



TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

May 16, 2024

Persons may address the Planning and Zoning Commission on any issue. This is the appropriate time for citizens to address the Commission on any concern whether on this agenda or not. Each member of the public who desires to address the P&Z Commission regarding an item on an agenda for an open meeting of the P&Z Commission shall have the right to address the Commission on the item before the Commission's consideration of the item. All speakers not requiring a translator are given 3 minutes to speak and may address the Commission only once on each agenda item. Non-English Speakers who require a translator are given 6 minutes to speak and may address the Commission only once on each agenda item. In accordance with the State of Texas Open Meeting Act, the board may not comment or deliberate such statements during this period, except as authorized by Section 551.042, Texas Government Code. To address the Commission for any public hearing item please sign a speaker's sheet located on the tables by the front entry and submit to a Staff member.

1. **5:45 PM Work Session**

2. **6:00 PM Regular Meeting**

3. **Roll Call**

4. **Consent Agenda**

1. Adoption of the May 2, 2024 Planning & Zoning Commission Meeting Minutes

5. **Regular Agenda**

1. **PUBLIC HEARING/ Frisco Park Annex PD Amendment (PD-23-004665).** Presentation, public hearing, discussion, and take action on a request to rezone approximately 4.9 acres of land, currently zoned Planned Development - Lakefront District (PD-LF), through Ordinance No. 1752, generally located on the north side of Main Street at East Park Drive, within Little Elm's town limits, amending the existing PD-LF District to establish modified development standards for a portion of the concept plan area, in order to approve development plans for a 25-town home development.
- Staff Report
 - Continue Public Hearing
 - Receive Public Hearing
 - Close Public Hearing
 - Discussion and Recommendation

2. **PUBLIC HEARING/ The Bracha Addition Planned Development (PD-23-000279).** A request to rezone approximately 1.6 acres of land, currently zoned as Light Commercial, generally located west of the intersection of King Road and FM 423, within Little Elm's town limits, in order to establish a new Planned Development - Light Commercial District, with modified development standards to allow for redevelopment.
 - Staff Report
 - Open Public Hearing
 - Receive Public Hearing
 - Close Public Hearing
 - Discussion and Recommendation
3. Presentation by consultant and discussion with regard to a Comprehensive Plan amendment to amend the Future Land Use Map, Future land Use Categories, projected population, and capacity. No formal action to be taken.
6. **Discussion of future agenda items, update on Council action, and requests for new business considerations**
7. **Adjourn**

Certificate

I certify that the above notice of the Planning & Zoning Commission meeting was posted on the bulletin board of the Town of Little Elm, Texas on May 13th, 2024, prior to 5:00 p.m. The Little Elm Town Hall is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive service must be made 48 hours prior to this meeting. Please contact the Town Secretary's office at 214-975-0404 or 972-377-5540 (fax) for arrangements.

Olga Chernomorets - Managing Director of Planning Services



TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

05/16/2024

OVERVIEW

Project	Adoption of the May 2, 2024 Planning & Zoning Commission Meeting Minutes
P&Z Hearing	05/16/2024
Council Hearing	N/A
Size	N/A
Current Zoning	N/A
Proposed Use	N/A
Existing Use	N/A
Future Land Use Plan Designation	N/A
Applicant	N/A
Owner	N/A
Strategic Goal	

Agenda Item

Adoption of the May 2, 2024 Planning & Zoning Commission Meeting Minutes

Location

N/A

Planning Analysis

N/A

Recommended Action

N/A

Attachments

May 2 2024 Meeting Minutes

DRAFT



Minutes

Town of Little Elm
PLANNING & ZONING COMMISSION
Regular Meeting
Thursday, MAY 2, 2024 - 6:00 pm

Present: Tom Ocelli, Commissioner; Jack Skinner, Commissioner; Brent Thibeaux, Commissioner; Michael Bell, Commissioner; Ron Trees, Chairman; Robert Martin, Vice-Chair; Deb Cadet, Alternate Commissioner; Brian Kuberski, Alternate Commissioner

Absent: Stephen Horn, Commissioner

Staff Present: Fred Gibbs, Director of Development Services
Robert Brown, Town Attorney
Olga Chernomorets, Managing Director of Planning Services
Brian Salvesen, Senior Planner
Citlali Castro, Planner

1. **5:45 PM Work Session**
2. **6:00 PM Regular Meeting**
3. **Roll Call**

Due to Charter limitations of a maximum of 7 votes, Brian Kuberski was present, but not voting.

4. **Consent Agenda**

Motion by Commissioner Michael Bell, seconded by Commissioner Jack Skinner

AYE: Commissioner Tom Ocelli, Commissioner Jack Skinner, Commissioner Brent Thibeaux, Commissioner Michael Bell, Chairman Ron Trees, Vice-Chair Robert Martin, Alternate Commissioner Deb Cadet

7 - 0 Passed - Unanimously

1. Adoption of the April 18, 2024 Planning & Zoning Commission Meeting Minutes

Agenda item approved in consent agenda motion.

5. **Regular Agenda**

1. **PUBLIC HEARING/ Frisco Park Annex PD Amendment (PD-23-004665).** Presentation, public hearing, discussion, and take action on a request to rezone approximately 4.9 acres of land, currently zoned Planned Development - Lakefront District (PD-LF), through Ordinance No. 1752, generally located on the north side of Main Street at East Park Drive, within Little Elm's town limits, amending the existing PD-LF District to establish modified development standards for a portion of the concept plan area, in order to approve development plans for a 25-town home development.
 - Staff Report
 - Continue Public Hearing
 - Receive Public Comment
 - Close Public Hearing
 - Discussion and Recommendation

Staff presented a brief summary and update of the agenda item.

Chairperson Trees continued the public hearing at 6:30 pm. There were no speakers present.

Chairperson Trees continued the public hearing until the May 16, 2024, Regular Planning and Zoning Meeting.

Motion: Table and continue the public hearing to the May 16, 2024, Regular Planning and Zoning Meeting.

Motion by Commissioner Michael Bell, seconded by Vice-Chair Robert Martin

AYE: Commissioner Tom Ocelli, Commissioner Jack Skinner, Commissioner Brent Thibeaux, Commissioner Michael Bell, Chairman Ron Trees, Vice-Chair Robert Martin, Alternate Commissioner Deb Cadet

7 - 0 Passed - Unanimously

2. **PUBLIC HEARING/ Snowy Care (SUP-23-04136).** Presentation, public hearing, discussion, and take action on a request for a Special Use Permit (SUP) for a Child Care Facility, not to exceed 9,820 square feet, on approximately 4.159 acres of land, generally located at Lakeshore Plaza, 500 feet west of the intersection of East Eldorado Parkway and Hillside Drive, within Little Elm's town limits, in order to allow a year-round child care program at the existing Snowy Fun commercial amusement facility.
 - Staff Presentation
 - Open Public Hearing
 - Receive Public Hearing
 - Close Public Hearing
 - Discussion and Recommendation

Staff presented the agenda item.

Commissioner Cadet asked if staff identified any safety issues or concerns regarding the daycare.

- Staff clarified that Staff would not review child safety, but the State of Texas has specific requirements that the applicant would have to meet to get a permit from the state.

Commissioner Kuberski asked if the applicant's future condo units are adjacent to Snowy Fun and if it would be one building.

- Staff explained that there's minimal distance between the Snowy Fun building and the condos. The condos will have first floor retail and the other two floors will serve as condos.

Commissioner Ocelli asked if the Town regulates proximity to another daycare.

- Staff clarified that while there are no regulations for proximity, there have been efforts to spread them out as much as possible.

Commissioner Kuberski asked if there is adequate parking for the condos, retail, and daycare.

- Staff elaborated that there are garages for residents and parking around the building for retail and the daycare.

Chairman Trees asked where the drop-off space would be.

- Staff explained that there would be multiple assigned drop-off parking spaces. This could impact how many spaces they can have for retail use.

The applicants, Mahdi Shekari and Shannon Styer were present to answer questions and elaborate on their proposal.

Chairman Trees asked what the hours of operation would be.

- The applicant stated that it would be 8:00am to 6:30am.

Commissioner Ocelli asked how staff would be managed, since the number of children can vary at different times.

- The applicant elaborated that there will be designated staff per day along with on-call staff.

Commissioner Bell asked if teachers would be utilized as staff.

- The applicant clarified that for Snowy Fun, the employees would be teenagers, but for Snowy Care it would be teachers or individuals who have gone through background checks and correct licensing.

Commissioner Bell asked the applicants to walk the Commission through what a day would look like for the kids.

- The applicant explained that the kids have a curriculum, and they will always be with a group and a teacher. First they will have breakfast, crafts, 30-45 minutes of jumping or obstacle courses together.

Commissioner Debra asked why the daycare would have a curriculum.

- The applicant wants the children to participate in activities outside the inflatables to keep them engaged mentally and physically.

Chairman Trees asked if Snowy Care also serves as an on-demand service.

- The applicant stated that it is considered a drop and play, but reservations are also an option. On-call staff will be available and utilized as needed.

Commissioner Bell asked if there was a proposal for outdoor space for Snowy Care.

- The applicant elaborated that they will share the playground with the Little Elephant Montessori school. There will be coordination between the two facilities regarding occupation time.

Staff elaborated that staff called other similar facilities to gain information regarding schedules and programming. Drop in days for other facilities are on specific days and hours of the week. They have seasonal camps that are only a few weeks in a year. Staff was unable to find any other facilities that are like Snowy Care.

Chairman Trees opened the public hearing at 6:35pm. There were no speakers present.

Chairman Trees closed the public hearing at 6:35pm.

Vice-chair Martin stated that he was looking into possible licensing that may be needed for a facility like Snowy Care. Texas requires a license for Child Care center. He stated that he found it difficult to support a childcare SUP without requiring licensing.

Commissioner Skinner echoed Vice-chair Martin's sentiment. He could appreciate the concept but worried that it was hard to keep it from turning into something else. He was not in favor of a daycare at the location because it did not seem to fit the location.

Commissioner Bell stated that he is not opposed to the idea, but the concept and plan is not ready.

Commissioner Thibeaux believed that the proposed project does not fit the area.

Commissioner Cadet liked the concept but believed that the concept needed more work.

Chairman Trees also liked the concept but believed that the proposed item does not fit the location. He also had concerns regarding traffic and drop-off points.

Commissioner Kuberski stated that the categorization of the proposal should be daycare, and it does not match with what would be required from a daycare. He believes there are concerns regarding staffing and availability due to the uncertainty about how many children will attend daily.

Motion: Deny agenda item.

Motion by Commissioner Jack Skinner, seconded by Commissioner Brent Thibeaux

AYE: Commissioner Tom Ocelli, Commissioner Jack Skinner, Commissioner Brent Thibeaux, Commissioner Michael Bell, Chairman Ron Trees, Vice-Chair Robert Martin, Alternate Commissioner Deb Cadet

7 - 0 Passed - Unanimously

6. Convene in Executive Session pursuant to Texas Government Code:

Section 551.071 for private consultation with the Town Attorney to discuss the COVID-19 pandemic and municipal authority to respond to the COVID-19 outbreak and to seek legal advice with respect to pending and contemplated litigation and including all matters on this agenda to which the Town Attorney has a duty under the Texas Rules of Discipline and Professional conduct regarding confidential communication with the Planning and Zoning Commission.

Section 551.072 to discuss certain matters regarding real property.

Section 551.074 of the Texas Government Code to discuss and deliberate personal matters to evaluate performance duties, of a public officer or employee(s).

Section 551.076 to discuss security matters.

Section 551.087 to discuss Economic Development.

Planning and Zoning Commission convened into Executive Session at 6:42pm.

7. Reconvene into Open Session

Discussion and consideration to take any action necessary as the result of the Executive Session: COVID-19 Pandemic and the Town's response thereto, including the consideration of an emergency declaration ordinance.

Section 551.071 for private consultation with the Town Attorney to discuss the COVID-19 pandemic and municipal authority to respond to the COVID-19 outbreak and to seek legal advice with respect to pending and contemplated litigation and including all matters on this agenda to which the Town Attorney has a duty under the Texas Rules of Discipline and Professional conduct regarding confidential communication with the Planning and Zoning Commission.

Section 551.072 to discuss certain matters regarding real property.

Section 551.074 of the Texas Government Code to discuss and deliberate personal matters to evaluate performance duties, of a public officer or employee(s).

Section 551.076 to discuss security matters.

Section 551.087 to discuss Economic Development.

Planning and Zoning Commission reconvened into open session at 7:30 pm. No action was taken.

8. Discussion of future agenda items, update on Council action, and requests for new business considerations

9. Adjourn

Meeting was adjourned at 7:30 pm.



TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

05/16/2024

OVERVIEW

Project	PUBLIC HEARING/Frisco Park Annex Planned Development (PD-23-004986)
P&Z Hearing	05/16/2024
Council Hearing	TBD
Size	Approximately 4.9 acres
Current Zoning	Planned Development (Lakefront District Base)
Proposed Use	Planned Development (Lakefront District Base)
Existing Use	Residential
Future Land Use Plan Designation	Special Planning Area 3
Applicant	Solana Annex Flats, Krea Development
Owner	Multiple Owners
Strategic Goal	

Agenda Item

PUBLIC HEARING/ Frisco Park Annex PD Amendment (PD-23-004665). Presentation, public hearing, discussion, and take action on a request to rezone approximately 4.9 acres of land, currently zoned Planned Development - Lakefront District (PD-LF), through Ordinance No. 1752, generally located on the north side of Main Street at East Park Drive, within Little Elm's town limits, amending the existing PD-LF District to establish modified development standards for a portion of the concept plan area, in order to approve development plans for a 25-town home development.

- Staff Report
- Continue Public Hearing
- Receive Public Hearing
- Close Public Hearing
- Discussion and Recommendation

Location

Generally located north of the intersection of Main Street and East Park Drive, within Little Elm's town limits.

Planning Analysis

Background.

Subject property consists of 4.9 acres of land within the Frisco Park Annex Subdivision, currently zoned as Planned Development – Lakefront District through Ordinance No. 1752.

In 2017, this area was rezoned to Lakefront District. The Lakefront District established standards and design criteria for building form, streets and street framework, landscape, and signage, to ensure a cohesive and quality aesthetic of the built environment. The Lakefront District encourages mixed-use buildings and allows for a variety of retail, commercial, and amusement uses, and residential uses in the form of townhomes or live-work units only.

In February 2024, Town Council approved a Town initiated Planned Development (PD), based on the Lakefront District, through Ordinance No. 1752. This was a result of Staff's concerns that given the amount of growing interest, the current limitations and layout of the streets, and the flexible administrative allowances for development, redevelopment would occur in a disorganized manner, one lot at a time; permanently engraving the currently disconnected street framework. The goal was to create a regulating layout plan to provide a conceptual framework for future redevelopment of properties specifically within the Frisco Park Annex Subdivision. The approved PD kept the Lakefront District zoning standards but established a general layout, circulation plan, and design guide to ensure cohesive redevelopment. The regulating plan was also intended to encourage a larger scale redevelopment, while allowing for a phased approach.

At this time, developer under the names of Solana Flats LLC., and Lone Star Annex LLC., has obtained 10 contiguous properties, a total of 1.61 acres, of the 28 properties in the existing subdivision. Developer is planning to redevelop this area as Phase 1 of the approved concept plan, and is requesting certain waivers to the existing Lakefront District standards, specific to this 1.61-acre area, in order to construct the proposed townhomes. Staff believes this area is sufficient for a cohesive first phase of redevelopment, as envisioned through Ordinance No. 1752.

Staff has been working with the developer to ensure the proposed townhome development aligns with the intent and design vision of the recently adopted regulating plan. However, because the existing zoning is a PD based on the Lakefront District standards, any deviations require a zoning process to request a PD amendment for those specific modifications.

Proposal.

The applicant is proposing to build six packs of three-story townhomes, ranging from three to five units in each pack, and totaling 25 townhomes. Each townhome unit will have three bedrooms, three bathrooms, a two-car garage, and a rooftop patio. The proposed layout is accordance with the previously approved Regulating Plan. In addition to the 25 townhomes, the applicant is providing the required trail connection to the Johnny Broyles Trail network, upgrading utilities in the area, realigning the existing right-of-way, and constructing new private streets. The applicant is proposing a smooth curve transition where the new private street connects to the existing right-of-way.

The applicant is proposing to meet all the requirements of the base Lakefront District (LF), more particularly those listed under the Townhome District (TH) since this is a townhome development, with the following requested modifications:

- Establish townhome area requirements based on buildings, dwelling units, and site improvements, not individually platted lots.
- Building height
- Material requirements
- Front door entry requirements
- Landscape Zone 2 reduction and Zone 3 omission
- Tree mitigation

The recently approved Regulating Plan for the overall subject area provides a conceptual layout, as well as exhibits for the look and character of any proposed new Townhomes. The Lakefront District defers townhome development standards to follow the Townhome District (TH), therefore the sections below

outline how the proposed development may or may not meet these development standards. If it is not explicitly listed, the Townhome and Lakefront District standards will be followed.

Zoning Standards.

Area Requirements

The lot area and setbacks are challenging to compare because the overall development, in coordination with the Town's engineering department and the Regulating Plan for the overall subject area, proposes private streets, whereas the Townhome (TH) district outlines setbacks from the public right-of-way and requires individually platted lots. In owner-occupied developments where lots are not individually platted, a condo plat is utilized, so the development consists of one large lot with individually platted building footprints to be owned by the occupant, and associated public easements as necessary.

Proposed development complies with the layout approved through the Regulating Plan and establishes the required minimum setbacks as 10 feet from the Main Street right-of-way, 10 feet from the rear property line, and five-foot side yards. The distance between the townhome building packs is a minimum of 20 feet.

Height Requirements

Maximum height meets the 45-foot requirement, with only the five-packs, facing the existing Army Corps of Engineers land having an additional 2 feet at the peak of the middle townhome unit. This was done at Staff's request in order to break up these larger packs and provide additional visual interest. Generally, Section 106.06.08 - Special area and height regulations allows false mansard up to six feet above height limit. Additionally, in the recent past, Council has approved a slight height increase in the Lakefront District, where the increase is solely for decorative purposes.

Front Door Entry Requirements

Front door entry is required to be located a minimum of two feet above the sidewalk elevation and include a minimum 24 square foot stoop. The applicant is proposing to reduce the elevation requirement to 6 inches above sidewalk but increase the front stoop to 50 square-feet.

Development Standards.

The elevation examples in the regulating plan do not prescribe a specific ratio of materials but provide a design and aesthetic to be applied to the redevelopment of this area. Staff and the applicant have been working to ensure the Regulating Plan is met as closely as possible in that regard.

Section 106.06.04 prescribes exterior material standards for Townhomes and states that Townhomes should be finished with a minimum of 85% Category A (masonry) materials on the first floor and 50% on all other floors. The remaining percentage on each floor should be Category B materials.

That being said, Staff has worked with the applicant in order to provide an interesting mix of materials and to ensure unit design variation, braking up any potential uniformity. While materials percentages are an important indicator, Staff's goal in this effort has been to ensure a high degree of architectural character that aligns with the goals of the regulating plan and the goals of the Lakefront District. Utilizing the concept photos from the regulating plan, architectural features such as white brick, enhanced front doors, lighting features, alternating unit design, and wood accents were all examples of what was envisioned for this area.

The proposed elevation plans capture the minimum material requirements for this development, providing approximately 60% masonry on the ground floor and 50% on the floors above.

Sample of elevation percentages below show the makeup of the four-pack townhomes:

Elevation	Glazing	Masonry (A)	Stucco (B)	Other (C)
Front	30%	60%	21%	19%
Side C	7%	40%	60%	0%
Side D	6%	35%	64%	1%
Rear	22%	49%	51%	0%

Front Elevation

Floor	Glazing %	Masonry %	Stucco %	Other %	
Ground Floor	35.7%	61%	0%	39% 'Poplar siding'	
Remainder	27.6%	52%	46%	2%	

Staff worked with the applicant to provide enough glazing on the side elevations to provide continuity and interest of the design, while keeping the percentage to a minimum in order to respect the remaining adjacent single-family homes. Half of the windows shown on the side elevations are designed and intended more for provision of light.

Landscaping Standards.

The proposed landscaping will be in compliance with landscape requirements for the Townhome District, as well as the general Landscape Ordinance requirements, with the exception of the following.

Front Yard Landscape Zones

Three front yard landscape zones are required between back of curb and the building line:

Streetscape Zone 1 requires a minimum five-foot-wide area adjacent to the back-of-curb for trees, street furniture, and a one-foot dismount strip. The intent is allow for provision of trees along the street frontage as well as allow passengers to be able to get out of the vehicle onto a paved area and not a landscaped buffer. Given the majority of this development consists of private streets with rear garage entries, this zone is not applicable. The intent of this zone is met through provision of sidewalks and street trees.

Sidewalk Zone 2 requires a minimum six-foot-wide clear sidewalk, the applicant is proposing 5 foot sidewalks throughout this development.

Landscape Zone 3 requires a minimum six-foot landscape/patio area adjacent to the building. The applicant is proposing to omit this zone except along Main Street, where a varied landscape area adjacent to the building would be provided. *Staff believes that there is opportunity to provide at least a five-foot landscape area adjacent to the buildings along the outside perimeter of this phase.*

Landscaping and Screening at Rear Entries.

Based on the envisioned design guide, the rear garage entries are to be landscaped and provide a front door for better perception of front entries. While the applicant is proposing to plant trees between each driveway, it is unclear how the doors adjacent to the garage would be accessed. *Staff wants to ensure there is adequate landscaping and well thought-out access pathways for each townhome, especially given that some of these areas may house utilities.*

Tree Mitigation.

The applicant is proposing to count new trees in the landscape plan as mitigation trees to account for all potential tree mitigation. At this time, the tree mitigation plan appears to be missing some existing right-of-way trees that may also be impacted during development. Staff believes the total tree mitigation numbers can be corrected prior to any final approvals.

Amenity and Open Space.

Additionally, as part of this amendment, Staff is proposing to add language to the regulations for the overall subject area requiring amenities be provided at certain thresholds, to ensure that all existing lots maintain their value, even those identified as amenity space in the concept plan. The new language, more specifically stated within the PD Narrative, requires the open space to be amenitized with landscaping, trail, covered seating, and either sculpture, water feature, or bbq grills; or as a private dog park. Open Space landscaping shall follow the typical Townhome District requirement of a minimum of three large canopy trees and six small ornamental trees for every 1,600 square feet of open space area.

Amenity Center would have to be constructed to match the materials and design of the townhomes, per the intent of the adopted design guide, and would have to provide meeting space/event club house and an outdoor pool with landscaping. Additional or alternative amenity options are subject to approval of the Director of Development Services, and must be supported by the HOA.

Open Space and Amenity Center, whichever is most relevant based on location of development at that time, shall be provided in concurrence to the issuance of a building permit for building containing the units that add up to 45 of the total 66 possible townhome units. The second amenity shall be provided prior to the issuance of a building permit for the building containing the last of the 66 units.

Parking.

Each Townhome will have two garage spots and two driveway spots. The minimum for number of parking spaces in Townhome districts is two garage spaces per unit and 0.3 spaces per unit of additional parking. This requirement is typically met through provision of on-street parking, however, since the development will have private streets that do not allow for on-street parking, the additional parking requirement is met through provision of two garage driveway spaces.

Subdivision.

The proposed development meets the Town's subdivision requirements. The property will need to replat once the civil plans are deemed by staff as "approvable". The new part of the street would be privately maintained, but publicly accessible as it is not intended for this to be a gated subdivision nor is it intended to restrict access from current residents but rather enhance access. When replatting the area of this amendment, a condo plat will be utilized in which each townhome is owned by the resident, but overall greenspaces and parkways are owned and maintained by the HOA.

Development Agreement.

Should this Planned Development amendment be approved, a Development Agreement, specific to the Phase 1 area, will also be drafted for approval by Town Council. This agreement will memorialize the proposed development plan details, interior finishes, and a draft of the Covenants, Conditions, and Restrictions (CC&Rs) for the HOA.

Fire, Engineering, and Building.

The Fire, Engineering, and Building department have reviewed the proposed plans and determined them to be acceptable for the purposes of this rezoning request. This is not an approval of any of the plans for construction.

Comprehensive Plan.

The proposed development is in accordance with the Town's Comprehensive Plan and Future Land Use Plan. The Town envisions this property as a light commercial use, which aligns with the intent of the proposed development and also increases the recreation options of residents by providing a dog park.

Recommended Action

Staff is generally supportive of the proposed Phase 1 redevelopment and recommends the Planning and Zoning Commission evaluate the proposed amendment request based on the vision of Comprehensive Plan and the Lakefront District, as well as how closely it aligns with the Regulating Plan and Design Guide, established through Ordinance No. 1752.

If the Commission moves in the direction of approval, Staff believes the following items, as discussed above, should be considered as conditions of the approval. Staff believes these conditions are minor enough that they can be addressed prior to going in front of Town Council:

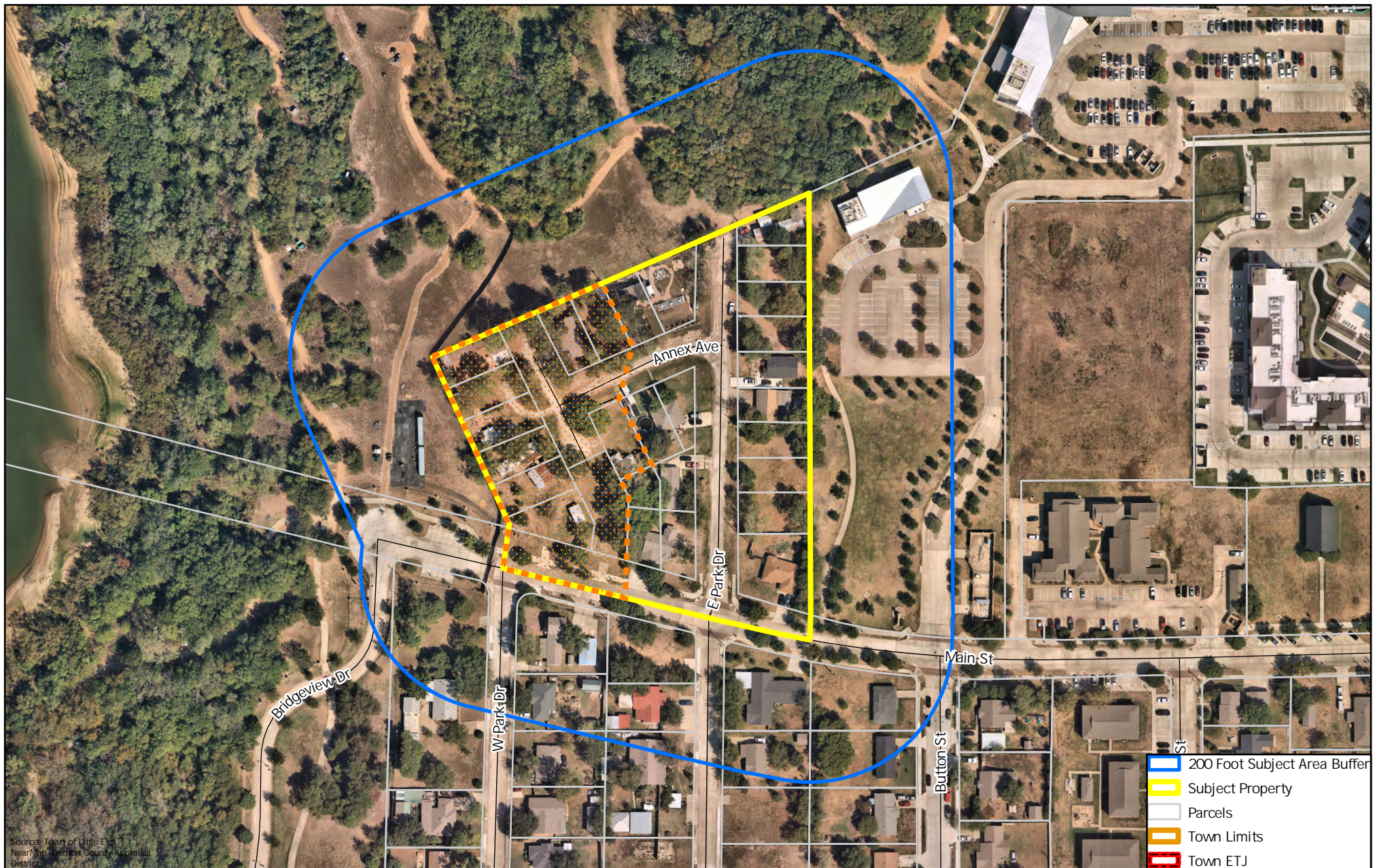
1. provide at least a five-foot landscape area adjacent to the buildings along the perimeter and meander the sidewalk as needed
2. provide additional detail showing how rear doors are accessed, maintaining sufficient landscaping and

- utility screening
- 3. revise tree mitigation plan to show all trees impacted by the development

Attachments

Location Map

PD Narrative and Exhibits



Source: Town of Little Elm
Nearby: Denton County Appraisal
District



Regulating Plan for Frisco Park Annex Subdivision Little Elm, TX 75068

Town of Little Elm
Denton County, Tx

Date: 11/20/2023

0 90 180
US Feet



This product is to be used for graphical representation only. The accuracy is not to be taken/used as data produced for engineering purposes or by a Registered Professional Land Surveyor for the State of Texas. For this level of detail, supervision and certification of the produced data by a Registered Professional Land Surveyor for the State of Texas would have to be performed. Town of Little Elm and its members assume no responsibility for the accuracy of said data.

FRISCO PARK ANNEX SUBDIVISION - TOWNHOMES PLANNED DEVELOPMENT DISTRICT

This zoning submittal is an amendment to the existing Planned Development - Lakefront District ("PD-LF") through Ordinance No. 1752, which encompasses approximately 4.9 acres of land within the Town of Little Elm. This amendment establishes additional criteria for the overall area, and establishes modified development standards specific to a 1.61-acre Phase 1 of redevelopment, more fully described and attached as Exhibit A (the "Property"). Phase 1 consists of a new owner-occupied townhome development, establishing six buildings and a total of 25, three-bedroom, townhome units. This development shall align with the goals of previously envisioned PD-LF district for cohesive, high-quality redevelopment that enhances the natural characteristics of the property, and provides the highest and best use based on its location within the Lakefront District. This amendment to the existing PD-LF will provide the zoning regulations as depicted in Exhibit B, specific to the 1.61-acre Property. The final layout must generally conform with Exhibit C, and the concept plan as previously approved through ordinance No. 1752.

It is the intent of this PD-LF to primarily follow the Lakefront District (LF) zoning regulations as the base district, with modified development standards as outlined within Exhibit B, therefore amending the existing Town of Little Elm, Texas zoning map. Any conflict between this PD-LF and the Zoning Ordinance shall be resolved in favor of the regulations set forth in the PD-LF, or as may be ascertained through the intent of this PD-LF. As used herein, "Zoning Ordinance" means the comprehensive zoning of the Town of Little Elm, Texas, in effect on the effective date of this Agreement, except otherwise defined in this Agreement. Uses and development regulations specifically modified, designated or included in this PD-LF shall not be subject to amendment after the date of the adoption of this PD-LF (the "Effective Date") (whether through the amendment of the Zoning Ordinance or otherwise), except through an amendment of this PD-LF. Uses and development regulations which otherwise are not specifically modified, designated, or included in this PD-LF shall be controlled by the "Zoning Ordinance", as it may be amended unless context provides to the contrary.

CONCEPT PLAN REQUIRED

The Concept Plan attached hereto as Exhibit C, and incorporated herein by reference, regulates the general layout of townhome development, required amenities, and private street layout. An amendment to a concept plan approved as a part of an ordinance establishing a planned development district is a change in zoning district classification and must follow the same procedures set forth in Section 106.04.03, except the Director may approve minor revisions which do not alter the basic relationship of the proposed development, and align with the visions, goals, and intent of the Lakefront District and Ordinance No. 1752.

As used herein, "Director" means the Director of Development Services.

EXHIBIT A

Property Description – Overall Subject Area



EXHIBIT A

Property Description – Phase 1 Property

Being Lots 14, 15, 16, 17, 18, 19, 20, 21, 22, and 28, of FRISCO PARK ANNEX, an addition to the Town of Little Elm, according to the Plat thereof recorded in Volume 2, Page 160, Plat Records, Denton County, Texas.



EXHIBIT B

Development Standards

Except as otherwise set forth in these development standards, the development of this area shall follow the regulation of the Town Little Elm's Zoning Ordinance and the Subdivision Ordinance, as they exist, or may be amended, at the time of development.

Generally. The 4.9 acres of land shall be generally improved in accordance with the Regulating Concept Plan and Design Vision documents forth in Exhibit B of Ordinance 1752, providing conceptual framework and architectural design options for townhome development. Development standards shall be in accordance with the Lakefront District (LF) and the Zoning Ordinance in general.

Amenities. Open Space and Amenity Center shall be provided generally as shown in the Regulating Concept Plan.

Open Space shall be amenitized per approval of the Director; including, but not limited to, landscaping, trail, covered seating, and either sculpture, water feature, or barbeque grills. Open Space could alternatively be a private dog park with landscaping and amenities appropriate for such use. Open Space landscaping shall follow the typical Townhome District requirement of a minimum of three large canopy trees and six small ornamental trees for every 1,600 square feet of open space area.

