



The City of Lorain, Ohio
Division of Buildings
Rey Carrion, Safety/Service Director

DATE: February 4, 2026
TIME: 9:00 A.M.
PLACE: Council Chambers

PLANNING COMMISSION AGENDA

ROLL CALL:

DISPOSITION OF MINUTES:

January 7, 2026 Minutes

MATTERS FOR CONSIDERATION:

C.U.P. 01-2026 (Held In abeyance until March 4, 2026) Submission for Planning Commission's review and consideration, a Conditional Use Permit for Truck Livery, Section 1143.07(j) in a I-1 Light Industrial district, and Section 1127.02 Schedule of Allowed Uses at, 1305 Oberlin Ave. Industrial Storages and Parking- Jose Laboy, applicant.

C.U.P. 02-2026 (Held In abeyance until March 4, 2026) Submission for Planning Commission's review and consideration, a Conditional Use Permit for Outdoor Storage Related to Principal Uses, Section 1143.08(a) in a I-1 Light Industrial district, and Section 1127.02 Schedule of Allowed Uses at, 1305 Oberlin Ave. Industrial Storages and Parking- Jose Laboy, applicant.

P.D.P. 01-2026, (Previously held in abeyance) Submission for Planning Commission's review and consideration, a Preliminary Development Plan for residential new construction, in a PUD-Planned Unit Development district, Chapter 1131 and Section 1145 Site Development Plans located at, PPN's 02-02-009-101-089 and 02-02-008-107-061. Kevin Hoffman, Polaris Engineering & Surveying, (agent) applicant.

F.D.P. 02-2026, Submission for Planning Commission's review and consideration, a Final Development Plan for Commercial new construction (rental office and storage), in a B-2 Business Commercial district, Chapter 1125 and Section 1145 Site Development Plans located at, 2767 W 21st St. Robert Gonzalez-Gonzalez Properties, applicant.

C.U.P. 03-2026 Submission for Planning Commission's review and consideration, a Conditional Use Permit for a Vehicle Service Station, Section 1143.07(o) in a B-2 Business Commercial district, and Section 1125.02 Schedule of Allowed Uses at, 2217 E 42nd St. Carlton Moore, agent, Rakesh Patel, applicant.

Z.C.A. 01-2026 Submission for Planning Commission's review and recommendation to Lorain City Council, the Zoning Reclassification of, 1051 Meister Rd, PPN 02-01-006-184-022 from a B-2 General Commercial District to an I-1 district. TDI Lorain, LLC, applicant.

MISCELLANEOUS CONCERNS:

Correspondence regarding a Moratorium on the Development of Additional Storage Units at 1051 Meister Rd., Lorain, OH 44052.

ADJOURNMENT

EVELISSE ATKINSON, PLANNING & ZONING ADMINISTRATOR

IF APPLICANT UNABLE TO ATTEND, PLEASE CALL (440) 204-2034

Lorain City Hall, 200 West Erie Avenue, 5th Floor, Lorain, OH 44052
Phone: 440-204-2045 / Fax: 440-204-2540



CITY OF LORAIN

Planning Commission

Meeting Date: 02/04/2026

Subject:

DISPOSITION OF MINUTES:

Attachments

January 7th Meeting Minutes

PLANNING COMMISSION
MEETING MINUTES
WEDNESDAY, JANUARY 7TH, 2026
9:00 A.M.

Council Chambers. Lorain City Hall. 200 West Erie Ave. Lorain, OH

Call to Order: This meeting was called to order at 10:57 P.M.

Roll Call: Jack Bradley; Mayor, Kenneth Kramer; Member, Brandon Wysocki; Member, Rey Carrion; Member, Evelisse Atkinson; Planning and Zoning Administrator, Megan Warrens; Secretary, Dave Faciana; Chief Building Official and Chris Yates; Commercial Building Inspector.

Guests: Kate Golden; City of Lorain Engineering Dept, Kenneth Resar; Lorain Law Dept, Mary Springowski; Council at Large and Andres Arrocho, City of Lorain Code Enforcement.

Absent: Henry Patterson; Member.

Matters of Consideration:

Z.C.A. 03-2025 (Previously held in Abeyance) Submission for Planning Commission's Review and Recommendation to Lorain City Council, the Zoning Reclassification of 2973 G St. from a B-2 General Commercial District to an R-2 Transitional Residential District. Iraida Robles, Applicant.

Robles began this conversation by stating that the property in question had been abandoned for 20 years prior to him acquiring it. He added that although his plans for the use of this property have changed several times, his plan to convert this former commercial business use into a single-family residential occupancy will be his final decision, as he plans to occupy this property if approved. Robles added that if this application is denied, he will use this property for the commercial sale of automobiles. Carrion questioned if the blacktop would be replaced with grass as to adhere to residential standards. "Yes," replied Robles. He then supplied this commission with blueprints that showed a significant change in the appearance of this structure, turning this former storefront into the resemblance of a residential property. Atkinson added that if approved, the property in question will be a non-conforming use. She then suggested that the Board approve this application with the conditions that the property owner adheres to the building plans as submitted and substantially reduce the area of blacktop that exists in the front of the property listed. Bradley affirmed this suggestion.

Wysocki then made a motion to approve this application with the condition that the applicant adhere to the building plans submitted and significantly reduce the amount of blacktop that exists in the front of the property listed. Carrion seconded this motion. Motion Carried Unanimously.

C.U.P. 01-2026 Submission for Planning Commission's Review and Consideration, a Conditional Use Permit for Truck Livery, Section 1143.07 (j) in the I-1 Light Industrial District, and Section 1127.02 Schedule of Allowed Uses at 1305 Oberlin Ave. Industrial Storages and Parking - Jose Laboy, Applicant.

Bradley began this conversation by stating that this application should be held in abeyance due to the decision made by the Zoning Board of Appeals prior to this meeting. Atkinson informed the Board that they may entertain this case if it was their wish. Bradley further added that he would like to hold this case in abeyance so that the applicant can work to further meet the requirements of the code regarding the use of this property. Laboy agreed with Bradley.

Kramer then made a motion to hold this application in abeyance until further discovery. Wysocki seconded this motion. Motion carried unanimously.

C.U.P. 02-2026 Submission for Planning Commission's Review and Consideration, a Conditional Use Permit for Outdoor Storage related to Principal Uses, Section 1143.08 (a) in the I-1 Light Industrial District and Section 1127.02 Schedule of Allowed Uses at 1305 Oberlin Ave. Industrial Storage and Parking - Jose Laboy Applicant.

Atkinson informed members of this committee that this application meets all requirements as stated by the code. Bradley stated he would like to hold this application in abeyance for the reasons stated in C.U.P. 01-2026.

Wysocki then made a motion to hold this application in abeyance until further discovery. Kramer seconded this motion. Motion carried unanimously.

P.D.P. 01-2026 Submission for Planning Commission's Review and Consideration, a Preliminary Development Plan for Residential New Construction in a PUD - Planned Development District, Chapter 1131 and Section 1145 - Site Development Plans. Located at PPN's 02-02-009-101-089 and 02-02-008-107-061. Kevin Hoffman, Polaris Engineering and Surveying, (agent) applicant.

Hoffman briefly described this project as the installation of 57 residential ranch style duplexes, totaling 114 residential housing units. He added that the proposed development will also see the addition of 3250 linear Ft. of public roadway and a dog park to service this area. Denver Caskell, property owner of 3516 Yeager Rd stated that there has been an increase in traffic incidents regarding the current development of this area, two of which involved Mr. Caskell being struck from behind while exiting his driveway. Caskell further added that due to current development of this area, he has experienced flooding issues. Bradley then suggested that the applicant perform a traffic study regarding this application and that further

study into storm water retention be done. Resar suggested that no storm water runoff from this proposed development be directed to the storm water retention ponds that service the Wal-Mart department store. Golden also requested that no storm water detention basins be installed in the driveway aprons that service the proposed properties. The applicant agreed to the request of the traffic study and then informed this committee that all storm water will flow to the Northwest. Golden affirmed the applicant's statements and added that this would appease the requests of the Engineering Department. Kramer questioned if the Police or Fire Department had any issues with this amended application. "No," replied Atkinson. Bradley stated that this application should be held in abeyance for one month until further discovery can be made. Kramer affirmed Bradley's findings and made a motion to hold this application in abeyance. Wysocki seconded this motion. Motion carried unanimously.

F.D.P. 01-2026 Submission for Planning Commission's Review and Consideration, a Final Development Plan for Residential New Construction and a PUD Planned Unit Development District, Chapter 1131 and Section 1145 Site Development Plans. Located at 5430 W Erie Ave. Silver Hills Acquisitions LLC, Applicant.

Applicant Matthew Summer began this conversation by stating that all requested revisions by this commission were made and presented to City Council. Atkinson then informed this commission that approval of this application would be the final step of approval regarding this development. If approved, this development will consist of eight 3 story buildings and one clubhouse. Golden requested that the water lines that will service the proposed development connect to the existing 6-inch water main. She further added that all storm water runoff related to this project flows to the North. Dave Arselenk, property owner of 5520 W Erie Ave stated that he is concerned with storm water runoff affecting his property. Golden informed Arselenk that the storm water in question will be discharged to the lake via a drain that runs under the train tracks to the rear of the proposed development. She further added that all storm water infrastructure that services the proposed development will follow the guidelines of Lorain and State ordinances. Summer then informed Arselenk that the dumpsters that service the proposed development will be placed on the East side of the property. Arselenk affirmed this idea and suggested that the applicant consider installing a hedge row or fence on the property line that separates his property from the proposed development.

Wysocki then made a motion to approve this application on condition that the applicant adheres to the requests made by the engineering Department. Kramer seconded this motion. Motion carried unanimously.

Miscellaneous Comments: No miscellaneous comments were made at this meeting.

Adjournment: This meeting was adjourned at 12: 33 P.M.

Evelisse Atkinson. Planning and Zoning Administrator

Jack Bradley, Chairman

Recorded by: Chris Yates, Commercial Building Inspector



CITY OF LORAIN

Planning Commission

3. a.

Meeting Date: 02/04/2026

Subject:

January 7, 2026 Minutes

Attachments

January Minutes

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Evelisse Atkinson. Planning and Zoning Administrator

Jack Bradley, Chairman

Recorded by: Chris Yates, Commercial Building Inspector



CITY OF LORAIN

Planning Commission

4. A.

Meeting Date: 02/04/2026

Subject:

C.U.P. 01-2026 (Held In abeyance until March 4, 2026) Submission for Planning Commission's review and consideration, a Conditional Use Permit for Truck Livery, Section 1143.07(j) in a I-1 Light Industrial district, and Section 1127.02 Schedule of Allowed Uses at, 1305 Oberlin Ave. Industrial Storages and Parking- Jose Laboy, applicant.

Attachments

Recommendation Letter
Application and Site Plan



Jack Bradley
Mayor

CITY OF LORAIN

Department of Building, Housing & Planning

Matthew Kuszmir
Director

David Faciana
Chief Building Official

December 31, 2025

To: Planning Commission

From: Evelisse Atkinson, Planning and Zoning Administrator

Re: C.U.P. 01-2026 Submission for Planning Commission's review and consideration, a Conditional Use Permit for Truck Livery, Section 1143.07(j) in a I-1 Light Industrial district, and Section 1127.02 Schedule of Allowed Uses at, 1305 Oberlin Ave. Industrial Storages and Parking- Jose Laboy, applicant.

My responses are below in bold.

Requirements for Conditional Use Permit 1143.07(j) Truck Livery:

- (1) Minimum site size shall be one (1) acre.
 - **In compliance**
- (2) All portions of the site to be used for the storage or parking of semi-tractors or trailers shall be paved.
 - **In compliance**
- (3) Security lighting shall be provided in accordance with the requirements of this Ordinance.
 - **In compliance**
- (4) A six (6) foot high security fence shall be installed around the perimeter of the area in which vehicles are parked or stored.
 - **In compliance**
- (5) No truck or trailer shall be parked or stored within 200 feet of a residential zoning district.
 - **Variance requested. See application BA 05-2026**

Respectfully,

Evelisse Atkinson
Planning & Zoning Administrator

PETITION FOR STREET ZONING THAT WAS A DEAD END STREET FOR OVER 50 YEARS

WE THE PEOPLE OF THE NEIGHBORHOOD DO NOT WANT THE GATE ON 12TH AN HAMILTON TO BE OPENED...TO MUCH TRAFFIC, TO DANGEROUS FOR THE KIDS THAT PLAY THERE LIKE THEY ALWAYS HAVE FOR THE LAST 40 YEARS, TEARING UP THE STREET, LOITERING, THE NOISE, BRINGING MORE TRAFFIC, EXCESSIVE SPEEDING IN THE NEIGHBORHOOD, MORE PEOPLE THAT DO NOT LIVE THERE. IT'S BEEN VERY QUIET IN OUR NEIGHBORHOOD AND WE WANT IT TO REMAIN THAT WAY.. HE HAS OVER 5 ACRES AND A HUGE OBERLIN AVE ENTRANCE. WE DO NOT USE HIS ENTRANCE AT ALL, HE DON'T NEED OURS, ITS USED FOR FIRE USAGE ONLY, EMERGENCIES

#	Name	Signature	Phone Number	Date
1	Catherine Potten	Catherine Potter	440-674-0676	Jan 4 th 2026
2	Shanna Jackson		304-3089 440- 011	1-4-2026
3	Ron Piquet	Ron Piquet	440-654-9710	1-4-2026
4	Kathy Piquet	Kathy Piquet	N/A	1-4-2026
5	Phil Lott's	Phil Lott	(440)810-0136	1-4-2026
6	Sarah Mason	Sarah Mason	440 219 5307	1-5-2026
7	Gerald Koder	Gerald Koder	440 245 0002	1-5-2026
8	Marian Jenkins	Marian Jenkins	(440) 444-2672	1-5-2026
9	BLAKE JAMERSON		(23)291-8408	1-5-2026
10	Shawn Davis	Shawn Davis	781-809-1210	1-5-2026
11	Leilani Medina		440)671-8294	1-6-26
12	Anthony Lara		440)222-9540	1-6-26
13	Richard Pyle		440-830-049	1-6-26
14	Barbara Smith	Barbara Smith	440 752-6824	1-6-26
15	Edna Church		440-79569	

More reasons why the gate should not be open!

1..We need our space to park our cars way to congested, other cars in an out of the residents with nowhere to park.

2..We are not in and out of his area, we stay on our side of the fence but he wants to interrupt an intrude on our territory/not fair. If he opens up the gate then everybody should be able to go in and out towards Oberlin ave.

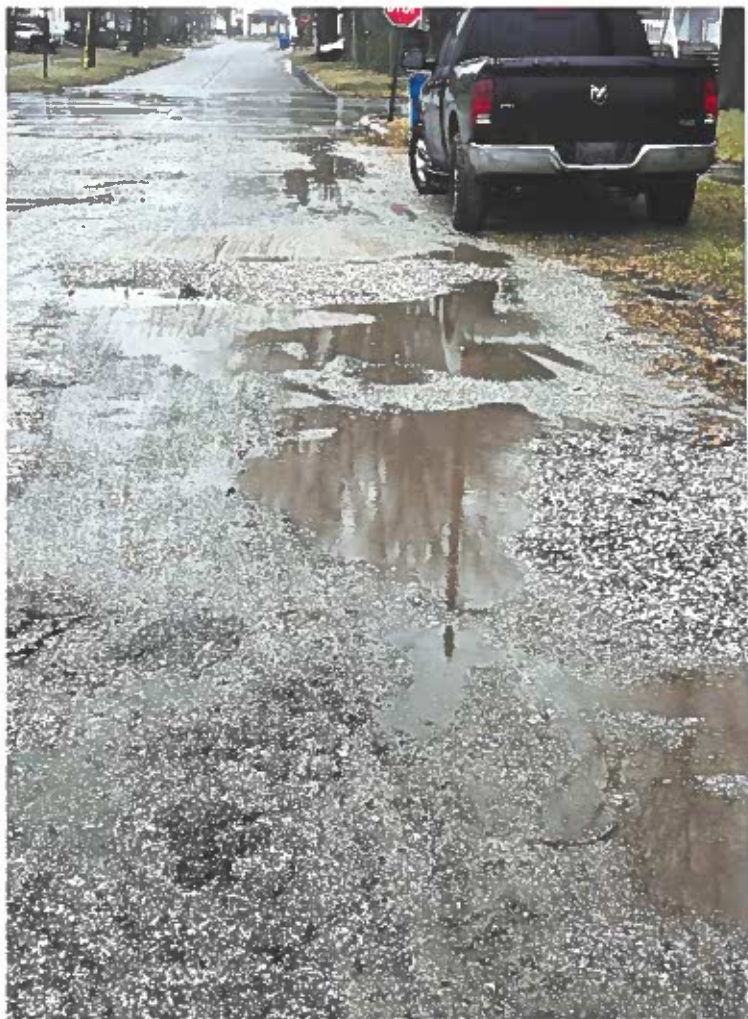
3..There are some people who have serious health issues by the gate being opened. Residences that suffer from multiple situations mentally and physically.

4..The bottom line is we've had our privacy for over years 40 plus and we don't need his traffic. The place where we park our cars is not even a street, its just stones and broken up tar and hard grass.







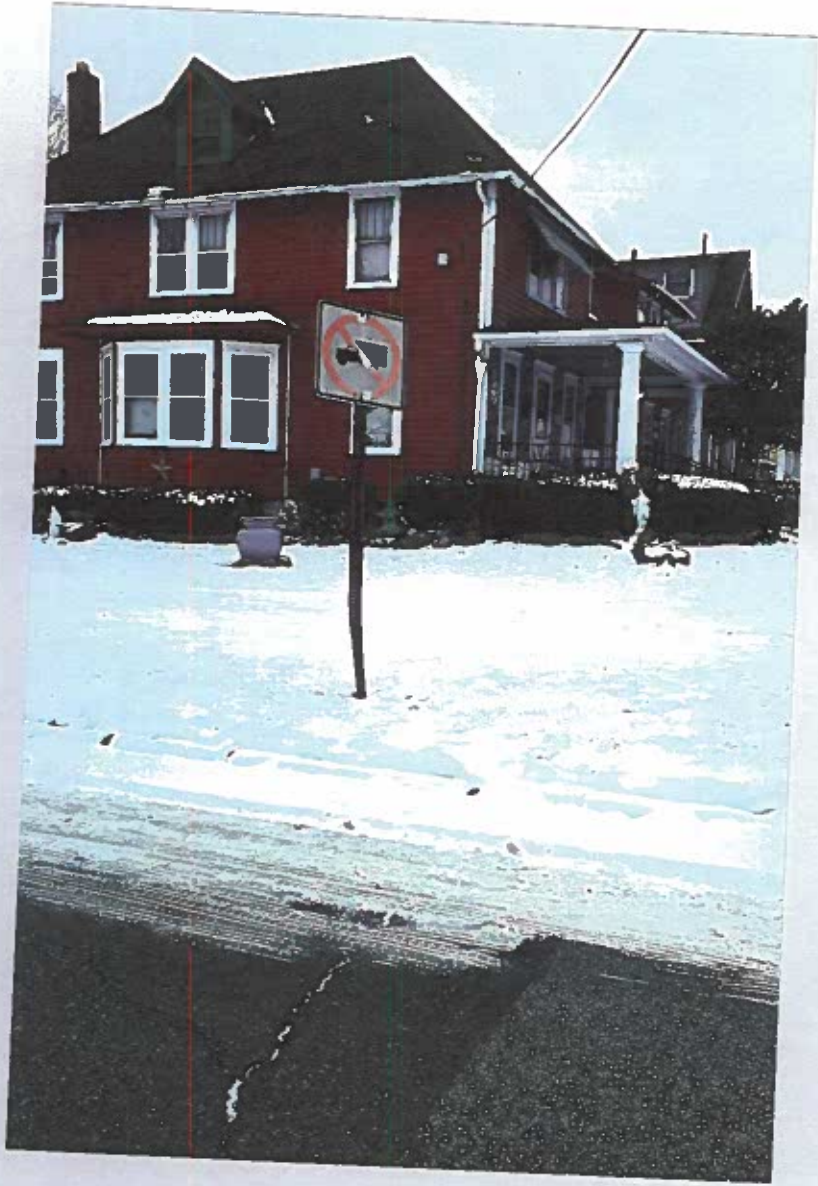




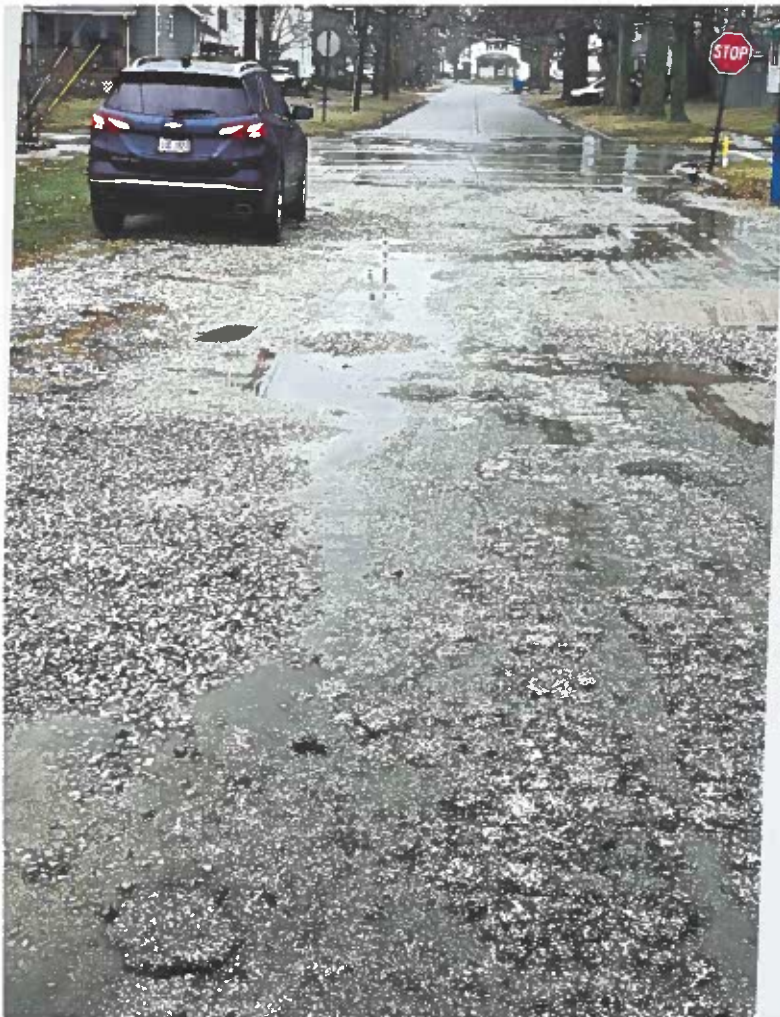


















Jack Bradley
Mayor

CITY OF LORAIN PLANNING COMMISSION

NO. 41025218
\$500.00
1-2-2026
2026-000

CONDITIONAL USE PERMIT

01-2026

APPLICATION FOR A CONDITIONAL USE PERMIT

APPLICATION IS HEREBY MADE TO THE PLANNING COMMISSION OF THE CITY OF LORAIN, OHIO FOR A
CONDITIONAL USE, CHAPTER 11.

NAME: Industrial Storages and Parking LLC - Jose Laboy

ADDRESS OF OWNER: 823 W. 18th St Lorain, OH 44052

CITY: Lorain STATE: Ohio ZIP CODE: 44052

PHONE: (BUSINESS) 440258 6433 (RESIDENTIAL) _____

ADDRESS OF PROPERTY REQUIRING A CONDITIONAL USE IF DIFFERENT FROM ABOVE:

1305 Oberlin Ave Lorain, Ohio 44052

PLOT PLAN SUBMITTED: YES NO

LETTER SUBMITTED: YES NO

SECTION OF THE ZONING CODE INVOLVED: _____

REASON FOR REQUESTING THE CONDITIONAL USE: Use of designated parking
and storage areas for industrial vehicles and equipment

NON-REFUNDABLE FEE: \$500.00 As per Ordinance 168-20 Effective January 21, 2021.

Jose Laboy
Applicant's Signature

12-15-25
Date

Industrial Storages and Parking LLC
Jose Laboy
Managing Member
1305 Oberlin Avenue
Lorain, Ohio 44052
Phone: 440-258-6433
Email: LaboyrealestateLLC@gmail.com

Date: 12-10-2025

City of Lorain Planning Commission
Attn: Evelisse Atkinson, Planning & Zoning Administrator
City of Lorain – Building, Housing & Planning
200 West Erie Avenue, 5th Floor
Lorain, Ohio 44052

Re: Conditional Use Permit Application – Industrial Storages and Parking LLC

Dear Ms. Atkinson and Members of the Planning Commission,

I am writing to formally submit this cover letter in support of my application for a Conditional Use Permit for the operation of an Industrial Storages and Parking LLC at the property located at 1305 Oberlin Avenue, Lorain, Ohio.

The proposed use consists of designated parking and storage areas for industrial vehicles and equipment, including but not limited to semi-trucks, trailers, commercial vehicles, RVs, and related industrial storage, within clearly defined areas of the property. This facility is intended to serve local businesses, contractors, logistics operators, and vehicle owners who require secure, off-street parking and storage.

The property is well-suited for this use due to its size, existing layout, and proximity to industrial corridors. Parking areas will be clearly marked and organized to maintain safe vehicle circulation, appropriate setbacks, and controlled access. Operations will be managed to minimize potential impacts on surrounding properties, including noise control, traffic management, and routine property maintenance.

This request is being made in accordance with Chapter 1143 of the Codified Ordinances of the City of Lorain. All required materials are included with this submission, including:

- A completed Conditional Use Permit application
- A list of abutting property owners
- A plot plan showing parking areas, access points, and setbacks

- The required non-refundable application fee

The proposed conditional use supports the City of Lorain's industrial and economic activity while providing an organized and compliant solution for industrial vehicle parking that reduces congestion on public streets.

I respectfully request the Planning Commission's review and approval of this Conditional Use Permit. I appreciate your time and consideration and will be present at the scheduled meeting to address any questions or concerns.

Thank you for your consideration.

Sincerely,

Jose Laboy
Managing Member
Industrial Storages and Parking LLC

PLOT PLAN NARRATIVE

Industrial Storages and Parking LLC
1305 Oberlin Avenue, Lorain, Ohio

This plot plan narrative accompanies the attached aerial image obtained from the Lorain County Auditor's website and is submitted in support of the Conditional Use Permit application for Industrial Storages and Parking LLC.

The aerial image is used as a base map for illustrative purposes only, to clearly depict the proposed layout, circulation, and designated use areas within the existing property boundaries.

Industrial and Recreational Vehicle Parking Areas (Red Highlighted Areas)

The areas outlined in red on the attached image represent the only designated locations for industrial vehicle and recreational vehicle (RV) parking on the property. These areas are confined to existing paved and gravel surfaces and are located away from residential properties. No industrial or recreational vehicles will be parked outside of the red-designated areas.

The red-highlighted areas are intended for:

- Semi-trucks
- Trailers
- Commercial vehicles
- Recreational vehicles (RVs)

Vehicle Access and Entrance

All industrial and recreational vehicles will access the site exclusively through the gated entrance off Oberlin Avenue. No industrial or recreational vehicle access is proposed from any residential streets. This controlled access point allows for traffic management, safety, and reduced impact on surrounding neighborhoods.

Equipment Storage and Non-Industrial Parking (Yellow and Blue Highlighted Areas)

The areas highlighted in yellow and blue identify existing building structures on the property. These buildings are proposed for equipment storage, material storage, and general vehicle parking associated with the storage units.

Parking within the yellow and blue areas is limited to passenger vehicles and light-duty vehicles related to storage unit use only. No industrial or recreational vehicle parking is permitted within the yellow or blue designated areas.

Separation of Uses

Industrial and recreational vehicle parking is clearly separated from the storage building areas and standard vehicle parking. This separation ensures orderly site operation, compliance with zoning intent, and minimal impact to surrounding residential properties.

No expansion beyond the highlighted areas is proposed, and all uses will remain within the existing site boundaries.

1305 Oberlin Ave. Lorain, Ohio



1143.07

(j) Truck Livery.

(1) Minimum site size shall be one (1) acre.

REQUIREMENTS MET

(2) All portions of the site to be used for the storage or parking of semi-tractors or trailers shall be paved.

REQUIREMENTS MET

(3) Security lighting shall be provided in accordance with the requirements of this Ordinance.

REQUIREMENTS MET

(4) A six (6) foot high security fence shall be installed around the perimeter of the area in which vehicles are parked or stored.

REQUIREMENTS MET

(5) No truck or trailer shall be parked or stored within 200 feet of a residential zoning district.

VARIANCE SUBMITTED

**Abutting Property Owners – 1305 Oberlin Ave, Lorain, OH Industrial
Parking and Storages LLC**

Martha Ann Stalinski
1133 W. 12th St

James Scott
1129 W. 12th St

Jasmine Opps LLC
1125 W. 12th St

Charles York
1121 W. 12th St

JS Opportunities LLC
1119 W. 12th St

Helen Mullins
1115 W. 12th St

Potter Hank Russell & Katherine
1113 W. 12th St

Potter Hank R & Catherine
1111 W. 12th St

David Morales
1228 Oberlin Ave

Lisa Mcie
1204 W. 13th St

Bradley Smith / Deborah Smith
1245 Oberlin Ave

Felix Rosario
1239 Oberlin Ave

HSP Holdings LLC
1229 Oberlin Ave

Alexis Crispin Mojica / Maria Yvette Mojica
1145 W. 12th St

Danielle Price
1143 W. 12th St

Brian Mcdermott
1141 W. 12th St

Javier Gonzalo Ambrosi Devera Sr
1135 W. 12th St

**Abutting Property Owners – 1305 Oberlin Ave. Lorain, Ohio Industrial
Storages and Parking LLC**

Community Animal Task Force Inc
1109 W. 12th St

Prugreen Properties LLC
1105 W. 12th St

Keenan Adams
1101 W. 12th St

Next Chapter Capital LLC
1055 W. 12th St

Timothy Alan Long
1227 Hamilton Ave

Thank you for your consideration.

Sincerely,
Joe Rewak

Joe Rewak
Owner
Rewak Mechanical
440-396-4373



CITY OF LORAIN

Planning Commission

4. B.

Meeting Date: 02/04/2026

Subject:

C.U.P. 02-2026 (Held In abeyance until March 4, 2026) Submission for Planning Commission's review and consideration, a Conditional Use Permit for Outdoor Storage Related to Principal Uses, Section 1143.08(a) in a I-1 Light Industrial district, and Section 1127.02 Schedule of Allowed Uses at, 1305 Oberlin Ave. Industrial Storages and Parking- Jose Laboy, applicant.

Attachments

Recommendation and Petition

Application

Correspondence and Petition



Jack Bradley
Mayor

CITY OF LORAIN

Department of Building, Housing & Planning

Matthew Kuszmir
Director

David Faciana
Chief Building Official

December 31, 2025

To: Planning Commission

From: Evelisse Atkinson, Planning and Zoning Administrator

Re: C.U.P. 02-2026 Submission for Planning Commission's review and consideration, a Conditional Use Permit for Outdoor Storage Related to Principal Uses, Section 1143.08(a) in a I-1 Light Industrial district, and Section 1127.02 Schedule of Allowed Uses at, 1305 Oberlin Ave. Industrial Storages and Parking- Jose Laboy, applicant.

My responses are below in bold.

Requirements for Conditional Use Permit 1143.08(a) Outdoor Storage Related to Principal Uses:

(1) Outdoor storage shall not be permitted within any required front yard.

- **In compliance**

(2) Outdoor storage shall only be permitted as an accessory use to principal uses in the industrial districts.

- **In compliance**

(3) The outdoor storage area shall be fenced on all sides in accordance with the requirements of Section 1141.08.

- **In compliance**

(4) Any side that is visible to adjoining properties in a residential district, mixed-use district, neighboring parking lots or abutting streets shall be screened in accordance with the requirements of Section 1147.04(c).

- **Screening will need to be maintained**

(5) The Planning Commission may permit the required screening to be comprised of plant material, upon a determination that the alternate materials will provide the same degree or better of opacity, screening and compatibility with adjoining properties as a fence or wall.

Respectfully,

Evelisse Atkinson
Planning & Zoning Administrator

PETITION FOR STREET ZONING THAT WAS A DEAD END STREET FOR OVER 50 YEARS

WE THE PEOPLE OF THE NEIGHBORHOOD DO NOT WANT THE GATE ON 12TH AN HAMILTON TO BE OPENED...TO MUCH TRAFFIC, TO DANGEROUS FOR THE KIDS THAT PLAY THERE LIKE THEY ALWAYS HAVE FOR THE LAST 40 YEARS, TEARING UP THE STREET, LOITERING, THE NOISE, BRINGING MORE TRAFFIC, EXCESSIVE SPEEDING IN THE NEIGHBORHOOD, MORE PEOPLE THAT DO NOT LIVE THERE. IT'S BEEN VERY QUIET IN OUR NEIGHBORHOOD AND WE WANT IT TO REMAIN THAT WAY.. HE HAS OVER 5 ACRES AND A HUGE OBERLIN AVE ENTRANCE. WE DO NOT USE HIS ENTRANCE AT ALL, HE DON'T NEED OURS, ITS USED FOR FIRE USAGE ONLY, EMERGENCIES

#	Name	Signature	Phone Number	Date
1	Catherine Potten	Catherine Potter	440-674-0676	Jan 4 th 2026
2	Shanna Jackson	[Signature]	304-3089 440- 011	1-4-2026
3	Ron Piquet	Ron Piquet	440-654-9710	1-4-2026
4	Kathy Piquet	Kathy Piquet	N/A	1-4-2026
5	Phil Lott's	Phil Lott	(440)810-0136	1-4-2026
6	Sarah Mason	Sarah Mason	440 219 5307	1-5-2026
7	Gerald Koder	Gerald Koder	440 245 0002	1-5-2026
8	Marian Jenkins	Marian Jenkins	(440) 444-2672	1-5-2026
9	BLAKE JAMERSON	[Signature]	(23)291-8408	1-5-2026
10	Shawn Davis	[Signature]	781-809-1210	1-5-2026
11	Leilani Medina	[Signature]	440-671-8294	1-6-26
12	Anthony Lara	[Signature]	440)222-9540	1-6-26
13	Richard Pyle	[Signature]	440-830-049	1-6-26
14	Barbara Smith	Barbara Smith	440 752-6824	1-6-26
15	Edw to church		440-79569	

More reasons why the gate should not be open!

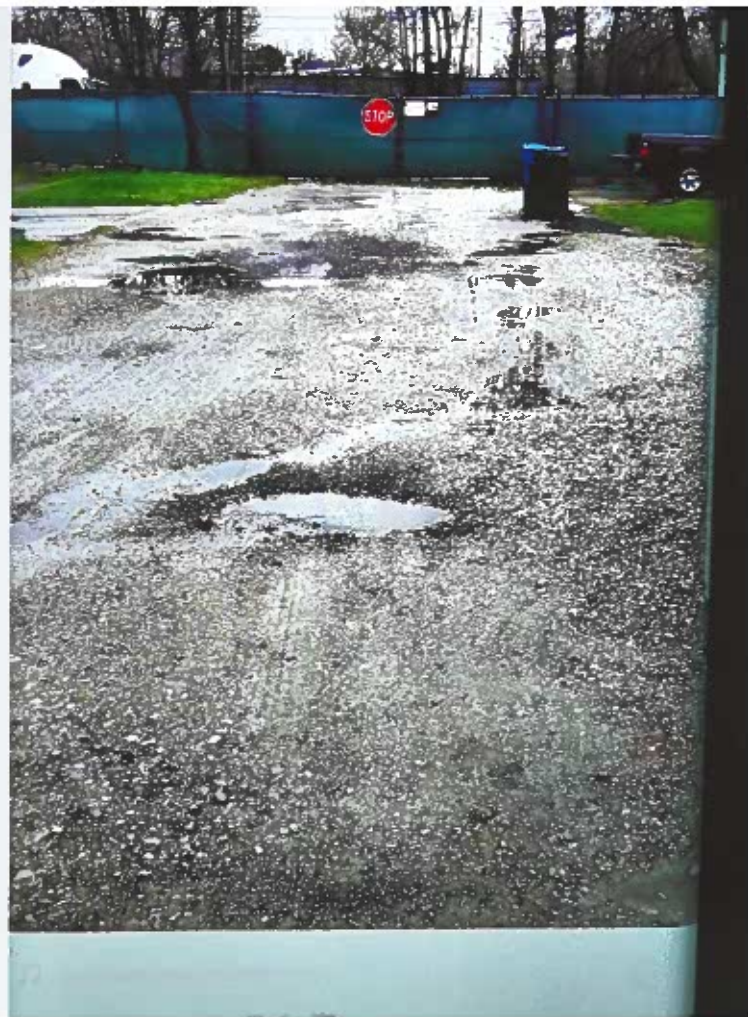
1..We need our space to park our cars way to congested, other cars in an out of the residents with nowhere to park.

2..We are not in and out of his area, we stay on our side of the fence but he wants to interrupt an intrude on our territory/not fair. If he opens up the gate then everybody should be able to go in and out towards Oberlin ave.

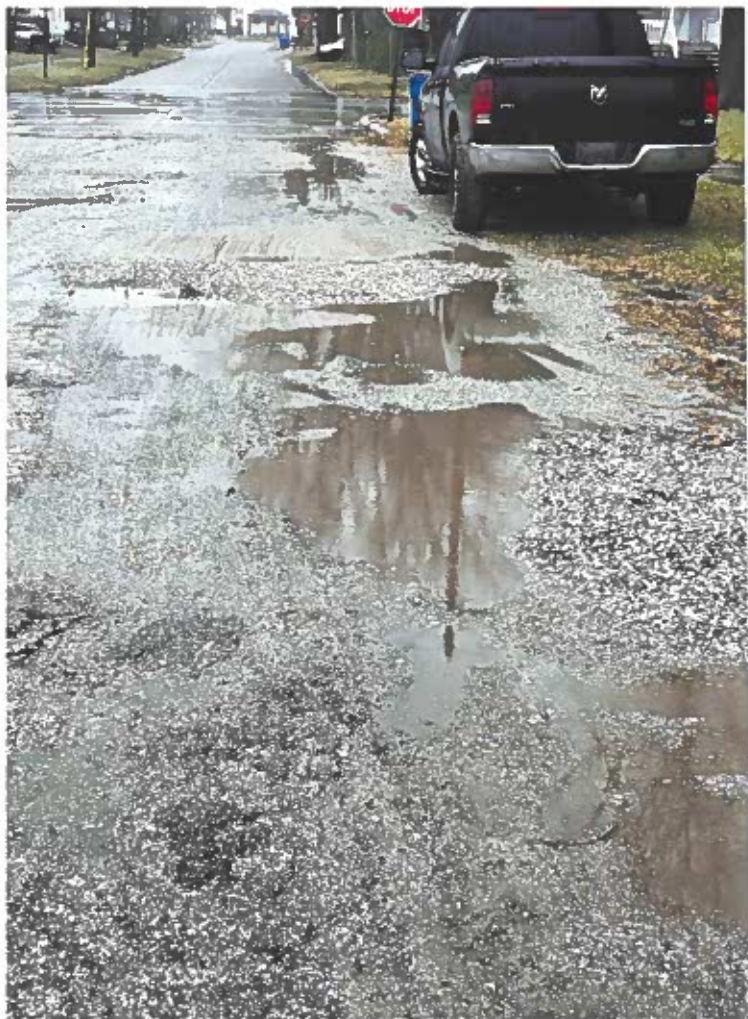
3..There are some people who have serious health issues by the gate being opened. Residences that suffer from multiple situations mentally and physically.

4..The bottom line is we've had our privacy for over years 40 plus and we don't need his traffic. The place where we park our cars is not even a street, its just stones and broken up tar and hard grass.







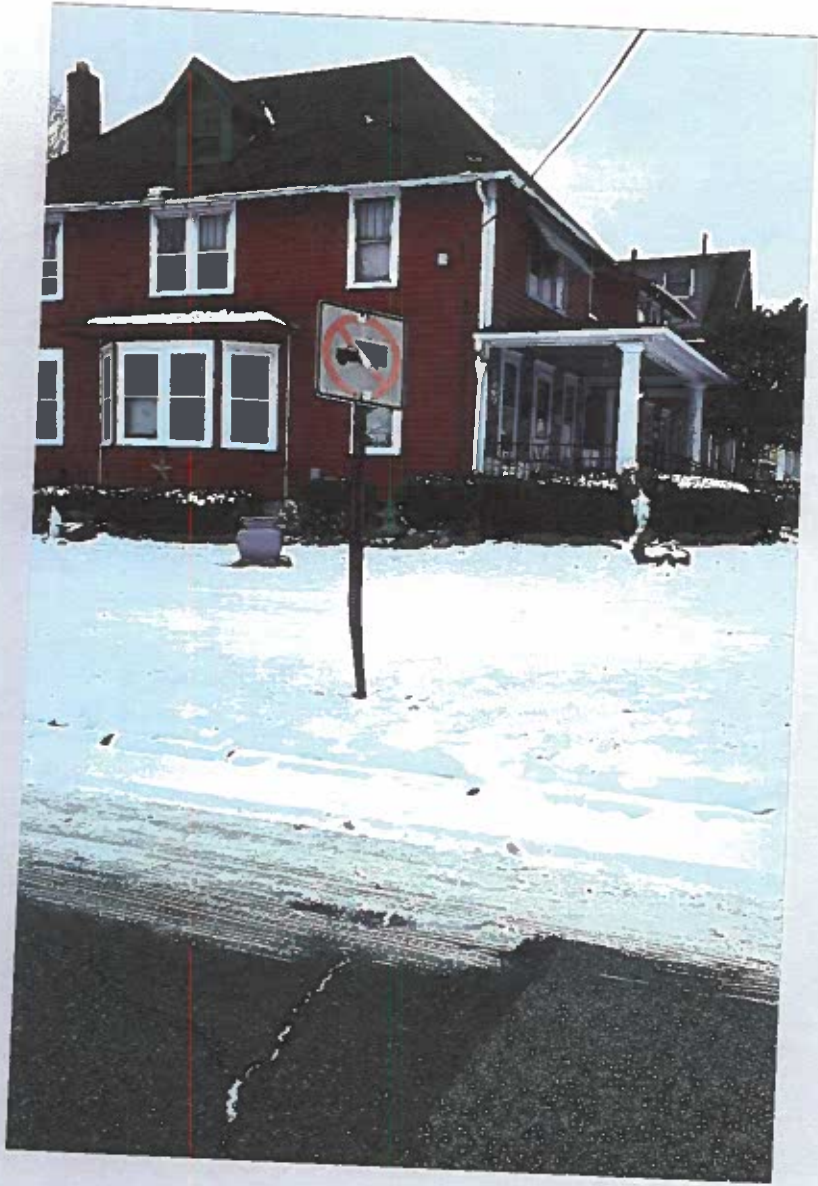




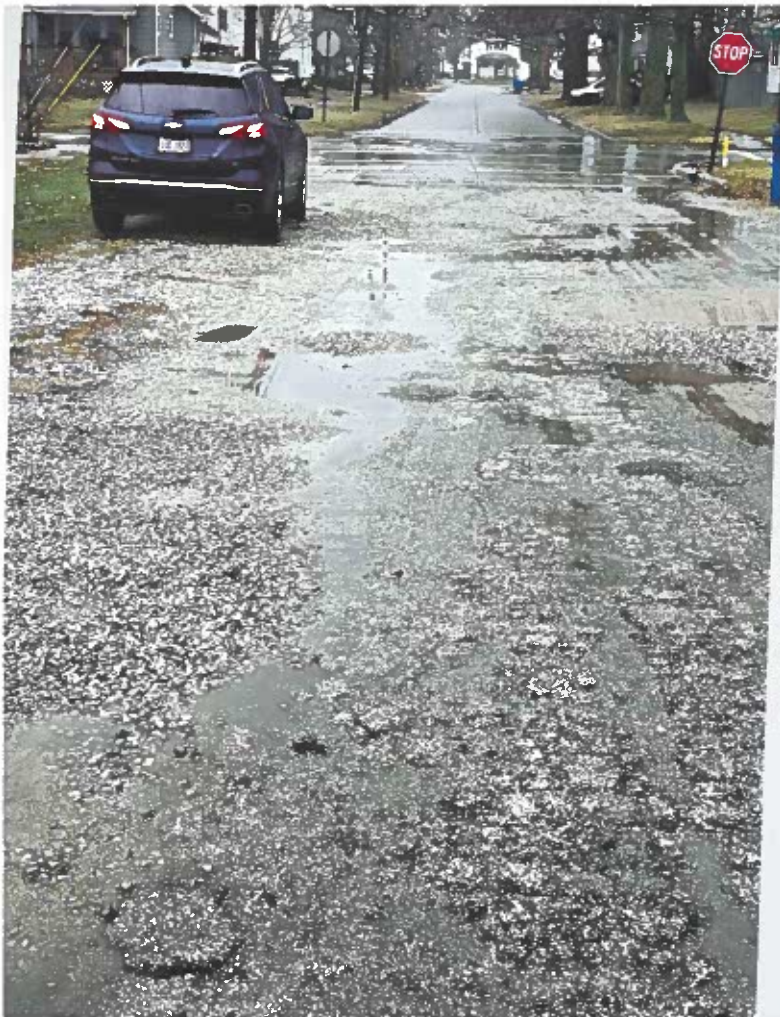


















CITY OF LORAIN
PLANNING COMMISSION

Jack Bradley
Mayor

CONDITIONAL USE PERMIT 02-2026

APPLICATION FOR A CONDITIONAL USE PERMIT

APPLICATION IS HEREBY MADE TO THE PLANNING COMMISSION OF THE CITY OF LORAIN, OHIO FOR A
CONDITIONAL USE, CHAPTER 11.

