SITE PLAN			
LAKEVIEW AT ANNEX			
PARK LANE & ANNEX AVENUE, 1.31 ACRES			
FRISCO PARK ANNEX, LOTS 16-22 AND 28			
TOWN OF LITTLE ELM, DENTON COUNTY, TEXAS			
TOWN CASE NUMBER	DATE	SHEET	
—	04/24/24	SP	

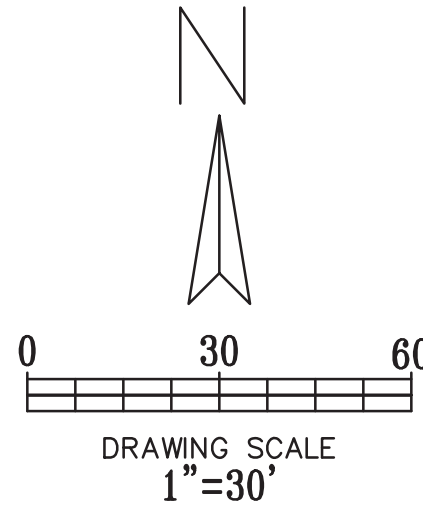


UNITED STATES OF AMERICA
GARZA-LITTLE ELM RESERVOIR
TRACT NO. H-738

UNITED STATES OF AMERICA
GARZA-LITTLE ELM RESERVOIR
TRACT NO. H-738

- LEGEND**
- EXISTING CURB
 - 671 — EXISTING CONTOUR
 - EXISTING STORM
 - PROPERTY LINE

TOPOGRAPHIC DATA AND PROPERTY BOUNDARY SHOWN ON THIS PLAN WAS PROVIDED BY THE DEVELOPER THROUGH A TOPOGRAPHIC SURVEY CONDUCTED BY PEISER & MANKIN SURVEYING, LLC ON 8/18/2022.



!!! CAUTION !!!
UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
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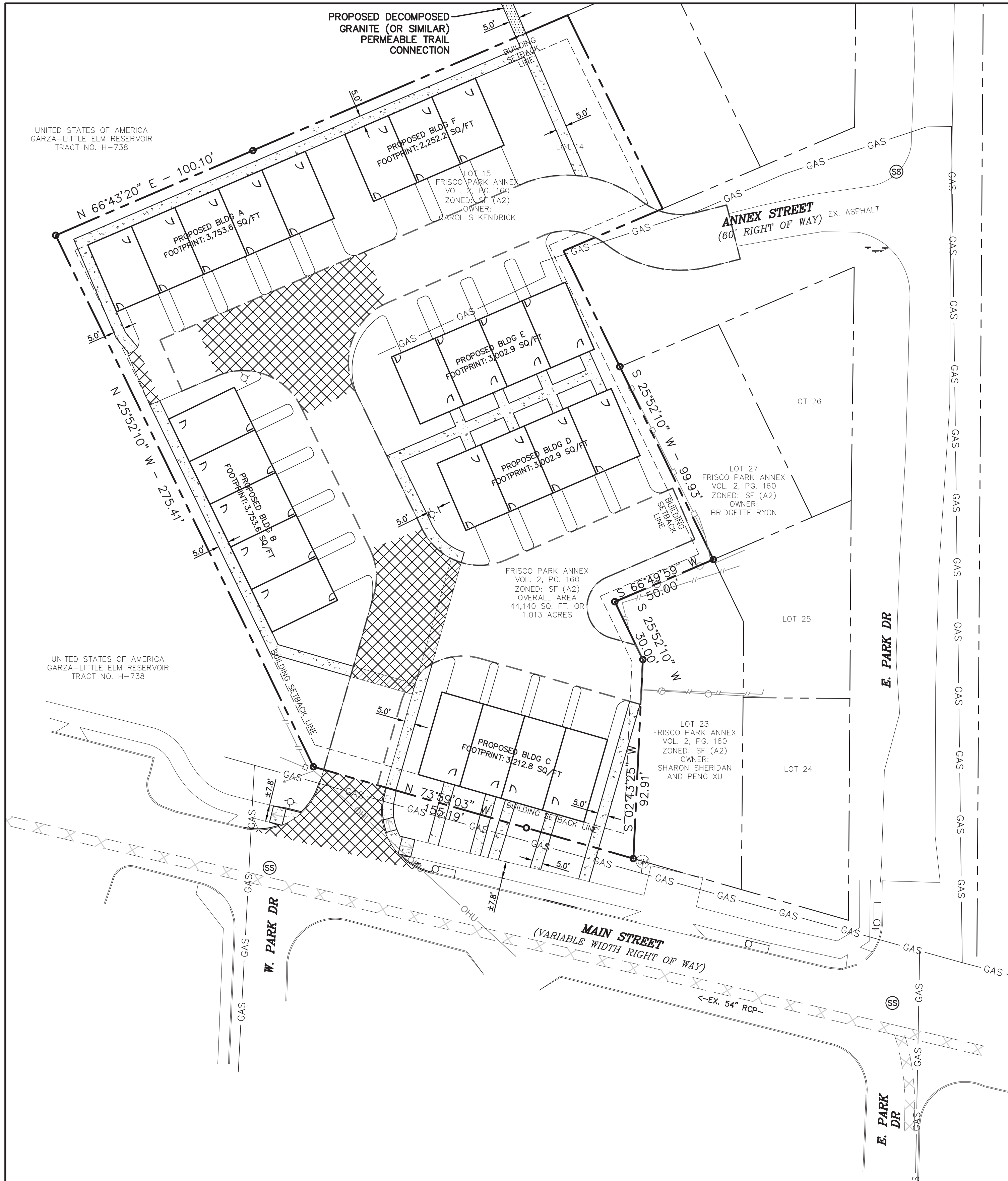
THIS DOCUMENT IS
FOR SITE
INFORMATION ONLY.
IT IS RELEASED
UNDER THE
AUTHORITY OF PAUL
CRAGUN, P.E.
NO. 112767 ON
04/24/24.

FOR REVIEW, NOT
FOR CONSTRUCTION.

REVISIONS			
REV NO.	DATE	DESCRIPTION	BY
ENGINEER: Cumulus Design Firm #14810 2080 N. Highway 360, Suite 240 Grand Prairie, Texas 75050 Tel. 214.235.0367			
EXISTING CONDITIONS PLAN			
LAKEVIEW AT ANNEX			
PARK LANE & ANNEX AVENUE, 1.31 ACRES			
FRISCO PARK ANNEX, LOTS 16-22 AND 28			
TOWN OF LITTLE ELM, DENTON COUNTY, TEXAS			
TOWN CASE NUMBER	DATE	SHEET	
—	04/24/24	C1.01	

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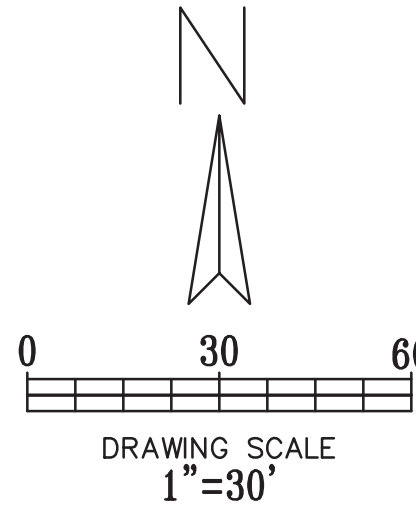


LEGEND

- EXISTING CURB
- PROPOSED CURB
- PROPOSED CONCRETE SIDEWALK
- PROPOSED PERMEABLE SIDEWALK/TRAIL
- PEDESTRIAN CROSSING SHALL BE COLORED STAMPED CONCRETE PER TOWN STANDARDS.

GENERAL NOTES:

- ALL MATERIALS AND CONSTRUCTION WITHIN STREET RIGHT-OF-WAY SHALL CONFORM TO THE TOWN STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL APPROPRIATE UTILITY COMPANIES FOR THE LOCATION OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA/SITE.
- THE PAVING CONTRACTOR SHALL NOT PLACE PERMANENT PAVEMENT UNTIL ALL SLEEVING FOR IRRIGATION, ELECTRIC, GAS, TELEPHONE, CABLE TV, SITE IRRIGATION, ETC. HAS BEEN INSTALLED. IT SHALL BE THE PAVING CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL SLEEVING IS IN PLACE PRIOR TO THE PLACING OF PERMANENT PAVING.
- ALL PAVING AND EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT.
- ALL DIMENSIONS ARE FROM BACK OF CURB, EDGE OF PAVEMENT, OR FACE OF BUILDING UNLESS OTHER WISE NOTED.
- ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM SLOPE IN THE DIRECTION OF PEDESTRIAN TRAVEL.