Amenity Center shall be constructed to match the materials and design of the townhomes, per the intent of the adopted design guide, and shall provide meeting space/event club house and an outdoor pool with landscaping, per approval of the Director. Additional or alternative amenity options are subject to approval of the Director, and must be supported by the HOA.

Open Space and Amenity Center, whichever is most relevant based on location of development at that time, shall be provided in concurrence to the issuance of a building permit for building containing the units that add up to 45 of the total 66 possible townhome units. The second amenity shall be provided prior to the issuance of a building permit for the building containing the last of the 66 units.

GENERAL CONDITIONS FOR PHASE 1 “PROPERTY”

1. Use Regulations

- a. No building, structure, land or premises will be used, and no building or structure shall hereafter be erected, constructed, reconstructed, or altered, except for one or more of the uses specified herein as depicted on the concept site plan attached as Exhibit C.
 - i. Maximum of 25 owner-occupied townhomes

2. Area and Height Regulations

- a. Lot regulations shall be in accordance with the Zoning and Subdivision Ordinance, unless otherwise specified in the Regulating Concept Plan and herein.
 - i. Phase 1 will remain as one lot with a maximum of 25 dwellings units platted through a condo plat to provide for individual townhome ownership, and establish an HOA for the maintenance of private streets and common areas.
 - ii. The minimum setbacks are established as follow:

Front yard building setback from Main Street:	10 feet
Rear yard building setback from Army Corps of Engineers land:	10 feet
Side yard building setback on the east and west:	5 feet
Building separation:	20 feet
- b. Maximum Height is 45 feet, with only the buildings facing the existing Army Corps of Engineers land with possible additional 2 feet at the peak of the middle townhome unit.

3. Front Door Entry

- a. The front door entry shall be located a minimum of 6 inches above the sidewalk elevation and include a minimum 50 square foot stoop.
- b. If pre-empted by topographic conditions, the entry may be lowered in elevation, subject to approval of the Director.
- c. There shall be a landscaped area separating the private area from the public/private sidewalk area.
- d. Up to 50 percent of units may be ADA accessible from the sidewalk.

4. Architectural Standards

- a. Architectural standards shall be in accordance with the Zoning Ordinance, Section 106.04.02 - Lakefront District and Section 106.06.04 Architectural Standards for Townhomes, unless otherwise specified in the Façade Plans, referenced in Exhibit C, and provided herein.
 - i. Buildings must be developed per approved Facades Plans.
 - ii. Townhomes shall be finished with a minimum of 60% Category A (masonry) materials on the first floor and 50% on all other floors. The remaining percentage on each floor should be Category B materials, with Category C materials allowed as accents not to exceed 10%.
 - iii. Garage doors and front entry doors visible from the right-of-way, or a private street, shall consist of stained cedar, redwood, spruce, fir or other hardwood, or other products, including products that are not wood but have a wood appearance and approved by the Director.
 - iv. Mailboxes must be grouped. Exterior of the structure shall be masonry to match the primary buildings, the roof made of metal materials, located on a common lot and maintained by the HOA.
 - v. Outside of designated trash pickup times, trash receptacles shall be stored inside, out of view from any private or public street.

5. Landscaping Standards

- a. All provisions within Article VI. Division 2. Landscaping and Tree Preservation shall be met, as it exists or may be amended in accordance with the standards in effect at the time of development, or requested change, unless otherwise shown on the Landscape Plans attached hereto as Exhibit C.
 - i. Front Yard Landscape Zones
 - Zone 1. The intent of this zone is met through provision of sidewalks and street trees.
 - Zone 2. A minimum five-foot-wide clear sidewalk.
 - Zone 3. A minimum five-foot landscape area adjacent to the building.
 - ii. Rear Entries shall be provided with adequate landscaping and maintain a clear path to the door.
 - iii. Tree mitigation shall be met by the provision of trees as shown within Exhibit C.

6. Parking and Accessibility

- a. All provisions within Section 106.03.01(j) - Townhome District and Section 106.04.02 - Lakefront District in general shall be met except as specified below:
 - i. Minimum garage and driveway space size established as shown in the Site Plan referenced in Exhibit C.
 - ii. Garage driveway spaces can be counted toward the minimum number of other parking spaces required per unit, in addition to the two-car garage.
 - iii. On-street parking is prohibited.

7. Screening

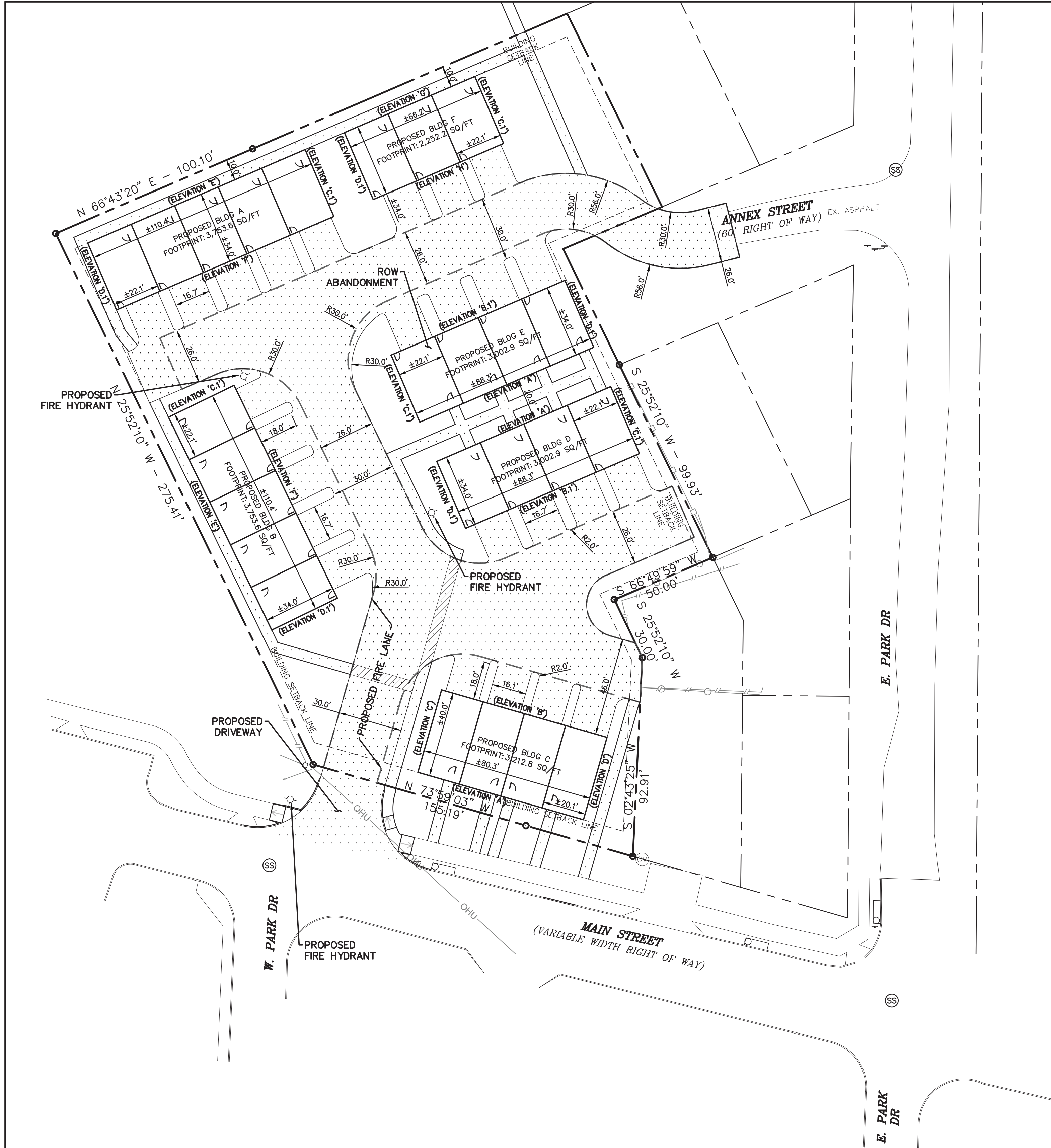
- a. All provisions within Article VI. Division 3 Screening Walls and Fences shall be met.
- b. Any ground-, roof-, or wall-mounted mechanical equipment or utilities must be located away from Main Street and fully screened.

8. Homeowners Association

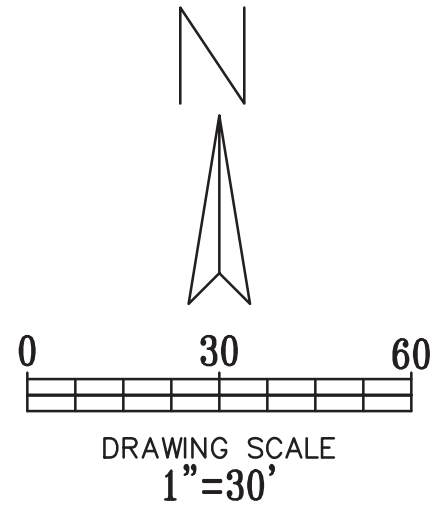
- a. A Homeowners' Association (HOA) will be established for the development.
- b. Dedicated open space, required landscape, private streets and parkway areas, any retaining walls or screening walls/mechanisms will be owned and maintained by the HOA.
- c. Final Covenants, Conditions, and Restrictions (CC&Rs) required to be recorded prior to the Town being able to sign off on the plat document.

EXHIBIT C

Development Plans



LEGEND		
	EXISTING CURB	
	PROPOSED CURB	
	PROPOSED PAVEMENT	



SITE PLAN SUMMARY CHART		
SITE DATA SUMMARY	EXISTING	PROPOSED
EXISTING ZONING	PLANNED DEVELOPMENT TOWN HOMES	PLANNED DEVELOPMENT TOWN HOMES
FRONT SETBACK	6'	6'
SIDE SETBACK	5'	5'
REAR SETBACK	20'	10'
LAND USE DESIGNATION	TOWNHOMES	TOWNHOMES
GROSS ACREAGE	1.61 ACRES	1.61 ACRES
NET ACREAGE	1.61 ACRES	1.61 ACRES
NUMBER OF PROPOSED LOTS	1	1
PERCENTAGE OF SITE COVERAGE	25%	75%
AREA OF OPEN SPACE	52,636 SQFT	17,440 SQFT
PERCENTAGE OF OPEN SPACE	75%	25%
PERCENTAGE OF LANDSCAPE	0%	10%
AREA OF IMPERVIOUS COVERAGE	17,632 SQFT	52,827 SQFT
PERCENTAGE OF IMPERVIOUS COVERAGE	25%	75%
PROPOSED BUILDING AREA (SQUARE FOOTAGE FOOTPRINT)	9,427 SQFT	18,978 SQFT
NUMBER OF SINGLE-STORY BUILDINGS	8	0
NUMBER OF TWO-STORY BUILDINGS	0	0
MAXIMUM BUILDING HEIGHT	45	45
PROPOSED FLOOR AREA	—	56,934 SQFT
PROPOSED FLOOR AREA BY USE	—	56,934 SQFT
REQUIRED PARKING	—	25
PROPOSED PARKING	—	25
STANDARD (DRIVE/GARAGE PARKING)	—	25
HANDICAP	—	0
TOTAL	—	25
INVENTORY PARKING	—	0
ELECTRIC VEHICLE CHARGING INFRASTRUCTURE	0	0
BICYCLE RACKS	0	0
REQUIRED LOADING SPACES	—	0

SITE NOTES:

- ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND A 5% MAXIMUM SLOPE IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHALL INCLUDE ALL LANDINGS, MARKINGS, ETC AS REQUIRED BY CODE.
- PREMISE IDENTIFICATION SHALL BE PER THE FIRE DEPARTMENT REQUIREMENTS
- ALL DIMENSIONS ARE FROM FACE OF CURB TO EDGE OF CONCRETE OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- SITE SIGNAGE SHALL BE BY SEPARATE PERMIT.
- ALL FIRE LANES SHALL BE CONCRETE A MINIMUM OF 6" THICK WITH #3 REBAR, 18" ON CENTER. IT SHALL HAVE 6" LIME STABILIZATION OR 2" OF CONCRETE IN LIEU OF LIME WITH TOWN APPROVAL.

CAUTION
UNDERGROUND UTILITIES

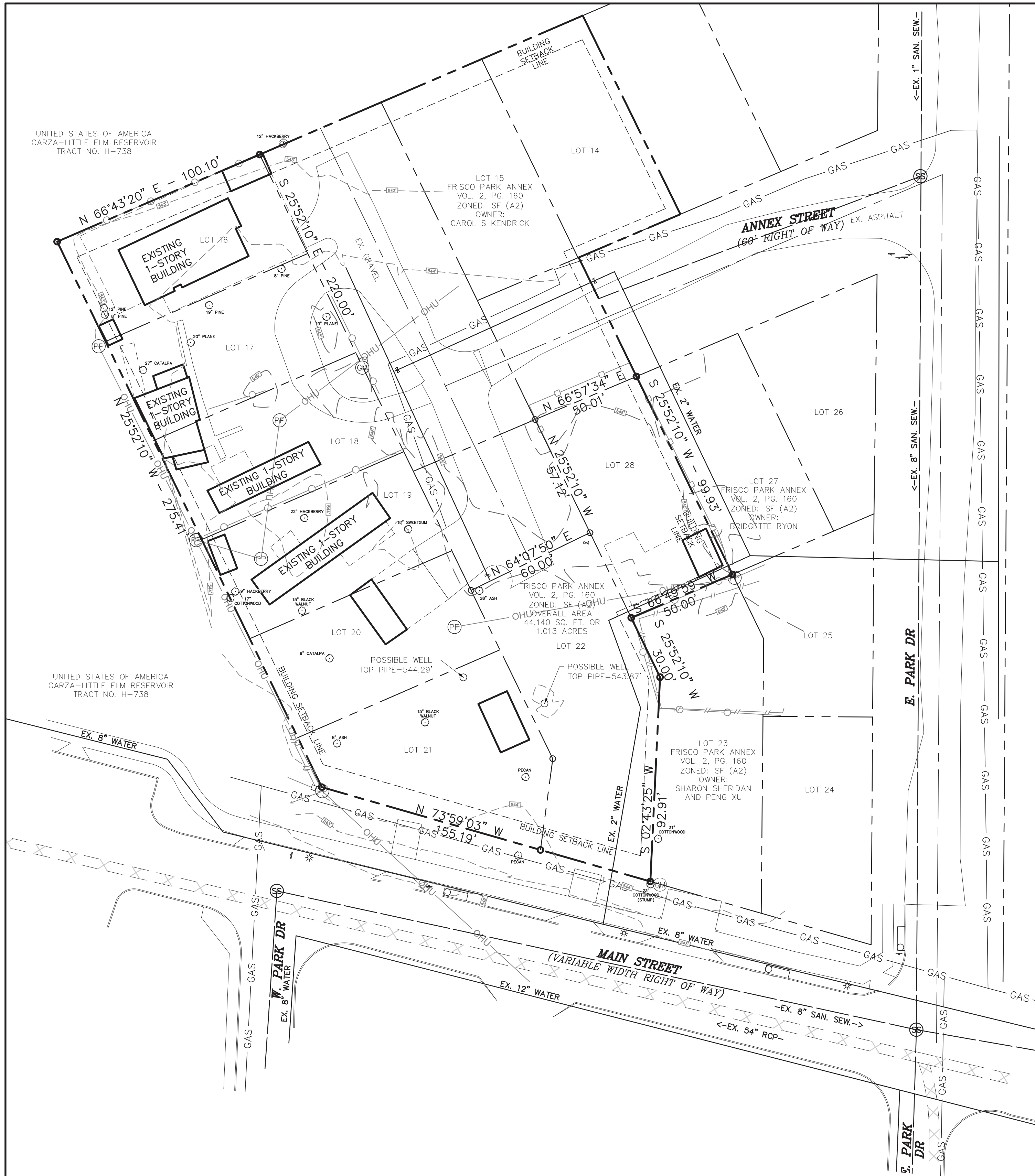
EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
CONTACT TOWN OF LITTLE ELM & 811 FOR UTILITY LOCATES AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.



04/24/24

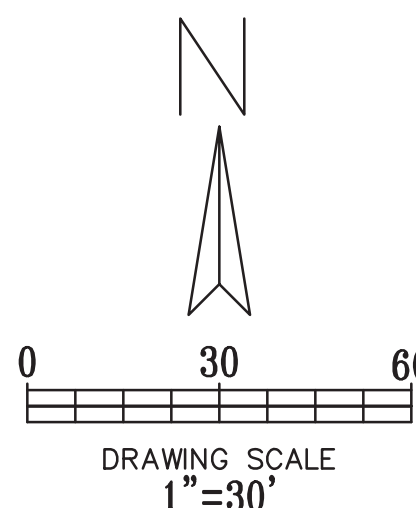
FOR REVIEW, NOT
FOR CONSTRUCTION.

REVISIONS			
REV NO.	DATE	DESCRIPTION	BY
ENGINEER: Cumulus Design Firm #14810 2080 N. Highway 360, Suite 240 Grand Prairie, Texas 75050 Tel. 214.235.0367			
ZONING SITE PLAN			
LAKEVIEW AT ANNEX			
PARK LANE & ANNEX AVENUE, 1.31 ACRES			
FRISCO PARK ANNEX, LOTS 16-22 AND 28			
TOWN OF LITTLE ELM, DENTON COUNTY, TEXAS			
TOWN CASE NUMBER	DATE	SHEET	
—	04/24/24	SP	



UNITED STATES OF AMERICA
GARZA-LITTLE ELM RESERVOIR
TRACT NO. H-738

UNITED STATES OF AMERICA
GARZA-LITTLE ELM RESERVOIR
TRACT NO. H-738



- LEGEND**
- EXISTING CURB
 - 671 — EXISTING CONTOUR
 - EXISTING STORM
 - - - - - PROPERTY LINE

TOPOGRAPHIC DATA AND PROPERTY BOUNDARY SHOWN ON THIS PLAN WAS PROVIDED BY THE DEVELOPER THROUGH A TOPOGRAPHIC SURVEY CONDUCTED BY PEISER & MANKIN SURVEYING, LLC ON 8/18/2022.

!!! CAUTION !!!
UNDERGROUND UTILITIES

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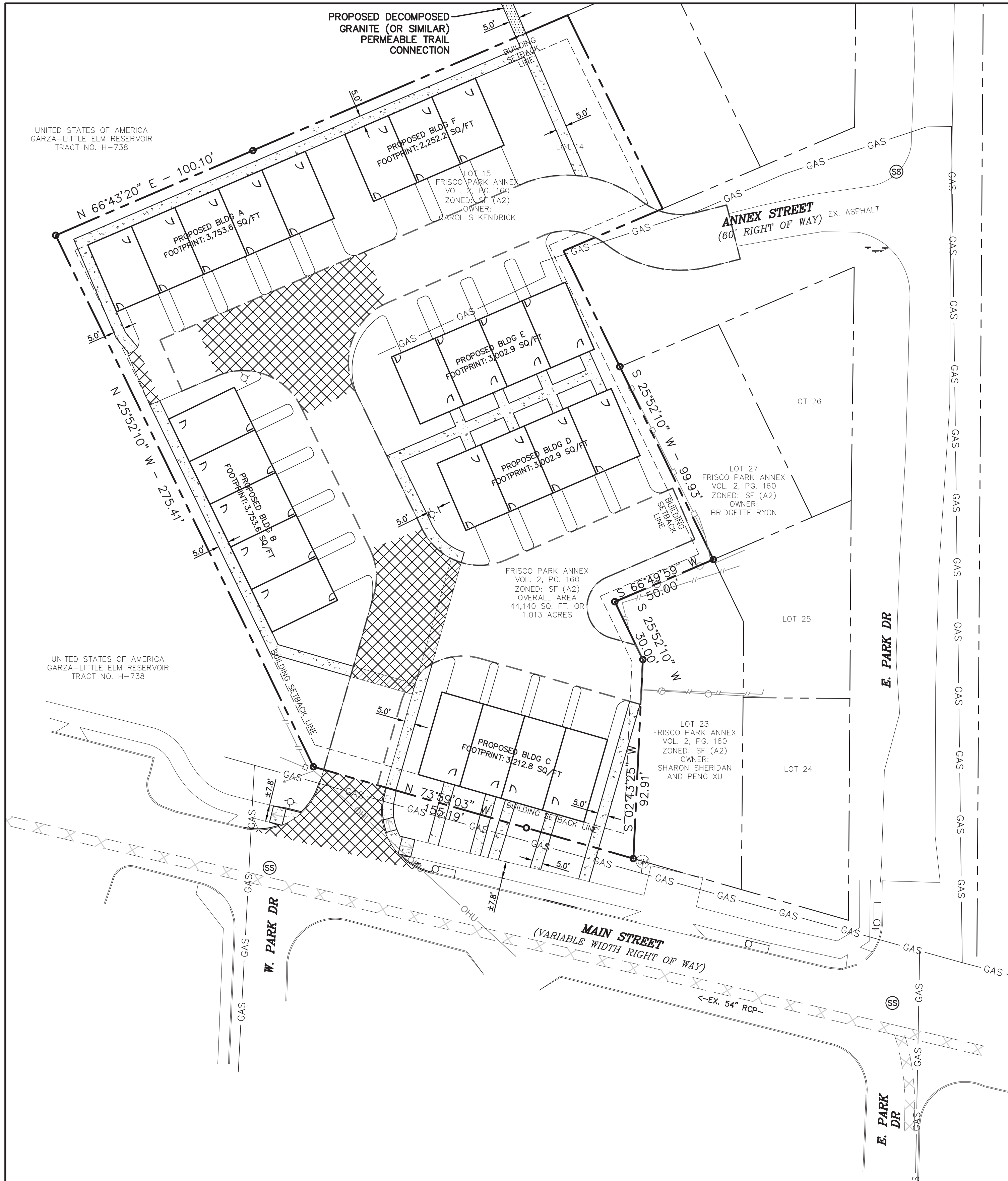
THIS DOCUMENT IS
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INFORMATION ONLY.
IT IS RELEASED
UNDER THE
AUTHORITY OF PAUL
CRAGUN, P.E.
NO. 112767 ON
04/24/24.

FOR REVIEW, NOT
FOR CONSTRUCTION.

REVISIONS			
REV NO.	DATE	DESCRIPTION	BY
ENGINEER: Cumulus Design Firm #14810 2080 N. Highway 360, Suite 240 Grand Prairie, Texas 75050 Tel. 214.235.0367			
EXISTING CONDITIONS PLAN			
LAKEVIEW AT ANNEX			
PARK LANE & ANNEX AVENUE, 1.31 ACRES			
FRISCO PARK ANNEX, LOTS 16-22 AND 28			
TOWN OF LITTLE ELM, DENTON COUNTY, TEXAS			
TOWN CASE NUMBER	DATE	SHEET	
—	04/24/24	C1.01	

UNITED STATES OF AMERICA
GARZA-LITTLE ELM RESERVOIR
TRACT NO. H-738

UNITED STATES OF AMERICA
GARZA-LITTLE ELM RESERVOIR
TRACT NO. H-738

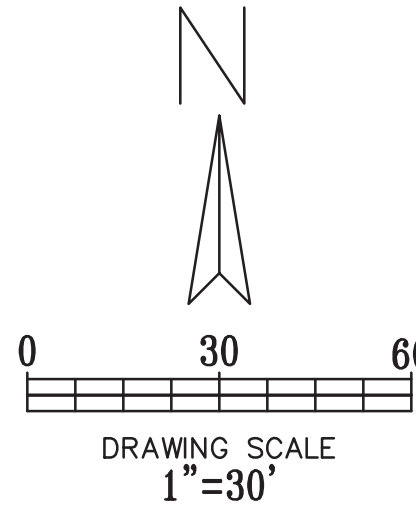


LEGEND

- EXISTING CURB
- PROPOSED CURB
- PROPOSED CONCRETE SIDEWALK
- PROPOSED PERMEABLE SIDEWALK/TRAIL
- PEDESTRIAN CROSSING SHALL BE COLORED STAMPED CONCRETE PER TOWN STANDARDS.

GENERAL NOTES:

- ALL MATERIALS AND CONSTRUCTION WITHIN STREET RIGHT-OF-WAY SHALL CONFORM TO THE TOWN STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL APPROPRIATE UTILITY COMPANIES FOR THE LOCATION OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA/SITE.
- THE PAVING CONTRACTOR SHALL NOT PLACE PERMANENT PAVEMENT UNTIL ALL SLEEVING FOR IRRIGATION, ELECTRIC, GAS, TELEPHONE, CABLE TV, SITE IRRIGATION, ETC. HAS BEEN INSTALLED. IT SHALL BE THE PAVING CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL SLEEVING IS IN PLACE PRIOR TO THE PLACING OF PERMANENT PAVING.
- ALL PAVING AND EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT.
- ALL DIMENSIONS ARE FROM BACK OF CURB, EDGE OF PAVEMENT, OR FACE OF BUILDING UNLESS OTHER WISE NOTED.
- ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM SLOPE IN THE DIRECTION OF PEDESTRIAN TRAVEL.



CAUTION
UNDERGROUND UTILITIES

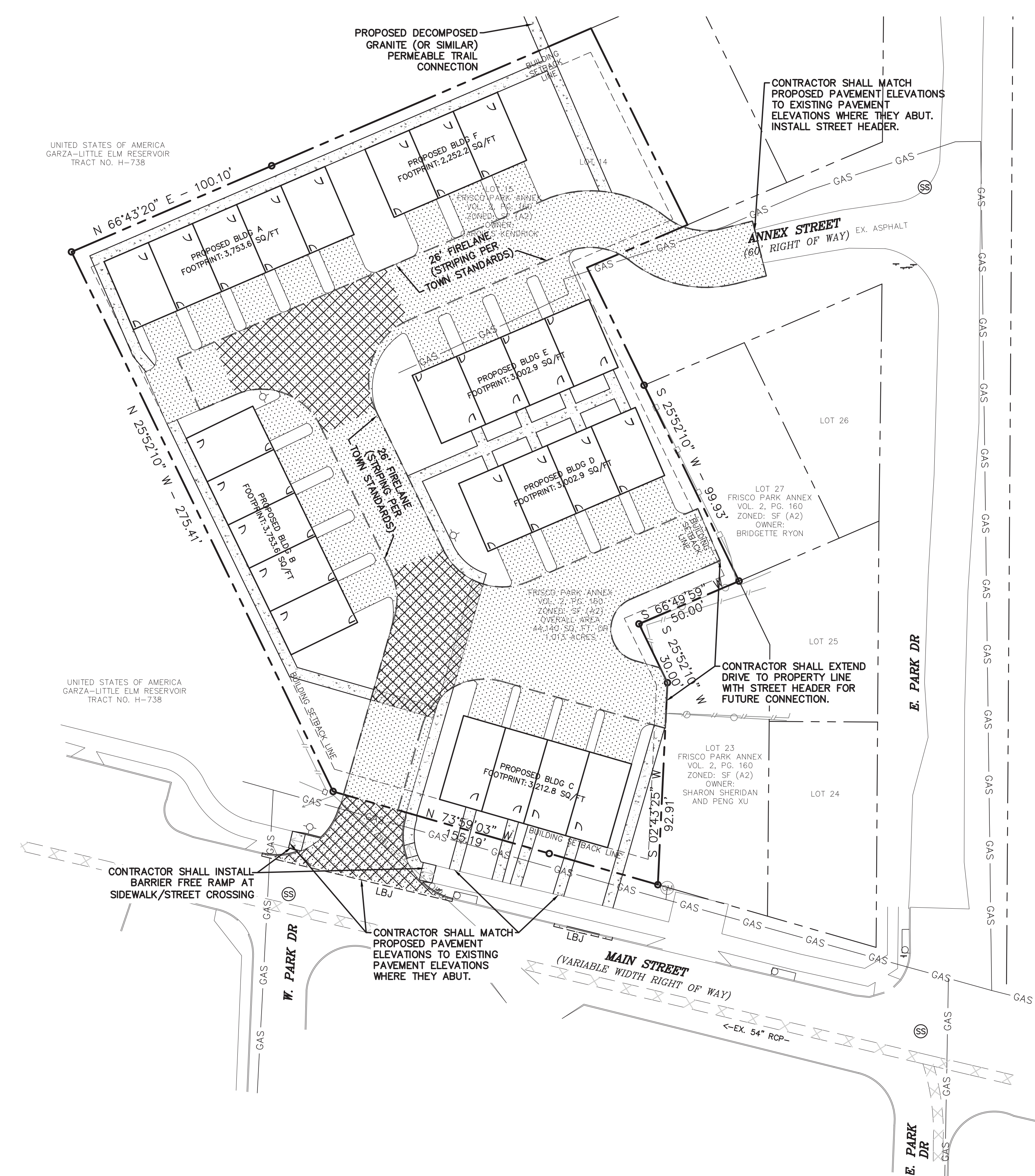
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CONTACT TOWN OF LITTLE ELM & 811 FOR UTILITY LOCATES AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.



04/24/24

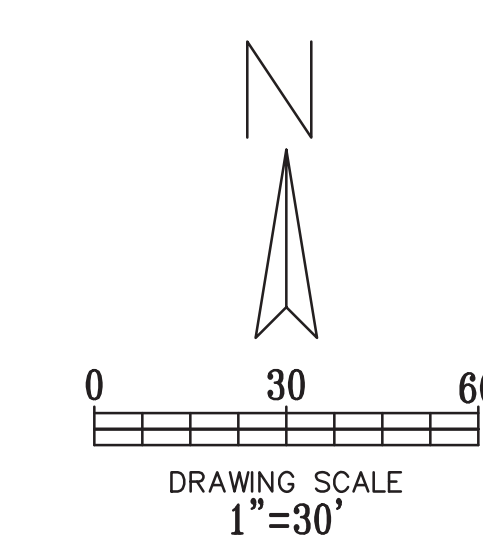
FOR REVIEW, NOT
FOR CONSTRUCTION.

REVISIONS			
REV NO.	DATE	DESCRIPTION	BY
ENGINEER: Cumulus Design Firm #14810 2080 N. Highway 360, Suite 240 Grand Prairie, Texas 75050 Tel. 214.235.0367			
SIDEWALK PLAN			
LAKEVIEW AT ANNEX			
PARK LANE & ANNEX AVENUE, 1.31 ACRES			
FRISCO PARK ANNEX, LOTS 16-22 AND 28			
TOWN OF LITTLE ELM, DENTON COUNTY, TEXAS			
TOWN CASE NUMBER	DATE	SHEET	
—	04/24/24	C3.01	



- LEGEND**
- EXISTING CURB/PAVEMENT EDGE
 - PROPOSED CURB
 - - - PROPOSED SAWCUT
 - LBJ — PROPOSED LONGITUDINAL BUTT JOINT
 - LS — PROPOSED LANDSCAPING AREA
 - 4" 3000 PSI REINFORCED CONCRETE PAVEMENT WITH #3 BARS @ 24" ON CENTER, EACH WAY, ON PREPARED SUBGRADE.
 - DECOMPOSED GRANITE OR APPROVED EQUAL MATERIAL TO MATCH EXISTING TRAIL SYSTEM (FOR TRAIL TO SITE CONNECTION)
 - 6" 3600 PSI REINFORCED CONCRETE PAVEMENT WITH A MIN. #4 @ 18" ON CENTER, EACH WAY WITH LIME STABILIZED SUBGRADE OR 6" FLEXBASE WITH GEOGRID. FIRELANES SHALL BE PER TOWN STANDARDS.
 - PEDESTRIAN CROSSING SHALL BE COLORED STAMPED CONCRETE PER TOWN STANDARDS.

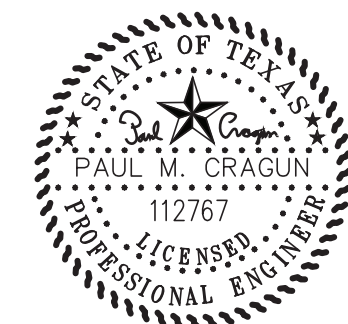
- GENERAL PAVING NOTES:**
- ALL MATERIALS AND CONSTRUCTION WITHIN STREET RIGHT-OF-WAY SHALL CONFORM TO THE TOWN STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THIS PROJECT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL APPROPRIATE UTILITY COMPANIES FOR THE LOCATION OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA/SITE.
 - THE PAVING CONTRACTOR SHALL NOT PLACE PERMANENT PAVEMENT UNTIL ALL SLEEVING FOR IRRIGATION, ELECTRIC, GAS, TELEPHONE, CABLE TV, SITE IRRIGATION, ETC. HAS BEEN INSTALLED. IT SHALL BE THE PAVING CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL SLEEVING IS IN PLACE PRIOR TO THE PLACING OF PERMANENT PAVING.
 - ALL PAVING AND EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT.
 - FIRE LANES SHALL BE STRIPED IN ACCORDANCE WITH THE TOWN REQUIREMENTS (IF ANY).
 - ALL DIMENSIONS ARE FROM BACK OF CURB, EDGE OF PAVEMENT, OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
 - ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM SLOPE IN THE DIRECTION OF PEDESTRIAN TRAVEL.
 - SLOPE WITHIN THE HANDICAP PARKING AND STRIPED AREA SHALL NOT EXCEED 2% IN ANY DIRECTION.
 - ALL CURB RADII ARE 1.5' UNLESS OTHERWISE SPECIFIED (EXCEPT FOR AT END OF PARKING SPACES AND FLUMES WHERE THE RADII IS 0').
 - CONTRACTOR TO REFERENCE ARCHITECT/LANDSCAPE PLANS FOR ANY SPECIAL PATTERN/STAINS OR ANY OTHER PAVEMENT DETAILS.