NAME: Industrial Storages and Parking LLC - Jose Labay

ADDRESS OF OWNER: 823 W. 18th St Lorain, OH 44052

CITY: Lorain STATE: OH ZIP CODE: 44052

PHONE: (BUSINESS) 440 258-6433 (RESIDENTIAL) _____

ADDRESS OF PROPERTY REQUIRING A CONDITIONAL USE IF DIFFERENT FROM ABOVE:

1305 Oberlin Ave Lorain, OH 44052

PLOT PLAN SUBMITTED: YES NO

LETTER SUBMITTED: YES NO

SECTION OF THE ZONING CODE INVOLVED: _____

REASON FOR REQUESTING THE CONDITIONAL USE: Establish outdoor lumber storage, cutting, processing, bundling, and distribution on property

NON-REFUNDABLE FEE: \$500.00 As per Ordinance 168-20 Effective January 21, 2021.

[Signature]
Applicant's Signature

12-15-25
Date

Industrial Storages and Parking LLC
1305 Oberlin Ave
Lorain, Ohio 44052
LaboyrealestateLLC@gmail.com
440-258-6433

Date: _____

City of Lorain – Building, Housing & Planning Department
Attn: Lorain Planning Commission
200 West Erie Avenue
Lorain, Ohio 44052

RE: Conditional Use Permit Application – Lumber Storage, Processing, and Distribution Operations
at 1305 Oberlin Ave

To the Honorable Members of the Lorain Planning Commission:

I am submitting this cover letter along with the Conditional Use Permit Application on behalf of Industrial Storages and Parking LLC, the operator of the property located at 1305 Oberlin Ave, Lorain, Ohio 44052. We are requesting approval to continue and formally establish outdoor lumber storage, lumber cutting/processing, bundling, and on-site distribution as an approved conditional use on this property.

Industrial Storages and Parking LLC holds an active contract with a tree-cutting and land-clearing company that delivers raw lumber materials to our site. Our business then safely cuts, processes, and bundles the wood for lawful resale. This operation is conducted in a designated area of the property, separate from vehicle parking and other activities, and remains fully within commercial and industrial use standards.

This request ensures transparency and compliance with all City of Lorain requirements. Approval of this conditional use will allow our business to continue serving the community, support local contractors, and strengthen the area's commercial activity. We emphasize that:

- The lumber processing area is well-organized and safely managed.
- Wood is stored neatly and securely to prevent hazards or visual clutter.
- No chemicals, hazardous waste, or prohibited materials are involved.
- Operations are maintained in accordance with safety, noise, dust control, and fire prevention standards.
- The use does not create negative impacts on surrounding properties.
- We remain committed to working cooperatively with the City to maintain a clean, safe, and compliant operation.

This use supports local economic activity, provides materials for local buyers, and utilizes otherwise underused industrial land in a productive and lawful manner.

We respectfully request approval of this conditional use so we may continue operating this portion of our business in accordance with all applicable regulations.

Thank you for your consideration. I am available to meet, answer questions, or provide any additional documentation the Planning Commission may require.

Respectfully,
Jose Laboy
Industrial Storages and Parking
LLC
LaboyrealestateLLC@gmail.com
440-258-6433

Plot Plan – Conditional Use Permit

1305 Oberlin Ave, Lorain, Ohio

Proposed Lumber Storage & Processing Use

This plot plan is based on an aerial image obtained from the Lorain County Auditor's website and is submitted in support of a Conditional Use Permit application for lumber storage and processing.

1305 Oberlin Ave -Lumber yard



Proposed Use Description

The red outlined area identifies the proposed Lumber Storage & Processing Area. This area will be used for receiving, stacking, cutting, bundling, and temporary storage of lumber.

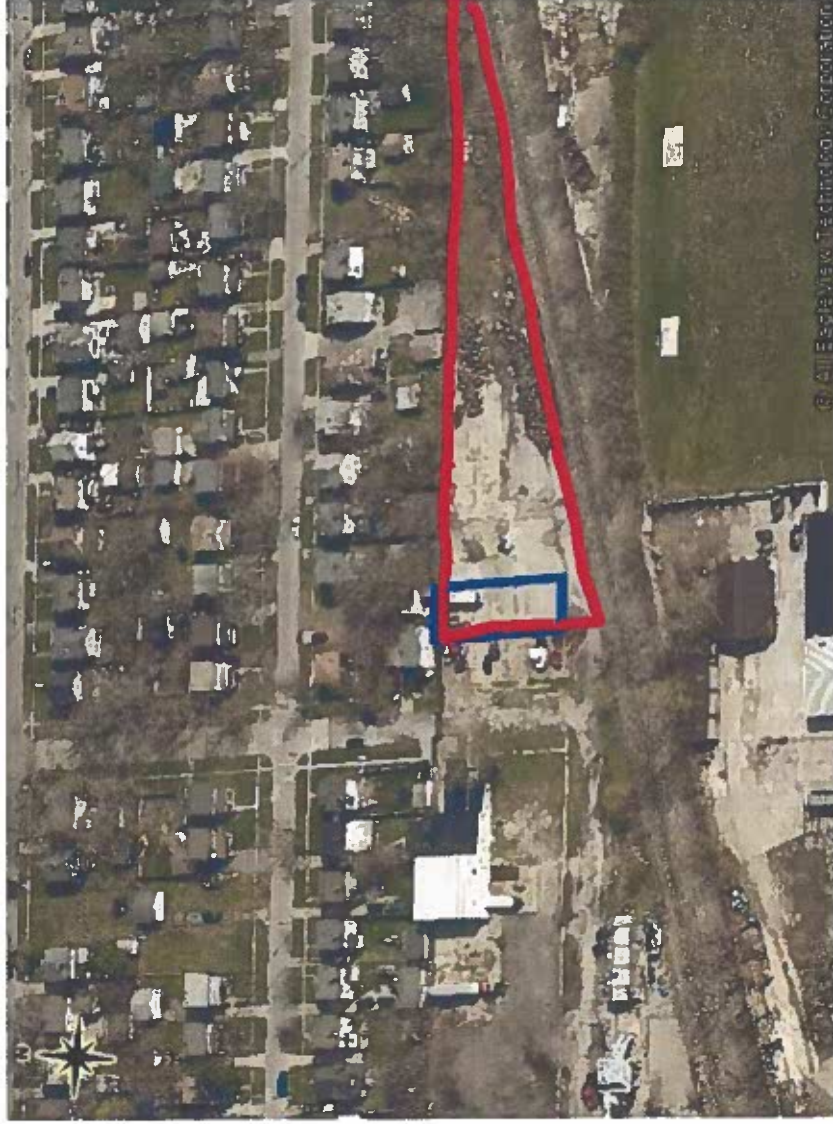
Lumber operations will remain within the designated area and will not interfere with parking, access drives, or adjacent uses.

Site Notes

- Adjacent residential properties are located to the north.
- Industrial and vacant uses are located to the south.
- Access to the site is provided from Oberlin Avenue.
- Fire lanes and access drives will remain unobstructed at all times.
- Lumber will not be stored within required setbacks from residential properties.

Note: Aerial image is for reference purposes and is not drawn to exact scale.

1305 Oberlin Ave - Lumber yard



Abutting Property Owners – Lumber Yard

Kawbena Kemaujamel

1053 W. 12th St

Nancy Mieczkowski

1049 W. 12th St

Christopher & Catherine Thomas

1045 W. 12th St

Carlos Marrero & Kathleen Piskur

1041 W. 12th St

Kathy Foble Chamberlain

1039 W. 12th St

Amherst Park Ave Property LLC

1035 W. 12th St

David Long (PPN - 0201006122011)

1031 W. 12th St

David & Charles Perusek

1029 W. 12th St

Loomis Properties

1025 W. 12th St

Carl Cales Jr & Rayan Cales

1023 W. 12th St

BJSP LLC

1019 W. 12th St

John & Doris Dalton

1017 W. 12th St

1143.08

(a) Outdoor Storage Related to Principal Industrial Uses.

(1) Outdoor storage shall not be permitted within any required front yard (30 feet).

-REQUIREMENTS MET

(2) Outdoor storage shall only be permitted as an accessory for use to principal uses in the industrial districts.

(3) The outdoor storage area shall be fenced on all sides in accordance with the requirements of Section 1141.08.

-EXISTING FENSE

(4) Any side that is visible to adjoining properties in a residential district, mixed-use district, neighboring parking lots or abutting streets shall be screened in accordance with the requirements of Section 1147.04(c).

-EXISTING SCREENING

(5) The Planning Commission may permit the required screening to be comprised of plant material, upon a determination that the alternate materials will provide the same degree or better of opacity, screening and compatibility with adjoining properties as a fence or wall.

-REQUIREMENTS MET

Memo

To: Planning Commission and Zoning Board of Appeals

From: Evelisse Atkinson

Date: January 28, 2026

Re: Industrial Storages and Parking LLC 1305 Oberlin Ave

Attached you will find correspondence received regarding Industrial Storages and Parking LLC, 1305 Oberlin Ave., marked as exhibits, A through D.

Atkinson, Evelisse

From: Springowski, Mary
Sent: Monday, December 29, 2025 10:03 AM
To: Atkinson, Evelisse; Kuszniir, Matt; Faciana, David; Dimacchia, Tony
Subject: Fw: 1305 Oberlin



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From: JOSEPH REWAK <rewakhvac@yahoo.com>
Sent: Monday, December 29, 2025 8:58:43 AM
To: Springowski, Mary <Mary_Springowski@cityoflorain.org>
Subject: 1305 Oberlin

Warning: Unusual sender <rewakhvac@yahoo.com>

You don't usually receive emails from this address. Make sure you trust this sender before taking any actions.

Dear Members of the City of Lorain Planning Commission,

I am submitting this letter as a formal objection to the proposed zoning change for the property located at 1305 Oberlin Avenue, Lorain, Ohio.

Based on existing conditions at the site, the current use already presents significant public safety, access, and compatibility concerns. Semi-trucks routinely idle on the property throughout the day and night, particularly during periods when temperatures are below 30 degrees. This ongoing activity contributes to excessive noise, diesel emissions, and adverse impacts on nearby properties.

Of particular concern is the fact that a designated public access road serving this area is blocked and locked, restricting access for police and fire department vehicles. This presents a serious life-safety issue. There have been multiple fires in the area, as well as documented reasons for law-enforcement access, and restricted entry delays emergency response times.

Additionally, there are ongoing concerns regarding unauthorized occupancy in the rear portion of the property, including the possible presence of homeless individuals. This raises further issues related to safety, health, and code enforcement that have not been adequately mitigated.

Given these conditions, the proposed zoning change appears inconsistent with sound planning principles, including compatibility with surrounding land uses, protection of public safety, and adequate access for emergency services. Approval of a zoning change under these circumstances would likely intensify existing impacts rather than resolve them.

For these reasons, I respectfully request that the Planning Commission deny the proposed zoning change for 1305 Oberlin Avenue and ensure this objection is entered into the official record.

Thank you for your consideration.

Sincerely,
Joe Rewak

Joe Rewak
Owner
Rewak Mechanical
440-396-4373

Atkinson, Evelisse



From: Kathleen Cruz <azkat1970@gmail.com>
Sent: Monday, December 29, 2025 4:12 PM
To: Atkinson, Evelisse
Subject: I object to this condition use permit on Oberlin Ave (see attached)
Attachments: IMG_9224.jpeg; IMG_9223.jpeg

Warning: Unusual sender <azkat1970@gmail.com>

You don't usually receive emails from this address. Make sure you trust this sender before taking any actions.

I object to this! This area is close to our beautiful lakefront and needs to be cleaned up and beautified along with the rest of the business properties in the area. We have plenty of unused industrial space in industrial parks . We already have 28th street properties near the mill looking crappy and Elyria Avenue as well (see photo) . You drive past and you see rodents running and junk just showing through dilapidated fences ! We got a junkyard next to the tracks in the 5th ward as well .

Residential areas do not need any more industrial lots with trucks , cars etc.

Lorain is the junkiest , ghetto, most dilapidated city around the area . It's embarrassing ! Lorain needs a plan with nice uniformed store fronts that are maintained . A bunch of different materials painted 1 color . Uniontown Provisions has had a letter falling off their sign since before they shut down . Get out if your offices and enforce code and truly take a look at this city . Go visit Tremont and look at the nice mix of old and new . Then come back and see how ugly Lorain is .

3:57

61%

Search here

Restaurants Shopping Groceries

American Auto Wrecking llc (By...

metals

moth Automotive Group

Ely Enterprises

e-recovery

Google Maps

39th St

Elyria Ave

100 ft
50 m

Latest in the area

25°
37 AQI

Explore

You

Contribute



More reasons why the gate should not be open!

1..We need our space to park our cars way to congested, other cars in an out of the residents with nowhere to park.

2..We are not in and out of his area, we stay on our side of the fence but he wants to interrupt an intrude on our territory/not fair. If he opens up the gate then everybody should be able to go in and out towards Oberlin ave.

3..There are some people who have serious health issues by the gate being opened. Residences that suffer from multiple situations mentally and physically.

4..The bottom line is we've had our privacy for over years 40 plus and we don't need his traffic. The place where we park our cars is not even a street, its just stones and broken up tar and hard grass.

PETITION FOR STREET ZONING THAT WAS A DEAD END STREET FOR OVER 50 YEARS

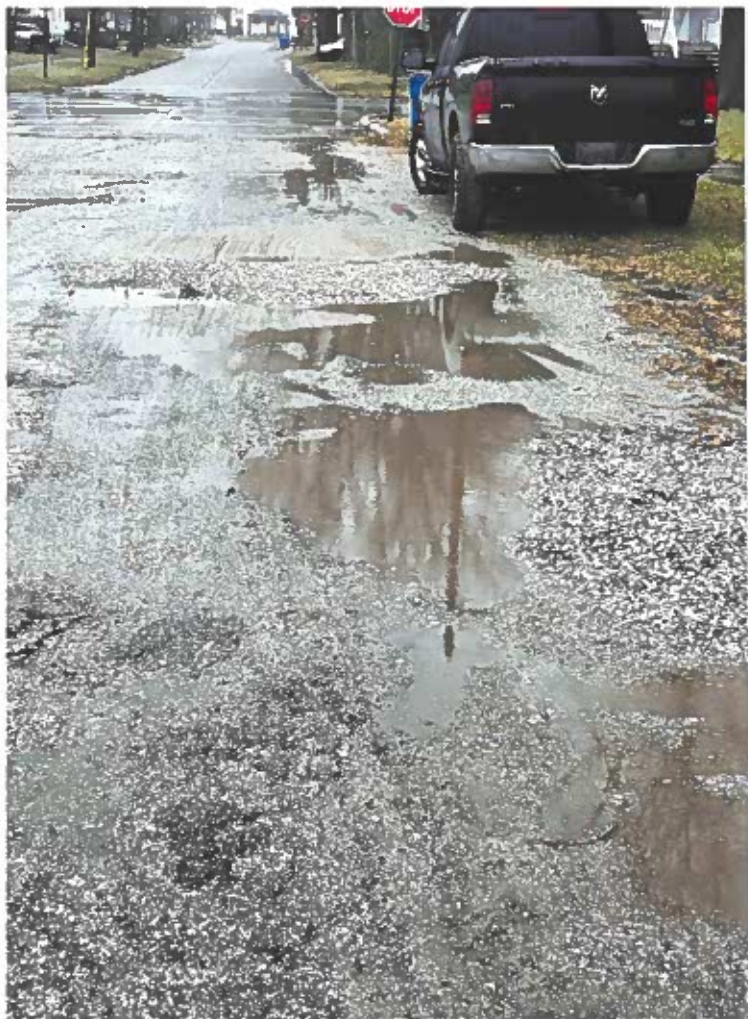
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3	Ron Piquet	Ron Piquet	440-654-9710	1-4-2026
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9	BLAKE JAMERSON		(23)291-8408	1-5-2026
10	Shawn Davis	Shawn Davis	781-809-1210	1-5-2026
11	Leilani Medina		440)671-8294	1-6-26
12	Anthony Iara		440)222-9540	1-6-26
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14	Barbara Smith	Barbara Smith	440 752-6824	1-6-26
15	Edna Church		440-79569	







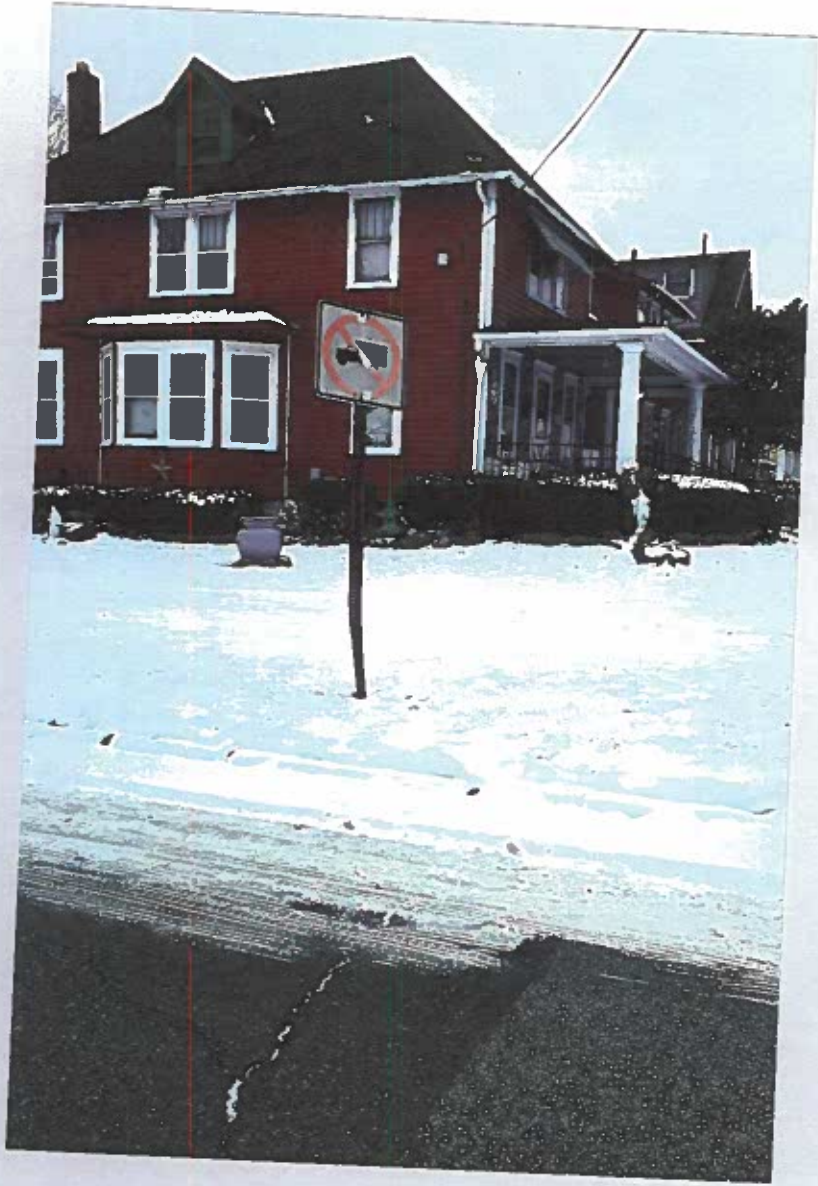




















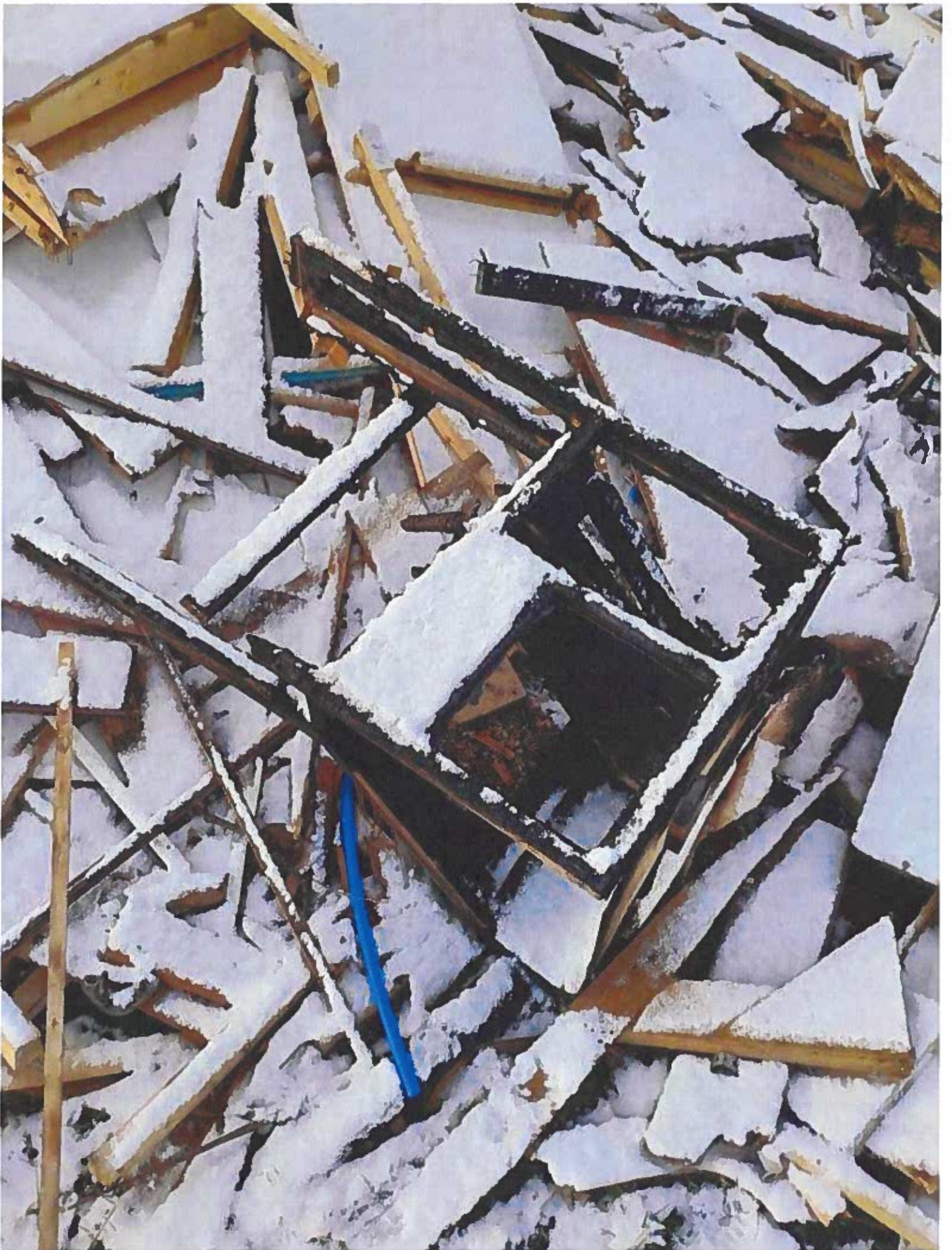


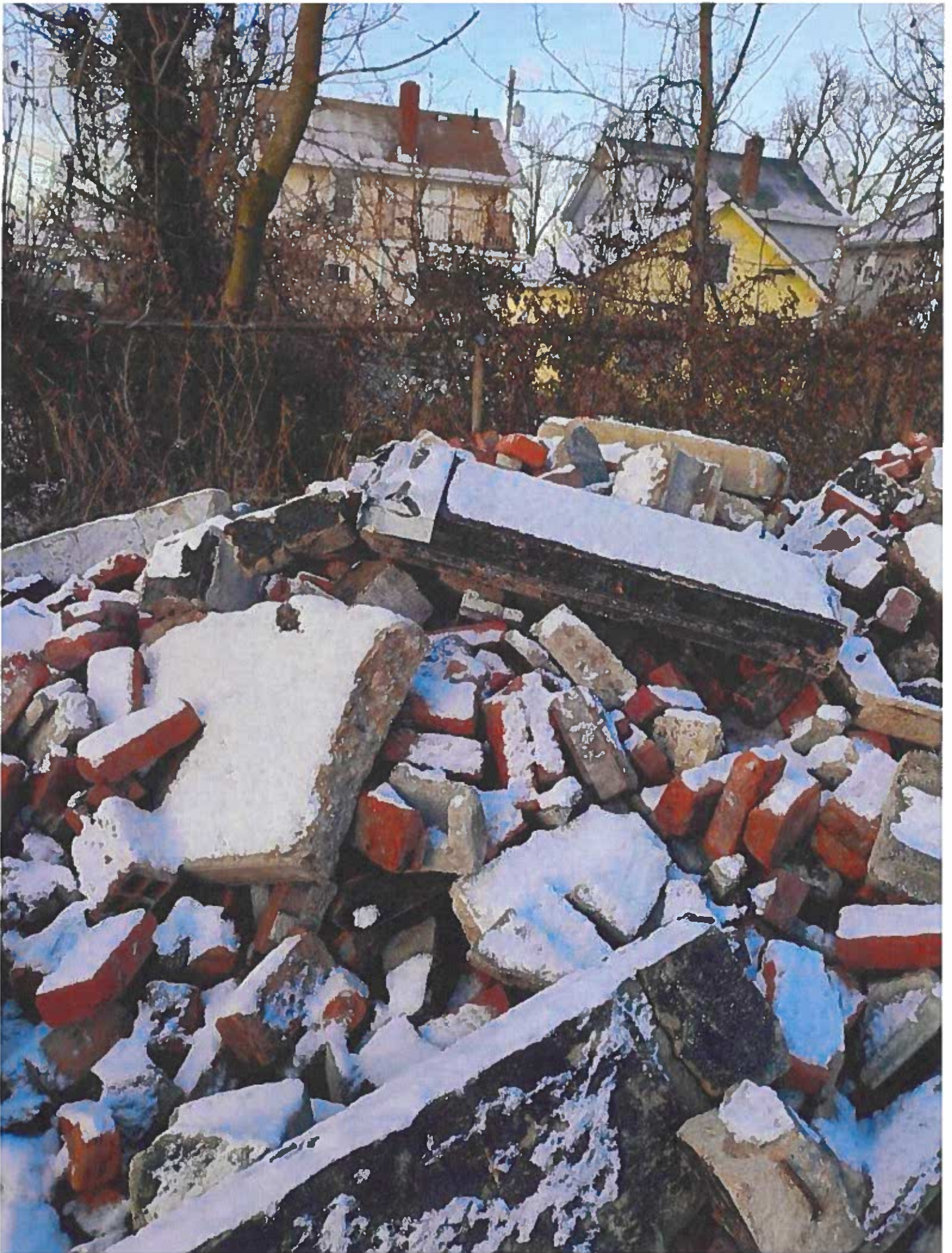
Atkinson, Evelisse

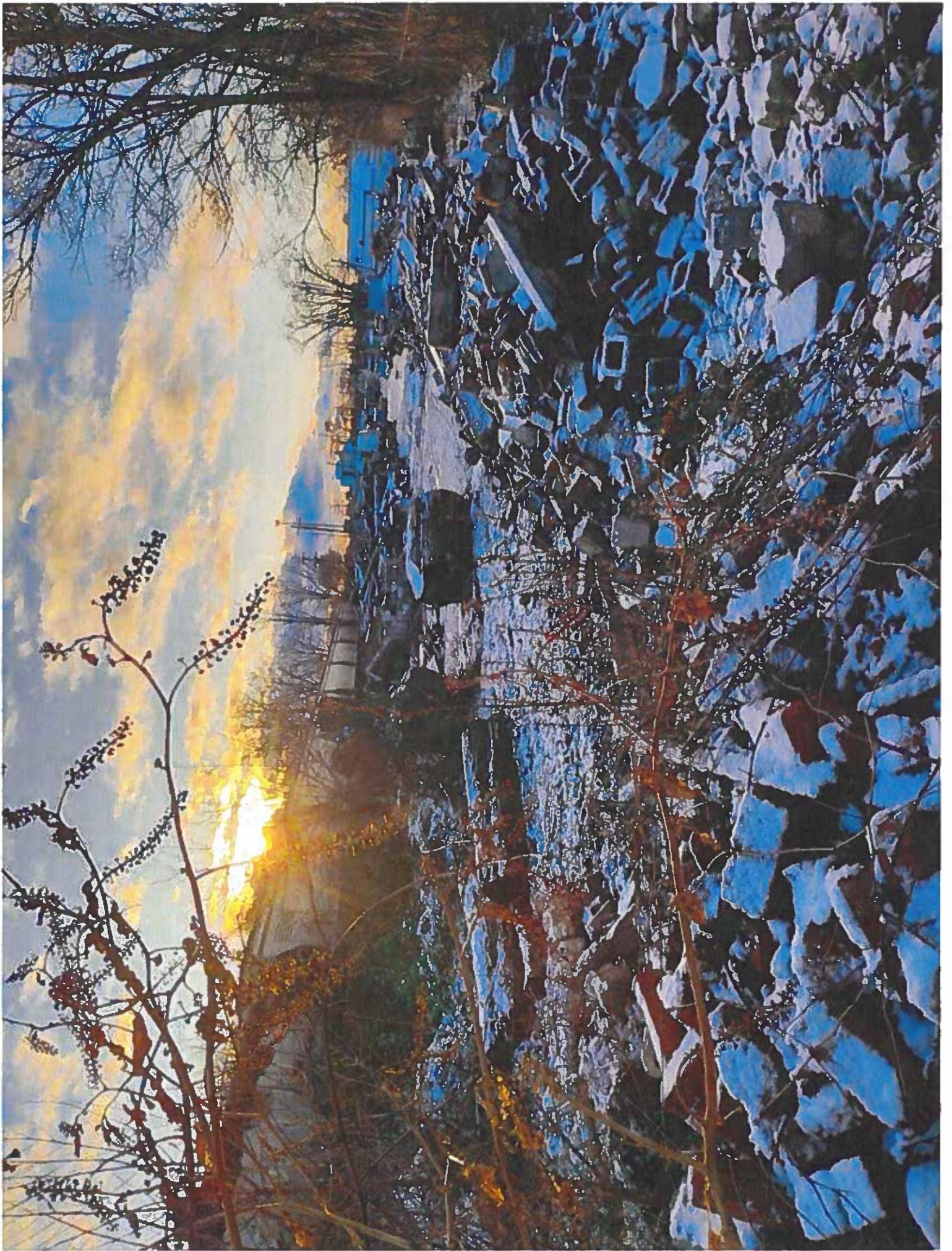
From: Springowski, Mary
Sent: Sunday, January 11, 2026 6:30 PM
To: Faciana, David; Kuszniir, Matt; Arocho, Andres
Subject: American Crucible
Attachments: image000006.jpeg; image000005.jpeg; image000004.jpeg; image000001.jpeg;
image000002.jpeg; image000003.jpeg; image000000.jpeg

These are the photos taken from the back yards of residents on 12th St abutting the former American Crucible. This is debris from the ruins of the fire. People are concerned about potentially hazardous or toxic chemicals.

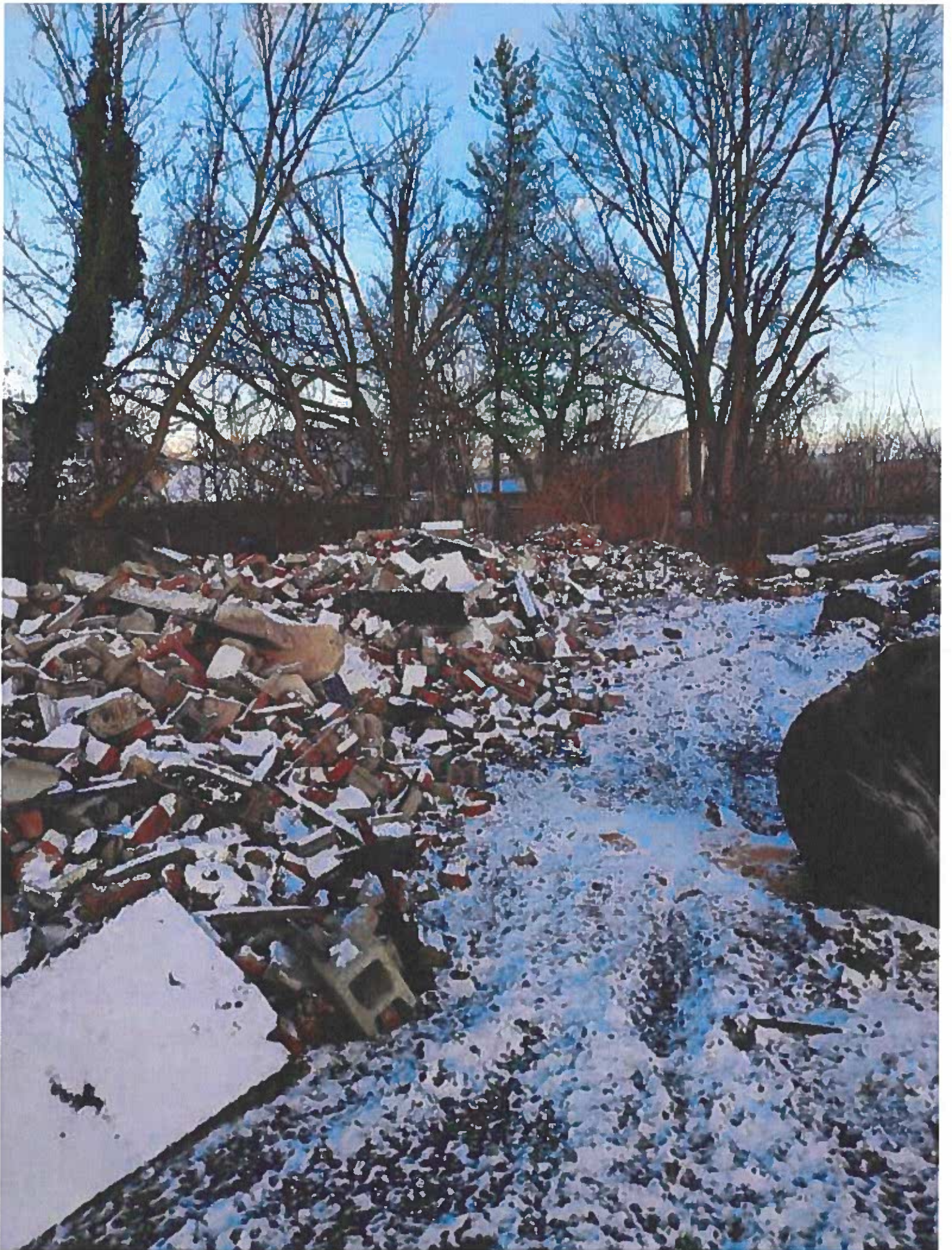
Get [Outlook for iOS](#)

















CITY OF LORAIN

Planning Commission

4. C.

Meeting Date: 02/04/2026

Subject:

P.D.P. 01-2026, (Previously held in abeyance) Submission for Planning Commission's review and consideration, a Preliminary Development Plan for residential new construction, in a PUD-Planned Unit Development district, Chapter 1131 and Section 1145 Site Development Plans located at, PPN's 02-02-009-101-089 and 02-02-008-107-061. Kevin Hoffman, Polaris Engineering & Surveying, (agent) applicant.

Attachments

Plan Review Comments

Application



Jack Bradley
Mayor

CITY OF LORAIN

Department of Building, Housing & Planning

Matthew Kuszmir
Director

David Faciana
Chief Building Official

REVISED

January 26, 2026

To: Planning Commission

Re: *P.D.P. 01-2026, Submission for Planning Commission's review and consideration, a Preliminary Development Plan for residential new construction, in a PUD-Planned Unit Development district, Chapter 1131 and Section 1145 Site Development Plans located at, PPN's 02-02-009-101-089 and 02-02-008-107-061. Kevin Hoffman, Polaris Engineering & Surveying, (agent) applicant.*

The following comments were received in response to the plans for consideration:

Zoning

- Currently, the Zoning Code does not have a standard for fee-simple ownership however, Planned Unit Developments (PUD) are intended to be unique and create a variety of options for development. Therefore, the proposed amended Preliminary Development Plan will need the following modifications considered by Planning Commission and City Council per Sections 1131.04(b) and 1123.02:
 - The interior side yard setback requirement is five (5) feet. The proposed development of two-family dwellings (duplexes) will have a shared wall between units.
 - The typical required lot width for a two-family dwelling is sixty (60) feet however, the separation wall and proposed lot line creates a lot width of forty-five (45) feet per unit.
- Per Section 1131.05(7), all Private Covenants and Restrictions must be recorded with the Lorain County Clerk prior to plat approval or issuance of a building permit.

Building

- Plans will be reviewed at a later date.

Engineering and Utilities:

- We would prefer that the Sanitary Sewer NOT have two bulkheads in the NW portion of the development as this can create stagnant flow in the system and odors (parcels 85 & 86).
- Additionally, catch basins are not to be placed in driveway aprons.
- As far as watermain, it looks good as long as hydrants are not placed too close to driveways. There is a concern of a small dead-end on the NE section at plots 27-30 that could result in some pressure/quality concerns.
- We would have them add a water main interconnection that could follow the storm sewer through the dog park as there is an 8" PVC Main in that direction to loop to.

- There is a sanitary line and manhole that would be in the backyard of parcel 97/98. This may need to be represented on the plans, and it could possibly allow direction of the sewer in that direction if topography/grade allows to reduce a tap into the sewer line along Jaeger.
- Please include Pre- & Post-Drainage Calculations & Area of Disturbance as per [1529.08: Development Site One Acre in Size or Larger](#)

Police and Fire- No comment submitted.

Review of the Preliminary or Final Development Plan by City departments and Planning Commission does not permit or authorize the commencement of any development or construction. The applicant must submit the required applications, fees, and necessary documents to each respective department for permit consideration after full approval from Planning Commission.

Respectfully,



Evelisse Atkinson
Planning & Zoning Administrator



Jack Bradley
Mayor

CITY OF LORAIN

PLANNING COMMISSION

PDP 01-2026

FDP _____

APPLICATION FOR DEVELOPMENT PLAN SUBMISSION

APPLICATION IS HEREBY MADE TO THE PLANNING COMMISSION OF THE CITY OF LORAIN, OHIO FOR DEVELOPMENT PLAN APPROVAL, CHAPTER 1145.

PLEASE CHECK ONE:

PRELIMINARY DEVELOPMENT PLAN: (required for Mixed-Use and Planned Unit Developments)

FINAL DEVELOPMENT PLAN:

OWNER OR AGENT NAME: Agent - Kevin Hoffman - Polaris Engineering & Surveying, Inc.

ADDRESS OF OWNER: 34600 Chardon Road, Suite D

CITY: Willoughby Hills STATE: OH ZIP CODE: 44094

PHONE: 440-944-4433 x102 EMAIL: kevinh@polaris-es.com

PROPERTY ADDRESS or PPN: PPN 0202009101089 & 0202008107061

CITY: Lorain STATE: OH ZIP CODE: 44053

BRIEF DESCRIPTION OF PROJECT: _____

Proposing 57 Duplex Units (114 total Units) Development with Public Road

ZONING DISTRICT: PUD


APPLICANT'S SIGNATURE

12/12/25
DATE

APPROVED	
_____ CHAIRMAN, CITY OF LORAIN PLANNING COMMISSION	_____ DATE
FOR OFFICE USE ONLY	



Polaris Engineering & Surveying

34600 Chardon Road Suite D
Willoughby Hills, Ohio 44094
Office: (440) 944-4433
Fax: (440) 944-3722

December 12, 2025

City of Lorain, Building, Housing & Planning
Attn: Evelisse Atkinson, Planning & Zoning Administrator
200 West Erie Ave., 5th Floor
Lorain, OH 44052

RE: Lighthouse Pointe – Amended PUD Preliminary Plan

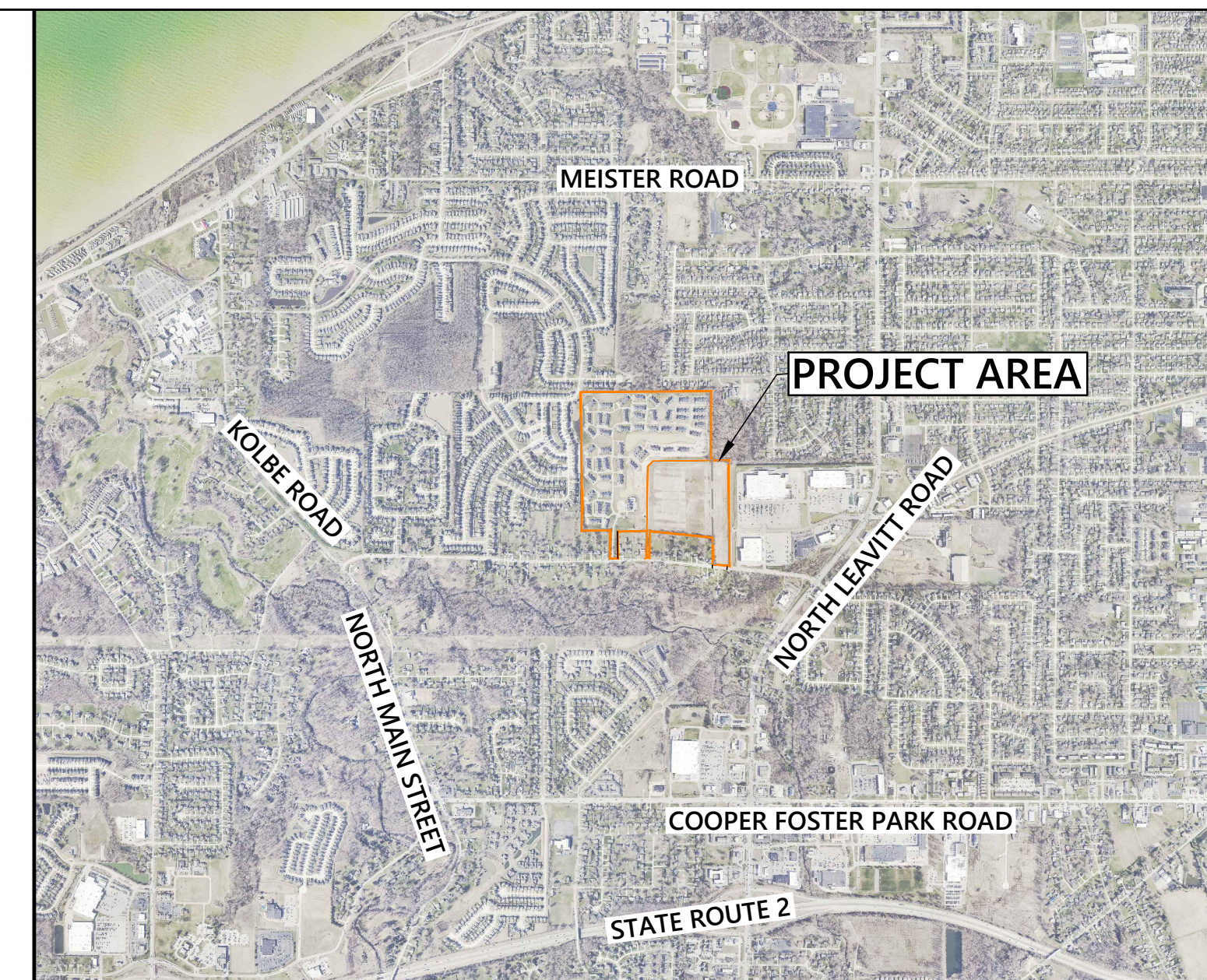
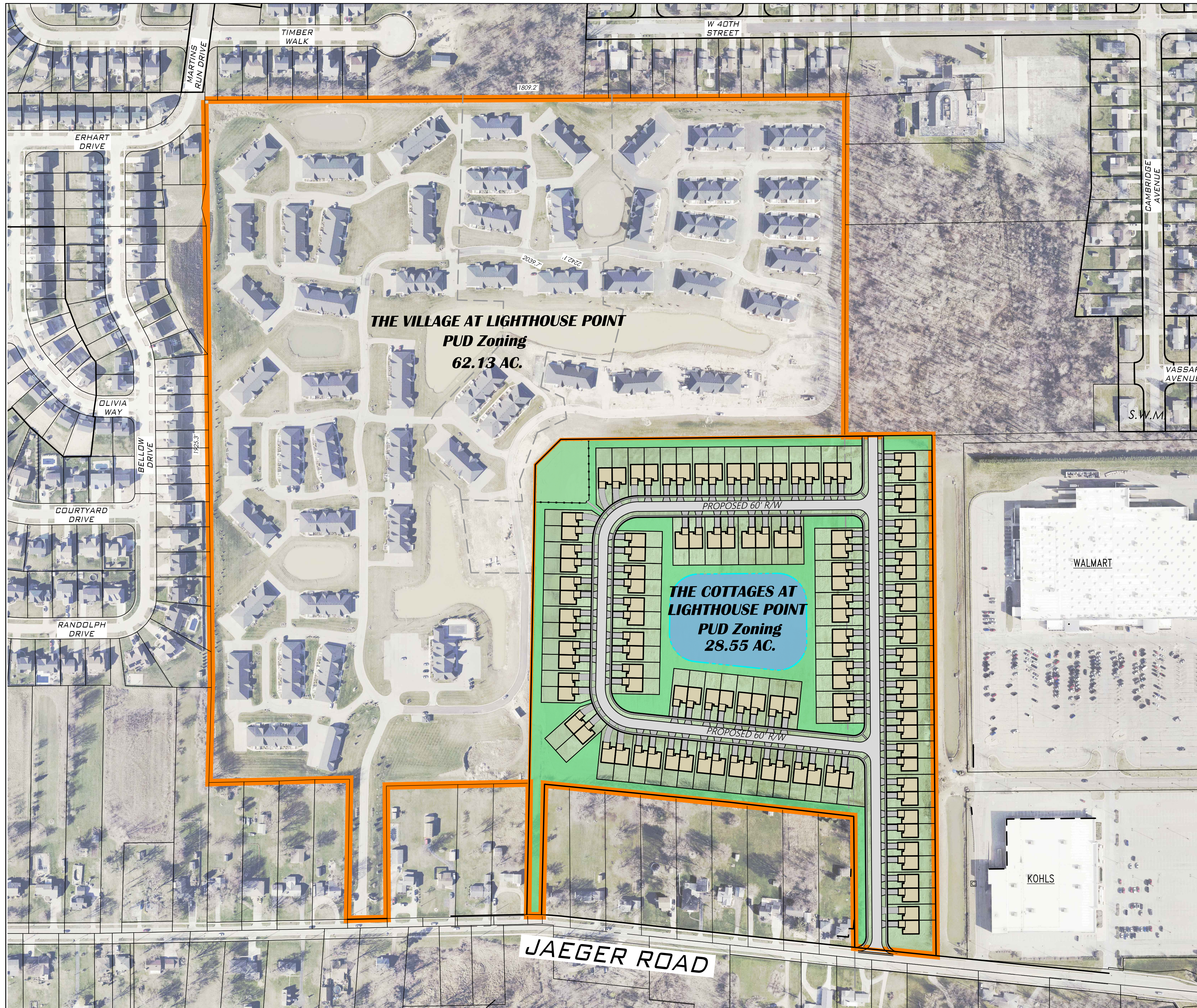
Ms. Atkinson,

On behalf of my client, Robert Benjamin of Claridon-Chardon Development, LLC please find the attached application for the Amended PUD Preliminary Plan for Lighthouse Pointe. This plan is being amended to propose 57 duplex buildings (114 total units) on the remaining 28.55 acres of vacant land owned by Jovic, LLC. This sub-development will be referred to as The Cottages at Lighthouse Point. The proposed duplex buildings will be ranch-style dwellings (with basements) and will be platted on fee simple sublots. The dwellings will front onto a proposed 60 public right of way, and the roadway will be constructed to city standard specifications. Approximately 7.41 acres of open space will be provided which is in excess of the 20% requirement. We look forward to presenting this plan to the commission.