CAUTION
UNDERGROUND UTILITIES

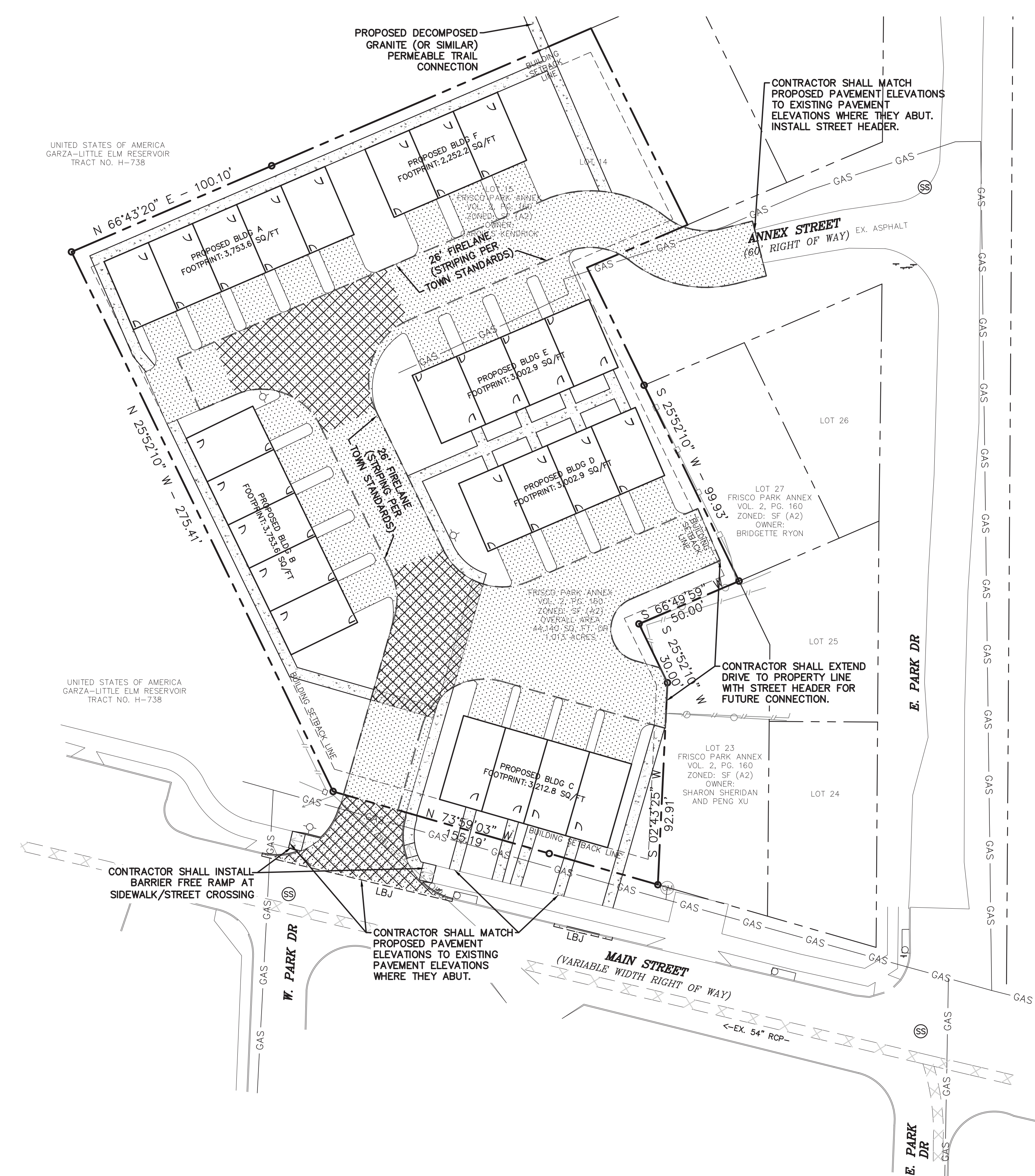
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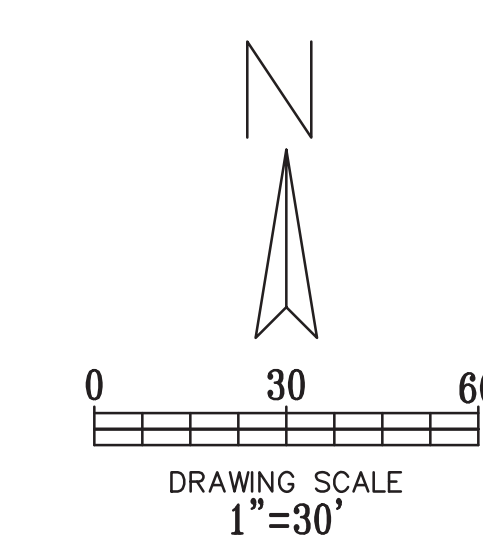
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SIDEWALK PLAN			
LAKEVIEW AT ANNEX			
PARK LANE & ANNEX AVENUE, 1.31 ACRES			
FRISCO PARK ANNEX, LOTS 16-22 AND 28			
TOWN OF LITTLE ELM, DENTON COUNTY, TEXAS			
TOWN CASE NUMBER	DATE	SHEET	
—	04/24/24	C3.01	

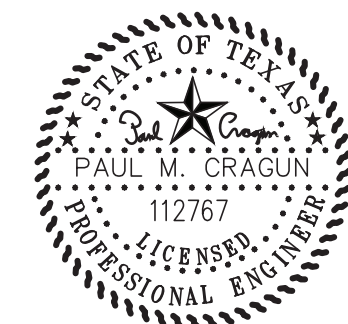


- LEGEND**
- EXISTING CURB/PAVEMENT EDGE
 - PROPOSED CURB
 - - - PROPOSED SAWCUT
 - LBJ — PROPOSED LONGITUDINAL BUTT JOINT
 - LS — PROPOSED LANDSCAPING AREA
 - 4" 3000 PSI REINFORCED CONCRETE PAVEMENT WITH #3 BARS @ 24" ON CENTER, EACH WAY, ON PREPARED SUBGRADE.
 - DECOMPOSED GRANITE OR APPROVED EQUAL MATERIAL TO MATCH EXISTING TRAIL SYSTEM (FOR TRAIL TO SITE CONNECTION)
 - 6" 3600 PSI REINFORCED CONCRETE PAVEMENT WITH A MIN. #4 @ 18" ON CENTER, EACH WAY WITH LIME STABILIZED SUBGRADE OR 6" FLEXBASE WITH GEOGRID. FIRELANES SHALL BE PER TOWN STANDARDS.
 - PEDESTRIAN CROSSING SHALL BE COLORED STAMPED CONCRETE PER TOWN STANDARDS.

- GENERAL PAVING NOTES:**
- ALL MATERIALS AND CONSTRUCTION WITHIN STREET RIGHT-OF-WAY SHALL CONFORM TO THE TOWN STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THIS PROJECT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL APPROPRIATE UTILITY COMPANIES FOR THE LOCATION OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA/SITE.
 - THE PAVING CONTRACTOR SHALL NOT PLACE PERMANENT PAVEMENT UNTIL ALL SLEEVING FOR IRRIGATION, ELECTRIC, GAS, TELEPHONE, CABLE TV, SITE IRRIGATION, ETC. HAS BEEN INSTALLED. IT SHALL BE THE PAVING CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL SLEEVING IS IN PLACE PRIOR TO THE PLACING OF PERMANENT PAVING.
 - ALL PAVING AND EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT.
 - FIRE LANES SHALL BE STRIPED IN ACCORDANCE WITH THE TOWN REQUIREMENTS (IF ANY).
 - ALL DIMENSIONS ARE FROM BACK OF CURB, EDGE OF PAVEMENT, OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
 - ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM SLOPE IN THE DIRECTION OF PEDESTRIAN TRAVEL.
 - SLOPE WITHIN THE HANDICAP PARKING AND STRIPED AREA SHALL NOT EXCEED 2% IN ANY DIRECTION.
 - ALL CURB RADII ARE 1.5' UNLESS OTHERWISE SPECIFIED (EXCEPT FOR AT END OF PARKING SPACES AND FLUMES WHERE THE RADII IS 0').
 - CONTRACTOR TO REFERENCE ARCHITECT/LANDSCAPE PLANS FOR ANY SPECIAL PATTERN/STAINS OR ANY OTHER PAVEMENT DETAILS.



!!! CAUTION !!!
UNDERGROUND UTILITIES
EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
CONTACT TOWN OF LITTLE ELM & 811 FOR UTILITY LOCATES AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.