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UNDERGROUND UTILITIES

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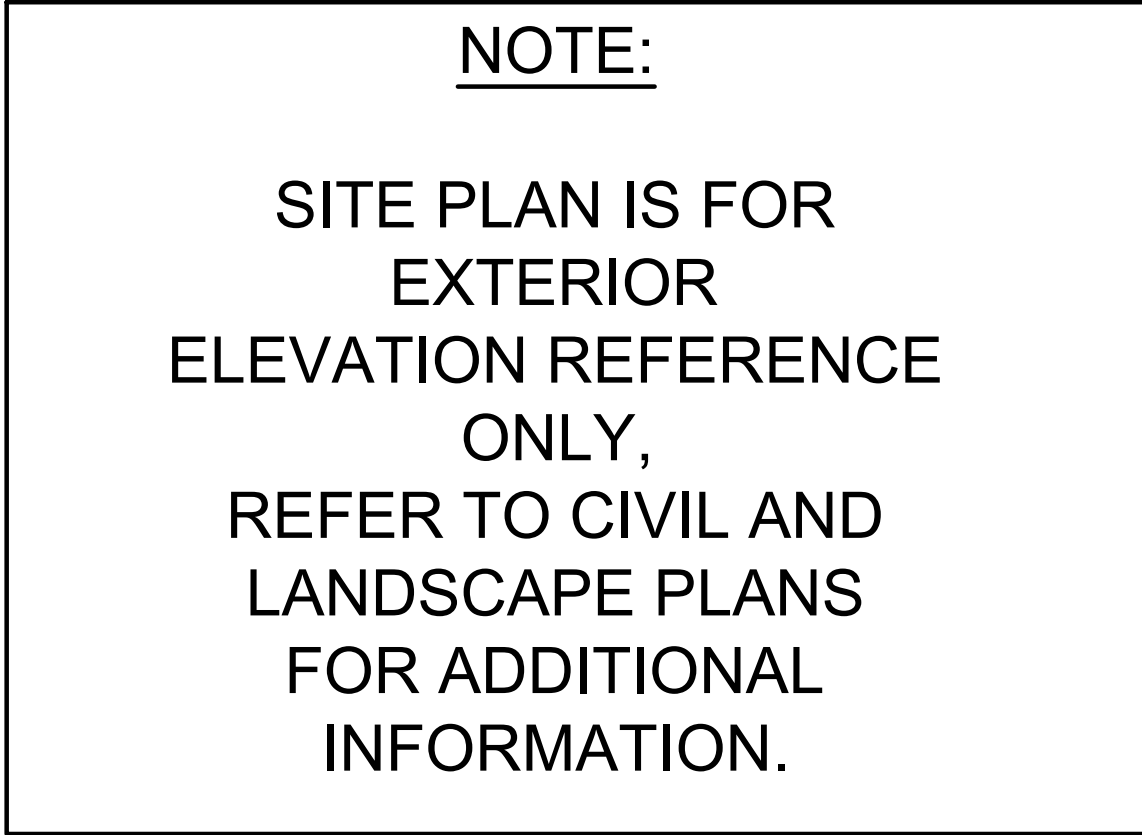
CONTACT TOWN OF LITTLE ELM & 811 FOR UTILITY LOCATES AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.



04/24/24

FOR REVIEW, NOT FOR CONSTRUCTION.

REVISIONS			
REV NO.	DATE	DESCRIPTION	BY
ENGINEER: Cumulus Design Firm #14810 2080 N. Highway 360, Suite 240 Grand Prairie, Texas 75050 Tel. 214.235.0367			
PAVING PLAN			
LAKEVIEW AT ANNEX			
PARK LANE & ANNEX AVENUE, 1.31 ACRES			
FRISCO PARK ANNEX, LOTS 16-22 AND 28			
TOWN OF LITTLE ELM, DENTON COUNTY, TEXAS			
TOWN CASE NUMBER	DATE	SHEET	
—	04/24/24	C3.02	

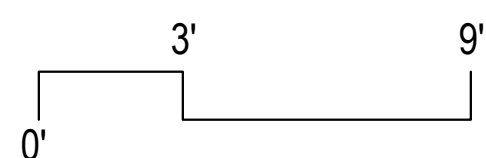


01 1" = 30'



"ELEVATION type A"
(INCLUDES) MAIN-STREET-FACING ELEVATION

MATERIAL TABULATIONS:
Total Elev. Surface = 2,991
Total Windows & Doors (30% Required) = 897 Total
Windows & Doors (30.16% Provided) = 902
Total Elev (Minus Doors/Windows): 2,088 sq.ft.
1250 sq.ft. Brick (60%)
293 sq.ft. 'Poplar' Siding(14%)
442 sq.ft. Stucco (21%)
103 sq.ft. Accent Materials (5%)
-Metal Awnings
-Cedar Trellis



NOTE
FRONT CONCRETE STEPS AT ENTRY
WILL BE COORDINATED WITH FINAL GRADING

ELEVATION TYPE A
01 1/4" = 1'-0"



ELEVATION type 'B'
REAR (PRIVATE DRIVE) FACING ELEVATION

MATERIAL TABULATIONS:
Total Elev. Surface = 2,870
Windows & Doors (21.5% Provided) = 616
Total Elev (Minus Doors/Windows): 2,254 sq.ft.
1,093 sq.ft. Brick (49%)
1,161 sq.ft. Stucco (51%)

ELEVATION TYPE B
01 1/4" = 1'-0"



ELEVATION type 'B.1'
REAR (PRIVATE DRIVE) FACING ELEVATION

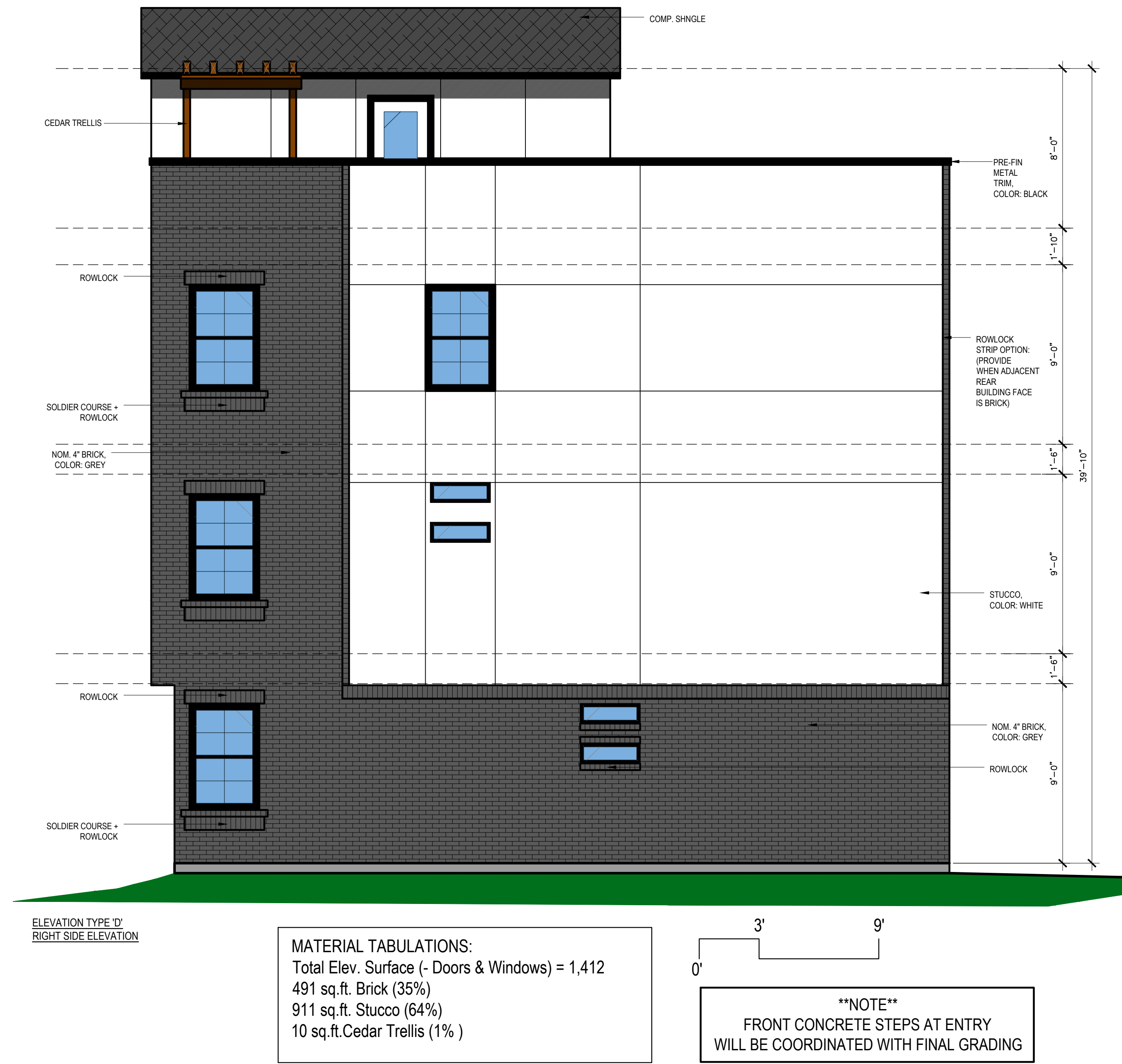
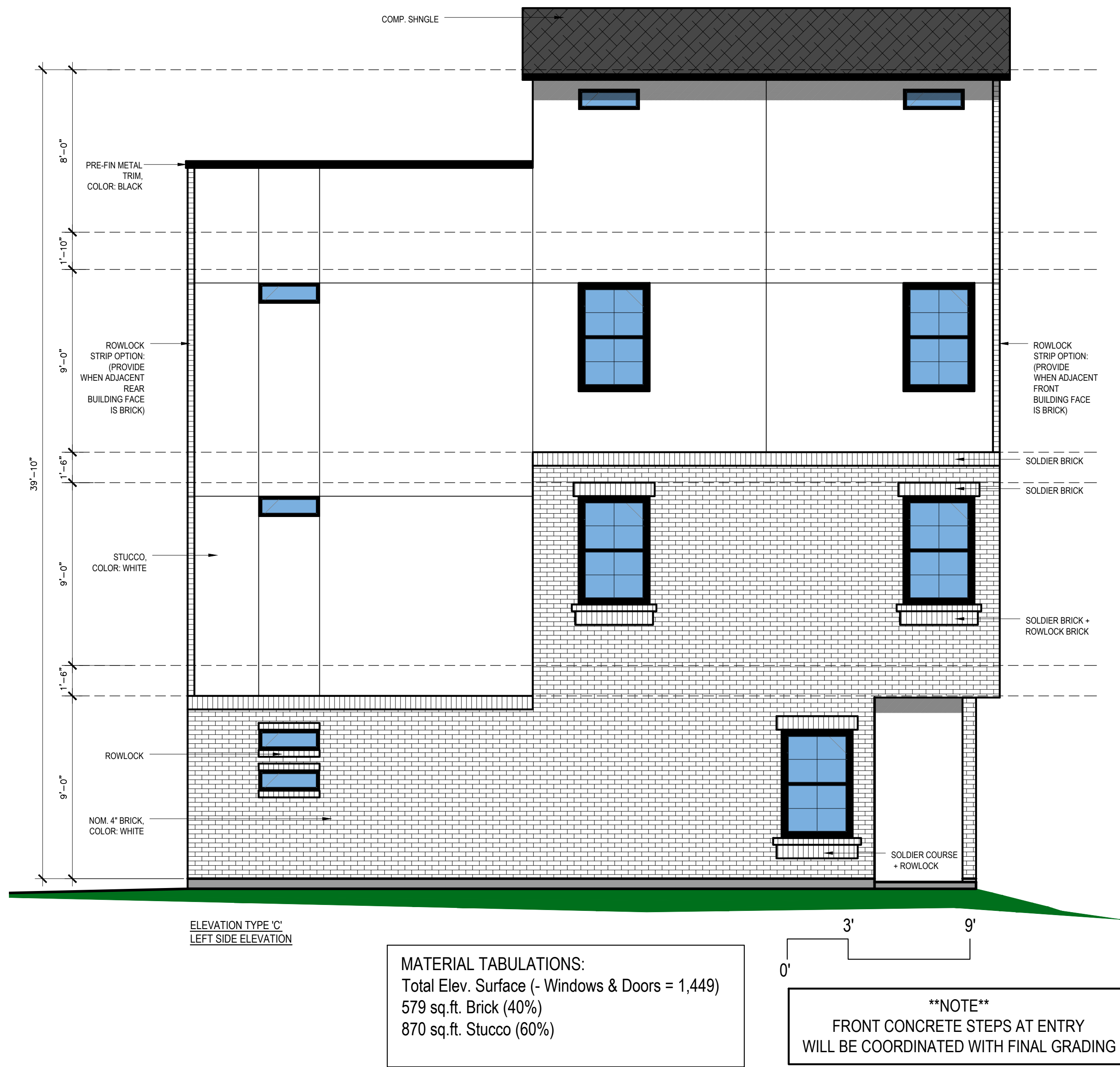
MATERIAL TABULATIONS:
Total Elev. Surface =3,049 Windows & Doors (21.5%
Provided) = 696
Total Elev (Minus Doors/Windows): 2,353 sq.ft.
1,149 sq.ft. Brick (49%)
1,204 sq.ft. Stucco (51%)

ELEVATION TYPE B.1
01 1/4" = 1'-0"

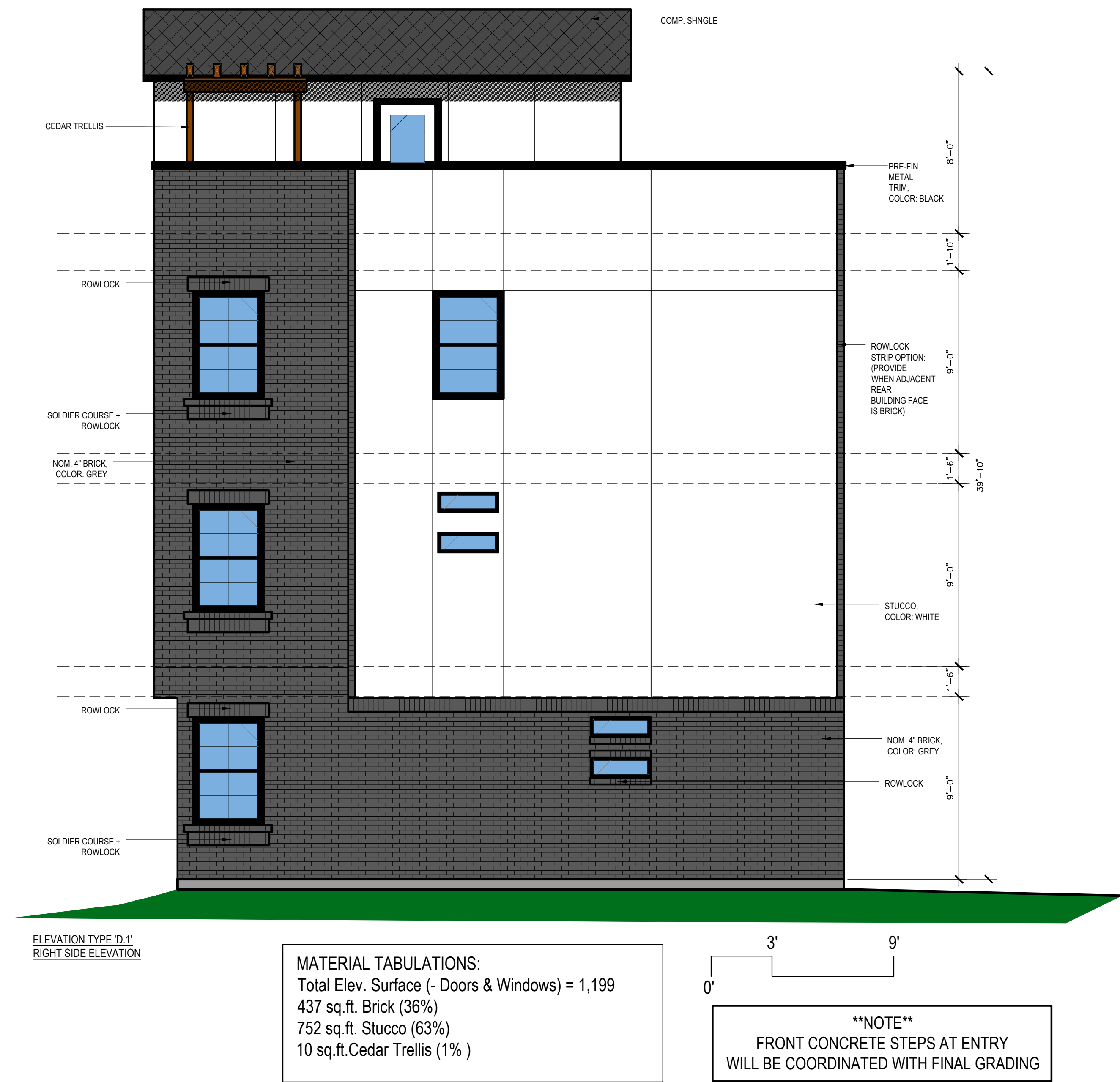
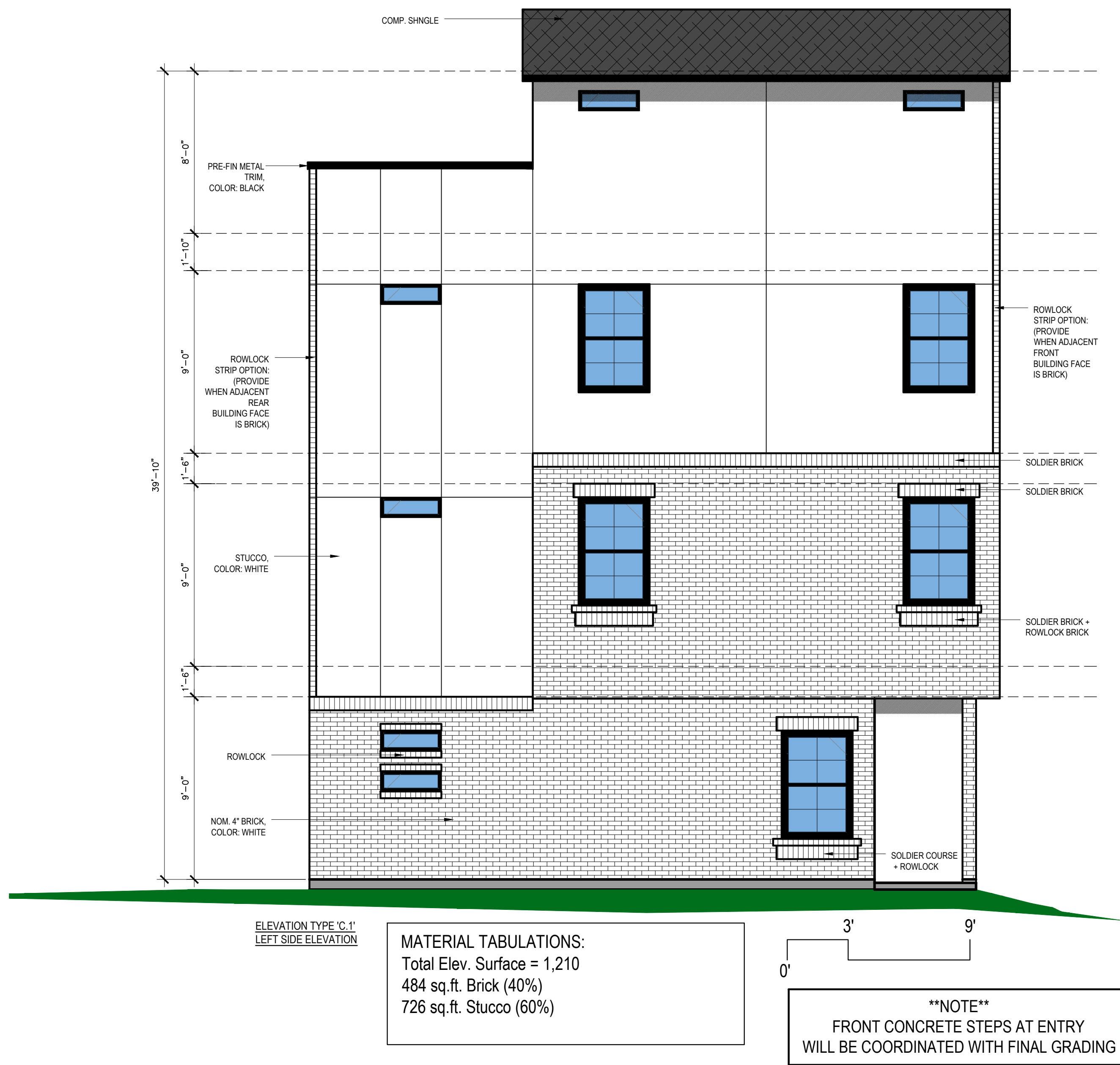
NOT FOR
CONSTRUCTION
OR REGULATORY
APPROVAL

Project #: 2224

ELEVATION
TYPE 'B.1'
EXTERIOR
ELEVATIONS



ELEVATION TYPE C & D
01 1/4" = 1'-0"



ELEVATION TYPE C.1 & D.1
01 1/4" = 1'-0"



"ELEVATION type E"

MATERIAL TABULATIONS:
Total Elev. Surface = 3,898
Total Windows & Doors (30% Required) = 1,169
Total Windows & Doors (30.45% Provided) = 1,187
Total Elev (Minus Doors/Windows): 2,711 sq.ft.
1623 sq.ft. Brick (60%)
380 sq.ft. 'Poplar' Siding(14%)
573 sq.ft. Stucco (21%)
135 sq.ft. Accent Materials (5%)
-Metal Awnings
-Cedar Trellis

0' 3' 9'

****NOTE****
FRONT CONCRETE STEPS AT ENTRY
WILL BE COORDINATED WITH FINAL GRADING

ELEVATION TYPE E

01

1/4" = 1'-0"

NOT FOR
CONSTRUCTION
OR REGULATORY
APPROVAL

Project #: 2224

ELEVATION
TYPE 'E'

EXTERIOR
ELEVATIONS

A2.6



ELEVATION type 'F'

MATERIAL TABULATIONS:
Total Elev. Surface = 3,583
Windows & Doors (21.5% Provided) = 770
Total Elev (Minus Doors/Windows): 2,813 sq.ft.
1,152 sq.ft. Brick (41%)
1,661 sq.ft. Stucco (59%)

ELEVATION TYPE F
01 1/4" = 1'-0"

972-363-6155
www.triunearchitectureplc.com

TRIUNE
ARCHITECTURE

Townhouse
Development
"Lakeview at
Annex"

Annex Ln.
Townhouses
Little Elm, TX

NOT FOR
CONSTRUCTION
OR REGULATORY
APPROVAL

Project #: 2224

ELEVATION
TYPE 'F'

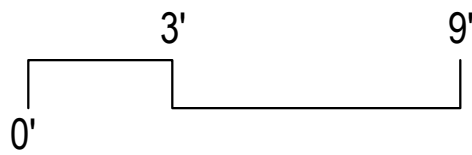
EXTERIOR
ELEVATIONS

A2.7



ELEVATION type 'G'

MATERIAL TABULATIONS:
Total Elev. Surface = 2,223
Total Windows & Doors (30% Required) = 667 Total
Windows & Doors (30.45% Provided) = 668
Total Elev (Minus Doors/Windows): 1,555 sq.ft.
908 sq.ft. Brick (58%)
232 sq.ft. 'Poplar' Siding(15%)
336 sq.ft. Stucco (22%)
79 sq.ft. Accent Materials (5%)
-Metal Awnings
-Cedar Trellis



****NOTE****
FRONT CONCRETE STEPS AT ENTRY
WILL BE COORDINATED WITH FINAL GRADING

ELEVATION TYPE G
01 1/4" = 1'-0"



ELEVATION TYPE H
01 1/4" = 1'-0"

ACME BRICK,
COLOR:
"WHITE BLUFF"



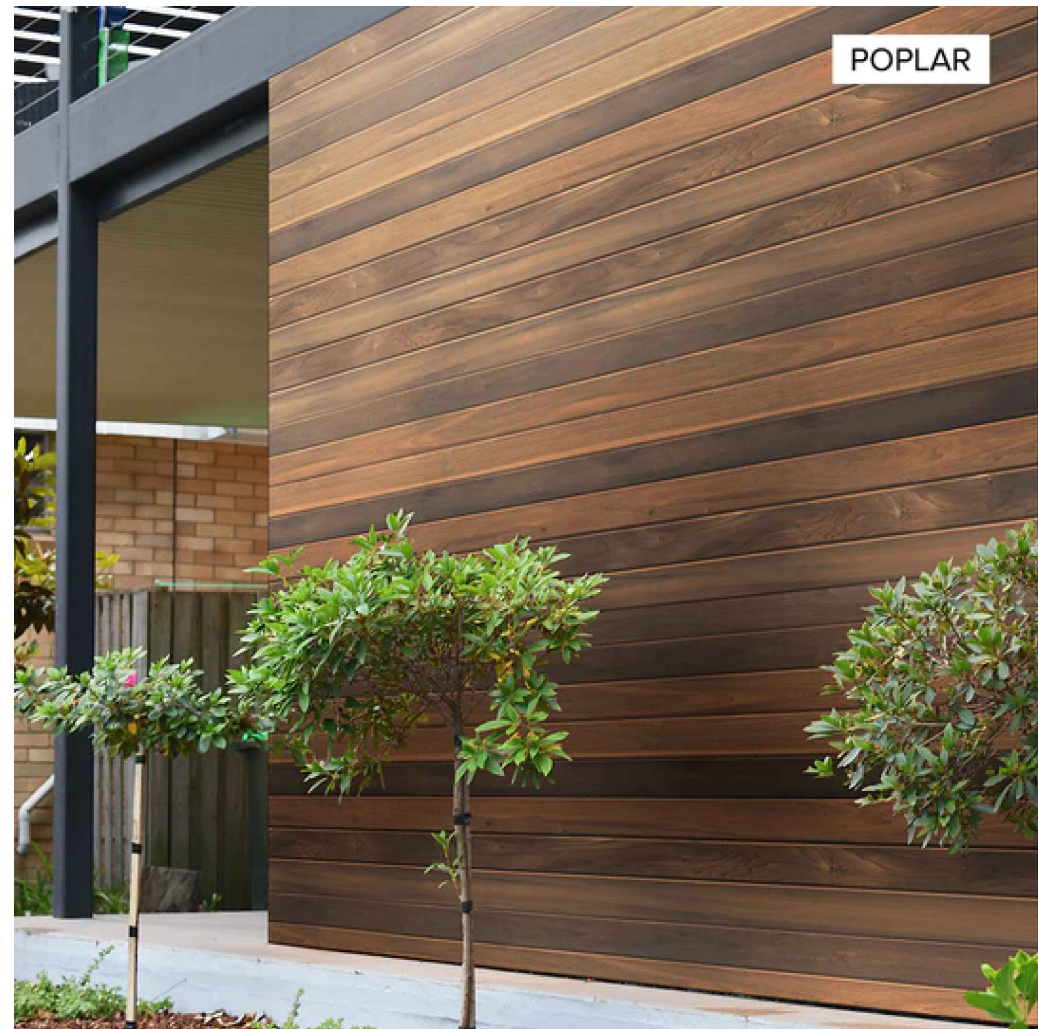
CANTILEVERED METAL
AWNING:
COLOR: *NATURAL
ALUMINUM*



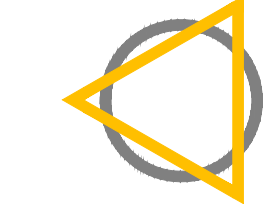
ACME BRICK,
COLOR:
"PACIFIC CLAY"



"POPLAR" SIDING
STYLE:
NATURAL WOOD



WROUGHT IRON
GUARD-RAILING:
BLACK



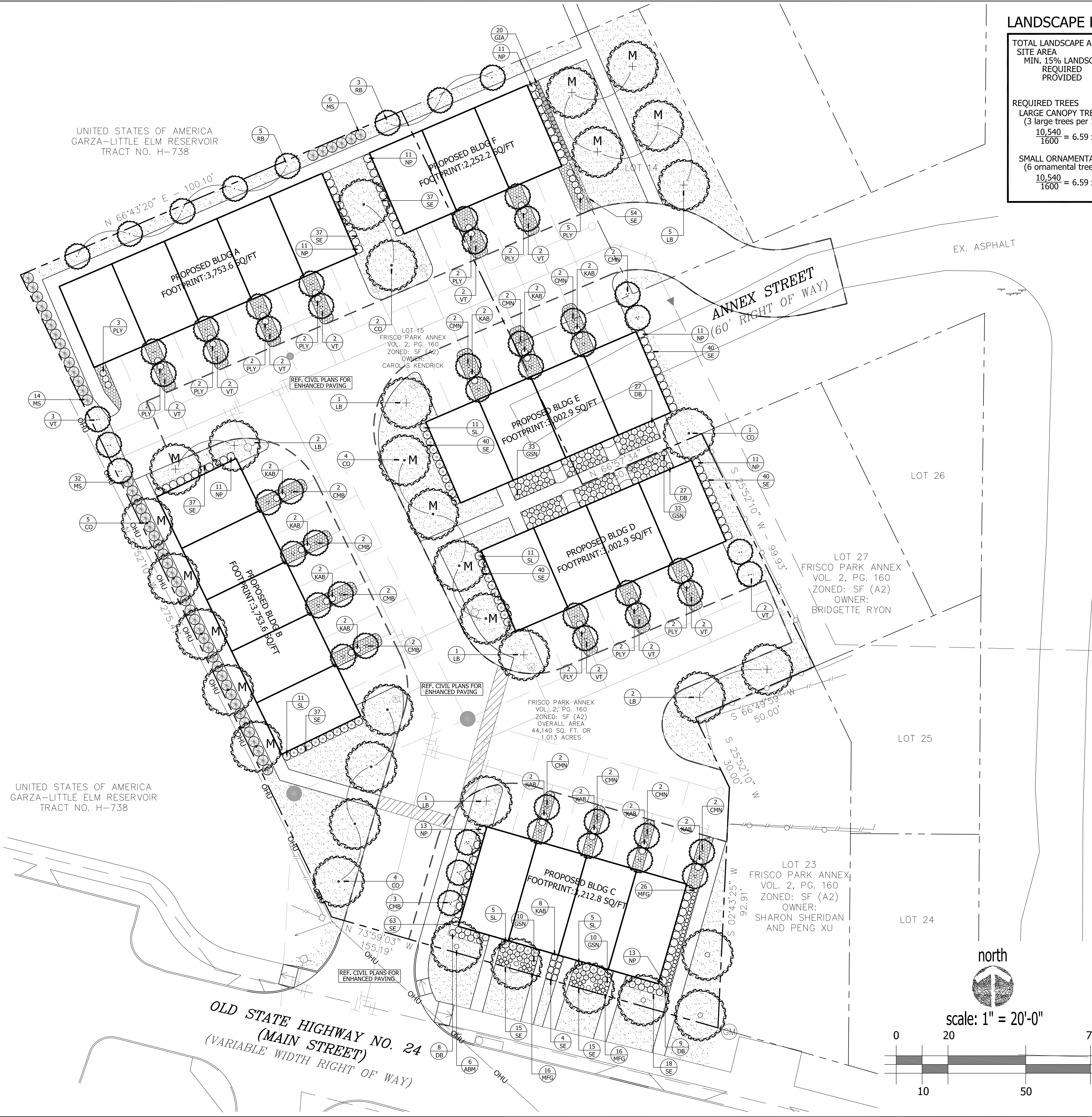
*Townhouse
Development
"Lakeview at
Annex"*

Annex Ln.
Townhouses
Little Elm, TX

NOT FOR
CONSTRUCTION
OR REGULATORY
APPROVAL

Project #: 2224

SAMPLE
BOARD



LANDSCAPE REQUIREMENTS

TOTAL LANDSCAPE AREA 70,268 sf
SITE AREA 70,268 sf
MIN. 15% LANDSCAPE AREA REQUIRED 10,540 sf (15.0%)
REQUIRED 10,540 sf
PROVIDED 18,153 sf (25.8%)

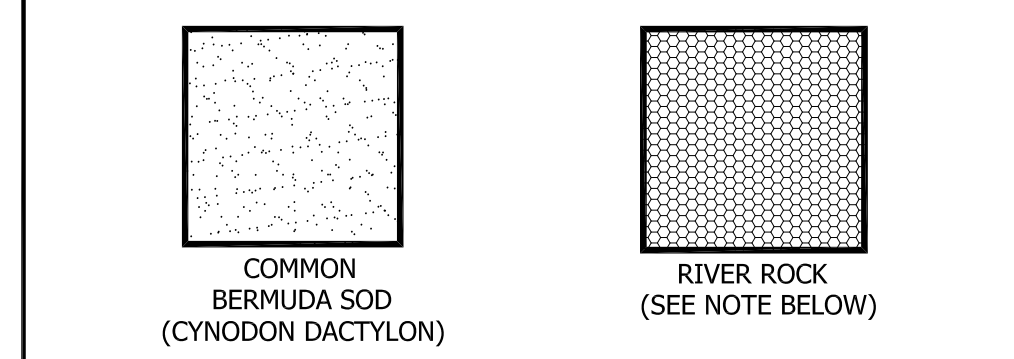
REQUIRED TREES
LARGE CANOPY TREES
(3 large trees per 1600 sf required landscape area)
10,540 / 1600 = 6.59 x 3 = 19.77 = 20 trees required
1600 = 34 trees provided

SMALL ORNAMENTAL TREES
(6 ornamental trees per 1600 sf required landscape area)
10,540 / 1600 = 6.59 x 6 = 39.54 = 40 trees required
1600 = 56 trees provided

LANDSCAPE NOTES

1. PLANT LIST FOR THIS SHEET ONLY.
2. PLANT LIST TO BE USED AS AIDE TO BIDDER ONLY. LANDSCAPE CONTRACTOR TO VERIFY ALL QUANTITIES.
3. ALL BEDS SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL REMOVE ANY VEGETATION.
4. AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
5. AFTER INSTALLATION OF STEEL EDGING, ALL BEDS SHALL BE TILLED TO A DEPTH OF 4-6", RAKING OUT ALL DEAD VEGETATION.
6. APPLY A 2-3" DEPTH OF ORGANIC MATERIAL OVER ENTIRE BED AND TILL INTO EXISTING SOIL. ORGANIC MATERIAL SHALL BE ONE OF FOLLOWING:
VITAL EARTH COMPOST
BACK-TO-EARTH SOIL CONDITIONER
LIVING EARTH COMPOST
SOIL BUILDING SYSTEMS COMPOST
SILVER CREEK MATERIALS COMPOST
7. TOPDRESS ENTIRE BED WITH MINIMUM 2" DEPTH SHREDDED NATIVE CEDAR MULCH.
8. ALL SHADE TREES AND ORNAMENTAL TREES SHALL BE PLANTED AS PER DETAILS ON THIS SHEET.
9. ALL LANDSCAPE AREAS SHALL BE WATERED WITH AUTOMATIC IRRIGATION SYSTEM, COMPLETE WITH FREEZE SENSOR, RAIN STAT, AND CONTROLLER. SYSTEM SHALL BE DESIGNED TO UTILIZE WATER- SAVING TECHNIQUES AND EQUIPMENT. INSTALLATION OF SYSTEM SHALL BE MADE BY A FIRM DULY LICENSED UNDER ARTICLE NO. 8751 VTCS (LICENSED IRRIGATORS ACT), S.B. NO. 259.