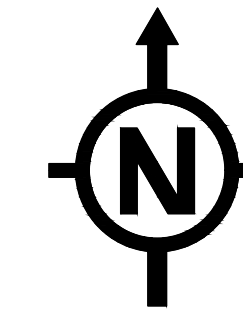
Respectfully,

A handwritten signature in black ink that reads "Kevin T. Hoffman".

Kevin T. Hoffman, P.E.
Polaris Engineering & Surveying, Inc.



VICINITY MAP
(N.T.S)



PROPERTY OWNER:
 Jovic, LLC
 1451 Meister Road
 Lorain, OH 44053
 PHONE: 440-759-2920
 CONTACT: Anthony Giardini

DEVELOPED BY:
 Claridon-Chardon Real Estate
 Development, LLC
 38270 McDowell Dr.
 Solon, OH 44139
 PHONE: (216) 410-3485
 CONTACT: Robert Benjamin

**LIGHTHOUSE POINT
AMENDED PUD**

CITY OF LORAIN - LORAIN COUNTY - OHIO

POLARIS ENGINEERING & SURVEYING, INC.
 34600 CHARDON ROAD - SUITE D
 WILLOUGHBY HILLS, OHIO 44094
 (440) 944-4433
 www.polaris-es.com



**OVERALL
DEVELOPMENT PLAN
FOR
AMENDED PUD**

PREPARED FOR:
 Claridon-Chardon
 Real Estate Development, LLC
 PHONE: (216) 410-3485
 CONTACT:
 ROBERT BENJAMIN

CONTRACT No.

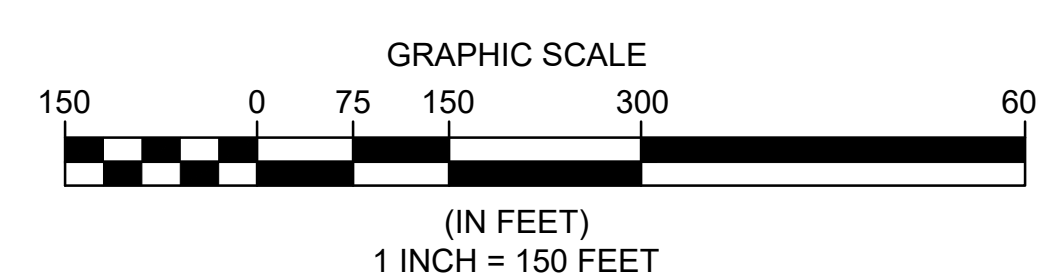
25134

SHEET	OF
01	03

REV. No.	DATE	BY

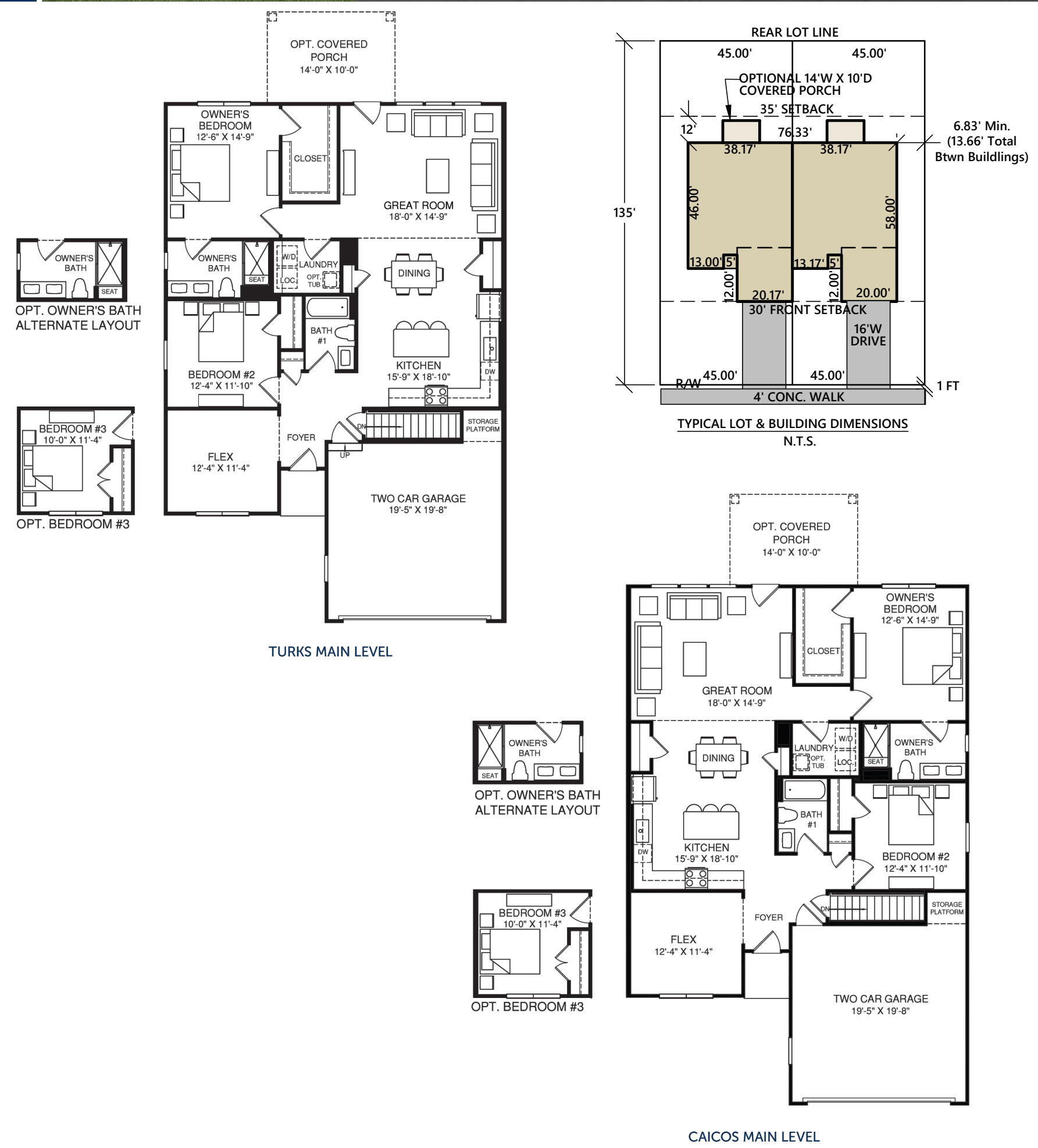
DATE: 12/12/25 DRAWN: KTH
 SCALE: HOR. 1"=150' VERT. N/A
 FOLDER: DWG/Concept Planning
 FILENAME: 25134 Preliminary Plan
 TAB: 01-Overall
 BNDY. BY: MPS
 BASE. BY: SRB

NOTE:
 EXISTING TOPOGRAPHIC AND SURROUNDING PARCEL INFORMATION SHOWN IS PER LORAIN COUNTY GIS DATA. POLARIS ENGINEERING AND SURVEYING, INC. ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE TOPOGRAPHIC AND SURVEY INFORMATION SHOWN ON THIS PLAN.



SITE INFORMATION:
PROJECT AREA = 28.5549 Ac.
CURRENT & PROP. ZONING = PUD
OPEN SPACE REQUIRED = 5.71 Ac. (20%)
OPEN SPACE PROVIDED 7.41 Ac. (25.9%)
RIGHT OF WAY PROVIDED = 4.75 AC.
57 DUPLEX BUILDINGS SHOWN = 114 TOTAL UNITS
DENSITY = 3.99 UNITS/AC
ROADWAY - ±3250 LF OF 27' WIDE PAVEMENT (BTWN BACK OF CURBS)

TURKS/CAICOS



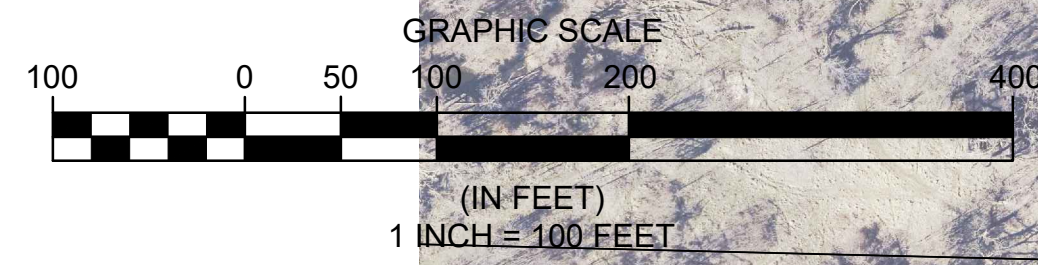
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PARCEL CURVE TABLE ~ Rec./Msd.						
CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING	TANGENT
C1	41.04'	830.00'	2°49'59"	41.04'	N89°05'01"W	20.52'



REV. No.	DATE	BY

DATE: 12/12/25 DRAWN: KTH
 SCALE: HOR. 1"=100' VERT. N/A
 FOLDER: DWG/Concept Planning
 FILENAME: 25134 Preliminary Plan
 TAB: 02-Prelim
 BNDY. BY: MPS
 BASE. BY: SRB



**LIGHTHOUSE POINT
 AMENDED PUD**

POLARIS ENGINEERING & SURVEYING, INC.
 34600 CHARDON ROAD - SUITE D
 WILLOUGHBY HILLS, OHIO 44094
 (440) 944-4433
 www.polaris-es.com



**THE COTTAGES
 AT LIGHTHOUSE POINT
 PRELIMINARY SITE PLAN**

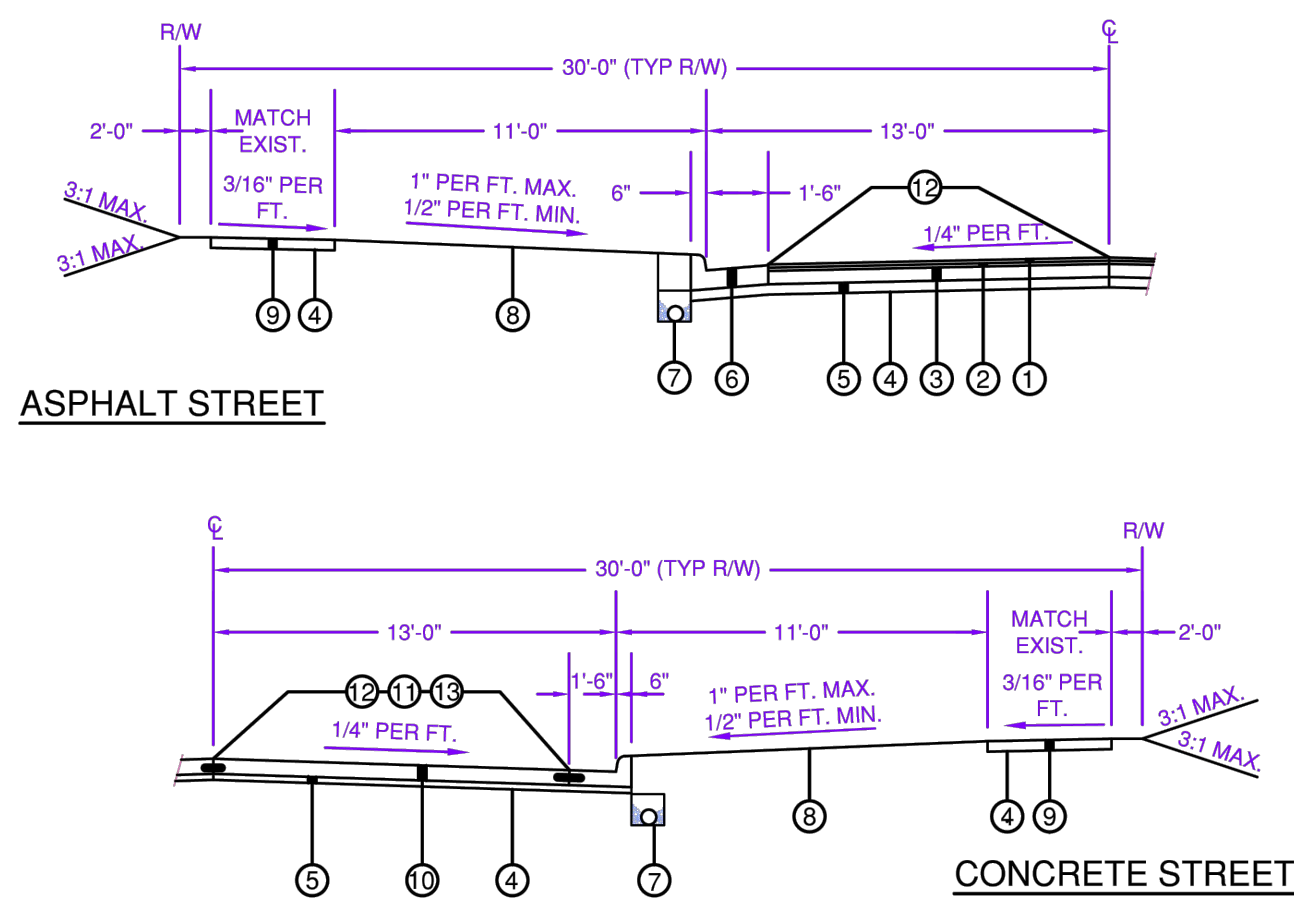
PREPARED FOR:
 Claridon-Chardon
 Real Estate Development, LLC
 PHONE: (216) 410-3485
 CONTACT:
 ROBERT BENJAMIN

CONTRACT No.

25134

SHEET OF
02 03

CITY OF LORAIN - LORAIN COUNTY - OHIO



- LEGEND**
- 1 ITEM 441 1-1/4" ASPHALT CONCRETE SURFACE COURSE, TYPE 1, PG 64-22 (10% RAP MAX)
 - 2 ITEM 441 1-3/4" ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2, PG 64-22 (35% RAP MAX)
 - 3 ITEM 301 9" ASPHALT CONCRETE BASE
 - 4 ITEM 204 SUBGRADE COMPACTION AND PROOF ROLLING
 - 5 SUBBASE: ASPHALT 4" 304 LIMESTONE
 - 6 ITEM 609 24" CONCRETE CURB & GUTTER, MODIFIED TYPE 2, CLASS QC 1
 - 7 ITEM 605 4" UNDERDRAINS (SEE DETAIL PV-3.0)
 - 8 ITEM 659 SEEDING AND MULCHING
 - 9 ITEM 608 4" CONCRETE SIDEWALK 6" DRIVE APPROACH AND 6" SIDEWALK BEHIND APPROACH, 6" CURB RAMPS
 - 10 ITEM 452 8" PLAIN PORTLAND CEMENT CONCRETE PAVEMENT WITH TYPE 2A INTEGRAL CURB, CLASS QC 1
 - 11 ITEM 451.09 LONGITUDINAL & TRANSVERSE JOINTS PER ODOT SCD BP-2.1 AND 2.2; SAW CUT TRANSVERSE JOINTS ON 15' CENTERS AND AT RE-ENTRY CORNERS; #5 X 30" TIE BAR @ 30" C/C FOR LONGITUDINAL JOINTS
 - 12 ITEM 451.16/705.04 JOINT SEALING: LONGITUDINAL, TRANSVERSE AND CURB & GUTTER JOINTS; 2" TO 4" BAND WHEN SEALING ASPHALT
 - 13 ITEM 451.09 PAVEMENT GUTTER REINFORCING STEEL: SAW CUT; #5 X 30" TIE BAR @ 30" C/C PER ODOT SCD BP-2.1

- NOTES**
- VERTICAL 6" CURB ROADWAY STANDARDS ARE AS FOLLOWS: TRAVEL LANE = 26" MINIMUM. BOC TO BOC 27" MINIMUM.
 - ROLLED 4" CURB ROADWAY STANDARDS ARE AS FOLLOWS: TRAVEL LANE = 26" MINIMUM. BOC TO BOC 27" 4" MINIMUM.
 - ADDITIONAL CURB DESIGNS CAN BE FOUND ON PV 5.0 AND PV 5.1.
 - CONCRETE SPECIFICATIONS: QC1P: ROADWAY; QCMS: BOXOUTS, DRIVEWAYS, SIDEWALK WITHIN DRIVEWAY; QC1 OR QC MISC: WALK AND CURB RAMPS.

NOTE 1: THIS DETAIL IS VALID ONLY WHEN USED AS PRESENTED HERE, WITHOUT CHANGES, AND IN CONJUNCTION WITH ANY GENERAL NOTES AND/OR OTHER DETAILS WHICH MAY APPLY. ANY CHANGES TO THIS DETAIL SHALL FIRST BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER.

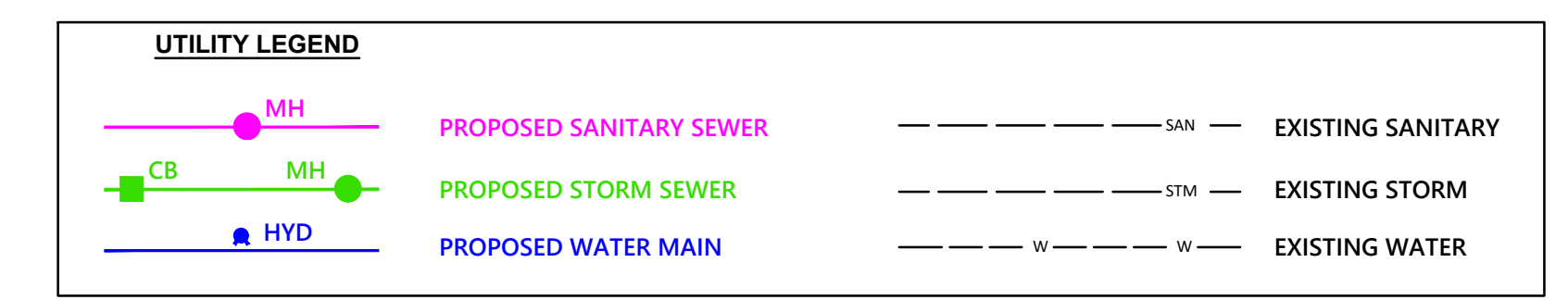
NOTE 2: BEFORE ANY EXCAVATING, CALL THE FOLLOWING NUMBER AT LEAST 48 HOURS IN ADVANCE: O.U.P.S. @ (800) 382-2784

NO.	DATE	REVISION	NO.	DATE	REVISION
2	02/12/2016		11	03/04/2020	LEGEND NO. 12 REV.
4	04/18/2017		13	04/26/2022	CROSS SLOPE REV.
7	01/01/2018		13	07/28/2022	CONC. SUBBASE DEPTH
10	06/20/2019	NO. 4 CHANGED			
11	02/05/2020	DETAIL NO. 12 REVISED			
11	02/12/2020	SIDEWALK WIDTH REV.			

City of Lorain
200 West Erie Avenue Lorain, Ohio 44052
Phone: (440) 204-2003

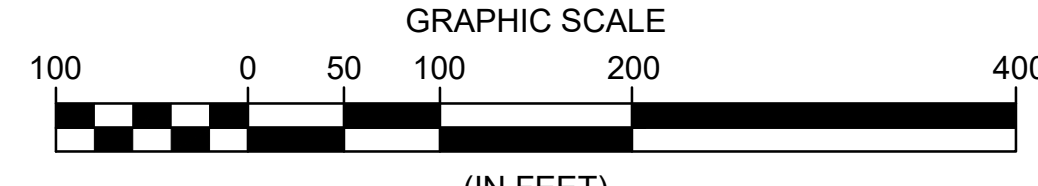
**STANDARD DESIGNS
PAVEMENT
TYPICAL STREET-RESIDENTIAL**

PV-2.0

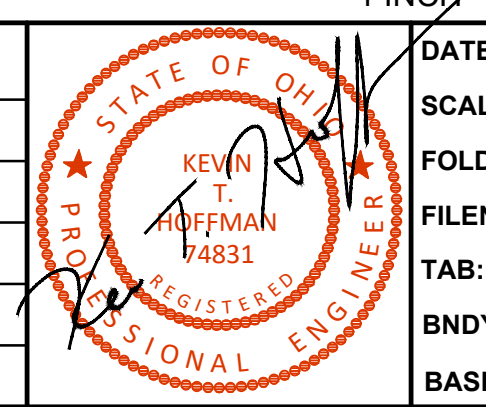


- SYMBOL LEGEND**
- Ex. Clean Out
 - Ex. Catch Basin
 - Prop. Catch Basin
 - Ex. Yard Drain
 - Ex. Manhole
 - Ex. Storm Manhole
 - Prop. Storm Manhole
 - Ex. Sanitary Manhole
 - Prop. Sanitary Manhole
 - Prop. Curb Inlet
 - Ex. Curb Inlet
 - Ex. Storm Inlet MH
 - Ex. Gas Meter
 - Ex. Gas Valve
 - Ex. Gas Marker
 - Ex. Water Valve
 - Ex. Water Meter
 - Ex. Fire Hydrant
 - Prop. Hydrant
 - Prop. WL Valve
 - Well
 - Ex. Telephone Box
 - Ex. Electrical Box
 - Ex. Power Transformer
 - Cable TV Box
 - Ex. Power Pole
 - Ex. Light Power Pole
 - Ex. Yard Light
 - Ex. Guy Wire
 - Ex. Light Pole
 - Prop. Light Pole
 - Traffic Signal Pole
 - Traffic Signal Box
 - Ex. Tree
 - Ex. Pine Tree
 - Ex. Bush
 - Ex. Stump
 - Ex. Mailbox
 - Ex. Sign
 - Electrical Outlet
 - Ex. Monument Box
 - Irrigation Valve
 - Sprinkler Control Box
 - Sprinkler Head
 - Test Bore
 - Guard Post

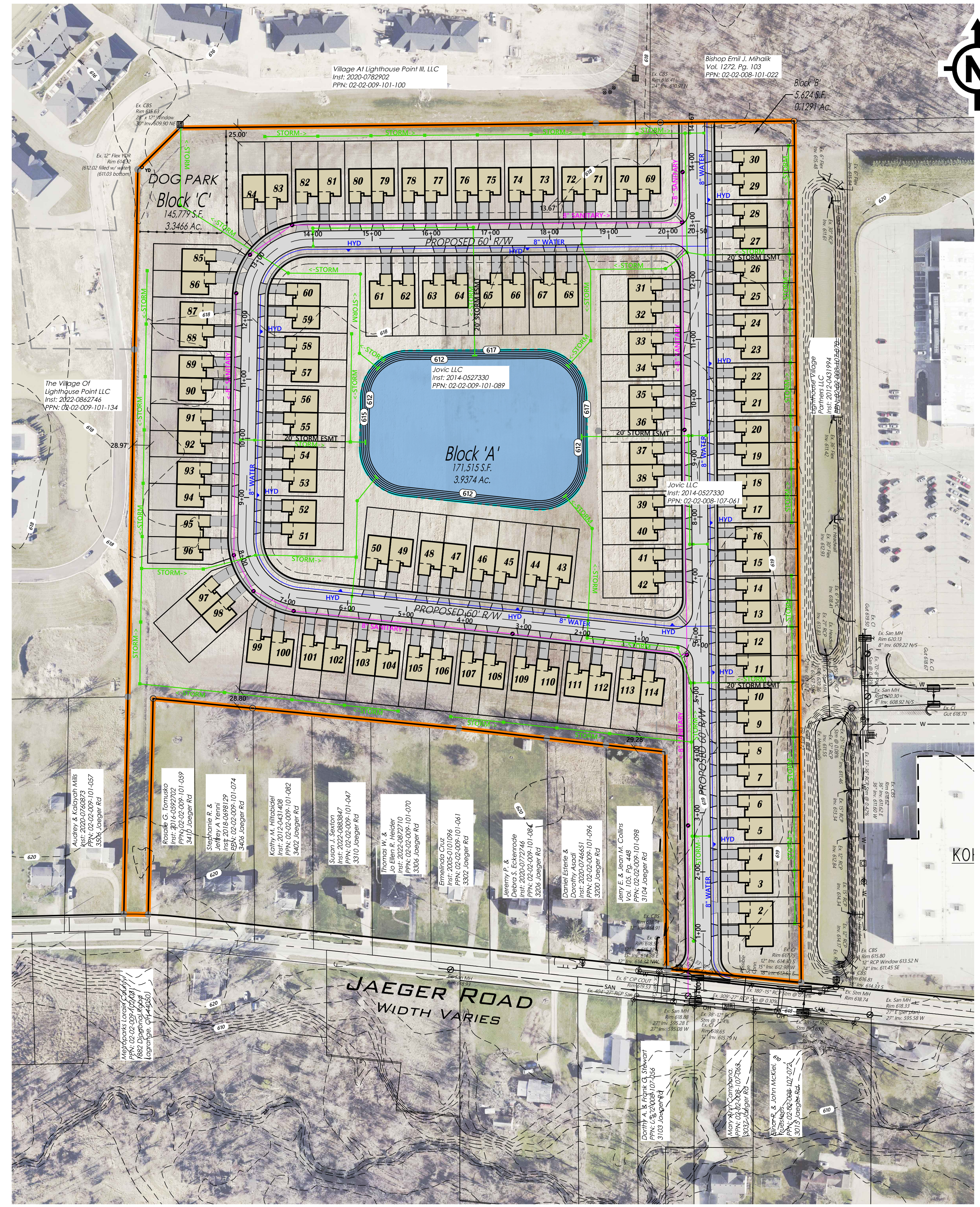
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REV. NO.	DATE	BY	DESCRIPTION



DATE: 12/12/25 DRAWN: KTH
SCALE: HOR. 1"=100' VERT. N/A
FOLDER: DWG/Concept Planning
FILENAME: 25134 Preliminary Plan
TAB: 03-Utility
BDY. BY: MPS
BASE. BY: SRB



**LIGHTHOUSE POINT
AMENDED PUD**

POLARIS ENGINEERING & SURVEYING, INC.
34600 CHARDON ROAD - SUITE D
WILLOUGHBY HILLS, OHIO 44094
(440) 944-4433
www.polaris-es.com



**THE COTTAGES
AT LIGHTHOUSE POINT
PRELIMINARY PLAN**

PREPARED FOR:
Claridon-Chardon
Real Estate Development, LLC
PHONE: (216) 410-34895
CONTACT:
ROBERT BENJAMIN

CONTRACT NO. 25134

SHEET	OF
03	03



Polaris Engineering & Surveying

34600 Chardon Road Suite D
Willoughby Hills, Ohio 44094
Office: (440) 944-4433
Fax: (440) 944-3722

December 12, 2025

**RE: Lighthouse Point Amended PUD Preliminary Plan
The Cottages at Lighthouse Point – Adjoining Owners:**

The Village Of
Lighthouse Point LLC
PPN: 02-02-009-101-100 & 134
3600 Jaeger Road
Lorain, OH 44053

Bishop Emil J. Mihalik
PPN: 02-02-008-101-022
2711 W.40th Street
Lorain, OH 44053

Lighthouse Village
Partners LLC
PPN: 02-02-008-107-070
Lorain, OH 44053

Elinor R. & John McKiel, Trustees
PPN: 02-02-008-107-072
3015 Jaeger Rd.
Lorain, OH 44053

Mary Ann Campana,
PPN: 02-02-008-107-063
3037 Jaeger Rd
Lorain, OH 44053

Dorothy A. & Frank G. Stewart
PPN: 02-02-008-107-056
3103 Jaeger Rd
Lorain, OH 44053

Metroparks Lorain County
PPN: 02-02-009-102-031
1882 Diagonal Road
Lagrange, OH 44050

Jerry E. & Jean M. Collins
PPN: 02-02-009-101-098
3104 Jaeger Rd
Lorain, OH 44053

Daniel Esterle &
Dorothy Asadi
PPN: 02-02-009-101-096
3200 Jaeger Rd
Lorain, OH 44053

Jeremy P. &
Debra S. Eckenrode
PPN: 02-02-009-101-084
3206 Jaeger Rd
Lorain, OH 44053

Ermelinda Cruz
PPN: 02-02-009-101-061
3302 Jaeger Rd
Lorain, OH 44053

Thomas W. &
Jo Ellen R. Heider
PPN: 02-02-009-101-070
3306 Jaeger Rd
Lorain, OH 44053

Susan J. Sexton
PPN: 02-02-009-101-047
3310 Jaeger Rd
Lorain, OH 44053

Kathy M. Hiltabidel
PPN: 02-02-009-101-082
3402 Jaeger Rd
Lorain, OH 44053

Stephanie R. &
Jeffrey A Yenni
PPN: 02-02-009-101-074

3406 Jaeger Rd
Lorain, OH 44053

Rosalie G. Tomusko
PPN: 02-02-009-101-059
3410 Jaeger Rd
Lorain, OH 44053

Audrey & Kalayah Mills
Inst: 2020-0760873
PPN: 02-02-009-101-057
3506 Jaeger Rd
Lorain, OH 44053



CITY OF LORAIN

Planning Commission

4. D.

Meeting Date: 02/04/2026

Subject:

F.D.P. 02-2026, Submission for Planning Commission's review and consideration, a Final Development Plan for Commercial new construction (rental office and storage), in a B-2 Business Commercial district, Chapter 1125 and Section 1145 Site Development Plans located at, 2767 W 21st St. Robert Gonzalez- Gonzalez Properties, applicant.

Attachments

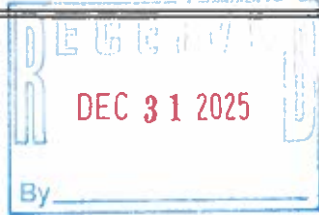
Application and Site Plan

Comments from City Departments



Jack Bradley
Mayor

CITY OF LORAIN PLANNING COMMISSION



PDP _____
FDP 02-2024

APPLICATION FOR DEVELOPMENT PLAN SUBMISSION

APPLICATION IS HEREBY MADE TO THE PLANNING COMMISSION OF THE CITY OF LORAIN, OHIO FOR DEVELOPMENT PLAN APPROVAL, CHAPTER 1145.

PLEASE CHECK ONE:

PRELIMINARY DEVELOPMENT PLAN: (required for Mixed-Use and Planned Unit Developments)

FINAL DEVELOPMENT PLAN:

OWNER OR AGENT NAME: ROBERT GONZALEZ

ADDRESS OF OWNER: 1439 MEISTER RD.

CITY: LORAIN STATE: OH ZIP CODE: 44053

PHONE: 440-320-2247 EMAIL: ROBERT GONZA 1957@GMAIL.COM

PROPERTY ADDRESS or PPN: 2767 WEST 21ST ST. 0202022107010

CITY: LORAIN STATE: OH ZIP CODE: 44053

BRIEF DESCRIPTION OF PROJECT: 4,000 SF. OFFICE / WAREHOUSE FOR GONZALEZ PROPERTIES (RENTAL OFFICE & STORAGE)

ZONING DISTRICT: B-2

Robert Gonzalez
APPLICANT'S SIGNATURE

12/30/25
DATE

APPROVED	
_____ CHAIRMAN, CITY OF LORAIN PLANNING COMMISSION	_____ DATE
FOR OFFICE USE ONLY	

MARK W. RUBY
ARCHITECT

199 NORTH LEAVITT ROAD SUITE #201

AMHERST, OHIO 44001

(440) 986-2091

12/30/25

Attn: Evelisse Atkinson, Planning & Zoning Administrator
City of Lorain Department of Building, Housing & Planning
200 West Erie Ave., 5th Floor
Lorain, OH 44052

Re: New Office / Warehouse for Robert Gonzalez

Dear Ms. Atkinson,

The owner of the property located at 2767 West 21st Street wishes to construct a new 50' x 80' = 4,000 sq. ft. Office / Warehouse on permanent parcel # 0202022107010.

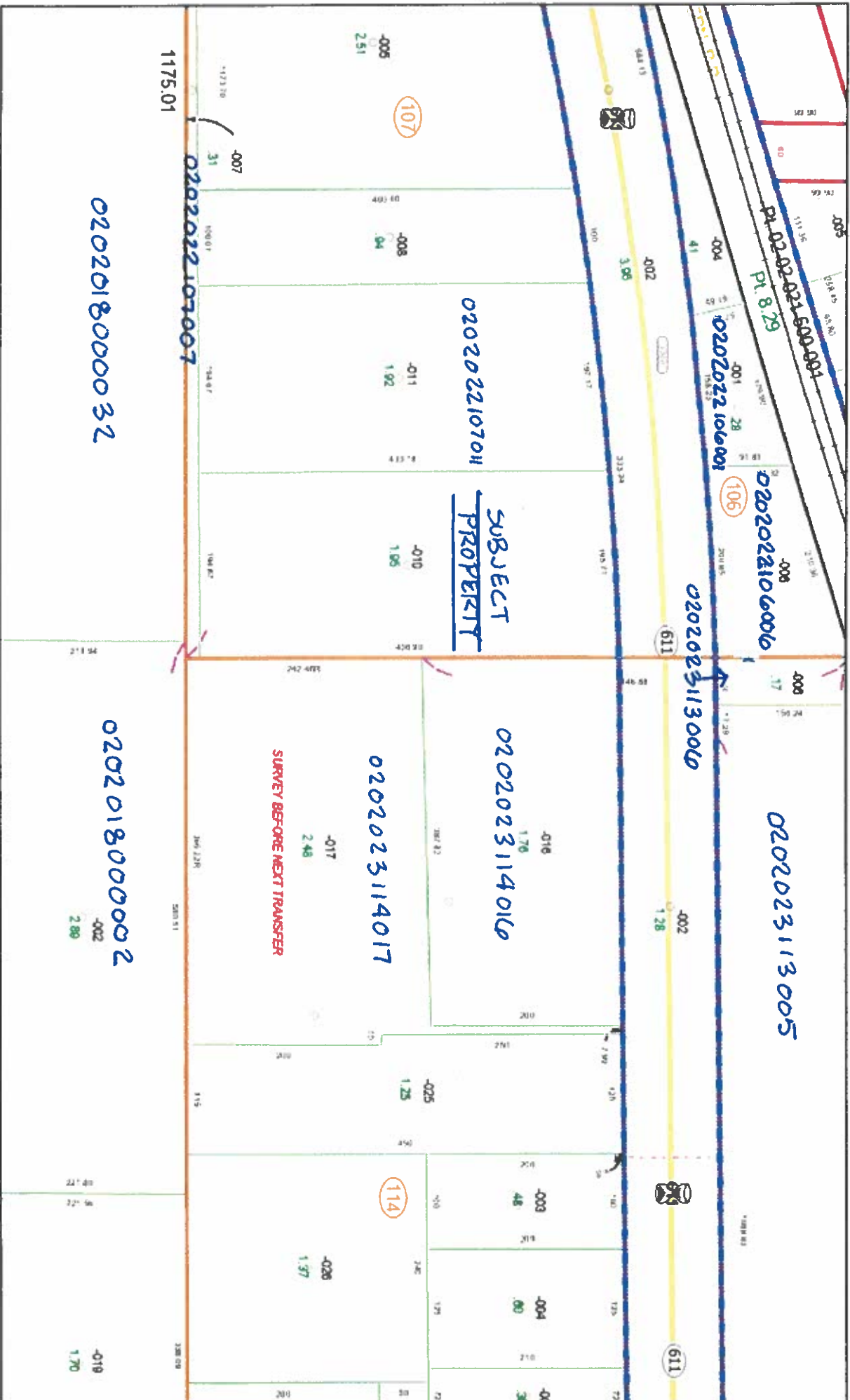
The purpose of the new facility is to provide rental office and storage space for Gonzalez Properties a.k.a. Nawassa Properties LLC. Please refer also to the Architectural and Engineering drawings for a detailed description.

The above itemizations should comply with your request. I appreciate your prompt attention to this matter. If I may be of further assistance, please feel free to call.

Sincerely,

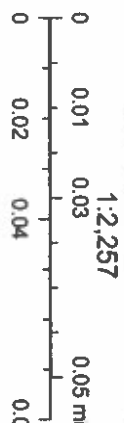

Mark W. Ruby, Architect

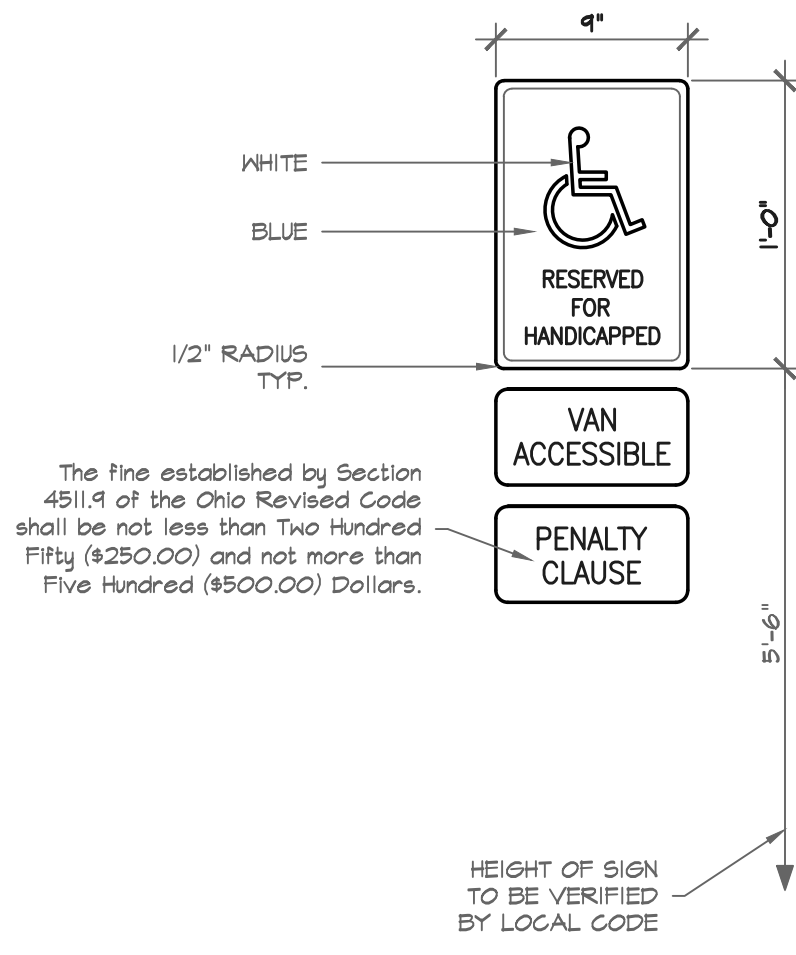
Lorain County Ohio



12/30/2025, 2:47:49 PM

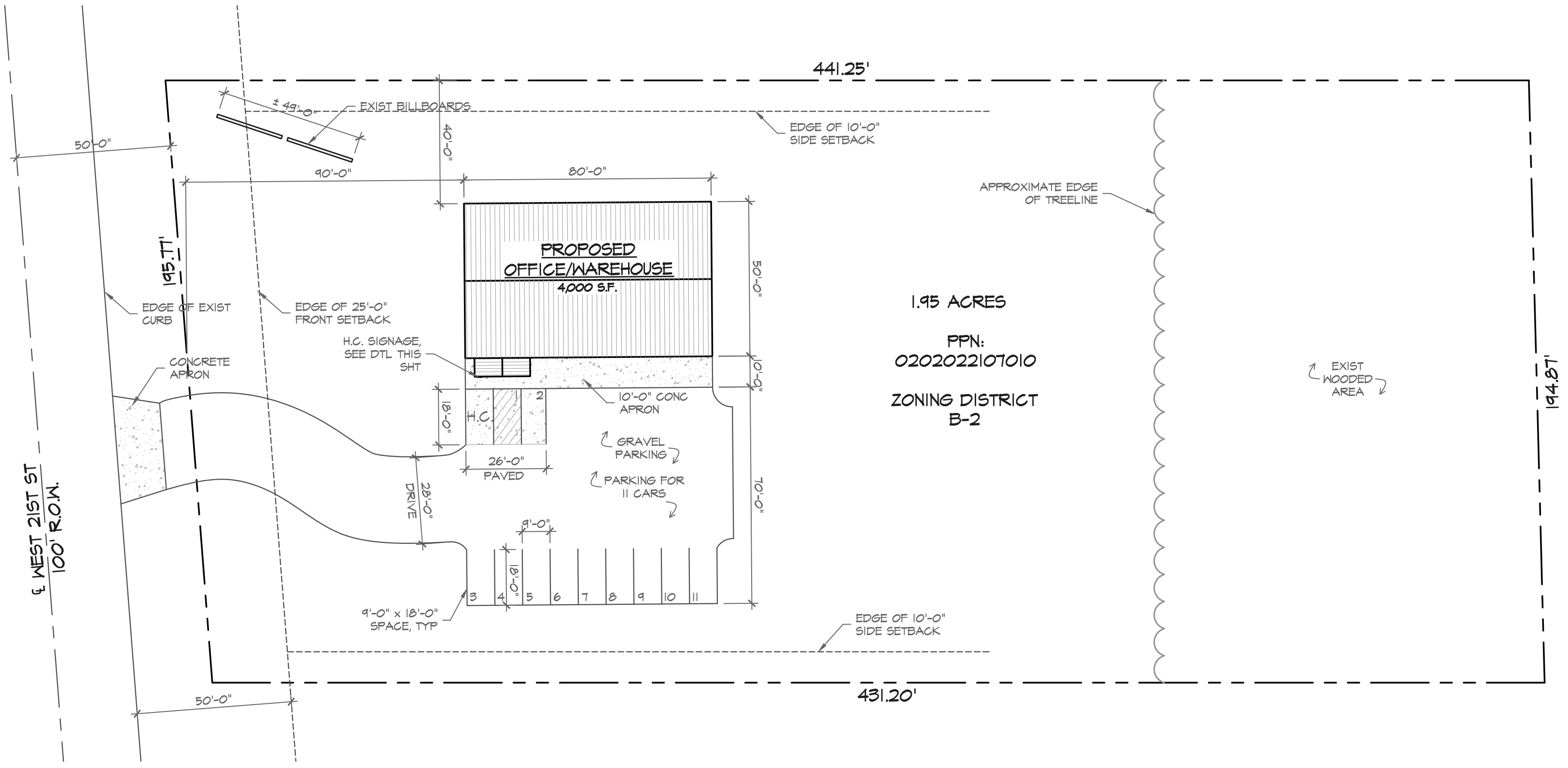
- Parcels
- Address Points
- Railroads
- Subdivisions_Condominiums
- Medium Symbols
- Arrow Medium
- FromTo Medium
- Tip Medium
- Boundaries
- Rail Right-of-Way
- Parcel Line
- Right-of-way Line
- Right-of-way Parcel Line
- PLSS Boundaries
- Original Lot Lines





DESIGN LOADS	
TRUSS DESIGN LOADS (FOR 4'-0" SPACING)	
TOP CHORD LL	25 P.S.F.
DL	10 P.S.F.
BOTTOM CHORD DL	5 P.S.F.
TOTAL LOAD	40 P.S.F.
FIRST FLOOR LIVE LOAD	PER OBC TABLE 1607.1
ROOF LIVE LOAD	25 P.S.F. + DRIFTING
(SNOW LOAD)	
GROUND SNOW LOAD	PS = 20 PSF (NOT USED)
FLAT ROOF SNOW LOAD	PF = 18 PSF (NOT USED)
MINIMUM RAIN ON SNOW SURCHARGE	25 PSF (NOT USED)
SNOW EXPOSURE FACTOR C _e	= 1.0
SNOW IMPORTANCE I	= 1.0
THERMAL FACTOR C _t	= 1.0
ULTIMATE WIND SPEED	115 MPH
WIND EXPOSURE CLASSIFICATION	EXPOSURE 'B'
WIND IMPORTANCE FACTOR	1.0
CLADDING WIND PRESSURES	13.4 PSF (INHARD)
WINDWARD	18.2 PSF (SUCTION)
LEEWARD	
SEISMIC USE GROUP	GROUP 1
SITE CLASS	D
BASIC SEISMIC FORCE RESISTING SYSTEM	BRACED FRAME
DESIGN CATEGORY	B
ANALYSIS PER	OBC 1613
DESIGN SOIL PRESSURE	1,500 P.S.F. (ASSUMED)

H.C. SIGNAGE
N.T.S.



