

**CITY OF LORAIN
BOARD OF CONTROL
AGENDA
JANUARY 22, 2026 at 11:15 a.m.**

1. **ROLL CALL**

2. **MATTERS FOR DISCUSSION**

- a. A request from the Department of Public Property, Parks Division, for sports turf needed at the Pipeyard and Campana Park softball field by Maumee Bay Turf, Inc for an amount not to exceed \$9,471.00. Funding will be through Campana Park Maintenance of Facilities, 1010.B200.4160.6400.2200.
- b. A request from the Engineering Department to award to the lowest and best bidder, RMH Concrete & Foundations, Inc., the Removal and Replacement of Deficient Sidewalks around Helen Steiner Rice and Southview schools in the City of Lorain PID 120211 in the amount of \$390,366.90 plus a contingency in the amount of \$39,036.69 for a certified contract amount of \$429,403.59. Bids were also received from DL Smith Concrete, LLC. in the amount of \$393,903.05; Terminal Ready-Mix, Inc. in the amount of \$396,076.75; Perk Co, Inc. in the amount of \$543,873.00; and Smith Paving & Excavating, Inc. in the amount of \$399,569.80.
- c. A request from the Lorain Utilities Department for a purchase order in the amount of \$92,179.00 with the Ohio Water Development Authority for the Pearl and Tacoma Pump Station Improvements OWDA Loan 11642 fee. Ordinance 110-25 was approved by city council on 9/2/25. Funding GL Account 6130.P613.6310.6300.1500 Plant Operations – Contractual Service.
- d. A request from the Lorain Utilities Department for approval of a purchase order with Pro-Tech Systems Group in the amount of \$9,432.00 for the annual cellular data for 17 sites. Funding GL Account 6130.P613.6310.6300.1500 Contractual Service.
- e. A request from the Building, Housing & Planning Department to renew annual contractual services with F & B Engineering, Inc. for commercial & residential plan reviews, back-up chief building official and inspector services as required by the State of Ohio Board of Building Standards for an amount not to exceed \$10,000.00. Funds will be appropriated from G/L Account #1010.S900.6300.1500 Building Inspection-Contractual Service.
- f. A request from the Building, Housing & Planning Department to renew annual contractual services with Mark S. Wagner, Inc. for commercial & residential plan reviews and back-up CBO and inspector services as required by the State of Ohio Board of Building Standards for an amount not to exceed \$10,000.00 Funds will be appropriated from G/L account 1010.S900.6300.1500 Building Inspection-Contractual Service.

- g. A request from the Building, Housing & Planning Department to renew the annual subscription with CommonGoals Software for the loan management software and support services used to manage loans held by the department for an amount not to exceed \$7,000.00. Funds will be appropriated from G/L account 2290.R225.7110.6300.1500 UDAG-Public Facility-Contractual Service.
- h. The Building, Housing and Planning Department (BHP) requests approval for an Essential Home Repair loan in the amount of \$11,247.00 to replace the roof and gutters at 3828 Dallas Ave. for Edward Ramos.
Happy Homes Improvements Co. LLC submitted the most complete and cost-effective estimate for the scope of work to be completed for \$10,225.00. The total funds requested, including a 10% contingency of \$1,022.00, is \$11,247.00.
Additional estimates received were from Eiffel Builders for \$16,800.00 and Moore Integrity for \$13,800.00. The additional estimate amounts do not include the 10% contingency.
The work will be paid out of the Block Grant Home Repair funds, account number 2260.R.226.7130.6400.6100 and is contingent on compliance with other federal requirements, including environmental reviews.
- i. The Building, Housing and Planning Department (BHP) requests approval for an Essential Home Repair loan in the amount of \$11,277.00 to replace the porch at 304 W. 32nd St., for Patricia Blakely.
G.I.D. Construction submitted the most complete and cost-effective estimate for the scope of work to be completed for \$10,252.00. The total funds requested, including a 10% contingency of \$1,025.00, is \$11,277.00.
Additional estimates received were from R. Hammond Construction for \$12,500.00 and Melendez & Son for \$18,048.00. The additional estimate amounts do not include the 10% contingency.
The work will be paid out of the Block Grant Home Repair funds, account number 2260.R.226.7130.6400.6100 and is contingent on compliance with other federal requirements, including environmental reviews.

3. **ADJOURNMENT**



CITY OF LORAIN

Board of Control

2. a.

Meeting Date: 01/22/2026

Subject:

A request from the Department of Public Property, Parks Division, for sports turf needed at the Pipeyard and Campana Park softball field by Maumee Bay Turf, Inc for an amount not to exceed \$9,471.00. Funding will be through Campana Park Maintenance of Facilities, 1010.B200.4160.6400.2200.

Attachments

quote
BOC form

**MAUMEE
BAY TURF,^{INC.}
SPORTSFIELD
CONSTRUCTORS**

**MAUMEE BAY
TURF CENTER**

4630 Navarre Avenue

Oregon, Ohio 43616

419-350-1495

Federal Tax I.D. #: 51-0570228

Owner: CITY OF LORAIN

Telephone:

Contact:

Insured by **ASSURED PARTNERS**

Policy Number: 1497257

Date of Quote: (Good for 15 days): 10.13.25

PROPOSAL

1 SUPER SACK OF 18/20 RUBBER INFILL - \$1,596

MANUFACTURE TURF AND CONSTRUCT 3 CUSTOM BASEBALL PITCHERS VELCRO MOUND INSERTS (40" WIDE BY 96" LONG) - \$3,600

MANUFACTURE TURF AND CONSTRUCT 3 CUSTOM SOFTBALL PITCHERS VELCRO MOUND INSERTS (38" WIDE BY 96" LONG) - \$3,600

DELIVERY - (CUSTOMER MUST HAVE FORKLIFT TO UNLOAD) - \$675

GRAND TOTAL: \$9,471

THIS IS DELIVERY ONLY WITH CUSTOMER UNLOADING.

INSTALLATION OF VELCRO REPLACEMENT INSERTS NOT INCLUDED.

4630 Navarre Avenue, Oregon, Ohio 43616

Phone: 419.351.5039



BOARD OF CONTROL REQUEST FORM

The Board of Control meeting is held on Wednesdays at 11:15 a.m. in Council Chambers.
(Meeting location, day and time is subject to change with advanced notice)

All requests must be received by no later than 10:00 a.m. on the Tuesdays prior to the meeting, or by 10:00 a.m. one day prior to the meeting when BOC is held on a day other than Wednesday.

<<< Answer all of the following questions for each request submitted >>>

1. Request Date: 1/14/26

2. Name of Department Submitting Request: Public Property

3 Summary of Report: A request from the Department of Public Property, Parks Division, for sports turf needed at the Pipeyard and Campana Park softball field by Maumee Bay Turf, Inc for an amount not to exceed \$9,471.00. A quote request to Field of Play went unanswered. There are no other local providers able to meet our needs.

4. Amount: \$9,471.00

5 Number of account to be used for funding: Campana Park Maintenance of Facilities, 1010.B200.4160.6400.2200

6. VENDOR DETAIL Maumee Bay Turf, Inc

Sole Source Vendor - no State Purchasing Vendor - no

List the names and the quote received from *at least* three vendors for the requested item; Or, if bids were submitted, use this area to list vendor names and bid amounts.

Vendor #1 Maumee Bay Turf, Inc \$9,471.00

Vendor #2 _____

Vendor #3 _____

Vendor #4 _____

7. The Treasurer's Office has verified that the vendor selected is registered with the City. Yes

8. Is the amount requested due to a change order? No

9. If necessary, has City Council approved and when? _____



CITY OF LORAIN

Board of Control

2. b.

Meeting Date: 01/22/2026

Subject:

A request from the Engineering Department to award to the lowest and best bidder, RMH Concrete & Foundations, Inc., the Removal and Replacement of Deficient Sidewalks around Helen Steiner Rice and Southview schools in the City of Lorain PID 120211 in the amount of \$390,366.90 plus a contingency in the amount of \$39,036.69 for a certified contract amount of \$429,403.59. Bids were also received from DL Smith Concrete, LLC. in the amount of \$393,903.05; Terminal Ready-Mix, Inc. in the amount of \$396,076.75; Perk Co, Inc. in the amount of \$543,873.00; and Smith Paving & Excavating, Inc. in the amount of \$399,569.80.

Attachments

Ordinance - SRTS 2026 Construction Agreement

Request Form - SRTS 2026 Construction Agreement

ORDINANCE NO. _____

AN ORDINANCE AUTHORIZING THE SAFETY/SERVICE DIRECTOR TO ENTER INTO A CONTRACT WITH RMH CONCRETE & FOUNDATIONS, INC. FOR THE PARTIAL REMOVAL AND REPLACEMENT OF SIDEWALKS AROUND HELEN STEINER RICE AND SOUTHVIEW SCHOOLS IN THE CITY OF LORAIN.