LANDSCAPE LEGEND



- SOD INSTALLATION NOTES:
- a. ALL SUBGRADE SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
 - b. AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
 - c. SOD SHALL BE VIGOROUS, WELL-ROOTED AND SHALL BE DELIVERED AT A UNIFORM SOIL THICKNESS.
 - d. SOD SHALL BE LAID WITH ALTERNATING JOINTS.
 - e. ALL SOD SHALL BE ROLLED TO CONSISTENT SURFACE, FILLING JOINTS WITH COARSE SAND AS REQUIRED.
 - f. ALL SOD AREAS SHALL BE WATERED BY PERMANENT AUTOMATIC IRRIGATION SYSTEM.
- RIVER ROCK INSTALLATION NOTES:
- a. LANDSCAPE CONTRACTOR SHALL INSPECT RIVER ROCK AREAS FOR ANY EXISTING VEGETATION AND PROVIDE BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
 - b. AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION.
 - c. PLACE MINIMUM FOUR (4) INCHES OF NEW MEXICO MEDIUM RIVER ROCK IN DESIGNATED AREAS.

PLANTLIST

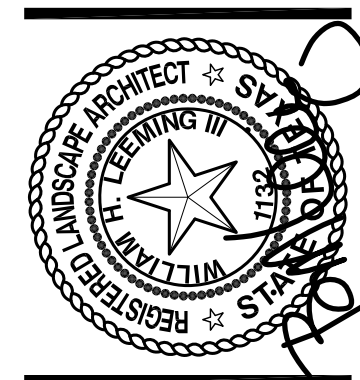
SYM	MATERIAL	QNTY	SIZE	HT	SP	NOTES	SPACING
ABM	AUTUMN BLAZE MAPLE	6	4" CAL.	12-14'	6-7'	NURSERY GROWN	
CO	ACER x 'FREEMANII'	16	4" CAL.	12-14'	6-7'	NURSERY GROWN	
LB	CHINKAPIN OAK	12	4" CAL.	12-14'	7-8'	NURSERY GROWN	
CMB	QUERCUS MUHLENBERGIA	11	30 GAL.	8-10'	4-5'	CONTAINER GROWN	
CMN	LACEBARK ELM	16	30 GAL.	8-10'	4-5'	CONTAINER GROWN	
VT	ULMUS PARVIFOLIA SEMPERVIRENS	23	30 GAL.	8-10'	4-5'	CONTAINER GROWN	
RB	CRABE MYRTLE	8	30 GAL.	8-10'	4-5'	CONTAINER GROWN	
MS	LAGERSTROEMIA INDICA 'BASHAM PINK'	52	5 GAL.	32"	20"	FULL	48"oc
NP	LAGERSTROEMIA INDICA 'NATCHEZ'	92	5 GAL.	26"	18"	FULL	36"oc
SL	VITEX	43	5 GAL.	20"	18"	FULL	36"oc
PLY	YUCCA PALLIDA	26	5 GAL.	12"	15"	FULL	30"oc
DB	DWF BURFORD HOLLY	71	3 GAL.	20"	12"	FULL	30"oc
KAB	ILEX CORNUTA 'BURFORDI' NANA	30	3 GAL.	12"	12"	FULL	30"oc
GSN	KALIEDOSCOPE ABELIA	86	3 GAL.	12"	12"	FULL	24"oc
GIA	ABELIA GRANDIFLORA 'KALIEDOSCOPE'	20	1 GAL.	10"	10"	FULL	20"oc
MFG	GULF STREAM NANDINA	58	1 GAL.	10"	10"	FULL	20"oc
SE	NANDINA DOMESTICA 'GULF STREAM'	477	LIN. FT.	REF. DETAIL			

SPECIFIED PLANT HEIGHTS ARE TYPICAL INDUSTRY STANDARD HEIGHTS FOR SPECIFIED CONTAINER SIZES.

M MITIGATION TREE 14 TREES @ 4" CAL. 56"

app. by:
drawn by:
date: 01-17-24

revisions
04-05-24
04-29-24

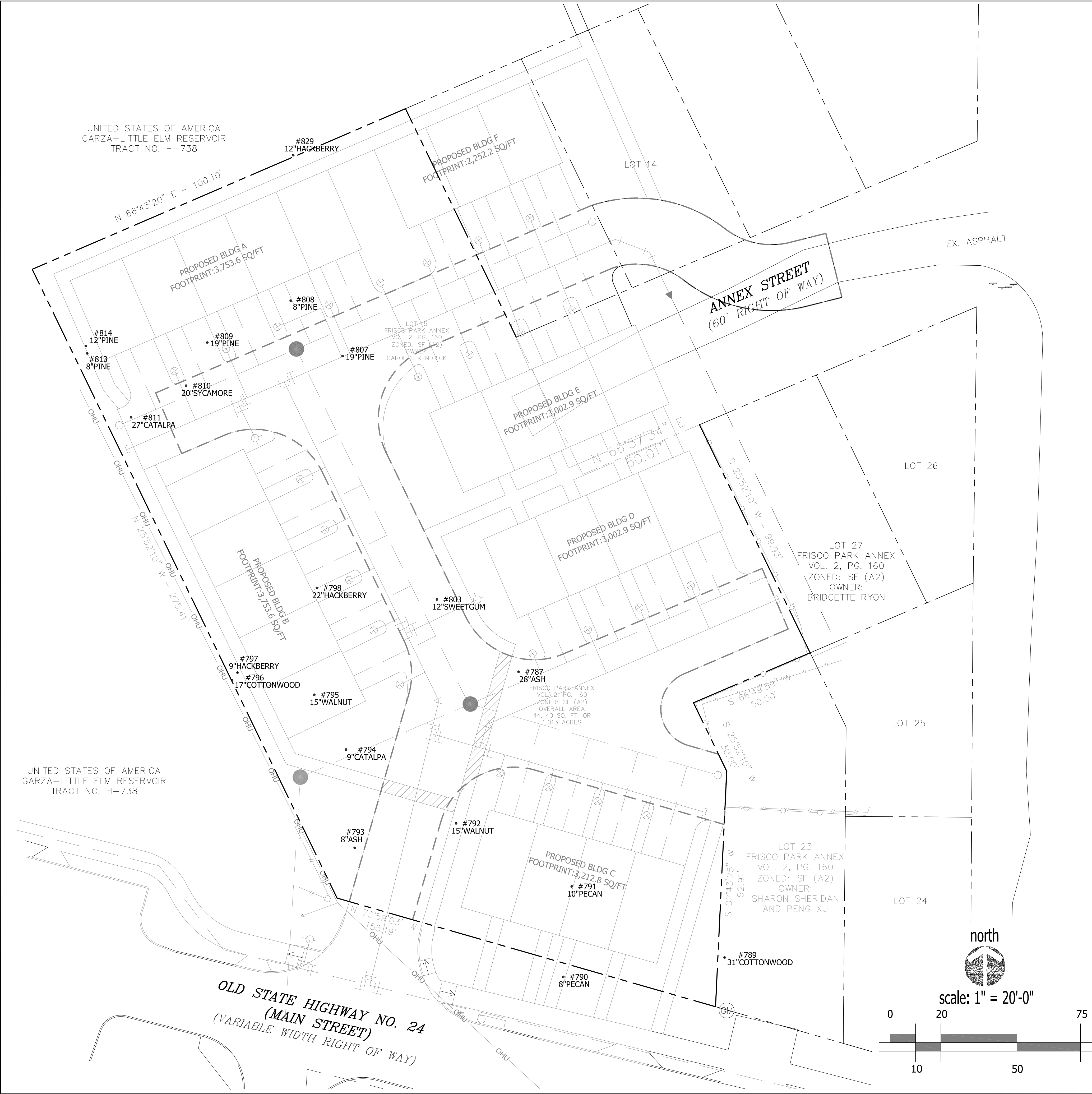


Leeming Design Group
Landscape Architecture
4013 Bull Swamp Drive, Suite 100-B, North Richland Hills, Texas 76180
(817) 577-0889 Fax: (817) 577-5896
leemingsdesigngroup@gmail.com

LANDSCAPE PLAN

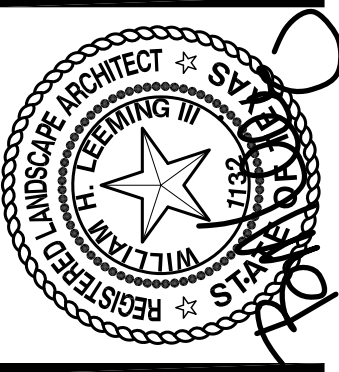
LAKEVIEW at ANNEX
MAIN STREET (OLD STATE HWY. 24)
LITTLE ELM, TEXAS

file name:
c:\Little Elm-Townhomes\ldg-base_LE-Townhomes.dwg
sheet
1-1



TREE TABLE				
TREE #	TREE SPECIES	SIZE	PROTECTED OR REMOVE	CLASS
829	HACKBERRY	12"	REMOVE	4
814	PINE	12"	REMOVE	3
813	PINE	8"	REMOVE	3
811	CATALPA	27"	REMOVE	5
810	SYCAMORE	20"	REMOVE	4
809	PINE	19"	REMOVE	3
808	PINE	8"	REMOVE	3
807	SYCAMORE	19"	REMOVE	4
798	HACKBERRY	22"	REMOVE	4
803	SWEETGUM	12"	REMOVE	1
797	HACKBERRY	9"	REMOVE	4
796	COTTONWOOD	17"	REMOVE	4
795	BLACK WALNUT	15"	REMOVE	2
787	ASH	28"	REMOVE	2
794	CATALPA	9"	REMOVE	5
793	ASH	8"	REMOVE	2
792	BLACK WALNUT	15"	REMOVE	2
791	PECAN	10"	REMOVE	1
790	PECAN	8"	PROTECT	1
789	COTTONWOOD	31"	PROTECT	4

CLASS 1 TOTALS	5:1	30"	X	5	=	150"
CLASS 2 TOTALS	4:1	66"	X	4	=	264"
CLASS 3 TOTALS	3:1	47"	X	3	=	141"
CLASS 4 TOTALS	2:1	130"	X	2	=	260"
CLASS 5 TOTALS	1:1	36"	X	1	=	36"
MITIGATION TOTAL						(851")
PROPOSED MITIGATION (14 TREES @ 4")						+56.0"
MITIGATION DEFICIT						(795")



Leeming
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leemingdesigngroup@att.net

EXISTING TREE
MITIGATION

LAKEVIEW at ANNEX
MAIN STREET (OLD STATE HWY. 24)
LITTLE ELM, TEXAS

file name:
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sheet
T-1

appr. by:
drawn by:
date: 04-29-24

revisions
05-10-24



Annex Flats

Sample SELECTIONS



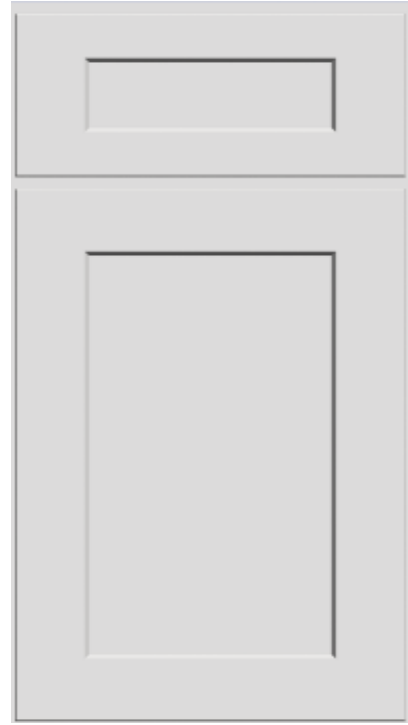
EXAMPLE OF SIMILAR FINISHES



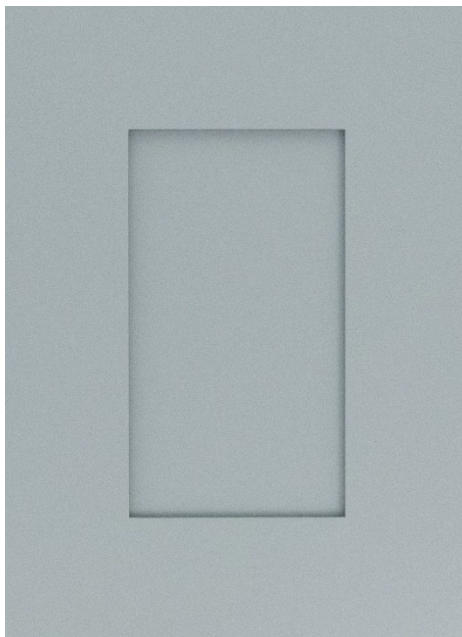
**Carpeted Stair with White
Wooden Risers – Standard**



**Wooden Stair with White
Wooden Risers - Upgrade**



White - Standard



Gray - Standard

**Polished Chrome –
Standard**



**Satin Nickel –
Upgrade**

Exterior Hardware Black – Standard

Interior Hardware Black - Upgrade





White Quartz – Standard



Gray Quartz – Standard



Quartz Waterfall Edge - Upgrade



White Porcelain Undermount - Vanities



Stainless Steel Undermount Single Bowl Kitchen Sink



Farm Sink - Upgrade

OCEAN VIEW
DW300



783 PEBBLE



790 TYBEE



890 COCOA



745 DELRAY



527 BISCAYNE



688 LAGUNA



925 VENTURA



760 CANCUN



564 BAJA



858 JACO



715 CLEARWATER



920 CRESCENT



633 MALIBU



517 WHITE SANDS



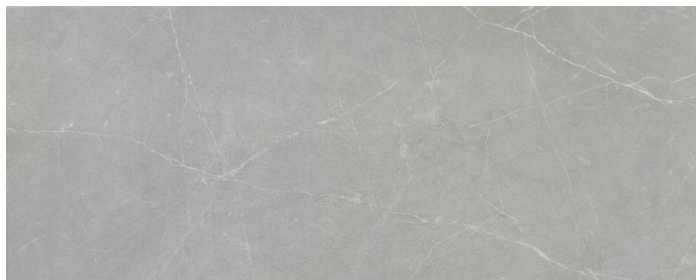
775 DAYTONA



705 DESTIN

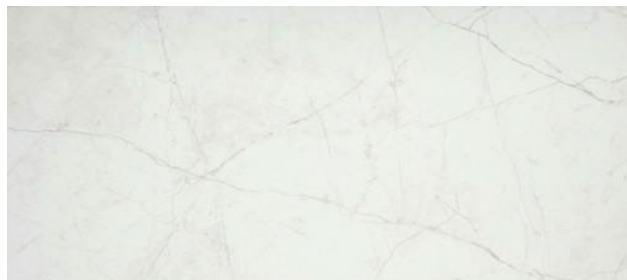
Master Bathroom

Sterling Grey Matte 12X24 Floor



OR

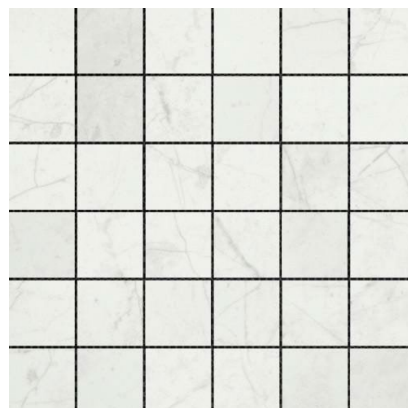
Sterling White Matte 12X24 Floor



Sterling White Polished
12X24 - Shower Wall

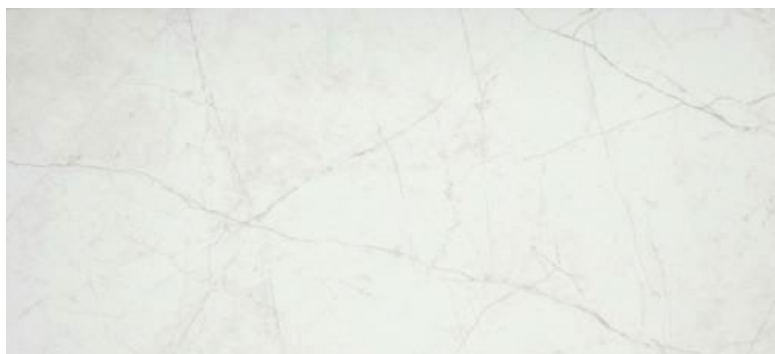


Sterling White Matte
2" x 2" Mosaic – Shower Floor

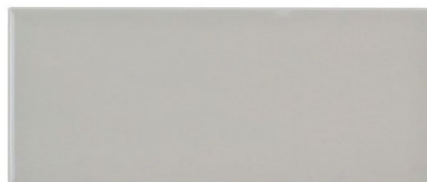


Secondary Bathroom

Sterling White Matte 12X24 Floor



Catch Gray
3X6 tile Tub Deck





Hand Scraped Wood Stain Selections



30" Electric Slide In Range

Over The Range Microwave

24" Dishwasher



Bosch Stainless Steel Appliances Standard



30" Chimney Wall Vent Hood

Stainless-Steel Built-In Microwave





30" Electric Slide In Range

Over The Range Microwave

24" Dishwasher



Bosch Upgrade 800 Series Stainless Package



30" Chimney Wall Vent Hood

Stainless-Steel Built-In Microwave

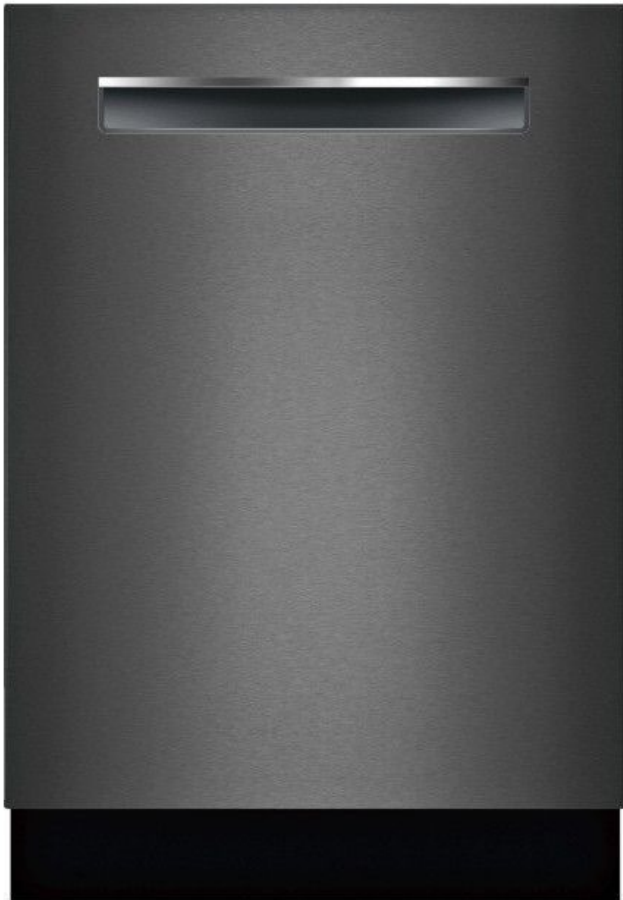




30" Electric Slide In Range

Over The Range Microwave

24" Dishwasher



Bosch Upgrade 800 Series Black Stainless Package



Black Stainless Steel
30" Chimney Wall Vent Hood

Black Stainless-Steel
Built-In Microwave



**Bosch Upgrade
Alternate Black Stainless Upgrades**



Electronic Built in Fireplace Upgrade

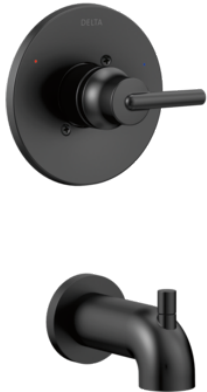
**Polished Chrome –
Standard**



**Satin Nickel –
Upgrade**



Black – Upgrade



**Polished Chrome –
Standard**



**Satin Nickel –
Upgrade**

Black – Upgrade



Polished Chrome – Standard



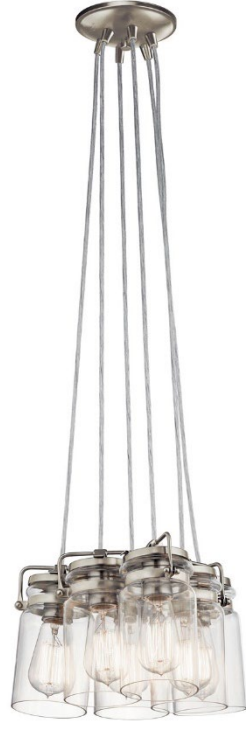
Satin Nickel – Upgrade



Black – Upgrade



Electrical Fixtures – Chrome



Electrical Fixtures – Satin Nickel Upgrade



Electrical Fixtures – Black Upgrade



TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

05/16/2024

OVERVIEW

Project	PUBLIC HEARING/ The Bracha Addition Planned Development (PD-23-000279)
P&Z Hearing	05/16/2024
Council Hearing	TBD
Size	Approximately 1.6 acres
Current Zoning	Light Commercial (LC)
Proposed Use	Retail/Commercial
Existing Use	Vacant
Future Land Use Plan Designation	Retail/Commercial
Applicant	Christopher Zamora, Quiddity Engineering, LLC
Owner	Sayra Carpenter and Michelle Nigaglioni
Strategic Goal	

Agenda Item

PUBLIC HEARING/ The Bracha Addition Planned Development (PD-23-000279). A request to rezone approximately 1.6 acres of land, currently zoned as Light Commercial, generally located west of the intersection of King Road and FM 423, within Little Elm's town limits, in order to establish a new Planned Development - Light Commercial District, with modified development standards to allow for redevelopment.

- Staff Report
- Open Public Hearing
- Receive Public Hearing
- Close Public Hearing
- Discussion and Recommendation

Location

Generally located west of the intersection of King Road and FM 423, within Little Elm's town limits.

Planning Analysis

Background.

The subject property consists of two commercial lots totaling approximately 1.6 acres, currently zoned Light Commercial. The property was annexed into the Town in 2002 through Ordinance No. 561. The adjacent properties to the East, West, and North are also zoned and operating as Light Commercial. Land to the South of this property is a self-storage business and is zoned Light Industrial. The property has access to King Road along the northern boundary and has the potential for cross access to the properties to the east and west.

The property currently has two vacant structures totaling 7,825 square feet, which appears to have been originally constructed between 1987 and 1995. The previous owner of the property from before it was annexed, was Javelina Corporation, a government contractor that created avionics equipment. Since the building was built before the property was annexed, and due to the previous owner's status as a government contractor, the Town has been unable to approve, inspect, or even enter the building.

The property was purchased in 2021 by Sayra Carpenter, one of the owners of Bracha Jewelry, with the intention of converting the building into her business headquarters. The building and property, in their current state, are existing nonconforming; the property is also not currently platted. This means that the current owner has been unable to receive a certificate of occupancy and use the property. In order to get their Certificate of Occupancy, the site and buildings must be brought into compliance with Town Zoning and Subdivision Ordinances, as well as the most current Building and Fire Codes. However, due to the existing conditions and constraints of the property, it is not financially feasible to fully bring the property into compliance without demolishing the existing structures.

Proposal.

The applicant is proposing to rezone the subject property to establish a new Planned Development District utilizing Light Commercial District as the base, with modified development standards in order to reasonably improve the existing site and building. Staff has been working with the applicant to bring the project into compliance with as many applicable development standards as financially feasible but still keep the existing buildings, in order to increase the chances of approval and create quality commercial space for their business.

As part of these efforts, the applicant is proposing to pave the driveway and parking lot, create parking lot landscape islands, plant trees around the perimeter and internally to the site, renovate the building interior, upgrade the materials and design of the buildings' exterior, and create a paved cross access between the existing east and west commercial properties. While the proposal meets the majority of the Town's development standards, due to limitations and challenges of an infill redevelopment, the applicant is requesting the following modifications:

- Architectural Design Standards
 - materials, articulation, and glazing
- Screening Standards
 - Keep an existing chain-link fence
- Front yard setback and landscape buffer
- Overhead utility line to remain

Uses.

The applicant is a co-owner for Bracha Jewelry and is looking to set up a new office that meets their company's needs as a growing business. The applicant is proposing to use the rear building (Building 1) as primarily an office but with the ability to also use it as other permitted-by-right uses in the Light Commercial district such as a multimedia studio or retail component of their business. The applicant is proposing to utilize the front building (Building 2) for most of the same purposes, specifically either restaurant or retail which are both allowed by right under Light Commercial.

Zoning Standards.

The applicant's proposal meets all Height, Area, and Setback requirements of the Town's Zoning Ordinance with the exception of the maximum front yard setback. At this time, the applicant is not proposing to change the footprint of the buildings so the maximum setback which is typically 100' in LC districts would be captured as shown on the site plan. The requirement of a maximum front yard setback is intended to create

an active storefront and create unified feel for the block or district. Being an adaptive reuse development, with office as the primary use, and given the depth of the lot, Staff does not believe allowing the existing 135-foot setback would detract from the area or the intent of the ordinance. Some recent PDs that were approved with an increased maximum front yard setback were Little Elm Court, near the corner of FM 423 and Woodlake Parkway; and Parkwood Collision on Highway 380.

Design Standards.

Currently, the two existing structures on site are constructed solely of the applicant is proposing to enhance the exterior of the rear building (Building 1) by adding a masonry band around the lower third of the building and add stucco accent pieces to create further architectural features and articulations. The proposal includes adding several windows as there currently are not any on the existing structure. Building 2, the smaller front building toward the front of the site, will receive windows, paint, and some stucco to break up the architectural elements.

The applicant is requesting to amend the design standards for building materials to the following, with primary facades that face the street bolded:

Building 1

Elevation	Glazing	Class A	Class B	Class C
North	15%	21%	32%	46%
East		24%		76%
South	3%	24%		75%
West	16%	18%	38%	44%

Building 2

Elevation	Glazing	Class A	Class B	Class C
North	12%		35%	65%
East	40%		15%	85%
South	0%			100%
West	40%			100%

The applicant's goal is to preserve the original structure of the building in order to reduce development costs and utilize the existing building framework. This type of adaptive reuse, where an existing structure and site are renovated to meet current standards, is common in areas where vacant land is scarce and will become more and more common as Little Elm approaches build-out.

Landscaping and Screening Standards.

The proposed perimeter, interior, foundation, and landscaping points for the site meet the Town's landscaping requirements. The applicant's proposal goes above the regular landscaping standards for the LC district particularly within the interior landscaping and foundation planting.

Due to the existing placement of King Road and the advance commercial properties, in order for the applicant to create an adequate cross access connection, it is impossible to maintain the required 20-foot front landscape buffer. This is partially due to the right-of-way adjustment that resulted in some of these properties losing a small portion of their frontage. Staff believes that given this existing condition, the applicant has provided a significant amount of enhanced landscaping and tree planting along the right-of-way in order to balance this out.

The existing property is bound by chain-link fence on the east, south, and west sides, and wrought iron fence along the northern boundary. The applicant is requesting to keep the chain link fence around most of the property as shown on the site plan.

Parking.

The applicant is proposing to pave the current asphalt driveway and parking lot, providing stripped parking

spaces, with required landscaped islands. The proposal meets the Town's parking regulation, including space size, ratios, and total amount.

Subdivision.

The property is not currently platted and will be required to get a final plat approved as part of the Site Development Permit process.

Signage.

The only proposed signage is what is included in the façade plan. Any other proposed signage will need to follow the Town's sign ordinance.

Fire, Engineering, Building.

The Fire, Engineering, and Building department have reviewed the proposed plans and determined them to be acceptable for the purposes of this rezoning request. This is not an approval of any of the plans for construction.

Comprehensive Plan.

The proposed development is in accordance with the Town's Comprehensive Plan and Future Land Use Plan. The Town envisions this property as a light commercial use, which aligns with the intent of the proposed development.

Recommended Action

Staff is generally supportive of infill redevelopment, especially in cases involving previously vacant underutilized property and the adaptive reuse of existing buildings. This request proposes to repurpose an old warehouse/assembly building for unique and distinctive office and retail space, generating additional foot traffic and investment to the area. Additionally, enhancing and renovating an old building for new business reduces the demand for new construction materials and minimizes waste.

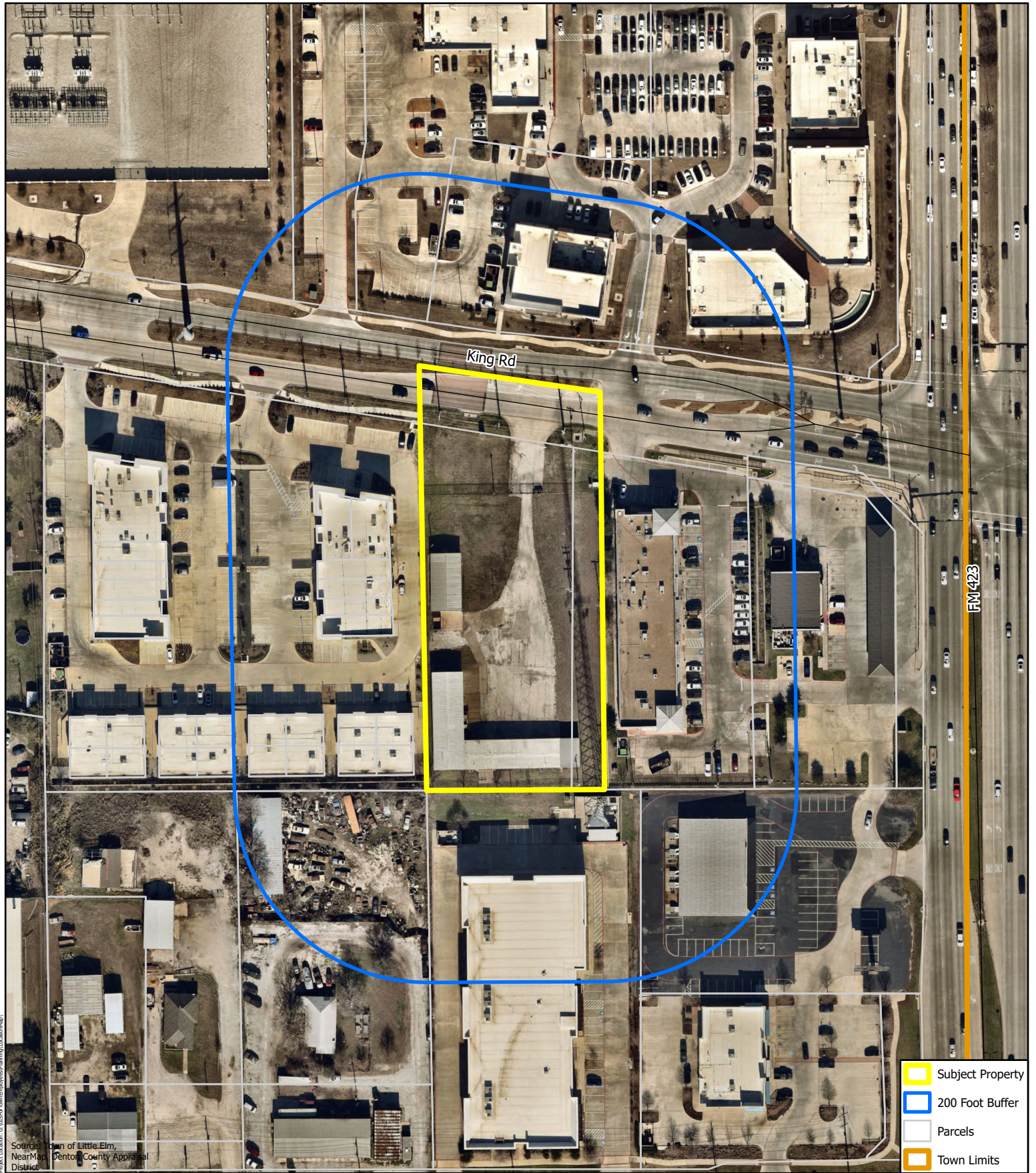
The proposed site improvements move a nonconforming property toward compliance and correct a previously missed opportunity for cross access between Kings Plaza and FM 423. The request also provides a redevelopment with a thought-out vision for the future to ensure the business can grow its operation and remain on this property for many years to come. As always, Staff is supportive of long-term business investment that helps to further the vision of the Comprehensive Plan.