SITE PLAN
SCALE: 1" = 30'-0"

CODE REVIEW	
USE GROUP :	S-1
CONSTRUCTION TYPE :	V B
BUILDING AREA :	4,000 S.F.
OCCUPANCY :	12

DRAWING INDEX	
A-1	SITE PLAN, FLOOR PLAN, DESIGN LOADS, H.C.
	SIGNAGE DETAIL, DOOR & FINISH SCHEDULES, H.C.
	TOILET ROOM PLAN, CODE REVIEW, DRAWING INDEX
A-2	BUILDING ELEVATIONS, WALL SECTION
M-1	MECHANICAL PLAN, PLUMBING ISOMETRIC, WATER
	HEATER PIPING DIAGRAM, MECHANICAL EQUIPMENT
	SPECIFICATIONS, PLUMBING NOTES, MECHANICAL
	NOTES
E-1	ELECTRICAL PLAN, RISER DIAGRAM, ELECTRICAL
	SYMBOL LEGEND, PANEL SCHEDULE, ELECTRICAL
	NOTES
C0.0	TITLE SHEET
C1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C2.0	SITE & UTILITY PLAN
C2.1	PRE & POST DRAINAGE PLAN
C3.0	GRADING PLAN
C4.0-4.3	SNPP PLAN
C5.0-5.4	MISCELLANEOUS NOTES & DETAILS

FOUNDATION LEGEND	
○	18"φ x 1'-0" DEEP CONC FTG (TYP OF IT)
○	30"φ x 1'-0" DEEP CONC FTG (TYP OF IT)

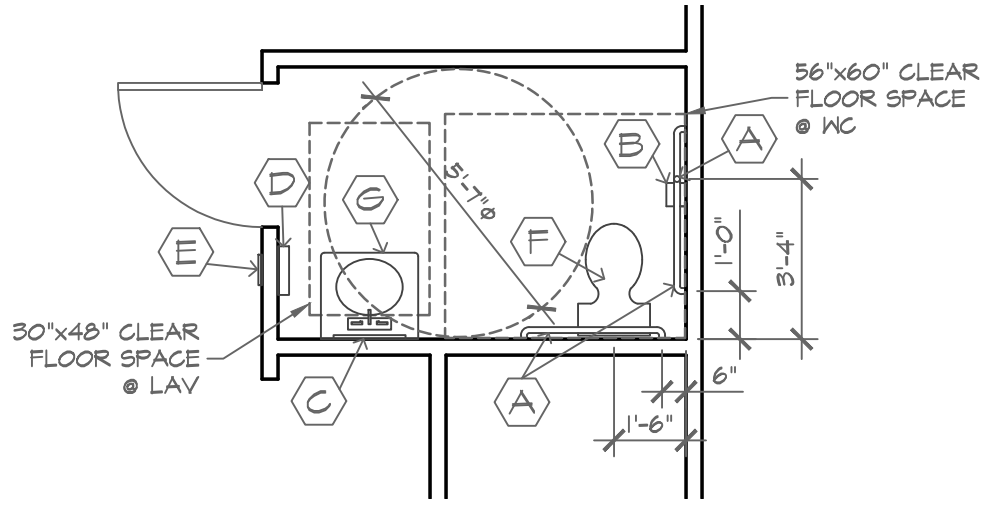
DOOR SCHEDULE							
NO.	MATL	KL	H.	TH.	FRAME	HD/L	REMARKS
D1	STL	3'-0"	7'-0"	1 3/4"	HM	LOCKSET CLOSER	INSUL 6-PANEL INSUL STL DOOR TO BE READILY OPENABLE FROM EGRESS SIDE W/O KEY OR SPECIAL KNOWLEDGE/
D2	STL	12'-0"	12'-0"	1 5/8"	-	-	INSUL OH DOOR EQUIPPED W/ AUTOMATIC OPENER
D3	WD	3'-0"	6'-8"	1 3/4"	HM	PASSAGE	SOLID CORE WD DOOR W/ H.C. ACCESSIBLE LEVER HANDLES.
D4	WD	4'-0"	6'-8"	1 3/4"	HM	PASSAGE	WD BI-FOLD DOOR
D5	WD	3'-0"	6'-8"	1 3/4"	HM	PRIVACY	SOLID CORE WD DOOR W/ H.C. ACCESSIBLE LEVER HANDLES.

DOOR NOTES:
 1) ALL DOORS TO HAVE H.C. ACCESSIBLE LEVER HANDLES & H.C. APPROVED THRESHOLDS. (THRESHOLDS SHALL NOT EXCEED 1/2").
 2) ALL MEANS OF EGRESS DOORS TO BE READILY OPENABLE FROM EGRESS SIDE W/O KEY OR SPECIAL KNOWLEDGE.
 3) THERE SHALL BE A LEVEL LANDING ON EACH SIDE OF DOOR EXCEPT FOR THE EXTERIOR LANDING WHICH IS PERMITTED TO SLOPE A MAX OF 2%.

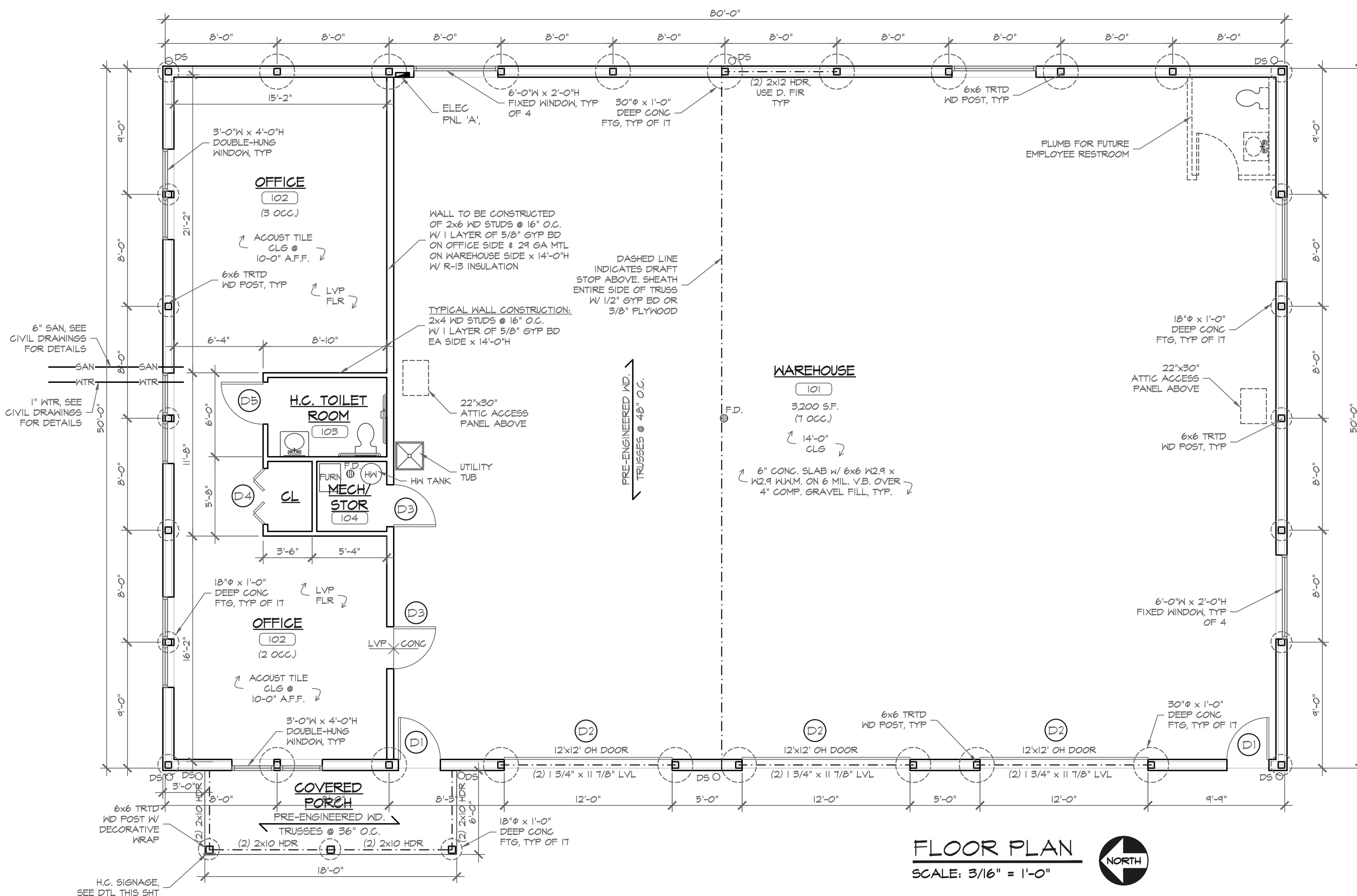
FINISH SCHEDULE									
NO.	ROOM NAME	BASE	FLOOR	WALLS			CEILING	HGT.	REMARKS
				N.	E.	S.			
101	WAREHOUSE	-	CONC	24 GA MTL			24 GA MTL	14'-0"	CONC FLOOR W/ SEALER
102	OFFICE	4" VINYL	LVP	GYP BD PAINT			ACoust TILE	10'-0"	
103	H.C. TOILET ROOM	6" VINYL	LVP	GYP BD PAINT			ACoust TILE	8'-0"	
104	MECH/STOR	4" VINYL	LVP	GYP BD PAINT			24 GA MTL	14'-0"	EXPOSED CLG

H.C. ACCESSORY SCHEDULE

- (A) 36" AND 42" LONG STAINLESS STEEL GRAB BARS; MOUNT WITH ϕ 3/8" A.F.F. & 18" VERT GRAB BAR WITH BOTTOM ϕ 40" A.F.F.; INSTALL USING CONCEALED WOOD BLKG. IN STUD WALLS; INSTALL WITH ANCHORS CAPABLE OF SUPPORTING 250# POINT LOAD AT ANY POINT ON BAR
- (B) TOILET PAPER HOLDER - SINGLE ROLL, SURFACE MOUNTED @ 14" A.F.F.
- (C) SURFACE MOUNTED MIRROR; 24" x 42"; MOUNT WITH BOT. @ 40" A.F.F.
- (D) PAPER TOWEL DISPENSER, SURFACE MOUNTED WITH BOTTOM @ 40" A.F.F.
- (E) ENGRAVED ADA, HANDICAPPED ACCESSIBLE UNISEX ROOM SIGN (WITH BRAILLE PLATE) MOUNT WITH ϕ 60" A.F.F.
- (F) H.C. WATERCLOSET W/ RIM @ 17" A.F.F., GERBER MODEL #21718 TANK TYPE W/ OPEN FRONT (OR EQUAL)
- (G) H.C. LAVATORY W/ RIM @ 34" MAX. AND MIN. OF 29" CLR. BELOW TO BE EQUIPPED W/ LEVER HANDLES OR OTHER APPROVED CONTROLS. ALL EXPOSED PIPES TO BE INSULATED.



ENLARGED H.C. TOILET ROOM PLAN
SCALE: 1/4" = 1'-0"



FLOOR PLAN
SCALE: 3/16" = 1'-0"

REVISIONS	BY

MARK W. RUBY
ARCHITECT
189 NORTH LEAVITT ROAD, SUITE 201
AMHERST, OH. 44001
(440) 986-2091

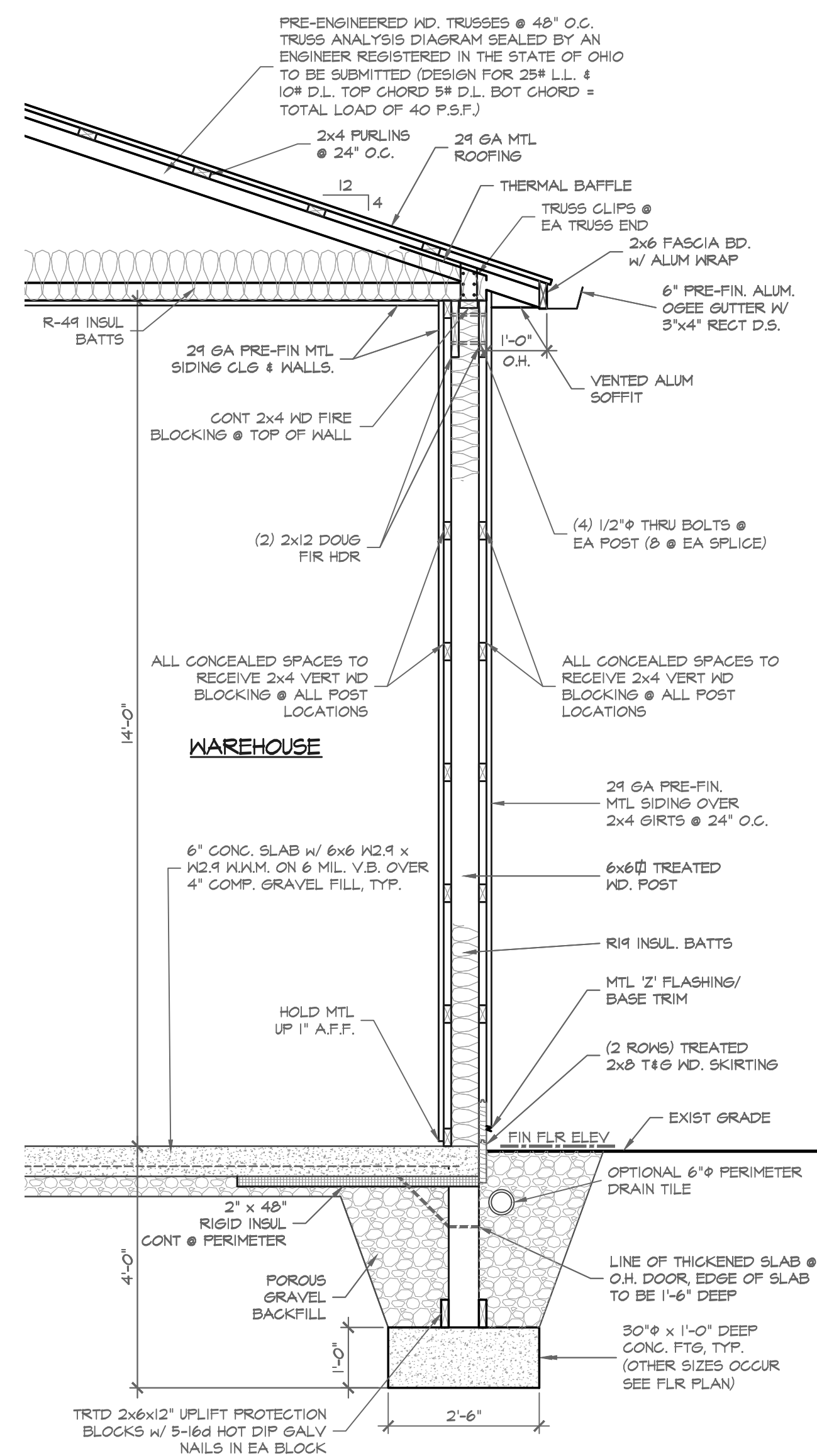
TITLE
NEW 50' x 80' OFFICE/WAREHOUSE FOR
ROBERT GONZALEZ
2767 W 21ST STREET
LORAIN, OH

STATE OF OHIO
REGISTERED ARCHITECT
MARK W. RUBY
9199

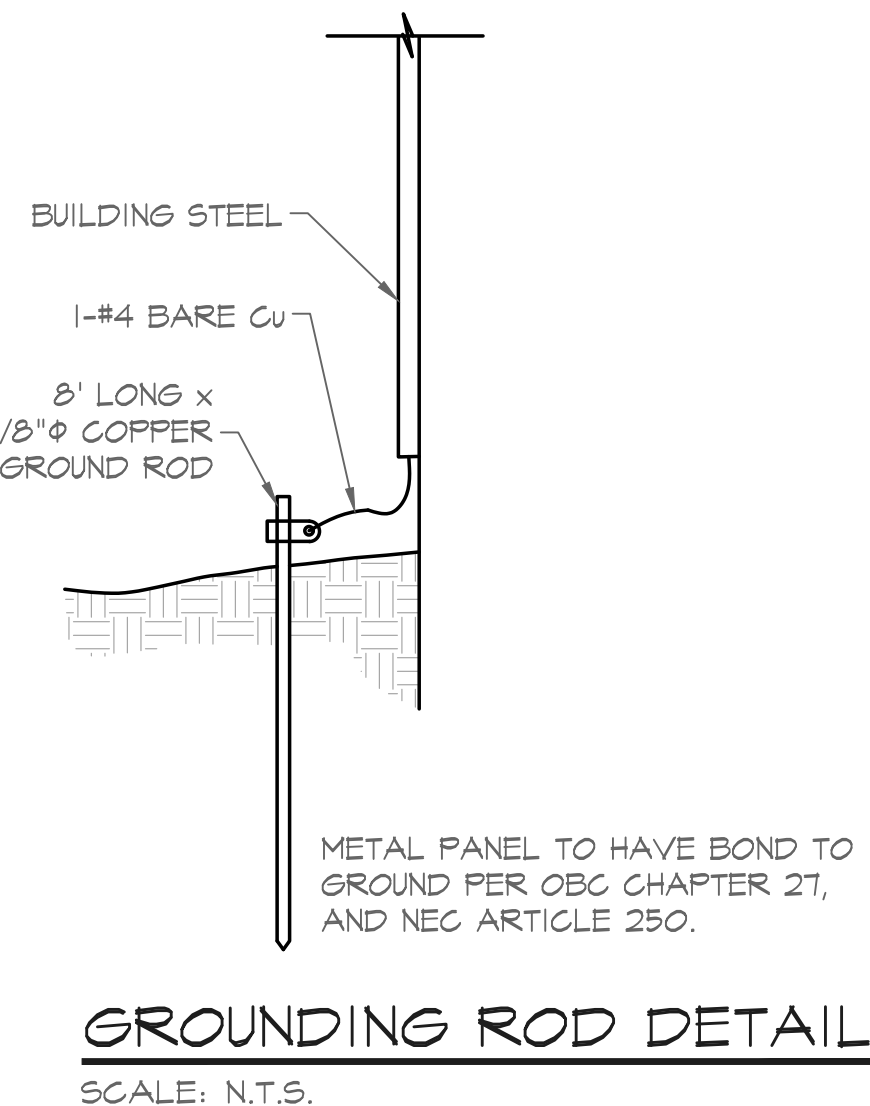
DATE 12/29/25
PROJ. 2547
SHEET

A-1

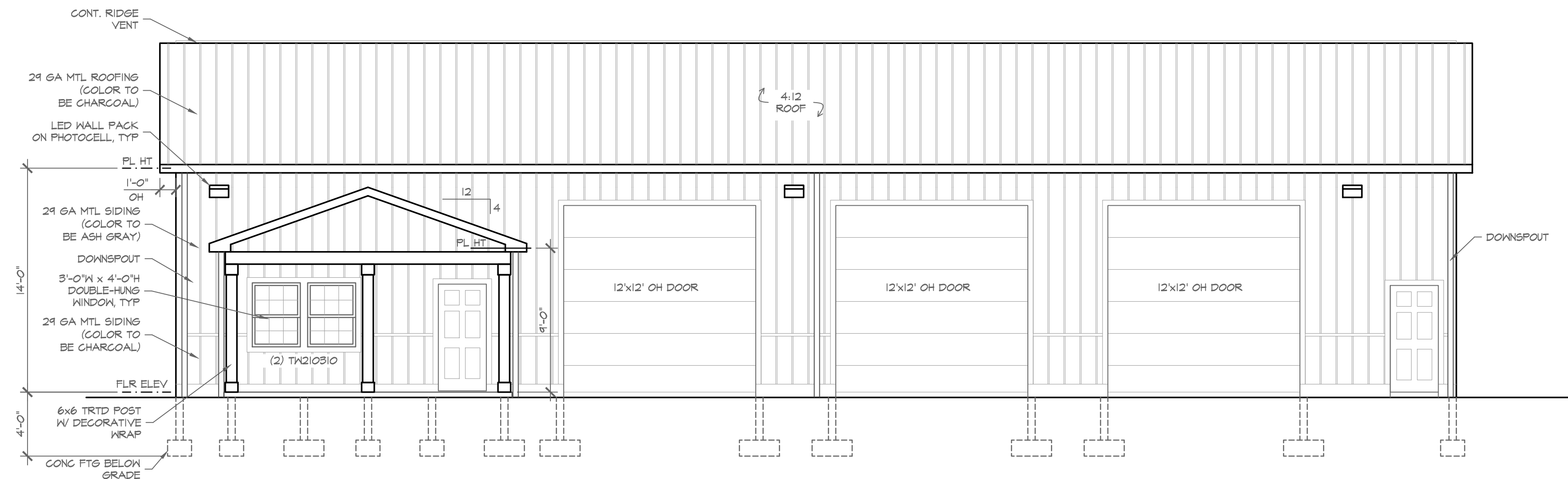
MARK W. RUBY #9199
LICENSE EXPIRES 12/31/25



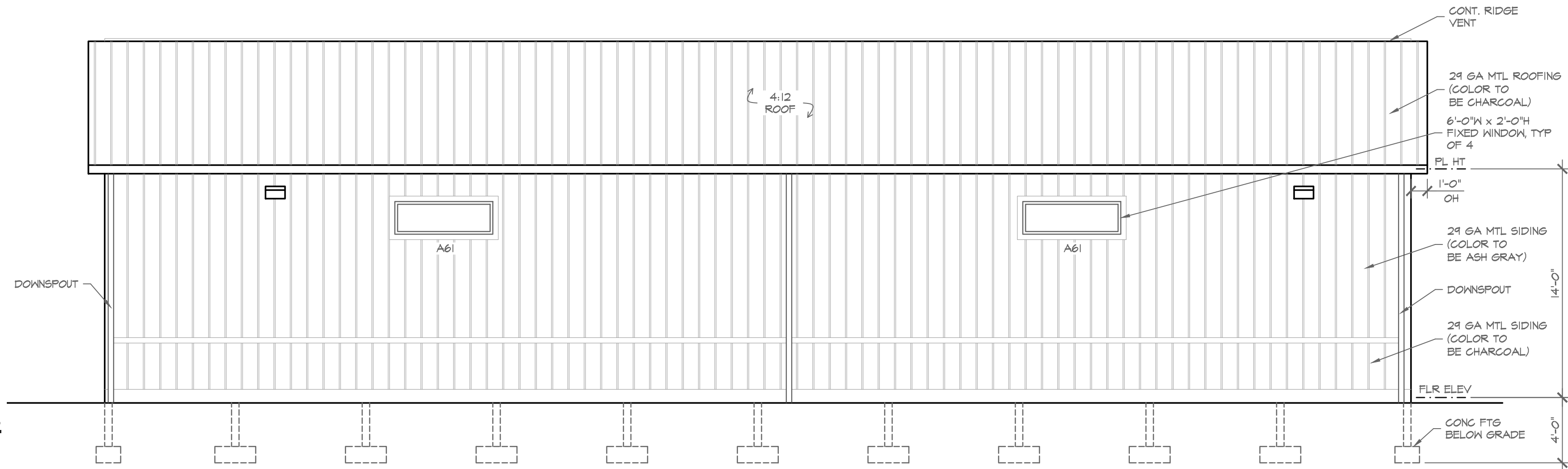
WALL SECTION
SCALE: 1/2" = 1'-0"



GROUNDING ROD DETAIL
SCALE: N.T.S.

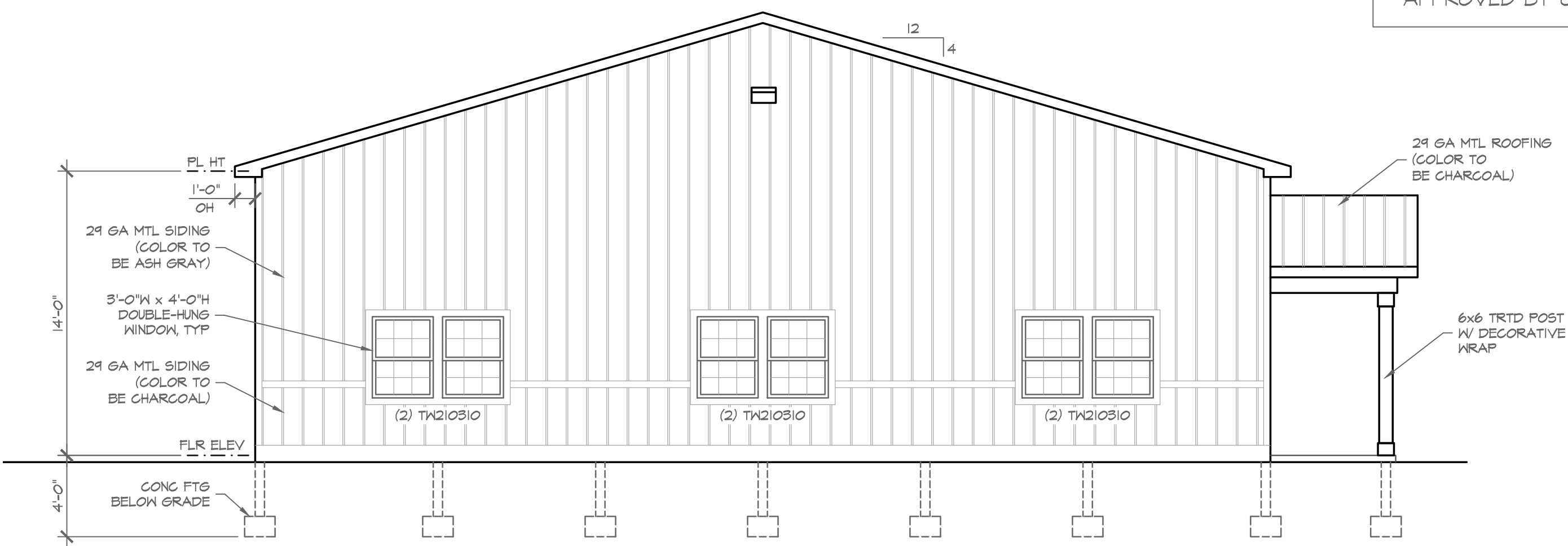


WEST ELEVATION
SCALE: 3/16" = 1'-0"

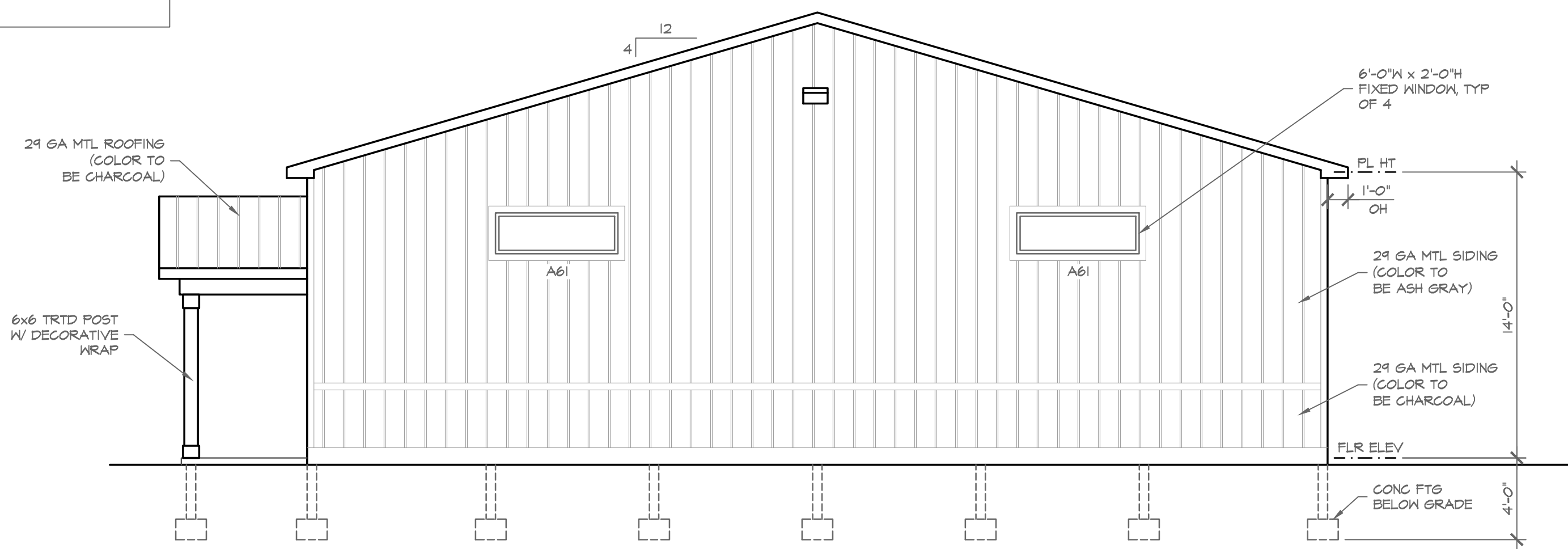


EAST ELEVATION
SCALE: 3/16" = 1'-0"

NOTE:
WINDOWS AS DESIGNATED BY "ANDERSEN"
AN ALTERNATIVE MANUF MAY BE USED AS
APPROVED BY OWNER



NORTH ELEVATION
SCALE: 3/16" = 1'-0"



SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

REVISIONS	BY

MARK W. RUBY
ARCHITECT
189 NORTH LEAVITT ROAD, SUITE 201
AMHERST, OH, 44001
(440) 986-2091

TITLE
NEW 50' x 80' OFFICE/WAREHOUSE FOR
ROBERT GONZALEZ
2767 W 21ST STREET
LORAIN, OH



DATE 12/29/25
PROJ. 2547
SHEET

A-2

PLUMBING NOTES:

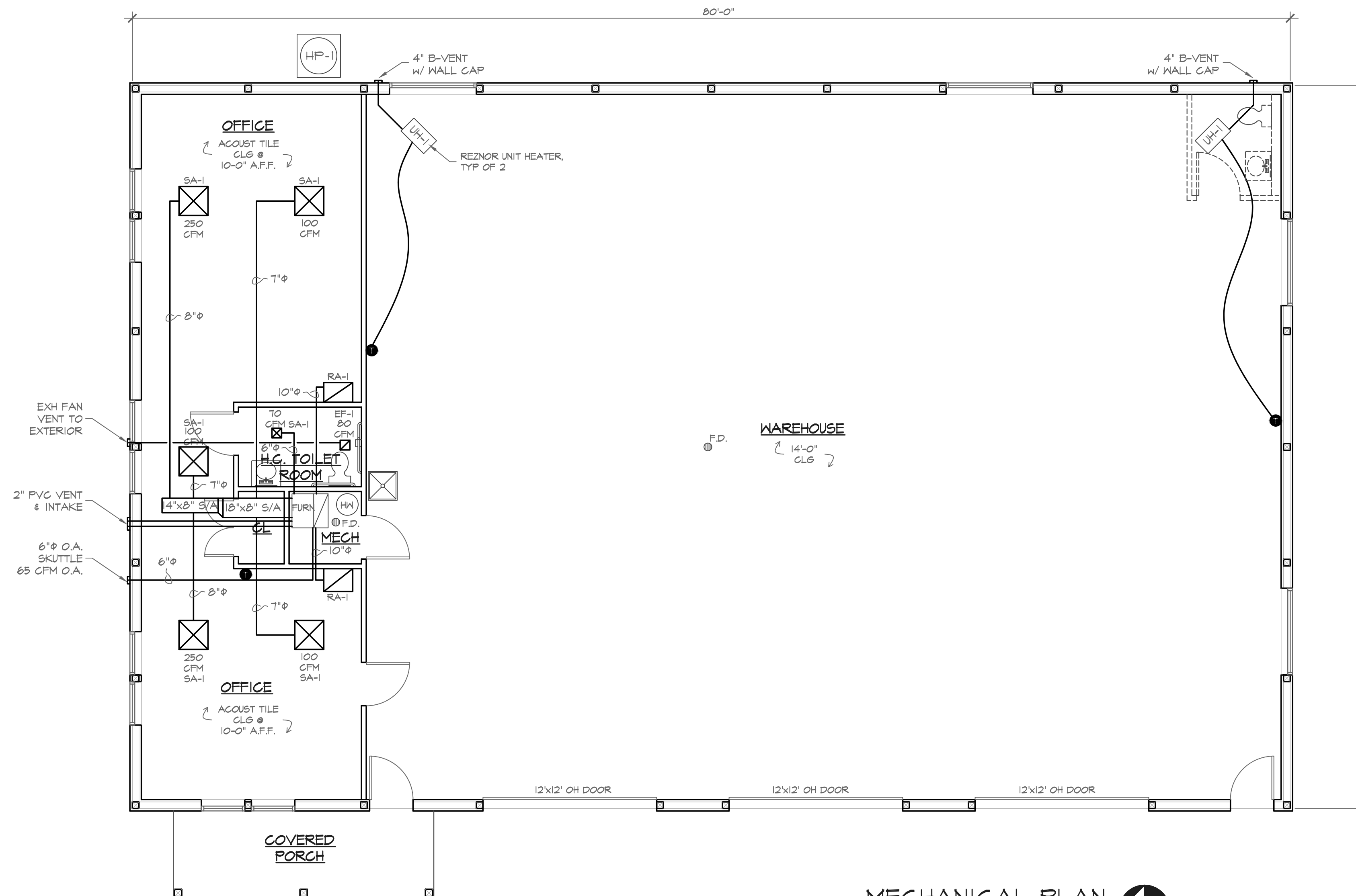
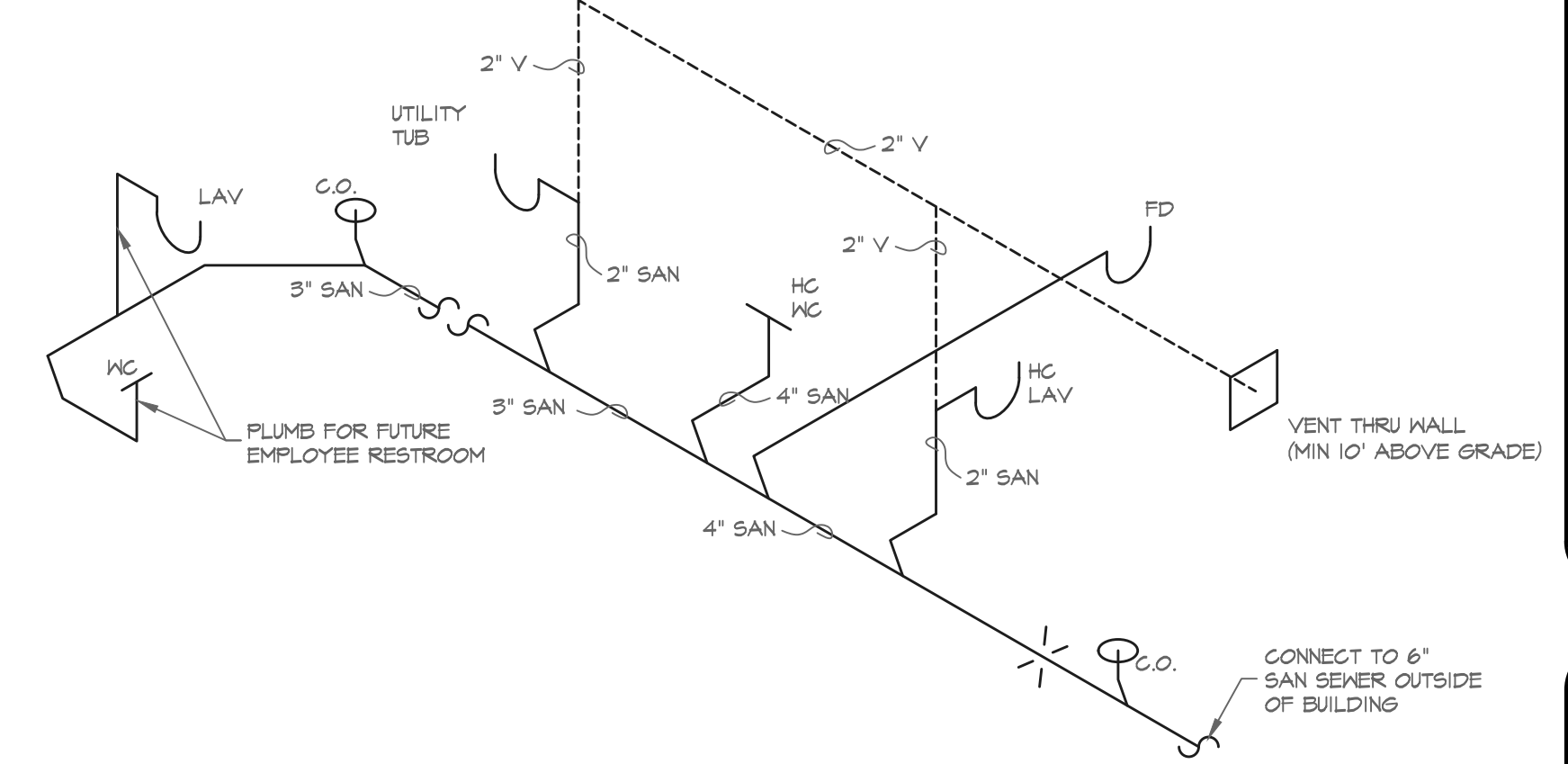
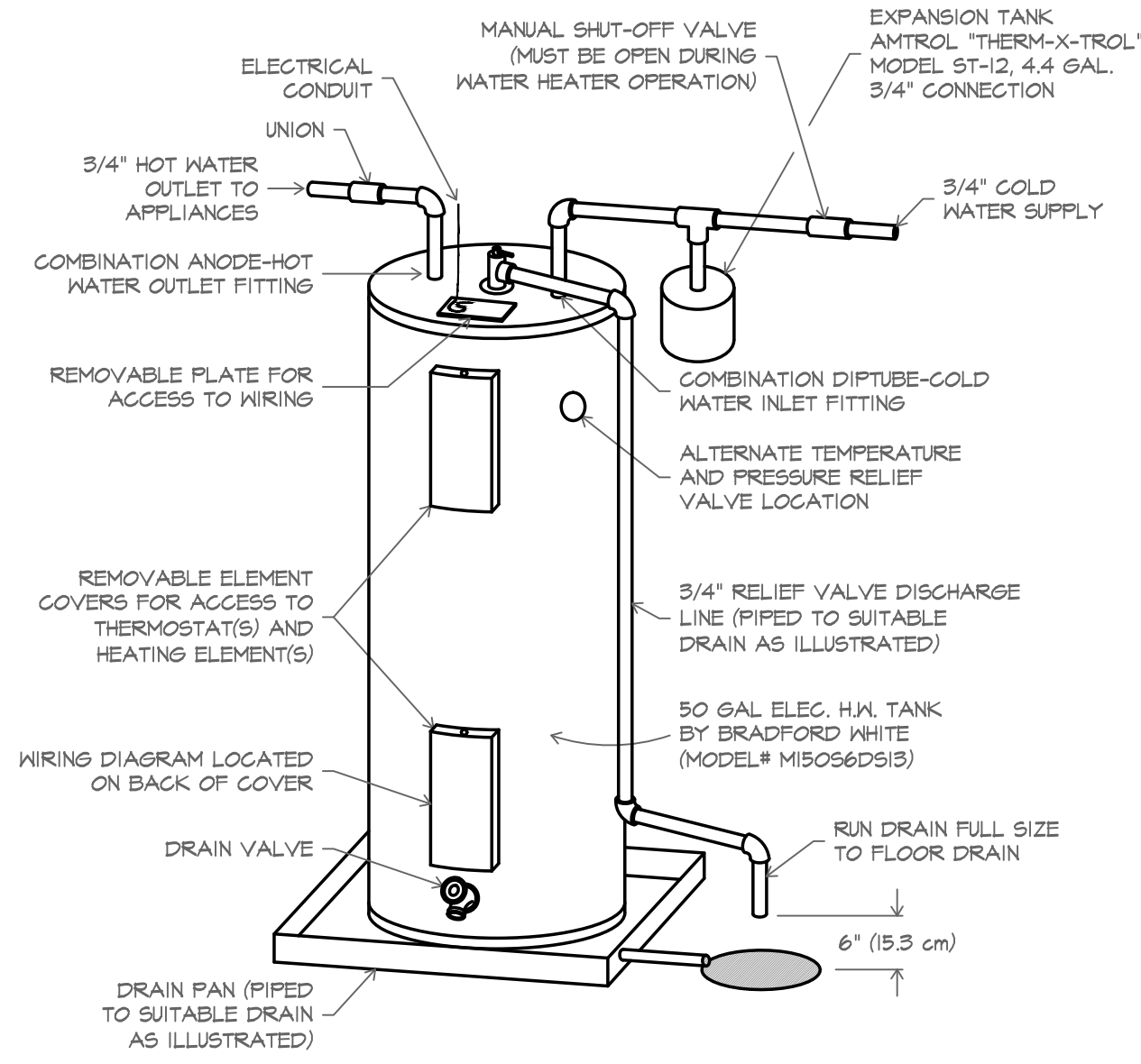
1. THE WORK SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES NECESSARY FOR THE INSTALLATION OF PLUMBING SYSTEMS AS SHOWN ON DRAWING AND SPECIFIED HEREIN.
2. THIS CONTRACTOR SHALL APPLY FOR, AND PURCHASE, ALL NECESSARY PERMITS, INSPECTIONS, LICENSES, ETC. AS REQUIRED FOR COMPLETION OF ALL WORK, AND SHALL INSTALL ALL WORK ACCORDING TO LOCAL AND STATE CODES AND ORDINANCES.
3. CONTRACTOR MUST VISIT BUILDING AND SITE, BEFORE SUBMITTING HIS BID, AND NOTE THE CHANGES AND OTHER WORK THAT WILL BE REQUIRED, AND THE NATURE OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
4. ALL MATERIALS USED FOR THIS WORK SHALL BE NEW AND BEAR U.L. LABEL WHEN REQUIRED.
5. CONTRACTOR SHALL SUBMIT 4 SETS OF SHOP DRAWINGS OF ALL EQUIPMENT AND MATERIALS FOR APPROVAL, PRIOR TO INSTALLATION.
6. CONTRACTOR SHALL INCLUDE ALL EXCAVATION AND BACKFILLING REQUIRED FOR UNDERGROUND SEWER, GAS AND WATER PIPING; CARRY PIPING TO EXISTING CONNECTIONS, SEWERS, OR MAINS.
7. ALL SANITARY, VENTS, AND STORM BELOW GROUND - SCHEDULE 40 PVC PIPE WITH SOLVENT-WELDED OR PREMIUM SEAL JOINTS. SOIL, STORM, WASTE AND VENT PIPING ABOVE GROUND - SCHEDULE 40 PVC PIPE WITH SOLVENT-WELDED JOINTS.
8. DOMESTIC WATER - COPPER TYPE "L" HARD, WITH WROUGHT COPPER FITTINGS, 45-5 SOLDERED JOINTS, UNDERGROUND PIPING SHALL BE PEX.
9. INSULATION - PER THE LATEST EDITION OF THE OHIO PLUMBING CODE, INSULATION IS NOT REQUIRED.
10. GAS PIPING, ABOVE GROUND - SCH. 40 BLACK STEEL WITH SCREWED JOINTS AND 150# MALLEABLE IRON FITTINGS, BELOW GROUND - BLACK STEEL, SCH. 40 (ASTM A120), WITH FACTORY APPLIED "X-TRU-COAT", OR PLASTIC AS APPROVED BY LOCAL GAS COMPANY.
11. VALVES - BALL: MILWAUKEE BA-250, APOLLO 32-200, NIBCO S-590, CHECK SOLDER END, MILWAUKEE 150#FT, FAIRBANKS 0680, FOWELL 1825, GAS COOK: IRON BODY, BRONZE FITTED, SCREWED, CRANE 1229, OR MILWAUKEE BB2-100 BUTTERBALL.
12. ALL HOT AND COLD WATER SUPPLIES TO FIXTURES SHALL BE FURNISHED WITH STOPS, GRADE WATER SYSTEMS TO LOW POINTS AND PROVIDE DRAIN VALVES.
13. EXTEND VENTS 12" ABOVE ROOF, AND FLASH WITH PREFAB PVC PIPE CURB.
14. STERILIZE ALL DOMESTIC WATER PIPING IN ACCORDANCE WITH A.N.S.I. STANDARDS.
15. TEST SEWER AND WATER PIPING IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES. TEST WATER PIPING TO HYDROSTATIC PRESSURE OF 100 PSIG, FOR 2 HOURS.
16. "AS-BUILT" DRAWINGS, SHOWING ALL CHANGES MADE IN FIELD BY CONTRACTOR, SHALL BE TURNED OVER TO ARCHITECT/OWNER AT COMPLETION OF PROJECT.
17. MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED TO BE FREE FROM DEFECTS, FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE BY OWNER.

