

**TOWN OF LITTLE ELM
ORDINANCE NO. 1796**

AN ORDINANCE OF THE TOWN OF LITTLE ELM, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE, BY ESTABLISHING A NEW PLANNED DEVELOPMENT – LIGHT COMMERCIAL (PD-LC) DISTRICT BASED ON LIGHT COMMERCIAL STANDARDS, WITH MODIFIED DEVELOPMENT STANDARDS, TO ALLOW A NEW COMMERCIAL DEVELOPMENT ON A 2.159-ACRE PROPERTY LOCATED SOUTHWEST OF THE INTERSECTION OF EAST ELDORADO PARKWAY AND CASTLE RIDGE DRIVE, WITHIN LITTLE ELM'S TOWN LIMITS; PROVIDING A SAVINGS CLAUSE; CORRECTING THE OFFICIAL ZONING MAP; PROVIDING A PENALTY; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEALER CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Town of Little Elm ("Town") is a home rule municipal corporation organized and existing by virtue of the Constitution and laws of the State of Texas and by its Charter adopted on May 1, 2001; and

WHEREAS, the Town possesses all the rights, powers, and authorities possessed by all home rule municipalities, including the authority to regulate land uses under Chapter 211 of the Texas Local Government Code; and

WHEREAS, a request to establish a Planned Development-Light Commercial (PD-LC) District based on Light Commercial district with modified development standards, on approximately 2.159 acres of land, more specifically described in the exhibits, attached hereto; and

WHEREAS, this zoning change is in accordance with the most current adopted Comprehensive Plan of the Town of Little Elm; and

WHEREAS, the Town Council and the Planning & Zoning Commission of the Town of Little Elm, in compliance with the laws of the State of Texas and the ordinances of the Town of Little Elm, have given the required notices and held the required public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area and in the vicinity thereof regarding the requested zoning change described herein; and

WHEREAS, at its regular meeting held on December 19, 2024 the Planning & Zoning Commission considered and made recommendations on Case No. PD- 24-006221; and

WHEREAS, after due deliberations and consideration of the recommendation of the Planning & Zoning Commission and any other information and materials received at the public hearing, the Town Council of the Town of Little Elm, Texas, has determined that the request is in the interest of public health, safety and welfare of the citizens of the Town of Little Elm.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF LITTLE ELM, TEXAS:

SECTION 1. INCORPORATION OF PREMISES. The above and foregoing premises are true and correct and are incorporated herein and made a part hereof for all purposes.

SECTION 2. ZONING AMENDMENT. That Ordinance No. 226 of the Town of Little Elm, Texas, the same being the Comprehensive Zoning Ordinance of the Town, is hereby amended by establishing a new Planned Development-Light Commercial (PD-LC) based on Light Commercial (LC) district requirements with modified development standards, on property located southwest of the intersection of East Eldorado Parkway and Castle Ridge Drive within Little Elm's town limits, on approximately 2.159 acres of land more particularly described in **Exhibit A**, and attached hereto, subject to all of the terms and conditions set forth herein, the terms and conditions of the Comprehensive Zoning Ordinance, and all other applicable ordinances, laws, rules, regulations, and standards.

SECTION 3. CONDITIONS AND REGULATIONS. The permitted uses and standards shall be in accordance with the Light Commercial (LC), and all current, at the time of development, applicable provisions of Chapter 106 – Zoning Ordinance in general, plus as specified herein:

- a. The Zoning and Land Use Regulations, and all conditions set forth in **Exhibit B** attached hereto and made a part hereof for all purposes shall be adhered to in their entirety for the purposes of this Planned Development. In the event of conflict between the provisions of **Exhibit B** and provisions of any other exhibit, the provisions of **Exhibit B** control.

SECTION 4. PLANNED DEVELOPMENT MASTER PLAN. The Concept Plan and related plans, images, and documents approved and described as **Exhibit C** attached hereto and made a part hereof are approved. The subject property shall be improved in accordance with the plans set forth in **Exhibit C**.

- a. If, after two years from the date of approval of the Planned Development Master Plan, no substantial development progress has been made within the PD, then the Planned Development Master Plan shall expire. If the Planned Development Master Plan expires, a new Planned Development Master Plan must be submitted and approved according to the procedures within the Zoning Ordinance, Planned Development Districts. An extension of the two-year expiration shall be granted if a development application for the PD has been submitted and is undergoing the development review process or if the Director of Development Services determines development progress is occurring.
- b. The Planned Development Master Plan shall control the use and development of the property, and all building permits and development requests shall be in accordance with the plan until it is amended by the City Council.
- c. If a change to the Concept Plan, if any, is requested, the request shall be processed in accordance with the development standards in effect at the time the change is requested for the proposed development.

SECTION 5. SAVINGS. This Ordinance shall be cumulative of all other ordinances of the Town, and shall not repeal any of the provisions of those ordinances except in those instances where the provisions of those ordinances are indirect conflict with the provisions of this Ordinance; provided, however, that any complaint, notice, action, cause of action, or claim which prior to the effective date of this Ordinance has been initiated or has arisen under or pursuant to such other ordinance(s) shall continue to be governed by the provisions of that ordinance or those ordinances, and for that purpose that ordinance or those ordinances shall be deemed to remain and shall continue in full force and effect.

SECTION 5. ZONING MAP. The official zoning map of the Town shall be amended to reflect the changes in zoning made by this ordinance.

SECTION 6. PENALTY. Any person, firm, or corporation violating any of the provision of this ordinance shall be punished by a penalty of a fine not to exceed the sum of Two Thousand Dollars (\$2,000) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 7. SEVERABILITY. The sections, paragraphs, sentences, phrases, and words of this Ordinance are severable, and if any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid or unconstitutional, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any person, firm, corporation, situation or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance of the Town of Little Elm, Texas, and the Town Council hereby declares that it would have

adopted the valid portions and applications of the ordinance without the valid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 8. REPEALER. That all ordinances of the Town of Little Elm in conflict with the provisions of this ordinance be and the same are hereby repealed to the extent of that conflict.

SECTION 9. EFFECTIVE DATE. That this Ordinance shall take effect immediately upon its adoption and publication in accordance with and as provided by law and the Town Charter.

PASSED AND APPROVED by the Town Council of the Town of Little Elm, Texas on the 21st day of January, 2025.

Town of Little Elm, Texas

Curtis Cornelious, Mayor

ATTEST:

Caitlan Biggs, Town Secretary

Exhibit A
Property Description

LAND DESCRIPTION

BEING a 2.159 acre tract of land situated in the L.H. McNeil Survey, Abstract Number 845, Town of Little Elm, Denton County, Texas, and being all of Lot 2A, Block 1, of Replat of B & G Addition, an Addition to the Town of Little Elm, Denton County, Texas, according to the Plat thereof recorded in Cabinet Y, Page 756, Plat Records of Denton County, Texas (P.R.D.C.T.), and being all of a tract of land described to Prashanthi Kowkutla, et al, by the Deed recorded in Document Number 2022-111107, Official Public Records of Denton County, Texas (O.P.R.D.C.T.), and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod found for a southeasterly corner of said Lot 2A, and same being the most southwesterly corner of Lot 2B, Block 1, of said Replat of B & G Addition, also being a point on a northwesterly boundary line of a tract of land called "Tract H-716" and described to Corps of Engineers, by the Deed recorded in Volume 393, Page 279, Deed Records of Denton County, Texas (D.R.D.C.T.);

THENCE South 60 degrees 51 minutes 10 seconds West along a northwesterly boundary line of said "Tract H-716", for a distance of 344.11 feet to a concrete monument found for the most southerly boundary line of said Lot 2A;

THENCE North 54 degrees 00 minutes 17 seconds West along a northeasterly boundary line of said "Tract H-716" for a distance of 289.46 feet to a concrete monument found for the most westerly corner of said Lot 2A;

THENCE North 41 degrees 37 minutes 12 seconds East along a southeasterly boundary line of said "Tract H-716", for a distance of 4.62 feet to a 5/8 inch iron rod found with a cap stamped "4224" for a northwesterly corner of said Lot 2A, and same being the southwesterly corner of Lot 1, Block 1, of B & G Addition, an Addition to the Town of Little Elm, Denton County, Texas, according to the Plat thereof recorded in Cabinet X, Page 627, P.R.D.C.T.;

THENCE along a southeasterly boundary line of said "Tract H-716", along the southerly and easterly boundary lines of said Lot 1, the following courses and distances:

South 88 degrees 22 minutes 48 seconds East for a distance of 307.30 feet to a point for corner from which a 1/2 iron rod found bears South 83 degrees 28 minutes 43 seconds West for a distance of 2.27 feet;

North 00 degrees 02 minutes 35 seconds East for a distance of 221.15 feet to an "X" cut set for a northwesterly corner of said Lot 2A, and same being the northeasterly corner of said Lot 1, also being a point on the southerly right-of-way line of Farm to Market Highway No. 720 (variable width right-of-way);

THENCE South 89 degrees 57 minutes 27 seconds East along the southerly right-of-way line of said Farm to Market Highway No. 720, for a distance of 224.48 feet to a 5/8 inch iron rod set with a cap stamped "TRAVERSE LS PROP COR" for the most northeasterly corner of said Lot 2A, and same being the northwesterly corner of said Lot 2B;

THENCE South 00 degrees 02 minutes 35 seconds West along the westerly boundary line of said Lot 2B, for a distance of 218.27 feet to the **POINT OF BEGINNING** containing 2.159 acres (94,045 square feet) of land, more or less.

Exhibit B
PD Exhibits

PLANNED DEVELOPMENT STANDARDS

This zoning submittal encompasses approximately 2.159 acres of land within the Town of Little Elm, more fully described on the legal description attached as Exhibit A (the “Property”). The planned development (“PD”) will allow the city to consider the required parking ratio as 1:200 considering we have multitenant use with over 15,000 SF of building area. Also, we would like to request a waiver for the awning to overhang into the setback and to allow parking size as 9’X20’ along front & rear of building 1 & along the east of building 2 to meet required landscaping islands and Request a variance regarding the fire lane dimension,

This PD will provide the zoning regulations as depicted in Exhibit B. The final layout for Lot B must generally conform with Exhibit C.

It is the intent of this PD to primarily follow the Light Commercial (LC) zoning regulations as the base districts, with modified development standards as outlined within Exhibit B, therefore amending the existing Town of Little Elm, Texas zoning map. Any conflict between this PD and the Zoning Ordinance shall be resolved in favor of the regulations set forth in this PD, or as may be ascertained through the intent of this PD. As used herein, “Zoning Ordinance” means the comprehensive zoning of the Town of Little Elm, Texas, in effect on the effective date of this PD, except as otherwise defined within this PD. Uses and development regulations specifically modified, designated or included in this PD shall not be subject to amendment after the date of the adoption of this PD (the “Effective Date”) (whether through the amendment of the Zoning Ordinance or otherwise), except through an amendment of this PD. Uses and development regulations which otherwise are not specifically modified, designated or included in this PD shall be controlled by the “Zoning Ordinance”, as it may be amended unless context provides to the contrary, as determined by the Director.

As used herein, “Director” means the Director of Development Services

PROJECT LOCATION

The proposed PD is located at 1180 E Eldorado pkwy, Little Elm, TX (Exhibit A).