Staff requests the Commission evaluate the proposed development request and base their recommendation to Town Council on the intent of the overall vision for this area and how the proposed development fits into the context of the existing surrounding development.

Attachments

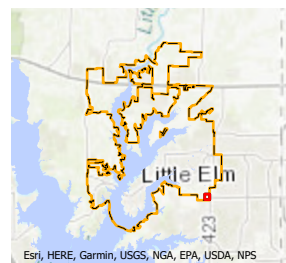
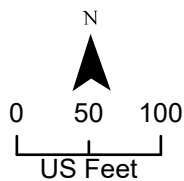
Location Map

Bracha Narrative and Exhibits



Bracha Retail Planned Development
(PD-24-000279)
Little Elm, TX, 75068

Town of Little Elm
Denton County, Tx
 Date: 4/30/2024



This product is to be used for graphical representation only. The accuracy is not to be taken/used as data produced for engineering purposes or by a Registered Professional Land Surveyor for the State of Texas. For this level of detail, supervision and certification of the produced data by a Registered Professional Land Surveyor for the State of Texas would have to be performed. Town of Little Elm and its members assume no responsibility for the accuracy of said data.

BRACHA PLANNED DEVELOPMENT DISTRICT

This zoning submittal encompasses approximately 1.585 acres of land situated within Denton County, more fully described on the legal description attached as Exhibit A (the "Property"). The planned development ("PD") will allow for adaptive reuse and redevelopment of an existing underutilized nonconforming property in order to allow for light commercial uses, and site and building improvements. Utilizing the existing site and building framework significant enhancements to the building, landscaping, and site itself will create a unique office and retail spaces that contribute to the interest and growth of the surrounding area.

It is the intent of this PD to primarily follow the Light Commercial (LC) zoning regulations as the base district, with modified development standards as outlined within this PD ordinance, therefore amending the existing Town of Little Elm, Texas zoning map. Any conflict between this PD and the Zoning Ordinance shall be resolved in favor of the regulations set forth in the PD, or as may be ascertained through the intent of this PD. As used herein, "Zoning Ordinance" means the comprehensive zoning of the Town of Little Elm, Texas, in effect on the effective date of this Agreement, except otherwise defined in this Agreement. Uses and development regulations specifically modified, designated or included in this PD shall not be subject to amendment after the date of the adoption of this PD (the "Effective Date") (whether through the amendment of the Zoning Ordinance or otherwise), except through an amendment of this PD. Uses and development regulations which otherwise are not specifically modified, designated or included in this PD shall be controlled by the "Zoning Ordinance", unless context provides to the contrary.

Project Location

The proposed PD is located at 14085 King Road, West of the intersection of FM 423 and King Road. Legal Descriptions (Exhibit A) and PD Standards (Exhibit B) and Development Plans (Exhibit C) are provided. The property is surrounded by light commercial, light industrial and PD ordinance #1730.

Site Plan Required

The Site Plan attached hereto within Exhibit C, and incorporated herein by reference, demonstrates locations of the resurfaced buildings and improvements within the Property. Any amendment to the site plan approved as a part of the ordinance establishing the planned development district is a change in zoning district classification and must follow the same procedures as set forth in Section 106.04.03, except that the Director may approve minor revisions which do not alter the basic relationship of the proposed development.

As used herein, "Director" means the Director of Development Services.

EXHIBIT A

Property Description

METES AND BOUNDS

LOT 1, BLOCK A

BRACHA ADDITION

WHEREAS, BRACHA, A Texas General Partnership, is the owner of a 1.585 acre tract of land out of the Henry Kendall Survey, Abstract Number 713, situated in Denton County, Texas, and being all of that certain tract of land described in a deed to BRACHA, A Texas General Partnership, as recorded in Instrument Number 2021-148212 of the Official Records of Denton County, Texas (O.R.D.C.T.), and being more particularly described by metes & bounds as follows:

BEGINNING at a capped 1/2-inch iron rod stamped "KHA" found in the South Right-of-Way line of King Road, a variable width Right-of-Way, being the Northeast corner of said BRACHA tract, the Southeast corner of a tract of land described as 'Parcel 03' in a deed to the Town of Little Elm, recorded in Document Number 2007-129634, O.R.D.C.T., the Southwest corner of tract of land described in a deed to the Town of Little Elm, recorded in Document Number 2007-129634, O.R.D.C.T., and the Northwest corner of Lot 2 in Block 1 of Little Elm Retail Addition, a subdivision recorded in Cabinet V, Page 43 of the Plat Records of Denton County, Texas (P.R.D.C.T.);

THENCE South 01 degree 00 minutes 49 seconds East, along a common line between said BRACHA tract and said Lot 2, a distance of 354.10 feet to a point in the North line of Lot 1 in Block A of Witt Tower Addition, a plat recorded in Cabinet U, Page 672, P.R.D.C.T., being the Southeast corner of said BRACHA tract and the Southwest corner of said Lot 2, from which a 3-inch metal fence corner post found for reference bears South 49 degrees 37 minutes 12 seconds West, a distance of 0.50 feet, and a capped 1/2-inch iron rod stamped "KAZ" found for reference bears South 16 degrees 11 minutes 56 seconds East, 0.68 feet; THENCE South 89 degrees 14 minutes 11 seconds West, along the South line of said BRACHA tract and the North line of said Witt Tower Addition, a distance of 186.27 feet to a 3-inch metal fence corner post found in said North line, being the Southwest corner of said BRACHA tract and the Southeast corner of the remainder of a tract of land described in a deed to Pamela McPartland, as recorded in Document Number 2005-87757, O.R.D.C.T.;

THENCE North 01 degree 08 minutes 26 seconds West, along the West line of said BRACHA tract and the East line of said McPartland tract, a distance of 385.47 feet to a capped 1/2-inch iron rod stamped "EAGLE SURVEYING" set in the South Right-of-Way line of King Road, being the Northwest corner of said BRACHA tract, the Southeast corner of a tract of land described as 'Parcel 05' in a deed to the Town of Little Elm, recorded in Document Number 2007-129632, O.R.D.C.T., and the Southwest corner of a tract of land described as 'Parcel 04' in a deed to the Town of Little Elm, recorded in Document Number 2007-129634, O.R.D.C.T., from which a capped 1/2-inch iron rod stamped "KAZ" found for reference bears South 02 degrees 17 minutes 41 seconds West, a distance of 1.80 feet;

THENCE South 81 degrees 15 minutes 13 seconds East, along the North line of said BRACHA tract and the South line of said Town of Little Elm Parcel 04 and said Town of Little Elm Parcel 03, a distance of 189.87 feet to the POINT OF BEGINNING, containing 1.585 acres, or 69,030 square feet of land, more or less.

EXHIBIT B

Development Standards

Except as otherwise set forth in these development standards, the development of subject property shall follow the regulation of the Town Little Elm's Zoning Ordinance and the Subdivision Ordinance, as they exist, or may be amended, at the time of development.

The primary purpose of this Planned Development is to allow for the resurfacing of the façade of the two existing buildings (Building 1 in the rear and Building 2 in the front). The secondary purpose (Phase II) of this Planned Development is to allow for the demolition of building 2 to allow for the construction of a larger building in its general vicinity, also built for light commercial (LC) use. While at this time there are no plans for Phase II, redevelopment of Building 2 in the future will be required to follow the requirements as listed below.

GENERAL CONDITIONS

Use Regulations

No building, structure, land or premises will be used, and no building or structure shall hereafter be erected, constructed, reconstructed, or altered, except for one or more of the uses specified under Light Commercial in section 106.05.01(b), "schedule of uses – Non-residential".

Base Zoning District

The permitted uses and standards will be in accordance with the Light Commercial District (LC) zoning as defined in the Zoning Ordinance, unless otherwise specified in the PD regulations.

Architectural Standards

All provisions within Sec. 106.06.05 -Architectural Standards for Commercial Structures shall be met EXCEPT as specified below. Buildings must be developed per approved Facades Plans as referenced in Exhibit C.

- a. All buildings shall be designed and constructed in tri-partite architecture so that they have a distinct base, middle and top, separated by horizontal elements.
- b. All buildings shall be constructed of 100 percent masonry finishes, as outlined in table B and in the proportions illustrated in table C.

Table B	
Exterior Categories & Materials for Bracha Addition Lot 1, Block A	
Categories	Materials
A	Brick, Stone, or Manufactured Stones
B	Architectural Metals, Cast Brick, Split-face CMU, Stucco, Cementitious Fiber board, Engineered Wood, Tilt-wall Construction

C	Wood, Tile, Glass, EIFS, or other materials as approved by the Director
Prohibited	Plain Concrete block, Aggregate, Vinyl, Plastic

Table C.1			
Required Percentages of Exterior Materials for Bracha Addition Lot 1, Block A, Building 1			
Buildings 15,000 square feet or less	Facades	Percentage Breakdown	Definition
	Primary	Min. 15% Group A Min. 50% Group B Max 15% Group C	Exterior walls on public street or along an active storefront.
	Secondary	Min. 15% Group A Min. 50% Group B Max. 40% Group C	Exterior walls NOT clearly visible from a public street or along an active storefront.

Table C.2			
Required Percentages of Exterior Materials for Bracha Addition Lot 1, Block A, Building 2			
Buildings 15,000 square feet or less	Facades	Percentage Breakdown	Definition
	Primary	Min. 20% Group B Max. 15% Group C	Exterior walls on public street or along an active storefront.
	Secondary	Min. 20% Group B Max. 40% Group C	Exterior walls NOT clearly visible from a public street or along an active storefront.

- c. Building Articulation Design Standards. Primary facades clearly visible from a public street or along an active storefront shall meet the following minimum standards for articulation:
 - i. Horizontal articulation shall be as depicted on Exhibit C – Development Plans.
 - ii. Vertical articulation as depicted on Exhibit C – Development Plans.
- d. Design Standards.
 - i. Building design to articulate a modern building with building materials that articulate the Bracha brand using 3-coat Stucco, Thin Brick, Glass, canopies.
 - ii. Architectural variation in volumes, towers, on main facades facing the street.
 - iii. Integrated overall design with modern use of materials with glass and taller portals at entries with signage.
 - iv. Variation on glass, storefront and window sizes, both horizontal and vertical.

- v. Glazing percentages as shown on the plans.
- vi. New framed entries.

Landscaping Standard

All provisions within Article VI. Division 4. Landscaping and Tree Preservation shall be met, as it exists or may be amended in accordance with the standards in effect at the time of development, or requested change, unless otherwise shown on the Landscape Plans attached hereto.

Front yard landscape buffer as shown on the plans.

Screening

All provisions within Article VI. Division 3 Screening Walls and Fences shall be met except as specified herein and shown on the plans.

Existing chain-link fence around the perimeter to remain as shown on the plans.

Parking

All provisions within Article VI. Division 4. Parking, Stacking, and Loading Standards shall be met except as specified herein and shown on the plans.

Signs

All provisions within Chapter 86 – Sign Ordinance shall be met.

Overhead Power Standards

All provisions within Sec. 106.06.07 Architectural Standards for Specific Structures shall be met except 106.06.07(b)(3). Existing overhead service lead to Building 2 to be installed underground, or as shown on site plan.

EXHIBIT C

Development Exhibits

PD ORDINANCE NO. 24-000279

Prepared for:

BRACHA

Bracha Addition

Lot 1, Block A

14085 King Road, Little Elm, Texas 75068

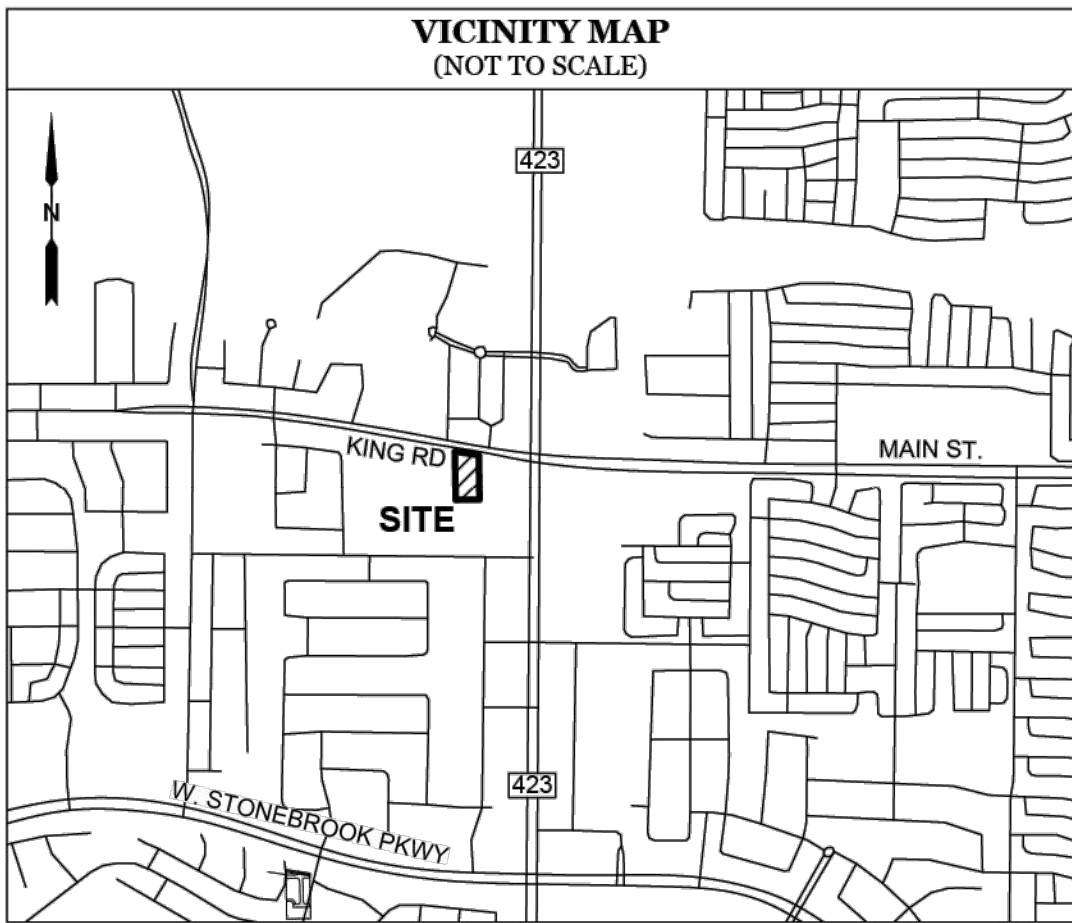
Denton County

Prepared by:



Texas Registered Engineering Firm No. F-23290
4500 Mercantile Plaza Dr., Suite 228,
Fort Worth, TX 76137
Ph: (682) 268-2214

April 2024

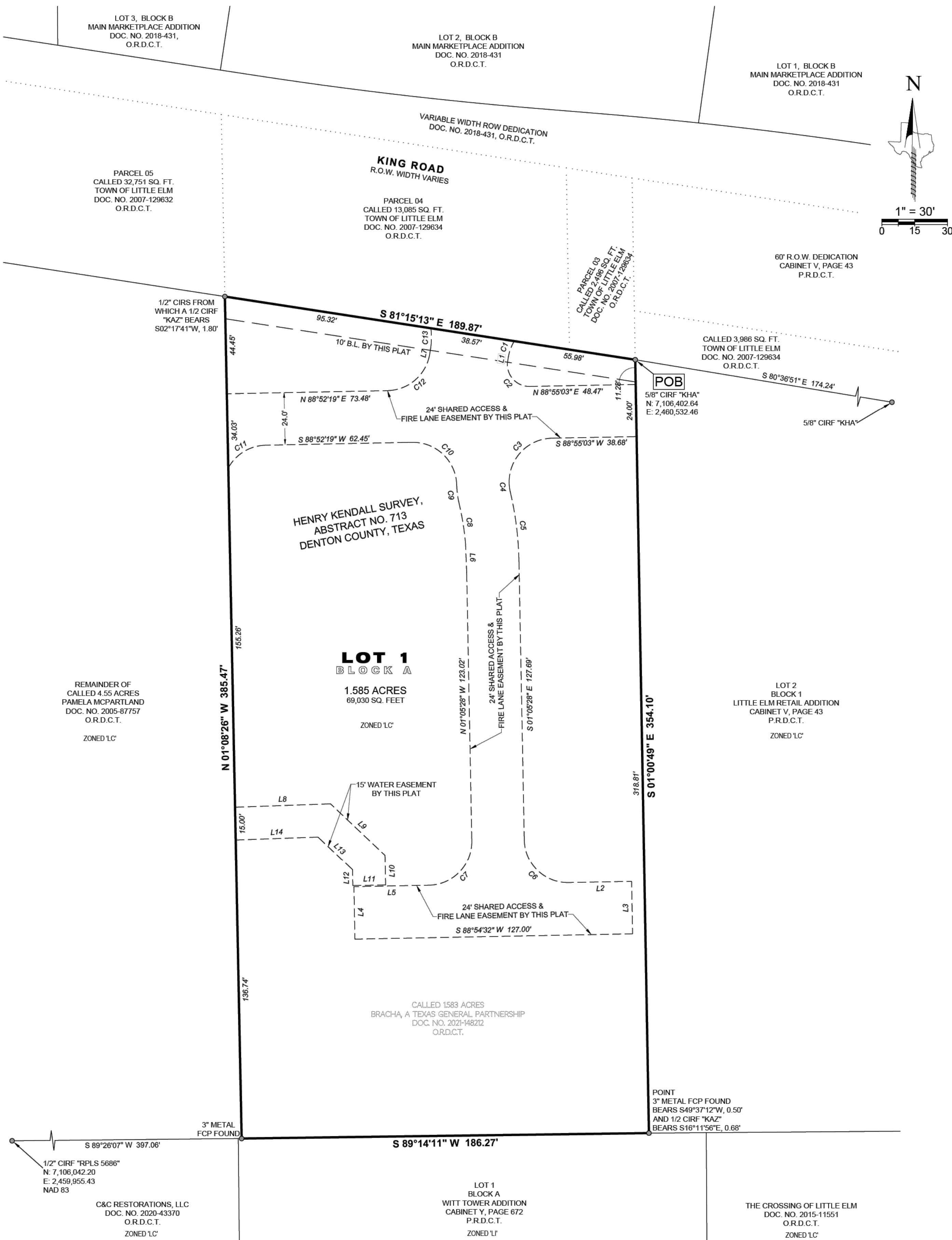


- GENERAL NOTES**
- The subject property lies within Non-Shaded Zone X according to Community Panel No. 48121C0420G, dated April 18, 2011, and is located in the Town of Little Elm, Community Number 481152 of the National Flood Insurance rate Maps for Denton County, Texas. The location of the Flood Zone shown hereon is approximate. For additional information regarding flood zone designation, please contact 1-(877) FEMA MAP.
 - The purpose of this plat is to create one (1) lot of record from an unplatted tract of land.
 - Minimum finished floor elevations are at least 2 feet above the 100 year flood plain.
 - The grid coordinates shown on this plat are based on GPS observations utilizing the AllTerra RTK Network - North American Datum of 1983 (Adjustment Realization 2011). Texas North Central Zone (4202).
 - Notice - selling a portion of this addition by metes and bounds is a violation of Town ordinance and state law and is subject to fines and withholding of utilities and building permits.
 - All interior property corners are marked with a 1/2-inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.
 - The bearings shown on this plat are based on GPS observations utilizing the AllTerra RTK Network - North American Datum of 1983 (Adjustment Realization 2011).
 - This property may be subject to charges related to impact fees and the applicant should contact the Town regarding any applicable fees due.
 - All lots comply with the minimum size requirements of the zoning district.
 - This plat does not alter or remove existing deed restrictions, if any, on this property.
 - The subject property shown hereon is zoned LC (Light Commercial) per Town of Little Elm Zoning.

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 08°41'33" W	1.31'
L2	N 88°54'32" E	26.71'
L3	S 01°05'28" E	24.00'
L4	N 01°05'28" W	24.00'
L5	N 88°54'32" E	34.29'
L6	N 02°20'07" W	13.21'
L7	N 08°41'33" E	3.26'
L8	S 87°47'56" W	43.70'
L9	N 46°33'46" W	34.34'
L10	N 01°05'28" W	13.61'
L11	N 88°54'32" E	15.00'
L12	S 01°05'28" E	7.32'
L13	S 46°33'46" E	21.76'
L14	N 01°05'28" E	37.64'

CURVE TABLE				
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING
C1	8.45'	21.50'	22°30'42"	S 19°31'14" W
C2	17.41'	10.00'	89°46'30"	S 41°11'42" E
C3	30.52'	20.00'	87°22'16"	S 45°12'24" W
C4	5.14'	20.00'	14°43'53"	S 05°42'13" E
C5	31.80'	150.00'	12°08'42"	S 07°08'48" E
C6	31.47'	19.83'	90°02'53"	S 46°16'31" E
C7	31.39'	20.00'	89°56'06"	N 43°56'28" E
C8	18.21'	126.00'	8°16'43"	N 88°54'48" W
C9	8.67'	44.00'	11°52'54"	N 07°27'42" W
C10	31.22'	20.00'	89°26'24"	N 48°24'27" W
C11	20.57'	20.00'	60°45'07"	S 58°45'48" E
C12	27.99'	20.00'	80°10'46"	N 48°46'58" E
C13	8.32'	35.00'	13°36'44"	N 00°06'56" W

LEGEND	
POB	=POINT OF BEGINNING
IRF	=IRON ROD FOUND
CIRF	=CAPPED IRON ROD FOUND
CIRS	=CAPPED IRON ROD SET
FCP	=FENCE CORNER POST
DOC. NO.	=DOCUMENT NUMBER
P.R.D.C.T.	=PLAT RECORDS, DENTON COUNTY, TEXAS
O.R.D.C.T.	=OFFICIAL RECORDS, DENTON COUNTY, TEXAS



OWNER'S ACKNOWLEDGEMENT & DEDICATION

STATE OF TEXAS §
COUNTY OF DENTON §

WHEREAS, BRACHA, A Texas General Partnership, is the owner of a 1.585 acre tract of land out of the Henry Kendall Survey, Abstract Number 713, situated in Denton County, Texas, and being all of that certain tract of land described in a deed to BRACHA, A Texas General Partnership, as recorded in Instrument Number 2021-148212 of the Official Records of Denton County, Texas (O.R.D.C.T.), and being more particularly described by metes & bounds as follows:

BEGINNING at a capped 1/2-inch iron rod stamped "KHA" found in the South Right-of-Way line of King Road, a variable width Right-of-Way, being the Northeast corner of said BRACHA tract, the Southeast corner of a tract of land described as "Parcel 03" in a deed to the Town of Little Elm, recorded in Document Number 2007-129634, O.R.D.C.T., the Southwest corner of tract of land described in a deed to the Town of Little Elm, recorded in Document Number 2007-129634, O.R.D.C.T., and the Northwest corner of Lot 2 in Block 1 of Little Elm Retail Addition, a subdivision recorded in Cabinet V, Page 43 of the Plat Records of Denton County, Texas (P.R.D.C.T.);

THENCE South 01 degree 00 minutes 49 seconds East, along a common line between said BRACHA tract and said Lot 2, a distance of 354.10 feet to a point in the North line of Lot 1 in Block A of Witt Tower Addition, a plat recorded in Cabinet U, Page 672, P.R.D.C.T., being the Southeast corner of said BRACHA tract and the Southwest corner of said Lot 2, from which a 3-inch metal fence corner post found for reference bears South 49 degrees 37 minutes 12 seconds West, a distance of 0.50 feet, and a capped 1/2-inch iron rod stamped "KAZ" found for reference bears South 16 degrees 11 minutes 56 seconds East, 0.68 feet;

THENCE South 89 degrees 14 minutes 11 seconds West, along the South line of said BRACHA tract and the North line of said Witt Tower Addition, a distance of 186.27 feet to a 3-inch metal fence corner post found in said North line, being the Southwest corner of said BRACHA tract and the Southeast corner of the remainder of a tract of land described in a deed to Pamela McPartland, as recorded in Document Number 2005-87757, O.R.D.C.T.;

THENCE North 01 degree 08 minutes 26 seconds West, along the West line of said BRACHA tract and the East line of said McPartland tract, a distance of 385.47 feet to a capped 1/2-inch iron rod stamped "EAGLE SURVEYING" set in the South Right-of-Way line of King Road, being the Northwest corner of said BRACHA tract, the Southeast corner of a tract of land described as "Parcel 05" in a deed to the Town of Little Elm, recorded in Document Number 2007-129632, O.R.D.C.T., and the Southwest corner of a tract of land described as "Parcel 04" in a deed to the Town of Little Elm, recorded in Document Number 2007-129634, O.R.D.C.T., from which a capped 1/2-inch iron rod stamped "KAZ" found for reference bears South 02 degrees 17 minutes 41 seconds West, a distance of 1.80 feet;

THENCE South 81 degrees 15 minutes 13 seconds East, along the North line of said BRACHA tract and the South line of said Town of Little Elm Parcel 04 and said Town of Little Elm Parcel 03, a distance of 189.87 feet to the POINT OF BEGINNING, containing 1.585 acres, or 69,030 square feet of land, more or less.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, BRACHA, A Texas General Partnership, does hereby adopt this plat, designating herein described property as **BRACHA ADDITION**, an addition to the Town of Little Elm, Denton County, Texas, and does hereby dedicate to public use forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose and consideration therein expressed. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the drainage and utility easements as shown. Said drainage and utility easements being hereby reserved for the mutual use and accommodation of all public utilities desiring to use same. All and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the drainage and utility easement and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said drainage and utility easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone.

OWNER: BRACHA

BY: _____
Sayra Carpenter Date

STATE OF TEXAS §
COUNTY OF _____ §

BEFORE ME, the undersigned authority, on this day personally appeared Sayra Carpenter, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this _____ day of _____, 2024.

Notary Public in and for the State of Texas

CERTIFICATE OF SURVEYOR

STATE OF TEXAS §
COUNTY OF DENTON §

I, **MATTHEW RAABE**, Registered Professional Land Surveyor, do hereby certify that this plat was prepared from an actual survey made on the ground and that the monuments shown hereon were found or placed with 1/2-inch iron rods with green plastic caps stamped "EAGLE SURVEYING" under my direction and supervision in accordance with the current provisions of the Texas Administrative Code and the Ordinances of the Town of Little Elm, Denton County, Texas.

PRELIMINARY
This document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document

Matthew Raabe, R.P.L.S. #6402 Date

STATE OF TEXAS §
COUNTY OF DENTON §

BEFORE ME, the undersigned authority, on this day personally appeared **MATTHEW RAABE**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this _____ day of _____, 2024.

Notary Public in and for the State of Texas

CERTIFICATE OF FINAL APPROVAL

APPROVED

Town Official
Town of Little Elm, Texas

Date

The undersigned, the Town Secretary of the Town of Little Elm, Texas, hereby certifies that the foregoing Final Plat of the BRACHA ADDITION Subdivision or Addition to the Town of Little Elm was submitted to the Planning and Zoning Commission on the _____ day of _____, 2024, and the Commission, by formal action, then and there accepted the Final Plat and hereby authorizes the developer to proceed with the construction of public works improvements and infrastructure as indicated on the accompanying construction plans, and said Commission further authorizes the Town Official to note the acceptance thereof by signing his/her name as hereinabove subscribed.

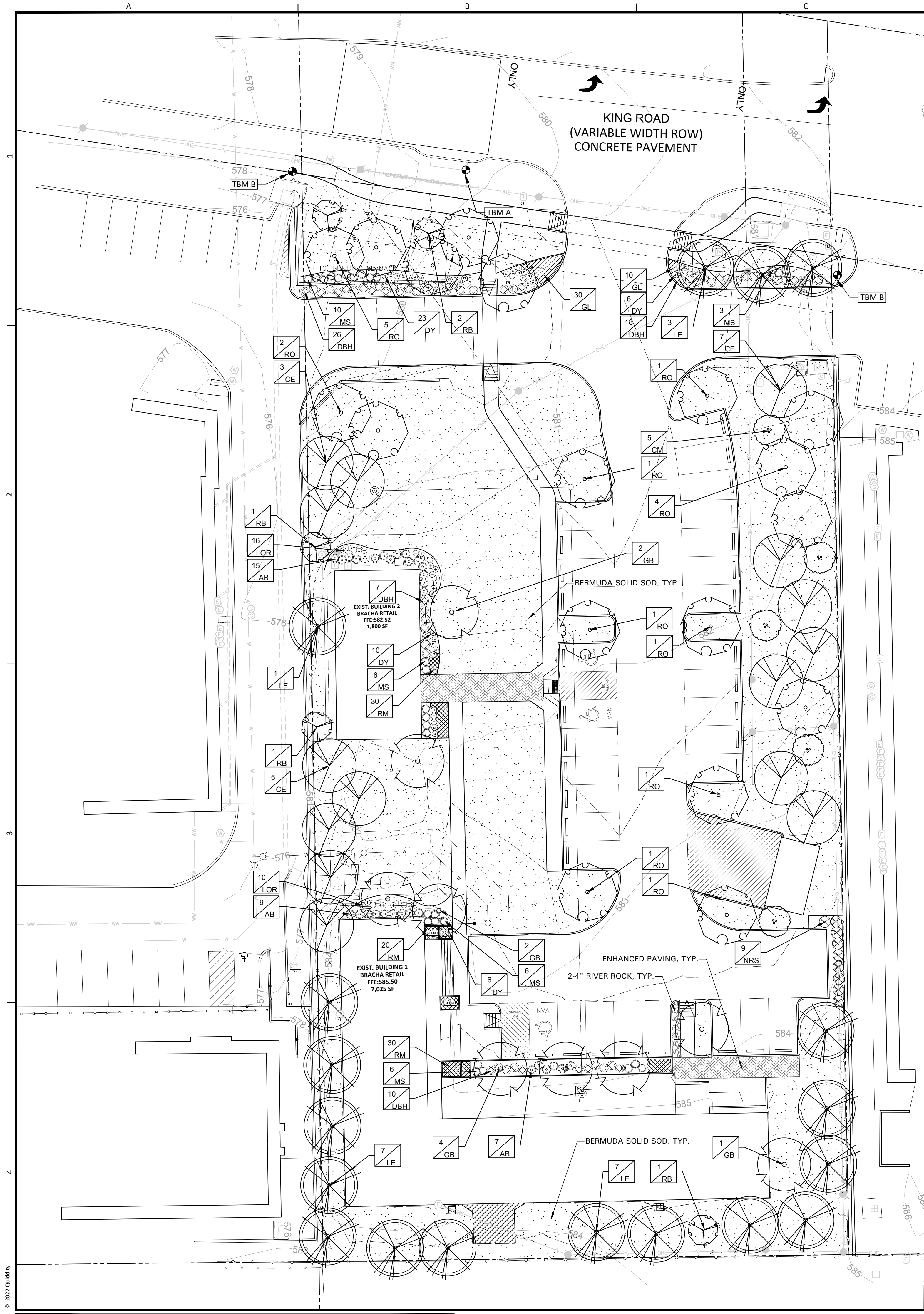
Witness by hand this _____ day of _____, 2024.