WHEREAS, this Council passed and adopted Resolution No. 26-23 thereby authorizing the Lorain Safety/Service Director to apply for, accept and enter into an agreement with the Ohio Department of Transportation (ODOT) for grant funding under the Safe Routes to School (SRTS) program; and,

WHEREAS, the City of Lorain was granted SRTS funding for improved pedestrian accommodations around schools in South Lorain; and,

WHEREAS, the City of Lorain Department of Engineering has completed the necessary engineering and construction planning and specifications for the road, as set forth in Exhibit A hereto; and,

WHEREAS, the City of Lorain has received a low bid in the amount of \$390,366.90 from RMH Concrete & Foundations, Inc.; and,

WHEREAS, the City of Lorain has secured Ohio Department of Transportation funding for one hundred percent (100%) of construction costs.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LORAIN, STATE OF OHIO:

SECTION I: That the Safety/Service Director, is hereby authorized to enter into a contract with RMH Concrete & Foundations, Inc. for the Partial Removal and Replacement of Sidewalks around Helen Steiner Rice and Southview schools in the City of Lorain for the bid amount. All work on the project shall be coordinated by the City of Lorain Department of Engineering in accordance with plans and specifications that will be on file in the office of the City of Lorain Engineer and subject to Board of Control approval, as required by law. This shall be awarded to the lowest and best bidder for the bid amount plus ten percent contingency.



BOARD OF CONTROL REQUEST FORM

The Board of Control meeting is held on Wednesdays at 11:15 a.m. in the 7th floor conference room.
(Meeting day and time is subject to change with advanced notice)

**All requests must be received by no later than 4:00 p.m. on the Mondays prior to the meeting,
or by 4:00 p.m. two days prior to the meeting when BOC is held on a day other than Monday.**

<<< Answer all of the following questions for each request submitted >>>

1. Request Date: January 14, 2026

2. Name of Department Submitting Request: Engineering Department

3. Summary of Report: A request from the Engineering Department to award to the lowest and best bidder, RMH Concrete & Foundations, Inc., the Removal and Replacement of Deficient Sidewalks around Helen Steiner Rice and Southview schools in the City of Lorain PID 120211 in the amount of \$390,366.90 plus a contingency in the amount of \$39,036.69 for a certified contract amount of \$429,403.59. Bids were also received from DL Smith Concrete, LLC. in the amount of \$393,903.05; Terminal Ready-Mix, Inc. in the amount of \$396,076.75; Perk Co, Inc. in the amount of \$543,873.00; and Smith Paving & Excavating, Inc. in the amount of \$399,569.80.

4. Name of Vendor: RMH Concrete & Foundations, Inc.

5. Amount: \$429,403.59 including contingencies

6. VENDOR DETAIL

Sole Source Vendor - No

State Purchasing Vendor - No

List the names and the quote received from *at least three vendors* for the requested item;
Or, if bids were submitted, use this area to list vendor names and bid amounts.

Vendor #1 DL Smith Concrete LLC. in the amount of \$433,293.36 w/10% contingency

Vendor #2 Terminal Ready Mix, Inc. in the amount of \$435,684.43 w/10% contingency

Vendor #3 Perk Co, Inc. in the amount of \$598,260.30 w/10% contingency

Vendor #4 **RMH Concrete and Foundations, Inc. in the amount of \$429,403.59 w/10% contingency**

Vendor #5 Smith Paving and Excavating, Inc. in the amount of \$439,526.78 w/10% contingency



**BOARD OF CONTROL
REQUEST FORM**

7. The Treasurer's Office has verified that the vendor selected is registered with the City. Yes

8. Is the amount requested due to a change order? No

9. If necessary, has City Council approved and when? Yes **-26 01/20/2026 and 26-23
02/06/2023



CITY OF LORAIN

Board of Control

2. c.

Meeting Date: 01/22/2026

Subject:

A request from the Lorain Utilities Department for a purchase order in the amount of \$92,179.00 with the Ohio Water Development Authority for the Pearl and Tacoma Pump Station Improvements OWDA Loan 11642 fee. Ordinance 110-25 was approved by city council on 9/2/25. Funding GL Account 6130.P613.6310.6300.1500 Plant Operations – Contractual Service.

Attachments

BOC - Utilities - OWDA 11642 Loan Fee - Pearl & Tacoma Pump Station Improvements
Pearl & Tacoma Pump Station Improvements Loan 11642 Fee
Ordinance 110-25



BOARD OF CONTROL REQUEST FORM

The Board of Control meeting is held on Wednesdays at 11:15 a.m. in the 7th floor conference room.
(Meeting day and time is subject to change with advanced notice)

All requests must be received by no later than 10:00 a.m. on the Tuesdays prior to the meeting, or by 10:00 a.m. one day prior to the meeting when BOC is held on a day other than Wednesday.

<<< Answer all of the following questions for each request submitted >>>

1. Request Date: 1/20/26
2. Name of Department Submitting Request: Lorain Utilities Department
3. Summary of Report: A request from the Lorain Utilities Department for a purchase order in the amount of \$92,179.00 with the Ohio Water Development Authority for the Pearl and Tacoma Pump Station Improvements OWDA Loan 11642 fee. Ordinance 110-25 was approved by city council on 9/2/25. Funding GL Account 6130.P613.6310.6300.1500 Plant Operations – Contractual Service.
4. Name of Vendor: Ohio Water Development Authority
5. Amount: \$92,179.00
6. Number of account to be used for funding: 6130.P613.6310.6300.1500

7. VENDOR DETAIL

Sole Source Vendor - Yes / **No**

State Purchasing Vendor - Yes / **No**

List the names and the quote received from *at least three vendors* for the requested item;
Or, if bids were submitted, use this area to list vendor names and bid amounts.

Vendor #1 _____

Vendor #2 _____

Vendor #3 _____

Vendor #4 _____

8. The Treasurer’s Office has verified that the vendor selected is registered with the City. Yes
9. Is the amount requested due to a change order? Yes / **No**
10. If necessary, has City Council approved and when? Ord. 110-25 9/2/25



**Water Development
Authority**

Mike DeWine, Governor
R. Gregory Browning, Chairman
Michael Fraizer, Executive Director

INVOICE

December 16, 2025

Joseph Carbonaro
Director of Utilities
Lorain
1106 W. 1st Street
Lorain, OH 44052

RE: 11642
Pearl and Tacoma Pump Station Improvements
Lorain
Loan Fee

Cooperative Agreement for Account 11642 dated October 30, 2025 states a charge for OWDA's administrative expenses based on a total project cost of \$26,336,817.11.

Amount Due: \$92,179.00

Please make check payable to the Ohio Water Development Authority and remit within 30 days to:

OHIO WATER DEVELOPMENT AUTHORITY
PO BOX 73514
CLEVELAND, OH 44193

A handwritten signature in black ink, appearing to read "Michael Fraizer".

Michael Fraizer
Executive Director

ORDINANCE NO. 110-25

AN ORDINANCE AUTHORIZING THE SAFETY/SERVICE DIRECTOR TO ENTER INTO A CONTRACT WITH THE LOWEST AND BEST BIDDER FOR THE REHABILITATION OF THE PEARL & TACOMA PUMP STATIONS.

WHEREAS, the City of Lorain has determined that the existing pump stations and associated equipment have reached their useful life and capacities. Each station needs expansion and upgrades to ensure flows are properly conveyed and treated at the Black River WWTP; and

WHEREAS, the public health, safety, and welfare will continue to be protected by completing this project; and

WHEREAS, the completion of this project will meet requirements set forth by the US EPA and Ohio EPA as they relate to the City of Lorain Capacity Assurance Plan (CAP) and Administrative Order of Consent (AOC).

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LORAIN, STATE OF OHIO:

SECTION 1: That, the Safety/Service Director, is hereby authorized to enter into a contract with the lowest and best bidder for the construction of improvements at the Pearl & Tacoma Pump Stations in the City of Lorain. All work on the project shall be coordinated by the City of Lorain Utilities Department in accordance with the plans and specifications on file in the Engineering Office and subject to the approval of the Board of Control of said City as required by law, said plans and specifications being incorporated herein.

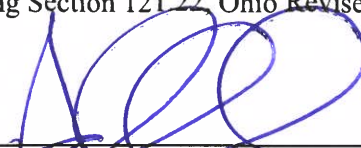
SECTION 2: That the cost of such services shall be paid for from proceeds received by the City of Lorain from a low interest loan from the Ohio Environmental Protection Agency WPCLF Loan Fund. The cost of construction services from the lowest and best bidder shall not exceed \$25,000,000.

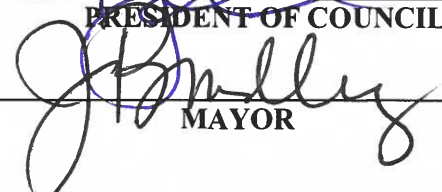
SECTION 3: That it is found and determined that all formal actions of this Council concerning and relating to the passage of this ordinance were adopted in an open meeting of this Council; and that all deliberations of this Council and of any of its committees that resulted in such formal actions were in meetings open to the public and in compliance with all legal requirements, including Section 121.22, Ohio Revised Code.

PASSED: September 2, 2025

ATTEST: Breanna Dull, CLERK

APPROVED: September 3, 2025



PRESIDENT OF COUNCIL


MAYOR



CITY OF LORAIN

City Council Regular Meeting

10. f.

Meeting Date: 09/02/2025

Submitted by: Joe Carbonaro, Utilities Director

AGENDA ITEM DESCRIPTION OR LEGISLATION TITLE:

AN ORDINANCE AUTHORIZING THE SAFETY/SERVICE DIRECTOR TO ENTER INTO A CONTRACT WITH THE LOWEST AND BEST BIDDER FOR THE REHABILITATION OF THE PEARL & TACOMA PUMP STATIONS.

PURPOSE AND BACKGROUND:

WHEREAS, the City of Lorain has determined that the existing pump stations and associated equipment have reached their useful life and capacities. Each station needs expansion and upgrades to ensure flows are properly conveyed and treated at the Black River WWTP; and

WHEREAS, the public health, safety, and welfare will continue to be protected by completing this project; and

WHEREAS, the completion of this project will meet requirements set forth by the US EPA and Ohio EPA as they relate to the City of Lorain Capacity Assurance Plan (CAP) and Administrative Order of Consent (AOC).