CONCEPT PLAN REQUIRED

The Concept Plan attached hereto as Exhibit C, and incorporated herein by reference, demonstrates potential locations and relationships of the uses permitted under this PD. An amendment to a concept plan approved as a part of the ordinance establishing the planned development district is a change in zoning district classification and must follow the same procedures set forth in Section 106.04.03, except the Director may approve minor revisions which do not alter the basic relationship of the proposed development and align with the overall intent of this PD.

EXHIBIT B:

DEVELOPMENT STANDARDS

Except as otherwise set forth in these development standards, the development of this area shall follow the regulation of the Town Little Elm's Code of Ordinances in general, and more specifically Chapter 106 - Zoning Ordinance, Chapter 107 - Subdivision Ordinance, and Chapter 86 – Sign Ordinance, as they exist, or may be amended, at the time of development.

GENERAL CONDITIONS FOR PD:

1. BASE ZONING DISTRICT

The permitted uses and standards will be in accordance with the Light Commercial District (LC) zoning and the district as defined in the Zoning Ordinance, unless otherwise specified in the PD regulations.

2. USE REGULATIONS

All permitted uses in the Light Commercial (LC) district shall be allowed with the same provisions and restrictions.

3. LOT REGULATIONS

Front yard setbacks, side yard setbacks, rear yard setbacks, building height, maximum floor area, lot width, lot area, and lot coverage shall be in accordance with the Zoning Ordinance, reference Sec. 106.03.03 - Zoning districts—non-residential/commercial/industrial, (e) LC Light Commercial District. unless otherwise specified here in.

- **Building 1** may have awning to overhang into the setback.

4. ARCHITECTURAL STANDARDS

Architectural and building design standards shall be in accordance with the Zoning Ordinance, Division 1. - Exterior Construction and Architectural Design Standards reference commercial structures.

5. LANDSCAPING STANDARDS

All provisions within Article VI. Division 4. Landscaping and Tree Preservation shall be met, as it exists or may be amended in accordance with the standards in effect at the time of development, or requested change, unless otherwise shown on the Landscape Plans attached hereto, or specified below:

Dumpster Requirements.

- Dumpsters. **Lot 2A, Block 1** may share a double dumpster located as shown on the Site Plan.

6. PARKING STANDARDS

All provisions within Article VI. Division 4. Parking, Stacking, and Loading Standards shall be met except as specified below:

Parking Ratio Requirements.

- **Lot 2A, Block 1**, shall provide 1 parking space per 200 square feet of floor area for all uses.

Parking Size

- **Lot 2A, Block 1** shall provide parking size as 9'X20' along front and rear of building 1 & east of building 2 to meet required landscape island.

7. SIGN STANDARDS

All provisions within Chapter 86 – Sign Ordinance shall be met.

8. FIRE

All provisions per 2018 IFC guidelines met except as specified below.

- **Lot 2A, Block 1** shall have 26-foot fire lane on one side and rest of them as 24 feet.

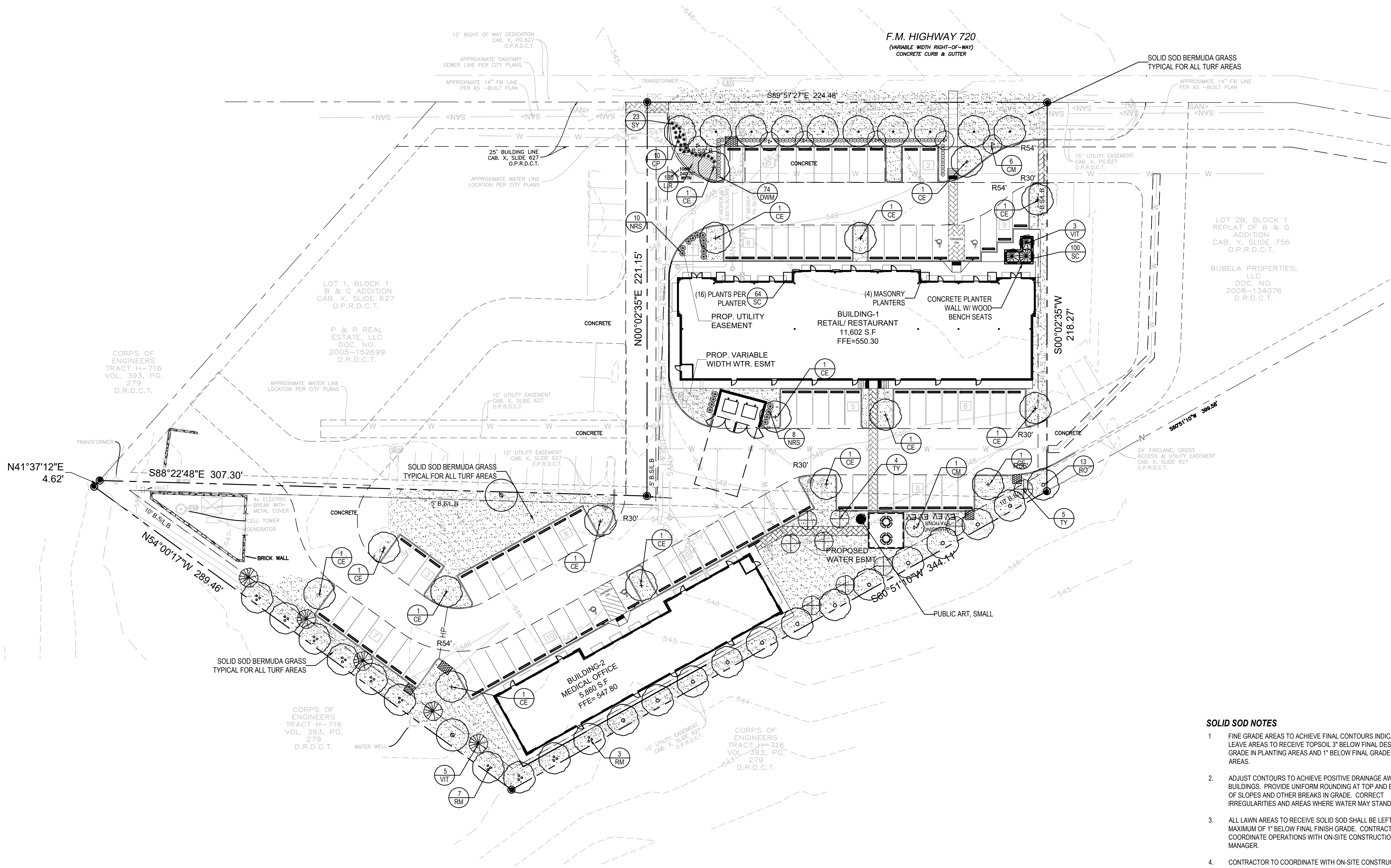
Deviation from code:

- 1) Request to consider required parking ratio as 1:200 considering we have multitenant use with over 15,000 SF of building area.
- 2) Request to allow parking size as 9'X20' along front & rear of building 1 & along the east of building 2, to meet required landscaping islands.
- 3) Request a waiver for the awning to overhang into the setback.
- 4) Request a variance regarding the fire lane dimension,

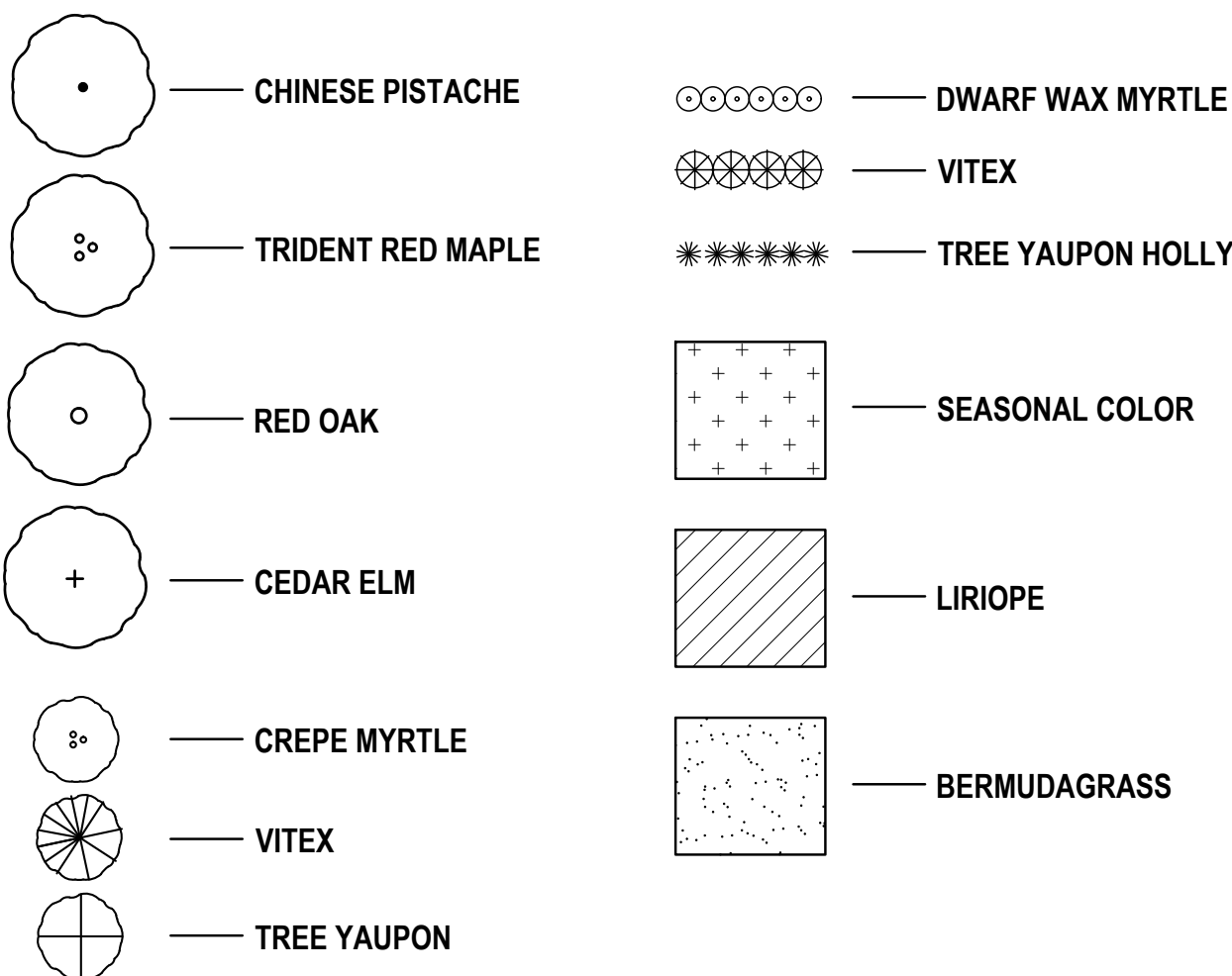
Variance request

Ordinance	section	category	required	requested	Reason for request
Chapter 106 Article VI Site dev standards Div 4. parking, stacking & loading standards	Section 106.06.415 (c) off street parking	Parking requirements per land use	1 :100	Request to consider 1:200 considering we have multitenant use with over 15,000 SF	Due to site constraint.
Chapter 106 Article VI Site dev standards Div 4. parking, stacking & loading standards	Section 106.06.41 (c) parking Design (1) dimension	Parking dimension	10'X20'	Request to allow 9'X20'	In order to meet the required landscape islands.
Chapter 106 Article III Zoning Districts- Nonresidential/ Commercial/industrial	Section 106.03.03 (e) Note 2	Side yard setback.	There shall be a side yard of not less than 5'.	Request to have a small portion of awning to overhang into the setback	To ensure adequate width is provided on the west side of building 1, has to shift it to east which resulted in awning to overhang into the setback.
Chapter 106.06.44 Article VI (b)(2) & 2018 IFC guide	Page 8 of IFC FM guide.	Fire lane dimension	26' fire lane when structure is greater than 2 stories in height/ when structure is greater than 30'.	Request a variance regarding the dimension, we propose 24-foot fire lane around with a 26-foot fire lane on one side to ensure adequate access.	Due to site constraint.