Town Secretary
Town of Little Elm, Texas

**FINAL PLAT
BRACHA ADDITION
LOT 1, BLOCK A**

BEING 1.585 ACRES OF LAND OUT OF THE
HENRY KENDALL SURVEY, ABSTRACT NO. 713
TOWN OF LITTLE ELM, DENTON COUNTY, TEXAS

DATE OF PREPARATION: 02/19/2024



LANDSCAPE TABULATIONS for LITTLE ELM, TEXAS	
SITE AREA	69,043 s.f.
INTERIOR LANDSCAPE REQUIREMENTS	
1. A min. of 10% of the gross vehicular use areas shall be devoted to living landscape.	
2. There shall be a min. of one large canopy tree for each 400 s.f. of required interior landscape area.	
3. Interior parking islands shall contain one canopy tree located at the end of all parking rows.	
4. One tree shall be provided for every 12 spaces. (36 spaces provided)	
REQUIRED	PROVIDED
1463 s.f. (10%)	3195 s.f. (21.8%)
4 trees	7 trees, 3" cal. (trees will have a canopy larger than 30')
PERIMETER LANDSCAPE REQUIREMENTS	
1. All vehicular use areas shall be screened from abutting properties and the public right-of-way with an evergreen hedge, berm or other durable landscape barrier. Shrubs shall be a min. of 36" tall at time of planting.	
2. For all nonresidential and multiple family parcels, a minimum twenty (20) foot landscape buffer adjacent to the right-of-way is required.	
3. Landscape buffers adjacent to the public right-of-way shall contain at least one (1) Large Canopy tree each thirty (25) linear feet or fraction thereof of street frontage, inclusive of driveways. Trees may be grouped or clustered to facilitate site design.	
4. A perimeter landscape buffer of at least ten (10) feet in width shall be maintained between adjacent properties. This landscaping can be reduced to five feet (5') when abutting property of the same zoning. Perimeter landscape buffers shall contain at least one (1) Large Canopy tree each fifty (25) linear feet or fraction thereof when adjacent to another commercial use	
5. For every five (5) large canopy trees or fraction thereof required along the street frontage and perimeter (1) Small Ornamental tree shall also be provided.	
REQUIRED	PROVIDED
screening	screening - 36" at the time of planting
King Road - 190 l.f.	
8 trees	8 shade trees
1 ornamental trees	2 ornamental trees
West property line - 386 l.f.	
15 trees	15 shade trees
2 ornamental trees	2 ornamental trees
South property line - 186 l.f.	
7 trees	7 shade trees
1 ornamental trees	1 ornamental trees
East property - 354 l.f.	
14 trees	14 shade trees
2 ornamental trees	5 ornamental trees
POINT SYSTEM	
REQUIRED	PROVIDED
25 points	5 points - enhanced landscape
	5 points - open space greater
	5 points - foundation planting
	5 points - enhanced hardscape (pavers)
	5 points - enhanced buffers

- GENERAL LAWN NOTES**
- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER
 - LAWN AREAS SHALL BE LEFT 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION
 - CONTRACTOR TO FIND GRADE AREAS TO ACHIEVE FINAL CONTOURS AS SHOWN ON CIVIL DRAWINGS. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. ROUNDING AT TOP AND BOTTOM OF SLOPES SHALL BE PROVIDED AND IN OTHER BREAKS IN GRADE, CORRECT AREAS WHERE STANDING WATER MAY OCCUR
 - ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION
 - CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" IN DIAMETER AND LARGER, REMOVE ALL DIRT CLOUDS, STICKS, CONCRETE SPILLS, TRASH ETC PRIOR TO PLACING TOPSOIL AND GRASS INSTALLATION
 - CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE.
 - CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.
- SOLID SOD:**
- SOLID SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES, AT A MINIMUM, THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN
 - SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+/-1/4"), EXCLUDING TOP GROWTH AND THATCH
 - LAY SOD BY HAND TO COVER INDICATED AREAS COMPLETELY, ENSURING EDGES ARE TOUCHING WITH TIGHTLY FITTING JOINTS, NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS
 - TOP DRESS JOINTS IN SOD BY HAND WITH TOPSOIL, TO FILL VOIDS IF NECESSARY
 - SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.
 - SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, OVERSEED BERMUDAGRASS SOD WITH WINTER RYEGRASS AT A RATE OF 4 POUNDS PER 1000 S.F.
- HYDROMULCH:**
- SCARIFY AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION
 - BERMUDA GRASS SEED SHALL BE EXTRA HULLED, TREATED LAWN TYPE, SEED SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET ALL STATE/LOCAL LAW REQUIREMENTS
 - FIBER TACK SHALL BE 100% WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY "CONVEYER OR EQUAL"
 - FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS UNOPENED CONTAINER AND SHALL BE TERRO-TACK ONE; AS MANUFACTURED BY GROWERS, INC OR APPROVED EQUAL
 - HYDROMULCH WITH BERMUDA GRASS SEET AT A RATE OF 2 POUNDS PER 1000 S.F.
 - USE A BATTER BOARD AGAINST ALL BED AREAS TO PREVENT OVER SPRAY
 - IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION
 - IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1ST AND MAY 1ST, ALL HYDROMULCH AREAS SHALL BE OVER-SEED WITH WINTER RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET
 - CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH BERMUDA GRASS THE FOLLOWING GROWING SEASON AS PART OF THIS CONTRACT
 - AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS, WATER SEEDED AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION
 - ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.
- TOWN OF LITTLE ELM NOTES**
- A. THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING.
- B. LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS OR PLANTS NOT A PART OF THE LANDSCAPING.
- C. NO SUBSTITUTIONS FOR PLANT MATERIALS IS ALLOWED WITHOUT WRITTEN AND STAMPED APPROVAL BY THE DIRECTOR ON A REVISED LANDSCAPE PLAN.
- D. THE RIGHT-OF-WAY ADJACENT TO REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE ADJACENT PROPERTY OWNER IN THE SAME MANNER AS THE REQUIRED LANDSCAPE AREA. ALL DRIVEWAYS WILL MAINTAIN VISIBILITY AS APPROVED BY THE DIRECTOR. ALL PLANTINGS INTENDED FOR EROSION CONTROL WILL BE MAINTAINED. THE TOWN MY REQUIRE VEGETATION TO PREVENT EROSION OR SLIPPAGE.
- E. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIALS WHICH DIE SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, WITHIN THIRTY DAYS OR A DATE APPROVED BY THE DIRECTOR BASED ON CURRENT SEASONS AND WEATHER CONDITIONS.
- F. WHEN POWER LINES ARE PRESENT, TREES SHALL NOT BE PLANTED UNDERNEATH AND SHOULD BE ORIENTED IN A MANNER TO AVOID CONFLICT. SUBSTITUTION OF PLANT MATERIAL IS NOT ALLOWED WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE DIRECTOR.
- G. ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- H. REQUIRED LANDSCAPED OPEN AREAS AND DISTURBED SOIL AREAS SHALL BE COMPLETELY COVERED WITH LIVING PLANT MATERIAL PER THE LANDSCAPE ORDINANCE.
- I. ALL STREETScape FURNITURE SHALL BE A CHIP AND FLAKE RESISTANT METAL, DECORATIVE AND GENERALLY BLACK "STORM CLOUD" IN COLOR.

PLANT SCHEDULE

QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
SHADE TREES					
15	CE	Cedar Elm	Ulmus crassifolia	4" cal.	12' ht., 4' spread, matching
9	GB	Ginko	Ginkgo biloba	4" cal.	12' ht., 4' spread, matching
18	LE	Lacebark Elm	Ulmus parvifolia 'Sempervirens'	4" cal.	12' ht., 4' spread
18	RO	Texas Red Oak	Quercus texana	4" cal.	12' ht., 4' spread, matching
ORNAMENTAL TREES					
5	CM	Crepe Myrtle 'Tuscarora'	Lagerstromia indica 'Tuscarora'	30 gal.	8' ht. 3' spread, matching
5	RB	Oklahoma Redbud	Cercis reniformis 'Oklahoma'	30 gal.	8' ht., 4' spread, 3 trunk min.
SHRUBS					
31	AB	Abelia 'Twist of Lime'	Abelia x grandiflora 'Hopleys's'	3' ht.	full, 36" o.c.
61	DBH	Dwarf Burford Holly	Ilex cornuta 'Burford Nana'	3' ht.	full, 36" o.c.
45	DY	Dwarf Yaupon Holly	Ilex vomitoria 'Condeaux'	5 gal.	full, 24" sprd, 24" o.c.
26	LOR	Loropetalum 'Purple Pixie'	Loropetalum chinensis 'Purple Pixie'	5 gal.	full, 18" sprd, 30" o.c.
31	MS	Morning Light Miscanthus	Miscanthus sinensis 'Morning Light'	5 gal.	full, 20" spread, 36" o.c.
9	NRS	Nellie R. Stevens Holly	Ilex x 'Nellie R. Stevens'	4' ht.	full, 40" o.c.; 4' ht.
GROUND COVER/VINES/GRASS					
40	GL	Giant Liriope	Liriope gigantea	1 gal.	full, 18" o.c.
80	RM	Creeping Rosemary	Rosmarinus officinalis 'Prostratus'	1 gal.	full, 18" o.c.
		Bermuda Solid Sod	Cynodon dactylon		

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.



AWR Designs, LLC
P.O. Box 1746
Aledo, Texas 76008
amanda@awr-designs.com
c. 512.517.5589

- LANDSCAPE NOTES**
- CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING ELEMENTS. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS
 - CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR UNDERGROUND UTILITIES
 - A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES
 - CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS
 - LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE
 - PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS OR CURBS. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE. EDGING SHALL BE CUT AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND/OR CURBS
 - MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING
 - QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS
 - CONTAINER GROWN PLANT MATERIAL IS PREFERRED. HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEED BE AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST
 - TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE. SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS
 - 4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER WEED BARRIER FABRIC. MULCH SHALL BE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL. FINE STRAW MULCH IS PROHIBITED
 - WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE MIRAFI 1405 WEED BARRIER OR APPROVED EQUAL. CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS
- IRRIGATION:**
- ALL REQUIRED LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.
- MAINTENANCE REQUIREMENTS:**
- VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE
 - MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE
 - ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL
- MISCELLANEOUS MATERIALS:**
- STEEL EDGING SHALL BE 3/16" X 4 X 16" DARK GREEN DURAEDGE STEEL LANDSCAPE EDGING UNLESS NOTED OTHERWISE ON PLANS/DETAILS
 - RIVER ROCK SHALL BE ARIZONA RIVER ROCK, 2" - 4" DIAMETER. RIVER ROCK SHALL BE COMPACTED TO A MINIMUM OF 3" DEPTH OVER FILTER FABRIC
 - DECOMPOSED GRANITE SHALL CONSIST OF A NATURAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER AND COMPOSED OF VARIOUS STAGES OF DECOMPOSED EARTH BASE. DG SHALL BE PLACED OVER FILTER FABRIC AT A MINIMUM OF 3" DEPTH. BOULDERS SHALL BE ON AVERAGE 36" X 24" X 24" AND A MIN. OF 500LBS. BOULDER TO BE SET IN GROUND ON A 1" SAND SETTING BED, APPROXIMATELY 2" BELOW FINISH GRADE. BOULDER SHOULD HAVE A WEATHERED FINISH. EACH BOULDER HAS A NATURAL TOP AND BOTTOM. ENSURE THAT THE BOULDER IS POSITIONED CORRECTLY BEFORE INSTALLATION

App.

REVISIONS

No.

Date

DESIGNED BY: CPZ

CHECKED BY: RIA

DRAWN BY: CPZ

QUIDDITY

Professional Engineer and Land Surveyor Reg. No. 72190
Civil/Geomatics/Professional Engineer, State of Texas, License No. 25240

REGISTERED LANDSCAPE ARCHITECT
AMANDA W. RICHARDS
STATE OF TEXAS
2754

1-19-24

BRACHA RETAIL - FRISCO - FM 423 AND KING ROAD

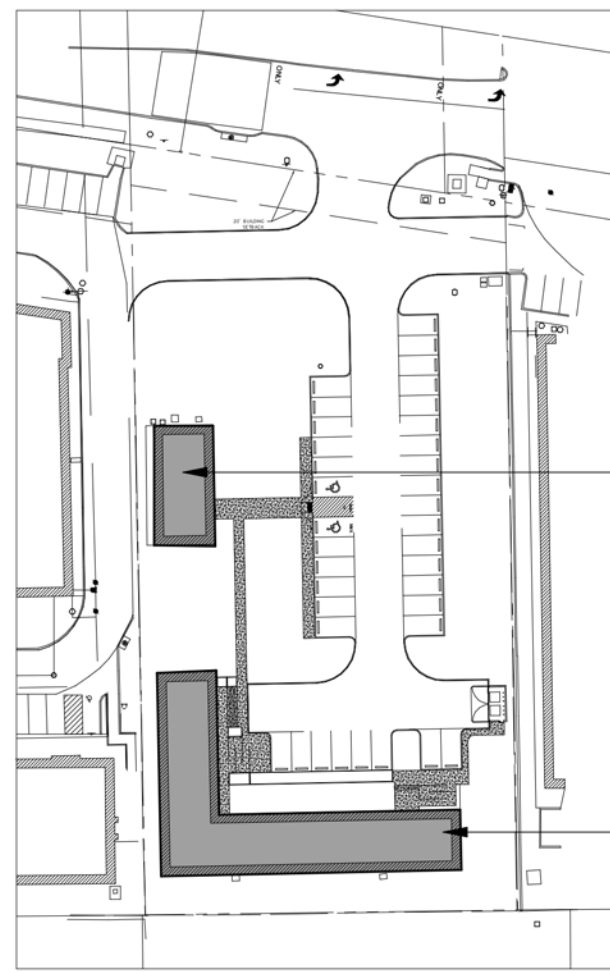
1408S KING ROAD, FRISCO, TX 75036

LANDSCAPE PLAN

SHEET NO.

L1.01

OF



SITE PLAN

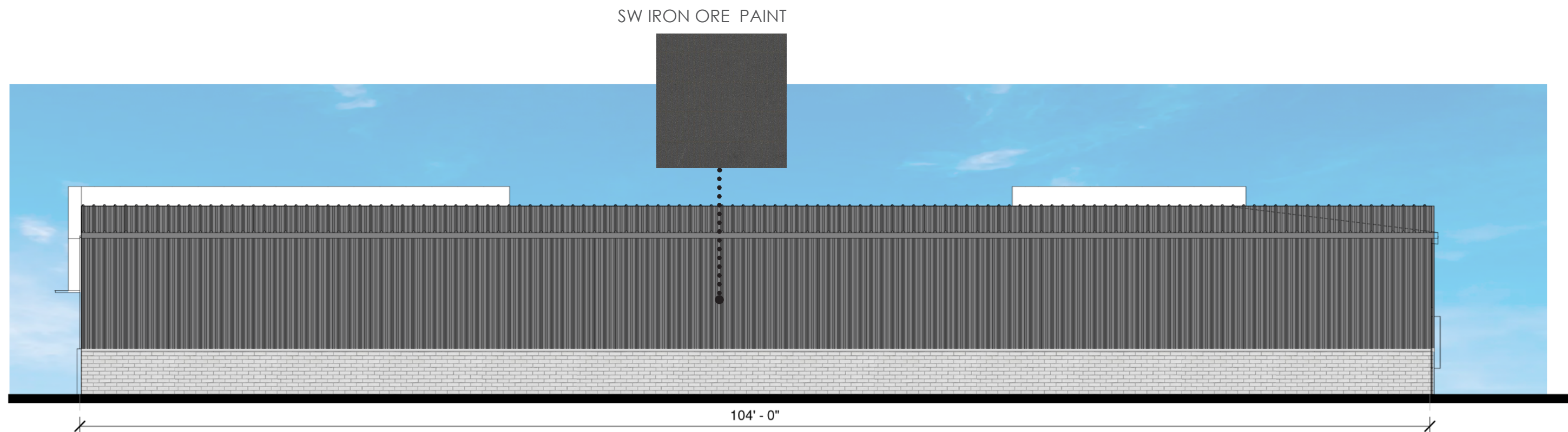
BUILDING 2

BUILDING 1

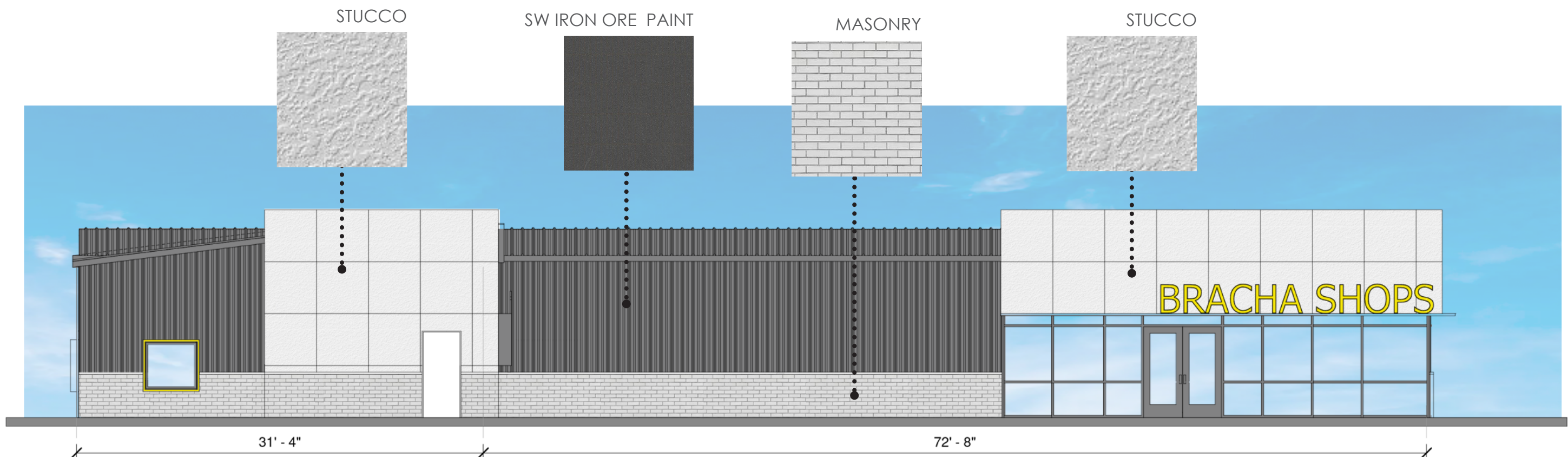


MATERIAL CALCULATIONS TABLE

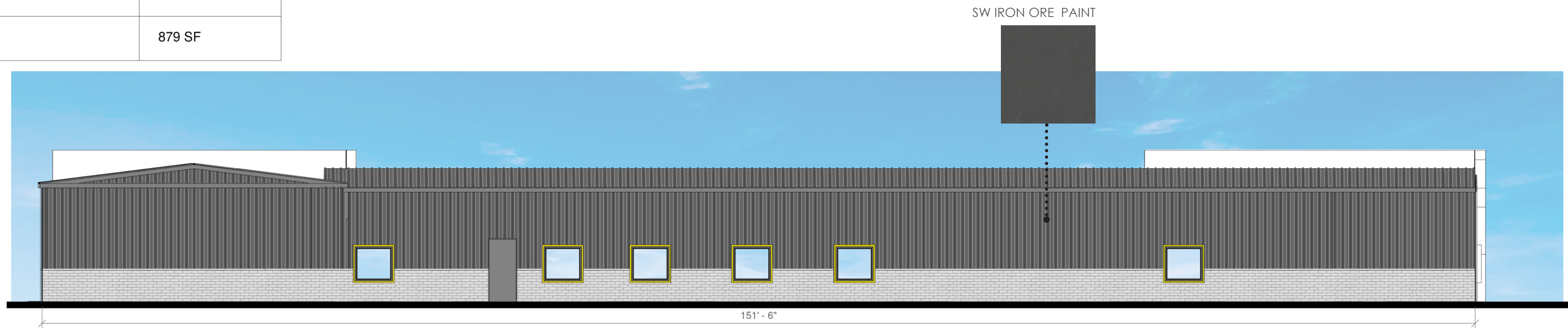
ELEVATION	GLAZING	STUCCO	CORRUGATED MTL PANEL SW IRON ORE	MASONRY	TOTAL AREA
BUILDING 1 NORTH ELEVATION	331 SF (15%)	634 SF (28%)	899 SF (39%)	410 SF (18%)	2,274 SF
BUILDING 1 SOUTH ELEVATION	70 SF (3%)		1,543 SF (73%)	507 SF (24%)	2,120 SF
BUILDING 1 WEST ELEVATION	250 SF (16%)	512 SF (32%)	597 SF (37%)	235 SF (15%)	1,594 SF
BUILDING 1 EAST ELEVATION			1,147 SF (76%)	364 SF (24%)	1,511 SF
BUILDING 2 NORTH ELEVATION	57 SF (12%)	136 SF (30%)	252 SF (56%)		445 SF
BUILDING 2 SOUTH ELEVATION			413 SF (100%)		413 SF
BUILDING 2 EAST ELEVATION		132 SF (15%)	764 SF (85%)		896 SF
BUILDING 2 WEST ELEVATION	355 SF (40%)		524 SF (60%)		879 SF



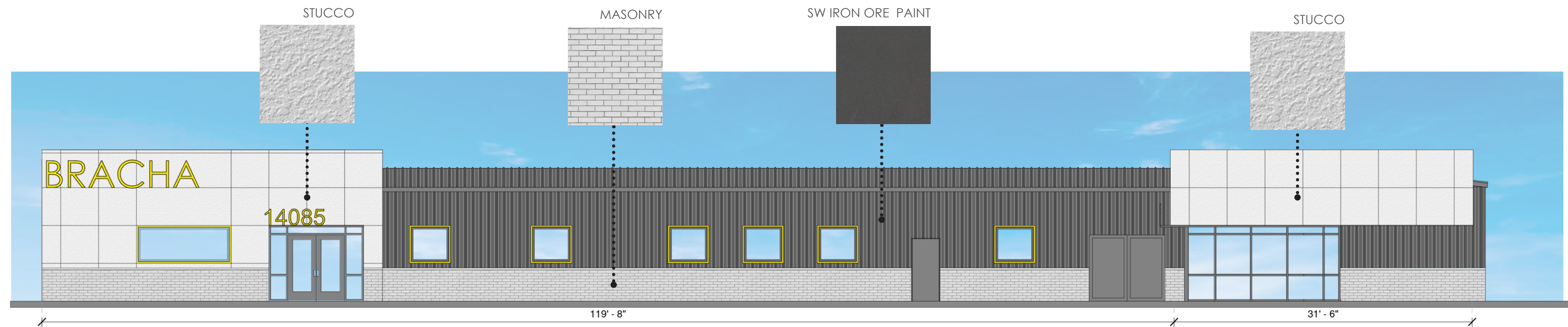
4 BUILDING 1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING 1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING 1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 BUILDING 1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

STUDIO
MAS+
ARCHITECTS

ARCHITECTURE • PLANNING • INTERIORS

10440 E NORTHWEST HWY
SUITE 301
DALLAS, TX 75238
214 669 4684

PROJECT NAME:

BRACHA RETAIL - FRISCO - FM 432 AND
KING ROAD
14085 KING ROAD, FRISCO, TX 75036

LOT 1, BLOCK A
BRACHA ADDITION
1.585 ACRES
FRISCO TX 75036

OWNER

BRACHA
12342 HARVEST MEADOW DRIVE
FRISCO, TX 75033-2125
TEL (214) 929-1978
CONTACT: SAYRA CARPENTER

ENGINEER

QUIDDITY, INC.
4500 MERCANTILE PLAZA DRIVE
SUITE 210
FORT WORTH, TEXAS 76137
TEL (972) 265-7190
CONTACT: RYAN ALCALA, PE

PROJECT NO:

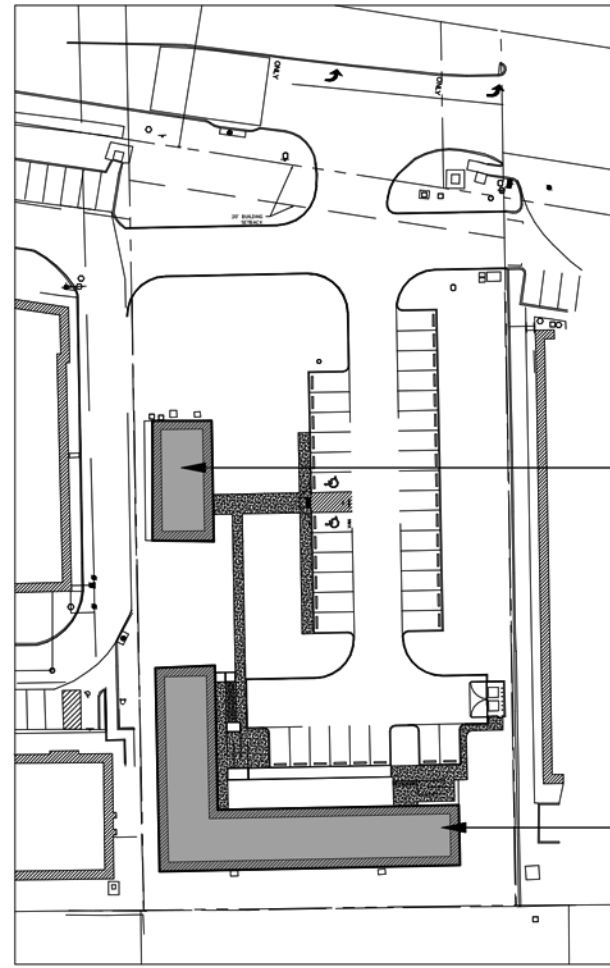
Project Number

BUILDING 1 ELEVATIONS

NOT FOR CONSTRUCTION

04/11/2024

A1-03



SITE PLAN

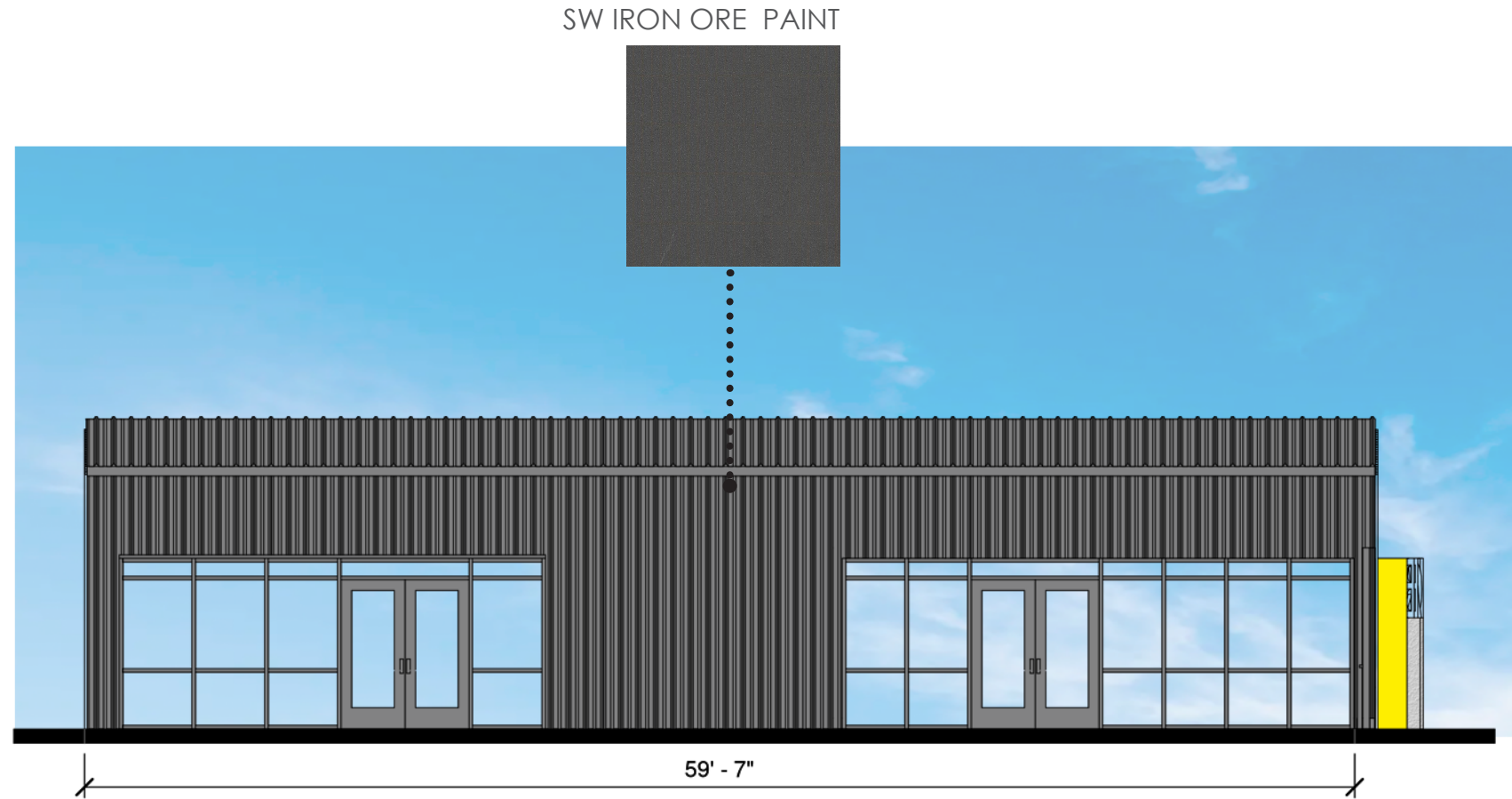
BUILDING 2

BUILDING 1

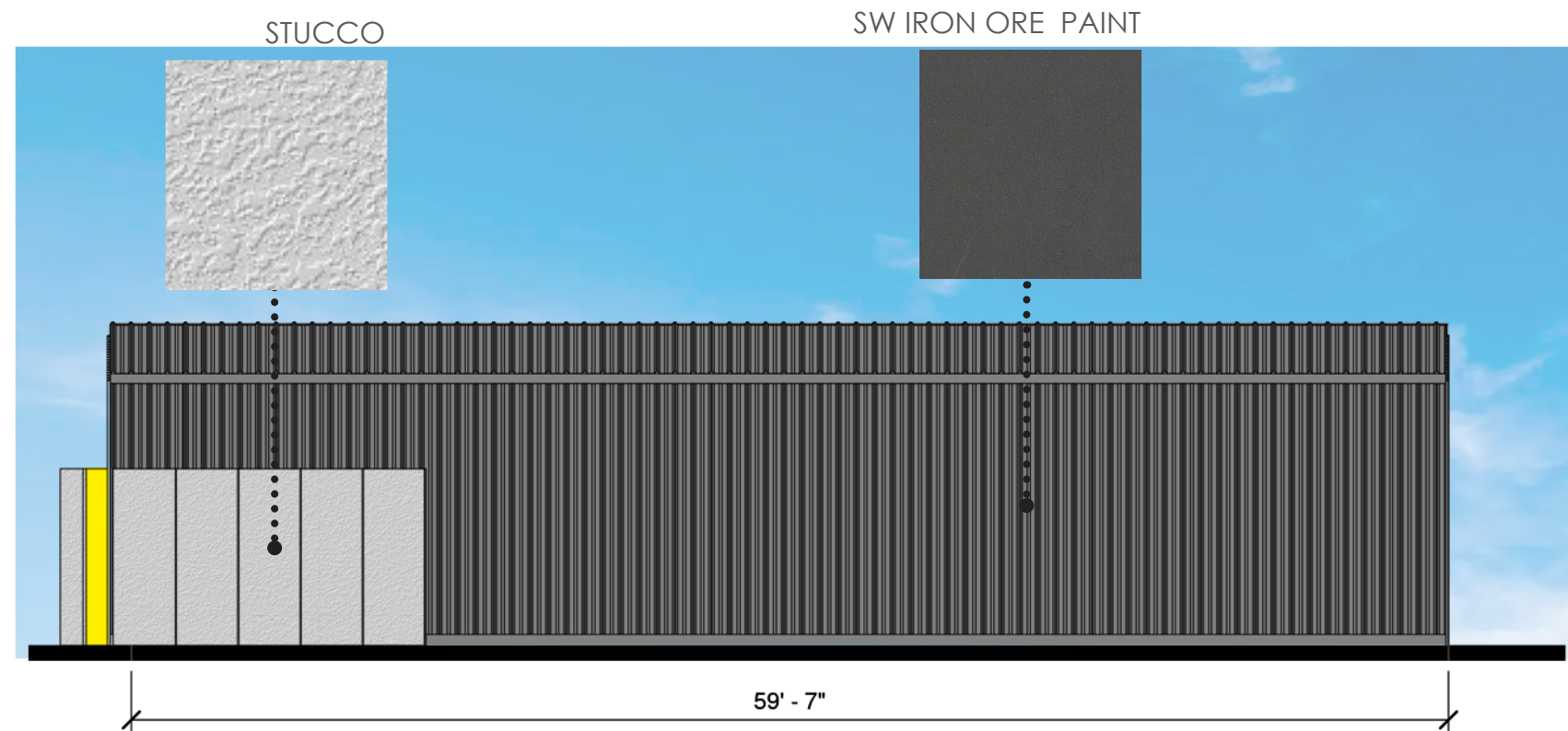


MATERIAL CALCULATIONS TABLE

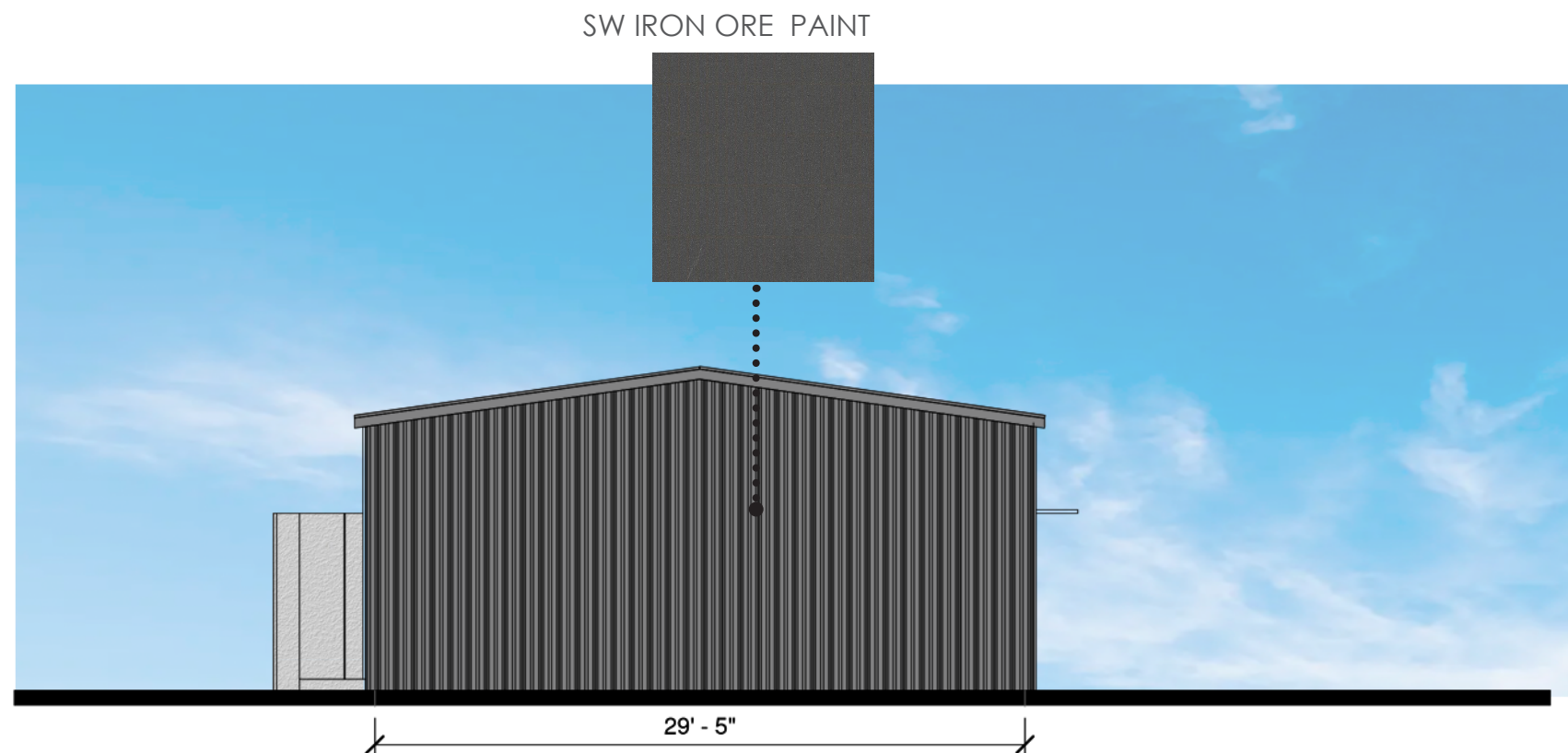
ELEVATION	GLAZING	STUCCO	CORRUGATED MTL PANEL SW IRON ORE	MASONRY	TOTAL AREA
BUILDING 1 NORTH ELEVATION	331 SF (18%)	623 SF (28%)	899 SF (38%)	320 SF (18%)	2,278 SF
BUILDING 1 SOUTH ELEVATION	70 SF (3%)		2,050 SF (98%)	505 SF (24%)	2,120 SF
BUILDING 1 WEST ELEVATION	250 SF (16%)	568 SF (38%)	697 SF (39%)	236 SF (95%)	1,567 SF
BUILDING 1 EAST ELEVATION			1,547 SF (700%)	364 SF (24%)	1,511 SF
BUILDING 2 NORTH ELEVATION	57 SF (12%)	136 SF (30%)	252 SF (56%)		445 SF
BUILDING 2 SOUTH ELEVATION			413 SF (100%)		413 SF
BUILDING 2 EAST ELEVATION		132 SF (15%)	764 SF (85%)		896 SF
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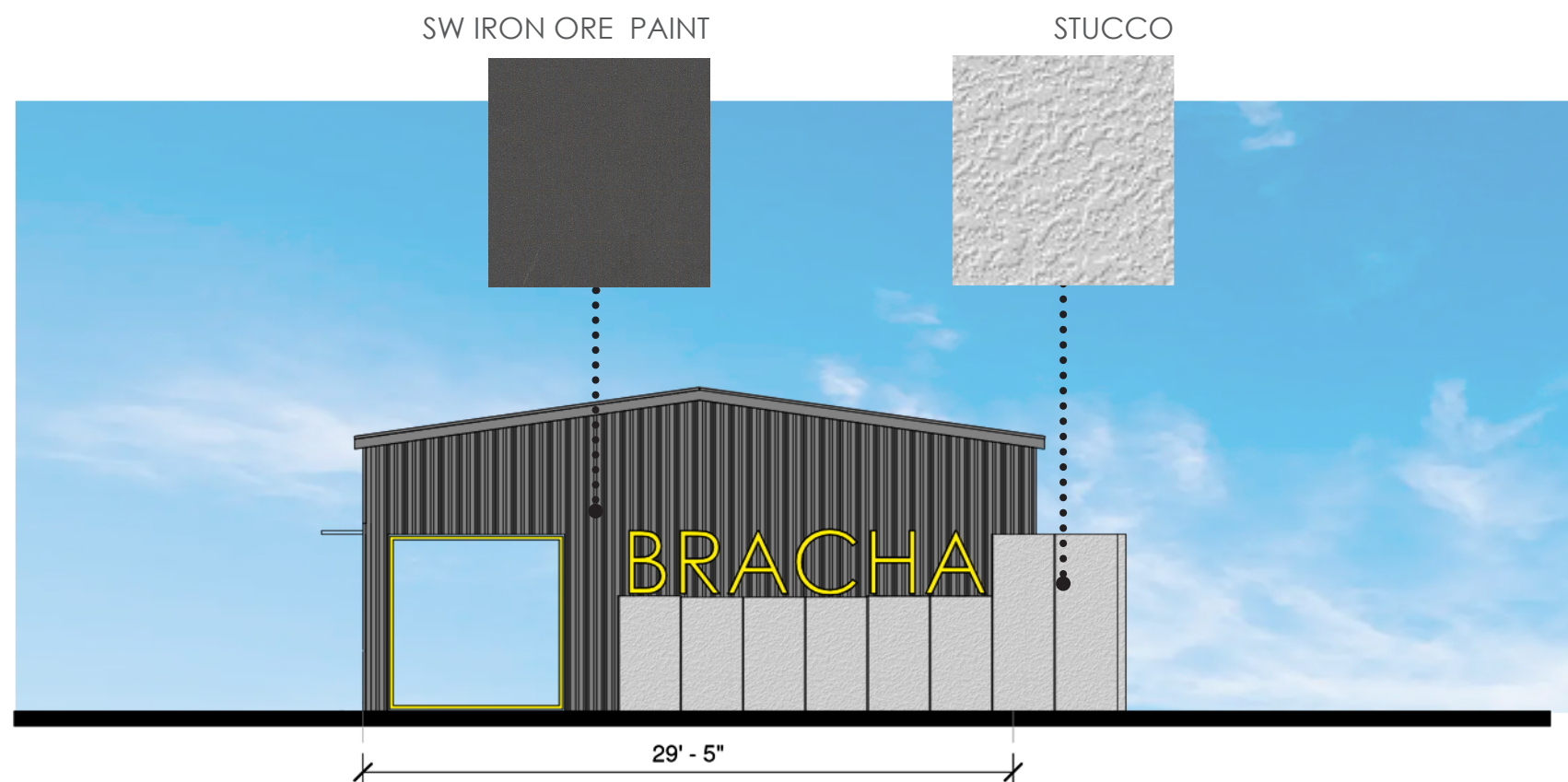
4 BUILDING 2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



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SCALE: 1/8" = 1'-0"



2 BUILDING 2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 BUILDING 2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

STUDIO
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CONTACT: RYAN ALCALA, PE

PROJECT NO:

Project Number

BUILDING 2 ELEVATIONS

NOT FOR CONSTRUCTION

04/11/2024

A1-04



TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

05/16/2024

OVERVIEW

Project	Future Land Use Assumptions Update
P&Z Hearing	05/16/2024
Council Hearing	N/A
Size	N/A
Current Zoning	N/A
Proposed Use	N/A
Existing Use	N/A
Future Land Use Plan Designation	N/A
Applicant	N/A
Owner	N/A
Strategic Goal	

Agenda Item

Presentation by consultant and discussion with regard to a Comprehensive Plan amendment to amend the Future Land Use Map, Future land Use Categories, projected population, and capacity. No formal action to be taken.

Location

N/A

Planning Analysis

N/A

Recommended Action

N/A

Attachments

Land Use Assumptions Draft
Land Use Assumptions Draft Redlined

Town of Little Elm Comprehensive Plan 2017

Future Land Use and Population Projection Update

May 1, 2024



LITTLE ELM

**DRAFT FOR TOWN REVIEW
NOT INTENDED FOR
PUBLICATION**

Executive Summary

In March 2024, the Town of Little Elm engaged the services of Freese and Nichols, Inc., the firm who helped the Town create the 2017 Comprehensive Plan, to update targeted sections of the 2017 Plan. The sections, presented in more detail below, primarily addressed the Future Land Use map, densities associated with various residential categories, and future population projections.

The purpose of the update was the right-sizing of future growth numbers to inform other Town planning initiatives, the most immediate being a 5-year impact fee update. As the Town anticipates a broader update to its Comprehensive Plan in the near future, this land use update is considered an interim step to provide the Town with the data it needs to further immediate planning initiatives.

Updates to the 2017 Comprehensive Plan are encapsulated within this document and are limited to the following (page references below refer to the 2017 Plan, not this document):

1. **Update the Future Land Use Map Shown on Page 120:** Development data and other inputs were used to create a Future Land Use Map that updates the 2017 map.
2. **Update the Future Land Use categories shown on Pages 119, 121-123:** The future land use categories of the current Comprehensive Plan were updated to reflect recently-approved developments and trends that have developed in the Town since 2017. Additionally, dwelling units per acre (DUA) were added for each future land use category.
3. **Update the Town's Projected Population and Capacity on Pages 175-179, 181-184:** based on data provided by the Town and public sources such as the U.S. Census Bureau and the North Central Texas Council of Governments, updates were made to the Town's projected population and capacity under the current Comprehensive Plan. These were updated to reflect growth and growth rate changes since 2017.

Results show that build-out population of the Town increased from approximately 93,000 population to approximately 107,000. Of the additional residents expected in Town Limits, the land use changes considered in this update contribute approximately 1,700 additional residents. This means that land use changes contribute only 12% of the total increase in build-out population (1,700 out of 14,000 people), with the remaining anticipated increase from 2017 resulting from growth in ETJ population, along with the 4,648 undeveloped lots platted as of the date of this report. With more lots on the ground compared to 2017, the future population of the Town can be predicted with more accuracy compared to projecting vacant areas based on presumed maximum density. The unbuilt lots currently existing equate to 13,981 additional residents (compared to 6,789 residents projected from vacant lots in 2017). This is a difference of 7,192 additional persons compared to 2017.

No other explicit or implicit changes are intended to the 2017 Plan other than those outlined above, nor does this document recommend any specific alternation to the implementation of the 2017 Plan Vision and Goals based on the data presented in this document. The Vision of the 2017 Plan along with its areas of emphasis remain as adopted in 2017:

"The Town of Little Elm is a distinct and desirable lakeside destination for all people to live and play while enjoying a safe, vibrant and welcoming community."

Future Land Use Plan (current page 119)

Land Use Categories	Max. DUA*	Description
Residential		
Estate Residential	1	Single-family homes with lot sizes of one acre or greater
Ranchette Residential	2	Single-family homes with lot sizes of 15,000 sq. ft. to 1 acre
Low Density Residential	5	Single-family homes of varying lot sizes that are smaller than 15,000 sq. ft.
Medium Density Residential	10	Townhomes or Duplexes
High Density Residential	25	Apartments and Condominiums
Mixed Residential	8	Range of single family from large lot to patio homes to townhome transitions to neighborhood commercial
Neighborhood	4	Appropriate transitions to existing neighborhoods with respect to densities, screening and buffering within new neighborhoods
Public Use		
Public/Semi-Public	0	Educational, governmental, or institutional uses such as schools, hospitals, places of worship or community organizations etc.
Parks and Open Space	0	Community parks, recreational facilities, cemeteries, and open space and private recreation
Floodplain/CORP properties	0	Conservation area based on FEMA map and CORP properties
Non-residential		
Retail/Commercial	0	Establishments providing merchandise for retail or commercial sale and professional, corporate, or administrative offices
Special Uses		
Lakefront District	32	A mixture of civic, park, cultural, retail, and residential uses, which is designed to be a focal point of the community
Special Planning Area 1	0	"Hilltown" area with redevelopment potential
Special Planning Area 2	7	"Preston on the Lake" area with redevelopment potential
Special Planning Area 3	7	Lakefront area with mostly residential redevelopment potential
Mixed Use	32	Vertical and horizontal mix of residential, non-residential and public uses
<i>*Dwelling Units Per Acre</i>		



Future Land Use Map (current page 120)

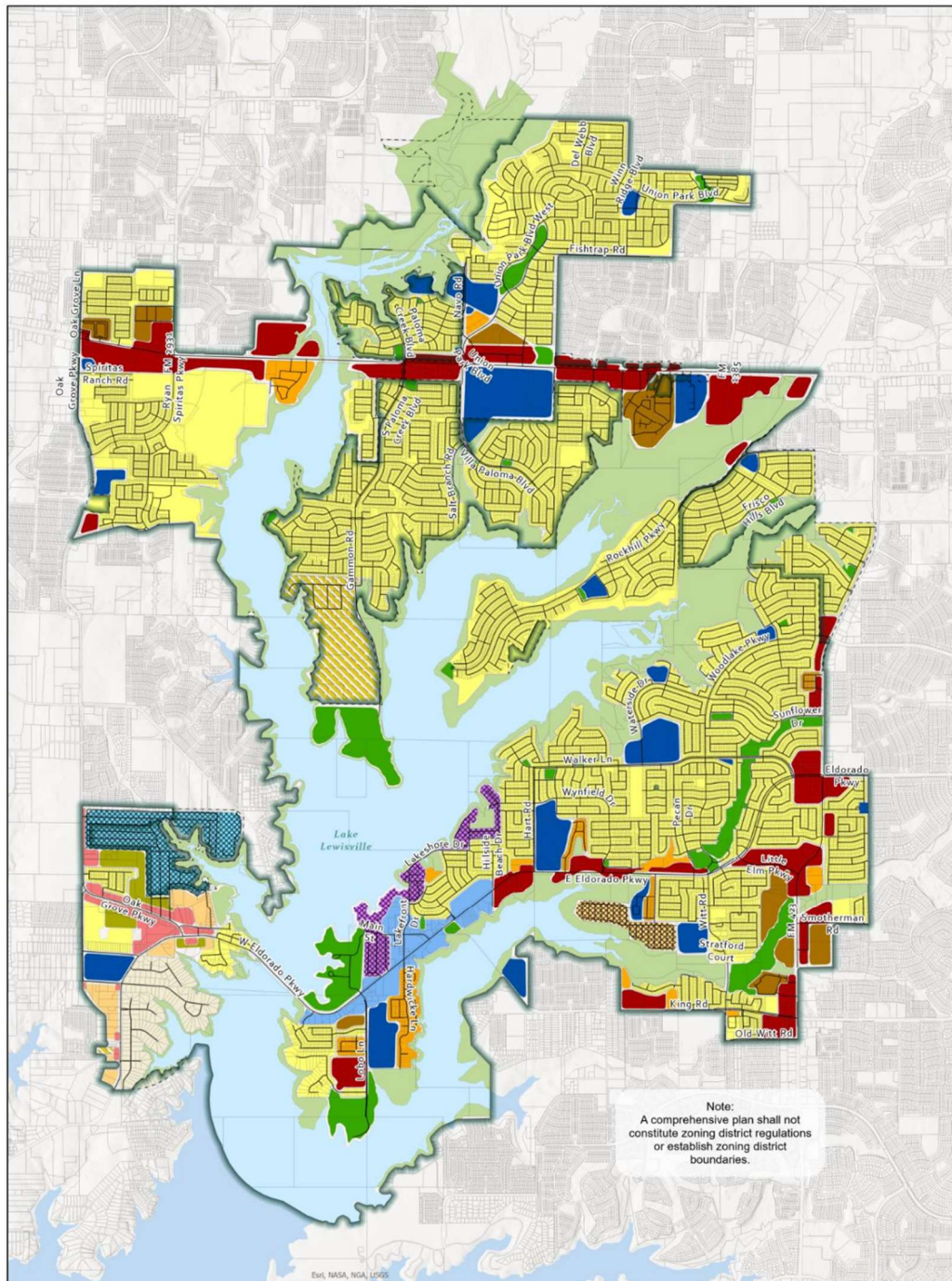


Figure 1: Updated Future Land Use Map

Special Planning Areas (current pages 121 and 122)

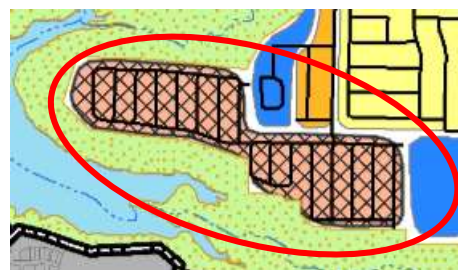
Special Planning Area 1

The area currently has several large vacant tracts, several heavy commercial uses, a small church, and a large mobile home subdivision (with several hundred lots covering approximately 240 acres). With the proximity to the lake and access to Eldorado Parkway and Oak Grove (FM 720), this area will likely see demand to develop the vacant land and possibly redevelop the existing mobile home subdivision. As land values increase and Oak Grove (FM 720) is improved to six lanes, the area may see greater interest from developers wanting to purchase land for either new development or redevelopment for both non-residential and residential purposes. It is desirable to have this area to be coordinated into one unified development when development and redevelopment occur. Finally, it is important to recognize this area's potential to change and how it might be different in 10 to 20 years.



Special Planning Area 2

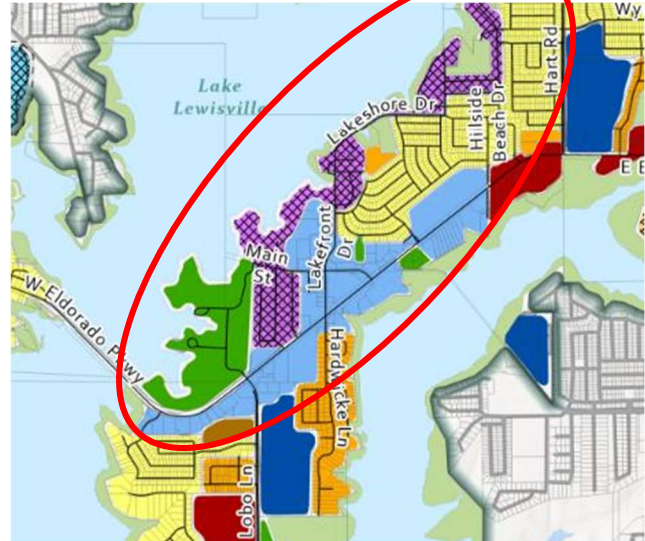
The area designated as Special Planning Area 2 is currently a quality manufactured home park, with concrete street and sidewalks. The 2008 Future Land Use Plan shows this area as manufactured home development. However, during the 2017 Comprehensive Plan public input process, manufactured homes were identified as one of the least desired uses in the Town. By using the Special Planning Area 2 designation, the Plan recognizes that this area can remain a quality manufactured home park, but also recognizes that the park's land owner may wish to redevelop the site in the future. If redevelopment occurs, it is envisioned to be redeveloped with recreational and single-family detached uses.



Special Planning Area 3

A large part of Special Planning Area 3 has lake frontage. The area contains attractive lots facing the lake, suitable for “move-up” homes. Many of the existing homes originally started as lake cabins or lake rentals and are smaller than what the market currently builds or demands. Residential redevelopment is highly likely in the northern part of this Special Planning Area 3.

An activity hub is envisioned in the southern part of the planning area due to the area’s proximity to the school, the park and retail/commercial lots.



Future Land Use Map Calculations (current page 123)

Consisting of the largest amount of land, around 37 percent of the future land uses is Low Density Residential. Lake Lewisville and floodplains constitute a large percentage of land. The next largest land use category is Retail/Commercial comprising of about 5 percent of the total land uses.

Land Use	Acres in Town Limits (TL)	Percentage (TL only)	Acres in ETJ	Total	Percentage (TL + ETJ)
Estate Residential	225	2%	10	235	1%
Ranchette	4	<1%	217	221	1%
Low Density Residential	4,683	32%	1,763	6,446	37%
Medium Density Residential	186	1%	0	186	1%
High Density Residential	243	2%	15	258	1%
Retail/Commercial	864	6%	43	907	5%
Lakefront District	198	1%	0	198	1%
Mixed Residential	69	<1%	0	0	0
Neighborhood	85	<1%			
Special Planning Area 1	73	1%	188	261	2%
Special Planning Area 2	73	<1%	0	73	<1%
Special Planning Area 3	125	1%	0	125	1%
Public/Semi-Public	559	4%	53	612	4%
Parks and Open Space	469	3%	25	494	3%
Floodplain/Corp Properties*	2,363	16%	670	3,033	17%
Lake Lewisville	4,174	29%	14	4,188	24%
Total	14,498	100	2,997	17,495	100

Projected Population & Capacity (current page 175)

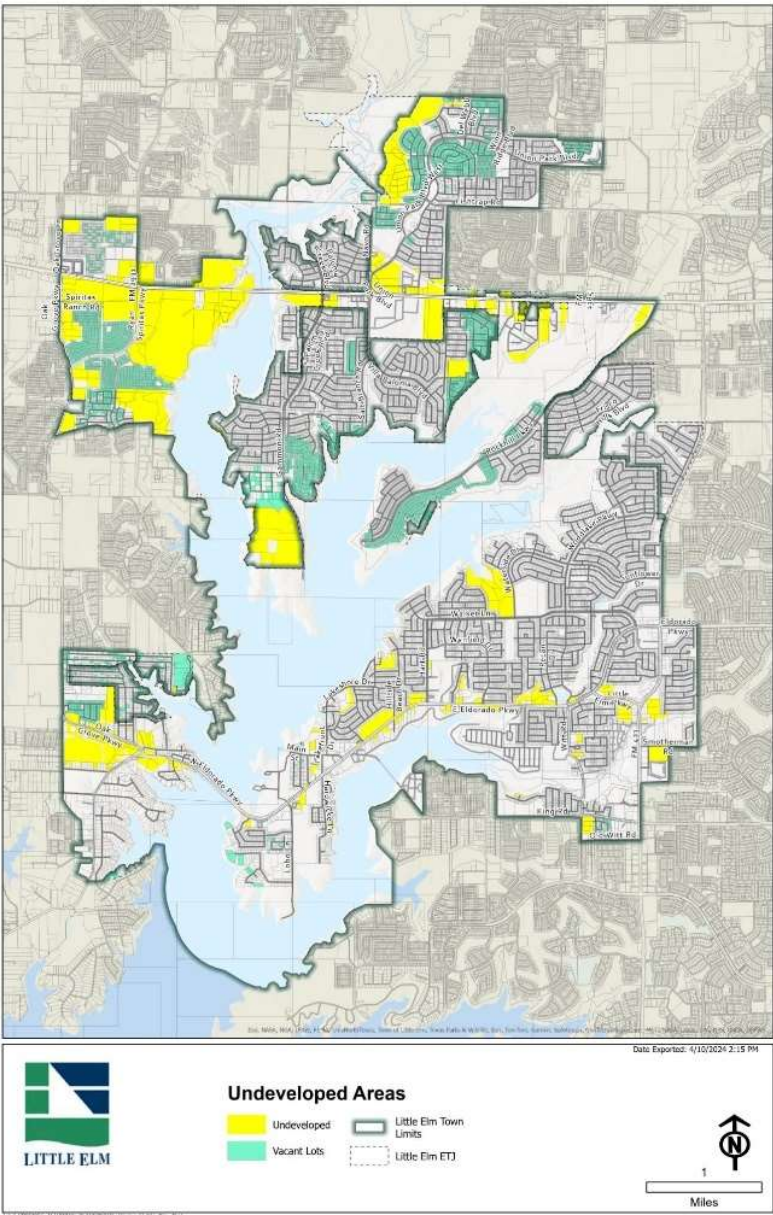


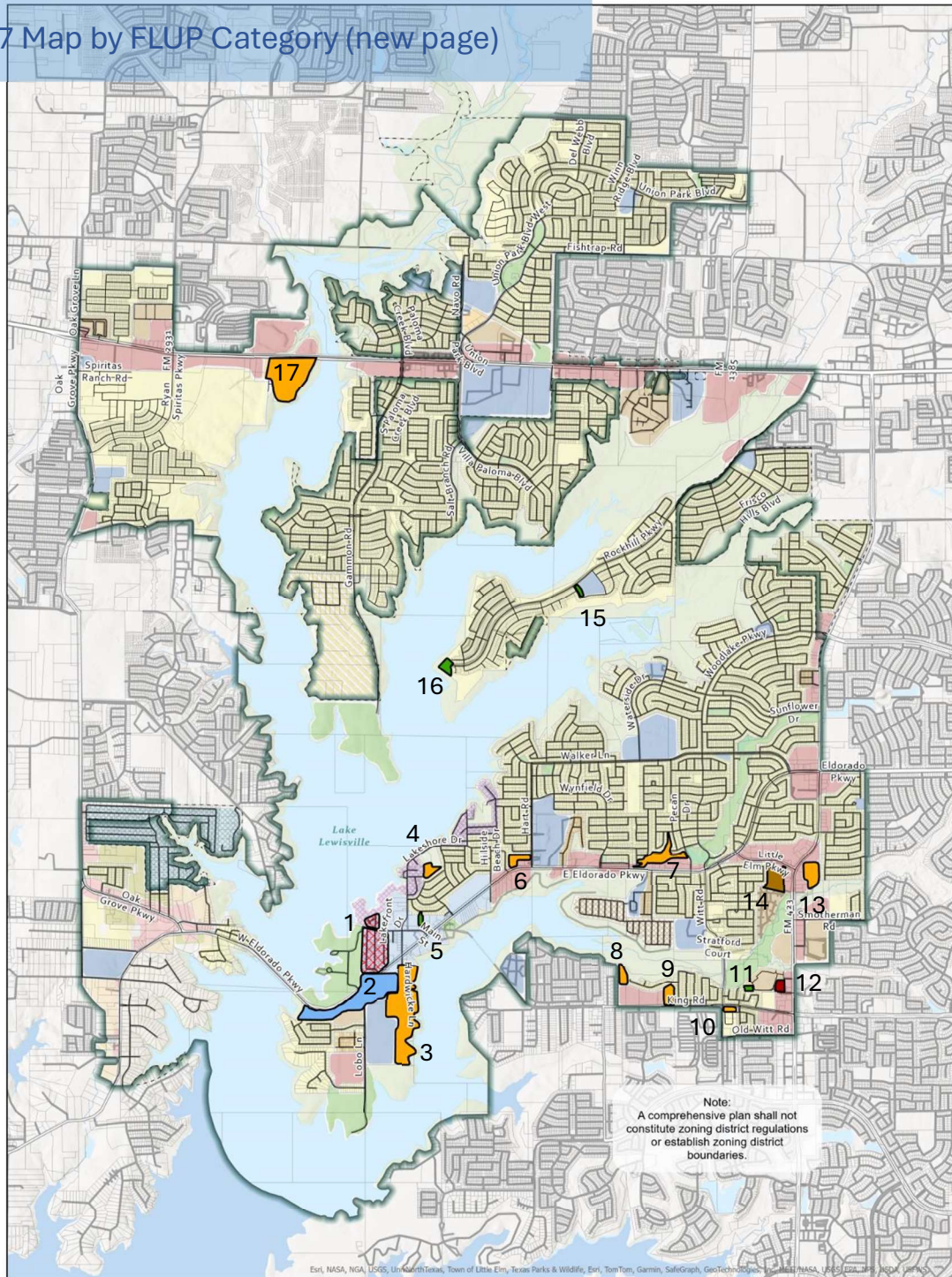
Figure 2 : Current Undeveloped Areas in Town Limits and ETJ

It is important to know how many people will ultimately live in Little Elm. To plan for the community effectively, the Town needs to understand the future demands that citizens will ultimately place on municipal services. For instance, if the Town were planning to expand the public library facility, it would be important to know how many citizens may ultimately use the library. This size of the Town’s ultimate population projection could influence the size of the library facility and types of services available.

In addition, it is also important to know how fast the population of Little Elm will grow. Projecting population growth is crucial to determine the need and timing of capital improvements to serve future development. Municipalities across Texas have adopted growth projections to base when future capital projects and other service needs are required.

For the purposes of this discussion, it is necessary to define the area in which the future population of Little Elm will live. The defined area is the Town limits and extraterritorial jurisdiction (ETJ).

Updates to 2017 Map by FLUP Category (new page)



308# LYE27091: I:\URBAN_PLANNING\proWorking\Little_Elm_FLU

Figure 3: Future Land Use Changes by Area

Summary of Land Use Map Changes (new page)

Table 1: Areas of Change from 2017 FLUM

Change Reference (previous page)	Former LU Category	New LU Category	Area of Change (acre)
1	Redevelopment	Redevelopment	38.0
2	Retail/ Commercial and SPA 3	Lakefront	63.1*
3	Low-Density Res.	Medium-Density Res.	63.0
4	Lakefront	Parks and Open Space	1.7
5	Parks and Open Space	Medium-Density Res.	4.6
6	Retail/ Commercial	Medium-Density Res.	5.4
7	Parks and Open Space	Medium-Density Res.	14.4
8	Retail/ Commercial	Medium-Density Res.	4.2
9	Retail/ Commercial	Medium-Density Res.	6.1
10	Low-Density Res.	Medium-Density Res.	2.0
11	High-Density Res.	Parks and Open Space	1.7
12	High-Density Res.	Retail/ Commercial	3.2
13	Retail/ Commercial	Medium-Density Res.	10.6
14	Retail/ Commercial	High-Density Res.	11.8
15	Low-Density Res.	Parks and Open Space	1.5
16	Low-Density Res.	Parks and Open Space	4.1
17	Retail/ Commercial	Medium-Density Res.	45.2
TOTAL AREA OF CHANGE (ACRE)*			268.6

*includes 12 acres of future redevelopment within Lakefront District

Existing Vacant Area by FLUP Category (Current page 176)

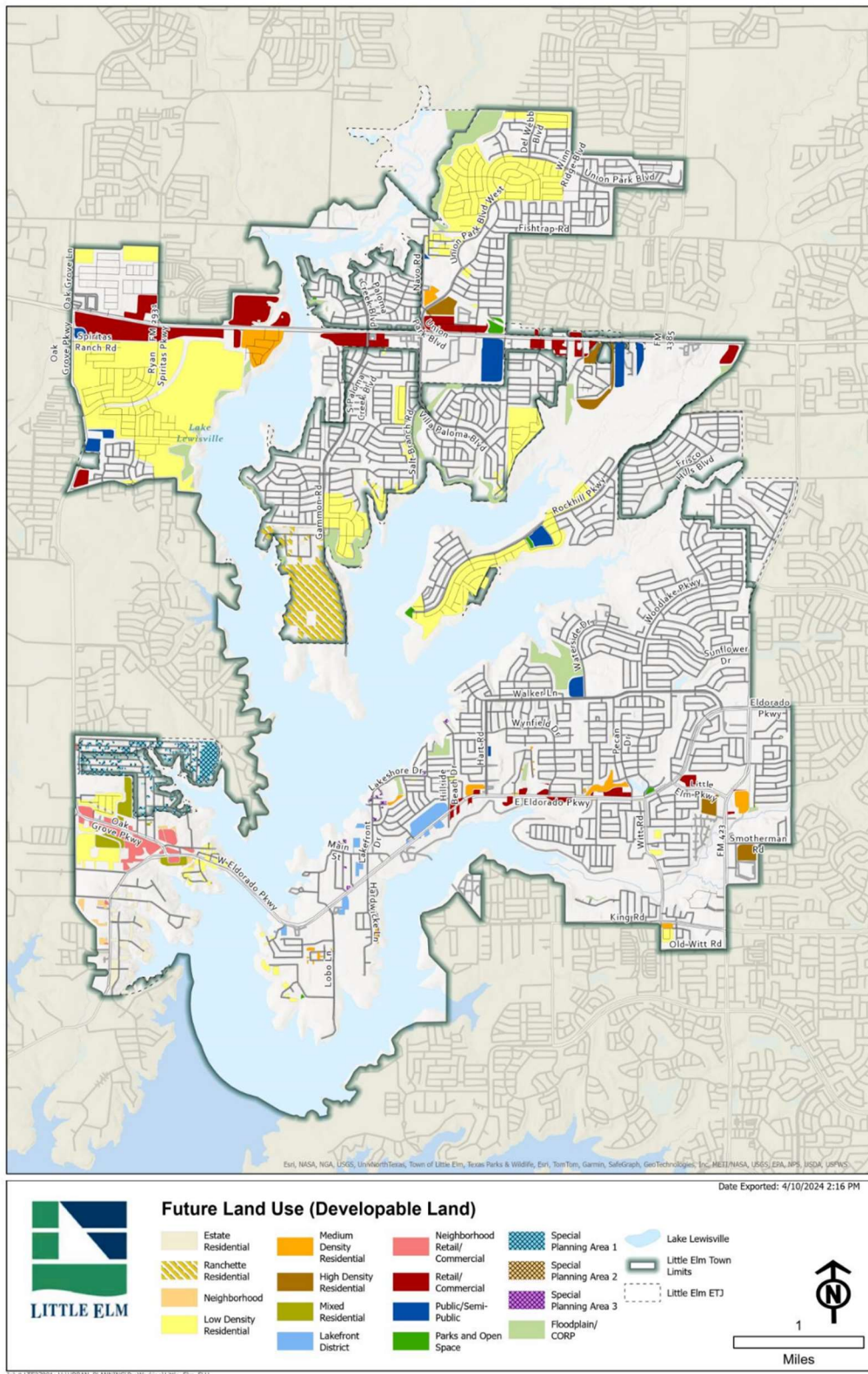


Figure 4: Future Land Use Map (Developable Land/Vacant Lots Only)

The ultimate capacity in **Table 2** is calculated by taking the vacant residential areas and multiplying by the approximated dwelling units per acre, persons per household and occupancy rates to calculate how many new residents the FLUP can accommodate. New residents are added to the existing population to reach the ultimate capacity.