04/24/24

FOR REVIEW, NOT FOR CONSTRUCTION.

REVISIONS			
REV NO.	DATE	DESCRIPTION	BY
ENGINEER: Cumulus Design Firm #14810 2080 N. Highway 360, Suite 240 Grand Prairie, Texas 75050 Tel. 214.235.0367			
PAVING PLAN			
LAKEVIEW AT ANNEX			
PARK LANE & ANNEX AVENUE, 1.31 ACRES			
FRISCO PARK ANNEX, LOTS 16-22 AND 28			
TOWN OF LITTLE ELM, DENTON COUNTY, TEXAS			
TOWN CASE NUMBER	DATE	SHEET	
—	04/24/24	C3.02	



NOTE:

SITE PLAN IS FOR
EXTERIOR
ELEVATION REFERENCE
ONLY,
REFER TO CIVIL AND
LANDSCAPE PLANS
FOR ADDITIONAL
INFORMATION.

REFERENCE SITE PLAN

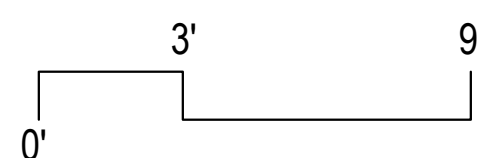
01 1" = 30'

NOT FOR
CONSTRUCTION
OR REGULATORY
APPROVAL



"ELEVATION type A"
(INCLUDES) MAIN-STREET-FACING ELEVATION

MATERIAL TABULATIONS:
Total Elev. Surface = 2,991
Total Windows & Doors (30% Required) = 897 Total
Windows & Doors (30.16% Provided) = 902
Total Elev (Minus Doors/Windows): 2,088 sq.ft.
1250 sq.ft. Brick (60%)
293 sq.ft. 'Poplar' Siding(14%)
442 sq.ft. Stucco (21%)
103 sq.ft. Accent Materials (5%)
-Metal Awnings
-Cedar Trellis



NOTE
FRONT CONCRETE STEPS AT ENTRY
WILL BE COORDINATED WITH FINAL GRADING

ELEVATION TYPE A
01 1/4" = 1'-0"



PRE-FIN METAL
TRIM:
COLOR: BLACK

SOLDIER COURSE

STUCCO,
COLOR: WHITE

NOM. 4" BRICK
COLOR: WHITE

SOLDIER COURSE + ROWLOCK

SOLDIER

ROWLOCK

WALL SCONCE

NOM. 4" BRICK
COLOR: GREY

ELEVATION type 'B'
REAR (PRIVATE DRIVE) FACING ELEVATION

MATERIAL TABULATIONS:
Total Elev. Surface = 2,870
Windows & Doors (21.5% Provided) = 616
Total Elev (Minus Doors/Windows): 2,254 sq.ft.
1,093 sq.ft. Brick (49%)
1,161 sq.ft. Stucco (51%)

ELEVATION TYPE B
01 1/4" = 1'-0"

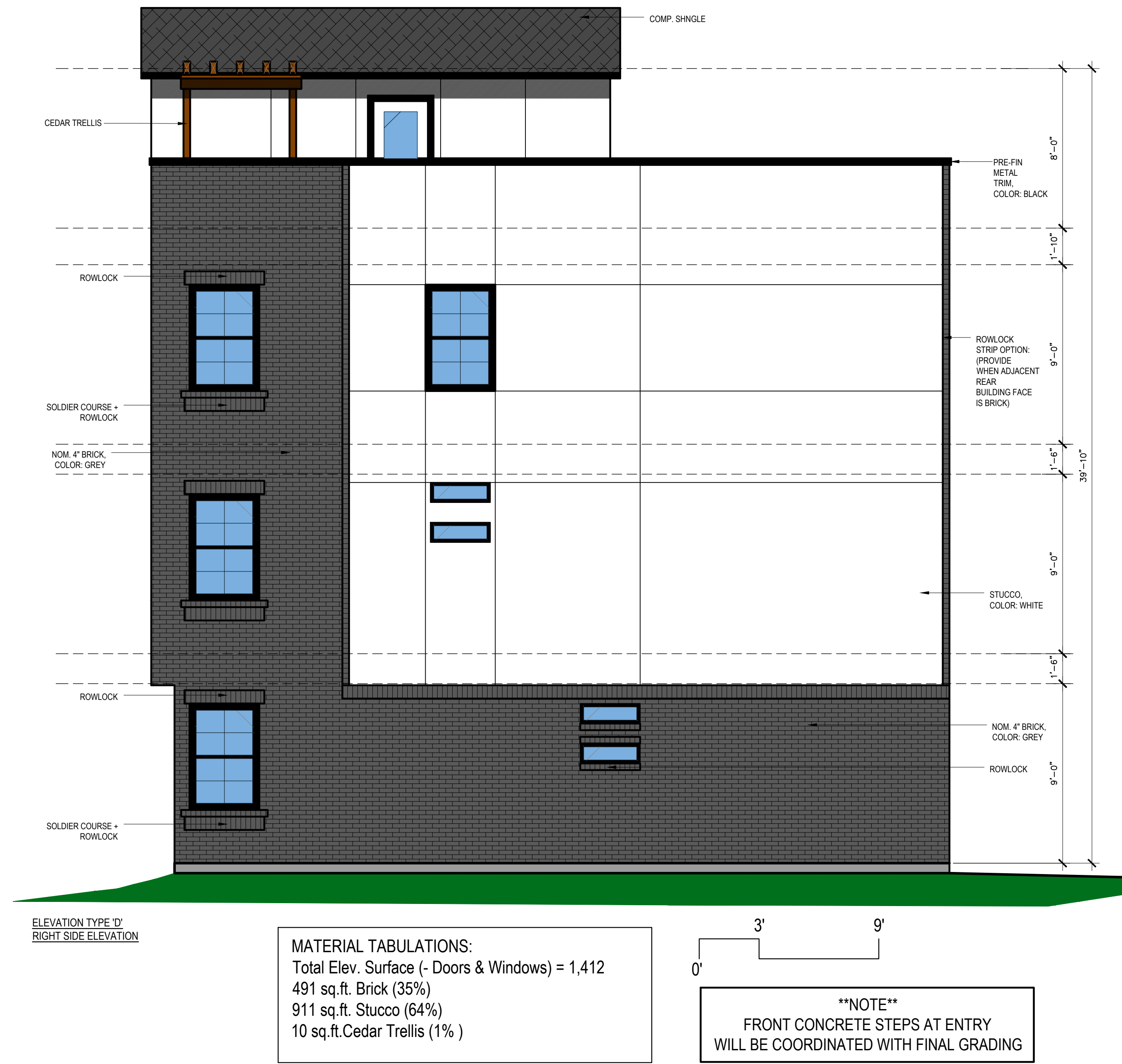
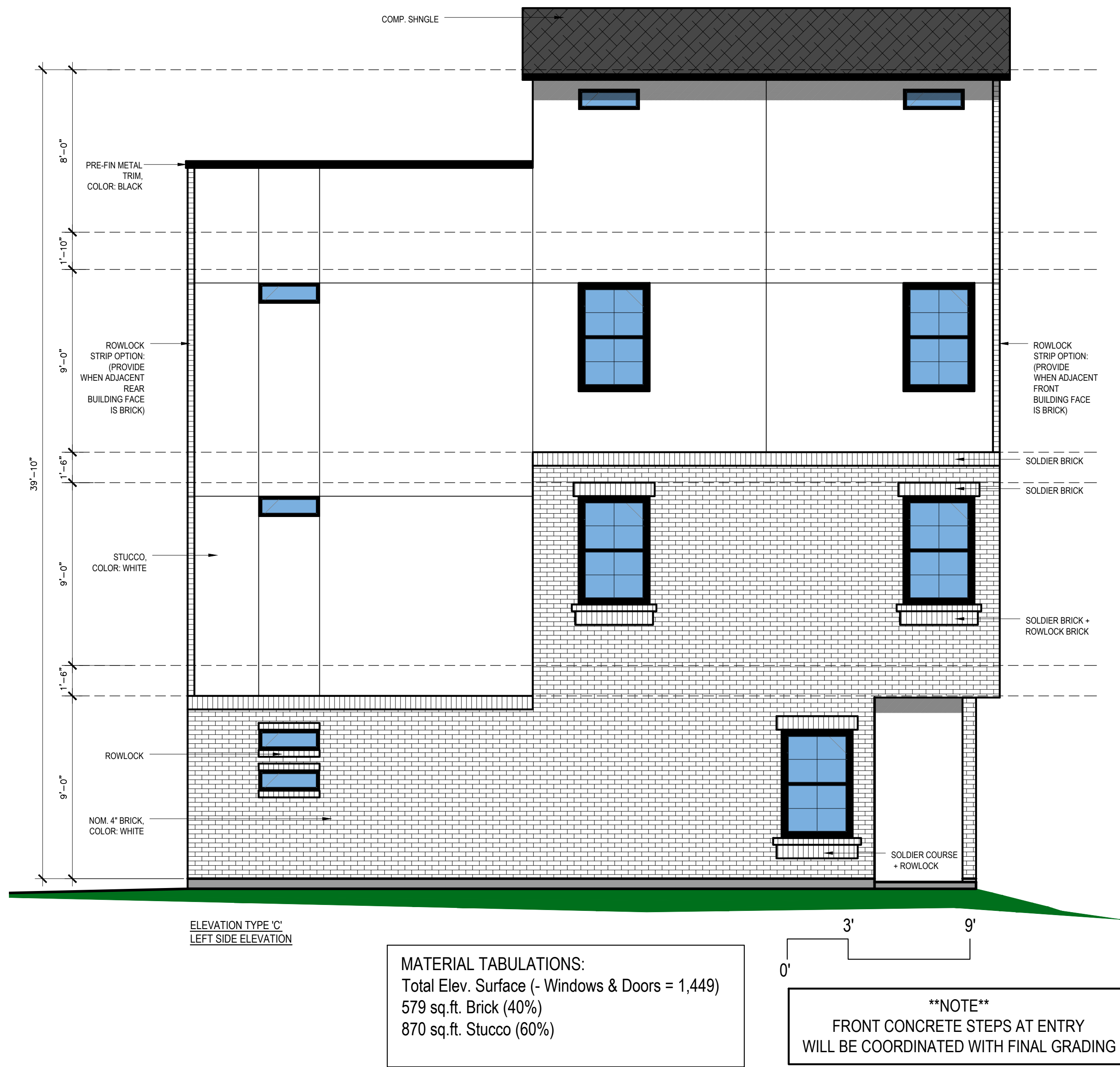