MECHANICAL NOTES:

1. CONTRACTORS SHALL REVIEW THE DRAWINGS AND SPECIFICATIONS, VISIT THE SITE TO DETERMINE EXTENT OF WORK INVOLVED AND ADVISE THE ENGINEER OF ANY DISCREPANCY BEFORE SUBMITTING HIS BID.
2. MECHANICAL CONTRACTOR SHALL PROVIDE A COMPLETE WORKING SYSTEM AND DEMONSTRATE TO THE OWNER THE WORKING CONDITIONS OF THE SYSTEM. COMPLETION OF THE JOB SHALL INCLUDE CLEAN UP OF ALL WORK BY THIS CONTRACTOR. MECHANICAL CONTRACTOR SHALL PROVIDE ALL PERMITS AND FEES RELATED TO THIS TRADE, PAY ALL TAXES AND PROVIDE AN INSURANCE CERTIFICATE TO THE OWNER BEFORE FINAL PAYMENT IS MADE.
3. ALL WORK IS TO COMPLY WITH LOCAL AND STATE BUILDING CODES, N.E.C., PRESSURE PIPING, SMACNA, NFPA, ASTM AND ASHRAE STANDARDS.
4. DRAWINGS ARE TO SCALE AS INDICATED AND REPRESENT A DIAGRAMMATIC OUTLINE OF WORK TO BE PERFORMED. THEY ARE INTENDED TO SHOW A COMPLETE WORKING SYSTEM. ITEMS REASONABLY INFERRED AS NECESSARY TO PROVIDE A COMPLETE AND FUNCTIONING SYSTEM SHALL BE PROVIDED WHETHER SPECIFICALLY SHOWN OR NOT. ANY DISCREPANCIES OR OMISSIONS IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE THE BID OR THEY WILL BE CONSIDERED PART OF THE BID AND NO EXTRAS WILL BE PAID.
5. ALL WORK PERFORMED WILL BE GUARANTEED FOR ONE YEAR AFTER ACCEPTANCE BY OWNER. ANY CORRECTIVE WORK SHALL BE AT NO COST TO THE OWNER. ALL EQUIPMENT SHALL BE AS SPECIFIED UNLESS APPROVED BY THE ENGINEER.
6. DUCTWORK SHALL BE GALVANIZED STEEL IN ACCORDANCE WITH ASHRAE AND SMACNA STANDARDS. USE 1"-1.5" INTERNAL DUCT LINER U.L.725 ON S/A, O.A. AND R/A. ALL DIMENSIONS SHOWN SHALL BE INTERNAL. ALL ROUND DUCTWORK SHALL BE GALVANIZED STEEL SNAP LOCK WITH ADJUSTABLE FITTINGS. INSULATE ALL ROUND DUCTS WITH 1 1/2" FSK FIBERGLASS BY KNAUF, OCF OR J-M. OPTIONAL 1" FIBERGLASS CLASS 1 U.L. 475 FRK BY OCF, CERTAINTED, KNAUF OR J-M. FLEXIBLE DUCT SHALL BE LIMITED TO 6 FT. IN LENGTH BY WIREWOLD, THERMATLEX OR ANGO (R-4.2) HARDCAST ALL TRAVERSE SEAMS ON GALVANIZED DUCTWORK. FIRE CAULK ALL OPENINGS THRU FIRE SEPARATIONS WITH 3M PRODUCTS AS PER U.L. AND MFG. RECOMMENDATIONS. ANY DUCTS THAT PASS FROM CORRIDOR TO CORRIDOR SHALL BE STEEL.
7. BALANCE AIR SYSTEMS TO PROVIDE AIR FLOW AS INDICATED TO +/- 5%
8. MECHANICAL CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING OF CEILINGS, WALLS, FLOORS AND MISCELLANEOUS WORK RELATED WITH THEIR TRADE. DISTURBED AREAS SHALL BE REPAIRED TO THE SAME CONDITION AS THE ORIGINAL AT NO ADDITIONAL COST TO THE OWNER. SEAL ALL OPENINGS AIR TIGHT.
9. REGISTERS AND GRILLES SHALL BE OF THE TYPE SHOWN ON THE DRAWINGS WITH OPPOSED BLADE DAMPERS BY TITUS, HART & COOLEY, KRUEGER OR METAL-AIRE. MECHANICAL CONTRACTOR SHALL COORDINATE THE LOCATION OF DIFFUSERS AND GRILLES WITH REFLECTED CEILING AND LIGHTING PLANS.
10. MECHANICAL CONTRACTOR SHALL PROVIDE ALL TEMPERATURE CONTROL WIRING PER THE LATEST N.E.C. CODE AND FURNISH ALL NECESSARY CONDUIT AND JUNCTION BOXES. ALL EXPOSED WIRING SHALL BE IN THIN WALL CONDUIT AND ANY LOW VOLTAGE WIRING SHALL BE FLAME RETARDANT U.L. WIRE.

MECHANICAL EQUIPMENT SPECIFICATIONS

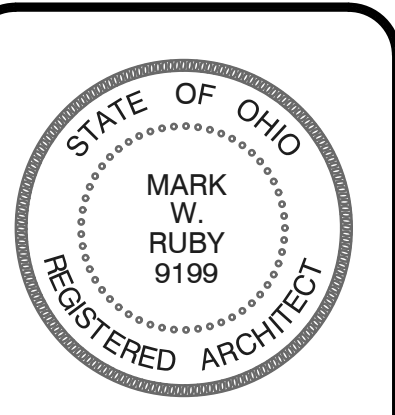
FURN:	LENNOX MERIT SERIES MODEL NO. ML195U4045XP24B GAS FURNACE, 95% EFFICIENT 41,000 BTU OUTPUT 1140 CFM
HP-1:	LENNOX MERIT SERIES HEAT PUMP MODEL NO. 14HPX-024 2670 CFM (OUTDOOR FAN) 2 TON COOLING CAP
UH-1:	REZTOR UNIT HEATER MODEL NO. UDAP SIZE T5 62,250 BTU OUTPUT, 961 CFM
THERMOSTAT:	OFFICE-LENNOX COMFORTSENSE 5000 WAREHOUSE - HONEYWELL 5000
EF-1:	COOK MODEL #GG12B 80 CFM EXH FAN
S/A-1:	TITUS MODEL #TMS 24"x24" LAY-IN DIFFUSER
R/A-1:	TITUS MODEL #50F 22"x10" EGG GRATE R/A



REVISIONS	BY

MARK W. RUBY
ARCHITECT
189 NORTH LEAVITT ROAD, SUITE 201
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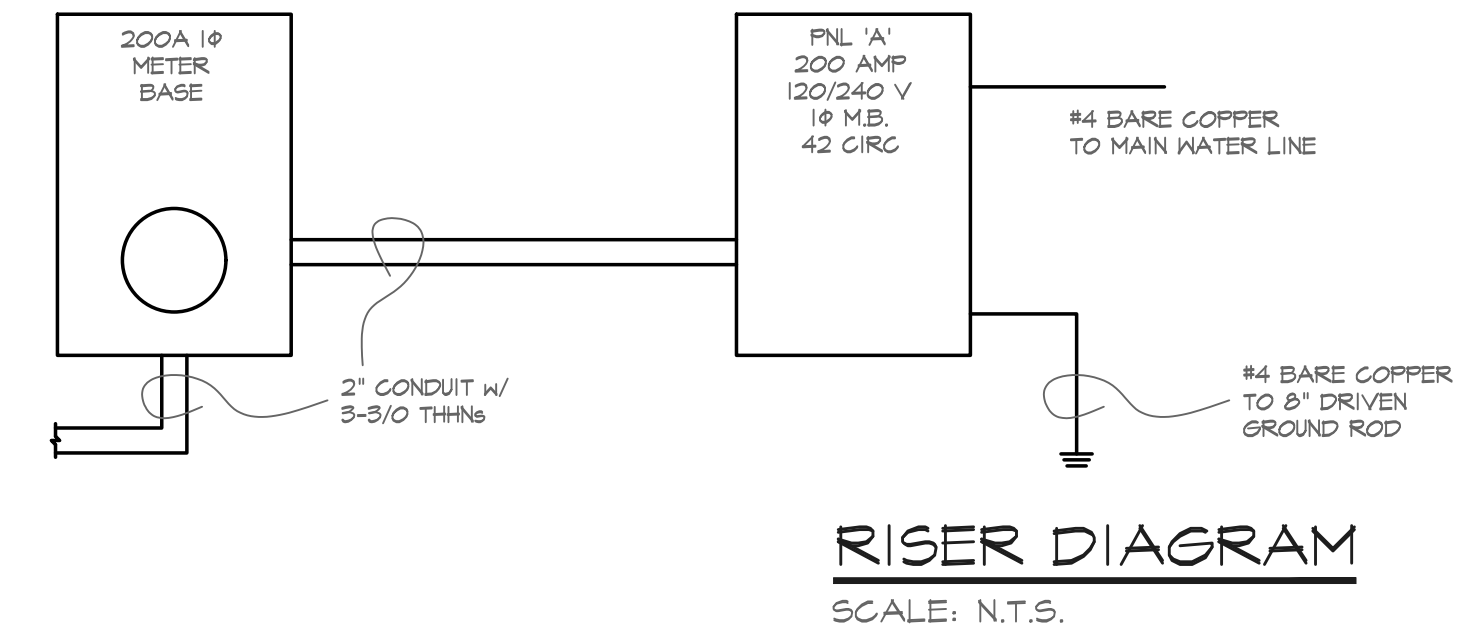


DATE 12/29/25
PROJ. 2547
SHEET

M-1

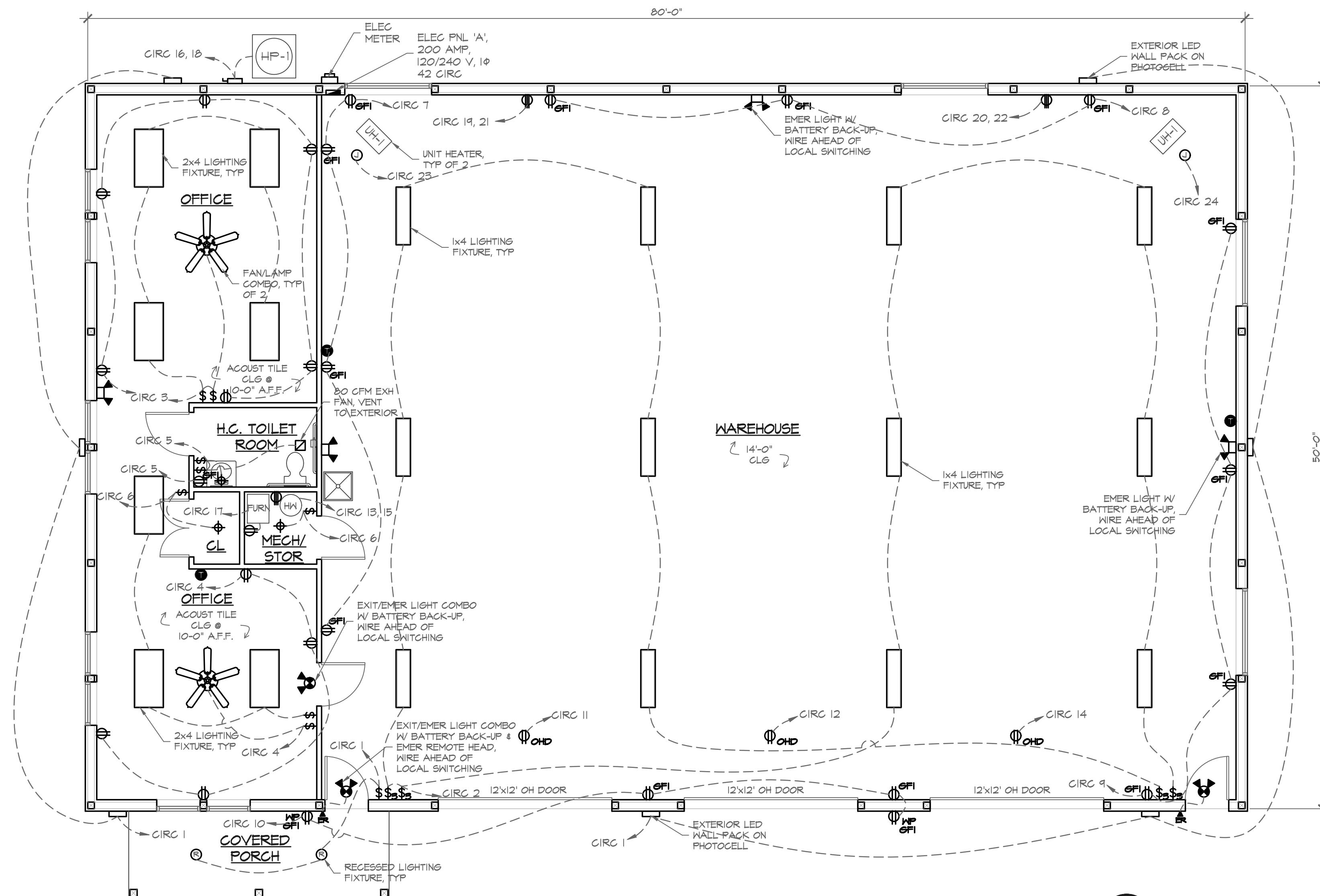
MAIN PANEL 'A'					
SERVICE: 200 AMP, 120/240 V, 1Ø M.B.					
LOCATION: EAST WALL					
BRANCH CIRCUIT	BREAKER	CKT. NO.	CKT. NO.	BREAKER	BRANCH CIRCUIT
OUTSIDE LIGHTS	1P 20 AMP	1	2	1P 20 AMP	WAREHOUSE LIGHTS
OFFICE LIGHTS & OUTLETS	1P 20 AMP	3	4	1P 20 AMP	OFFICE LIGHTS & OUTLETS
H.C. TOILET ROOM	1P 20 AMP	5	6	1P 20 AMP	MECH/STOR/CLOSET LIGHTS
WAREHOUSE OUTLETS	1P 20 AMP	7	8	1P 20 AMP	WAREHOUSE OUTLETS
WAREHOUSE OUTLETS	1P 20 AMP	9	10	1P 10 AMP	WAREHOUSE OUTLETS
OVERHEAD DOOR	1P 20 AMP	11	12	1P 20 AMP	OVERHEAD DOOR
HOT WATER TANK	2P 30 AMP	13	14	1P 20 AMP	OVERHEAD DOOR
FURNACE	1P 20 AMP	15	16	2P 30 AMP	A/C
		17	18		
COMPRESSOR	2P 30 AMP	19	20	2P 30 AMP	COMPRESSOR
		21	22		
UNIT HEATER	1P 20 AMP	23	24	1P 20 AMP	UNIT HEATER
SPARE		25	26		SPARE
SPARE		27	28		SPARE
SPARE		29	30		SPARE
SPARE		31	32		SPARE
SPARE		33	34		SPARE
SPARE		35	36		SPARE
SPARE		37	38		SPARE
SPARE		39	40		SPARE
SPARE		41	42		SPARE

ELECTRICAL SYMBOL LEGEND	
SYMBOL	DESCRIPTION
[Symbol]	LIGHTING FIXTURE - 2x4 RECESSED LED
[Symbol]	SURF MTD LED FIXTURE ON PHOTOCELL
[Symbol]	LIGHTING FIXTURE - 2 BULB x 8' LONG SURF MTD FLUORESCENT
[Symbol]	BATTERY PACK EMER/ EXIT COMBO UNIT
[Symbol]	BATTERY PACK EMERGENCY LIGHTING FIXTURE
[Symbol]	20 AMP 120/277 VOLT SINGLE POLE TOGGLE SWITCH
[Symbol]	20 AMP 120 VOLT 2 POLE 3 WIRE GROUNDING DUPLEX RECEPTACLE MOUNTED @ 18" A.F.F.
[Symbol]	20 AMP 120 VOLT 2 POLE 3 WIRE GROUND FAULT CIRCUIT INTERRUPTING RECEPTACLE
[Symbol]	20 AMP 120 VOLT 2 POLE 3 WIRE GROUNDING DUPLEX RECEPTACLE MOUNTED IN CLG FOR OH DOOR OPENER
[Symbol]	30 AMP 220 VOLT 2 POLE 3 WIRE GROUNDING DUPLEX RECEPTACLE MOUNTED @ 18" A.F.F.
[Symbol]	20 AMP 120 VOLT 2 POLE 3 WIRE GROUNDING DUPLEX RECEPTACLE MOUNTED IN FLOOR FOR WORKBENCH
[Symbol]	CAT 6 NETWORK JACK
[Symbol]	THERMOSTAT
[Symbol]	PANELBOARD - SEE SCHEDULES
[Symbol]	AFF ABOVE FINISHED FLOOR
[Symbol]	SURFACE MOUNTED INCANDESCENT FIXTURE
[Symbol]	EMERGENCY REMOTE HEAD



ELECTRICAL NOTES:

- ALL ELECTRICAL WORK SHALL BE COMPLETED ACCORDING TO THE LATEST VERSION OF THE FOLLOWING CODES:
 -NATIONAL ELECTRIC CODE (NFPA 70)
 -UNDERWRITER'S LABORATORIES
 -LOCAL AUTHORITY HAVING JURISDICTION
 -NATIONAL ELECTRICAL MANUFACTURERS ASSOC.
 -THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED FOR ELECTRICAL WORK. ALL PERMITS AND CERTIFICATES OF INSPECTION APPROVAL SHALL BECOME THE PROPERTY OF THE OWNER.
- TEMPORARY POWER AND LIGHTING (IF REQUIRED) SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR FOR DURATION OF CONSTRUCTION. COORDINATE WITH OWNER.
- ALL EQUIPMENT AND DEVICES SHALL BE NEW, CONFORMING TO NEMA, AND LISTED BY UNDERWRITER'S LABORATORIES FOR THE SPECIFIC USE INTENDED ON THE DESIGN DRAWINGS.
- EXISTING FIELD CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF ANY WORK. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE THE INSTALLATION AND MOUNTING OF ALL DEVICES WITH THE OTHER TRADES AND WITH ALL CONTRACTORS TO ASSURE A NEAT INSTALLATION WHICH MEETS THE INTENT OF THE CONTRACT DOCUMENTS.
- EXPOSED CONDUITS, SUPPORTS, FITTINGS, CABINETS, PULLBOXES, ETC., SHALL BE CLEANED AND PAINTED TO MATCH ADJACENT SURFACE IF NOT SUPPLIED FACTORY PAINTED OR NOTED OTHERWISE. PAINT PER OWNER'S REQUIREMENTS.
- ELECTRICAL CONTRACTOR TO VERIFY OPERATING VOLTAGES OF ALL EQUIPMENT AND SHALL INSTALL THE NECESSARY ELECTRICAL SERVICE TO PROVIDE A COMPLETE AND OPERABLE ELECTRICAL SYSTEM WHICH MEETS THE REQUIREMENTS OF THE 2017 NATIONAL ELECTRIC CODE.
- PRIMARY WIRING TO BE USED SHALL BE 90 DEG. C. THIN/THIN STRANDED COPPER WIRE IN CONDUIT AND FITTINGS APPROVED FOR INSTALLATION LOCATION (NOTE 8). MINIMUM SIZES 1/2" TRADE SIZE #12 AWG. CONTROL WIRING TO BE MINIMUM #16 THIN STRANDED.
- NEW PANELBOARDS SHALL BE AS NOTED ON PANEL SCHEDULES WITH BOLT-ON CIRCUIT BREAKERS, SOLID NEUTRAL AND GROUND BAR. PANEL SHALL HAVE FULL LENGTH HINGED FRONT COVER AS WELL AS HINGED BREAKER ACCESS DOOR.
- ALL LOW VOLTAGE CONTROLS AND WIRING SHALL BE BY THE MECHANICAL CONTROLS CONTRACTOR. SEE MECHANICAL DRAWINGS FOR SEQUENCE OF OPERATION. CONTRACTOR SHALL REVISE SCHEMATIC DIAGRAMS TO MEET THE FULL OPERATION OF THE SYSTEM WITHOUT ADDITIONAL COST TO THE OWNER.
- ALL FIXTURES SHALL BE U.L. LISTED FOR THEIR LOCATION.
- FIXTURES SHALL BE SUPPORTED TO MEET THE REQUIREMENTS OF THE N.E.C. AND THE OWNER.
- ELECTRICAL CONTRACTOR SHALL VERIFY ANY WIRING ROUTED THROUGH AIR FLENUM CEILINGS HAS CORRECT INSULATION RATING AND COMPLIES WITH THE N.E.C.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR TRASH AND DEBRIS WHICH IS GENERATED DURING THE NORMAL COURSE OF HIS WORK AND SHALL REMOVE IT AS REQUIRED BY THE OWNER.

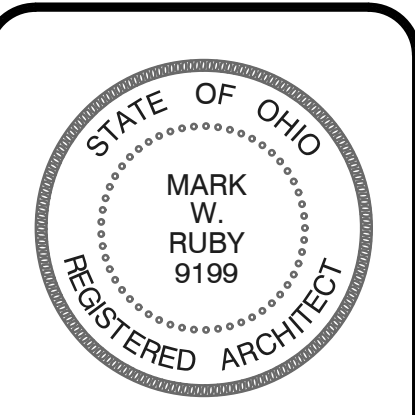


ELECTRICAL PLAN
SCALE: 3/16" = 1'-0"

REVISIONS	BY

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TITLE
NEW 50' x 80' OFFICE/WAREHOUSE FOR
ROBERT GONZALEZ
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LORAIN, OH



DATE 12/29/25
PROJ. 2547
SHEET

PROPOSED GONZALEZ WAREHOUSE SITE IMPROVEMENTS

2767 WEST 21ST STREET LORAIN, OH 44053

SITUATED IN THE CITY OF LORAIN, COUNTY OF LORAIN,
STATE OF OHIO, KNOWN AS BEING PART OF ORIGINAL
BLACK RIVER TOWNSHIP LOT NUMBER 20, TRACT NUMBER 2

LEGEND OF LINETYPES

---	CENTERLINE
---	EX. PAVEMENT
---	DITCH/CREEK/SWALE
- - - - -	EX. MINOR CONTOUR
- - - - -	EX. MAJOR CONTOUR
STH	EX. STORM
X - X - X	EX. FENCE
000	PROP. MINOR CONTOUR
0000	PROP. MAJOR CONTOUR
W/L	CONSTRUCTION LIMITS
SF	SILT FENCE

LEGEND OF SYMBOLS

	CLEAN OUT
	DOWNSPOUT
	YARD DRAIN
	STORM MANHOLE
	SANITARY MANHOLE
	CATCH BASIN
	HYDRANT
	WATER VALVE
	GAS REG/METER
	WATER REG/METER
	ELECTRICAL METER
	GAS VALVE
	UTILITY POLE
	GUY ANCHOR
	BOLLARD
	SIGN
	SOILS TYPE
	IRON PIN/PIPE FOUND AS INDICATED

SHEET LEGEND

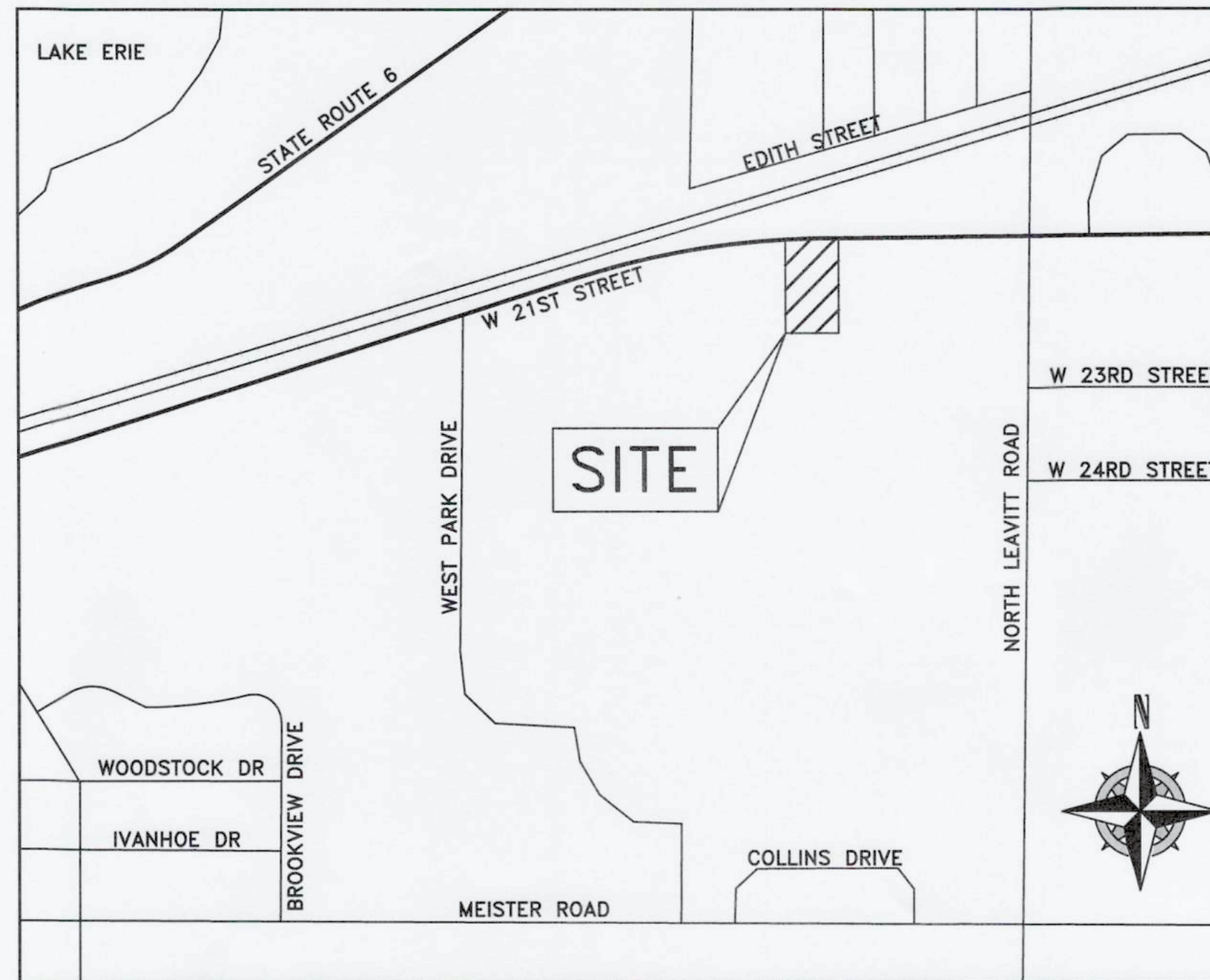
TITLE SHEET.....	C0.0
EXISTING CONDITIONS & DEMOLITION PLAN.....	C1.0
SITE & UTILITY PLAN.....	C2.0
PRE & POST DRAINAGE PLAN.....	C2.1
GRADING PLAN.....	C3.0
SWPP PLAN.....	C4.0 - C4.3
MISCELLANEOUS NOTES & DETAILS.....	C5.0 - C5.4

SCOPE OF WORK

CONSTRUCTION OF A NEW COMMERCIAL WAREHOUSE BUILDING,
ALONG WITH ASSOCIATED OFF-STREET PARKING LOT AND DRIVE
ENTRANCE.

FLOODPLAIN NOTE:

THE SITE LIES WITHIN THE FOLLOWING ZONES AS REFERENCED ON FEMA
FLOOD INSURANCE RATE MAP 39093C0104E ISSUED ON MARCH 9, 2021
ZONE X - AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE
FLOODPLAIN



VICINITY MAP

-NOT TO SCALE-

SITE ADDRESS: 2767 W 21ST STREET LORAIN, OH 44053
SITE COORDINATES: N: 649,975.562 E: 2,048,864.321 (NAD83 OHIO NORTH ZONE)
LAT: N41° 27' 01.21" LONG: W82° 12' 24.64" (WGS 84)

CITY OF LORAIN STANDARD DETAILS

CONTRACTOR SHALL ABIDE BY ALL JURISDICTIONAL DETAILS AND SPECIFICATIONS. IN THE CASE
WHERE DETAILS CONFLICT THE JURISDICTIONAL DETAIL AND SPECIFICATIONS SHALL BE USED. A LIST
OF APPLICABLE STANDARD CITY OF LORAIN DETAILS IS PROVIDED HEREON. ADDITIONAL DETAILS AND
SPECIFICATIONS MAY BE REQUIRED AND SHALL BE OBTAINED BY THE CONTRACTOR FROM THE CITY
OF LORAIN ENGINEERING DEPARTMENT OR OBTAINED FROM:

DESIGN ENGINEER:

Richard A. Fredrickson 12-29-2025
RICHARD A. FREDRICKSON, F.E., P.S.
OHIO ENGINEER - 61868
OHIO SURVEYOR - 8285

CONTRACTORS SWP3 ACKNOWLEDGEMENT:

PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR
SHALL OBTAIN A STORM WATER POLLUTION PREVENTION
PLAN (SWP3) SIGNED BY THE CONTRACTOR AND ALL OF
HIS SUBCONTRACTORS.

SEE SHEET C4.1 FOR SIGNATURE STATEMENT AND
SIGNATURE LIST.

ZONING CLASSIFICATION:

THE SUBJECT PREMISES IS LOCATED WITHIN ZONE 'GENERAL COMMERCIAL'
(B-2) AS SHOWN ON THE ZONE MAP FOR THE CITY OF LORAIN. ITEMS ARE
REFERENCED FROM CHAPTER 1125.03 OF THE CITY OF LORAIN ZONING
CODE.

SETBACK VARIANCES:

MINIMUM LOT WIDTH AT BUILDING SETBACK:	100 FEET
MINIMUM FRONT YARD SETBACK:	35 FEET
MINIMUM REAR YARD SETBACK:	10 FEET
MINIMUM SIDE YARD SETBACK:	10 FEET
CORNER LOTS- MINIMUM SIDE YARD ADJACENT TO STREET:	20 FEET

SURVEY NOTE:

A BOUNDARY SURVEY PER OAC 4733-37 HAS NOT BEEN
PERFORMED BY RAFTER A, LTD. INFORMATION SHOWN HEREON HAS
BEEN REFERENCED OBTAINED AND PROVIDED BY BARBOSA AND
ASSOCIATES, LLC., WILFREDO BARBOSA, PS. 8301.

TOPOGRAPHIC DATA IS BASED UPON A FIELD SURVEY PERFORMED
BY RAFTER A., LTD IN NOVEMBER OF 2025.

UNDERGROUND UTILITIES NOTE:

THE SIZE & LOCATION, BOTH HORIZONTAL AND VERTICAL, OF THE
UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED
BY A SEARCH OF AVAILABLE RECORDS. VERIFICATION BY FIELD
OBSERVATION HAS BEEN CONDUCTED WHERE PRACTICAL.
HOWEVER, RAFTER A., LTD DOES NOT GUARANTEE THE
COMPLETENESS NOR ACCURACY THEREOF.

UNDERGROUND UTILITIES

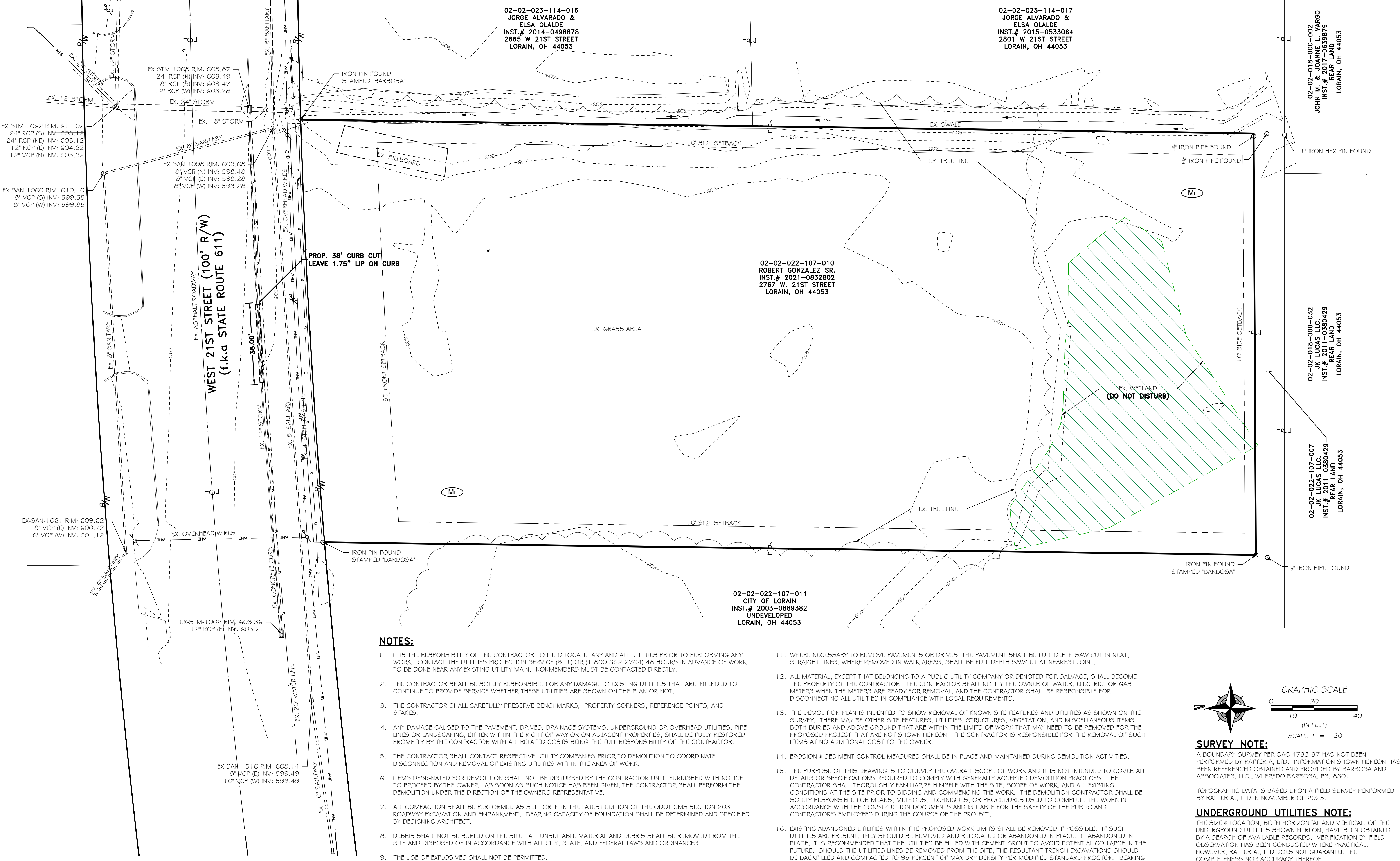
Contact Two Working Days
Before You Dig



OHIO811, 8-1-1, or 1-800-362-2764
(Non-members must be called directly)

A531400650-00A; A531400654-00A;

DESCRIPTION	ISSUE PRELIMINARY PLANS TO CLIENT
DATE	12/29/2025
BY	MSP
REV.	1
 RAFTER A, LTD LAND SURVEYING • ENGINEERING • TESTING 42663 Oberlin-Elyria Road, Oberlin, Ohio 44074 440-707-4014 • www.raftera.com • info@raftera.com	
ROBERT GONZALEZ 1489 MEISTER ROAD LORAIN, OHIO 44053 PH: 440-320-2247	
PROPOSED GONZALEZ WAREHOUSE SITE IMPROVEMENTS TITLE SHEET 2767 WEST 21ST STREET LORAIN, OHIO 44053	
DRAWN BY: MSP CHECKED BY: BDA RAF JOB No: 3951-25	
SHEET: C0.0	



SOIL TYPES:
 Mr - MINER SILT CLAY LOAM,
 0 TO 2 PERCENT SLOPES

SOIL DATA REFERENCED FROM WEB SOIL SURVEY
 LORAIN COUNTY, OHIO (OH093)
 SPATIAL DATA VERSION 8, SEP 2, 2025
 TABULAR DATA VERSION 23, SEP 2, 2025

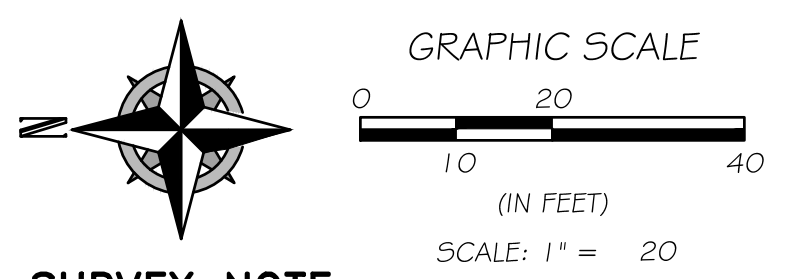
FLOODPLAIN NOTE:
 THE SITE LIES WITHIN THE FOLLOWING ZONES AS REFERENCED ON FEMA
 FLOOD INSURANCE RATE MAP 3909930104E ISSUED ON MARCH 9, 2021

ZONE X - AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE
 FLOODPLAIN

NOTES:

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD LOCATE ANY AND ALL UTILITIES PRIOR TO PERFORMING ANY WORK. CONTACT THE UTILITIES PROTECTION SERVICE (811) OR (1-800-362-2764) 48 HOURS IN ADVANCE OF WORK TO BE DONE NEAR ANY EXISTING UTILITY MAIN. NONMEMBERS MUST BE CONTACTED DIRECTLY.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES THAT ARE INTENDED TO CONTINUE TO PROVIDE SERVICE WHETHER THESE UTILITIES ARE SHOWN ON THE PLAN OR NOT.
- THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, PROPERTY CORNERS, REFERENCE POINTS, AND STAKES.
- ANY DAMAGE CAUSED TO THE PAVEMENT, DRIVES, DRAINAGE SYSTEMS, UNDERGROUND OR OVERHEAD UTILITIES, PIPE LINES OR LANDSCAPING, EITHER WITHIN THE RIGHT OF WAY OR ON ADJACENT PROPERTIES, SHALL BE FULLY RESTORED PROMPTLY BY THE CONTRACTOR WITH ALL RELATED COSTS BEING THE FULL RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL CONTACT RESPECTIVE UTILITY COMPANIES PRIOR TO DEMOLITION TO COORDINATE DISCONNECTION AND REMOVAL OF EXISTING UTILITIES WITHIN THE AREA OF WORK.
- ITEMS DESIGNATED FOR DEMOLITION SHALL NOT BE DISTURBED BY THE CONTRACTOR UNTIL FURNISHED WITH NOTICE TO PROCEED BY THE OWNER. AS SOON AS SUCH NOTICE HAS BEEN GIVEN, THE CONTRACTOR SHALL PERFORM THE DEMOLITION UNDER THE DIRECTION OF THE OWNER'S REPRESENTATIVE.
- ALL COMPACTION SHALL BE PERFORMED AS SET FORTH IN THE LATEST EDITION OF THE ODOT CMS SECTION 203 ROADWAY EXCAVATION AND EMBANKMENT. BEARING CAPACITY OF FOUNDATION SHALL BE DETERMINED AND SPECIFIED BY DESIGNING ARCHITECT.
- DEBRIS SHALL NOT BE BURIED ON THE SITE. ALL UNSUITABLE MATERIAL AND DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL CITY, STATE, AND FEDERAL LAWS AND ORDINANCES.
- THE USE OF EXPLOSIVES SHALL NOT BE PERMITTED.
- IF NOT SPECIFICALLY PROVIDED HEREON, CONTRACTOR SHALL REFER TO THE LOCAL JURISDICTIONAL STANDARD CONSTRUCTION DETAILS AND/OR THE OHIO DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION DETAILS FOR ALL PROJECT DETAILS.

- WHERE NECESSARY TO REMOVE PAVEMENTS OR DRIVES, THE PAVEMENT SHALL BE FULL DEPTH SAW CUT IN NEAT, STRAIGHT LINES, WHERE REMOVED IN WALK AREAS, SHALL BE FULL DEPTH SAWCUT AT NEAREST JOINT.
- ALL MATERIAL, EXCEPT THAT BELONGING TO A PUBLIC UTILITY COMPANY OR DENOTED FOR SALVAGE, SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE OWNER OF WATER, ELECTRIC, OR GAS METERS WHEN THE METERS ARE READY FOR REMOVAL, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTING ALL UTILITIES IN COMPLIANCE WITH LOCAL REQUIREMENTS.
- THE DEMOLITION PLAN IS INDENTED TO SHOW REMOVAL OF KNOWN SITE FEATURES AND UTILITIES AS SHOWN ON THE SURVEY. THERE MAY BE OTHER SITE FEATURES, UTILITIES, STRUCTURES, VEGETATION, AND MISCELLANEOUS ITEMS BOTH BURIED AND ABOVE GROUND THAT ARE WITHIN THE LIMITS OF WORK THAT MAY NEED TO BE REMOVED FOR THE PROPOSED PROJECT THAT ARE NOT SHOWN HEREON. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF SUCH ITEMS AT NO ADDITIONAL COST TO THE OWNER.
- EROSION & SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND MAINTAINED DURING DEMOLITION ACTIVITIES.
- THE PURPOSE OF THIS DRAWING IS TO CONVEY THE OVERALL SCOPE OF WORK AND IT IS NOT INTENDED TO COVER ALL DETAILS OR SPECIFICATIONS REQUIRED TO COMPLY WITH GENERALLY ACCEPTED DEMOLITION PRACTICES. THE CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH THE SITE, SCOPE OF WORK, AND ALL EXISTING CONDITIONS AT THE SITE PRIOR TO BIDDING AND COMMENCING THE WORK. THE DEMOLITION CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, OR PROCEDURES USED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND IS LIABLE FOR THE SAFETY OF THE PUBLIC AND CONTRACTOR'S EMPLOYEES DURING THE COURSE OF THE PROJECT.
- EXISTING ABANDONED UTILITIES WITHIN THE PROPOSED WORK LIMITS SHALL BE REMOVED IF POSSIBLE. IF SUCH UTILITIES ARE PRESENT, THEY SHOULD BE REMOVED AND RELOCATED OR ABANDONED IN PLACE. IF ABANDONED IN PLACE, IT IS RECOMMENDED THAT THE UTILITIES BE FILLED WITH CEMENT GROUT TO AVOID POTENTIAL COLLAPSE IN THE FUTURE. SHOULD THE UTILITIES LINES BE REMOVED FROM THE SITE, THE RESULTANT TRENCH EXCAVATIONS SHOULD BE BACKFILLED AND COMPACTED TO 95 PERCENT OF MAX DRY DENSITY PER MODIFIED STANDARD PROCTOR. BEARING CAPACITY OF FOUNDATION SHALL BE DETERMINED AND SPECIFIED BY DESIGNING ARCHITECT.



SURVEY NOTE:
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TOPOGRAPHIC DATA IS BASED UPON A FIELD SURVEY PERFORMED BY RAFTER A, LTD IN NOVEMBER OF 2025.