Exhibit C
Development Plans



PLANT SYMBOLS:



PLANT MATERIAL SCHEDULE

TREES					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CP	10	Chinese Pistache	<i>Pistachia chinensis</i>	4" cal.	container, 12' ht., 5' spread, 6' clear straight trunk
RM	10	Trident Red Maple	<i>Acer rubrum 'Trident'</i>	4" cal.	B&B, 12' ht., 4" spread, 5' clear straight trunk
RO	13	Red Oak	<i>Quercus shumardii</i>	4" cal.	container, 12' ht., 5' spread, 6' clear straight trunk
CE	16	Cedar Elm	<i>Ulmus crassifolia</i>	4" cal.	container, 12' ht., 5' spread, 6' clear straight trunk
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CM	7	Crepe Myrtle	<i>Lagerstroemia indica</i>	3" cal.	container, 10' ht., 5' spread, 3 trunks
VIT	8	Vitex	<i>Vitex angust-castus</i>	3" cal.	container grown, 10' ht., 4" spread, 3 trunks
TY	9	Yaupon Holly- Tree form	<i>Ilex vomitoria</i>	3" cal.	B&B, container grown, 10' ht.
SHRUBS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DWM	74	Dwarf Wax Myrtle	<i>Myrica Pusilla</i>	7 gal.	container, 36" ht, 24" spread
NRS	18	Nellie R. Stevens	<i>Ilex x 'Nellie R. Stevens</i>	7 gal.	container, 36" ht., 24" spread
SY	23	Soft Leaf Yucca	<i>Yucca recurvifolia</i>	5 gal.	container, 24" ht., 20" spread
GROUNDCOVERS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
SC	164	Seasonal Color	<i>Liriope muscari</i>	4" pots	selection by owner, 10" o.c.
LIR	180	Liriope	<i>Cynodon dactylon '419'</i>	4" pots	container full, well rooted
		'419' Bermudagrass			solid sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
- CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
- ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
- ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

GENERAL LAWN NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
- ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
- ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION
- CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

LANDSCAPE TABULATIONS

SITE TREE REQUIREMENTS

Requirements: 10% of gross vehicular area to be landscaped.
(1) tree per 400 s.f. of required landscaped area.
Total Area: (94,046 s.f.)
Vehicular Area: (39,272 s.f.)

Required 3,928 s.f. (10%)	Provided 23,099 s.f. (59%)
Required (11) trees	Provided (11) trees

PARKING LOT

Requirement: All parking spaces must be located within 70' of large canopy tree. One (1) tree per island and One island for every (10) spots.
Provided

PERIMETER LANDSCAPE REQUIREMENTS

Requirements- Vehicular screening is required from public R.O.W and abutting properties.
Provided

Public R.O.W. Frontage- (225 l.f.) 1 large tree per 20 l.f. of street frontage

Required 11 trees	Provided 11 proposed trees- 4" cal.
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Landscape buffers between properties- 537 l.f.
1 large tree per 25 l.f. and 3 ornamental per 5 large trees required in perimeter buffer areas.

Required: (22) trees (13) ornamental trees	Provided: (23) trees + (3) existing trees to remain (17) ornamental trees
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Perimeter vehicular screening provided with 36" ht. evergreen shrubs
Provided

LANDSCAPE DESIGN OPTIONS

25 POINTS REQUIRED

Enhanced Hardscape (crosswalks are concrete pavers and entranceway) - 5 points
Enhanced Landscaping (entry way of development)- 5 points
Enhanced site canopy - 5 points
Masonry Planters w Irrigation (4 min.) - 5 points
Public Art, Small - 5 points

Total points = 25.00

FOUNDATION PLANTING

In place of foundation planting the following is proposed
Covered Seating Area w/
2 tables
1 metal trash receptacles

SOLID SOD NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
- PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1782 W. McDERMOTT DR.
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM



MEDICAL OFFICE/RETAIL

FM HIGHWAY 720
LITTLE ELM, TEXAS

ISSUE:

FOR APPROVAL 10.18.2024

CITY COMMENTS 11.15.2024

CITY COMMENTS 12.09.2024

DATE:

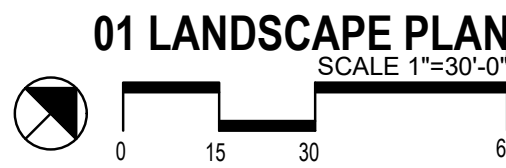
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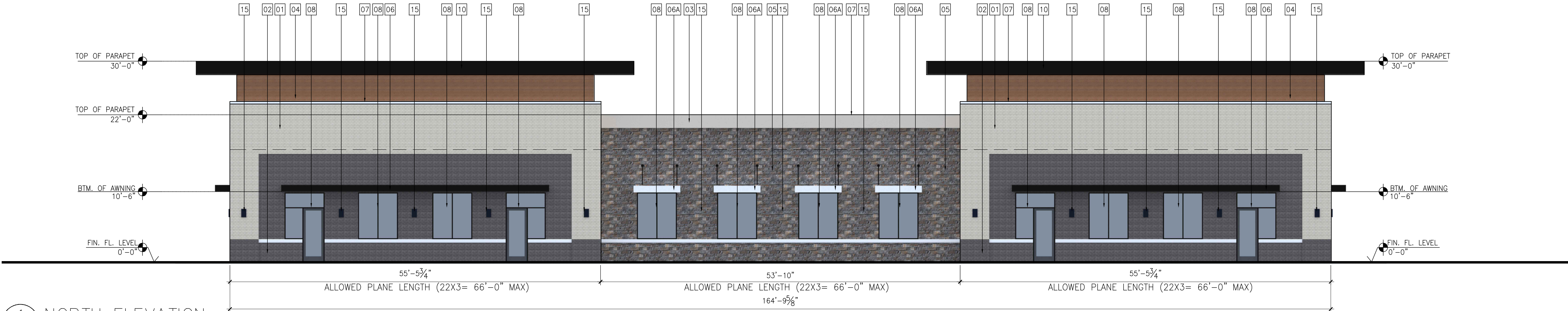
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LANDSCAPE PLAN

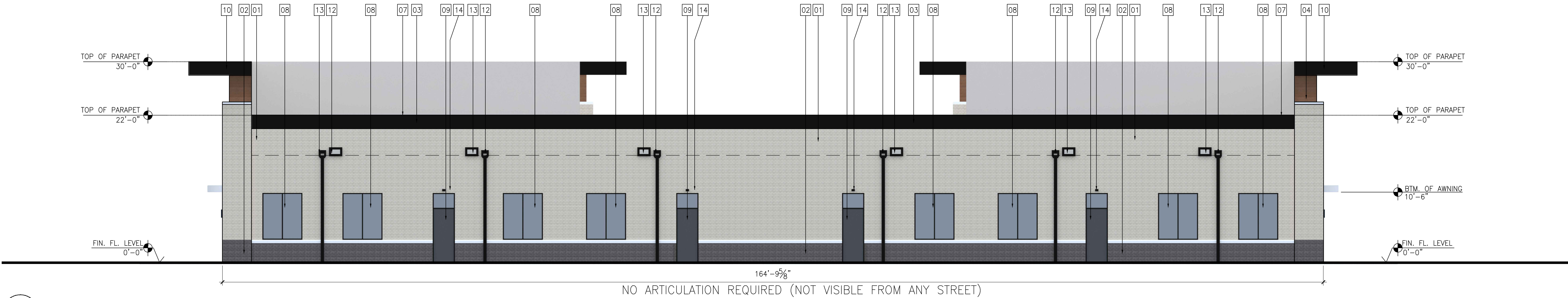
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L.2