ELEVATION type 'B.1'
REAR (PRIVATE DRIVE) FACING ELEVATION

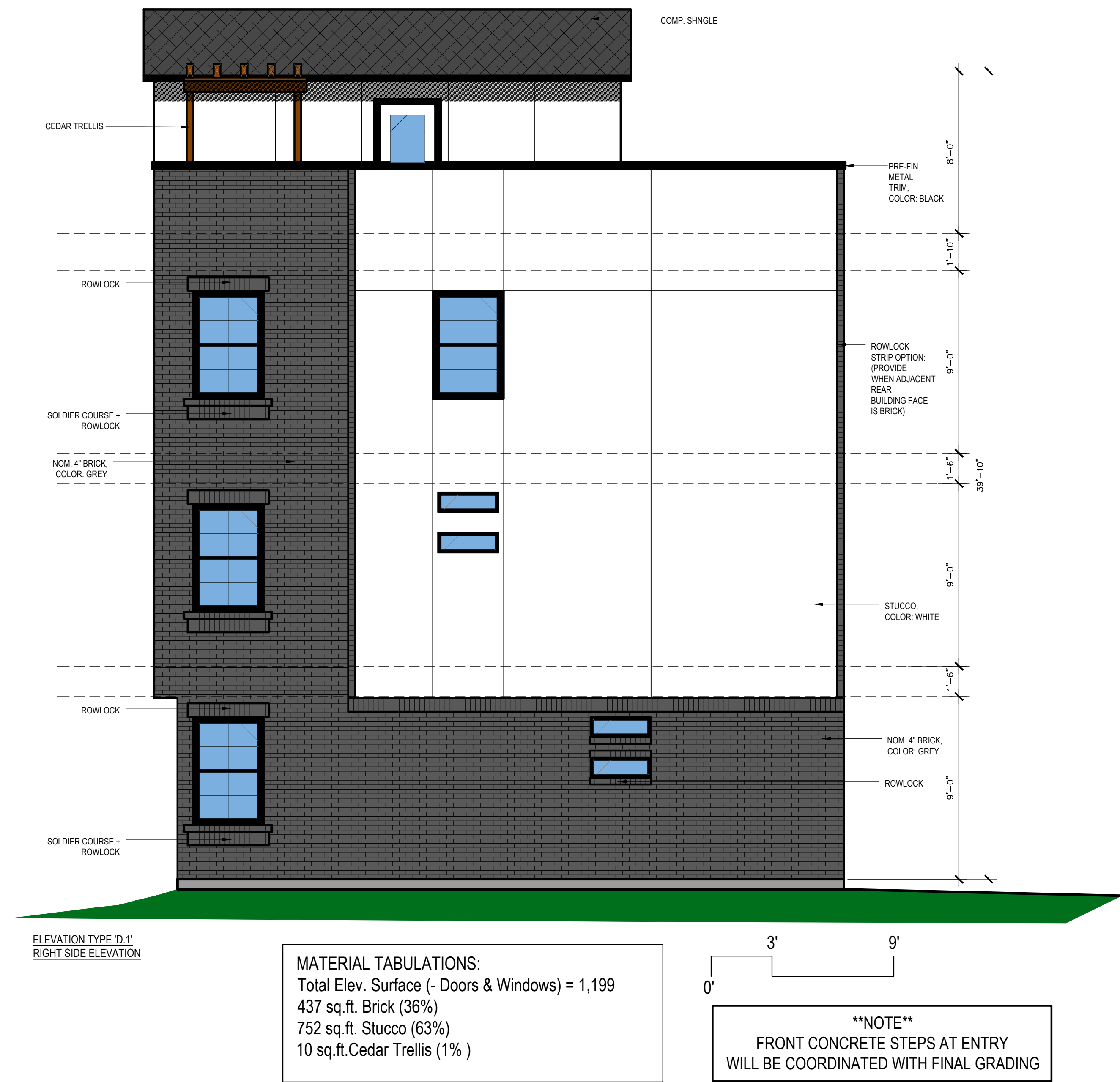
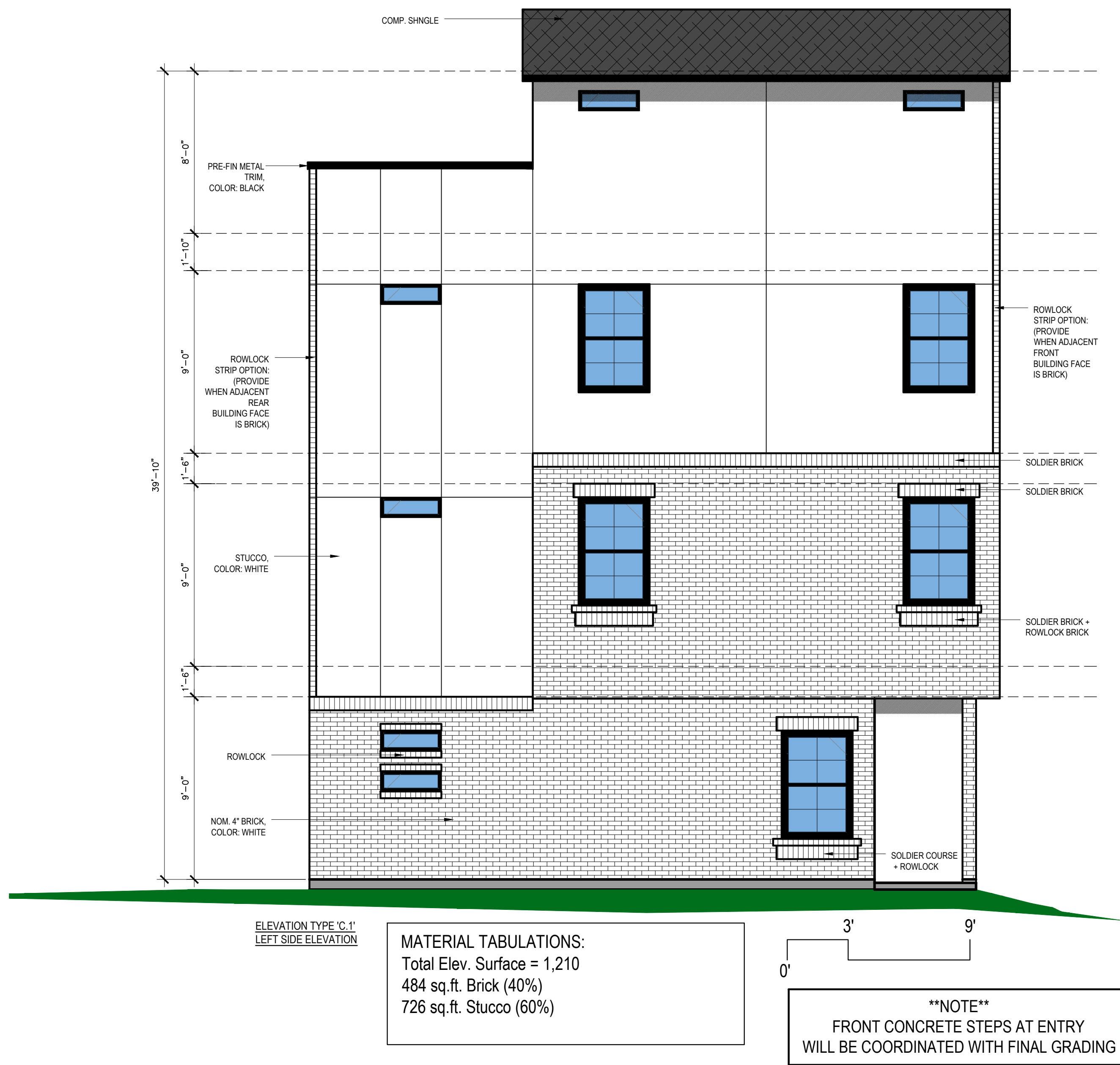
MATERIAL TABULATIONS:
Total Elev. Surface =3,049 Windows & Doors (21.5% Provided) = 696
Total Elev (Minus Doors/Windows): 2,353 sq.ft.
1,149 sq.ft. Brick (49%)
1,204 sq.ft. Stucco (51%)