RECOMMENDATION TO COUNCIL:

Passage

Fiscal Impact

Funds Available in Current Year Budget (Y/N): N
Estimated Total Expenditure: 25,000,000
List of Funding Source and/or Account Number: WPCLF
Estimate of Incoming Revenue (fees, grants, etc.):
Financing Requirements (Bonds, Loans, Lease, etc.):
Work to be paid for through funding from the WPCLF Loan

Attachments

Ordinance

Form Review

Inbox	Reviewed By	Date
Carrion	Rey Carrion	08/26/2025 05:56 PM
Mayor Bradley	Jack Bradley	08/26/2025 07:15 PM
JKoziura	Joseph Koziura	08/26/2025 07:18 PM

P. Riley

Michele Beko

08/28/2025 09:02 AM

Form Started By: Joe Carbonaro

Started On: 08/15/2025 12:01 PM

Final Approval Date: 08/28/2025

VOTE ON PASSAGE					
	AYE	NAY		AYE	NAY
Springowski			Nutt	Absent	
Dimacchia			Moon		
DuVall			Arroyo		
Henley	Absent		Spellacy		
Kempton			Thornsberry		
Carter			Arredondo		



CITY OF LORAIN

Board of Control

2. d.

Meeting Date: 01/22/2026

Subject:

A request from the Lorain Utilities Department for approval of a purchase order with Pro-Tech Systems Group in the amount of \$9,432.00 for the annual cellular data for 17 sites. Funding GL Account 6130.P613.6310.6300.1500 Contractual Service.

Attachments

BOC - Utilities - Protech - Annual Cellular Data

Invoice - Utilities - Protech - Annual Cellular Data



BOARD OF CONTROL REQUEST FORM

The Board of Control meeting is held on Wednesdays at 11:15 a.m. in the 7th floor conference room.
(Meeting day and time is subject to change with advanced notice)

All requests must be received by no later than 2:00 p.m. on the Mondays prior to the meeting, or by 2:00 p.m. two days prior to the meeting when BOC is held on a day other than Wednesday.

<<< Answer all of the following questions for each request submitted >>>

- 1. Request Date: 1/20/26
- 2. Name of Department Submitting Request: Lorain Utilities Department
- 3. Summary of Report: A request from the Lorain Utilities Department for approval of a purchase order with Pro-Tech Systems Group in the amount of \$9,432.00 for the annual cellular data for 17 sites. Funding GL Account 6130.P613.6310.6300.1500 Contractual Service.
- 4. Name of Vendor: Pro-Tech
- 5. Amount: \$9,432.00
- 6. Number of account to be used for funding: 6130.P613.6310.6300.1500

7. VENDOR DETAIL

Sole Source Vendor - Yes / No State Purchasing Vendor - Yes / No

List the names and the quote received from *at least three vendors* for the requested item;
Or, if bids were submitted, use this area to list vendor names and bid amounts.

Vendor #1 _____

Vendor #2 _____

Vendor #3 _____

Vendor #4 _____

- 8. The Treasurer's Office has verified that the vendor selected is registered with the City. Yes
- 9. Is the amount requested due to a change order? Yes / **No**
- 10. If necessary, has City Council approved and when? _____



Pro-Tech Systems Group
 123 E. Waterloo Rd.
 Akron, OH 44319
 (330) 773-9828 Fax: 330-773-9928

Invoice No: 15485
Invoice Date: 1/20/2026
Due Date: 2/19/2026

Bill To:
 CITY OF LORAIN (BLACK RIVER W'
 100 ALABAMA AVE
 LORAIN, OH 44052

INVOICE

Job No: 226029
Description: LorainBlac 2026 Cellular Data
PO #: Cell Data

Quantity	Description	Unit Price	Extended Price
1.00	Cellular Data - 1/1/2026 to 12/31/2026 17 sites @ \$42 per site x 12 months Beaver Creek, Beaver Park, Brown Helm, Bulk Water, Colorado, Idaho Booster, Idaho Tank, Jaeger, Kansas, Kay, Martins Run, Root Rd RTU, Screens Building, Spitzer, Tacoma, Tunnel Pump Station, Tunnel Screens Building 1 site @ \$72 per site x 12 months Plant Modem	9,432.00	9,432.00

Terms: Net 30

Amount Now Due: 9,432.00

Remit to: Pro-Tech Systems Group, Inc.
 123 E. Waterloo Rd.
 Akron, OH 44319

Thank You For Your Business!



CITY OF LORAIN

Board of Control

2. e.

Meeting Date: 01/22/2026

Subject:

A request from the Building, Housing & Planning Department to renew annual contractual services with F & B Engineering, Inc. for commercial & residential plan reviews, back-up chief building official and inspector services as required by the State of Ohio Board of Building Standards for an amount not to exceed \$10,000.00. Funds will be appropriated from G/L Account #1010.S900.6300.1500 Building Inspection-Contractual Service.

Attachments

Request Form



BOARD OF CONTROL REQUEST FORM

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<<< Answer all of the following questions for each request submitted >>>

1. Request Date:
2. Name of Department Submitting Request:
3. Summary of Report:
4. Name of Vendor:
5. Amount: \$
6. Number of account to be used for funding:
7. VENDOR DETAIL
Sole Source Vendor - Yes No State Purchasing Vendor - Yes No

List the names and the quote received from *at least* three vendors for the requested item;
Or, if bids were submitted, use this area to list vendor names and bid amounts.

Vendor #1 _____

Vendor #2 _____

Vendor #3 _____

Vendor #4 _____

8. The Treasurer's Office has verified that the vendor selected is registered with the City. Yes No
9. Is the amount requested due to a change order? Yes No
10. If necessary, has City Council approved and when? (Please provide Ordinance number) _____



CITY OF LORAIN

Board of Control

2. f.

Meeting Date: 01/22/2026

Subject:

A request from the Building, Housing & Planning Department to renew annual contractual services with Mark S. Wagner, Inc. for commercial & residential plan reviews and back-up CBO and inspector services as required by the State of Ohio Board of Building Standards for an amount not to exceed \$10,000.00 Funds will be appropriated from G/L account 1010.S900.6300.1500 Building Inspection-Contractual Service.

Attachments

Request Form



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<<< Answer all of the following questions for each request submitted >>>

1. Request Date:
2. Name of Department Submitting Request:
3. Summary of Report:
4. Name of Vendor:
5. Amount: \$
6. Number of account to be used for funding:
7. VENDOR DETAIL
Sole Source Vendor - Yes No State Purchasing Vendor - Yes No

List the names and the quote received from *at least* three vendors for the requested item;
Or, if bids were submitted, use this area to list vendor names and bid amounts.

Vendor #1 _____

Vendor #2 _____

Vendor #3 _____

Vendor #4 _____

8. The Treasurer's Office has verified that the vendor selected is registered with the City. Yes No
9. Is the amount requested due to a change order? Yes No
10. If necessary, has City Council approved and when? (Please provide Ordinance number) _____



CITY OF LORAIN

Board of Control

2. g.

Meeting Date: 01/22/2026

Subject:

A request from the Building, Housing & Planning Department to renew the annual subscription with CommonGoals Software for the loan management software and support services used to manage loans held by the department for an amount not to exceed \$7,000.00. Funds will be appropriated from G/L account 2290.R225.7110.6300.1500 UDAG-Public Facility-Contractual Service.

Attachments

Request Form



BOARD OF CONTROL REQUEST FORM

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<<< Answer all of the following questions for each request submitted >>>

1. Request Date:
2. Name of Department Submitting Request:
3. Summary of Report:
4. Name of Vendor:
5. Amount: \$
6. Number of account to be used for funding:
7. VENDOR DETAIL
Sole Source Vendor - Yes No State Purchasing Vendor - Yes No

List the names and the quote received from *at least* three vendors for the requested item;
Or, if bids were submitted, use this area to list vendor names and bid amounts.

Vendor #1 _____

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Vendor #4 _____

8. The Treasurer's Office has verified that the vendor selected is registered with the City. Yes No
9. Is the amount requested due to a change order? Yes No
10. If necessary, has City Council approved and when? (Please provide Ordinance number) _____



CITY OF LORAIN

Board of Control

2. h.

Meeting Date: 01/22/2026

Subject:

The Building, Housing and Planning Department (BHP) requests approval for an Essential Home Repair loan in the amount of \$11,247.00 to replace the roof and gutters at 3828 Dallas Ave. for Edward Ramos.

Happy Homes Improvements Co. LLC submitted the most complete and cost-effective estimate for the scope of work to be completed for \$10,225.00. The total funds requested, including a 10% contingency of \$1,022.00, is \$11,247.00.

Additional estimates received were from Eiffel Builders for \$16,800.00 and Moore Integrity for \$13,800.00. The additional estimate amounts do not include the 10% contingency.

The work will be paid out of the Block Grant Home Repair funds, account number 2260.R.226.7130.6400.6100 and is contingent on compliance with other federal requirements, including environmental reviews.

Attachments

Ramos BOC Packet



**BOARD OF CONTROL
REQUEST FORM**

The Board of Control meeting is held on Wednesdays at 11:15 a.m. in Council Chambers.
(Meeting location, day and time is subject to change with advanced notice)

All requests must be received by no later than 10:00 a.m. on the Tuesdays prior to the meeting, or by 10:00 a.m. one day prior to the meeting when BOC is held on a day other than Wednesday.