1 NORTH ELEVATION
SCALE: 1/8"=1'-0"

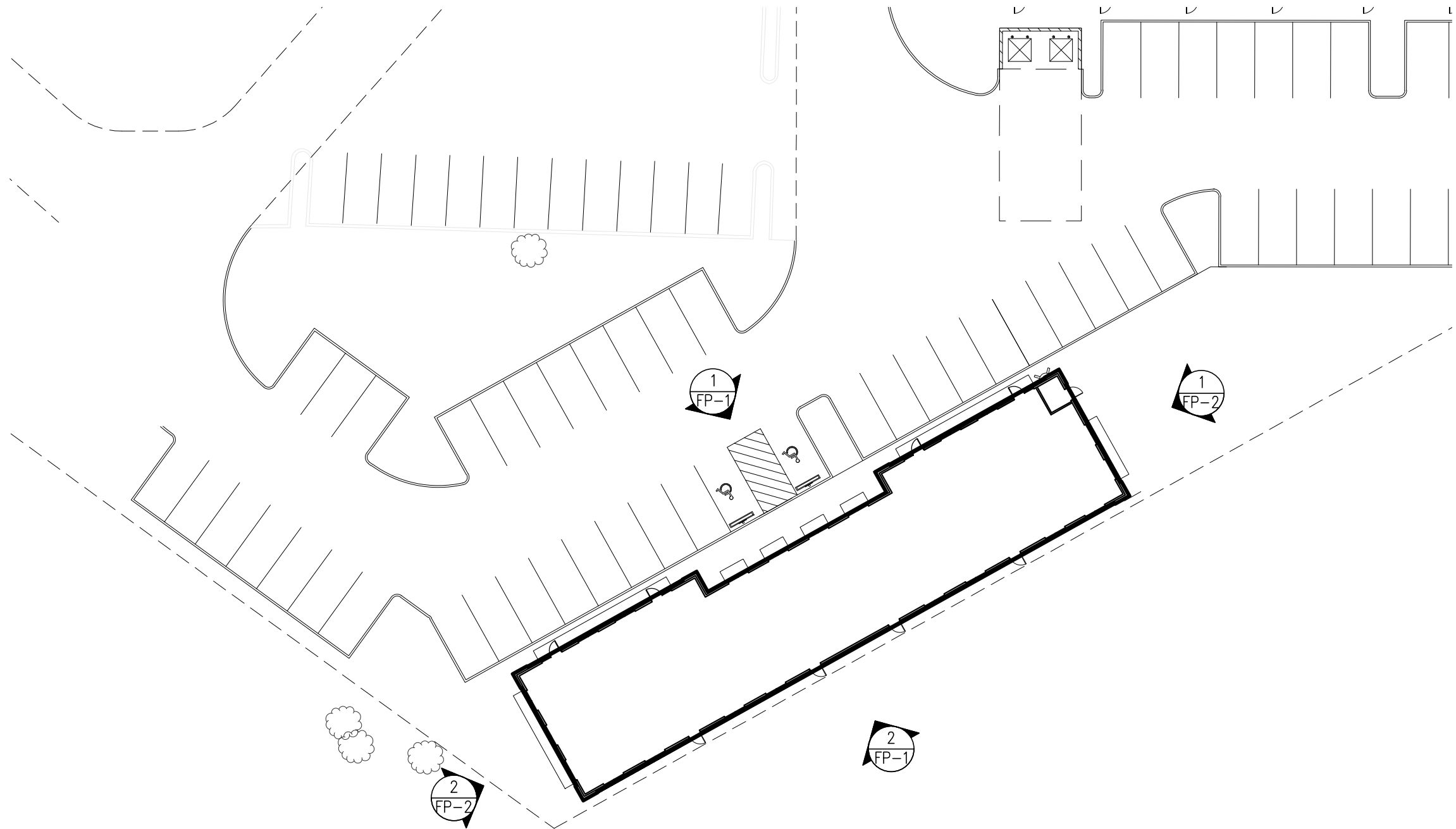


2 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

	NORTH	SOUTH	EAST	WEST
TOTAL FACADE AREA	4536 SF	3707 SF	1158 SF	1158 SF
DOOR AREA	104 SF	140 SF	35 SF	0 SF
GLAZING & WINDOWS AREA	442 SF	336 SF	126 SF	126 SF
NET WALL CONSTRUCTION	3990 SF	3231 SF	997 SF	1032 SF
GROUP A	3188 SF (80%)	2854 SF (88%)	755 SF (76%)	790 SF (76%)
BRICK AREA	2280 SF (57%)	2854 SF (88%)	440 SF (44%)	440 SF (43%)
STONE AREA	908 SF (23%)	-	315 SF (32%)	350 SF (33%)
GROUP B	536 SF (13%)	339 SF (10%)	145 SF (14%)	145 SF (14%)
STUCCO AREA	108 SF (2%)	312 SF (09%)	-	-
NICHIHA ACCENT WOOD PANEL	428 SF (11%)	27 SF (01%)	145 SF (14%)	145 SF (14%)
GROUP C				
METAL FASCIA PANEL	266 SF (7%)	38 SF (2%)	97 SF (10%)	97 SF (10%)

FINISHES:							
STUCCO PLASTER COLOR: SW-6252	MANUFACTURED STONE AMALFI LEDGE-POMPEII	NICHIHA VINTAGEWOOD REDWOOD	BRICK VENEER -BY ACME BRICK SIZE: KING SIZE BRICK COLOR: WHITE BIRCH	BRICK VENEER -BY ACME BRICK SIZE: KING SIZE BRICK COLOR: BLACK RIVER	COLOR: MBCI, MIDNIGHT BLACK CANTILEVERED ALUM. AWNINGS INSULATED MTL DOORS	COLOR: MBCI, SNOW WHITE CANTILEVERED ALUM. AWNINGS INSULATED MTL DOORS	

ELEVATION MATERIAL KEY	
01	BRICK VENEER-1 COLOR: WHITE BIRCH BY ACME BRICK
02	BRICK VENEER-1 COLOR: BLACK RIVER BY ACME BRICK
03	3 STEP STUCCO COLOR: EQUAL TO SHERWIN WILLIAMS SW-6252 ICE CUBE
04	ACCENT WOOD LOOK WALL & SOFFIT PANELS COLOR: EQUAL TO NICHIHA VINTAGEWOOD, REDWOOD
05	MANUFACTURE STONE COLOR: POMPEII BY AMALFI LEDGE
06	CANTILEVER STRAIGHT ALUMINUM AWNING COLOR: EQUAL TO MBCI MIDNIGHT BLACK
06-A	ALUMINUM AWNING WITH HANG RODS & ESCUTCHION COLOR: EQUAL TO MBCI SNOW WHITE
07	PRE-FINISHED METAL COPING COLOR: MATCH TO SW-6990
08	ANODIZED ALUMINUM STOREFRONT/WINDOW WITH 1" INSULATED CLEAR GLASS U- VALUE (0.29) S.H.G.C (0.25) COLOR: EQUAL TO KAWNEER BLACK REFER TO A9.0 FOR ELEVATIONS (SUBMIT SHOP DRAWINGS BEFORE FABRICATION)
09	INSULATED HOLLOW METAL DOOR PAINT: SHERWIN WILLIAMS, SW-9162 AFRICAN GRAY
10	METAL SOFFIT & FASCIA PANEL SYSTEM BERRIDGE FLUSH SEAM, B-6, VEE-PANEL, FW-12, THIN-LINE
11	STANDING SEAM METAL ROOF BERRIDGE TEE PANEL ROOF PANEL SYSTEM COLOR: BERRIDGE MATT BLOCK
12	6" SQ. DOWNSPOUT (TYPICAL) COLOR: PAINTED TO MATCH SW-6252 ICE CUBE
13	12"x8" OVERFLOW ROOF SCUPPER (TYPICAL) COLOR: PAINTED TO MATCH SW-6252 ICE CUBE
14	EXTERIOR WALL PACK ABOVE REAR DOORS (TYPICAL)
15	EXTERIOR DECORATIVE WALL SCONCES
16	ROOF LINE BEYOND (SHOWN DASHED)
17	FUTURE ROOF TOP UNIT LOCATIONS BEYOND
CITY OF LITTLE ELM STANDARD NOTES	
1. ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE 2. ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL OF DEVELOPMENT SERVICES DIRECTOR 3. WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING 4. ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL	
NOTE: CONTRACTOR SHALL OBTAIN CITY APPROVED COLORED FACADE PLANS FOR REFERENCE OF VARIOUS MATERIALS & COLORS DURING CONSTRUCTION FROM ARCHITECT.	



3 SITE KEY PLAN
SCALE: NOT TO SCALE
NORTH

MEDICAL OFFICE BUILDING (ELEVATION EXHIBIT)
RETAIL/RESTAURANT & MEDICAL OFFICE DEVELOPMENT

ADJ. TO E. ELDORADO PRKY., TOWN OF LITTLE ELM,
DENTON COUNTY, TEXAS-75068
LOT 2A, BLOCK-1, REPLAT OF B & G ADDITION

DATE OF PREPARATION : 10/18/2024

OWNER/DEVELOPER	#	REVISION DATE
CONTACT: VISHNU REDDY Cell: (225)810-1840 Email: rvishnureddy@yahoo.com	1	11/18/2024

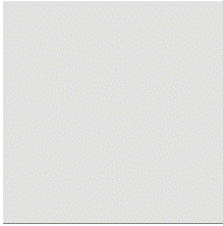
rashmi C Inc.
ARCHITECTURE. PLANNING. INTERIORS
4117 OLD PLEASANT RIDGE RD. ARLINGTON, TX-76016
CONTACT: RASHMINDER CHANDEL
PH. NO. (817) 891-7918 EMAIL: rashmi@rashmic.com

SHEET NO.
FP-1



	NORTH	SOUTH	EAST	WEST
TOTAL FACADE AREA	4536 SF	3707 SF	1158 SF	1158 SF
DOOR AREA	104 SF	140 SF	35 SF	0 SF
GLAZING & WINDOWS AREA	442 SF	336 SF	126 SF	126 SF
NET WALL CONSTRUCTION	3990 SF	3231 SF	997 SF	1032 SF
GROUP A	3188 SF (80%)	2854 SF (88%)	755 SF (76%)	790 SF (76%)
BRICK AREA	2280 SF (57%)	2854 SF (88%)	440 SF (44%)	440 SF (43%)
STONE AREA	908 SF (23%)	-	315 SF (32%)	350 SF (33%)
GROUP B	536 SF (13%)	339 SF (10%)	145 SF (14%)	145 SF (14%)
STUCCO AREA	108 SF (2%)	312 SF (09%)	-	-
NICHIHA ACCENT WOOD PANEL	428 SF (11%)	27 SF (01%)	145 SF (14%)	145 SF (14%)
GROUP C				
METAL FASCIA PANEL	266 SF (7%)	38 SF (2%)	97 SF (10%)	97 SF (10%)

FINISHES:



STUCCO PLASTER
COLOR: SW-6252



MANUFACTURED STONE
AMALFI LEDGE-POMPEII



NICHIHA VINTAGEWOOD
REDWOOD



BRICK VENEER
-BY ACME BRICK
SIZE: KING SIZE BRICK
COLOR: WHITE BIRCH



BRICK VENEER
-BY ACME BRICK
SIZE: KING SIZE BRICK
COLOR: BLACK RIVER

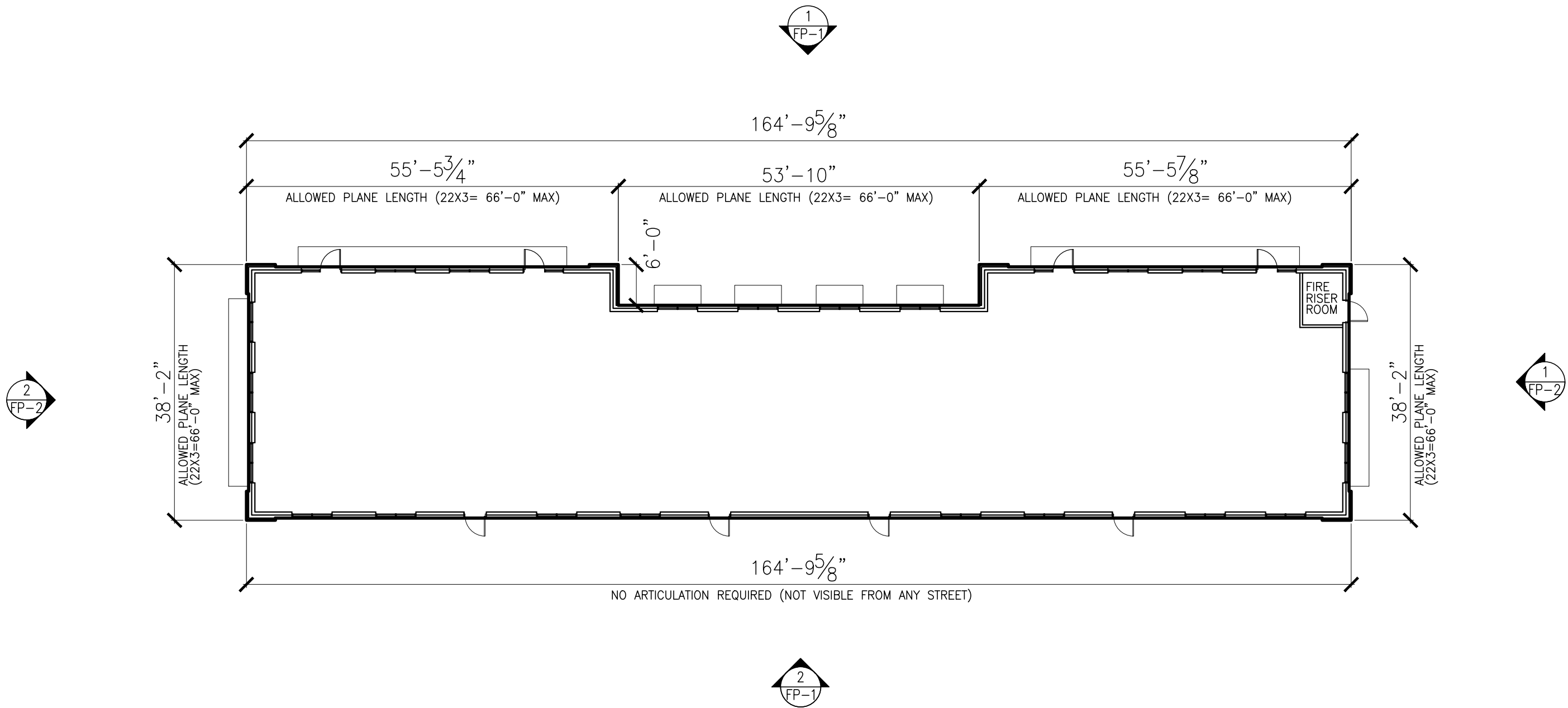
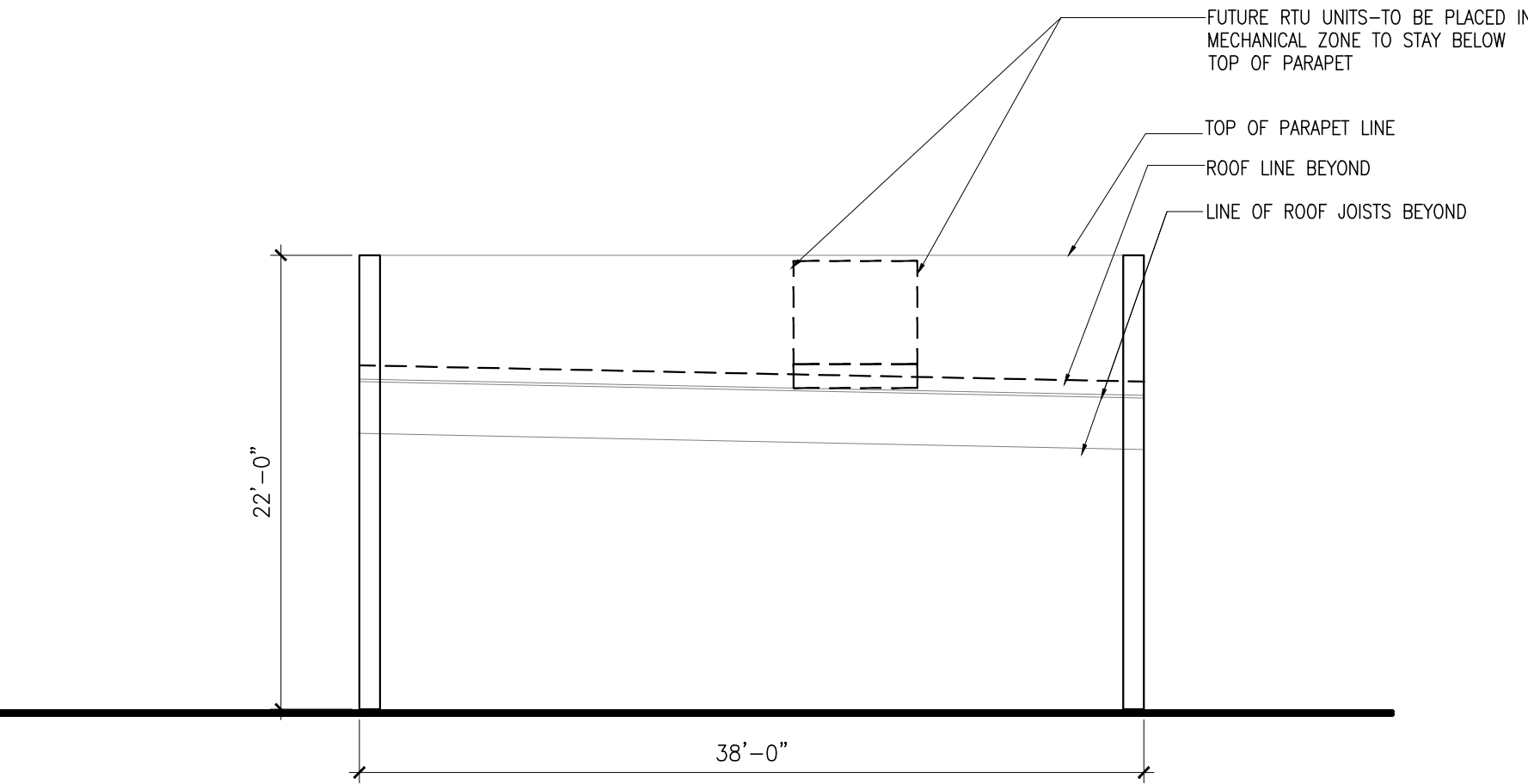


COLOR: MBCI, MIDNIGHT BLACK
CANTILEVERED ALUM. AWNINGS
INSULATED MTL DOORS



COLOR: MBCI, SNOW WHITE
CANTILEVERED ALUM. AWNINGS
INSULATED MTL DOORS

ELEVATION MATERIAL KEY	
01	BRICK VENEER-1 COLOR: WHITE BIRCH BY ACME BRICK
02	BRICK VENEER-1 COLOR: BLACK RIVER BY ACME BRICK
03	3 STEP STUCCO COLOR: EQUAL TO SHERWIN WILLIAMS SW-6252 ICE CUBE
04	ACCENT WOOD LOOK WALL & SOFFIT PANELS COLOR: EQUAL TO NICHIHA VINTAGEWOOD, REDWOOD
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NOTE: CONTRACTOR SHALL OBTAIN CITY APPROVED COLORED FACADE PLANS FOR REFERENCE OF VARIOUS MATERIALS & COLORS DURING CONSTRUCTION FROM ARCHITECT.	