ELEVATION TYPE B.1
01 1/4" = 1'-0"

NOT FOR
CONSTRUCTION
OR REGULATORY
APPROVAL



ELEVATION TYPE C & D
01 1/4" = 1'-0"



ELEVATION TYPE C.1 & D.1
01 1/4" = 1'-0"



"ELEVATION type E"

MATERIAL TABULATIONS:
Total Elev. Surface = 3,898
Total Windows & Doors (30% Required) = 1,169
Total Windows & Doors (30.45% Provided) = 1,187
Total Elev (Minus Doors/Windows): 2,711 sq.ft.
1623 sq.ft. Brick (60%)
380 sq.ft. 'Poplar' Siding(14%)
573 sq.ft. Stucco (21%)
135 sq.ft. Accent Materials (5%)
-Metal Awnings
-Cedar Trellis

0' 3' 9'

****NOTE****
FRONT CONCRETE STEPS AT ENTRY
WILL BE COORDINATED WITH FINAL GRADING

ELEVATION TYPE E

01

1/4" = 1'-0"

NOT FOR
CONSTRUCTION
OR REGULATORY
APPROVAL

Project #: 2224

ELEVATION
TYPE 'E'

EXTERIOR
ELEVATIONS

A2.6



MATERIAL TABULATIONS:
Total Elev. Surface = 3,583
Windows & Doors (21.5% Provided) = 770
Total Elev (Minus Doors/Windows): 2,813 sq.ft.
1,152 sq.ft. Brick (41%)
1,661 sq.ft. Stucco (59%)

ELEVATION TYPE F
01 1/4" = 1'-0"

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TRIUNE
ARCHITECTURE

Townhouse Development
"Lakeview at Annex"

Annex Ln.
Townhouses
Little Elm, TX

NOT FOR
CONSTRUCTION
OR REGULATORY
APPROVAL

Project #: 2224

ELEVATION
TYPE 'F'

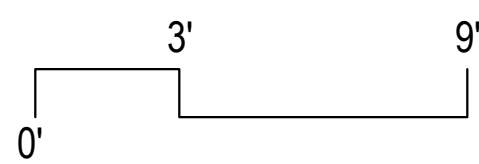
EXTERIOR
ELEVATIONS

A2.7



ELEVATION type 'G'

MATERIAL TABULATIONS:
Total Elev. Surface = 2,223
Total Windows & Doors (30% Required) = 667 Total
Windows & Doors (30.45% Provided) = 668
Total Elev (Minus Doors/Windows): 1,555 sq.ft.
908 sq.ft. Brick (58%)
232 sq.ft. 'Poplar' Siding(15%)
336 sq.ft. Stucco (22%)
79 sq.ft. Accent Materials (5%)
-Metal Awnings
-Cedar Trellis



****NOTE****
FRONT CONCRETE STEPS AT ENTRY
WILL BE COORDINATED WITH FINAL GRADING

ELEVATION TYPE G

01

1/4" = 1'-0"



ELEVATION TYPE H
01 1/4" = 1'-0"

ACME BRICK,
COLOR:
"WHITE BLUFF"



CANTILEVERED METAL
AWNING:
COLOR: *NATURAL
ALUMINUM*



ACME BRICK,
COLOR:
"PACIFIC CLAY"



"POPLAR" SIDING
STYLE:
NATURAL WOOD



WROUGHT IRON
GUARD-RAILING:
BLACK



*Townhouse
Development
"Lakeview at
Annex"*

Annex Ln.
Townhouses
Little Elm, TX

NOT FOR
CONSTRUCTION
OR REGULATORY
APPROVAL

Project #: 2224

SAMPLE
BOARD

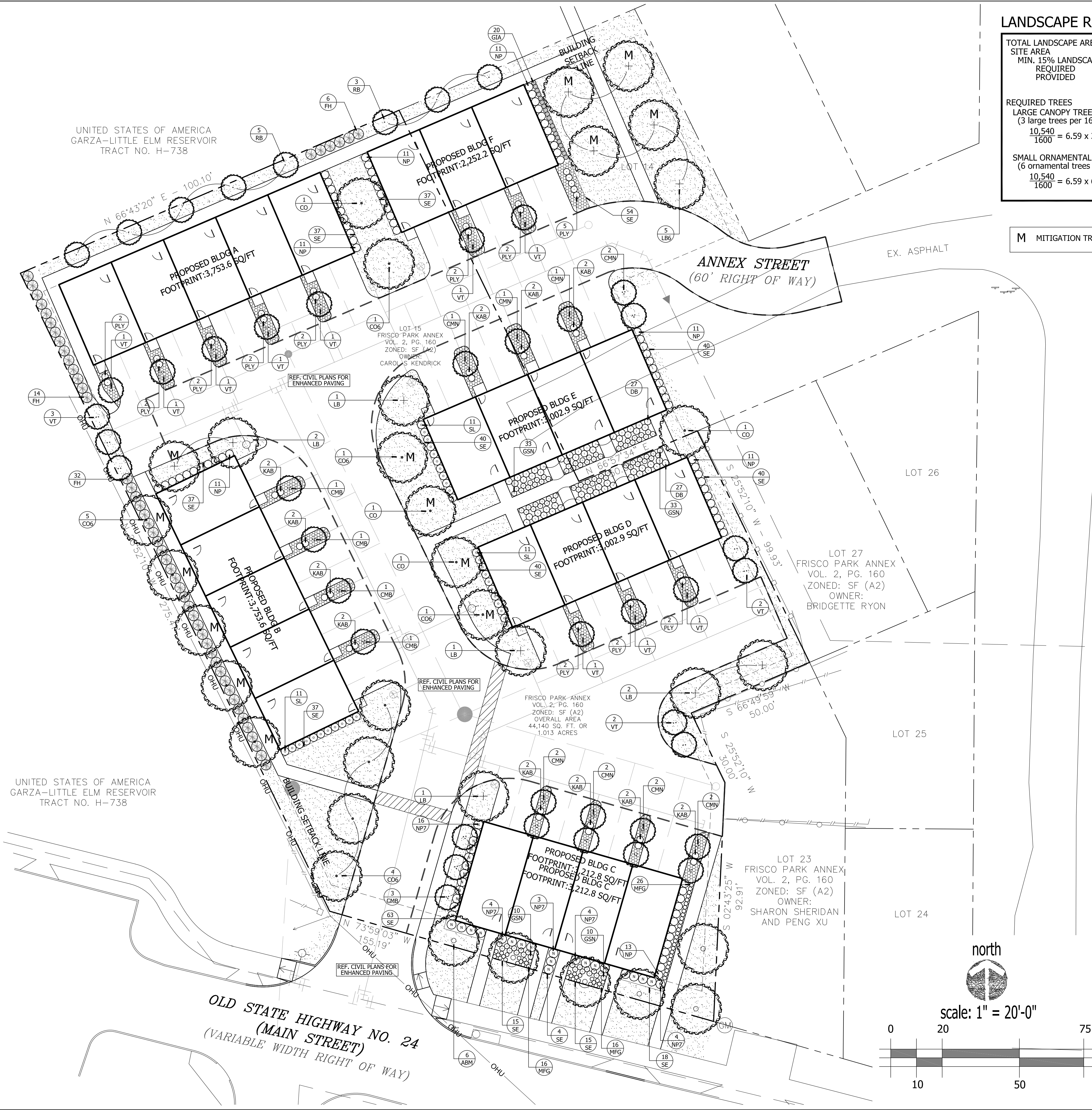
A2.10

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UNITED STATES OF AMERICA
GARZA-LITTLE ELM RESERVOIR
TRACT NO. H-738

UNITED STATES OF AMERICA
GARZA-LITTLE ELM RESERVOIR
TRACT NO. H-738

OLD STATE HIGHWAY NO. 24
(MAIN STREET)
(VARIABLE WIDTH RIGHT OF WAY)