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UNDERGROUND UTILITIES
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OHIO811, 8-1-1, or 1-800-362-2764
 (Non-members must be called directly)
 A531400650-00A; A531400654-00A;

REV.	BY	DATE	DESCRIPTION
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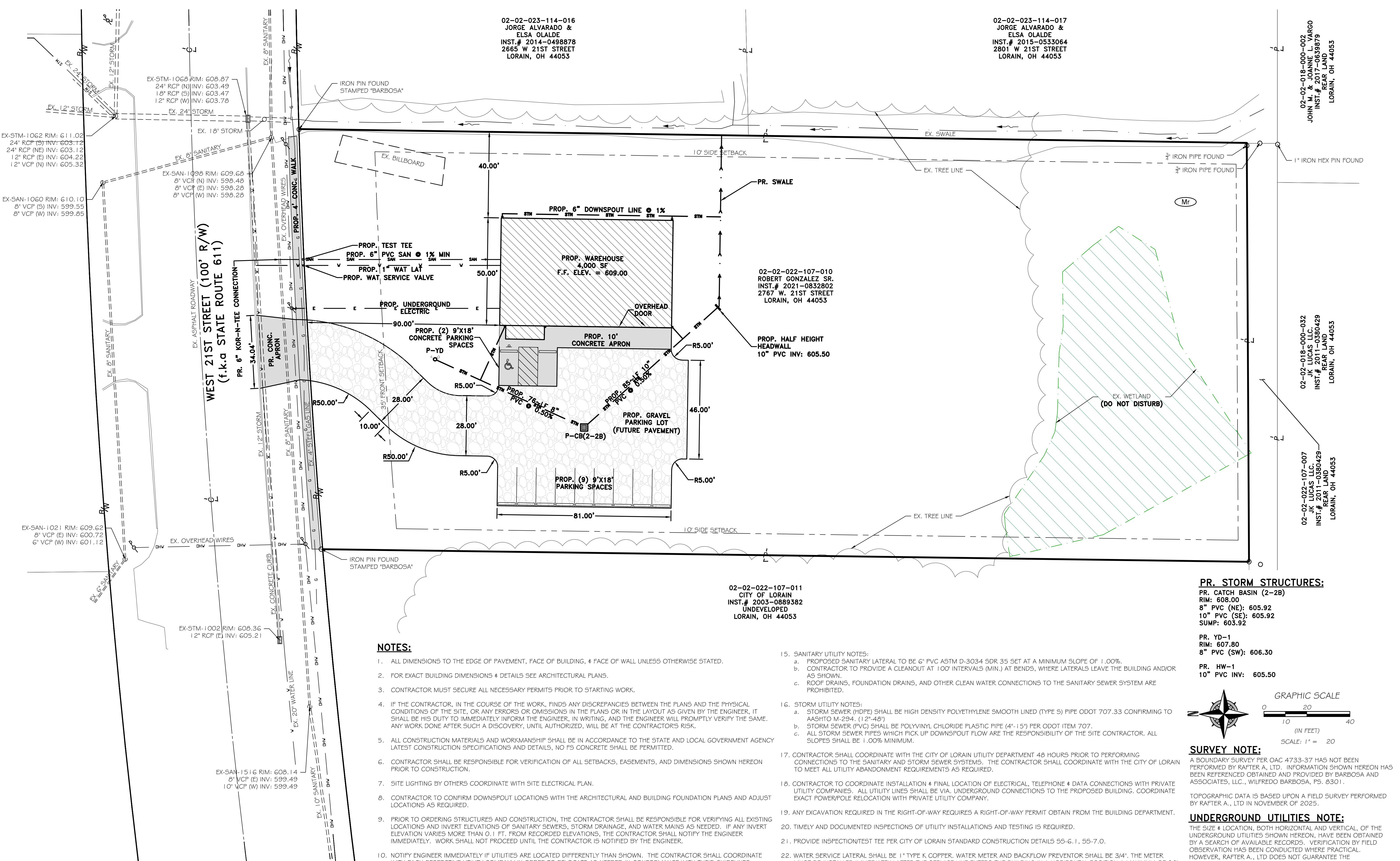
RAFTER A, LTD
 LAND SURVEYING • ENGINEERING • TESTING
 42653 Oberlin-Elyria Road, Oberlin, Ohio 44074
 440-707-4014 • www.raftera.com • info@raftera.com

ROBERT GONZALEZ
 1430 MEISTER ROAD
 LORAIN, OHIO 44053
 PH: 440-320-2247

PROPOSED GONZALEZ WAREHOUSE
 SITE IMPROVEMENTS
 EXISTING CONDITIONS &
 DEMOLITION PLAN
 2767 WEST 21ST STREET
 LORAIN, OHIO 44053

DRAWN BY: MSP
 CHECKED BY: BDA
 RAF JOB NO: 3951-25

SHEET: **C1.0**



02-02-023-114-016
 JORGE ALVARADO &
 ELSA OLALDE
 INST.# 2014-0498878
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02-02-023-114-017
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 INST.# 2015-0533064
 2801 W 21ST STREET
 LORAIN, OH 44053

02-02-018-000-002
 JOHN M. & JOANNE L. VARGO
 INST.# 2017-0659879
 REAR LAND
 LORAIN, OH 44053

02-02-018-000-032
 JK LUCAS LLC.
 INST.# 2011-0380429
 REAR LAND
 LORAIN, OH 44053

02-02-022-107-007
 JK LUCAS LLC.
 INST.# 2011-0380429
 REAR LAND
 LORAIN, OH 44053

02-02-022-107-010
 ROBERT GONZALEZ SR.
 INST.# 2021-0832802
 2767 W. 21ST STREET
 LORAIN, OH 44053

02-02-022-107-011
 CITY OF LORAIN
 INST.# 2003-0889382
 UNDEVELOPED
 LORAIN, OH 44053

NOTES:

- ALL DIMENSIONS TO THE EDGE OF PAVEMENT, FACE OF BUILDING, & FACE OF WALL UNLESS OTHERWISE STATED.
- FOR EXACT BUILDING DIMENSIONS & DETAILS SEE ARCHITECTURAL PLANS.
- CONTRACTOR MUST SECURE ALL NECESSARY PERMITS PRIOR TO STARTING WORK.
- IF THE CONTRACTOR, IN THE COURSE OF THE WORK, FINDS ANY DISCREPANCIES BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS IN THE PLANS OR IN THE LAYOUT AS GIVEN BY THE ENGINEER, IT SHALL BE HIS DUTY TO IMMEDIATELY INFORM THE ENGINEER, IN WRITING, AND THE ENGINEER WILL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH A DISCOVERY, UNTIL AUTHORIZED, WILL BE AT THE CONTRACTOR'S RISK.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE STATE AND LOCAL GOVERNMENT AGENCY LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS, NO F5 CONCRETE SHALL BE PERMITTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON PRIOR TO CONSTRUCTION.
- SITE LIGHTING BY OTHERS COORDINATE WITH SITE ELECTRICAL PLAN.
- CONTRACTOR TO CONFIRM DOWNSPOUT LOCATIONS WITH THE ARCHITECTURAL AND BUILDING FOUNDATION PLANS AND ADJUST LOCATIONS AS REQUIRED.
- PRIOR TO ORDERING STRUCTURES AND CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING LOCATIONS AND INVERT ELEVATIONS OF SANITARY SEWERS, STORM DRAINAGE, AND WATER MAINS AS NEEDED. IF ANY INVERT ELEVATION VARIES MORE THAN 0.1 FT. FROM RECORDED ELEVATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. WORK SHALL NOT PROCEED UNTIL THE CONTRACTOR IS NOTIFIED BY THE ENGINEER.
- NOTIFY ENGINEER IMMEDIATELY IF UTILITIES ARE LOCATED DIFFERENTLY THAN SHOWN. THE CONTRACTOR SHALL COORDINATE WITH EACH RESPECTIVE UTILITY COMPANY IN ORDER TO RELOCATE AS NEADED IN CONFORMANCE WITH THEIR GUIDELINES.
 - COORDINATE WITH BUILDING PLANS TO ASSURE ACCURACY OF UTILITY CONNECTIONS AND COMPLIANCE WITH LOCAL CODES.
 - ALL SEWERS ARE TO BE MAINTAINED THROUGHOUT CONSTRUCTION INCLUDING CLEANING OF ANY SILT OR DEBRIS ACCUMULATED IN STRUCTURES.
 - CONNECT TO EXISTING UTILITIES AND INSTALL UTILITIES IN COMPLIANCE WITH REQUIREMENTS OF APPROPRIATE JURISDICTIONAL AGENCIES.
 - IF EXISTING UTILITIES ARE ABANDONED IN PLACE THEY SHALL BE GROUT FILLED WITH LOW STRENGTH MORTAR. ALL ABANDONED UTILITIES THAT ARE REMOVED SHALL HAVE TRENCHES BACKFILLED WITH PREMIUM FILL AND COMPACTED.

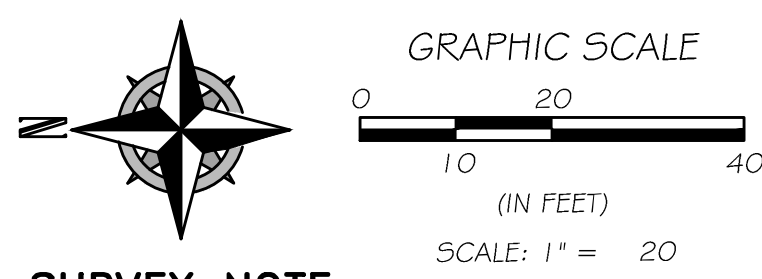
- SANITARY UTILITY NOTES:
 - PROPOSED SANITARY LATERAL TO BE 6" PVC ASTM D-3034 SDR 35 SET AT A MINIMUM SLOPE OF 1.00%.
 - CONTRACTOR TO PROVIDE A CLEANOUT AT 100' INTERVALS (MIN.) AT BENDS, WHERE LATERALS LEAVE THE BUILDING AND/OR AS SHOWN.
 - ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- STORM UTILITY NOTES:
 - STORM SEWER (HDPE) SHALL BE HIGH DENSITY POLYETHYLENE SMOOTH LINED (TYPE 5) PIPE ODOT 707.33 CONFIRMING TO AASHTO M-294. (12"-48")
 - STORM SEWER (PVC) SHALL BE POLYVINYL CHLORIDE PLASTIC PIPE (4"-15") PER ODOT ITEM 707.
 - ALL STORM SEWER PIPES WHICH PICK UP DOWNSPOUT FLOW ARE THE RESPONSIBILITY OF THE SITE CONTRACTOR. ALL SLOPES SHALL BE 1.00% MINIMUM.
- CONTRACTOR SHALL COORDINATE WITH THE CITY OF LORAIN UTILITY DEPARTMENT 48 HOURS PRIOR TO PERFORMING CONNECTIONS TO THE SANITARY AND STORM SEWER SYSTEMS. THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF LORAIN TO MEET ALL UTILITY ABANDONMENT REQUIREMENTS AS REQUIRED.
- CONTRACTOR TO COORDINATE INSTALLATION & FINAL LOCATION OF ELECTRICAL, TELEPHONE & DATA CONNECTIONS WITH PRIVATE UTILITY COMPANIES. ALL UTILITY LINES SHALL BE VIA UNDERGROUND CONNECTIONS TO THE PROPOSED BUILDING. COORDINATE EXACT POWERPOLE RELOCATION WITH PRIVATE UTILITY COMPANY.
- ANY EXCAVATION REQUIRED IN THE RIGHT-OF-WAY REQUIRES A RIGHT-OF-WAY PERMIT OBTAIN FROM THE BUILDING DEPARTMENT.
- TIMELY AND DOCUMENTED INSPECTIONS OF UTILITY INSTALLATIONS AND TESTING IS REQUIRED.
 - PROVIDE INSPECTION/TEST TEE PER CITY OF LORAIN STANDARD CONSTRUCTION DETAILS 55-6.1, 55-7.0.
 - WATER SERVICE LATERAL SHALL BE 1" TYPE K COPPER. WATER METER AND BACKFLOW PREVENTOR SHALL BE 3/4". THE METER MUST BE INSTALLED IMMEDIATELY AFTER THE SERVICE LINE ENTERS THE BUILDING IN A HORIZONTAL POSITION A MAXIMUM OF 36" ABOVE THE FLOOR. THE BACKFLOW DEVICE SHALL BE INSTALLED IMMEDIATELY AFTER THE METER UNLESS ANOTHER LOCATION IS SPECIFIED BY LORAIN WATER. SEE DETAIL W1-M01 ON SHEET C5.4.
 - REDUCED PRESSURE BACKFLOW PREVENTORS ARE REQUIRED FOR ALL COMMERCIAL BUILDINGS. INSTALL A REDUCED PRESSURE BACKFLOW PREVENTOR PER CITY OF LORAIN STANDARDS AS REQUIRED BY THE CITY OF LORAIN.
 - CONTRACTOR TO NOTIFY THE INSPECTOR A MINIMUM OF FORTY-EIGHT (48) HOURS BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
 - CONTRACTOR TO INSTALL 4" CONC. WALK PER CITY OF LORAIN STANDARDS & REQUIREMENTS. WALK LOCATION SHALL BE FIELD ADJUSTED TO AVOID UTILITY POLES AS NEEDED. FINAL PLACEMENT SHALL BE VERIFIED BY CITY OF LORAIN REPRESENTATIVE PRIOR TO PLACEMENT OF CONCRETE.

PR. STORM STRUCTURES:

PR. CATCH BASIN (2-2B)
 RIM: 608.00
 8" PVC (NE): 605.92
 10" PVC (SE): 605.92
 SUMP: 603.92

PR. YD-1
 RIM: 607.80
 8" PVC (SW): 606.30

PR. HW-1
 10" PVC INV: 605.50



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 (Non-members must be called directly)
 A531400650-00A; A531400654-00A;

SOIL TYPES:
 Mr - MINER SILT CLAY LOAM, 0 TO 2 PERCENT SLOPES

FLOODPLAIN NOTE:
 THE SITE LIES WITHIN THE FOLLOWING ZONES AS REFERENCED ON FEMA FLOOD INSURANCE RATE MAP 3909930104E ISSUED ON MARCH 9, 2021

ZONE X - AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN

SOIL DATA REFERENCED FROM WEB SOIL SURVEY LORAIN COUNTY, OHIO (OH093)
 SPATIAL DATA VERSION 8, SEP 2, 2025
 TABULAR DATA VERSION 23, SEP 2, 2025

REV.	BY	DATE	DESCRIPTION
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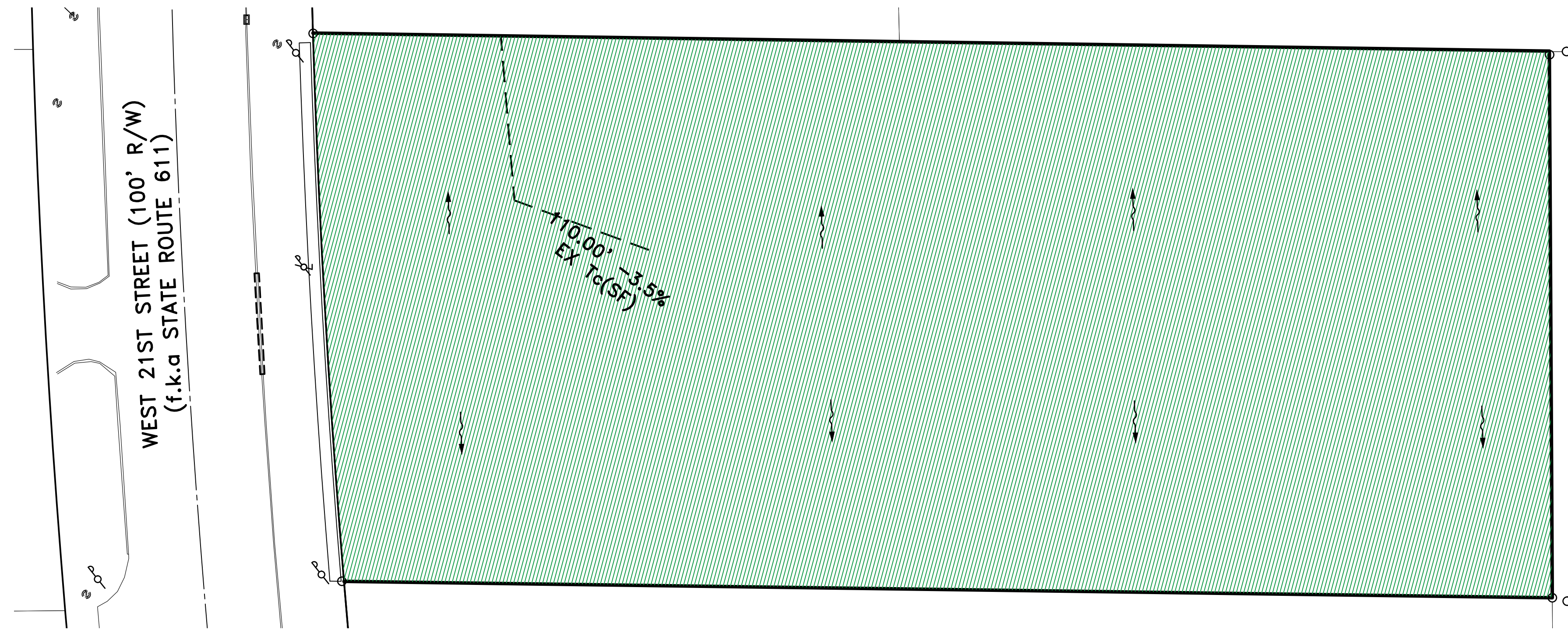
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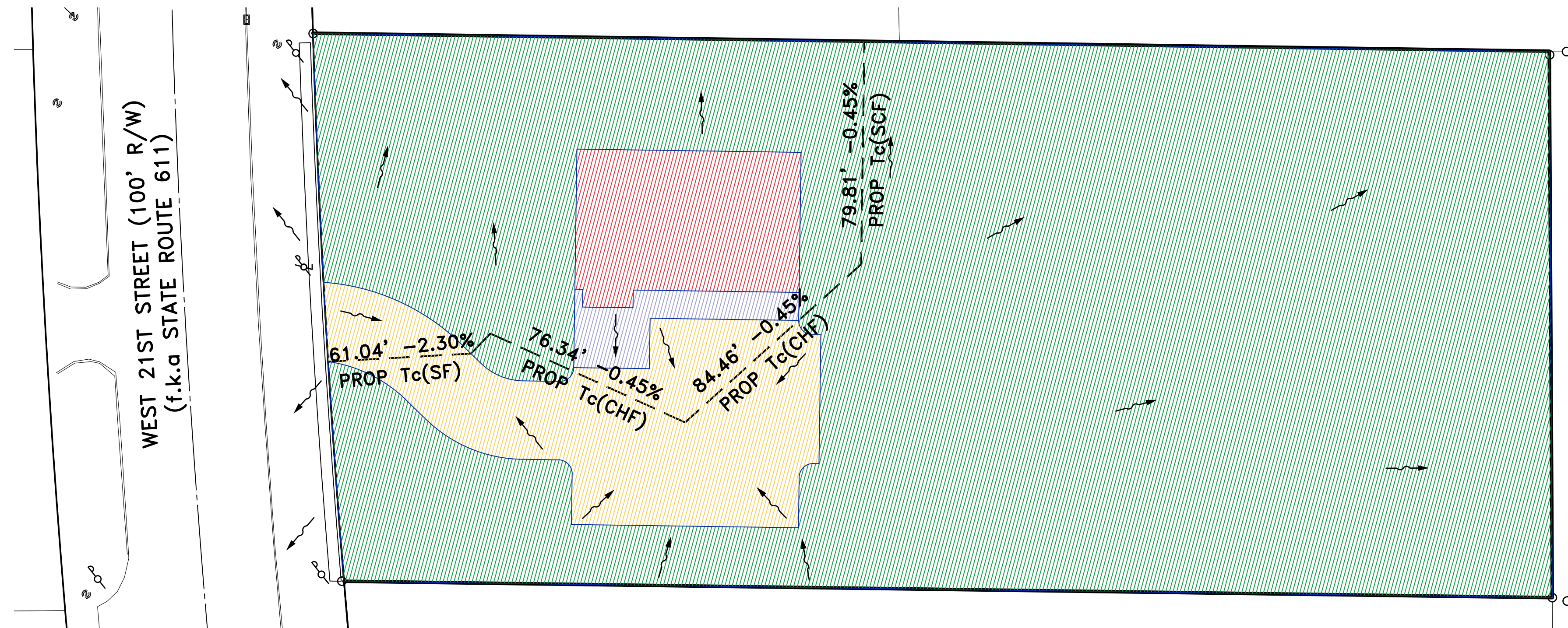
PROPOSED GONZALEZ WAREHOUSE SITE IMPROVEMENTS SITE & UTILITY PLAN
 2767 WEST 21ST STREET
 LORAIN, OHIO 44053

DRAWN BY: MSP
 CHECKED BY: BDA
 RAF JOB NO: 3951-25

SHEET: **C2.0**



PRE-CONSTRUCTION DRAINAGE AREA:



POST-CONSTRUCTION DRAINAGE AREA:

PEAK FLOW SUMMARY:

PRE-CONSTRUCTION PEAK FLOW 9.94 CFS
 POST-CONSTRUCTION PEAK FLOW 10.76 CFS
 NET INCREASE OF 0.82 CFS

PRE-CONSTRUCTION DRAINAGE AREA SUMMARY:

	SQUARE FEET	ACRES	CN
EXISTING PERVIOUS AREA (GRASS AREA):	85,287.79	1.9579	80
TOTAL	85,287.79	1.9579	80.000 (COMPOSITE CN)

POST-CONSTRUCTION DRAINAGE AREA SUMMARY:

	SQUARE FEET	ACRES	CN
PROPOSED IMPERVIOUS AREAS (PROP BUILDING):	4,114.00	0.0944	98
(PROP PAVEMENT):	1,172.00	0.0269	98
(PROP GRAVEL):	8,604.32	0.1975	98
PROPOSED PERVIOUS AREAS (GRASS AREA):	71,397.47	1.6391	80
TOTAL	85,287.79	1.9579	82.931 (COMPOSITE CN)

PRE-CONSTRUCTION T_c

COMPOSITE TOTAL: 0.156 OF AN HOUR (9.4 MIN.)

TIME OF CONCENTRATION LEGEND

T_c(SF) = SHEET FLOW
 T_c(SCF) = SHALLOW CONCENTRATED FLOW
 T_c(CHF) = CHANNEL FLOW

POST-CONSTRUCTION T_c

COMPOSITE TOTAL: 0.150 OF AN HOUR (9.0 MIN.)

TIME OF CONCENTRATION LEGEND

T_c(SF) = SHEET FLOW
 T_c(SCF) = SHALLOW CONCENTRATED FLOW
 T_c(CHF) = CHANNEL FLOW

SOIL TYPES:

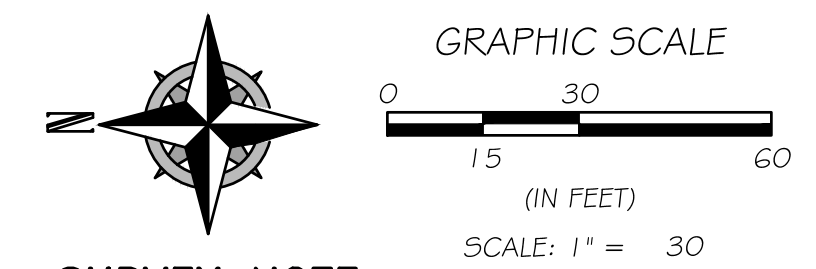
M_r - MINER SILT CLAY LOAM,
 0 TO 2 PERCENT SLOPES

SOIL DATA REFERENCED FROM WEB SOIL SURVEY
 LORAIN COUNTY, OHIO (OH093)
 SPATIAL DATA VERSION 8, SEP 2, 2025
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 FLOOD INSURANCE RATE MAP 39093C0104E ISSUED ON MARCH 9, 2021

ZONE X - AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE
 FLOODPLAIN



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UNDERGROUND UTILITIES

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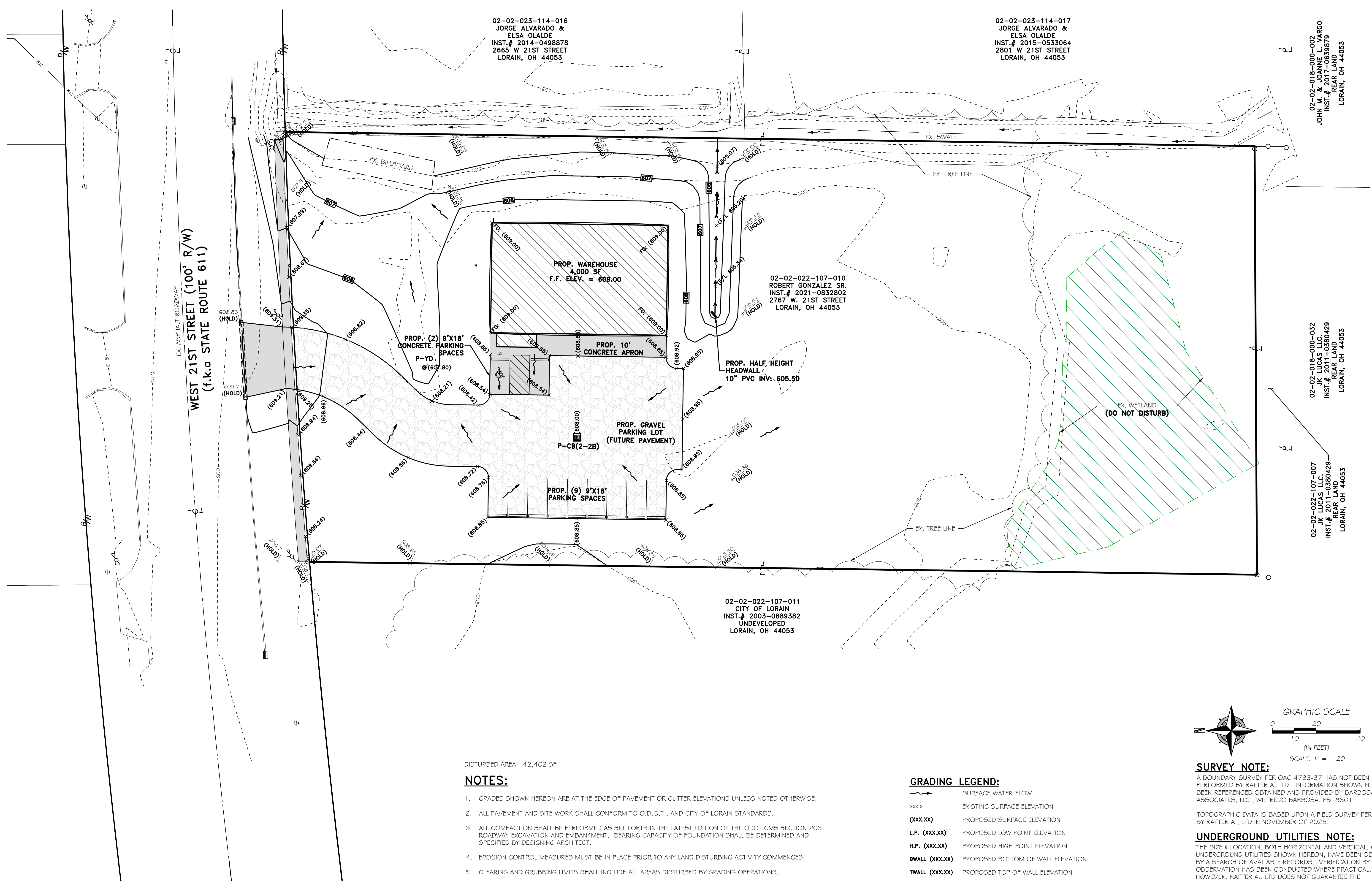
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ROBERT GONZALEZ
 1489 MEISTER ROAD
 LORAIN, OHIO 44053
 PH: 440-320-2247

PROPOSED GONZALEZ WAREHOUSE
 SITE IMPROVEMENTS
 PRE & POST CONSTRUCTION
 DRAINAGE PLAN
 2767 WEST 21ST STREET
 LORAIN, OHIO 44053

DRAWN BY: MSP
 CHECKED BY: BDA
 RAF JOB NO: 3951-25

SHEET: **C2.1**



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 CITY OF LORAIN
 INST.# 2003-0889382
 UNDEVELOPED
 LORAIN, OH 44053

WEST 21ST STREET (100' R/W)
 (f.k.a STATE ROUTE 611)

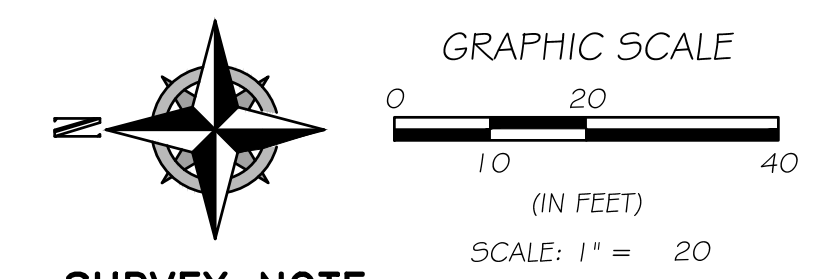
DISTURBED AREA: 42,462 SF

NOTES:

- GRADES SHOWN HEREON ARE AT THE EDGE OF PAVEMENT OR GUTTER ELEVATIONS UNLESS NOTED OTHERWISE.
- ALL PAVEMENT AND SITE WORK SHALL CONFORM TO O.D.O.T., AND CITY OF LORAIN STANDARDS.
- ALL COMPACTION SHALL BE PERFORMED AS SET FORTH IN THE LATEST EDITION OF THE ODOT CMS SECTION 203 ROADWAY EXCAVATION AND EMBANKMENT. BEARING CAPACITY OF FOUNDATION SHALL BE DETERMINED AND SPECIFIED BY DESIGNING ARCHITECT.
- EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY LAND DISTURBING ACTIVITY COMMENCES.
- CLEARING AND GRUBBING LIMITS SHALL INCLUDE ALL AREAS DISTURBED BY GRADING OPERATIONS.
- ANY GRADING OF DISTURBED AREAS SHALL BE SEEDED PER SEEDING NOTES, UNLESS OTHERWISE NOTED.
- CONTRACTOR TO ENSURE THAT FINAL GRADING AND LANDSCAPING ARE INSTALLED TO DIRECT SURFACE WATER FLOW TOWARDS CATCH BASINS AS SHOWN HEREON. CONTRACTOR TO ENSURE THAT WATER DOES NOT POND ON-SITE.
- CONTRACTOR TO ENSURE THAT SURFACE WATER FLOW IS MAINTAINED ON-SITE AND DOES NOT ADVERSELY FLOW ONTO ADJACENT PROPERTIES.

GRADING LEGEND:

- SURFACE WATER FLOW
- xxx.x EXISTING SURFACE ELEVATION
- (xxx.xx) PROPOSED SURFACE ELEVATION
- L.P. (xxx.xx) PROPOSED LOW POINT ELEVATION
- H.P. (xxx.xx) PROPOSED HIGH POINT ELEVATION
- BWALL (xxx.xx) PROPOSED BOTTOM OF WALL ELEVATION
- TWALL (xxx.xx) PROPOSED TOP OF WALL ELEVATION
- F.F. (xxx.xx) PROPOSED FINISH FLOOR ELEVATION
- (HOLD) HOLD EXISTING GRADE



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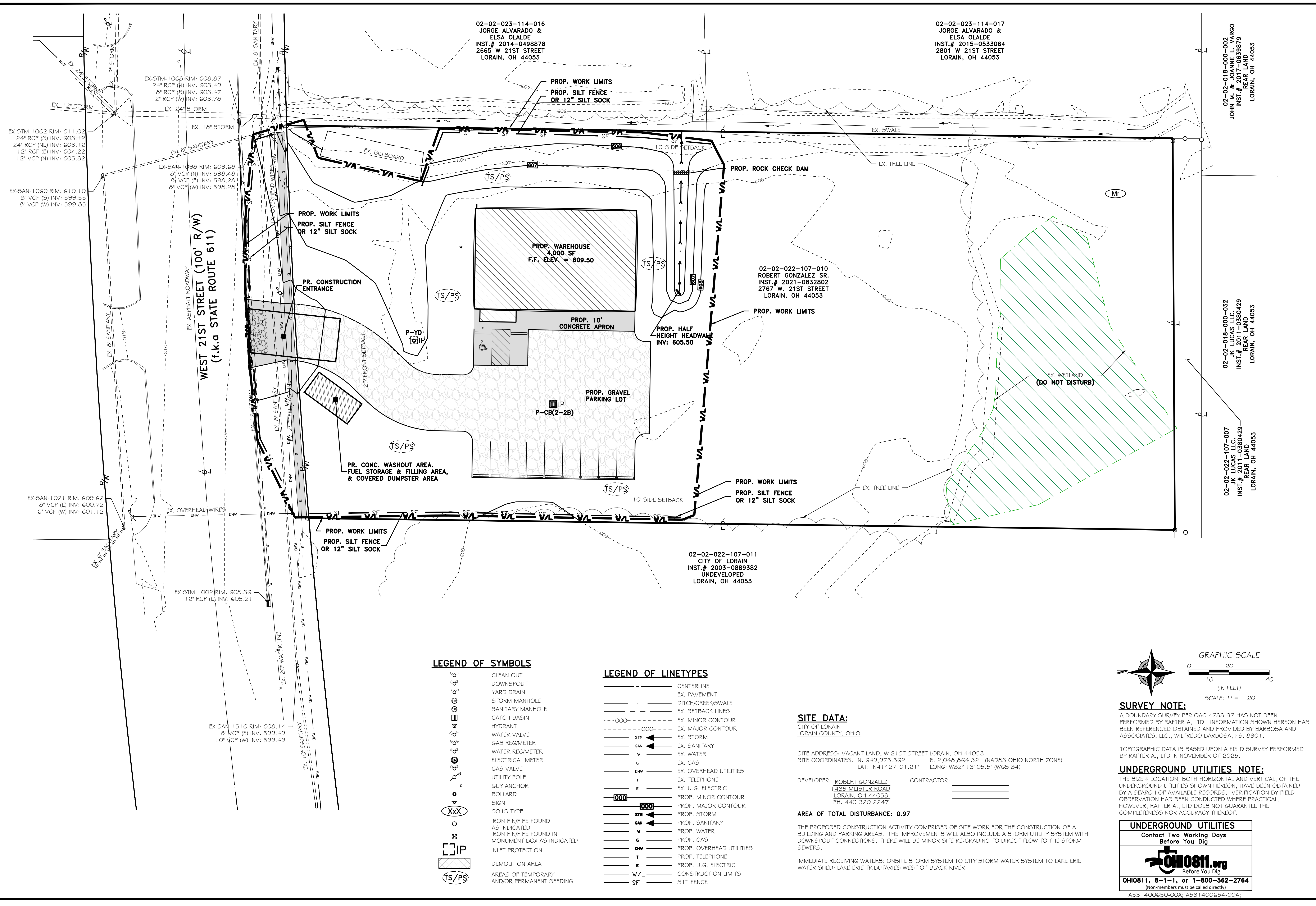
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<p>PROPOSED GONZALEZ WAREHOUSE SITE IMPROVEMENTS</p> <p>PROPOSED GRADING PLAN</p> <p>2767 WEST 21ST STREET LORAIN, OH 44053</p>			
<p>DRAWN BY: MSP CHECKED BY: BDA RAF JOB No: 3951-25</p>			
<p>SHEET: C3.0</p>			

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LEGEND OF SYMBOLS

- CLEAN OUT
- DOWNSPOUT
- YARD DRAIN
- STORM MANHOLE
- SANITARY MANHOLE
- CATCH BASIN
- HYDRANT
- WATER VALVE
- GAS REG/METER
- WATER REG/METER
- ELECTRICAL METER
- GAS VALVE
- UTILITY POLE
- GUY ANCHOR
- BOLLARD
- SIGN
- SOILS TYPE
- IRON PIN/PIPE FOUND AS INDICATED
- IRON PIN/PIPE FOUND IN MONUMENT BOX AS INDICATED
- INLET PROTECTION
- DEMOLITION AREA
- AREAS OF TEMPORARY AND/OR PERMANENT SEEDING

LEGEND OF LINETYPES

- CENTERLINE
- EX. PAVEMENT
- DITCH/CREEK/SWALE
- EX. SETBACK LINES
- EX. MINOR CONTOUR
- EX. MAJOR CONTOUR
- EX. STORM
- EX. SANITARY
- EX. WATER
- EX. GAS
- EX. OVERHEAD UTILITIES
- EX. TELEPHONE
- EX. U.G. ELECTRIC
- PROP. MINOR CONTOUR
- PROP. MAJOR CONTOUR
- PROP. STORM
- PROP. SANITARY
- PROP. WATER
- PROP. GAS
- PROP. OVERHEAD UTILITIES
- PROP. TELEPHONE
- PROP. U.G. ELECTRIC
- CONSTRUCTION LIMITS
- SILT FENCE

SITE DATA:

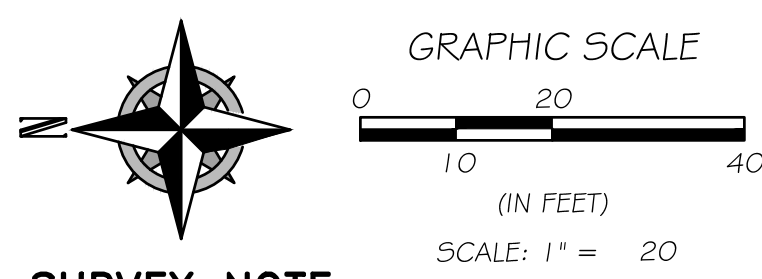
CITY OF LORAIN
 LORAIN COUNTY, OHIO
 SITE ADDRESS: VACANT LAND, W 21ST STREET LORAIN, OH 44053
 SITE COORDINATES: N: 649,975.962 E: 2,048,864.321 (NAD83 OHIO NORTH ZONE)
 LAT: N41° 27' 01.21" LONG: W82° 13' 05.5" (WGS 84)

DEVELOPER: ROBERT GONZALEZ
 1439 MEISTER ROAD
 LORAIN, OH 44053
 PH: 440-320-2247

AREA OF TOTAL DISTURBANCE: 0.97

THE PROPOSED CONSTRUCTION ACTIVITY COMPRISES OF SITE WORK FOR THE CONSTRUCTION OF A BUILDING AND PARKING AREAS. THE IMPROVEMENTS WILL ALSO INCLUDE A STORM UTILITY SYSTEM WITH DOWNSPOUT CONNECTIONS. THERE WILL BE MINOR SITE RE-GRADING TO DIRECT FLOW TO THE STORM SEWERS.

IMMEDIATE RECEIVING WATERS: ONSITE STORM SYSTEM TO CITY STORM WATER SYSTEM TO LAKE ERIE WATER SHED; LAKE ERIE TRIBUTARIES WEST OF BLACK RIVER



SURVEY NOTE:
 A BOUNDARY SURVEY PER OAC 4733-37 HAS NOT BEEN PERFORMED BY RAFTER A, LTD. INFORMATION SHOWN HEREON HAS BEEN REFERENCED OBTAINED AND PROVIDED BY BARBOSA AND ASSOCIATES, LLC., WILFREDO BARBOSA, PS. 8301.

TOPOGRAPHIC DATA IS BASED UPON A FIELD SURVEY PERFORMED BY RAFTER A, LTD IN NOVEMBER OF 2025.

UNDERGROUND UTILITIES NOTE:
 THE SIZE & LOCATION, BOTH HORIZONTAL AND VERTICAL, OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED WHERE PRACTICAL. HOWEVER, RAFTER A, LTD DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.

UNDERGROUND UTILITIES
 Contact Two Working Days Before You Dig

 OHIO811, 8-1-1, or 1-800-362-2764
 (Non-members must be called directly)
 A531400650-00A; A531400654-00A;

PROPOSED GONZALEZ WAREHOUSE SITE IMPROVEMENTS STORM WATER POLLUTION PREVENTION PLAN 2767 WEST 21ST STREET LORAIN, OH 44053	REV. 1 BY MSP DATE 12/29/2025 DESCRIPTION ISSUE PRELIMINARY PLANS TO CLIENT
	RAFTER A, LTD LAND SURVEYING • ENGINEERING • TESTING 42653 Oberlin-Elyria Road, Oberlin, Ohio 44074 440-707-4014 • www.raftera.com • info@raftera.com
ROBERT GONZALEZ 1439 MEISTER ROAD LORAIN, OHIO 44053 PH: 440-320-2247	02-02-023-114-016 JORGE ALVARADO & ELSA OLALDE INST.# 2014-0498878 2665 W 21ST STREET LORAIN, OH 44053
02-02-022-107-010 ROBERT GONZALEZ SR. INST.# 2021-0832802 2767 W. 21ST STREET LORAIN, OH 44053	02-02-023-114-017 JORGE ALVARADO & ELSA OLALDE INST.# 2015-0533064 2801 W 21ST STREET LORAIN, OH 44053
02-02-022-107-011 CITY OF LORAIN INST.# 2003-0889382 UNDEVELOPED LORAIN, OH 44053	02-02-018-000-032 JK LUCAS LLC. INST.# 2011-0380429 REAR LAND LORAIN, OH 44053
02-02-107-007 JK LUCAS LLC. INST.# 2011-0380429 REAR LAND LORAIN, OH 44053	02-02-018-000-002 JOHN M. & JOANNE L. VARGO INST.# 2017-0659879 REAR LAND LORAIN, OH 44053
DRAWN BY: MSP CHECKED BY: BDA RAF JOB NO: 3951-25	SHEET: C4.0

GENERAL

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LORAIN CODIFIED ORDINANCE 1559, OHIO EPA STORMWATER REGULATIONS, AND ODOT ITEM 832. ALL STORMWATER BEST MANAGEMENT PRACTICES SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO IMPLEMENTATION. DEVELOPMENT SITES LESS THAN ONE (1) ACRE IN SIZE: ALL CONSTRUCTION ACTIVITY WITHIN THE CITY WITH LESS THAN ONE (1) ACRE IN SIZE OF DISTURBED AREA SHALL BE REQUIRED TO MAINTAIN COMPLIANCE WITH THE FOLLOWING MINIMUM STANDARDS:

- CONSTRUCTION ENTRANCE:** A CONSTRUCTION ENTRANCE INSTALLED AND MAINTAINED TO THE STANDARDS OF THE CURRENT OHIO DEPARTMENT OF NATURAL RESOURCES' RUNWAY AND LAND DEVELOPMENT MANUAL IS REQUIRED AT ALL ACCESS POINTS USED BY VEHICULAR TRAFFIC OR CONSTRUCTION EQUIPMENT.
- INLET PROTECTION:** CITY APPROVED INLET PROTECTION IS REQUIRED ON ALL EXISTING OR PROPOSED STORM SEWER INLETS IN THE VICINITY OF THE CONSTRUCTION SITE THAT MAY RECEIVE SITE RUNOFF.
- PERIMETER CONTROL:** MUST BE INSTALLED AND MAINTAINED ALONG THE EDGE OF THE CONSTRUCTION SITE TO PREVENT OR FILTER SURFACE RUNOFF LEAVING THE CONSTRUCTION SITE. THE TYPE OF PERIMETER CONTROL USED SHALL BE DETERMINED BASED ON SITE AND LOCATION.
- SITE STABILIZATION:** TEMPORARY AND PERMANENT STABILIZATION MUST BE IMPLEMENTED ON ALL SITES PER THE STANDARDS IN THE CURRENT STORM WATER DISCHARGES FROM SMALL AND LARGE CONSTRUCTION ACTIVITIES - OHIO GENERAL NPDES PERMIT.
- SPILL PREVENTION/CONTAINMENT:** ALL SITES SHALL IMPLEMENT MEASURES FOR PREVENTING, CONTROLLING OR CONTAINING SPILLS OF FUEL, LUBRICANTS, TEMPORARY SANITARY TOILETS, OR OTHER POLLUTANTS AND PROTECTION POTENTIAL POLLUTANTS FROM CONTACT WITH PRECIPITATION OR RUNOFF.
- STAGING AREA AND CONCRETE WASHOUT:** ALL SITES MUST HAVE A CONTAINMENT AREA DESIGNATED FOR TRASH DISPOSAL, VEHICLE MAINTENANCE, MATERIAL STORAGE, AND CONCRETE WASHOUT. SHOULD THE USE OF A PREDEFINED BERMED CONTAINMENT AREA OR APPROVED WASHOUT DEVICE BE TECHNICALLY INFEASIBLE DUE TO THE PROJECT SIZE, THE DISPOSAL METHOD AND/OR LOCATION MUST BE PRE-APPROVED BY THE CITY ENGINEER OR HIS/HER DESIGNEE.
- STREET SWEEPING:** ALL PAVED SURFACES AFFECTED BY THE CONSTRUCTION SITE MUST BE SWEEPED AT THE END OF EACH WORK DAY AND DURING THE DAY AS NEEDED WHEN SEDIMENT AND OTHER MATERIALS ARE TRACED OR DISCHARGED INTO THEM. STREET WASHING SHALL BE ALLOWED ONLY AFTER SHOVELING OR SWEEPING HAS REMOVED MOST OF THE SEDIMENT AND APPROVED STORM SEWER INLET PROTECTION IS PROPERLY INSTALLED, UNLESS END OF SEWER SEDIMENT PONDS EXIST AND ARE PROPERLY FUNCTIONING.

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NOTE 2: BEFORE ANY EXCAVATING, CALL THE FOLLOWING NUMBERS AT LEAST 48 HOURS IN ADVANCE: O.U.P.S. @ (800) 362-2794 AND O.G.P.U.P.S. @ (800) 925-0984.

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**STANDARD DESIGNS
EROSION CONTROL
GENERAL NOTES**

ER-1.0

TEMPORARY SEEDING SPECIFICATIONS

TEMPORARY SEEDING SPECIES SELECTION

SEEDING DATES	SPECIES	LB./1,000 FT ²	LB./ACRE
MARCH 1 TO AUGUST 15	OATS	3	128 (4 BUSH/EL)
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	PERENNIAL RYEGRASS	1	40
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	PERENNIAL RYEGRASS	1.25	55
	PERENNIAL RYEGRASS	3.25	142
	CREeping RED FESCUE	0.4	17
	KENTUCKY BLUEGRASS	0.4	17
AUGUST 16 TO NOVEMBER 1	OATS	3	128 (3 BUSH/EL)
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	WHEAT	3	120 (2 BUSH/EL)
NOVEMBER 2 TO FEBRUARY 28 <u>USE MULCH ONLY OR DORMANT SEEDING</u>	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	PERENNIAL RYE	1	40
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	PERENNIAL RYEGRASS	1.25	40
	CREeping RED FESCUE	0.4	40

NOTE: OTHER APPROVED SPECIES MAY BE SUBSTITUTED.

- STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS AND SEDIMENT TRAPS SHALL BE INSTALLED AND STABILIZED WITH TEMPORARY SEEDING PRIOR TO GRADING THE REST OF THE CONSTRUCTION SITE.
- TEMPORARY SEED SHALL BE APPLIED BETWEEN CONSTRUCTION OPERATIONS ON SOIL THAT WILL NOT BE GRADED OR REWORKED FOR 14 DAYS OR GREATER. THESE IDEAL AREAS SHALL BE SEEDING WITHIN 7 DAYS AFTER GRADING.
- THE SEEDBED SHOULD BE FULVERIZED AND LOOSE TO ENSURE THE SUCCESS OF ESTABLISHING VEGETATION. TEMPORARY SEEDING SHOULD NOT BE POSTPONED IF IDEAL SEEDBED PREPARATION IS NOT POSSIBLE.
- SOIL AMENDMENTS—TEMPORARY VEGETATION SEEDING RATE SHALL ESTABLISH ADEQUATE STANDS OF VEGETATION, WHICH MAY REQUIRE THE USE OF SOIL AMENDMENTS. BASE RATES FOR LIME AND FERTILIZER SHALL BE USED.
- SEEDING METHOD—SEED SHALL BE APPLIED UNIFORMLY WITH A CYCLONE SPREADER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. WHEN FEASIBLE, SEED THAT HAS BEEN BROADCAST SHALL BE COVERED BY RAKING OR DRAGGING AND THEN LIGHTLY TAMPED INTO PLACE USING A ROLLER OR CULTIPACKER. IF HYDROSEEDING IS USED, THE SEED AND FERTILIZER WILL BE MIXED ON-SITE AND THE SEEDING SHALL BE DONE IMMEDIATELY AND WITHOUT INTERRUPTION.

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**STANDARD DESIGNS
EROSION CONTROL
GENERAL NOTES**

ER-1.1

TEMPORARY SEEDING SPECIFICATIONS CONT'D.

MULCHING FOR TEMPORARY SEEDING

- APPLICATIONS OF TEMPORARY SEEDING SHALL INCLUDE MULCH, WHICH SHALL BE APPLIED DURING OR IMMEDIATELY AFTER SEEDING. SEEDING MADE DURING OPTIMUM SEEDING DATES ON FAVORABLE, VERY FLAT SOIL CONDITIONS MAY NOT NEED MULCH TO ACHIEVE ADEQUATE STABILIZATION.
- MATERIALS:** STRAW-IF STRAW IS USED, IT SHALL BE UNROTTED SMALL-GRAIN STRAW APPLIED AT A RATE OF 2 TONS PER ACRE OR 90 LBS./1,000 SQ. FT. (2-3 BALES). HYDROSEEDERS-IF WOOD CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2000 LBS./AC. OR 46 LB./1,000 SQ. FT. OTHER-OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATTING APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 6 TONS/AC.
- STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER. ANCHORING METHODS: MECHANICAL-A DISK, CRIMPER, OR SIMILAR TYPE TOOL SHALL BE SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT LEFT TO A LENGTH OF APPROXIMATELY 6 INCHES. MULCH NETTING-NETTING SHALL BE USED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATED RUNOFF AND ON CRITICAL SLOPES. SYNTHETIC BINDERS-SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRI-TAC), DCA-70, PTEROSET, TERRA TRACK OR EQUIVALENT MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER. WOOD-CELLULOSE FIBER-WOOD-CELLULOSE FIBER BINDER SHALL BE APPLIED AT A NET DRY WT. OF 750 LB./AC. THE WOOD-CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB./100 GAL. CELLULOSE PER 100 GALLONS OF WATER.

PERMANENT SEEDING SPECIFICATIONS

SITE PREPARATION

- SUBSOILER, PLOW, OR OTHER IMPLEMENT SHALL BE USED TO REDUCE SOIL COMPACTION AND ALLOW MAXIMUM INFILTRATION. (MAXIMIZING INFILTRATION WILL HELP CONTROL BOTH RUNOFF RATE AND WATER QUALITY.) SUBSOILING SHOULD BE DONE WHEN THE SOIL MOISTURE IS LOW ENOUGH TO ALLOW THE SOIL TO CRACK OR FRACTURE. SUBSOILING SHALL NOT BE DONE ON SLIP-PRONE AREAS WHERE SOIL PREPARATION SHOULD BE LIMITED TO WHAT IS NECESSARY FOR ESTABLISHING VEGETATION.
- THE SITE SHALL BE GRADED AS NEEDED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION AND SEEDING.
- TOPSOIL SHALL BE APPLIED WHERE NEEDED TO ESTABLISH VEGETATION.

SEEDBED PREPARATION

- LIME-AGRICULTURAL GROUND LIMESTONE SHALL BE APPLIED TO ACID SOIL AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST, LIME SHALL BE APPLIED AT THE RATE OF 100 POUNDS PER 1,000-SQ. FT. OR 2 TONS PER ACRE.
- FERTILIZER-FERTILIZER SHALL BE APPLIED AS RECOMMENDED BY A SOIL TEST IN PLACE OF A SOIL TEST, FERTILIZER SHALL BE APPLIED AT A RATE OF 25 POUNDS PER 1,000-SQ. FT. OR 1000 POUNDS PER ACRE OF A 10-10-10 OR 12-12-12 ANALYSES.
- THE LIME AND FERTILIZER SHALL BE WORKED INTO THE SOIL WITH A DISK HARROW, SPRING-TOOTH HARROW, OR OTHER SUITABLE FIELD IMPLEMENT TO A DEPTH OF 3 INCHES. ON SLOPING LAND, THE SOIL SHALL BE WORKED ON THE CONTOUR.

SEEDING DATES AND SOIL CONDITIONS

SEEDING SHOULD BE DONE MARCH 1 TO MAY 31 OR AUGUST 1 TO SEPTEMBER 30. IF SEEDING OCCURS OUTSIDE OF THE ABOVE SPECIFIED DATES, ADDITIONAL MULCH AND IRRIGATION MAY BE REQUIRED TO ENSURE A MINIMUM OF 80% GERMINATION. TILLAGE FOR SEEDBED PREPARATION SHOULD BE DONE WHEN THE SOIL IS DRY ENOUGH TO CRUMBLE AND NOT FORM RIBBONS WHEN COMPRESSED BY HAND. FOR WINTER SEEDING, SEE THE FOLLOWING SECTION ON DORMANT SEEDING.

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**STANDARD DESIGNS
EROSION CONTROL
GENERAL NOTES**

ER-1.2

PERMANENT SEEDING - TABLE 1

SEED MIX	SEEDING RATE		NOTES:
	LBS./ACRE	LBS./1,000 SQ. FT.	
GENERAL USE			
CREeping RED FESCUE	20-40	1/2-1	FOR CLOSE MOWING & F FOR WATERWAYS WITH <2.0 FT/SEC VELOCITY
DOMESTIC RYEGRASS	10-20	1/4-1/2	
KENTUCKY BLUEGRASS	20-40	1/2-1	
TALL FESCUE	40-50	1-1 1/4	
TURF-TYPE (DWARF) FESCUE	90	2 1/4	
STEEP BANKS OR CUT SLOPES			
TALL FESCUE	40-50	1-1 1/4	DO NOT SEED LATER THAN AUGUST
CROWN VETCH	10-20	1/4-1/2	
TALL FESCUE	20-30	1/2-3/4	
FLAT PEA	20-25	1/2-3/4	DO NOT SEED LATER THAN AUGUST
TALL FESCUE	20-30	1/2-3/4	
ROAD DITCHES AND SWALES			
TALL FESCUE	40-50	1-1 1/4	DO NOT SEED LATER THAN AUGUST
TURF-TYPE (DWARF) FESCUE	90	2 1/4	
KENTUCKY BLUEGRASS	5	0.1	
LAWNS			
KENTUCKY BLUEGRASS	100-120	2	FOR SHADED AREAS
PERENNIAL RYEGRASS	2		
KENTUCKY BLUEGRASS	100-120	2	
CREeping RED FESCUE	1-1/2		

NOTE: OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED.

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**STANDARD DESIGNS
EROSION CONTROL
GENERAL NOTES**

ER-1.4

PERMANENT SEEDING SPECIFICATIONS CONT'D.

DORMANT SEEDING

- SEEDING SHOULD NOT BE MADE FROM OCTOBER 1 THROUGH NOVEMBER 20. DURING THIS PERIOD, THE SEEDS ARE LIKELY TO GERMINATE BUT PROBABLY WILL NOT BE ABLE TO SURVIVE THE WINTER.
- THE FOLLOWING METHODS MAY BE USED FOR "DORMANT SEEDING": FROM OCTOBER 1 THROUGH NOVEMBER 20, PREPARE THE SEEDBED, ADD THE REQUIRED AMOUNTS OF LIME AND FERTILIZER, THEN MULCH AND ANCHOR. AFTER NOVEMBER 20, AND BEFORE MARCH 15, BROADCAST THE SELECTED SEED MIXTURE. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING. FROM NOVEMBER 20 THROUGH MARCH 15, WHEN SOIL CONDITIONS PERMIT, PREPARE THE SEEDBED, LIME AND FERTILIZE, APPLY THE SELECTED SEED MIXTURE, MULCH AND ANCHOR. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING. APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDRO-SEEDER (SLURRY MAY INCLUDE SEED AND FERTILIZER) ON A FIRM, MOIST SEEDBED. WHERE FEASIBLE, EXCEPT WHEN A CULTIPACKER TYPE SEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG. ON SLOPING LAND, SEEDING OPERATIONS SHOULD BE ON THE CONTOUR WHERE FEASIBLE.

MULCHING

- MULCH MATERIAL SHALL BE APPLIED IMMEDIATELY AFTER SEEDING. DORMANT SEEDING SHALL BE MULCHED. 100% OF THE GROUND SURFACE SHALL BE COVERED WITH AN APPROVED MATERIAL.
- MATERIALS:** STRAW-IF STRAW IS USED IT SHALL BE UNROTTED SMALL-GRAIN STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE OR 90 POUNDS (TWO TO THREE BALES) PER 1,000-SQ. FT. THE MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY APPLIED SO THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000-SQ.FT. SECTIONS AND SPREAD TWO 45-LB. BALES OF STRAW IN EACH SECTION. HYDROSEEDERS-IF WOOD CELLULOSE FIBER IS USED, IT SHALL BE APPLIED AT 2,000 LB./AC. OR 46 LB./1,000 SQ. FT. OTHER-OTHER ACCEPTABLE MULCHES INCLUDE ROLLED EROSION CONTROL MATTING OR BLANKETS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 6 TONS PER ACRE.
- STRAW AND MULCH ANCHORING METHODS: STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER. MECHANICAL-A DISK, CRIMPER, OR SIMILAR TYPE TOOL SHALL BE SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT, GENERALLY, BE LEFT LONGER THAN 6 INCHES. MULCH NETTING-NETTING SHALL BE USED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATED RUNOFF AND ON CRITICAL SLOPES. ASPHALT EMULSION-ASPHALT SHALL BE APPLIED AS RECOMMENDED BY THE MANUFACTURER OR AT THE RATE OF 160 GALLONS PER ACRE. SYNTHETIC BINDERS-SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRI-TAC), DCA-70, PTEROSET, TERRA TRACK OR EQUIVALENT MAY BE USED AT RATES SPECIFIED BY THE MANUFACTURER. WOOD-CELLULOSE FIBER-WOOD CELLULOSE FIBER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. THE WOOD-CELLULOSE FIBER SHALL BE MIXED WITH WATER WITH THE MIXTURE CONTAINING A MAXIMUM OF 50 POUNDS CELLULOSE PER 100 GALLONS OF WATER.

IRRIGATION

PERMANENT SEEDING SHALL INCLUDE IRRIGATION TO ESTABLISH VEGETATION DURING DRY WEATHER OR ON ADVERSE SITE CONDITIONS, WHICH REQUIRE ADEQUATE MOISTURE FOR SEED GERMINATION AND PLANT GROWTH. IRRIGATION RATES SHALL BE MONITORED TO PREVENT EROSION AND DAMAGE TO SEEDING AREAS FROM EXCESSIVE RUNOFF.

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**STANDARD DESIGNS
EROSION CONTROL
GENERAL NOTES**

ER-1.3

CONCRETE WASHOUT AREA INSTALLATION NOTES:

- THE CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
- THE CONCRETE WASHOUT AREA WILL BE CONSTRUCTED ABOVE GRADE OR BELOW GRADE AT THE OPTION OF THE CONTRACTOR. THE ACTUAL LAUNCH OR TO BE DETERMINED IN THE FIELD.
- THE CONCRETE WASHOUT AREA SHALL BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS. THE WASHOUT AREA MUST BE CLEANED OR A NEW WASHOUT AREA MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL.
- THE CONCRETE WASHOUT SIGN SHALL BE PLACED WITHIN 30' OF THE WASHOUT AREA. ADDITIONAL SIGNS SHOULD BE CONSTRUCTED AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
- THE CONCRETE WASHOUT AREA SHALL BE LOCATED A MINIMUM OF 50' FROM STORM DRAIN INLETS, OPEN DISCHARGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS TO PREVENT DISTURBANCE OR TRACKING. VEHICLE TRACKING CONTROL IS REQUIRED AT CONCRETE WASHOUT ENTRANCE IF ACCESS TO AREA IS OFF PAVEMENT.
- WHEN THE CONCRETE WASHOUT AREA IS NO LONGER REQUIRED FOR WORK, THE HARDENED CONCRETE AND MATERIAL USED TO CONSTRUCT WASHOUT AREA SHALL BE REMOVED AND DISPOSED OF AT AN APPROVED WASTE SITE.
- WHEN THE CONCRETE WASHOUT AREA IS NO LONGER REQUIRED FOR WORK, THE HARDENED CONCRETE AND MATERIAL USED TO CONSTRUCT WASHOUT AREA SHALL BE REMOVED AND DISPOSED OF AT AN APPROVED WASTE SITE.

CONCRETE WASHOUT SIGN DETAIL

PLAN - BELOW GRADE OPTION

CONCRETE WASHOUT AREA INSTALLATION NOTES:

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- WHEN THE CONCRETE WASHOUT AREA IS NO LONGER REQUIRED FOR WORK, THE HARDENED CONCRETE AND MATERIAL USED TO CONSTRUCT WASHOUT AREA SHALL BE REMOVED AND DISPOSED OF AT AN APPROVED WASTE SITE.
- WHEN THE CONCRETE WASHOUT AREA IS NO LONGER REQUIRED FOR WORK, THE HARDENED CONCRETE AND MATERIAL USED TO CONSTRUCT WASHOUT AREA SHALL BE REMOVED AND DISPOSED OF AT AN APPROVED WASTE SITE.

CONCRETE WASHOUT AREA INSTALLATION NOTES:

- THE CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
- THE CONCRETE WASHOUT AREA WILL BE CONSTRUCTED ABOVE GRADE OR BELOW GRADE AT THE OPTION OF THE CONTRACTOR. THE ACTUAL LAUNCH OR TO BE DETERMINED IN THE FIELD.
- THE CONCRETE WASHOUT AREA SHALL BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS. THE WASHOUT AREA MUST BE CLEANED OR A NEW WASHOUT AREA MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL.
- THE CONCRETE WASHOUT SIGN SHALL BE PLACED WITHIN 30' OF THE WASHOUT AREA. ADDITIONAL SIGNS SHOULD BE CONSTRUCTED AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
- THE CONCRETE WASHOUT AREA SHALL BE LOCATED A MINIMUM OF 50' FROM STORM DRAIN INLETS, OPEN DISCHARGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS TO PREVENT DISTURBANCE OR TRACKING. VEHICLE TRACKING CONTROL IS REQUIRED AT CONCRETE WASHOUT ENTRANCE IF ACCESS TO AREA IS OFF PAVEMENT.
- WHEN THE CONCRETE WASHOUT AREA IS NO LONGER REQUIRED FOR WORK, THE HARDENED CONCRETE AND MATERIAL USED TO CONSTRUCT WASHOUT AREA SHALL BE REMOVED AND DISPOSED OF AT AN APPROVED WASTE SITE.
- WHEN THE CONCRETE WASHOUT AREA IS NO LONGER REQUIRED FOR WORK, THE HARDENED CONCRETE AND MATERIAL USED TO CONSTRUCT WASHOUT AREA SHALL BE REMOVED AND DISPOSED OF AT AN APPROVED WASTE SITE.

NOTE 1: THIS DETAIL IS VALID ONLY WHEN USED AS PRESENTED HERE, WITHOUT CHANGES, AND IN CONJUNCTION WITH ANY GENERAL NOTES AND/OR OTHER DETAILS WHICH MAY APPLY. ANY CHANGES TO THIS DETAIL SHALL FIRST BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER.

NOTE 2: BEFORE ANY EXCAVATING, CALL THE FOLLOWING NUMBERS AT LEAST 48 HOURS IN ADVANCE: O.U.P.S. @ (800) 362-2794 AND O.G.P.U.P.S. @ (800) 925-0984.

City of Lorain
200 West Erie Avenue Lorain, Ohio 44052
Phone: (440) 204-2003

**STANDARD DESIGNS
EROSION CONTROL
CONCRETE WASHOUT AREA**

ER-2.0

E:\Aurora - Books - Standard\COL STANDARDS\90 - CURRENT STANDARD\ER-1.0.dwg - Dec 28, 2018 - 11:46am

W:\BACK\Engineering\Aurora - Books - Standard\COL STANDARDS\90 - CURRENT STANDARD\ER-1.1.dwg - May 19, 2017 - 3:05pm

E:\Aurora - Books - Standard\COL STANDARDS\90 - CURRENT STANDARD\ER-1.2.dwg - Dec 28, 2018 - 11:46am

W:\BACK\Engineering\Aurora - Books - Standard\COL STANDARDS\90 - CURRENT STANDARD\ER-1.3.dwg - May 19, 2017 - 3:05pm

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W:\BACK\Engineering\Aurora - Books - Standard\COL STANDARDS\90 - CURRENT STANDARD\ER-2.0.dwg - May 19, 2017 - 3:05pm

REV.	BY	DATE	DESCRIPTION
1	MSP	12/29/2015	ISSUE PRELIMINARY PLANS TO CLIENT

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440-707-4014 • www.raftera.com • info@raftera.com

ROBERT GONZALEZ
1430 MEISTER ROAD
LORAIN, OHIO 44053
PH: 440-320-2247

PROPOSED GONZALEZ WAREHOUSE
SITE IMPROVEMENTS
SWPPP NOTES & DETAILS
2767 WEST 21ST STREET
LORAIN, OHIO 44053

DRAWN BY: MSP
CHECKED BY: BDA
RAF JOB NO: 3951-25
SHEET: C4.2

NOTES:

- CURB CUTS AND DRIVE PIPES SHALL BE CONSTRUCTED PRIOR TO ANY CONSTRUCTION ACTIVITIES TAKING PLACE.
- TEMPORARY DRIVES SHALL BE COORDINATED WITH PERMANENT DRIVE CONSTRUCTION.
- STONE FOR CONSTRUCTION DRIVES SHALL MEET THE GRADATION FOR COOT SIZE NO. 2 COARSE AGGREGATE. MINIMUM THICKNESS SHALL BE 10" FOR NON-RESIDENTIAL SITES, 6" FOR RESIDENTIAL.
- A GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE ENTIRE DRIVE AREA PRIOR TO PLACING STONE. GEOTEXTILE MATERIAL SHALL MEET COOT ITEM 712.00 TYPE B REQUIREMENTS.
- THE CONSTRUCTION DRIVE SHALL BE MAINTAINED BY PERIODICALLY ADDING STONE AS CONDITIONS DEMAND.
- CONSTRUCTION TRAFFIC SHALL BE LIMITED TO THE CONSTRUCTION DRIVE AS MUCH AS POSSIBLE. MUD AND STONES WHICH ARE SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADS OR OTHER SURFACES WHERE SEDIMENT CONTROLS WERE NOT ADEQUATE, SHALL BE REMOVED IMMEDIATELY BY SCRAPING OR SWEEPING.

City of Lorain
200 West Erie Avenue Lorain, Ohio 44052
Phone: (440) 204-2003

**STANDARD DESIGNS
EROSION CONTROL
CONSTRUCTION DRIVE DETAIL**

DATE: ER-3.0.dwg
DRAWN BY: VAN
APPROVED BY: DV
REVISION DATE: 08/19/2018
SCALE: NONE

NOTES:

- SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
- ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS THAT MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
- ENDS OF THE SILT FENCES SHALL BE BROUGHT UPSLOPE SLIGHTLY SO THAT WATER PONDED BY THE SILT FENCE WILL BE PREVENTED FROM FLOWING AROUND THE ENDS.
- SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
- WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5' (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
- THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16" ABOVE THE ORIGINAL GROUND SURFACE.
- THE SILT FENCE SHALL BE PLACED IN AN EXCAVATED OR SLICED TRENCH CUT A MINIMUM OF 6" DEEP. THE TRENCH SHALL BE MADE WITH A TRENCHER, CABLE LAYING MACHINE, SLICING MACHINE, OR OTHER SUITABLE DEVICE THAT WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.
- THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNSLOPE SIDE OF THE GEOTEXTILE. A MINIMUM OF 8" OF GEOTEXTILE MUST BE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6" DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED ON BOTH SIDES OF THE FABRIC.
- SEAMS BETWEEN SECTIONS OF SILT FENCE SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6" OVERLAP PRIOR TO DRIVING INTO THE GROUND (SEE DETAIL).
- MAINTENANCE: SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER THE FABRIC OR AROUND THE FENCE ENDS, OR IN ANY OTHER WAY ALLOWS A CONCENTRATED FLOW DISCHARGE, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE:
 - THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED
 - ACCUMULATED SEDIMENT SHALL BE REMOVED OR
 - OTHER PRACTICES SHALL BE INSTALLED.
- SEDIMENT DEPOSITS SHALL BE ROUTINELY REMOVED WHEN THE DEPOSIT REACHES APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE SILT FENCE.
- SILT FENCES SHALL BE INSPECTED AFTER EACH RAINFALL AND AT LEAST DAILY DURING A PROLONGED RAINFALL. THE LOCATION OF EXISTING SILT FENCE SHALL BE REVIEWED DAILY TO ENSURE ITS PROPER LOCATION AND EFFECTIVENESS. IF DAMAGED, THE SILT FENCE SHALL BE REPAIRED IMMEDIATELY.

CRITERIA FOR SILT FENCE MATERIALS:
SILT FENCE FABRIC SHALL MEET THE REQUIREMENTS OF COOT ITEM 712.00, TYPE C. THE LENGTH OF FENCE POSTS SHALL BE A MINIMUM OF 32". WOOD POSTS WILL BE 2" BY 2". NOMINAL DIMENSIONED HARDWOOD OF SOUND QUALITY. THEY SHALL BE FREE OF KNOTS, SPLITS AND OTHER VISIBLE IMPERFECTIONS, THAT WILL WEAKEN THE POSTS. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10'. POSTS SHALL BE DRIVEN A MINIMUM 16" INTO THE GROUND, WHERE POSSIBLE. IF NOT POSSIBLE, THE POSTS SHALL BE ADEQUATELY SECURED TO PREVENT OVERTURNING THE FENCE DUE TO SEDIMENT/WATER LOADING.

City of Lorain
200 West Erie Avenue Lorain, Ohio 44052
Phone: (440) 204-2003

**STANDARD DESIGNS
EROSION CONTROL
SILT FENCE DETAIL NOTES**

DATE: ER-4.1.dwg
DRAWN BY: VAN
APPROVED BY: DV
REVISION DATE: 08/19/2018
SCALE: NONE

NOTES:

- Channel/Slope Preparation Grade and compact area of installation, preparing seeded by loosening 2"-3" of topsoil above final grade. Incorporate amendments such as lime and fertilizer into soil. Remove all rocks, clogs, vegetation or other debris so that installed TRM will have direct contact with the soil surface.
- Channel/Slope Seeding Apply seed to soil surface prior to installation. All check slots, anchor trenches, and other disturbed areas must be reseeded. Refer to the Permanent Seeding specification for seeding recommendations.
- Slope Installation**
Excavate top and bottom trenches (12"x6") intermittent anchor check slots (6"x6") may be required based on slope length. Excavate top anchor trench 2' or 2' over crest of the slope.
If intermittent erosion check slots are required install TRM in 6"x6" slot at a maximum of 30' center to the end point of the slope. TRM should be stapled into trench on 12" centers.
Install TRM in bottom anchor trench, anchor on 12" spacings, backfill and compact soil.
Install TRM down slope with adjacent rolls overlapped a minimum of 2". Anchor the seam every 18". Lay the TRM loose to maintain correct roll contact, do not pull tight.
- Overlap roll ends a minimum of 12" with upslope TRM on top for a shingle effect. Begin all new rolls in an erosion check slot and if required, double anchor across roll every 12".
- Install TRM in bottom anchor trench (12"x6") anchor every 12". Place roller stabilizer throughout slope at 1 in 2.5 per square yard (dependent on slope. Refer to manufacturer's anchor guide).
- Channel Installation**
Excavate initial anchor trench (12"x6") across the lower end of the project area.
Excavate intermittent check slots (6"x6") across the channel at 30' intervals along the channel.
Excavate longitudinal channel anchor slots (6"x4") along both sides of the channel to bury the edges. Whenever possible extend the TRM 2'-3' above the crest of channel side slopes.
Install TRM in initial anchor trench (downstream) anchor every 12', backfill and compact soil.
Roll out TRM beginning in the center of the channel toward the intermittent check slot. Do not pull tight. Unroll adjacent rolls upstream with a 6" minimum overlap (anchor every 18") and up each channel side slope.
At top of channel side slopes install TRM in the longitudinal anchor slots anchor every 18".
Install TRM in intermittent check slots. Lay into trench and secure with anchors every 12', backfill with soil and compact.
Overlap roll ends a minimum of 12" with upstream TRM on top for a shingle effect. Begin all new rolls in an intermittent check slot, double anchored every 12".
Install upstream end in terminal anchor trench (12"x6") anchor every 12', backfill and compact.
Complete anchoring throughout channel at 2.5 per square yard using suitable ground anchoring devices (3 shaped with stakes, metal operable pins, plastic stakes, and triangular wooden stakes). Anchors should be of sufficient length to resist pullout. Larger anchors may be required in loose sandy or gravelly soils.
- Install TRM in bottom anchor trench (12"x6") anchor every 12". Place roller stabilizer throughout slope at 1 in 2.5 per square yard (dependent on slope. Refer to manufacturer's anchor guide).

City of Lorain
200 West Erie Avenue Lorain, Ohio 44052
Phone: (440) 204-2003

**STANDARD DESIGNS
EROSION CONTROL
TURF REINFORCEMENT DETAIL**

DATE: ER-6.0.dwg
DRAWN BY: VAN
APPROVED BY: DV
REVISION DATE: 07/01/2018
SCALE: NONE

ALTERNATIVE SEDIMENT BARRIER NOTE:
ALTERNATIVE SEDIMENT BARRIERS (i.e. SILT SOCK), USED IN LIEU OF SILT FENCE SHALL BE 12" MIN. IN DIAMETER.

City of Lorain
200 West Erie Avenue Lorain, Ohio 44052
Phone: (440) 204-2003

**STANDARD DESIGNS
EROSION CONTROL
SILT FENCE DETAIL**

DATE: ER-4.0.dwg
DRAWN BY: VAN
APPROVED BY: DV
REVISION DATE: 08/19/2018
SCALE: NONE

NOTE: THE DANDY CURB SACK™ WILL BE MANUFACTURED IN THE U.S.A. FROM A WOVEN MONOFILAMENT FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:

Mechanical Properties	Test Method	Units	MARV
Grob Tensile Strength	ASTM D 4832	kN (lbs)	1.78 (400) x 1.40 (315)
Grob Tensile Elongation	ASTM D 4832	%	15 x 15
Puncture Strength	ASTM D 4833	kN (lbs)	0.67 (150)
Mullen Burst Strength	ASTM D 3786	kPa (psi)	5506 (800)
Trapezoid Tear Strength	ASTM D 4533	kN (lbs)	0.67 (150) x 0.73 (165)
UV Resistance	ASTM D 4355	%	90
Apparent Opening Size	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4481	l/min/m ² (gal/min/ft ²)	2852 (20)
Permeability	ASTM D 4481	Sec	6.90

HI-FLOW DANDY CURB SACK™ (SAFETY ORANGE)

Mechanical Properties	Test Method	Units	MARV
Grob Tensile Strength	ASTM D 4832	kN (lbs)	1.62 (365) x 0.89 (200)
Grob Tensile Elongation	ASTM D 4832	%	24 x 10
Puncture Strength	ASTM D 4833	kN (lbs)	0.49 (90)
Mullen Burst Strength	ASTM D 3786	kPa (psi)	3097 (450)
Trapezoid Tear Strength	ASTM D 4533	kN (lbs)	0.51 (115) x 0.33 (75)
UV Resistance	ASTM D 4355	%	90
Apparent Opening Size	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4481	l/min/m ² (gal/min/ft ²)	5907 (145)
Permeability	ASTM D 4481	Sec	2.1

NOTE: ALL DANDY SACKS™ CAN BE ORDERED WITH OUR OPTIONAL OIL ABSORBENT PILLOWS

City of Lorain
200 West Erie Avenue Lorain, Ohio 44052
Phone: (440) 204-2003

**STANDARD DESIGNS
EROSION CONTROL
INLET PROTECTION WITHOUT CURB**

DATE: ER-5.1.dwg
DRAWN BY: VAN
APPROVED BY: DV
REVISION DATE: 08/19/2018
SCALE: NONE

NOTES:

- EMBANKMENTS OF ALL STORMWATER MANAGEMENT BASINS BEING CONSTRUCTED WITHIN THE CITY
- STEEP SLOPES
- SLOPES WHERE THE EROSION POTENTIAL IS HIGH
- SLOPES AND DISTURBED SOILS WHERE MULCH MUST BE ANCHORED.
- DISTURBED AREAS WHERE PLANTS ARE SLOW TO DEVELOP.
- CHANNELS WITH FLOWS EXCEEDING 1.0 MS (3.3 FT/S).
- CHANNELS TO BE VEGETATED.
- STOCKPILES.
- SLOPES ADJACENT TO WATER BODIES

City of Lorain
200 West Erie Avenue Lorain, Ohio 44052
Phone: (440) 204-2003

**STANDARD DESIGNS
EROSION CONTROL
TURF REINFORCEMENT NOTES**

DATE: ER-6.1.dwg
DRAWN BY: VAN
APPROVED BY: DV
REVISION DATE: 07/01/2018
SCALE: NONE

**City of Lorain Codified Ordinances Chapter 1529.07
Minimum Standards for Small Construction Sites**

DEVELOPMENT SITES LESS THAN ONE (1) ACRE IN SIZE: All construction activity within the City with less than one (1) acre in size of disturbed area shall be required to maintain compliance with the following minimum standards:

- Construction Entrance: A construction entrance installed and maintained to the standards of the current Ohio Department of Natural Resources' Rainwater and Land Development Manual is required at all access points used by vehicular traffic or construction equipment.
- Inlet Protection: City approved inlet protection is required on all existing or proposed storm sewer inlets in the vicinity of the construction site that may receive site runoff.
- Site Stabilization: Temporary and permanent stabilization must be implemented on all sites per the standards in the current Storm Water Discharges from Small and Large Construction Activities - Ohio General NPDES Permit.
- Spill Prevention/Containment: All sites shall implement measures for preventing, controlling, or containing spills of fuel, lubricants, temporary sanitary toilets, or other pollutants and protecting potential pollutants from contact with precipitation or runoff.
- Staging Area and Concrete Washout: All sites must have a containment area designated for trash disposal, vehicle maintenance, material storage, and concrete washout. Should the use of a predefined bermed containment area or approved washout device be technically infeasible due to the project size, the disposal method and/or location must be pre-approved by the City Engineer or his/her designee.
- Street Sweeping: All paved surfaces affected by the construction site must be swept, at a minimum, at the end of each work day, and during the day as needed, when sediment and other materials are tracked or discharged onto them. Street washing shall be allowed only after shoveling or sweeping has removed most of the sediment and approved storm sewer inlet protection is properly installed unless end of sewer sediment ponds exist and are properly functioning.
- Perimeter Control: Perimeter control must be installed and maintained along the edge of the construction site to prevent or filter surface runoff leaving the construction site. The type of perimeter control used shall be determined based on site and location.

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ROBERT GONZALEZ
1430 MEISTER ROAD
LORAIN, OHIO 44053
PH: 440-320-2247

**PROPOSED GONZALEZ WAREHOUSE
SITE IMPROVEMENTS
SWPPP NOTES & DETAILS**

2767 WEST 21ST STREET
LORAIN, OHIO 44053

DRAWN BY: MSP
CHECKED BY: BDA
RAF JOB NO: 3951-25

SHEET: **C4.3**

GENERAL

- 1. UTILITIES AND MATERIALS FURNISHED SHALL BE IN ACCORDANCE WITH THE PLANS AND THE CURRENT EDITIONS OF THE "STATE OF OHIO DEPARTMENT OF TRANSPORTATION SPECIFICATIONS" AND THE "CITY OF LORAIN STANDARD DESIGNS". SHALL MEET AASHTO M306 STANDARDS AND SHALL BE MADE IN THE USA. CITY PLANS SUPERCEDE ODOT SPECS.
2. WHERE GROUND COVER IS DISTURBED DURING THE CONSTRUCTION, THE CONTRACTOR SHALL INSTALL ALL NECESSARY EROSION CONTROL AND DRAINAGE CONTROL DEVICES IN ACCORDANCE WITH REGULATIONS OF THE CITY OF LORAIN, AND THE OHIO EPA. THESE DEVICES SHALL BE ROUTINELY MONITORED AND MAINTAINED BY THE CONTRACTOR THROUGHOUT THE CONSTRUCTION PERIOD UNTIL SATISFACTORY GROUND COVER HAS BEEN RE-ESTABLISHED. NO WORK SHALL BEGIN UNTIL ALL SUCH DEVICES ARE IN PLACE.
3. ALL DEVELOPMENTS INVOLVING UTILITY IMPROVEMENTS SHALL HAVE DETAILED DESIGN DRAWINGS PREPARED AND SEALED BY AN OHIO REGISTERED PROFESSIONAL ENGINEER OR SURVEYOR. DRAWINGS SHALL BE SIGNED AND DATED BY THE PREPARING ENGINEER OR SURVEYOR OR WILL NOT BE CONSIDERED VALID. ELECTRONIC AS-BUILTS OF ALL IMPROVEMENTS SHALL BE PROVIDED AND SEALED BY A PROFESSIONAL SURVEYOR. AS-BUILT COMPATIBILITY WITH GIS IS REQUIRED.
4. CITY OF LORAIN STANDARD DESIGNS CONSTITUTE A MINIMUM DESIGN STANDARD. SPECIFIC PROJECTS MAY INVOLVE SPECIAL CIRCUMSTANCES WHICH REQUIRE MODIFICATION OF STANDARDS AND ADDITIONAL ENGINEERING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ADDITIONAL DESIGN AND FOR OBTAINING APPROVAL OF ANY STANDARD DESIGNS MODIFICATIONS.
5. PAVEMENT MARKINGS WHICH ARE DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR IN ACCORDANCE WITH CITY OF LORAIN, ODOT, AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES REQUIREMENTS.
6. DOMESTIC IRON AND STEEL SHALL BE USED FOR ALL CASTINGS, FITTINGS AND STEEL PRODUCTS.
7. ALL CONSTRUCTION AND DEMOLITION DEBRIS (C&D) WASTE MUST BE DISPOSED OF IN AN OHIO EPA APPROVED C&D LANDFILL AS REQUIRED BY OHIO REVISED CODE 3714.
8. AT THE END OF EACH DAY THE CONTRACTOR SHALL CLEAN ALL PUBLIC WALKS AND STREETS USED IN CONJUNCTION WITH THE PROJECT TO THE SATISFACTION OF THE ENGINEER.
9. ALL MATERIAL, IE, MANHOLE FRAMES OR LIDS, FIRE HYDRANTS, INLET FRAMES OR GRATES AND MONUMENT BOXES DIRECTED TO BE SALVAGED SHALL BE DELIVERED ON WOOD PALLETS BY THE CONTRACTOR TO THE CITY OF LORAIN SEWER DEPARTMENT AT 6301 WEST ERIE AVENUE (ACCESS FROM OAK POINT ROAD, BEAR LEFT AT DRIVEWAY SPLIT). FOR EACH ITEM THAT IS TO BE SALVAGED AND NOT DELIVERED TO THE SEWER DEPARTMENT, THERE WILL BE A REASONABLE MONETARY SUM WITHHELD FROM THE CONTRACT PAYMENTS AND CHARGED AGAINST THE CONTRACTOR. CALL (440) 204-2200 TO MAKE ARRANGEMENTS FOR THE MATERIAL DELIVERY.
10. WHEN, FOR ANY REASON, THE WORK IS LEFT UNFINISHED FOR AN EXTENDED PERIOD OF TIME AS DEFINED BY THE ENGINEERING DEPARTMENT, ALL TRENCHES AND EXCAVATIONS SHALL BE FULLY PROTECTED OR FILLED TO LEAVE THE SITE IN A GOOD AND SAFE CONDITION.
11. A PRECONSTRUCTION CONFERENCE SCHEDULED BY THE ENGINEER SHALL BE HELD PRIOR TO THE START OF ANY WORK.
12. THE ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF THE START OF ANY WORK UNDER THE CONTRACT IN ORDER TO SCHEDULE THE ASSIGNMENT OF AN INSPECTOR FOR THE WORK.
13. ALL SHOP DRAWINGS AND OTHER SUBMITTALS MUST BE CHECKED, APPROVED, AND STAMPED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE ENGINEER FOR REVIEW.
14. THE CONTRACTOR SHALL PROVIDE A PRECONSTRUCTION VIDEO TAPE SURVEY OF THE ENTIRE PROJECT AREA. ANY DAMAGE DEEMED TO BE CAUSED BY THE CONTRACTOR SHALL BE REPAIRED AT HIS OWN EXPENSE. ALL COSTS ASSOCIATED FOR THIS WORK, INCLUDING THE VIDEO TAPE SURVEY, SHALL BE INCLUDED IN ITEM 624-MOBILIZATION.
15. EXISTING STREET RIGHT-OF-WAYS SHALL BE CONSIDERED TO BE THE PROJECT LIMITS FOR ALL STREETS IN THE CONTRACT.
16. ALL EXCAVATED MATERIALS SHALL BE DEPOSITED AT AN APPROVED DUMP SITE IN ACCORDANCE WITH ODOT 105.16.
17. FURNISH THE ENGINEER A PROGRESS SCHEDULE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

NOTE: THIS DETAIL IS VALID ONLY WHEN USED AS PRESENTED HERE, WITHOUT CHANGES, AND IN CONJUNCTION WITH ANY GENERAL NOTES AND/OR OTHER DETAILS WHICH MAY APPLY. ANY CHANGES TO THIS DETAIL SHALL FIRST BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER.
NOTE 2: BEFORE ANY EXCAVATING, CALL THE FOLLOWING NUMBERS AT LEAST 48 HOURS IN ADVANCE: O.U.P.S. @ (800) 362-2764.
City of Lorain
200 West Erie Avenue Lorain, Ohio 44052
Phone: (440) 204-2003
STANDARD DESIGNS
GENERAL
GENERAL NOTES
GN-2.0

ITEM 614 - MAINTAINING TRAFFIC

- 1. MAINTAIN THROUGH TRAFFIC AT ALL TIMES IN ACCORDANCE WITH ODOT ITEM 614 AND THE DETAILS AND NOTES ON THE STANDARD CONSTRUCTION DRAWINGS AND THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION, LATEST REVISION.
2. IT IS THE CONTRACTORS RESPONSIBILITY TO MAINTAIN PEDESTRIAN, LOCAL ROADWAY AND DRIVEWAY ACCESS AT ALL TIMES. THE CONTRACTOR SHALL FURNISH AND INSTALL TEMPORARY STONE DRIVES/WALKS WITH A MATERIAL WHICH IS APPROVED BY THE ENGINEER. THESE TEMPORARY STONE DRIVES SHALL BE MAINTAINED TO THE SATISFACTION OF THE ENGINEER. COST FOR ALL MATERIALS, LABOR AND EQUIPMENT FOR CONSTRUCTION MAINTENANCE AND SUBSEQUENT REMOVAL SHALL BE INCLUDED IN 614 MAINTAINING TRAFFIC.
3. PROVIDE STEEL PLATES ACROSS TRENCHES AS DIRECTED TO PROVIDE TEMPORARY VEHICLE OR PEDESTRIAN ACCESS TO RESIDENCES. ADDITIONAL ACCOMMODATIONS MAY BE REQUIRED TO PROVIDE ACCESSIBILITY FOR VEHICLES OF HANDICAPPED OR OTHER IDENTIFIED RESIDENTS.
4. LANE CLOSURES AND RESTRICTIONS ARE PROHIBITED WITHOUT PRIOR APPROVAL OF THE ENGINEER. THE CONTRACTOR SHALL SUBMIT A LANE CLOSURE/TRAFFIC RESTRICTION REQUEST 48 HOURS IN ADVANCE OF ANY PLANNED IMPLEMENTATION SPECIFYING THE LIMITS AND DURATION OF THE WORK. SAID REQUEST SHALL INCLUDE A MAP DEPICTING THE LOCATION OF ALL TRAFFIC CONTROL DEVICES (SIGNS, DRUMS, ETC.), IF PERMITTED, THE ENGINEER WILL APPROVE THE LENGTH AND DURATION OF LANE CLOSURES AND/OR TRAFFIC RESTRICTIONS, WITH THE INTENT OF MINIMIZING THE IMPACT TO THE TRAVELING PUBLIC. THE ENGINEER WILL NOT PERMIT LANE CLOSURES OR RESTRICTIONS OVER SEGMENTS OF THE PROJECT IN WHICH NO WORK IS ANTICIPATED WITHIN A REASONABLE TIME FRAME. THE CONTRACTOR IS RESPONSIBLE FOR ERECTING ALL NECESSARY DETOUR SIGNS AND TRAFFIC CONTROL DEVICES. COSTS SHALL BE INCLUDED IN ITEM 614 MAINTENANCE OF TRAFFIC.
5. THE CONTRACTOR SHALL POST SIGNS 24 HOURS IN ADVANCE TO NOTIFY CITIZENS OF THE NEED FOR NO PARKING ON THE STREET DURING CONSTRUCTION HOURS. FAILURE TO PERFORM THIS POSTING, OR NOT TO PERFORM WORK IN THE SPECIFIED TIME OF THE SIGN POSTING, WILL RESULT IN THE CONTRACTOR BEING RESPONSIBLE FOR ALL TOWING FEES AND FINES RESULTING FROM THE FAILURE TO EXECUTE THE WORK AS PER THE SIGN POSTING.
6. FURNISH, ERECT, MAINTAIN, AND SUBSEQUENTLY REMOVE WORK ZONE TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (OMUDC), ODOT ITEM 614, THE STANDARD CONSTRUCTION DRAWINGS AND OTHER APPLICABLE PORTIONS OF THE SPECIFICATIONS. THE LEVEL OF UTILIZATION OF MAINTENANCE OF TRAFFIC CONTROL DEVICES SHALL BE COMMENSURATE WITH THE WORK IN PROGRESS.
7. FURNISH AND MAINTAIN ALL NECESSARY SAFEGUARDS SUCH AS TEMPORARY STRIPING, BARRICADES, LIGHTING, FLAGGERS, AND OTHER SUCH TRAFFIC CONTROL DEVICES IN THE WORK ZONE IN ACCORDANCE WITH ITEM 614 MAINTAINING TRAFFIC SO AS TO AVOID DAMAGE AND/OR INJURY TO VEHICLES AND PERSONS USING THE ROADWAY DURING CONSTRUCTION.
8. RELOCATE EXISTING TRAFFIC CONTROL DEVICES (SIGNS AND/OR TRAFFIC SIGNALS), LOCATED WITHIN THE WORK AREA, WHICH ARE REQUIRED FOR INTERIM OR PERMANENT TRAFFIC CONTROL, TO POINTS APPROVED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR ERECTING ALL NECESSARY DETOUR SIGNS AND TRAFFIC CONTROL DEVICES. COSTS SHALL BE INCLUDED IN ITEM 614 MAINTENANCE OF TRAFFIC.
9. ALL STREET AND TRAFFIC SIGNS REMOVED DURING CONSTRUCTION SHALL BE REINSTALLED AS REQUIRED UPON COMPLETION OF THE PROJECT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING DUST, DIRT AND MUD DUE TO CONSTRUCTION IN THE PROJECT AREA DURING THE LIFE OF THE PROJECT. DUST CONTROL OPERATIONS SHALL BE PERFORMED BY THE CONTRACTOR AT THE TIME, LOCATION AND IN THE AMOUNT ORDERED BY THE ENGINEER AND SHALL BE IN ACCORDANCE WITH ITEM 616 OF THE OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS. ONLY WATER SHALL BE USED FOR DUST CONTROL NEAR SURFACE WATER AND CATCH BASINS. THE COST FOR THESE OPERATIONS SHALL BE INCLUDED IN ITEM 614 MAINTENANCE OF TRAFFIC.
11. THE PROVISIONS OF THIS SECTION SHALL NOT IN ANY WAY RELIEVE THE CONTRACTOR OF ANY OF HIS LEGAL RESPONSIBILITIES OR LIABILITIES FOR THE SAFETY OF THE PUBLIC. THE CONTRACTOR SHALL INDEMNIFY AND SAVE HARMLESS THE CITY OF LORAIN FROM ANY EXPENSE WHATSOEVER DUE TO HIS OPERATION OVER SAID ROADWAYS.