3 GRAPHICAL REPRESENTATION OF FUTURE RTU UNITS SCREENING
FP-2 SCALE: 1/8"=1'-0"

4 BUILDING FOOTPRINT
FP-2 SCALE: 1/16"=1'-0"

MEDICAL OFFICE BUILDING (ELEVATION EXHIBIT)
RETAIL/RESTAURANT & MEDICAL OFFICE DEVELOPMENT

ADJ. TO E. ELDORADO PRKY, TOWN OF LITTLE ELM,
DENTON COUNTY, TEXAS-75068
LOT 2A, BLOCK-1, REPLAT OF B & G ADDITION

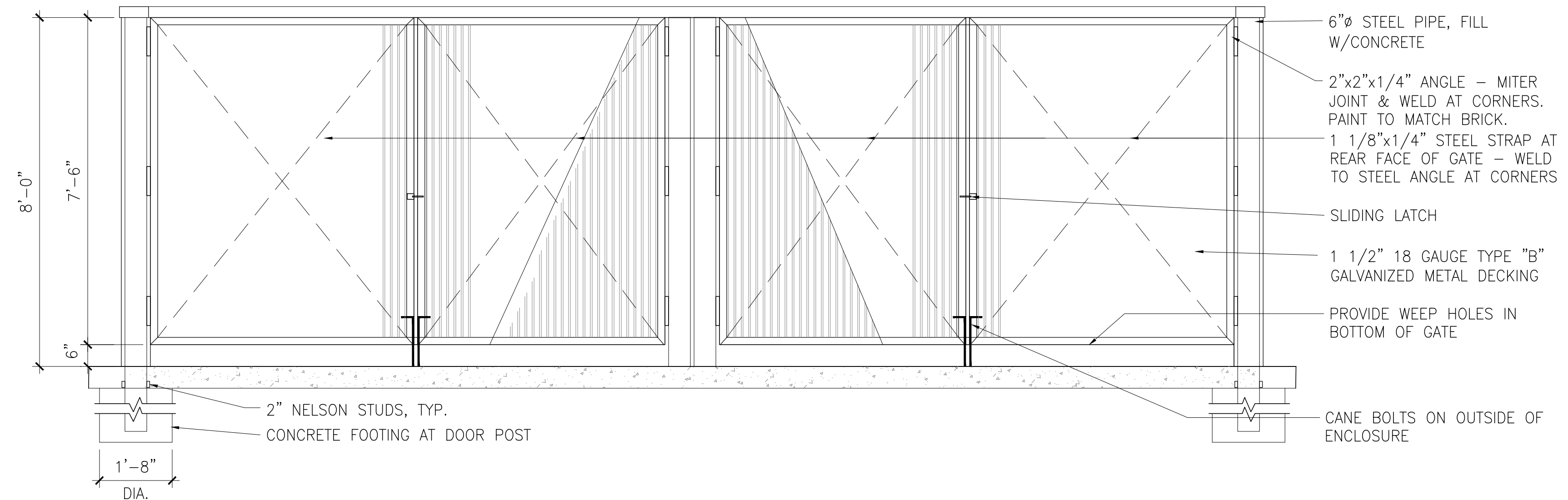
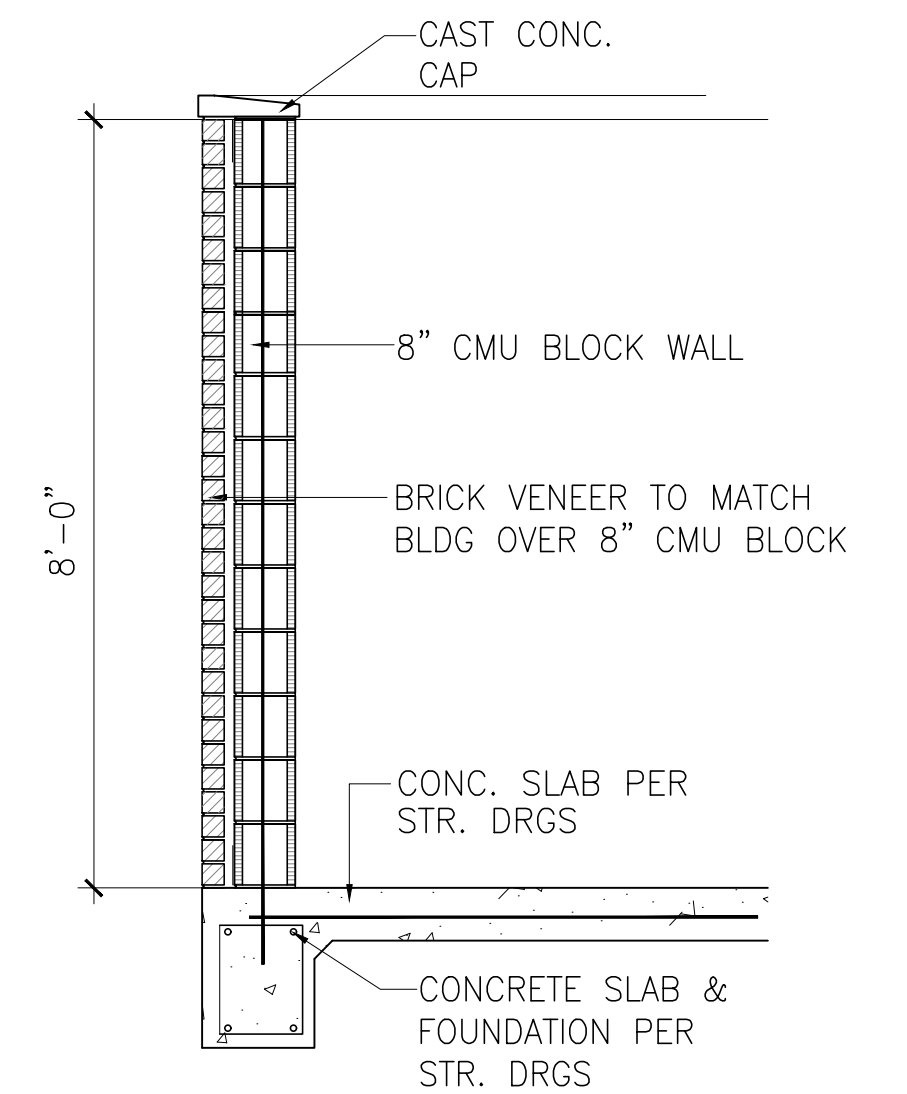
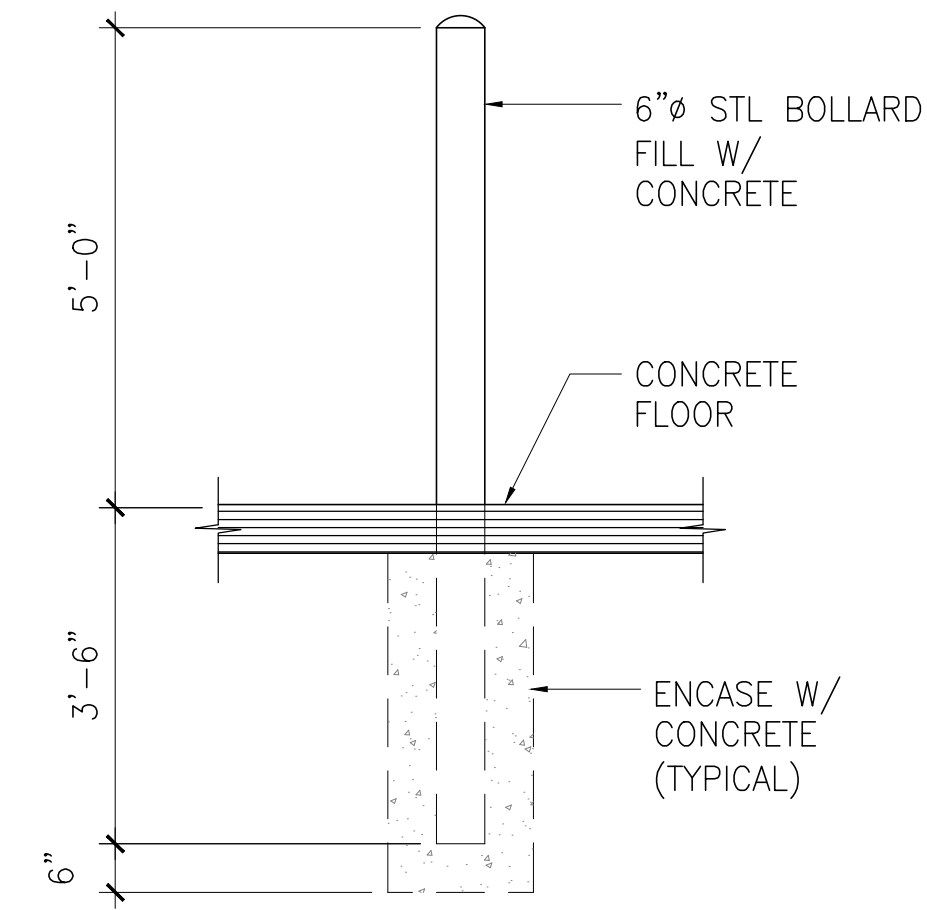
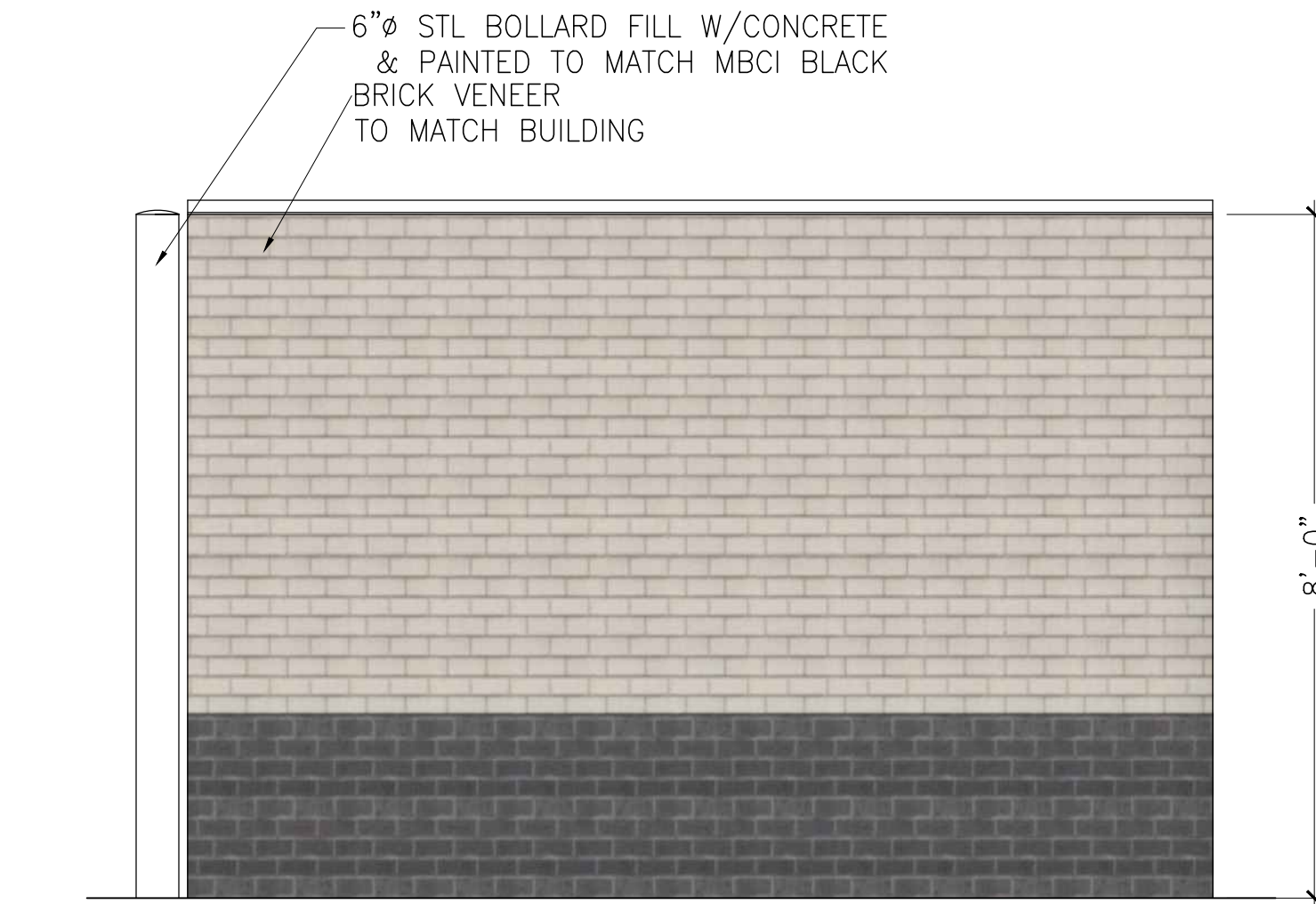
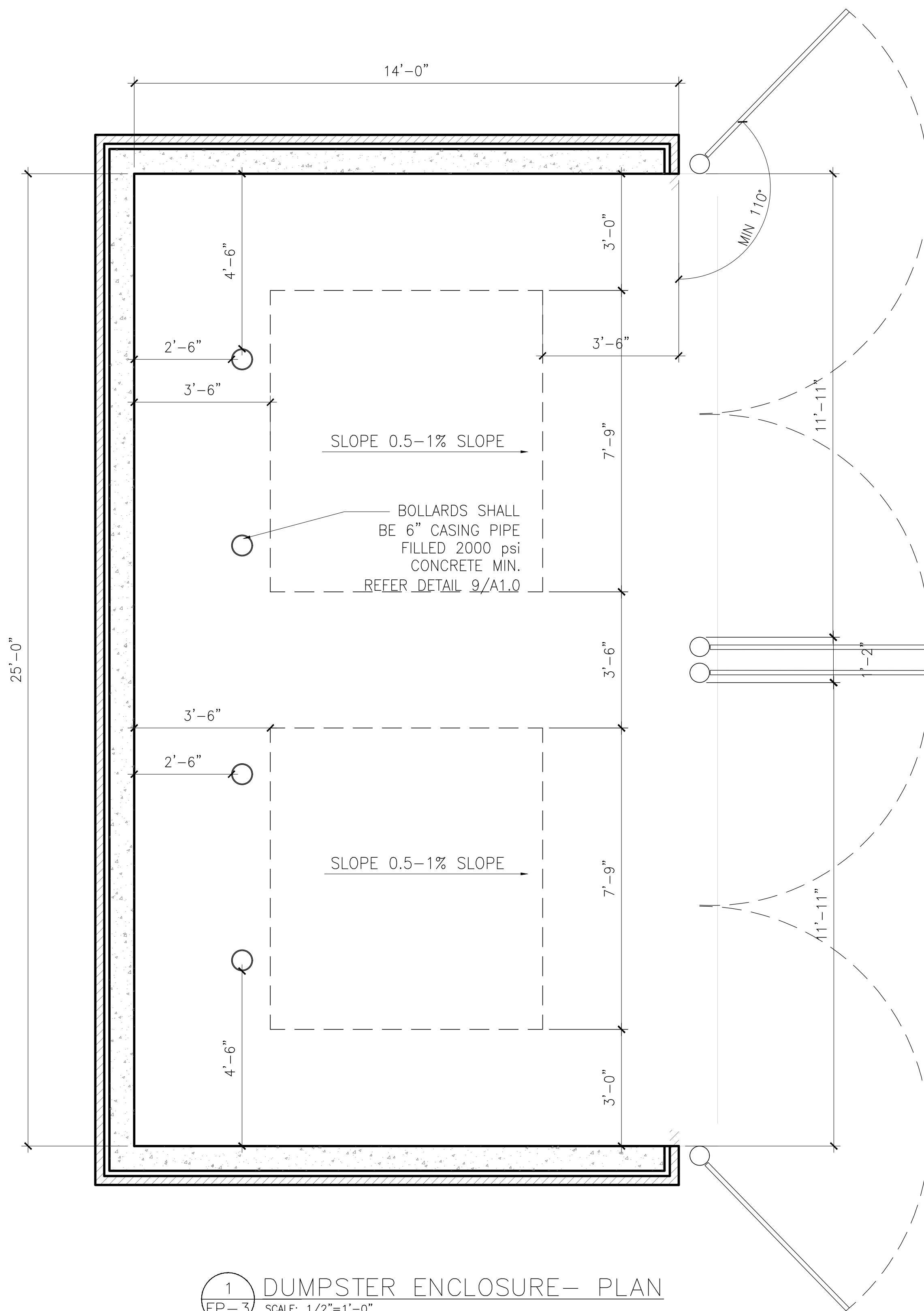
DATE OF PREPARATION : 10/18/2024

OWNER/DEVELOPER	#	REVISION DATE
CONTACT: VISHNU REDDY Cell: (225)810-1840 Email: rvishnureddy@yahoo.com	1	11/18/2024

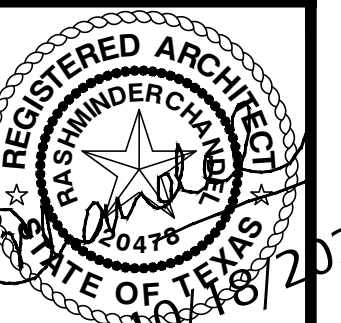
REGISTERED ARCHITECT
RASHMINDER CHANDEL
STATE OF TEXAS
1018182024

rashmi C Inc.
ARCHITECTURE. PLANNING. INTERIORS
4117 OLD PLEASANT RIDGE RD. ARLINGTON, TX-76016
CONTACT: RASHMINDER CHANDEL
PH. NO. (817) 891-7918 EMAIL: rashmi@rashmic.com