LANDSCAPE REQUIREMENTS

TOTAL LANDSCAPE AREA 70,268 sf
SITE AREA 70,268 sf
MIN. 15% LANDSCAPE AREA REQUIRED
REQUIRED 10,540 sf (15.0%)
PROVIDED 18,153 sf (25.8%)

REQUIRED TREES
LARGE CANOPY TREES
(3 large trees per 1600 sf required landscape area)
 $\frac{10,540}{1600} = 6.59 \times 3 = 19.77 = 20$ trees required
1600 34 trees provided

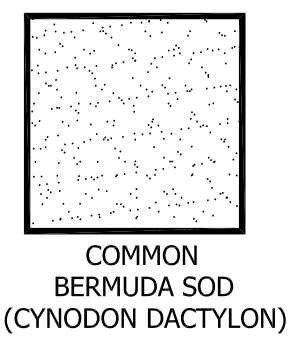
SMALL ORNAMENTAL TREES
(6 ornamental trees per 1600 sf required landscape area)
 $\frac{10,540}{1600} = 6.59 \times 6 = 39.54 = 40$ trees required
1600 43 trees provided

M MITIGATION TREE 14 TREES @ 4" CAL. 56"

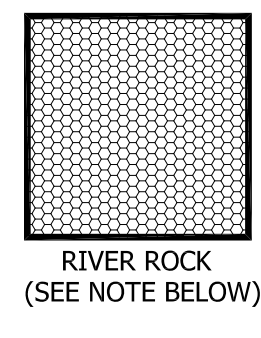
LANDSCAPE NOTES

1. PLANT LIST FOR THIS SHEET ONLY.
2. PLANT LIST TO BE USED AS AIDE TO BIDDER ONLY. LANDSCAPE CONTRACTOR TO VERIFY ALL QUANTITIES.
3. ALL BEDS SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
4. AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
5. AFTER INSTALLATION OF STEEL EDGING, ALL BEDS SHALL BE TILLED TO A DEPTH OF 4-6", RAKING OUT ALL DEAD VEGETATION.
6. APPLY A 2-3" DEPTH OF ORGANIC MATERIAL OVER ENTIRE BED AND TILL INTO EXISTING SOIL. ORGANIC MATERIAL SHALL BE ONE OF FOLLOWING:
VITAL EARTH COMPOST
BACK-TO-EARTH SOIL CONDITIONER
LIVING EARTH COMPOST
SOIL BUILDING SYSTEMS COMPOST
SILVER CREEK MATERIALS COMPOST
7. TOPDRESS ENTIRE BED WITH MINIMUM 2" DEPTH SHREDDED NATIVE CEDAR MULCH.
8. ALL SHADE TREES AND ORNAMENTAL TREES SHALL BE PLANTED AS PER DETAILS ON THIS SHEET.
9. ALL LANDSCAPE AREAS SHALL BE WATERED WITH AUTOMATIC IRRIGATION SYSTEM, COMPLETE WITH FREEZE SENSOR, RAIN STAT, AND CONTROLLER. SYSTEM SHALL BE DESIGNED TO UTILIZE WATER-SAVING TECHNIQUES AND EQUIPMENT. INSTALLATION OF SYSTEM SHALL BE MADE BY A FIRM DULY LICENSED UNDER ARTICLE NO. 8751 VTCS (LICENSED IRRIGATORS ACT), S.B. NO. 259.

LANDSCAPE LEGEND



COMMON
BERMUDA SOD
(CYNODON DACTYLON)



RIVER ROCK
(SEE NOTE BELOW)

SOD INSTALLATION NOTES:

- a. ALL SUBGRADE SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
- b. AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
- c. SOD SHALL BE VIGOROUS, WELL-ROOTED AND SHALL BE DELIVERED AT A UNIFORM SOIL THICKNESS.
- d. SOD SHALL BE LAID WITH ALTERNATING JOINTS.
- e. ALL SOD SHALL BE ROLLED TO CONSISTENT SURFACE, FILLING JOINTS WITH COARSE SAND AS REQUIRED.
- f. ALL SOD AREAS SHALL BE WATERED BY PERMANENT AUTOMATIC IRRIGATION SYSTEM.

RIVER ROCK INSTALLATION NOTES:

- a. LANDSCAPE CONTRACTOR SHALL INSPECT RIVER ROCK AREAS FOR ANY EXISTING VEGETATION AND PROVIDE BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
- b. AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION.
- c. PLACE MINIMUM FOUR (4) INCHES OF NEW MEXICO MEDIUM RIVER ROCK IN DESIGNATED AREAS.

PLANTLIST

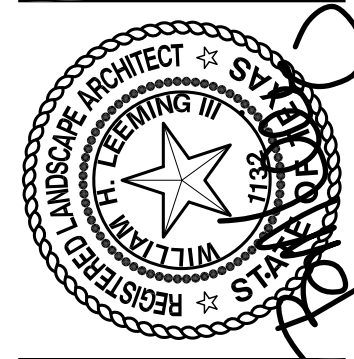
SYM	MATERIAL	QNTY	SIZE	HT	SP	NOTES	SPACING
ABM	AUTUMN BLAZE MAPLE	6	6" CAL.	16-18"	9-10'	NURSERY GROWN	
	ACER x 'FREEMANII'						
CO	CHINKAPIN OAK	12	6" CAL.	16-18"	9-10'	NURSERY GROWN	
CO	CHINKAPIN OAK	4	4" CAL.	12-14"	6-7'	NURSERY GROWN	
LB	LACEBARK ELM	5	6" CAL.	16-18"	10-11'	NURSERY GROWN	
LB	LACEBARK ELM	7	4" CAL.	12-14"	7-8'	NURSERY GROWN	
	ULMUS PARVIFOLIA SEMPERVIRENS						
CMB	CRAPE MYRTLE	7	30 GAL.	8-10'	4-5'	CONTAINER GROWN	
	LAGERSTROEMIA INDICA 'BASHAM PINK'						
CMN	CRAPE MYRTLE	13	30 GAL.	8-10'	4-5'	CONTAINER GROWN	
	LAGERSTROEMIA INDICA 'NATCHEZ'						
VT	VITEX	17	30 GAL.	8-10'	4-5'	CONTAINER GROWN	
	VITEX AGNUS-CASTUS						
RB	FOREST PANSY REDBUD	8	30 GAL.	8-10'	4-5'	CONTAINER GROWN	
	CERCIS CANADENSIS 'FOREST PANSY'						
FH	FOSTER HOLLY	52	7 GAL.	36"	20"	FULL	48"oc
NP	NEEDLEPOINT HOLLY	32	7 GAL.	36"	20"	FULL	42"oc
NP	NEEDLEPOINT HOLLY	79	5 GAL.	26"	18"	FULL	36"oc
NP	NEEDLEPOINT HOLLY						
SL	SUNSHINE LIGUSTRUM	33	5 GAL.	24"	18"	FULL	36"oc
	LIGUSTRUM SINENSIS 'SUNSHINE'						
PLY	PALE LEAF YUCCA	25	5 GAL.	12"	15"	FULL	30"oc
	YUCCA PALLIDA						
DB	DWF BURFORD HOLLY	54	3 GAL.	20"	12"	FULL	30"oc
	ILEX CORNUTA 'BURFORDI' NANA						
KAB	KALIEDOSCOPE ABELIA	22	3 GAL.	12"	12"	FULL	30"oc
	ABELIA GRANDIFLORA 'KALIEDOSCOPE'						
GSN	GULF STREAM NANDINA	86	3 GAL.	12"	12"	FULL	24"oc
	NANDINA DOMESTICA 'GULF STREAM'						
GIA	GIANT LIRIOPE	20	1 GAL.	10"	10"	FULL	20"oc
	LIRIOPE GIGANTEA						
MFG	MEXICAN FEATHERGRASS	58	1 GAL.	10"	10"	FULL	20"oc
	NASSELLA TENUISSIMA						
SE	STEEL EDGING	477	LIN. FT.			REF. DETAIL	

SPECIFIED PLANT HEIGHTS ARE TYPICAL INDUSTRY STANDARD HEIGHTS FOR SPECIFIED CONTAINER SIZES.