<<< Answer all of the following questions for each request submitted >>>

- 1. Request Date: 1/16/26
- 2. Name of Department Submitting Request: Building, Housing, & Planning
- 3. Summary of Report: BHP requests approval for roof replacement for Edward Ramos, residing at 3828 Dallas Ave.
- 4. Name of Vendor: Happy Homes Improvements Co. LLC
- 5. Amount: \$ 11,247.00
- 6. Number of account to be used for funding: CDBG-Rehab-Contractual 2260.R226.7130.6300.1500

7. VENDOR DETAIL
Sole Source Vendor - Yes No State Purchasing Vendor - Yes No

List the names and the quote received from *at least* three vendors for the requested item; Or, if bids were submitted, use this area to list vendor names and bid amounts.

- Vendor #1 Eiffel Builders (\$16,800.00)
- Vendor #2 Moore Integrity (\$13,800.00)
- Vendor #3 Happy Homes Imp. Co. LLC (\$10,225.00)
- Vendor #4 _____

- 8. The Treasurer's Office has verified that the vendor selected is registered with the City. Yes No
- 9. Is the amount requested due to a change order? Yes No
- 10. If necessary, has City Council approved and when? (Please provide Ordinance number) n/a



Jack Bradley
Mayor

Matthew Kusznr
Director

David Faciana
Chief Building Official

CITY OF LORAIN

Department of Building, Housing & Planning

Date: 1/16/26

Home Repair Program Recommendation

The City of Lorain’s Building, Housing and Planning Department’s Housing Rehab Administrator conducted a site visit for a **Roof and Gutter Replacement on 8-05-2025**, at the home of **Edward Ramos at 3828 Dallas Ave.** The current roof has signs of age and deterioration. There is a need for wood replacement around the fascias as well as the roof in general. The chimney is to be removed down to the roof decking and replaced with a Galvanized metal cap and flue pipe termination assembly. Chimney is in bad shape and falling apart. The front porch roof is attached to this and requires the same attention. Gutters and Downspouts to be replaced as well. The home qualifies for repairs under the Essential Home Repair Program.

Lead assessment: Lead **was not** located in the work area or outside perimeter.

Based on the submitted estimates, the Housing Rehab Administrator recommends **Happy Homes Improvements Co. LLC** as the company that submitted the most complete and responsive bid based on the scope released by the Building, Housing and Planning.

Quote Submissions:

Contractor	Labor Warranty	Estimate	Extended Labor Warranty Option <small>*at homeowner’s expense*</small>
EIFFEL BUILDERS	5 YEARS / Limited Life on Material	\$ 16,800.00	3 YRS at \$ 860.00 on Labor
HAPPY HOMES IMPROVEMENTS Co LLC	5 YEARS / Limited Life on Material	\$ 10,225.00	5 YRS free from manufacturer
MOORE INTEGRITY	5 Years / Limited Life on Material	\$ 13,800.00	3 Yrs at \$ 300.00 on Labor

CITY OF LORAIN ESTIMATED ----- \$ 11,520.00



Jack Bradley
Mayor

CITY OF LORAIN

Department of Building, Housing & Planning

Matthew Kuszniir
Director

David Faciana
Chief Building Official

Note

- This includes Gutters and Downspouts to be replaced.
- Building, Housing and Planning will keep the homeowner's acceptance or denial of the extended warrantee on file.

City of Lorain

200 W Erie Avenue

Lorain, Ohio 44052

Phone: 440-204-2020



Work Write-Up

Case#: **HFH3828**
Job Total: \$ 16,800.00

Property Information

Bid Closing Date: _____
Bid Opening Date: _____

Owner Information

Edward Ramos
3828 Dallas Ave

Lorain
Ohio 44055

📞 **440-387-9675**

Contractor Information

Name: Eiffel Builders
Address: 6846 Independence Blvd. N Ridgeville
Voice: 216-808-0086
Fax: _____
Email: eiffelbuilders22@gmail.com

Main Structure - Roof Replacement | Single Family - Roof Replacement | Roof - Roof Replacement | Roof - Roof Replacement

S.No	WorkItem Code	Units	Unit Type	Cost Factor	Priority	Item Cost
1	0070010010	7.00	SQU	1.20	-	\$ _____

Task: Tear Off Roof and Install New

LEAD WAS DETECTED AROUND ROOFLINE AND FACIA
LEAD SAFE PRACTICES TO BE ENFORCED ENCLOSE OR ENCAPSULATE

ROOF REPLACEMENT :

*** WARRANTY ON LABOR TO BE QUOTED AS FOLLOWS FOR THIS SCOPE : LABOR TO BE QUOTED AT 5 YEARS AND MATERIAL TO BE QUOTED AT MINIMAL 30 YEARS ***

Remove existing roofing, haul, and dispose of old roofing materials. Use a magnet to do a sweep for nails on the ground during clean up. Contractor responsible for any house, yard, driveway, or sidewalk damage to property caused by them while work is to be done.

**** We are looking to re-sheet the entire roof.** From a visual look at the roof there appears to be some areas that show imperfections. Rather than piece the roof in spots, **quote this as re-sheeting over top of the existing wood when roof is stripped.**

Disregard Line Item below:

- Check sheathing and report damage. Submit a price per Linear Foot for replacement of decking if it is determined that bad sections of wood is found during tear off. **Note: If there is damaged wood or issues, the Housing Rehab Administrator needs to be notified at the time of findings. Pictures will need to be taken and an estimate on the repair will need to be submitted on a Change order and signed by the Homeowner once approved by the Administrator.**

Install drip edge on all edges.

Use Ice Barrier, self-adhering polymer modified bitumen sheet (ICE GUARD) shall be used in place of normal underlayment and extend from the lowest edges of all roof surfaces to a point at least 24" the exterior of the building.

Use Limited Lifetime Warranty Class A Dimensional Shingle, minimum 110MPH wind resistance, AR laminate shingle or equal. 3 Tab Shingles are not Permitted. To be nailed with at least four (4) nails per shingle, no staples. Install 5-7/8" exposure to the weather, and in compliance with the manufacturers written instructions.

Install a Ridge Vent for proper ventilation of attic. There is Gable Vents on both ends of the house for adequate air flow.

Replace all flashing and valleys if the existing roof currently has them installed and (use "W" or "V" formed Galvanized Metal and/or Laced Valleys).

Warranty certificates are to be given to homeowner (copy to inspector). Care to be taken to protect neighboring, surrounding and homeowner's property.

NOTE FOR THE PORCH PORTION : strip old shingles off of porch roof and install new 7/16" Sheeting over existing sheathing there. This is approx. 60 sq ft. Want the porch roof to be tight. 1" x 6" Treated lumber to be added in the gutter and downspout scope to the front portion.

NOTE: Install new 1" x 6 Treated Facia wood where all gutters are to be installed. The way existing gutters are currently hanging, it may be missing in some areas that's making it not hang properly. This will consist of approx. 72' of Facia.

Note:

Low Slope (2" in 12" to less than 4" in 12"). Apply Ice Barrier starter strip at underlayment over drip edge at eaves. Use only enough fasteners to hold in place.

The material specified will be the **SBS - Self Adhering Cap Sheet Roll**. This is the Roofing Material of choice for quoting purposes.

Note: Permits and inspections Required (Ice Guard, Drip Edge, Flashings etc. Before Shingles) Then after Completion



****Include additional documents for cost of 3 year extended labor warranty (if offered). Submit cost separate from the quote as it will be at homeowner's expense should they chose to purchase the warranty.****

Review Specs and Job Requirements Below:

JOB DESCRIPTION & STANDARDS

- Garage roofs and gutter systems are permitted to be replaced under this program ONLY if they are ATTACHED to the house
- All materials installed shall be compliant with manufacturer recommendations
- Permits shall be pulled with the Lorain Building Dept., prior to starting the job (include permit fee in submitted bid)
- Jobsite is to be kept clean and neat, Landscaping should be covered with a tarp and property swept magnetically
- Contractor responsible for hauling away all material and dumpster placement must comply with City Ordinance
- Gutters are to be installed using hidden fasteners or gutter screws, Gutter spikes CANNOT be used.
- Any damages that occur during the work of the project will be the responsibility of the contractor to fix or pay for
- Contractor is responsible for communicating with the homeowner the start day within 1 week of receiving the P.O.
- Change order shall be filed with BHP Staff before the contractor will be compensated for any "unforeseen" work
- All shall work be compliant with all applicable building codes and City of Lorain Ordinances

S.No	WorkItem Code	Unit	Unit Type	Cost Factor	Priority	Item Cost
2	0070030020	140.00	LF	1.00	-	\$ _____

Task: Install New Gutters

GUTTERS and DOWNSPOUTS :

Install 5", K type, seamless, .027 aluminum gutter, downspout, concrete splash blocks and accessories to service entire dwelling. Ensure gutters have proper fall to prevent standing water. Install downspouts at each corner and major offset with straps 3' on center. Splash blocks to be installed so as to divert water away from house. Install per manufacturers instructions. Color choice by owner.

Front Porch Area : Install a new gutter on the front porch roof. This would consist of both sides and front. Install 1 down spout to serve the porch gutters. Once down spout is set, a splash block shall be in place. Before gutters are installed, wrap treated 1"x 6" lumber on both sides of the porch and the front fascia. Currently there is nothing there for the gutters to be supported properly (this was also included in the roof scope). Just wanted to make sure it was included in the scope of work with either the roof or gutter portion.