Table 2: Calculating Ultimate Capacity

Vacant	Vacant Area/Lots	ROW Reduction	DUA	Occu-Rate ¹	PPH	Housing Units ²	Total Households ³	Total Population ⁴
Estate	0	0.1	1	0.94	3.2	0	0	0
Ranchette	111.0	0.1	2	0.94	3.2	200	188	601
Low Density Residential	494.0	0.2	5	0.94	3.2	1,976	1,857	5,944
Medium Density Residential ⁵	114.0	0.15	10	0.94	3.2	646	607	2,915
High Density Residential	53.0	0.3	25	0.94	1.7	928	872	1,482
Mixed Residential	31.0	0.15	8	0.94	3.2	211	198	634
Neighborhood	3.0	0.2	4	0.94	3.2	10	9	29
Lakefront ⁶	49.0	0.3	32	0.94	1.7	1,098	1,032	1,754
Special Planning Area 2	0.0	0.3	7	0.94	3.2	0	0	0
Special Planning Area 3	1.0	0.3	7	0.94	3.2	5	5	15
Vacant Area Subtotal						5,072	4,768	13,373
Total Vacant Lots	4,648			0.94	3.2	4,648	4,369	13,981
Added Residents Total								27,355
Current Population in ETJ	8,333 (lots)	0.1	n/a	0.94	3.2	8,333	7,833	25,066
Current Population in Town Limits (January 1, 2023), NCTCOG								54,866
Ultimate Capacity (Current pop in Town Limits + Current pop in ETJ + Vacant area future pop) <i>1: Occupancy rate increased from 92% in 2010 to 94% in 2020 – 2: Adjusted Area times DUA – 3: Units times Occupancy Rate 4: Households times Persons Per Household – 5: Includes 38 acres of future redevelopment - 6: Includes 12 acres of future redevelopment</i>								107,286

Based on the calculation, Little Elm can expect a population of more than 107,000 when it is completely built-out. The number may change based on upcoming shifts in housing trends or redevelopment. Compared to the 2017 Plan, this represents a build-out increase of approximately 14,000 residents. A significant portion of this increase is explained by an increase in ETJ population. Whereas the 2017 Plan predicted 15,000 new residents in the ETJ, the current population is over 25,000 with an additional 4,100 residents still expected in the future (**Table 6**).

When considering only residents within the Town Limits, the increase from 2017 is mainly due to existing vacant platted lots, which increased from just over 1,000 in 2017 to more than 4,600 in 2024 (each lot is assumed to produce a household with 3.2 persons), and expected increases owing to Future Land Use Map changes and density changes, along with redevelopment of portions of the Lakefront, as described in **Figure 3** and detailed in **Table 2** and **Table 5**.

An important consideration associated with the ultimate capacity is the timeline. It is important to gather an understanding of when the Town will become built-out based on the projected growth rate. It helps the Town to determine an anticipated growth rate and types of development that the Town envisions for the next few decades. **Table 7** takes several Compound Annual Growth Rate (CAGR) figures into account for this purpose.

10-year forecast (current page 179)

Projecting what Little Elm's population will be in the next 10 or 20 years is challenging due to the fact that there are so many variables that may affect the rate of population growth. However, it is important to provide an analysis of what is most likely to occur. The best method to predict the Town's growth is to consider the vacant area within the current Town limits and then add the population from the ETJ. What has been determined to be "most likely" is based on three factors – the population growth of other cities in Little Elm's region, the rate at which the Town has been growing in the past few years and known residential developments that are anticipated to be built in the next ten years within the Town limits.

Past Growth Rate (current page 179)

A Town’s past growth rates are often the best indicator of future growth rates. **Table 3** and **Table 4** show Little Elm’s population, numerical change, and compound annual growth rate of recent years and by decade.

From 2017 to 2023, Little Elm grew consistently. The Compound Annual Growth Rate (CAGR) was 6.9% 6.2% from 2017 to 2023, down slightly from 6.9% from 2010 to 2017.

Table 3: Population Data in Recent Years

Year	Population	Population Change	Percent Change	CAGR
2017	38,250			6.2%
2018	42,040	3,790	9.9%	
2019	44,530	2,490	5.9%	
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2023	54,866	3,231	6.3%	

Source: NCTCOG Population Estimate; US Census Bureau

From 1970 to 2020 Little Elm experienced periods of phenomenal growth. Between the years of 2000 and 2010, Little Elm grew over 500 percent, and again more than doubled its population between 2010 and 2020. The 40-year CAGR was 10.28% (**Table 4**).

Table 4: Population Data by Decade

Year	Population	Population Change	Percent Change	CAGR
1980	926			10.28%
1990	1,255	329	35%	
2000	3,646	2,391	190.5%	
2010	22,200	18,554	508.9%	
2020	46,453	24,253	109.2%	

Source: US Census Bureau

This section analyzes how much population can be added to the Town's boundary and in the extra-territorial jurisdiction.

Town Limits

Table 5: New Residents in Town Limits

[illegible]

Growth Rate Scenarios (current page 184)

The NCTCOG population estimate for January 1, 2023 is 54,866.

The 2017 plan used a compound annual growth rate of 5 percent as the “most likely” growth rate Little Elm will experience over the next ten years. 2023 population was predicted in the 2017 Plan at 51,259, which turned out to be very similar to the NCTCOG population estimate of 54,866 on January 1, 2023. **Since growth over the past seven years followed a similar CAGR to the growth predicted (5.29%), a future ten-year rate of 5.0% CAGR remains the most likely scenario.** With this growth rate, Little Elm’s population is projected to be around 90,000 in the next ten years.

Table 7: Growth Rate Scenarios

1.50%		2.5%		5.0%		10.0%	
Year	Population	Year	Population	Year	Population	Year	Population
2023	54,866	2023	54,866	2023	54,866	2023	54,866
2024	55,689	2024	56,238	2024	57,609	2024	60,353
2025	56,524	2025	57,644	2025	60,490	2025	66,388
2026	57,372	2026	59,085	2026	63,514	2026	73,027
2027	58,233	2027	60,562	2027	66,690	2027	80,329
2028	59,106	2028	62,076	2028	70,024	2028	88,362
2029	59,993	2029	63,628	2029	73,526	2029	97,198
2030	60,893	2030	65,218	2030	77,202	2030	Buildout
2031	61,806	2031	66,849	2031	81,062		
2032	62,733	2032	68,520	2032	85,115		
2033	63,674	2033	70,233	2033	89,371		

Town of Little Elm Comprehensive Plan 2017

Future Land Use and Population Projection Update

May 1, 2024



LITTLE ELM

**DRAFT FOR TOWN REVIEW
NOT INTENDED FOR
PUBLICATION**

Executive Summary

In March 2024, the Town of Little Elm engaged the services of Freese and Nichols, Inc., the firm who helped the Town create the 2017 Comprehensive Plan, to update targeted sections of the 2017 Plan. The sections, presented in more detail below, primarily addressed the Future Land Use map, densities associated with various residential categories, and future population projections.

The purpose of the update was the right-sizing of future growth numbers to inform other Town planning initiatives, the most immediate being a 5-year impact fee update. As the Town anticipates a broader update to its Comprehensive Plan in the near future, this land use update is considered an interim step to provide the Town with the data it needs to further immediate planning initiatives.

Updates to the 2017 Comprehensive Plan are encapsulated within this document and are limited to the following (page references below refer to the 2017 Plan, not this document):

1. **Update the Future Land Use Map Shown on Page 120:** Development data and other inputs were used to create a Future Land Use Map that updates the 2017 map.
2. **Update the Future Land Use categories shown on Pages 119, 121-123:** The future land use categories of the current Comprehensive Plan were updated to reflect recently-approved developments and trends that have developed in the Town since 2017. Additionally, dwelling units per acre (DUA) were added for each future land use category.
3. **Update the Town's Projected Population and Capacity on Pages 175-179, 181-184:** based on data provided by the Town and public sources such as the U.S. Census Bureau and the North Central Texas Council of Governments, updates were made to the Town's projected population and capacity under the current Comprehensive Plan. These were updated to reflect growth and growth rate changes since 2017.

Results show that build-out population of the Town increased from approximately 93,000 population to approximately ~~106,000~~ 107,000. Of the additional residents expected in Town Limits, the land use changes considered in this update contribute approximately 1,700 additional residents. This means that land use changes contribute only 12% of the total increase in build-out population (1,700 out of 14,000 people), with the remaining anticipated increase from 2017 resulting from growth in ETJ population, along with the 4,648 undeveloped lots platted as of the date of this report. With more lots on the ground compared to 2017, the future population of the Town can be predicted with more accuracy compared to projecting vacant areas based on presumed maximum density. The unbuilt lots currently existing equate to 13,981 additional residents (compared to 6,789 residents projected from vacant lots in 2017). This is a difference of 7,192 additional persons compared to 2017.

No other explicit or implicit changes are intended to the 2017 Plan other than those outlined above, nor does this document recommend any specific alternation to the implementation of the 2017 Plan Vision and Goals based on the data presented in this document. The Vision of the 2017 Plan along with its areas of emphasis remain as adopted in 2017:

"The Town of Little Elm is a distinct and desirable lakeside destination for all people to live and play while enjoying a safe, vibrant and welcoming community."

Future Land Use Plan (current page 119)

Land Use Categories	Max. DUA*	Description
Residential		
Estate Residential	1	Single-family homes with lot sizes of one acre or greater
Ranchette Residential	2	Single-family homes with lot sizes of 15,000 sq. ft. to 1 acre
Low Density Residential	5	Single-family homes of varying lot sizes that are smaller than 15,000 sq. ft.
Medium Density Residential	10	Townhomes or Duplexes
High Density Residential	25	Apartments and Condominiums
Mixed Residential	8	Range of single family from large lot to patio homes to townhome transitions to neighborhood commercial
Neighborhood	4	Appropriate transitions to existing neighborhoods with respect to densities, screening and buffering within new neighborhoods
Public Use		
Public/Semi-Public	0	Educational, governmental, or institutional uses such as schools, hospitals, places of worship or community organizations etc.
Parks and Open Space	0	Community parks, recreational facilities, cemeteries, and open space and private recreation
Floodplain/CORP properties	0	Conservation area based on FEMA map and CORP properties
Non-residential		
Retail/Commercial	0	Establishments providing merchandise for retail or commercial sale and professional, corporate, or administrative offices
Special Uses		
Lakefront District	32	A mixture of civic, park, cultural, retail, and residential uses, which is designed to be a focal point of the community
Special Planning Area 1	0	“Hilltown” area with redevelopment potential
Special Planning Area 2	7	“Preston on the Lake” area with redevelopment potential
Special Planning Area 3	7	Lakefront area with mostly residential redevelopment potential
Mixed Use	32	Vertical and horizontal mix of residential, non-residential and public uses
<i>*Dwelling Units Per Acre</i>		



Future Land Use Map (current page 120)

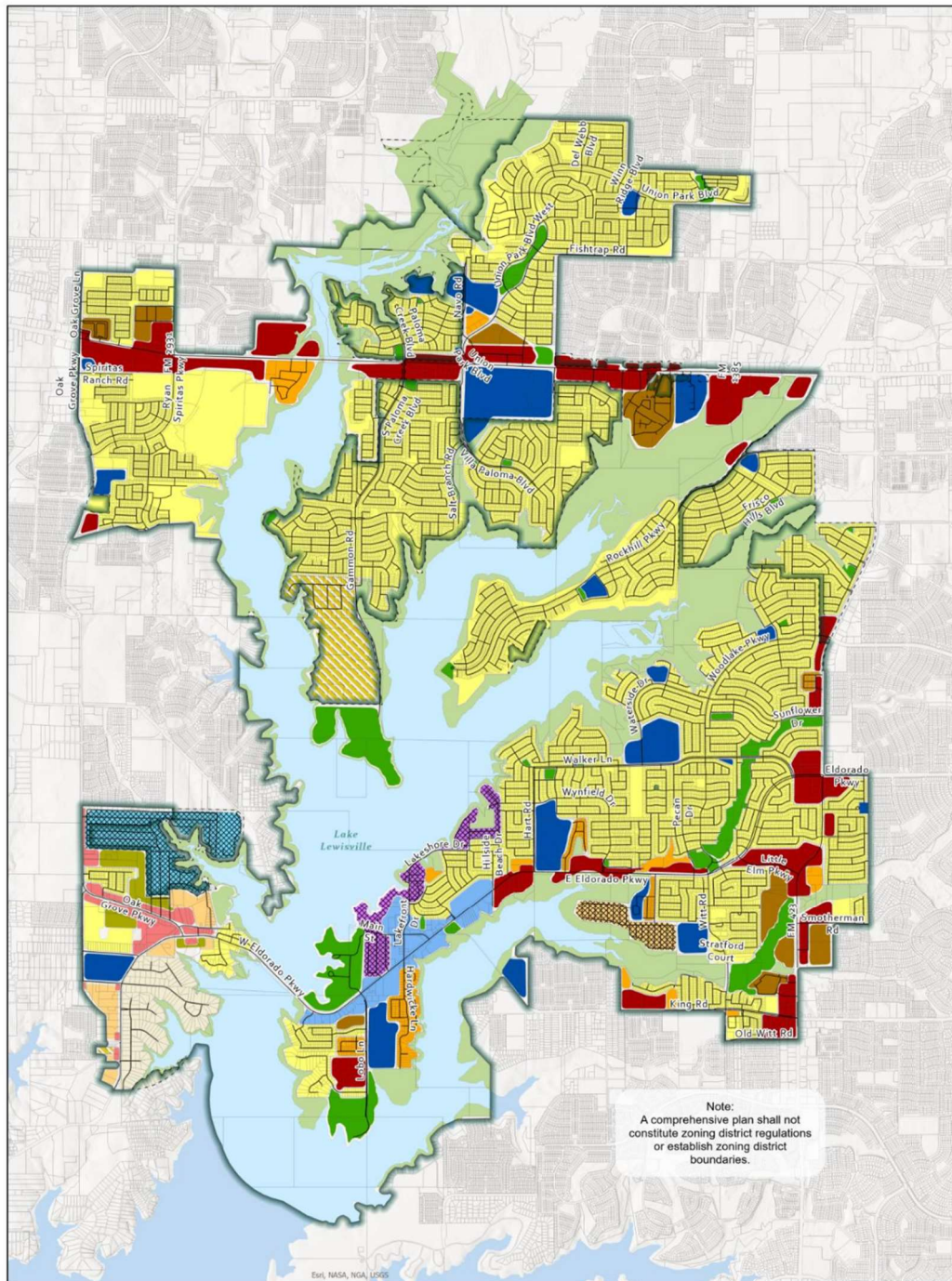


Figure 1: Updated Future Land Use Map

Special Planning Areas (current pages 121 and 122)

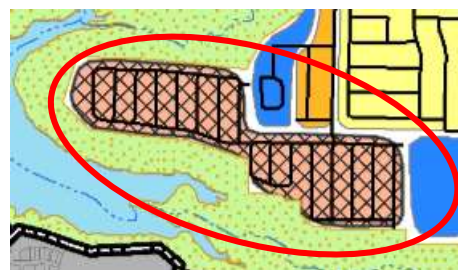
Special Planning Area 1

The area currently has several large vacant tracts, several heavy commercial uses, a small church, and a large mobile home subdivision (with several hundred lots covering approximately 240 acres). With the proximity to the lake and access to Eldorado Parkway and Oak Grove (FM 720), this area will likely see demand to develop the vacant land and possibly redevelop the existing mobile home subdivision. As land values increase and Oak Grove (FM 720) is improved to six lanes, the area may see greater interest from developers wanting to purchase land for either new development or redevelopment for both non-residential and residential purposes. It is desirable to have this area to be coordinated into one unified development when development and redevelopment occur. Finally, it is important to recognize this area's potential to change and how it might be different in 10 to 20 years.



Special Planning Area 2

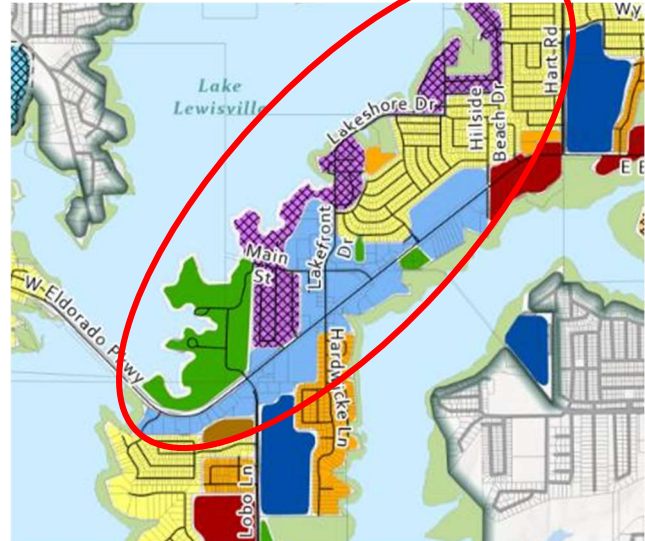
The area designated as Special Planning Area 2 is currently a quality manufactured home park, with concrete street and sidewalks. The 2008 Future Land Use Plan shows this area as manufactured home development. However, during the 2017 Comprehensive Plan public input process, manufactured homes were identified as one of the least desired uses in the Town. By using the Special Planning Area 2 designation, the Plan recognizes that this area can remain a quality manufactured home park, but also recognizes that the park's land owner may wish to redevelop the site in the future. If redevelopment occurs, it is envisioned to be redeveloped with recreational and single-family detached uses.



Special Planning Area 3

A large part of Special Planning Area 3 has lake frontage. The area contains attractive lots facing the lake, suitable for “move-up” homes. Many of the existing homes originally started as lake cabins or lake rentals and are smaller than what the market currently builds or demands. Residential redevelopment is highly likely in the northern part of this Special Planning Area 3.

An activity hub is envisioned in the southern part of the planning area due to the area’s proximity to the school, the park and retail/commercial lots.



Future Land Use Map Calculations (current page 123)

Consisting of the largest amount of land, around 37 percent of the future land uses is Low Density Residential. Lake Lewisville and floodplains constitute a large percentage of land. The next largest land use category is Retail/Commercial comprising of about 5 percent of the total land uses.

Land Use	Acres in Town Limits (TL)	Percentage (TL only)	Acres in ETJ	Total	Percentage (TL + ETJ)
Estate Residential	225	2%	10	235	1%
Ranchette	4	<1%	217	221	1%
Low Density Residential	4,683	32%	1,763	6,446	37%
Medium Density Residential	186	1%	0	186	1%
High Density Residential	243	2%	15	258	1%
Retail/Commercial	864	6%	43	907	5%
Lakefront District	198	1%	0	198	1%
Mixed Residential	69	<1%	0	0	0
Neighborhood	85	<1%			
Special Planning Area 1	73	1%	188	261	2%
Special Planning Area 2	73	<1%	0	73	<1%
Special Planning Area 3	125	1%	0	125	1%
Public/Semi-Public	559	4%	53	612	4%
Parks and Open Space	469	3%	25	494	3%
Floodplain/Corp Properties*	2,363	16%	670	3,033	17%
Lake Lewisville	4,174	29%	14	4,188	24%
Total	14,498	100	2,997	17,495	100

Projected Population & Capacity (current page 175)

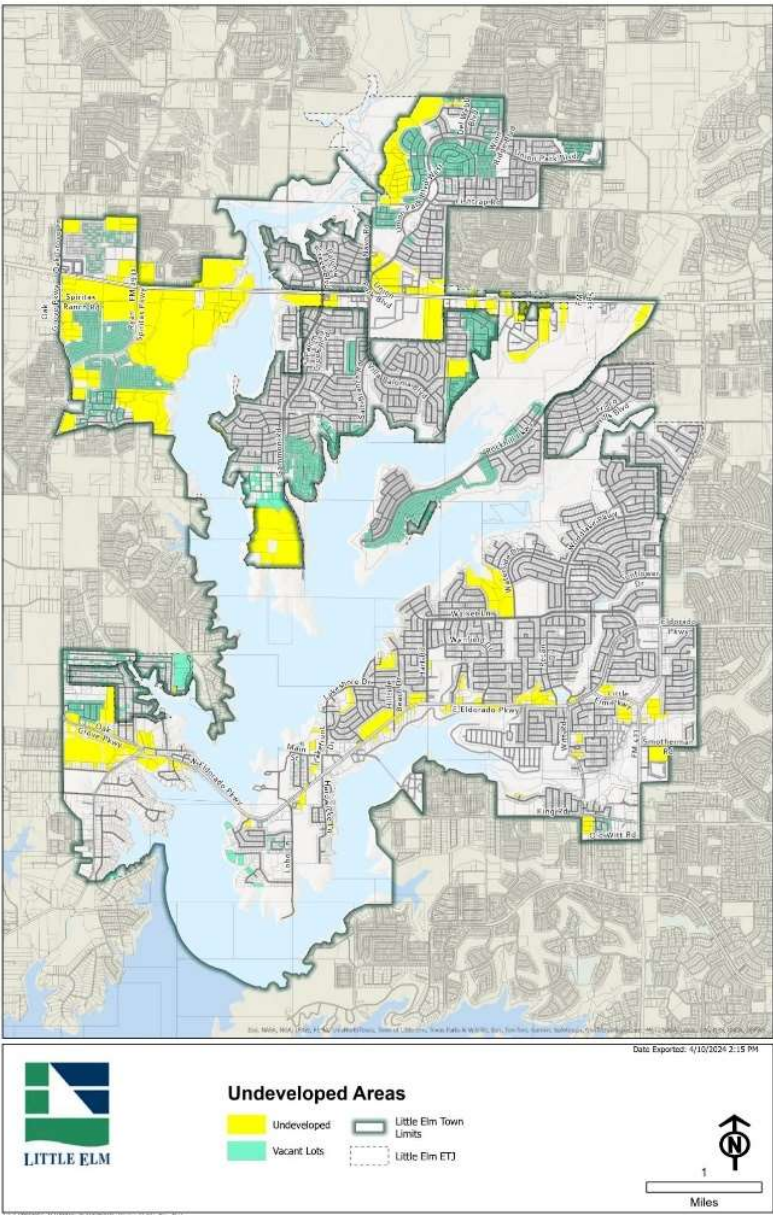


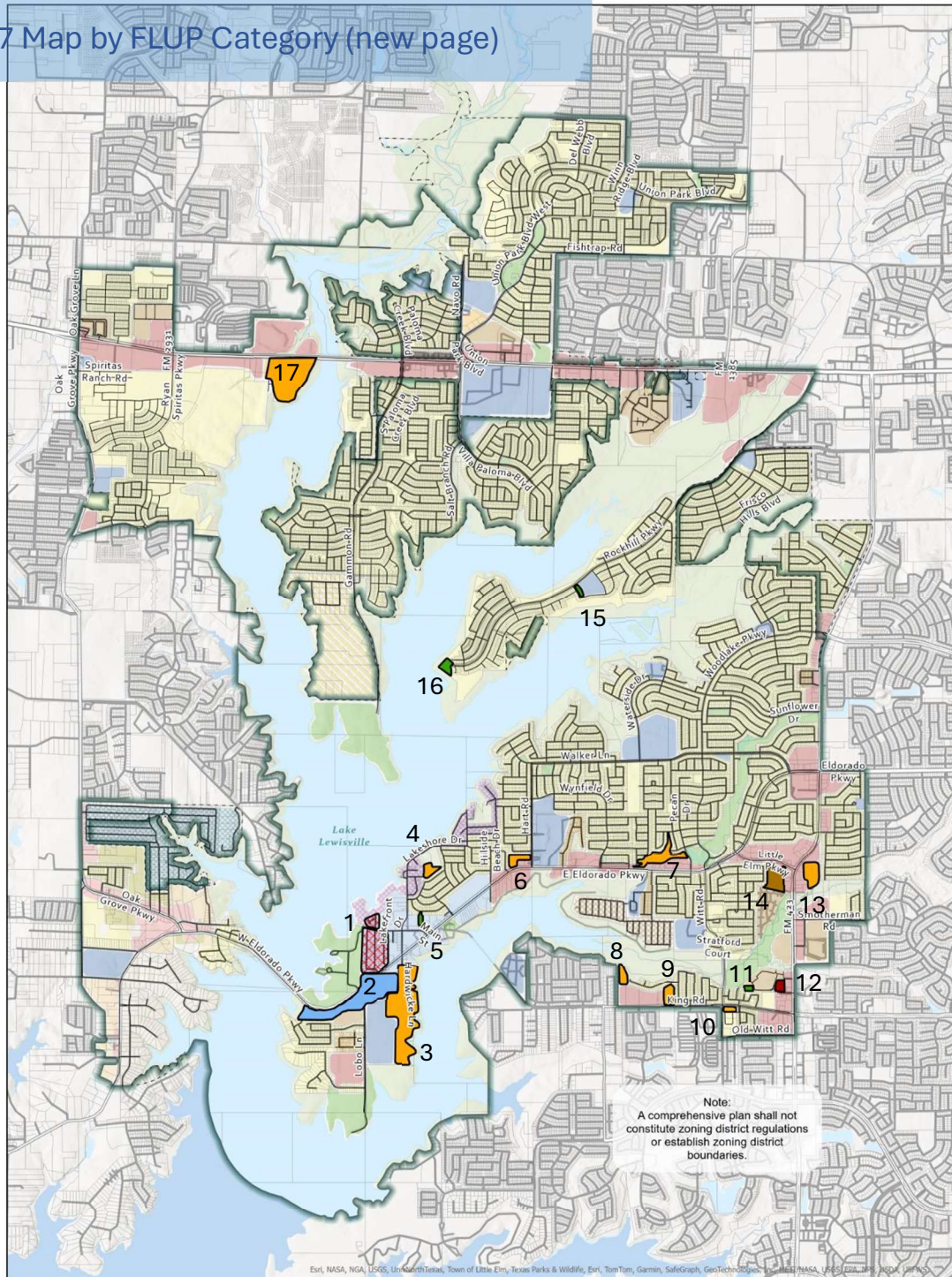
Figure 2 : Current Undeveloped Areas in Town Limits and ETJ

It is important to know how many people will ultimately live in Little Elm. To plan for the community effectively, the Town needs to understand the future demands that citizens will ultimately place on municipal services. For instance, if the Town were planning to expand the public library facility, it would be important to know how many citizens may ultimately use the library. This size of the Town’s ultimate population projection could influence the size of the library facility and types of services available.

In addition, it is also important to know how fast the population of Little Elm will grow. Projecting population growth is crucial to determine the need and timing of capital improvements to serve future development. Municipalities across Texas have adopted growth projections to base when future capital projects and other service needs are required.

For the purposes of this discussion, it is necessary to define the area in which the future population of Little Elm will live. The defined area is the Town limits and extraterritorial jurisdiction (ETJ).

Updates to 2017 Map by FLUP Category (new page)



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Figure 3: Future Land Use Changes by Area

Summary of Land Use Map Changes (new page)

Table 1: Areas of Change from 2017 FLUM

Change Reference (previous page)	Former LU Category	New LU Category	Area of Change (acre)
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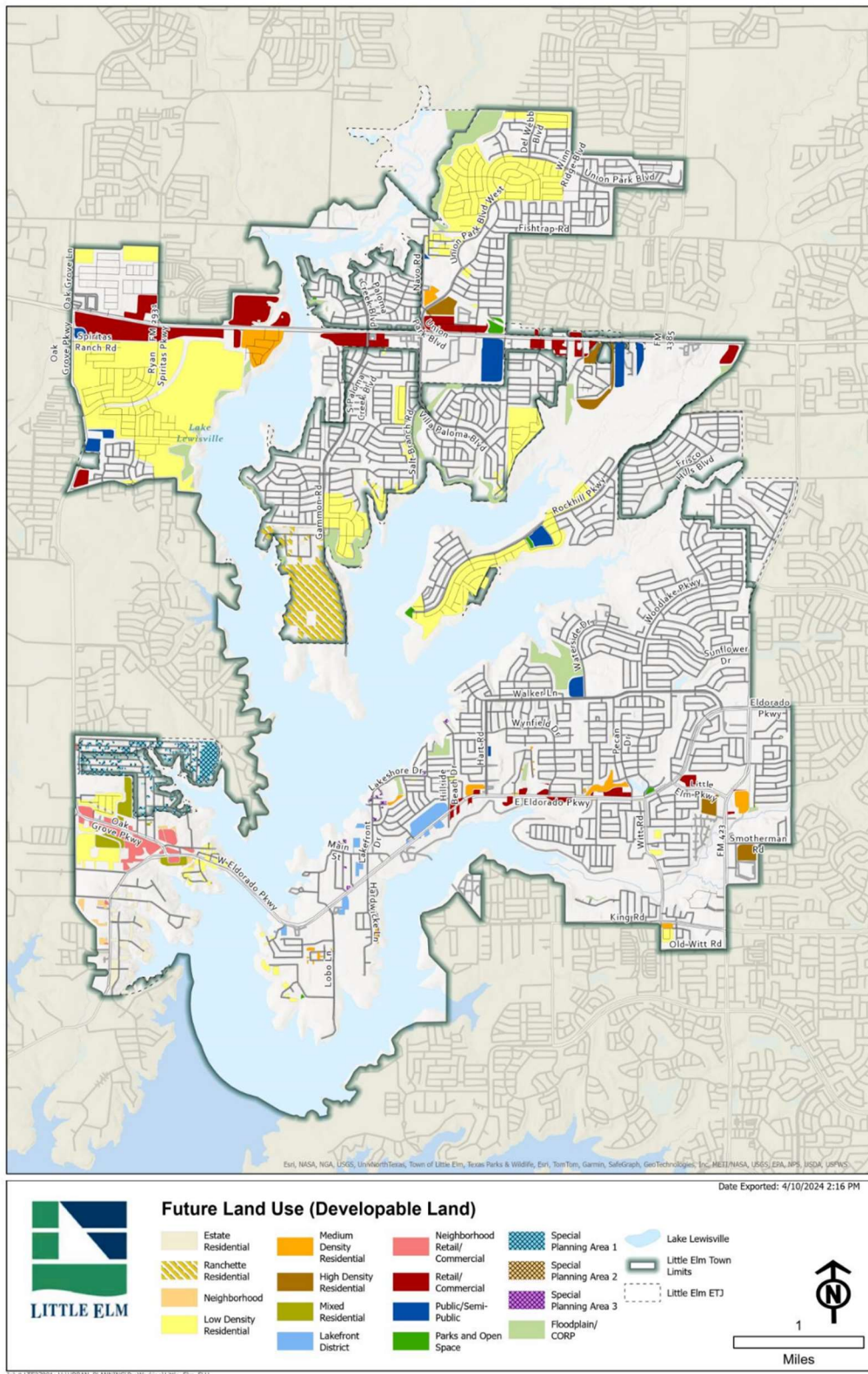


Figure 4: Future Land Use Map (Developable Land/Vacant Lots Only)

Ultimate Capacity (current page 177-178)

The ultimate capacity, or build out, of the Future Land Use Map refers to the number of people that could potentially live within the planning area if the Town were to develop exactly as it is portrayed. The reality is that many changes will likely occur to the Future Land Use Map over time and the planning area encompasses a large amount of vacant land that will take generations to develop. The ultimate capacity, therefore, is primarily used for planning purposes and helps to put some numbers behind the colors in terms of how many people could live within the town. The ultimate planning area is town limits and the ETJ minus the Aubrey agreement area.

The ultimate capacity in **Table 2** is calculated by taking the vacant residential areas and multiplying by the approximated dwelling units per acre, persons per household and occupancy rates to calculate how many new residents the FLUP can accommodate. New residents are added to the existing population to reach the ultimate capacity.

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Current Population in Town Limits (January 1, 2023), NCTCOG								54,866
Ultimate Capacity (Current pop in Town Limits + Current pop in ETJ + Vacant area future pop)								106,315 107,286

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1: Occupancy rate increased from 92% in 2010 to 94% in 2020
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Growth Rate Scenarios (current page 184)

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2025	56,524	2025	57,644	2025	60,490	2025	66,388
2026	57,372	2026	59,085	2026	63,514	2026	73,027
2027	58,233	2027	60,562	2027	66,690	2027	80,329
2028	59,106	2028	62,076	2028	70,024	2028	88,362
2029	59,993	2029	63,628	2029	73,526	2029	97,198
2030	60,893	2030	65,218	2030	77,202	2030	Buildout
2031	61,806	2031	66,849	2031	81,062		
2032	62,733	2032	68,520	2032	85,115		
2033	63,674	2033	70,233	2033	89,371		