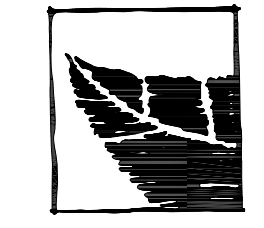
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drawn by:
date: 01-17-24

revisions

04-05-24
04-29-24
05-29-24
06-11-24
06-12-24



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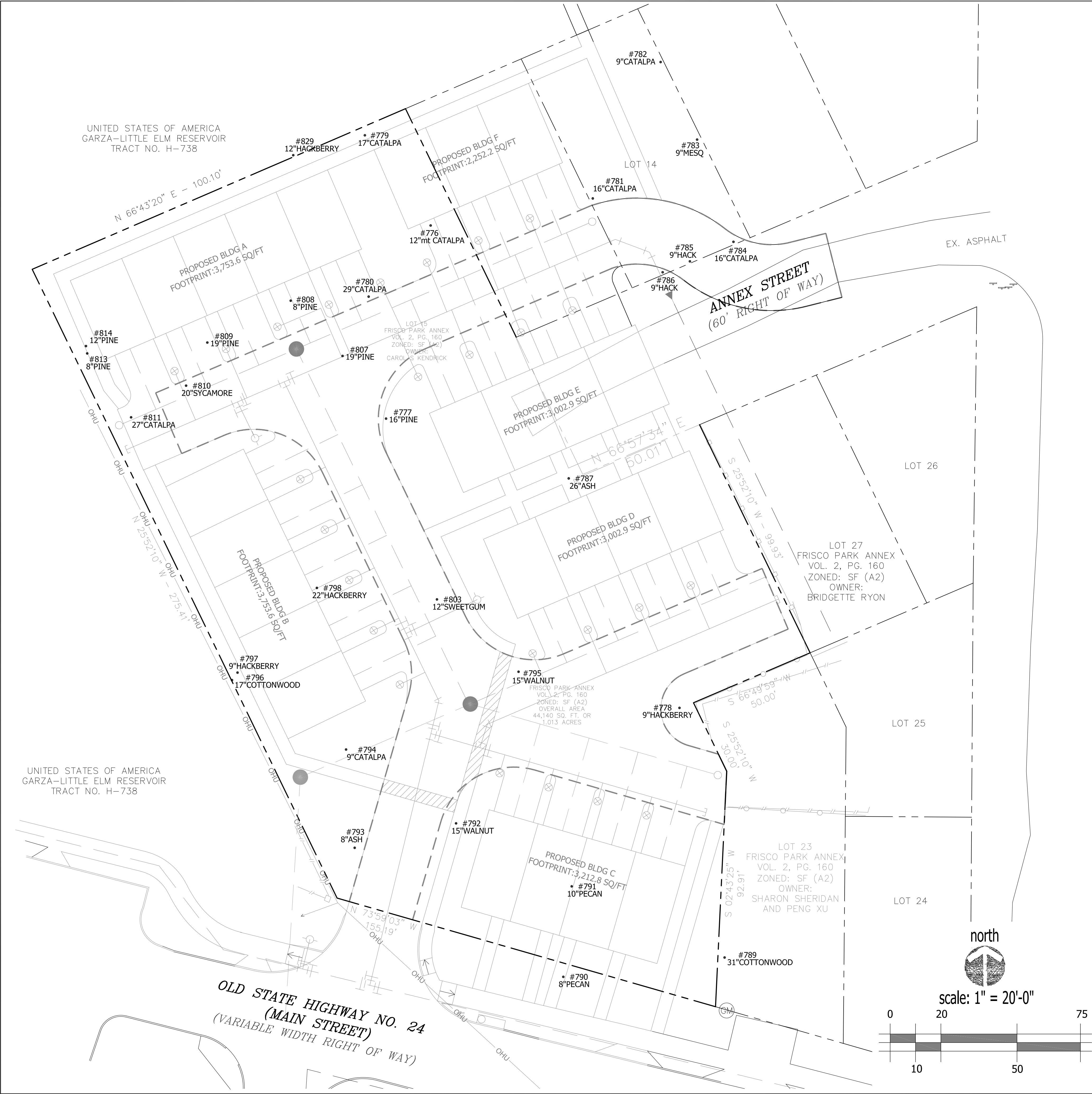
LANDSCAPE PLAN

LAKEVIEW at ANNEX
MAIN STREET (OLD STATE HWY. 24)
LITTLE ELM, TEXAS

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ldg-base_LE-Townhomes.dwg

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1-1



TREE TABLE				
TREE #	TREE SPECIES	SIZE	PROTECTED OR REMOVE	CLASS
829	HACKBERRY	12"	REMOVE	4
814	PINE	12"	REMOVE	3
813	PINE	8"	REMOVE	3
811	CATALPA	27"	REMOVE	5
810	SYCAMORE	20"	REMOVE	4
809	PINE	19"	REMOVE	3
808	PINE	8"	REMOVE	3
807	SYCAMORE	19"	REMOVE	4
798	HACKBERRY	22"	REMOVE	4
803	SWEETGUM	12"	REMOVE	1
797	HACKBERRY	9"	REMOVE	4
796	COTTONWOOD	17"	REMOVE	4
795	BLACK WALNUT	15"	REMOVE	2
787	ASH	26"	REMOVE	2
794	CATALPA	9"	REMOVE	5
793	ASH	8"	REMOVE	2
792	BLACK WALNUT	15"	REMOVE	2
791	PECAN	10"	REMOVE	1
790	PECAN	8"	REMOVE	1
789	COTTONWOOD	31"	REMOVE	4
786	HACKBERRY	9"	REMOVE	4
785	HACKBERRY	9"	REMOVE	4
784	CATALPA	16"	REMOVE	5
783	MESQUITE	9"	REMOVE	3
782	CATALPA	9"	REMOVE	5
781	CATALPA	16"	REMOVE	5
780	CATALPA	29"	REMOVE	5
779	CATALPA	17"	REMOVE	5
778	HACKBERRY	9"	REMOVE	4
777	PINE	16"	REMOVE	3
776	CATALPA	12"mt	REMOVE	5

CLASS 1 TOTALS	5:1	38" X 5	= 190"
CLASS 2 TOTALS	4:1	64" X 4	= 256"
CLASS 3 TOTALS	3:1	72" X 3	= 216"
CLASS 4 TOTALS	2:1	188" X 2	= 376"
CLASS 5 TOTALS	1:1	135" X 1	= 135"
MITIGATION TOTAL			(1,173")
PROPOSED MITIGATION (12 TREES @ 6")			+72.0"
PROPOSED MITIGATION (2 TREES @ 4")			+8.0"
UPSIZE 6 TREES TO 6" (11 x 2")			+22.0"
MITIGATION DEFICIT			(1,071")