Main Structure - Roof Replacement | Single Family - Roof Replacement | Roof - Roof Replacement | Roof - Chimney Repair

S.No	WorkItem Code	Units	Unit Type	Cost Factor	Priority	Item Cost
3	0070030160	1.00	EA	1.20	-	\$ _____

Task: Repair Chimney

CHIMNEY REPLACEMENT AT THE ROOF LINE :

The chimney needs to be redone from the base of the roof. We will remove the chimney below the roof and replace it with a Chimney Liner, A new Flashing, 6" B' Venting and a termination cap. The only thing that this chimney is serving is a wood burner in the living room. Bring the chimney liner down the chimney and connect it to wood burner exhaust flue piping. Close in the roof opening enough to allow a sheet metal flashing to set with the new termination connection. Flash properly around roof flashing.



Job Total Cost: \$ 16,800.00



ROOF REPLACEMENT & EXTERIOR IMPROVEMENTS PROPOSAL

Project: Roof Replacement, Porch Roof, Gutters & Chimney Repair

Property Owner: Edward Ramos

Property Address: 3828 Dallas Ave, Lorain, OH 44055

City Case #: HFH3828

Prepared By: Eiffel Builders Inc.

Prepared For: City of Lorain – Housing Rehabilitation Program

Date: 12 December 2025

HFH WORK ITEM CODE – LINE-ITEM BREAKDOWN

A. MAIN ROOF REPLACEMENT

HFH Code	Description	Qty	Unit	Cost
0070030020	Remove existing shingles, haul, disposal (Lead Safe)	1	LS	\$1,650.00
0070030100	Remove & replace roof decking (plywood sheathing)	1,100	SF	\$2,750.00
0070030200	Ice & Water Shield (ICE GUARD)	1	LS	\$650.00
0070030300	Synthetic Underlayment	1	LS	\$450.00
0070030400	Install Architectural Lifetime Shingles	11	SQ	\$3,520.00
0070030500	Install Drip Edge – all edges	160	LF	\$640.00
0070030520	Install Ridge Vent	40	LF	\$240.00
0070030540	Flashing & Valley Metal	1	LS	\$500.00
SUBTOTAL – MAIN ROOF:				\$9,850.00

B. PORCH ROOF (5' × 13' ≈ 65 SF)

HFH Code	Description	Qty	Unit	Cost
0070030025	Tear-off porch roof shingles	1	LS	\$300.00
0070030120	Install 7/16" OSB sheathing	65	SF	\$292.50
0070030200	Ice barrier & underlayment	1	LS	\$185.00
0070030400	Install architectural shingles	1	LS	\$522.50
SUBTOTAL – PORCH ROOF: \$1,300.00				

C. FASCIA BOARD REPLACEMENT

HFH Code	Description	Qty	Unit	Cost
0070020800	Replace Fascia – Treated 1"x6"	72	LF	\$720.00
0070020800	Wrapping fascia with new coil aluminum	72	LF	\$950.00
SUBTOTAL – FASCIA: \$1,670.00				

D. GUTTERS & DOWNSPOUTS

HFH Code	Description	Qty	Unit	Cost
0070050500	Install 5" K-Style seamless aluminum gutters	140	LF	\$1,190.00
0070050700	Downspouts, straps, splash blocks	1	LS	\$490.00
SUBTOTAL – GUTTERS: \$1,980.00				

E. CHIMNEY REPLACEMENT AT ROOF LINE

HFH Code	Description	Qty	Unit	Cost
0070030160	Remove chimney below roof line	1	EA	\$450.00

HFH Code	Description	Qty	Unit	Cost
0070030620	Install new liner, flashing, termination cap	1	EA	\$400.00
0070030640	Roof close-in + waterproofing	1	EA	\$600.00
SUBTOTAL – CHIMNEY: \$2,350.00				

F. VINYL SOFFIT INSTALLATION (95 SF)

HFH Code	Description	Qty	Unit	Cost
0070020600	Install vinyl soffit (vented)	95	SF	\$1,250.00
SUBTOTAL – SOFFIT: \$1,950.00				

TOTAL PROJECT COST (HFH CODED): \$16,800.00

WARRANTY

- **Labor Warranty: 5 Years**
- **Material Warranty: Manufacturer Limited Lifetime (Architectural Shingles)**
- **Optional 3-Year Extended Labor Warranty available at additional cost of \$860 (if requested by homeowner)**

Work Write-Up

Case# HFH3828
Job Total \$ 13,000

Bid Closing Date: _____
Bid Opening Date: _____

Owner Information

Edward Ramos
3828 Dallas Ave

Lorain
Ohio 44055

440-387-9675

Contractor Information

Name: Moore Fidelity
Address: 3736 E 91st Cleveland
Voice: 904-423-9990
Fax: _____
Email: Mike.Chapman@moore06mail.com

Main Structure - Roof Replacement | Single Family - Roof Replacement | Roof - Roof Replacement | Roof - Roof Replacement

Item	Work Item Code	Units	Unit Type	Cost Factor	Priority	Item Cost
1	00000000	1.00	1.00	1.00		8,500

Task: Tear Off Roof and Install New

**LEAD WAS DETECTED AROUND ROOFLINE AND FACIA
LEAD SAFE PRACTICES TO BE ENFORCED: ENCLOSE OR ENCAPSULATE**

ROOF REPLACEMENT:

WARRANTY ON LABOR TO BE QUOTED AS FOLLOWS FOR THIS SCOPE: LABOR TO BE QUOTED AT 5 YEARS AND MATERIAL TO BE QUOTED AT MINIMAL 30 YEARS

Remove existing roofing, haul, and dispose of old roofing materials. Use a magnet to do a sweep for nails on the ground during clean up. Contractor responsible for any house, yard, driveway, or sidewalk damage to property caused by them while work is to be done.

**** We are looking to re-sheet the entire roof.** From a visual look at the roof there appears to be some areas that show imperfections. Rather than piece the roof in spots, **quote this as re-sheeting over top of the existing wood when roof is stripped.**

Disregard Line Item below:

- Check sheathing and report damage. Submit a price per Linear Foot for replacement of decking if it is determined that bad sections of wood is found during tear off. **Note: If there is damaged wood or issues, the Housing Rehab Administrator needs to be notified at the time of findings. Pictures will need to be taken and an estimate on the repair will need to be submitted on a Change order and signed by the Homeowner once approved by the Administrator.**

Install drip edge on all edges

Use Ice Barner, self-adhering polymer modified bitumen sheet (ICE GUARD) shall be used in place of normal underlayment and extend from the lowest edges of all roof surfaces to a point at least 24" the exterior of the building.

Use **Limited Lifetime Warranty Class A Dimensional Shingle, minimum 110MPH wind resistance, AR laminate shingle or equal 3 Tab Shingles are not permitted.** To be nailed with at least four (4) nails per shingle, no staples. Install 5-7/8" exposure to the weather, and in compliance with the manufacturer's written instructions

Install a **Edge Vent** for proper ventilation of attic. There is Gable Vents on both ends of the house for adequate air flow

Replace all flashing and valleys if the existing roof currently has them installed and (use "W" or "V" formed Galvanized Metal and/or Laced Valleys)

Warranty certificates are to be given to homeowner (copy to inspector). Care to be taken to protect neighboring, surrounding and homeowner's property

NOTE FOR THE PORCH PORTION: strip old shingles off of porch roof and install new 7/16" Sheeting over existing sheathing there. This is approx. 60 sq ft. Want the porch roof to be tight. 1" x 6" Treated lumber to be added in the gutter and downspout scope to the front portion.

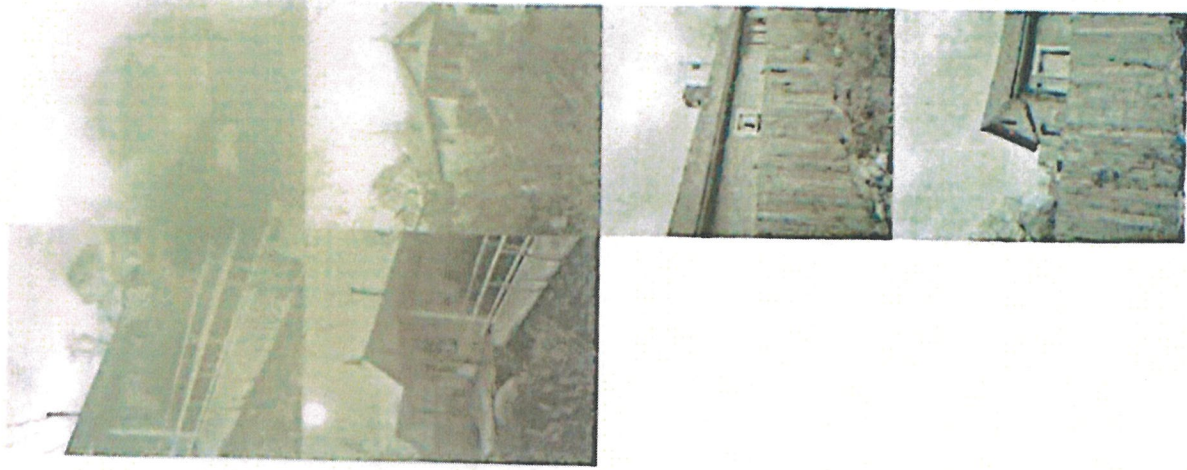
NOTE: install new 1" x 6" Treated Facia wood where all gutters are to be installed. The way existing gutters are currently hanging, it may be missing in some areas that's making it not hang properly. This will consist of approx. 72' of Facia

Note:

Low Slope (2" in 12" to less than 4" in 12"): Apply Ice Barner starter strip at underlayment over drip edge at eaves. Use only enough fasteners to hold in place.