SHEET NO.
FP-2

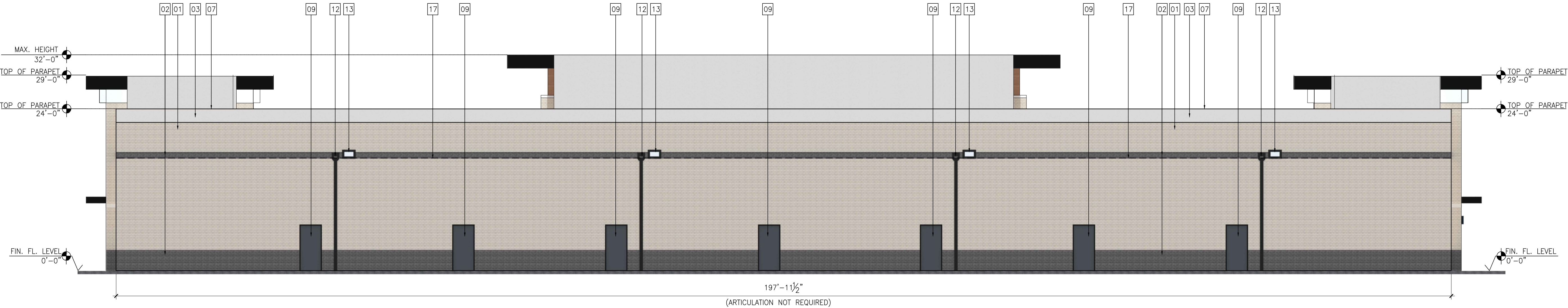


MEDICAL OFFICE BUILDING (ELEVATION EXHIBIT)		
RETAIL/RESTAURANT & MEDICAL OFFICE DEVELOPMENT		
ADJ. TO E. ELDORADO PRKY, TOWN OF LITTLE ELM, DENTON COUNTY, TEXAS-75068 LOT 2A, BLOCK-1, REPLAT OF B & G ADDITION		
DATE OF PREPARATION : 10/18/2024		
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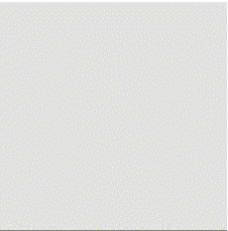
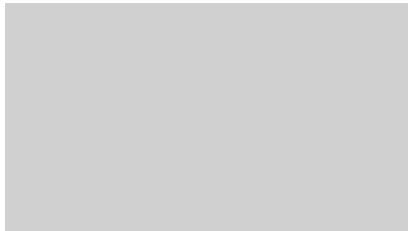


1 NORTH ELEVATION
FP-1 SCALE: 1/8"=1'-0"

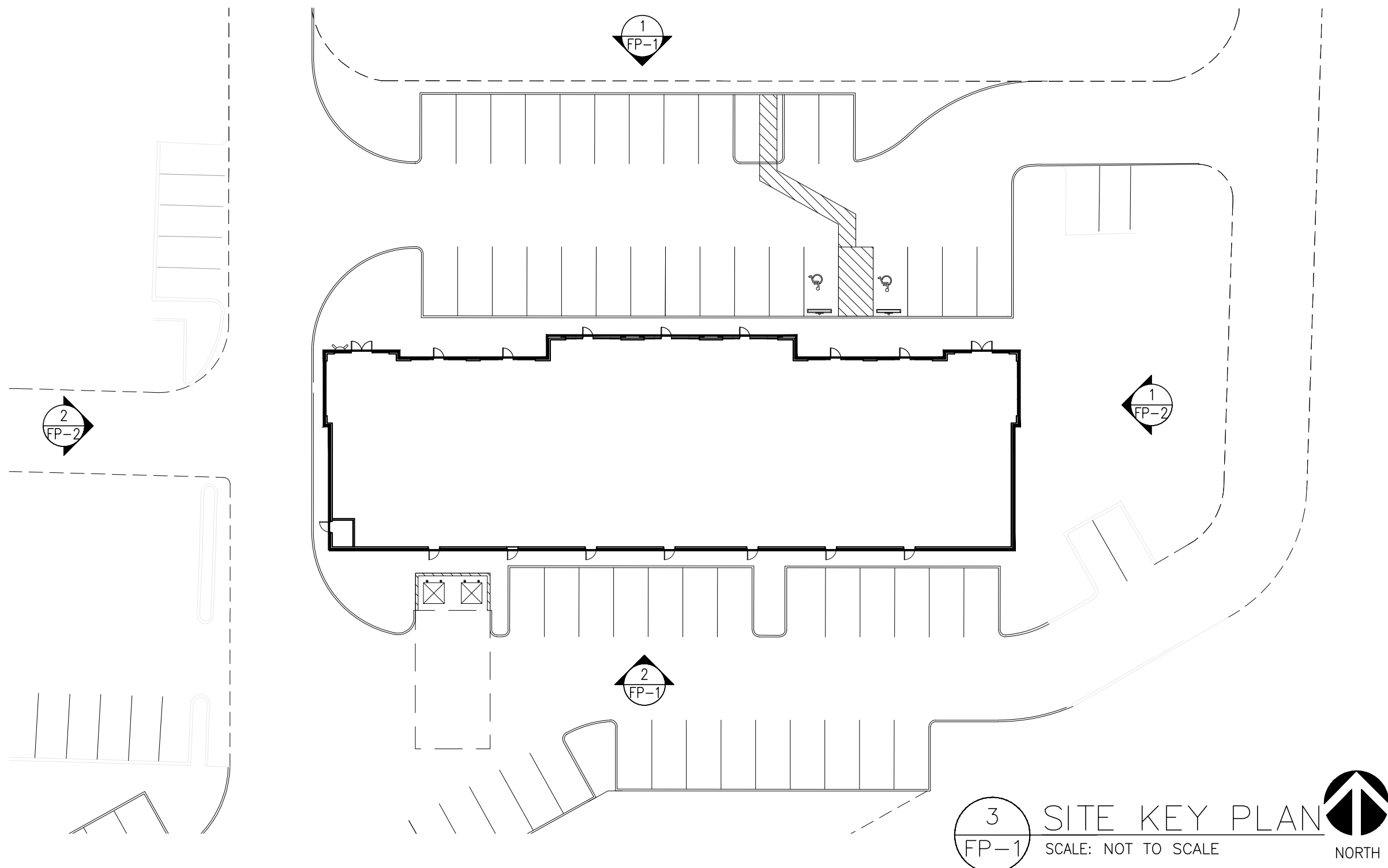


2 SOUTH ELEVATION
FP-1 SCALE: 1/8"=1'-0"

	NORTH	SOUTH	EAST	WEST
TOTAL FACADE AREA	5659 SF	4750 SF	1508 SF	1508 SF
DOOR AREA	275 SF	161 SF	23 SF	0 SF
GLAZING & WINDOWS AREA	1377 SF	0 SF	222 SF	222 SF
NET WALL CONSTRUCTION	4007 SF	4589 SF	1263 SF	1286 SF
GROUP A	3133 SF (80%)	4193 SF (91%)	1102 SF (87%)	1125 SF (91%)
BRICK AREA	1888 SF (48%)	4193 SF (91%)	1102 SF (87%)	1125 SF (87%)
STONE AREA	1245 SF (32%)	-	-	-
GROUP B	548 SF (12%)	396 SF (09%)	102 SF (08%)	102 SF (08%)
STUCCO AREA	266 SF (6%)	396 SF (09%)	47 SF (04%)	47 SF (04%)
NICHIHA ACCENT WOOD PANEL	282 SF (6%)	-	55 SF (04%)	55 SF (04%)
GROUP C				
METAL FASCIA PANEL	325 SF (8%)	-	59 SF (05%)	59 SF (05%)

FINISHES:						
						
STUCCO PLASTER COLOR: SW-6252	MANUFACTURED STONE AMALFI LEDGE-POMPEII	NICHIHA VINTAGEWOOD REDWOOD	BRICK VENEER -BY ACME BRICK SIZE: KING SIZE BRICK COLOR: WHITE BIRCH	BRICK VENEER -BY ACME BRICK SIZE: KING SIZE BRICK COLOR: BLACK RIVER	COLOR: MBCI, MIDNIGHT BLACK CANTILEVERED ALUM. AWNINGS INSULATED MTL DOORS	COLOR: MBCI, SNOW WHITE CANTILEVERED ALUM. AWNINGS INSULATED MTL DOORS

ELEVATION MATERIAL KEY	
01	BRICK VENEER-1 COLOR: WHITE BIRCH BY ACME BRICK
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3 SITE KEY PLAN
FP-1 SCALE: NOT TO SCALE

RETAIL/ RESTAURANT BUILDING (ELEVATION EXHIBIT)

RETAIL/ RESTAURANT & MEDICAL OFFICE DEVELOPMENT

ADJ. TO E. ELDORADO PRKY, TOWN OF LITTLE ELM,
DENTON COUNTY, TEXAS-75068
LOT 2A, BLOCK-1, REPLAT OF B & G ADDITION

DATE OF PREPARATION : 10/18/2024

OWNER/DEVELOPER	#	REVISION DATE
CONTACT: VISHNU REDDY Cell: (225)810-1840 Email: rvishnureddy@yahoo.com	1	11/18/2024