appr. by:
revisions
05-10-24
05-29-24
06-05-24
06-11-24
06-12-24

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EXISTING TREE
MITIGATION

LAKEVIEW at ANNEX
MAIN STREET (OLD STATE HWY. 24)
LITTLE ELM, TEXAS

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date: 04-29-24



Annex Flats

Sample SELECTIONS



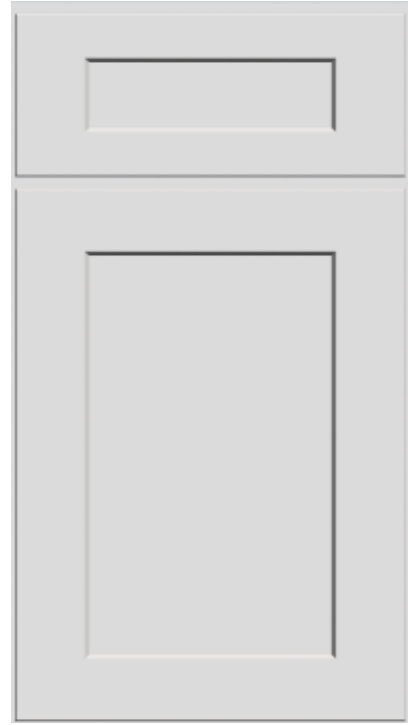
EXAMPLE OF SIMILAR FINISHES



**Carpeted Stair with White
Wooden Risers – Standard**

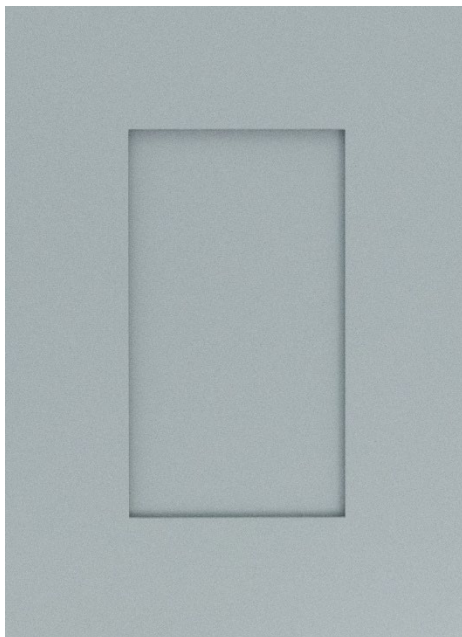


**Wooden Stair with White
Wooden Risers - Upgrade**



White - Standard

Gray - Standard



**Polished Chrome –
Standard**



**Satin Nickel –
Upgrade**

Exterior Hardware Black – Standard

Interior Hardware Black - Upgrade





White Quartz – Standard



Gray Quartz – Standard



Quartz Waterfall Edge - Upgrade



White Porcelain Undermount - Vanities



Stainless Steel Undermount Single Bowl Kitchen Sink



Farm Sink - Upgrade

OCEAN VIEW
DW300



783 PEBBLE



790 TYBEE



890 COCOA



745 DELRAY



527 BISCAYNE



688 LAGUNA



925 VENTURA



760 CANCUN



564 BAJA



858 JACO



715 CLEARWATER



920 CRESCENT



633 MALIBU



517 WHITE SANDS



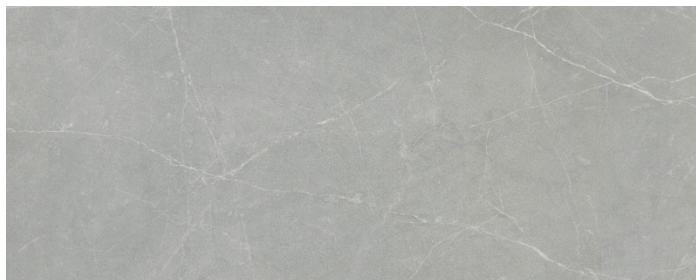
775 DAYTONA



705 DESTIN

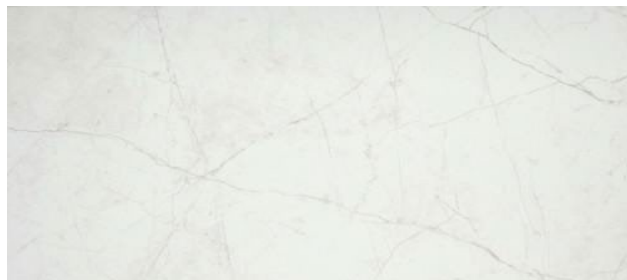
Master Bathroom

Sterling Grey Matte 12X24 Floor



OR

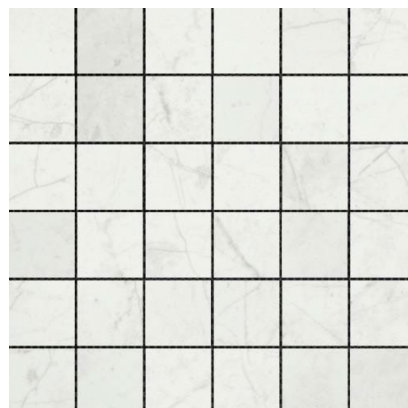
Sterling White Matte 12X24 Floor



Sterling White Polished
12X24 - Shower Wall

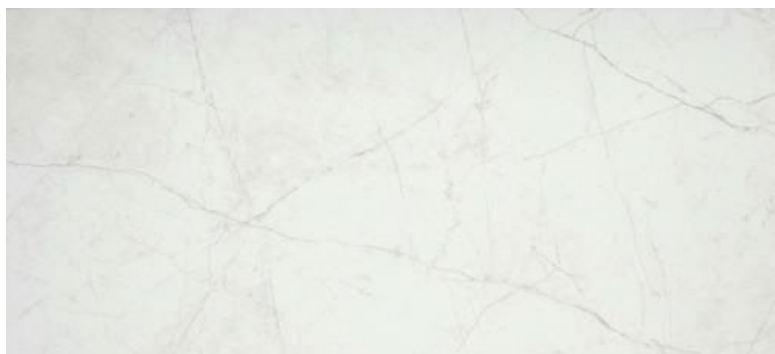


Sterling White Matte
2" x 2" Mosaic – Shower Floor



Secondary Bathroom

Sterling White Matte 12X24 Floor



Catch Gray
3X6 tile Tub Deck





Hand Scraped Wood Stain Selections



30" Electric Slide In Range

Over The Range Microwave

24" Dishwasher



Bosch Stainless Steel Appliances Standard



30" Chimney Wall Vent Hood

Stainless-Steel Built-In Microwave





30" Electric Slide In Range

Over The Range Microwave

24" Dishwasher



Bosch Upgrade 800 Series Stainless Package



30" Chimney Wall Vent Hood

Stainless-Steel Built-In Microwave

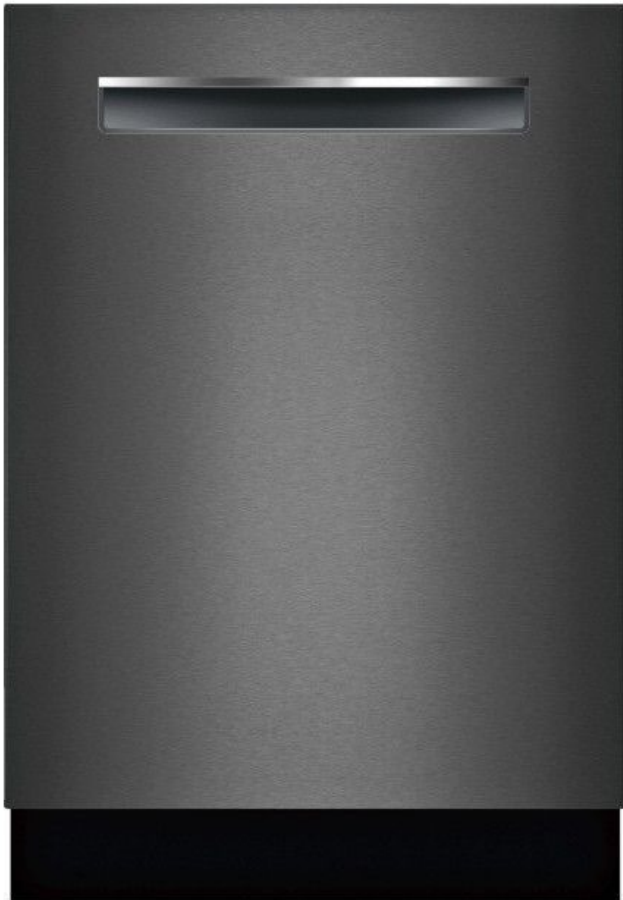




30" Electric Slide In Range

Over The Range Microwave

24" Dishwasher



Bosch Upgrade 800 Series Black Stainless Package



Black Stainless Steel
30" Chimney Wall Vent Hood

Black Stainless-Steel
Built-In Microwave



**Bosch Upgrade
Alternate Black Stainless Upgrades**



Electronic Built in Fireplace Upgrade

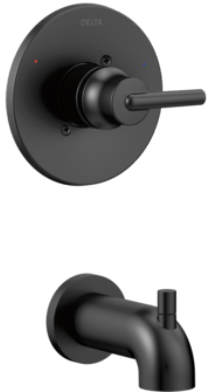
**Polished Chrome –
Standard**



**Satin Nickel –
Upgrade**



Black – Upgrade



**Polished Chrome –
Standard**



**Satin Nickel –
Upgrade**



Black – Upgrade



Polished Chrome – Standard



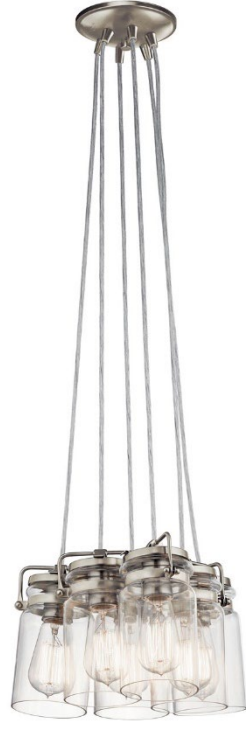
Satin Nickel – Upgrade



Black – Upgrade



Electrical Fixtures – Chrome



Electrical Fixtures – Satin Nickel Upgrade



Electrical Fixtures – Black Upgrade