The material specified will be the **SBS - Self Adhering Cap Sheet Roll**. This is the Roofing Material of choice for quoting purposes.

Note: Permits and Inspections Required (Ice Guard, Drip Edge, Flashings etc. Before Shingles) Then after Completion



"Include additional documents for cost of 3 year extended labor warranty (if offered). Submit cost separate from the quote as it will be at homeowner's expense should they chose to purchase the warranty."

Review Specs and Job Requirements Below:

JOB DESCRIPTION & STANDARDS						
<ul style="list-style-type: none"> Garage roofs and gutter systems are permitted to be replaced under this program ONLY if they are ATTACHED to the house All materials installed shall be compliant with manufacturer recommendations Permits shall be pulled with the Losan Building Dept. prior to starting the job (include permit fee in submitted bid) Jobsite is to be kept clean and neat. Landscaping should be covered with a tarp and property swept magnetically Contractor responsible for hauling away all material and dumpster placement must comply with City Ordinance Gutters are to be installed using hidden fasteners or gutter screws. Gutter spikes CANNOT be used. Any damages that occur during the work of the project will be the responsibility of the contractor to fix or pay for Contractor is responsible for communicating with the homeowner the start day within 1 week of receiving the P.O. Change order shall be filed with BIP Staff before the contractor will be compensated for any "unforeseen" work All shall meet or exceed all applicable building codes and City of Losan Ordinances 						
Main Structure - Roof Replacement Single Family - Roof Replacement Roof - Roof Replacement Roof - Gutters and Downspouts						
ATTENTION: BIP is not responsible for any errors in the data above. Contractor must perform their own inspection to determine material quantities and scope of work.						
S.No	Workitem Code	Unit	Unit type	Cost Factor	Priority	Item Cost
2	0070030020	140.00	LF	1.00		\$2700

Task: Install New Gutters

GUTTERS and DOWNSPOUTS

Install 5", K type, seamless, .027 aluminum gutter, downspout, concrete splash blocks and accessories to service entire dwelling. Ensure gutters have proper fall to prevent standing water. Install downspouts at each corner and major offset with straps 3' on center. Splash blocks to be installed so as to divert water away from house. Install per manufacturers instructions. Color choice by owner

Front Porch Area : Install a new gutter on the front porch roof. This would consist of both sides and front. Install 1 down spout to serve the porch gutters. Once down spout is set, a splash block shall be in place. Before gutters are installed, wrap treated 1"x 6" lumber on both sides of the porch and the front fascia. Currently there is nothing there for the gutters to be supported properly (this was also included in the roof scope). Just wanted to make sure it was included in the scope of work with either the roof or gutter portion.

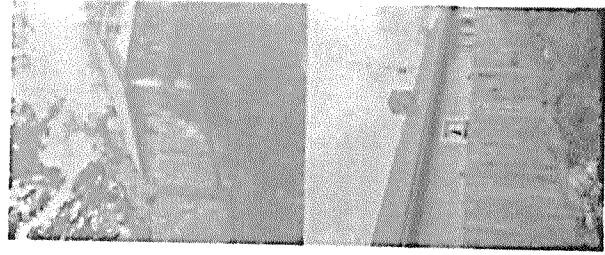


Main Structure - Roof Replacement | Single Family - Roof Replacement | Roof - Roof Replacement | Roof - Chimney Repair

Units	Unit Type	Cost Factor	Priority	Item Cost
1.00	EA	1.20	.	300

AT THE ROOF LINE :

At the base of the roof, We will remove the chimney below the roof and replace it with a Chimney Liner, A new Flashing, 6" diameter. The only thing that this chimney is serving is a wood burner in the living room. Bring the chimney liner down the chimney and terminate it at the base of the chimney. Close in the roof opening enough to allow a sheet metal flashing to set with the new termination connection.



Job Total Cost: \$ 13,800

City of Lorain

200 W Erie Avenue

Lorain, Ohio 44052

Phone: 440-204-2020



Work Write-Up

Case#: **HFH3828**

Job Total: \$ 10,225.00

Property Information

Bid Closing Date: _____
Bid Opening Date: _____

Owner Information

Edward Ramos
3828 Dallas Ave

Lorain
Ohio 44055

📞 **440-387-9675**

Contractor Information

Name: Happy Homes Improvement Co. LLC
Address: 5404 Mardale, Bedford OH 44146
Voice: 470-714-1561
Fax: _____
Email: contact@happyhomesroofing.com

Main Structure - Roof Replacement | Single Family - Roof Replacement | Roof - Roof Replacement | Roof - Roof Replacement

S.No	WorkItem Code	Units	Unit Type	Cost Factor	Priority	Item Cost
1	0070010010	7.00	SQU	1.20	-	\$ 5,225.00

Task: Tear Off Roof and Install New

LEAD WAS DETECTED AROUND ROOFLINE AND FACIA
LEAD SAFE PRACTICES TO BE ENFORCED ENCLOSE OR ENCAPSULATE

ROOF REPLACEMENT :

*** WARRANTY ON LABOR TO BE QUOTED AS FOLLOWS FOR THIS SCOPE : LABOR TO BE QUOTED AT 5 YEARS AND MATERIAL TO BE QUOTED AT MINIMAL 30 YEARS ***

Remove existing roofing, haul, and dispose of old roofing materials. Use a magnet to do a sweep for nails on the ground during clean up. Contractor responsible for any house, yard, driveway, or sidewalk damage to property caused by them while work is to be done.

**** We are looking to re-sheet the entire roof.** From a visual look at the roof there appears to be some areas that show imperfections. Rather than piece the roof in spots, **quote this as re-sheeting over top of the existing wood when roof is stripped.**

Disregard Line Item below:

- Check sheathing and report damage. Submit a price per Linear Foot for replacement of decking if it is determined that bad sections of wood is found during tear off. **Note: If there is damaged wood or issues, the Housing Rehab Administrator needs to be notified at the time of findings. Pictures will need to be taken and an estimate on the repair will need to be submitted on a Change order and signed by the Homeowner once approved by the Administrator.**

Install drip edge on all edges.

Use Ice Barrier, self-adhering polymer modified bitumen sheet (ICE GUARD) shall be used in place of normal underlayment and extend from the lowest edges of all roof surfaces to a point at least 24" the exterior of the building.

Use Limited Lifetime Warranty Class A Dimensional Shingle, minimum 110MPH wind resistance, AR laminate shingle or equal. 3 Tab Shingles are not Permitted. To be nailed with at least four (4) nails per shingle, no staples. Install 5-7/8" exposure to the weather, and in compliance with the manufacturers written instructions.

Install a Ridge Vent for proper ventilation of attic. There is Gable Vents on both ends of the house for adequate air flow.

Replace all flashing and valleys if the existing roof currently has them installed and (use "W" or "V" formed Galvanized Metal and/or Laced Valleys).

Warranty certificates are to be given to homeowner (copy to inspector). Care to be taken to protect neighboring, surrounding and homeowner's property.

NOTE FOR THE PORCH PORTION : strip old shingles off of porch roof and install new 7/16" Sheeting over existing sheeting there. This is approx. 60 sq ft. Want the porch roof to be tight. 1" x 6" Treated lumber to be added in the gutter and downspout scope to the front portion.

NOTE: Install new 1" x 6 Treated Facia wood where all gutters are to be installed. The way existing gutters are currently hanging, it may be missing in some areas that's making it not hang properly. This will consist of approx. 72' of Facia.

Note:

Low Slope (2" in 12" to less than 4" in 12"). Apply Ice Barrier starter strip at underlayment over drip edge at eaves. Use only enough fasteners to hold in place.

The material specified will be the **SBS - Self Adhering Cap Sheet Roll.** This is the Roofing Material of choice for quoting purposes.

Note: Permits and inspections Required (Ice Guard, Drip Edge, Flashings etc. Before Shingles) Then after Completion



****Include additional documents for cost of 3 year extended labor warranty (if offered). Submit cost separate from the quote as it will be at homeowner's expense should they chose to purchase the warranty.****

Review Specs and Job Requirements Below:

JOB DESCRIPTION & STANDARDS

- Garage roofs and gutter systems are permitted to be replaced under this program ONLY if they are ATTACHED to the house
- All materials installed shall be compliant with manufacturer recommendations
- Permits shall be pulled with the Lorain Building Dept. prior to starting the job (include permit fee in submitted bid)
- Jobsite is to be kept clean and neat. Landscaping should be covered with a tarp and property swept magnetically
- Contractor responsible for hauling away all material and dumpster placement must comply with City Ordinance
- Gutters are to be installed using hidden fasteners or gutter screws. Gutter spikes CANNOT be used.
- Any damages that occur during the work of the project will be the responsibility of the contractor to fix or pay for
- Contractor is responsible for communicating with the homeowner the start day within 1 week of receiving the P.O.
- Change order shall be filed with BHP Staff before the contractor will be compensated for any "unforeseen" work
- All work shall be compliant with applicable building codes and City of Lorain Ordinances

Main Structure - Roof Replacement Single Family - Roof Replacement Roof - Roof Replacement Roof - Gutters and Downspouts						
S.No	WorkItem	Unit	Unit Type	Cost Factor	Priority	Item Cost
2	0070030020	140.00	LF	1.00	-	\$ 2000.00

Task: Install New Gutters

GUTTERS and DOWNSPOUTS :

Install 5", K type, seamless, .027 aluminum gutter, downspout, concrete splash blocks and accessories to service entire dwelling. Ensure gutters have proper fall to prevent standing water. Install downspouts at each corner and major offset with straps 3' on center. Splash blocks to be installed so as to divert water away from house. Install per manufacturers instructions. Color choice by owner.