REGISTERED ARCHITECT
RASHMI CHANDEL
2047
STATE OF TEXAS
10/18/2024

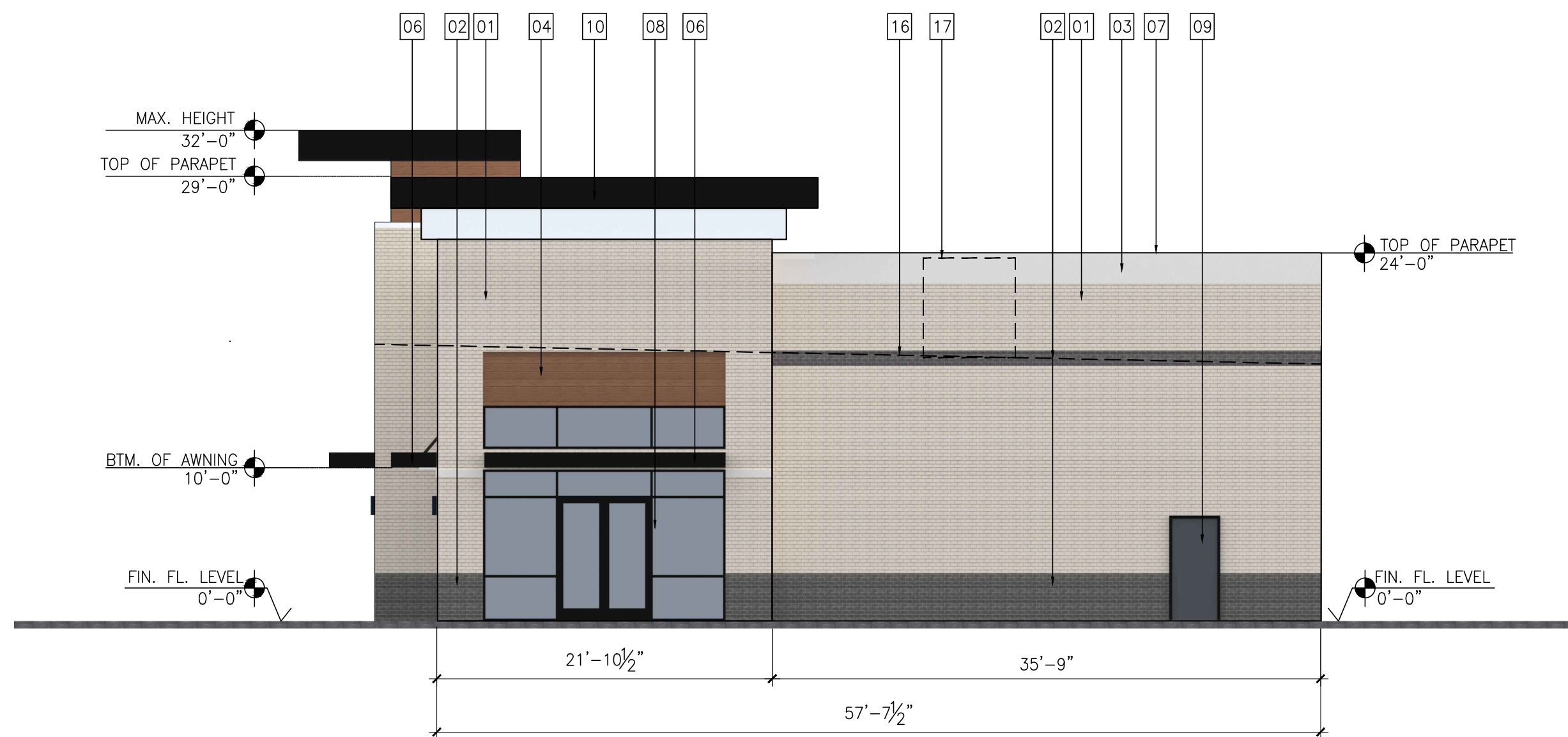
SHEET NO.
FP-1

rashmi C Inc.

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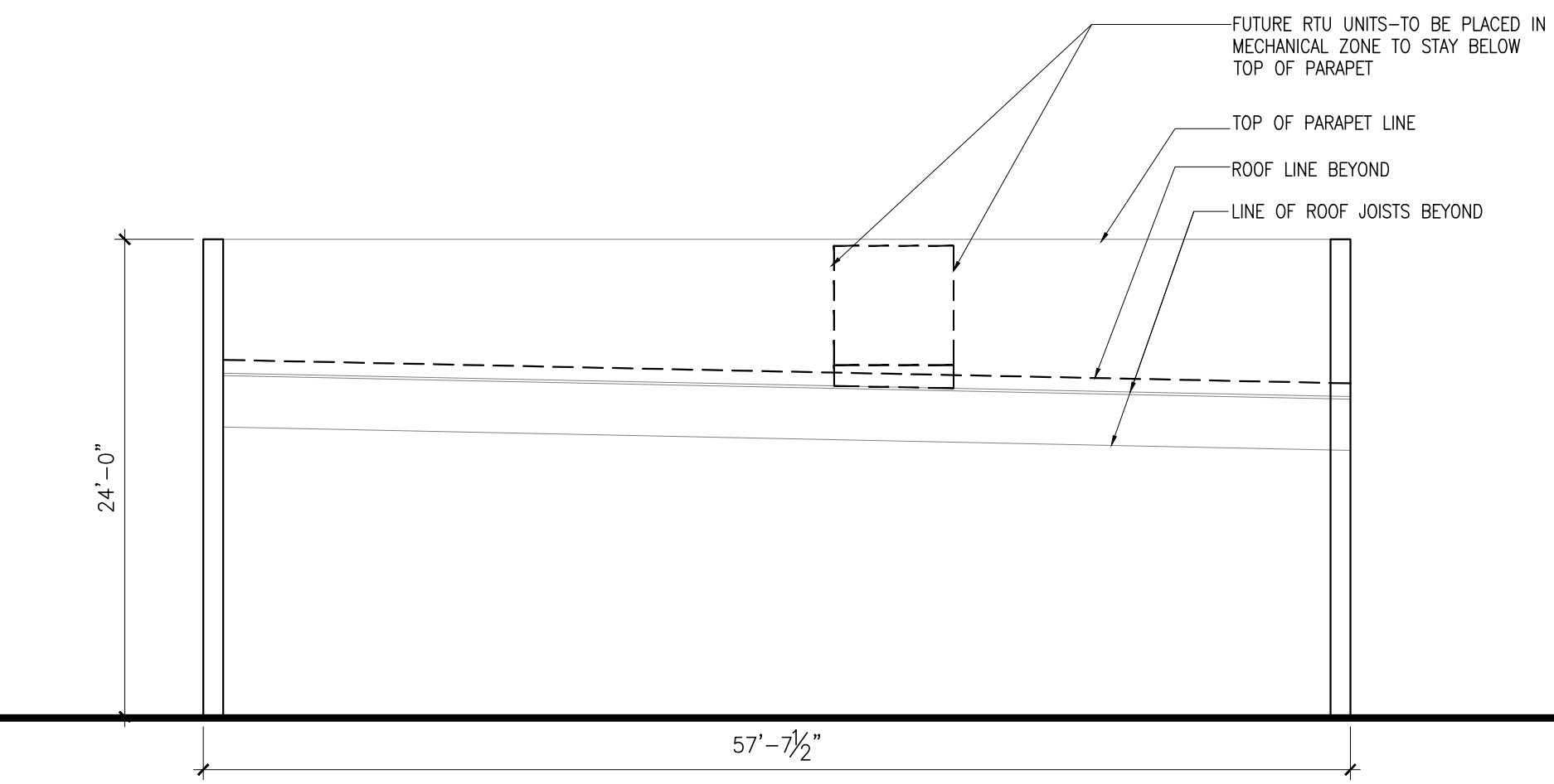


1 EAST ELEVATION
FP-2 SCALE: 1/8"=1'-0"

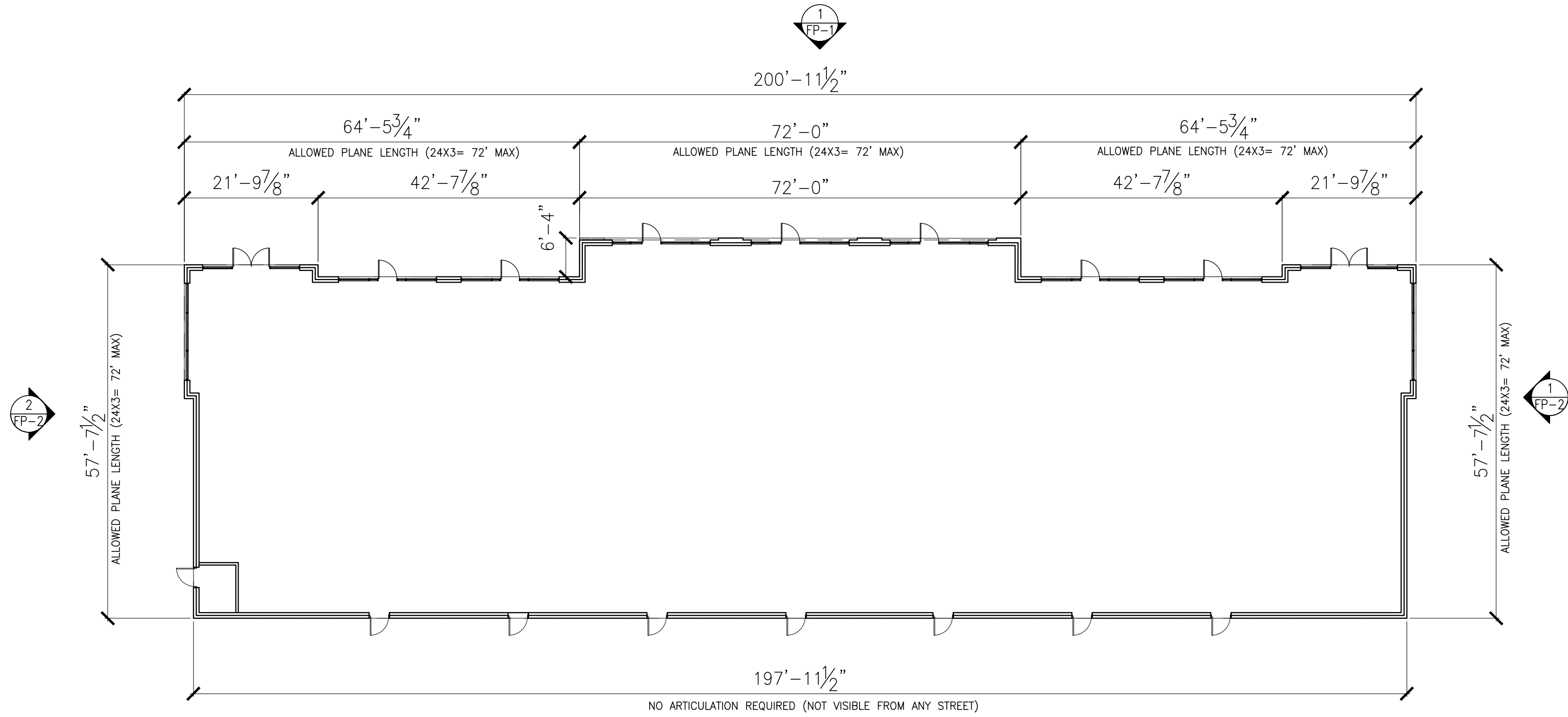


2 WEST ELEVATION
FP-2 SCALE: 1/8"=1'-0"

	NORTH		SOUTH		EAST		WEST	
TOTAL FACADE AREA	5659 SF		4750 SF		1508 SF		1508 SF	
DOOR AREA	275 SF		161 SF		23 SF		0 SF	
GLAZING & WINDOWS AREA	1377 SF		0 SF		222 SF		222 SF	
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BRICK AREA	1888 SF	(48%)	4193 SF	(91%)	1102 SF	(87%)	1125 SF	(87%)
STONE AREA	1245 SF	(32%)	-		-		-	
GROUP B	548 SF	(12%)	396 SF	(09%)	102 SF	(08%)	102 SF	(08%)
STUCCO AREA	266 SF	(6%)	396 SF	(09%)	47 SF	(04%)	47 SF	(04%)
NICHIHA ACCENT WOOD PANEL	282 SF	(6%)	-		55 SF	(04%)	55 SF	(04%)
GROUP C								
METAL FASCIA PANEL	325 SF	(8%)	-		59 SF	(05%)	59 SF	(05%)



3 GRAPHICAL REPRESENTATION FOR FUTURE RTU UNITS SCREENING
FP-2 SCALE: 1/8"=1'-0"



4 BUILDING FOOTPRINT
FP-2 SCALE: 1/16"=1'-0"

ELEVATION MATERIAL KEY	
01	BRICK VENEER-1 COLOR: WHITE BIRCH BY ACME BRICK
02	BRICK VENEER-1 COLOR: BLACK RIVER BY ACME BRICK
03	3 STEP STUCCO COLOR: EQUAL TO SHERWIN WILLIAMS SW-6252 ICE CUBE
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06	CANTILEVER STRAIGHT ALUMINUM AWNING COLOR: EQUAL TO MBCI MIDNIGHT BLACK
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CITY OF LITTLE ELM STANDARD NOTES

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RETAIL/ RESTAURANT BUILDING (ELEVATION EXHIBIT)

RETAIL/ RESTAURANT & MEDICAL OFFICE DEVELOPMENT

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SHEET NO.

FP-2