Front Porch Area : Install a new gutter on the front porch roof . This would consist of both sides and front. Install 1 down spout to serve the porch gutters. Once down spout is set, a splash block shall be in place. Before gutters are installed, wrap treated 1"x 6" lumber on both sides of the porch and the front facia. Currently there is nothing there for the gutters to be supported properly (this was also included in the roof scope). Just wanted to make sure it was included in the scope of work with either the roof or gutter portion.



Main Structure - Roof Replacement | Single Family - Roof Replacement | Roof - Roof Replacement | Roof - Chimney Repair

S.No	WorkItem Code	Units	Unit Type	Cost Factor	Priority	Item Cost
3	0070030160	1.00	EA	1.20	-	\$ 3000.00

Task: Repair Chimney

CHIMNEY REPLACEMENT AT THE ROOF LINE :

The chimney needs to be redone from the base of the roof. We will remove the chimney below the roof and replace it with a Chimney Liner, A new Flashing, 6" B' Venting and a termination cap. The only thing that this chimney is serving is a wood burner in the living room. Bring the chimney liner down the chimney and connect it to wood burner exhaust flue piping. Close in the roof opening enough to allow a sheet metal flashing to set with the new termination connection. Flash properly around roof flashing.



Job Total Cost: \$ 10,225.00



CITY OF LORAIN

Board of Control

2. i.

Meeting Date: 01/22/2026

Subject:

The Building, Housing and Planning Department (BHP) requests approval for an Essential Home Repair loan in the amount of \$11,277.00 to replace the porch at 304 W. 32 nd St., for Patricia Blakely.

G.I.D. Construction submitted the most complete and cost-effective estimate for the scope of work to be completed for \$10,252.00. The total funds requested, including a 10% contingency of \$1,025.00, is \$11,277.00.

Additional estimates received were from R. Hammond Construction for \$12,500.00 and Melendez & Son for \$18,048.00. The additional estimate amounts do not include the 10% contingency.

The work will be paid out of the Block Grant Home Repair funds, account number 2260.R.226.7130.6400.6100 and is contingent on compliance with other federal requirements, including environmental reviews.

Attachments

Blakely BOC Packet



**BOARD OF CONTROL
REQUEST FORM**

The Board of Control meeting is held on Wednesdays at 11:15 a.m. in Council Chambers.
(Meeting location, day and time is subject to change with advanced notice)

All requests must be received by no later than 10:00 a.m. on the Tuesdays prior to the meeting, or by 10:00 a.m. one day prior to the meeting when BOC is held on a day other than Wednesday.

<<< Answer all of the following questions for each request submitted >>>

- 1. Request Date: 1/16/26
- 2. Name of Department Submitting Request: Building, Housing, & Planning
- 3. Summary of Report: BHP Requests approval for a porch replacement for Patricia Blakely, residing at 304 W. 32nd St.
- 4. Name of Vendor: G.I.D. Construction
- 5. Amount: \$ 11,277.00
- 6. Number of account to be used for funding: CDBG-Rehab-Contractual 2260.R226.7130.6300.1500
- 7. VENDOR DETAIL
Sole Source Vendor - Yes No State Purchasing Vendor - Yes No

List the names and the quote received from *at least three vendors* for the requested item;
Or, if bids were submitted, use this area to list vendor names and bid amounts.

- Vendor #1 R. Hammond Construction (\$12,500.00)
- Vendor #2 Melendez & Son (\$18,048.00)
- Vendor #3 G.I.D. Construction (\$10,252.00)
- Vendor #4 _____

- 8. The Treasurer's Office has verified that the vendor selected is registered with the City. Yes No
- 9. Is the amount requested due to a change order? Yes No
- 10. If necessary, has City Council approved and when? (Please provide Ordinance number) N/A



Jack Bradley
Mayor

Matthew Kuszniir
Director

CITY OF LORAIN
Department of Building, Housing & Planning

David Faciana
Chief Building Official

Date: January 16, 2026

Home Repair Program Recommendation

The City of Lorain’s Building, Housing and Planning Department’s Housing Rehab Administrator conducted a site visit on **9-15-2025**, at the home of **Patricia Blakely at 304 W.32nd St.** for Front Porch Issues. The existing porch has issues with flooring, support, LEAD paint issues, etc. that justified repairs. The home qualifies for repairs under the Essential Home Repair Program.

Lead assessment: Lead was in the work area or outside perimeter. ALL CONTRACTORS WHO QUOTED THIS, ARE LEAD SAFE CONTRACTORS WITH DOCUMENTATION.

Based on the submitted estimates, the Housing Rehab Administrator recommends **GID CONSTRUCTION INC.** as the company that submitted the most complete and responsive bid based on the scope released by the Building, Housing and Planning.

Quote Submissions:

Contractor	Labor Warranty	Estimate	Extended Labor Warranty Option *at homeowner’s expense*
R. HAMMOND CONST.	Not Applied	\$ 12,500.00	Not Applied
GID CONSTRUCTION	Not Applied	\$ 10,252.00	Not Applied
MELENDEZ and SON	Not Applied	\$ 18,048.00	Not Applied

City of Lorain Estimate **\$ 12,720.00**

Note: The Roof is to remain. Only replacing from the railings down to the ground. Brick columns are solid and will remain.

City of Lorain

200 W Erie Avenue

Lorain, Ohio 44052

Phone: 440-204-2020



Work Write-Up

Case#: **EHR673**

Job Total: \$ 102,520.00

Property Information

Bid Closing Date: _____

Bid Opening Date: _____

Owner Information

PATRICIA BLAKELY
304 W 32ND ST

Lorain
Ohio 44055

Contractor Information

Name: GOLD CONSTRUCTION LLC

Address: 10813 AIMIRA AVE

Voice: 440 902 0255

Fax: _____

Email: GETITdoneLLC2018@cox.net

☞ (440)522-1185



Main Structure - Front Porch Replacement | Single Family - Porch replacement | Porch - Front Porch Rebuild | General - Front Porch Rebuild

S.No	WorkItem Code	Units	Unit Type	Cost Factor	Priority	Item Cost
1	0010070020	152.00	SF	1.00	-	\$ _____

Sx/S

Task: Replace Porch Decking

LEAD WAS DETECTED ALL AROUND PORCH. * LEAD SAFE PRACTICES TO APPLY *

FRONT PORCH REBUILD BELOW PORCH ROOF :

**** DRAWINGS OR SKETCHES TO BE SUBMITTED BEFORE WORK CAN COMMENCE. PERMITS AND INSPECTIONS REQUIRED ****

We will have the porch replaced excluding the roof portion. The roof will stay in tacked being supported by the columns. The Railings, Decking, Lattice, and all the wood supporting the porch to be replaced. **All wood installed to be treated and supported properly.** The porch is sagging on the left front side at the corner of the steps. **Strip down the porch completely minus the roof and columns.** Rebuild with new stringers and ledgers. Make sure new decking is supported all the way around properly.

Approx. 152 Sq ft of Decking to be Replaced.

NOTE: Bring the new railing up to code by having it at **36" height.** Currently the railing is at 28 1/2" tall.

NOTE : Homeowner wants to **save old Lattice.** Just set aside when removing and not breaking it all up.

NOTE : We want to replicate this porch design and layout. Suggesting to remove the siding around the porch and reinstall it to match the house siding. If it appears that this may not work, then on Line Item 2 in this scope of work, then enter a cost on the siding portion for the porch to be re-sided with new vinyl siding to match the existing siding.

Replace structure using all new material as specified. The rim joists should be doubled up on the house. To be anchored properly. Once dismantled, should get a better idea of anchoring methods. Treated post are to be used and the 4" x 6" post would be turned side ways to rest the **doubled up 2" x 6" Treated rim boards properly.** Install pressure treated 2" x 6" header, rim joists, and floor joists graded to proper drainage fall away from house. Joists/beams to span at 16" on center. Fasteners will be deck screws and screwed minimal flush with top of deck board and all other areas of support. **Do not have any screws protruding outside the face of any material to prevent any bodily injury or snagging any clothing to where damage can be caused.** Include porch rails, steps, and step railing. All wood materials to be pressure treated exterior grade lumber.

Decking Material:

Material for the decking to be considered is similar to the Fiberon Good Life Weekender Composite

Decking boards or of equal. Joints are to be staggered.

STEPS AND RAILINGS:

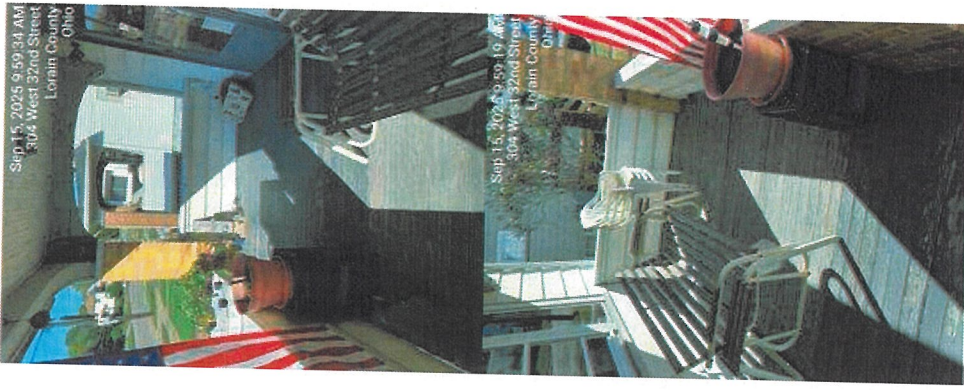
Replicate the steps and install a better rail with a top rail and a bottom horizontal rail with the pickets in the middle and the rail post at the bottom to be mounted on the last step.

Right now the Pickets or spindles are secured to the side of the steps and the rail post is mounted on the ground. Steps to be painted a gray close to the color.

LATTICE:

Replace the Lattice and the framing around the bottom of the porch openings like it was before the rebuilding. Seal and paint white.





Effective April 22, 2010, if you are working on homes built pre-1978, you must be minimum EPA RRP Lead Certified.

Main Structure - Front Porch Replacement | Single Family - Porch replacement | Porch - Front Porch Rebuild | General - Porch Ceiling

S.No	WorkItem Code	Units	Unit Type	Cost Factor	Priority	Item Cost
2	0100020070	220.00	SF	1.00	-	\$ _____

Task: Paint Porch Ceiling and Arches

LEAD PAINT WAS DETECTED ALL OVER PORCH: LEAD SAFE PRACTICES TO BE APPLIED:

PORCH CEILING TO BE PAINTED.

NEEDS SCRAPED DOWN WITH PROPER TARPS or DROP CLOTHS TO COLLECT THE SCRAPED PAINT AND DISPOSED OF PROPERLY PER LEAD SAFE REMOVAL AND DISPOSAL REQUIREMENTS.

We are only painting the area within the **inside portion** of the porch. This would include the ceiling as well as the arches surrounding the inside portion of the porch and the center of the arches. The outside portion of the Arches are not to be touched. Scrape the loose paint off and seal with an approved LEAD sealer then 2 coats of exterior Latex White paint of Sherman Williams or comparable equal.



9/15

Job Total Cost: \$ 10.252.00

City of Lorain

200 W Erie Avenue

Lorain, Ohio 44052

Phone: 440-204-2020



Work Write-Up

Case#: EHR673

Job Total: \$ 12,500.00

Property Information

Bid Closing Date: _____

Bid Opening Date: _____

Owner Information

PATRICIA BLAKELY
304 W 32ND ST

Lorain
Ohio 44055

Contractor Information

Name: R. HAMMOND CONSTRUCTION

Address: 36097 CAPEL RD. GRAFTON 44044

Voice: 440 897 0521

Fax: _____

Email: ROYA@RHAMMONDCONSTRUCTION.

COM

J (440)522-1185



Main Structure - Front Porch Replacement | Single Family - Porch replacement | Porch - Front Porch Rebuild | General - Front Porch Rebuild

S.No	WorkItem Code	Units	Unit Type	Cost Factor	Priority	Item Cost
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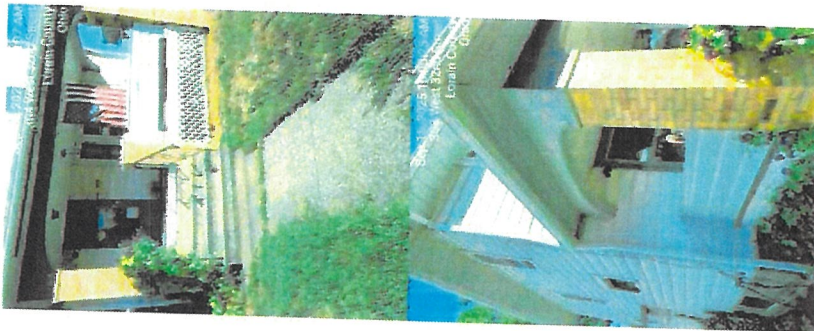
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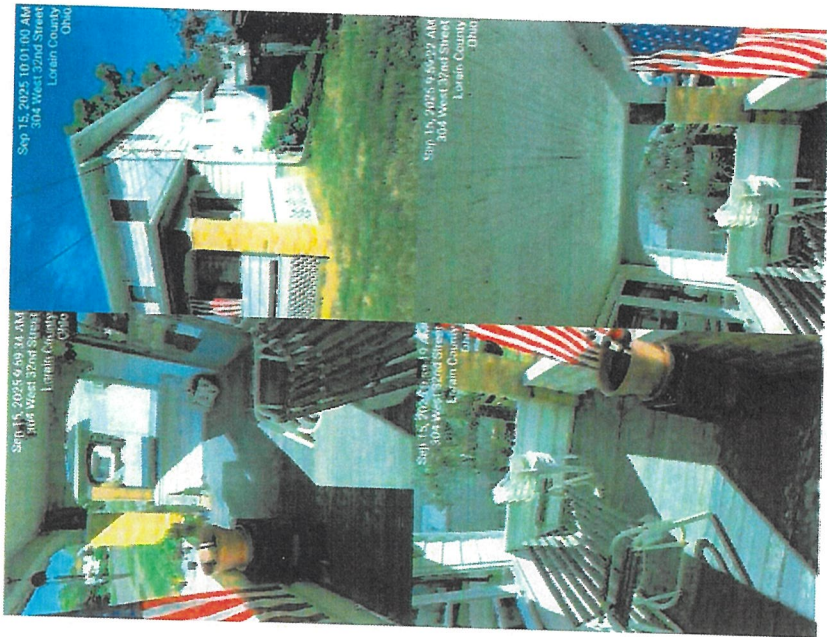
Right now the Pickets or spindles are secured to the side of the steps and the rail post is mounted on the ground. Steps to be painted a gray close to the color.

LATTICE:

Replace the Lattice and the framing around the bottom of the porch openings like it was before the rebuilding. Seal and paint white.

Remove and dispose of entire existing porch structure including roof, steps, and support structure. Replace structure using all new material as specified. Form holes and install concrete pads for post supports as per code. Install pressure treated 2" x 4" header, rim joists, and floor joists graded to proper drainage fall away from house. Joists/beams to span at 16" OC supported by 4" x 4" posts set with galvanized post holders on concrete pads. Use galvanized nails, fasteners, and hardware. Install T. & G. treated decking, blind nailed with galvanized flooring nails. Include porch rails, steps, and step railing. All wood materials to be pressure treated exterior grade lumber.





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Main Structure - Front Porch Replacement | Single Family - Porch replacement | Porch - Front Porch Rebuild | General - Porch Ceiling

S.No	Workitem Code	Units	Unit Type	Cost Factor	Priority	Item Cost
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APPLIED :

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Job Total Cost: \$ 2,500.00

City of Lorain

200 W Erie Avenue

Lorain, Ohio 44052

Phone: 440-204-2020



Work Write-Up

Case#: **EHR673**

Job Total: \$ _____

Property Information

Bid Closing Date: _____

Bid Opening Date: _____

Owner Information

PATRICIA BLAKELY
304 W 32ND ST

Lorain
Ohio 44055

Contractor Information

Name: _____

Address: _____

Voice: _____

Fax: _____

Email: _____

 **(440)522-1185**



Contractor: Melendez & Son Home Repairs

Property Owner: Patricia Blakely

Property Location: Lorain, Ohio

Date: December 1, 2025

Project: Complete tear-down and rebuild of existing 22 ft × 6 ft 11 in porch = **152 sq ft

Existing concrete steps stay – NO new roof structure

Item #	Description	Quantity	Material	Labor	Total
1	Demolition & Disposal – full removal & one 10- yd dumpster	1 job			\$1,500
2	New Pressure-Treated Framing (6×6 posts, doubled 2×10 beams, 2×8 joists 16” o.c., ledger, flashing, hangers, ties)	152 sf	\$1,750	\$1,400	\$3,150
3	Premium Tongue & Groove Porch Flooring 1×6 kiln-dried Douglas Fir or Southern Pine T&G, screwed, pre-primed all sides, 2 finish coats after install	160 sf (with waste)	\$1,950	\$850	\$2,800
4	New Painted Wood Railings (code compliant) 4×4 posts, 2×2 balusters, 2×6 cap, 36–42” high, primed + 2 finish coats	≈62 linear ft	\$2,050	\$1,500	\$3,550
5	Lattice Skirting (pressure-treated or PVC lattice in framed sections, painted)	≈90 sf	\$540	\$580	\$1,120
6	Ceiling – Scrape existing soffit, patch, prime & 2 coats exterior paint	152 sf	\$320	\$950	\$1,270
7	Decorative Arches (assuming 3 arches) Hand scrape, repair, prime & paint	3 arches	\$200	\$1,100	\$1,300
8	City of Lorain Permit & Inspections	1			\$350
	Subtotal				\$15,040
	Overhead & Profit (20%)				\$3,008
	Total Project Cost				\$18,048

Final Price (rounded for quoting): \$18,050

Payment Terms

- 50% deposit to schedule
- Balance due on completion

Included

- All premium materials, paint (Sherwin-Williams Duration or equal), cleanup.

Common Upgrades People Choose

- Switch to maintenance-free PVC/TimberTech tongue & groove floor: +\$2,400–\$2,800

- Vinyl or aluminum railings (never paint again): +\$1,000
- New vinyl beadboard ceiling instead of scraping old one: +\$950