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PAVEMENT MARKING

- 1. FURNISH AND INSTALL PAVEMENT MARKINGS IN ACCORDANCE WITH ODOT ITEM 640, THE STANDARD CONSTRUCTION DRAWINGS AND THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION, LATEST REVISION.

PROHIBITED CONSTRUCTION ACTIVITIES

- 1. DISPOSING OF EXCESS OR UNSUITABLE EXCAVATED MATERIAL IN WETLANDS OR FLOODPLAINS, EVEN WITH THE PERMISSION OF THE OWNER.
2. LOCATING STOCKPILE STORAGE AREAS IN ENVIRONMENTALLY SENSITIVE AREAS.
3. DAMAGING VEGETATION OUTSIDE OF THE CONSTRUCTION AREA.
4. DISPOSING OF TREES, BRUSH AND OTHER DEBRIS IN ANY STREAM CORRIDORS, ANY WETLANDS, OR ANY SURFACE WATERS, OR AT UNSPECIFIED LOCATIONS. THE USE OF EXPLOSIVES WITHIN CITY LIMITS, UNLESS A PERMIT IS ISSUED BY THE CITY.
5. INDESCRIMINATE, ARBITRARY, OR CAPRICIOUS OPERATIONS OF EQUIPMENT IN ANY STREAM CORRIDORS, ANY WETLANDS, ANY SURFACE WATERS OR OUTSIDE THE EASEMENT LIMITS.
6. PUMPING OF SEDIMENT LADEN WATER FROM TRENCHES OR OTHER EXCAVATIONS DIRECTLY INTO ANY SURFACE WATERS, ANY STREAM CORRIDORS, ANY WETLANDS OR STORM SEWERS; ALL SUCH WATER WILL BE PROPERLY FILTERED OR SETTLED TO REMOVE SILT PRIOR TO RELEASE.
7. DISCHARGING POLLUTANTS SUCH AS CHEMICALS, FUELS, LUBRICANTS, BITUMINOUS MATERIALS, RAW SEWAGE, OR ANY OTHER HARMFUL WASTE INTO OR ALONGSIDE OF RIVERS, STREAMS, IMPOUNDMENTS OR NATURAL OR MANMADE CHANNELS LEADING THERETO; PERMANENT OR UNSPECIFIED ALTERATION OF THE LOW LINE OF ANY STREAM.

RESTORATION

- 1. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE REGRADED AND SEED AS PER CITY OF LORAIN CODIFIED ORDINANCE 1529, OHIO EPA STORMWATER REGULATIONS, AND ODOT ITEM 822.
2. HYDROSEEDING IS REQUIRED FROM MARCH 1ST THROUGH OCTOBER 30TH.
3. PAY LIMITS FOR TOPSOIL AND SEEDING AND MULCHING SHALL EXTEND FOUR (4) FEET BEHIND BACK OF CURB/EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE. ANY RESTORATION OUTSIDE OF THESE LIMITS IS THE RESPONSIBILITY OF THE CONTRACTOR.

SIGNS

- 1. FURNISH AND ERECT SIGNS IN ACCORDANCE WITH ODOT ITEM 630, THE STANDARD CONSTRUCTION DRAWINGS AND THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION, LATEST REVISION.
2. PROPOSED SIGNS SHALL MATCH THE CHARACTERISTICS OF AN EXISTING SIGN IF IT IS TO REMAIN WITHIN THE PROJECT LIMITS UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THIS COORDINATION.

SURVEY

- 1. THE CONTRACTOR SHALL PROTECT ALL SURVEY MONUMENTS AND BENCHMARKS, PER ODOT 623.
2. MONUMENTS SHALL BE LEFT UNDISTURBED UNTIL THE CITY OF LORAIN ENGINEERING DEPARTMENT HAS CHECKED/VERIFIED THE REFERENCES PROVIDED BY THE CONTRACTORS SURVEYOR. IN ALL CASES THE CONTRACTOR SHALL CONTACT THE CITY OF LORAIN ENGINEERING DEPARTMENT AT 440-204-2003 NO LESS THAN 15 (FIFTEEN) WEEKS PRIOR TO THE DISTURBANCE OF ANY EXISTING MONUMENTS.
3. DISTURBED PRIVATE RIGHT-OF-WAY MONUMENTS ON OR OUTSIDE THE PROJECT RIGHT-OF-WAY LIMITS AND NOT ENCLOSED WITHIN A TEMPORARY EASEMENT FOR THE PROJECT SHALL BE RESET OR REPLACED AT THE CONTRACTORS EXPENSE. PRIVATE RIGHT-OF-WAY MONUMENTS WITHIN THE PROJECT RIGHT-OF-WAY/TEMPORARY EASEMENTS WHICH ARE UNAVOIDABLY DISPLACED OR DAMAGED DURING THE CONTRACT WORK SHALL BE RESET OR REPLACED ALL AT THE DETERMINATION/DIRECTION OF THE ENGINEER.

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UTILITIES

- 1. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
OHIO EDISON CO.
NATALIE CAMP
6326 LAKE AVENUE
ELYRIA, OH 44035
PH: 440-244-8330
EMAIL: NCAMP@FIRSTENERGYCORP.COM
CENTURY TELEPHONE
GERONIMO SALES
203 WEST NINTH STREET
LORAIN, OH 44052
PH: 440-244-8330
EMAIL: GERONIMO.SALES@CENTURYLINK.COM
CITY OF LORAIN
DEPARTMENT OF UTILITIES
1106 WEST 1ST STREET
LORAIN, OH 44052
SEWER - ROBERT CULP
PH: 440-204-2500
EMAIL: ROBERT_CULP@CITYOF.LORAIN.OH
WATER DISTRIBUTION - JIM MALICK
PH: 440-204-2285
EMAIL: JIM_MALICK@CITYOF.LORAIN.OH
COLUMBIA GAS CO.
ADAM WOODIE
3101 NORTH RIDGE ROAD, EAST
LORAIN, OH 44055
PH: 440-240-6144
EMAIL: AWOODIE@SOURCE.COM
SPECTRUM
MARTIN VAN KUREN
1801 ELYRIA AVENUE
LORAIN, OH 44052
PHONE: 216-654-0755
EMAIL: MARTY.VANKUREN@CHARTER.COM
OHIO UTILITIES PROTECTION SERVICE
PH: 800-362-2764 (OR 811)
WWW.OUPS.ORG
WOW CABLE
BOB HAMMOND
DIRECTOR, PLANT MAINTENANCE
PH: 440-698-6582
EMAIL: BOB.HAMMOND@WOWINC.COM
EVERSTREAM
ERIC LACOURSE
1229 EUCLID AVE. SUITE 250
CLEVELAND, OH 44115
PH: 440-729-7341
EMAIL: ELACOURSE@EVERSTREAM.NET
2. THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL, OF THE UNDERGROUND UTILITIES SHOWN IN THE CONTRACT DOCUMENTS HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS AS WELL AS FROM THE UTILITY OWNERS AS REQUIRED BY O.R.C. SECTION 153.04. THE CITY OF LORAIN DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES WITH THE PERTINENT UTILITY OWNER PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN PROXIMITY OF UTILITIES.
3. SERVICE LINES ARE NOT SHOWN ON THE DRAWINGS. CONTRACTOR SHOULD ASSUME ALL PROPERTIES HAVE WATER, SEWER, AND GAS SERVICE LINES. FIELD VERIFY THE LOCATION OF ALL SERVICES SHOWN AND NOT SHOWN.
4. WHERE EXISTING POWER OR TELEPHONE POLES ARE IN CLOSE PROXIMITY TO WORK, THE CONTRACTOR SHALL COORDINATE THE WORK EFFORTS WITH THOSE OF THE UTILITY COMPANIES SUCH THAT THEIR EXISTING FACILITIES CAN BE MAINTAINED AND PROTECTED DURING THE TEMPORARY RELOCATION OF EXISTING UTILITY POLES, STREET LIGHTS OR TRAFFIC LIGHTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE PROTECTION AND SUPPORT FOR ALL UTILITY POLES, STREET LIGHTS OR TRAFFIC POLES IN THE WORK AREA INCLUDING UTILITY POLES, STREET LIGHTS AND TRAFFIC POLES NOT SPECIFICALLY SHOWN ON THE PLANS TO REQUIRE TEMPORARY SUPPORT AND PROTECTION. DELAYS TO THE CONTRACTOR AS A RESULT OF THE TEMPORARY RELOCATION, PROTECTION SHALL NOT BE CONSIDERED COMPENSABLE DELAYS AS IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO COORDINATE HIS WORK IN CONFORMANCE TO THE UTILITY COMPANY'S SCHEDULE.
5. IN THE EVENT THAT IT IS NECESSARY, DURING CONSTRUCTION, TO REVISE THE ALIGNMENT OF A PROPOSED PIPE OR LOCATION OF APPURTENANCES DUE TO CONFLICTS WITH EXISTING UTILITIES, THE CONTRACT UNIT PRICE BID FOR THE ITEMS INVOLVED SHALL NOT BE CHANGED EXCEPT IN CASES OF UNUSUALLY LARGE OR EXTENSIVE REVISIONS WHEN IN THE OPINION OF THE ENGINEER, AND INCREASE OR DECREASE IN UNIT PRICE IS JUSTIFIED. ANY CHANGE IN THE UNIT PRICE BID MUST BE MUTUALLY AGREED UPON IN WRITING BEFORE THE WORK IS PERFORMED. OTHERWISE, THE WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE.
6. THE CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST 24 HOURS IN ADVANCE OF INTERRUPTION OF EXISTING WATER OR SEWER SERVICES. EXISTING SERVICES SHALL NOT BE INTERRUPTED FOR MORE THAN 2 HOURS. THE CONTRACTOR WILL BE RESPONSIBLE FOR SHUTTING DOWN ANY EXISTING SERVICES AND FOR NOTIFYING PROPERTY OWNERS OF SERVICE DISRUPTIONS.

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GENERAL CONT'D

- 19. THE CONTRACTOR SHALL NOT ORDER MATERIALS OR PERFORM WORK FOR ITEMS DESIGNATED "AS DIRECTED BY ENGINEER" (ADBE) UNLESS AUTHORIZED BY THE PROJECT ENGINEER. THE ACTUAL WORK LOCATIONS AND QUANTITIES USED FOR SUCH ITEMS SHALL BE DOCUMENTED AND THE CONTRACTOR SHALL BE PAID IN ACCORDANCE WITH THE CONTRACT UNIT PRICE FOR EACH APPLICABLE BID ITEM.
20. STORING CONSTRUCTION EQUIPMENT AND VEHICLES AND/OR STOCKPILING CONSTRUCTION MATERIALS ON PROPERTY, PUBLIC OR PRIVATE, NOT PREVIOUSLY SPECIFIED ON THE PLANS AND BY THE ENGINEER FOR SUCH PURPOSES SHALL BE PROHIBITED WITHOUT AUTHORIZATION BY THE ENGINEER.
21. OPERATIONS ENTAILING THE USE OF VIBRATORY HAMMERS OR COMPACTORS OUTSIDE OF THE HOURS OF 7:00 AM TO 7:00 PM IS PROHIBITED.
22. VIOLATION OF ANY CITY ORDINANCE MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
23. ALL BACKFILL SHALL BE PREMIUM BACKFILL. BACKFILL SHALL BE IN ACCORDANCE WITH THE TRENCH DETAILS SHOWN HEREIN. ALL BACKFILL IN SEWER TRENCHES SHALL BE PLACED IN LAYERS SUFFICIENT TO MEET THE COMPACTION REQUIREMENTS OF 100% MAXIMUM LABORATORY DRY DENSITY PER ASTM D-698 AND THOROUGHLY COMPACTED WITH MACHINE MOUNTED COMPACTION EQUIPMENT. THE PLACING OF BACKFILL MATERIAL SHALL BE CONTINUED UNTIL THE TRENCH IS ENTIRELY FILLED AND COMPACTED TO THE GRADE CALLED FOR ON THE CONTRACT DRAWINGS. COMPACTION TESTING OF THE BACKFILL MAY BE REQUIRED BY THE CITY. THE CONTRACTOR SHALL PAY FOR ALL LABORATORY TESTING COSTS OF BACKFILL MATERIAL. THE COST SHALL BE INCLUDED IN THE UNIT PRICE BID FOR OTHER ITEMS OF WORK. ALL BACKFILL SHALL BE PLACED IN MAXIMUM 12" LIFTS AND COMPACTED.
24. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LANDSCAPED AREAS, PAVEMENT SURFACES, SIDEWALKS AND DRIVEWAYS TO A CONDITION EQUAL TO, OR BETTER THAN THAT WHICH EXISTED PRIOR TO THE START OF WORK AS DECIDED BY ENGINEER. THE CONTRACTOR SHALL PERFORM ALL RESTORATION WITH MATERIALS IDENTICAL TO THE EXISTING SURFACE, INCLUDING, BUT NOT LIMITED TO ASPHALT AND CONCRETE PAVEMENT, ASPHALT, CONCRETE AND BRICK SIDEWALK, INTEGRAL CURB, AND SPECIAL SURFACES (SUCH AS COLORED OR TEXTURED) AS ENCOUNTERED. ALL DAMAGES TO OTHER EXISTING FACILITIES BY CONTRACTOR SHALL BE PAID BY THE EXPENSE OF THE CONTRACTOR.

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ITEM 614 - MAINTAINING TRAFFIC, CONT'D

- 12. THE CONTRACTOR SHALL CONTACT THE FOLLOWING ENTITIES PRIOR TO CHANGING THE CURRENT TRAFFIC CONFIGURATION:
LORAIN CITY SCHOOLS TRANSPORTATION
SHONTEEA FORD
CHARLESTON ADMINISTRATION CENTER
2901 POLE AVE.
LORAIN, OHIO 44052
PH: 440-890-4047
EMAIL: SFORD@LORAIN.USD.ORG
FIRST STUDENT
BRAD SPRAGUE
1800 COLORADO AVE.
LORAIN, OHIO 44052
PH: 440-288-2222 EXT. 222
EMAIL: BRAD.SPRAGUE@FIRSTGROUP.COM
PAMELA NOVAK
226 MIDDLE AVE.
ELYRIA, OHIO 44035
PH: 440-329-5626
EMAIL: PNOVAK@GLORAINCOUNTY.US
UNITED STATES POST OFFICE
CHARLES HIRSCH
3190 COLOADO AVENUE
LORAIN, OH 44052
PH: 440-288-8690
EMAIL: CHARLES.E.HIRSCH@USPS.GOV
REPUBLIC WASTE SERVICES
CHUCK ALLOMONG & TJ ROSE
PH: 440-458-9191
EMAIL: CALLLOMONG@REPUBLICSERVICES.COM
TROSE@REPUBLICSERVICES.COM
LORAIN ENGINEERING DEPARTMENT
DALE VANDERSOMMEN, PE - CITY ENGINEER
200 WEST ERIE AVENUE
LORAIN, OHIO 44052
PH: 440-204-2003
LORAIN CITY FIRE DEPARTMENT
CENTRAL FIRE STATION
1360 BROADWAY AVE.
LORAIN, OHIO 44052
PH: 440-204-2220
LORAIN POLICE DEPARTMENT
JAMES MCCANN, CHIEF
200 WEST ERIE AVENUE
LORAIN, OHIO 44052
PH: 440-204-2103

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UNDERGROUND

- 1. WATER AND SANITARY SERVICES SHALL BE MARKED FOR THEIR LOCATION AT THE RIGHT-OF-WAY WITH A 4x4 TREATED WOOD POST. PLACE POST AT THE END OF THE LINE AND EXTEND VERTICALLY TO 3" MINIMUM ABOVE THE PROPOSED FINISH GRADE. POSTS SHALL BE MARKED FOR EITHER WATER OR SEWER AND SHALL REMAIN IN PLACE UNTIL SUCH TIME THE BUILDING CONNECTIONS ARE MADE.
2. LINGS OF ALL UTILITY PIPING AND STRUCTURES SHALL BE KEPT CLEAN AND FREE OF DEBRIS PRIOR TO AND DURING INSTALLATIONS. THE CONTRACTOR SHALL PROTECT FLOW LINES AND STRUCTURES FROM DEBRIS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL FINAL APPROVAL IS GRANTED BY THE CITY OF LORAIN ENGINEERING DIVISION.
3. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEANWATER CONNECTIONS TO ANY SANITARY SEWER IS PROHIBITED.
4. DOWNSPOUT AND FOOTER DRAINS SHALL OUTLET INTO THE STORM SEWER, PROTRUDE THROUGH THE CURB OR SHALL DAYLIGHT ONTO THE PROPERTY ONTO SPLASH BLOCKS AND SHALL AT NO TIME BE CONNECTED TO THE SANITARY SEWER.
5. BEFORE ANY WORK IS STARTED ON THE PROJECT AND AGAIN BEFORE FINAL ACCEPTANCE BY THE CITY, REPRESENTATIVES OF THE CITY AND THE CONTRACTOR SHALL MAKE AN INSPECTION OF ALL EXISTING SEWERS WHICH ARE TO REMAIN IN SERVICE AND WHICH MAY BE AFFECTED BY THE WORK. THE CONDITION OF THE EXISTING CONDUITS AND THEIR APPURTENANCES SHALL BE DETERMINED FROM FIELD OBSERVATIONS. RECORDS OF THE INSPECTION SHALL BE IN WRITING BY THE CITY.
6. ALL NEW CONDUITS, INLET, CATCH BASINS, AND MANHOLES CONSTRUCTED AS PART OF THE PROJECT SHALL BE FREE OF ALL FOREIGN MATTER AND IN A CLEAN CONDITION BEFORE THE PROJECT WILL BE ACCEPTED BY THE CITY.
7. ALL EXISTING SEWERS INSPECTED INITIALLY BY THE ABOVE MENTIONED PARTIES SHALL BE MAINTAINED AND LEFT IN A CONDITION REASONABLY COMPARABLE TO THAT DETERMINED BY THE ORIGINAL INSPECTION. ANY CHANGE IN THE CONDITION RESULTING FROM THE CONTRACTORS OPERATIONS SHALL BE CORRECTED BY THE CONTRACTOR TO THE SATISFACTION OF THE ENGINEER. PAYMENT FOR ALL OPERATIONS DESCRIBED ABOVE SHALL BE INCLUDED IN THE CONTRACT PRICE FOR THE PERTINENT DRAINAGE/CASTING ITEMS.
8. ALL BACKFILL UNDER OR WITHIN THE ZONE OF INFLUENCE OF ROADS, DRIVES, SIDEWALKS, AND PARKING LOTS SHALL BE GRANULAR BACKFILL PER SPECIFICATIONS.
9. PROVIDE UNOBSTRUCTED OUTLETS FOR ALL EXISTING UNDERDRAINS ENCOUNTERED DURING CONSTRUCTION.
10. REVIEW OF DRAINAGE FACILITIES: BEFORE ANY WORK IS STARTED ON THE PROJECT AND AGAIN BEFORE FINAL ACCEPTANCE BY THE CITY, REPRESENTATIVES OF THE CITY AND THE CONTRACTOR SHALL MAKE AN INSPECTION OF ALL EXISTING SEWERS WHICH ARE TO REMAIN IN SERVICE AND WHICH MAY BE AFFECTED BY THE WORK. THE CONDITION OF THE EXISTING CONDUITS AND THEIR APPURTENANCES SHALL BE DETERMINED FROM FIELD OBSERVATIONS. RECORDS OF THE INSPECTION SHALL BE IN WRITING BY THE CITY. ALL NEW CONDUITS, INLET, CATCH BASINS, AND MANHOLES CONSTRUCTED AS PART OF THE PROJECT SHALL BE FREE OF ALL FOREIGN MATTER AND IN A CLEAN CONDITION BEFORE THE PROJECT WILL BE ACCEPTED BY THE CITY. ALL EXISTING SEWERS INSPECTED INITIALLY BY THE ABOVE MENTIONED PARTIES SHALL BE MAINTAINED AND LEFT IN A CONDITION REASONABLY COMPARABLE TO THAT DETERMINED BY THE ORIGINAL INSPECTION. ANY CHANGE IN THE CONDITION RESULTING FROM THE CONTRACTORS OPERATIONS SHALL BE CORRECTED BY THE CONTRACTOR TO THE SATISFACTION OF THE ENGINEER. PAYMENT FOR ALL OPERATIONS DESCRIBED ABOVE SHALL BE INCLUDED IN THE CONTRACT PRICE FOR THE PERTINENT DRAINAGE/CASTING ITEMS.
11. CROSSINGS AND CONNECTIONS TO EXISTING PIPES AND UTILITIES: WHERE PLANS PROVIDE FOR A PROPOSED CONDUIT TO BE CONNECTED TO, OR CROSS OVER OR UNDER AN EXISTING SEWER OR UNDERGROUND UTILITY, THE CONTRACTOR SHALL LOCATE THE EXISTING PIPES AND UTILITIES BOTH AS TO LINE AND GRADE BEFORE STARTING TO LAY THE PROPOSED CONDUIT. IF IT IS DETERMINED THAT THE ELEVATION OF THE EXISTING CONDUIT OR EXISTING APPURTENANCE TO BE CONNECTED DIFFERS FROM THE PLAN ELEVATION OR RESULTS IN A CHANGE IN THE PLAN CONDUIT SLOPE, THE ENGINEER SHALL BE NOTIFIED BEFORE STARTING CONSTRUCTION OF ANY PORTION OF THE PROPOSED CONDUIT WHICH WILL BE AFFECTED BY THE VARIANCE IN THE EXISTING ELEVATIONS. IF IT IS DETERMINED THAT THE PROPOSED CONDUIT WILL INTERSECT AN EXISTING SEWER OR UNDERGROUND UTILITY IF CONSTRUCTED AS SHOWN ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED BEFORE STARTING CONSTRUCTION OF ANY PORTION OF THE PROPOSED CONDUIT WHICH WOULD BE AFFECTED BY THE INTERFERENCE WITH AN EXISTING FACILITY. PAYMENT FOR ALL THE OPERATIONS DESCRIBED ABOVE SHALL BE INCLUDED IN THE CONTRACT PRICE FOR THE PERTINENT CONDUIT ITEM.
12. THE COST FOR ALL ROCK EXCAVATION IS INCLUDED WITH THE PERTINENT BID ITEMS (PIPE, EXCAVATION FOR STRUCTURE, ETC.) NO SEPARATE PAYMENT WILL BE MADE FOR ANY ROCK EXCAVATION. IF THE CONTRACTOR WANTS ADDITIONAL INFORMATION, THEY SHOULD COORDINATE WITH THE OWNER ANY BORINGS OR TEST PITS THEY INTEND TO COMPLETE.

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E:\Mudcoor - Standards\COL STANDARDS\SHD_CURR\RENT Standard\GN2.1.dwg - GN-2.1 - Feb 07, 2020 - 1:22pm

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F:\Singer\GN-2.5.dwg - GN-2.5 - Feb 04, 2021 - 4:10pm

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PROPOSED GONZALEZ WAREHOUSE SITE IMPROVEMENTS
MISCELLANEOUS DETAILS
DRAWN BY: MSP
CHECKED BY: BDA
RAF JOB NO: 3951-25
SHEET: C5.0
RAFTER A, LTD
LAND SURVEYING • ENGINEERING • TESTING
42653 Oberlin-Elyria Road, Oberlin, Ohio 44074
440-707-4014 • www.raftera.com • info@raftera.com

STORM SEWER

1. **STORM PIPE:** THE MINIMUM SIZE STORM SEWER PIPE SHALL BE 12" DIAMETER. ALL STORM SEWER SHALL BE PLACED PER THE TYPICAL DETAILS. WHERE STORM AND SANITARY SEWERS CROSS, ALIGN JOINTS EQUIDISTANT FROM THE CROSS AND EXTEND PERIMETER, GASKETED JOINTS IN EACH DIRECTION.
2. **STORM PIPE MATERIAL:** 12" AND 15" PIPE SHALL CONFORM TO DODOT 611. MATERIAL SPECS AS FOLLOWS: REINFORCED CONCRETE PIPE (ODOT 700.02, ASTM C14.2, W/ GASKETED JOINTS PER ASTM C301 OR C443, 12" AND LARGER PIPE SHALL CONFORM TO DODOT 611. MATERIAL SPECS AS FOLLOWS: REINFORCED CONCRETE SEWER PIPE (ODOT 700.02, ASTM C76, CLASS 3, 4 OR 5 BASED ON LOADING CONDITIONS, WITH GASKETED JOINTS PER ASTM C301 OR C443, COVER OVER STORM PIPES SHALL BE PER ODOT LAD VOLUME 2 SECTION 1104.2.
3. **MANHOLE PIPE CONNECTIONS:** STORM SEWER PIPE CONNECTIONS TO MANHOLES SHALL BE MADE WITH CLASS C CONCRETE COLLAR SEALS, A MIN. 6" THICK AROUND THE PIPE.
4. **DRIVE PIPE:** RCP UNDER DRIVES AT UNIMPROVED ROADS. MINIMUM 12" DIAMETER PIPE, OR AS APPROVED BY THE CITY ENGINEER. MINIMUM 12" COVER, OR AS APPROVED BY THE CITY ENGINEER.
5. **HEADWALLS:** POURED IN PLACE, REINFORCED CONCRETE OR PRECAST CONCRETE, PER ODOT SCD HW-2.2 OR HW-1.1 AND ODOT CONSTRUCTION AND MATERIAL SPECIFICATIONS, ITEM 602.
6. **ROCK CHANNEL PROTECTION:** TYPE A, B, OR C ROCK OR STONE, WITH FILTER FABRIC, PER ODOT CONSTRUCTION & MATERIAL SPECS ITEM 607 OF THE SIZE, THICKNESS AND LENGTH AS SPECIFIED IN FIGURE 1101.1 ROCK CHANNEL PROTECTION AT CULVERT AND STORM SEWER OUTLETS. ODOT LOCATION AND DESIGN MANUAL VOL. 2 - DRAINAGE DESIGN. ROCK CHANNEL PROTECTION SHALL BE INSTALLED IMMEDIATELY AFTER THE INSTALLATION OF THE PERTINENT STORM STRUCTURE OR HEADWALL.
7. **ITEM 611 - PIPE CULVERTS, SEWERS, DRAINS, AND DRAINAGE STRUCTURES:** THE FOLLOWING SECTIONS SHALL BE EXCLUDED:
 611.04.B - INSTALLATION PLAN
 611.04.C - CONSTRUCTION INSPECTION FORMS
 611.04.D - PERFORMANCE REPORT
 611.12 - PERFORMANCE INSPECTION
 611.13 - CONDUIT EVALUATION
 611.14 - DRAINAGE STRUCTURE EVALUATION
8. REFER TO GN 2.1 - GENERAL NOTE #25 FOR ADDITIONAL BACKFILL GUIDANCE.

NOTE:
LIFT HOLES IN REINFORCED CONCRETE PIPE SHALL BE PLUGGED WITH CEMENT/CONCRETE PLUGS PRIOR TO BACKFILL.

NO.	DATE	REVISION	NO.	DATE	REVISION
1	10/07/2019				
7	01/01/2018				
10	06/09/2019	NO. 2 CHANGED			

A. CONSTRUCTION:

1. MANHOLES SHALL BE IN ACCORDANCE WITH ODOT SCD MH-1.1, MH-1.2, MH-1.3 OR MH-3.1 AND SHALL BE INCLUDED FOR PAVEMENT WITH ITEM 611.
2. ALL NEW MANHOLES SHALL BE 48" MINIMUM INSIDE DIAMETER, PRE-CAST CONCRETE CONFORMING TO ASTM C476. PRE-CAST BASES SHALL BE 6" MINIMUM.
3. NEW MANHOLES PLACED OVER EXISTING SEWER LINES, REFERRED TO AS DOGHOUSE MANHOLES, SHALL HAVE CAST-IN-PLACE CONCRETE BASES WITH REINFORCEMENT, REBAR 4#X12" @ 18" ON CENTER. BASES SHALL BE CLASS C-1 CONCRETE WITH A MINIMUM THICKNESS OF 10".
4. MANHOLES WITH PRE-CAST CONCRETE BASES SHALL BE PLACED ON A COMPACTED GRAVEL BED OF NO. 57 AGGREGATE, HAVING A MINIMUM THICKNESS OF 3".
5. RUBBER O-RING GASKETS SHALL BE USED BETWEEN PRE-CAST MANHOLE SECTIONS, MEETING ASTM C443. APPLY MASTIC TAR STRIP BETWEEN SECTIONS.
6. THE CENTERLINE OF THE MANHOLE SHALL BE LOCATED OVER THE CENTERLINE OF THE MAIN SEWER, WHENEVER POSSIBLE.
7. MANHOLE STEPS MAY BE REINFORCED POLYPROPYLENE PLASTIC, 16" O.C. MAXIMUM AND IN PROPER ALIGNMENT.
8. THE FRAMES SHALL BE SET EVEN AND FLUSH WITH THE INTERIOR WALLS OF THE MANHOLE.
9. GRADE ADJUSTMENT RINGS SHALL BE PRE-CAST CONCRETE ONLY AND CONFORMING TO ASTM C476 GRADE RINGS. A MAXIMUM 12" OF ADJUSTMENT RINGS MAY BE USED FOR CONCRETE STRUCTURES. ONLY MASONRY CLAY SOLID BRICK (ASTM C-32, GRADE S. S.) SHALL BE USED FOR EXISTING STRUCTURE ADJUSTMENTS.

- B. CASTINGS:**
1. APPROVED MANHOLE FRAMES AND LIDS ARE EAST JORDAN #17.15 OR EQUAL, 17.10Z MAY BE SUBSTITUTED, OR NEENAH R-1782.
 2. FRAMES SHALL BE SET LEVEL, EXCEPT SET TO GRADE WHEN WITHIN THE PAVEMENT. LIDS SHALL BE FITTED AND FINISHED TO PROVIDE A FIRM AND EVEN SEAT IN THE FRAME.
 3. FRAMES AND LIDS SHALL BE FITTED, MATCHED AND MARKED PRIOR TO DELIVERY TO THE PROJECT.
 4. THE FRAME SHALL BE SET ON A MASTIC STRIP AROUND ITS PERIMETER AND MORTARED TO THE SEAT OF THE CONCRETE STRUCTURE.
 5. ANY SUBSTITUTIONS OF EQUAL QUALITY AND DIMENSIONS SHALL FIRST BE APPROVED BY THE CITY ENGINEER PRIOR TO PROCUREMENT.
 6. ALL LIDS SHALL BE CAST WITH THE WORDS "STORM", USE CITY OF LORAIN MANHOLE COVERS.
 7. ALL CASTINGS AND LIDS SHALL MEET OR EXCEED ODOT H20 LOADING AND ASHTO M306 REQUIREMENTS.

C. PAYMENT: 1. PAYMENT SHALL BE FOR THE MANHOLE COMPLETE IN PLACE, EXCAVATION AND BACKFILL INCLUDED.

NO.	DATE	REVISION	NO.	DATE	REVISION
1	01/01/2019				
11	02/16/2020	CASTINGS NO. 1 & 6 REV.			
11	02/16/2020	CAST. OLD NO. 7 REM.			

A. CONSTRUCTION:

1. CATCH BASINS SHALL BE IN ACCORDANCE WITH ODOT SCD CB-2-2A, CB-2-2B, OR CB-2-2C.
2. INLETS AND CATCH BASINS MAY BE CAST-IN-PLACE OR PRE-CAST CONCRETE. CAST-IN-PLACE CONCRETE SHALL BE CLASS C-1. REINFORCED PRE-CAST CONCRETE SHALL BE AS SPECIFIED.
3. MINIMUM WALL THICKNESS OF CAST-IN-PLACE INLETS AND BASINS SHALL BE 6". MINIMUM WALL THICKNESS OF PRE-CAST INLETS AND BASINS SHALL BE 6".
4. MINIMUM THICKNESS FOR BASES OF INLETS AND BASINS SHALL BE 6", CAST-IN-PLACE AND PRE-CAST.
5. CATCH BASINS & INLETS WITH PRE-CAST CONCRETE BASES SHALL BE PLACED ON A COMPACTED GRAVEL BED OF NO. 57 AGGREGATE, HAVING A MINIMUM THICKNESS OF 3".
6. CONCRETE BLOCK IS NOT PERMITTED MATERIAL FOR THE CONSTRUCTION OR MODIFICATION OF INLETS AND CATCH BASINS; ONLY MASONRY CLAY SOLID BRICK (ASTM C-32, GRADE S. S.) SHALL BE USED.
7. FRAMES SHALL BE SET EVEN AND FLUSH WITH THE INTERIOR WALLS OF THE INLETS AND BASINS.
8. DOUBLE INLETS SHALL BE LOCATED AT ALL SAG VERTICAL CURVES. UNDERDRAINS SHALL DRAIN TO THE SIDES. SOLID PIPE SHALL BE PROVIDED A MINIMUM OF 10" FROM THE WALLS, OR AS DIRECTED BY THE CITY ENGINEER.
9. INVERTS SHALL BE FORMED IN ALL INLET AND BASIN STRUCTURES TO PROVIDE POSITIVE FLOW.
10. ALL PIPING THROUGH CATCH BASIN WALLS SHALL BE SEALED WITH A CLASS C-1 CONCRETE COLLAR A MIN. OF 6" THICK.

B. CASTINGS: 1. APPROVED FRAMES/GRATES FOR BASINS AND INLETS ARE SHOWN BELOW:

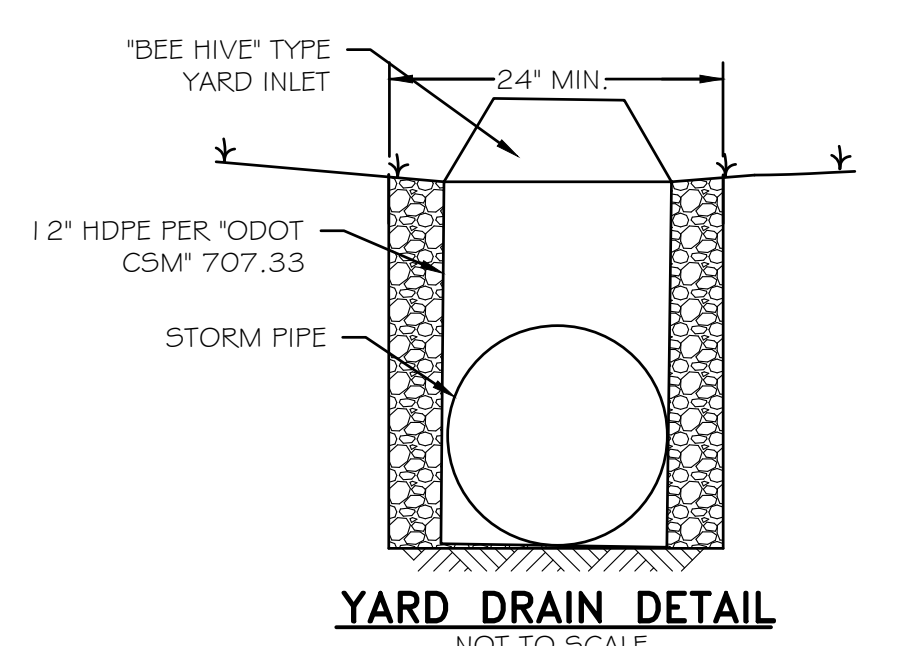
STRUCTURE TYPE	NEENAH		EJ		MARK
	FRAME	GRATE	FRAME	GRATE	
SINGLE CURB INLET (MOD. NO. 3A CB)	R-3248-CL	C	7035	M2	T1-BARRIER CURB T2-SOLID CURB OR DRIVE APRON
DOUBLE CURB INLET (MOD. NO. 3 CB)			7036	M2	T1-BARRIER CURB T2-SOLID CURB OR DRIVE APRON
SINGLE CURB INLET (x-9X23")	R-3030	A	7010 7009	M1 M2	T1-BARRIER CURB T4-CURB

NOTE: 7010 ALTERNATE IS 7009. M1 IS T1-BARRIER

2. ALL GRATES WITHIN THE PAVEMENT SHALL BE BICYCLE-SAFE AND SET CORRECTLY WITH THE DIRECTION OF WATER FLOW.
3. THE FRAME AND GRATE SHALL BE FITTED AND FINISHED TO PROVIDE A FIRM AND EVEN SEAT IN THE FRAME.
4. BASINS AND INLETS SHALL BE PLACED TRUE TO LINE AND GRADE, PER PLAN.
5. THE FRAMES AND GRATES SHALL BE FITTED, MATCHED AND MARKED PRIOR TO DELIVERY TO THE PROJECT.
6. ANY SUBSTITUTIONS OF EQUAL QUALITY AND DIMENSIONS SHALL FIRST BE APPROVED BY THE CITY ENGINEER PRIOR TO PROCUREMENT.
7. ALL FRAMES AND GRATES SHALL MEET OR EXCEED ASHTO M306.
8. ALL CASTINGS SHALL HAVE THE WORDS "DUMP NO WASTE" AND "DRAINS TO WATERWAY" ALONG WITH A FISH LOGO CAST INTO THE GRATE AND/OR CURB BOX.

C. PAYMENT: 1. THE PAVEMENT BLOCK OUT SHALL BE PLACED AFTER THE CASTING HAS BEEN SET, BUT WILL BE PAID FOR AS THOUGH PART OF THE CONCRETE PAVEMENT.
2. NO DEDUCTION SHALL BE MADE IN QUANTITIES OF PAVEMENT BECAUSE OF THE CASTING.

NO.	DATE	REVISION	NO.	DATE	REVISION
1	01/01/2019				
11	02/07/2020	CONSTR. NO. 6 REV.			
11	02/07/2020	CASTINGS CHART REV.			
11	02/07/2020	CASTINGS NO. 7 REV.			
11	02/07/2020	CONSTR. NO. 1 REV.			



City of Lorain
200 West Erie Avenue, Lorain, Ohio 44052
Phone: (440) 294-2003

**STANDARD DESIGNS
STORM SEWER
GENERAL NOTES**

ST-1.0

City of Lorain
200 West Erie Avenue, Lorain, Ohio 44052
Phone: (440) 294-2003

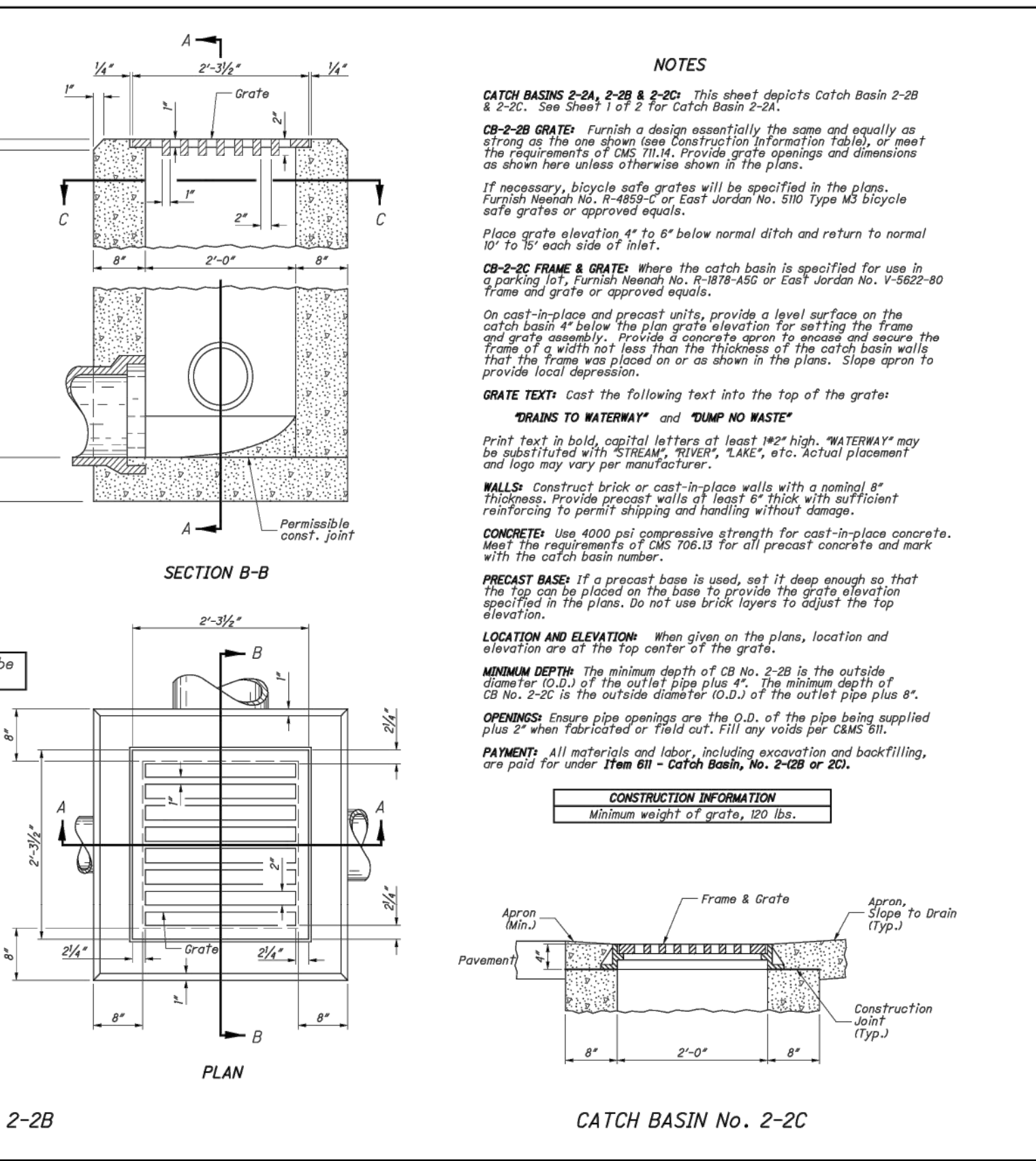
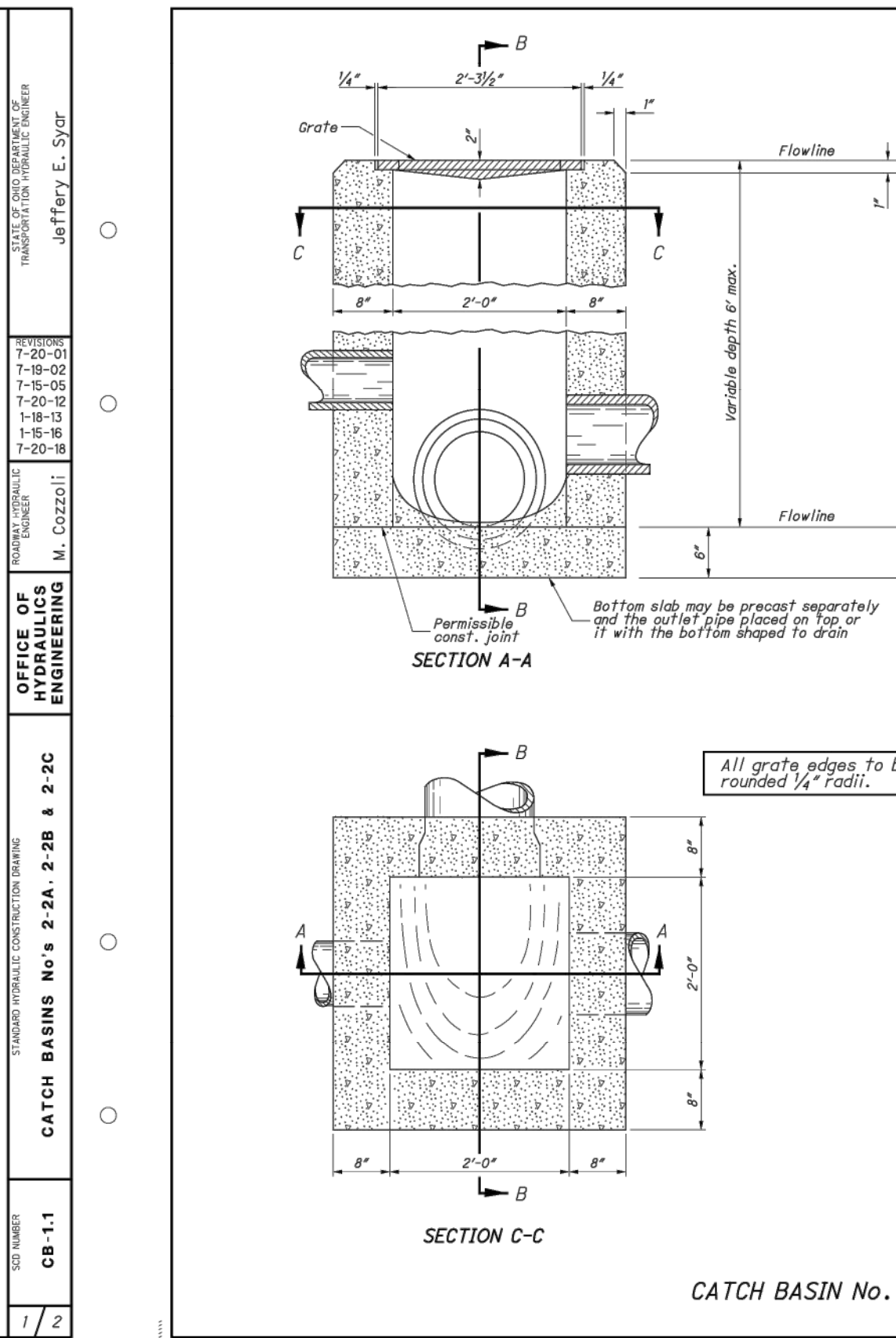
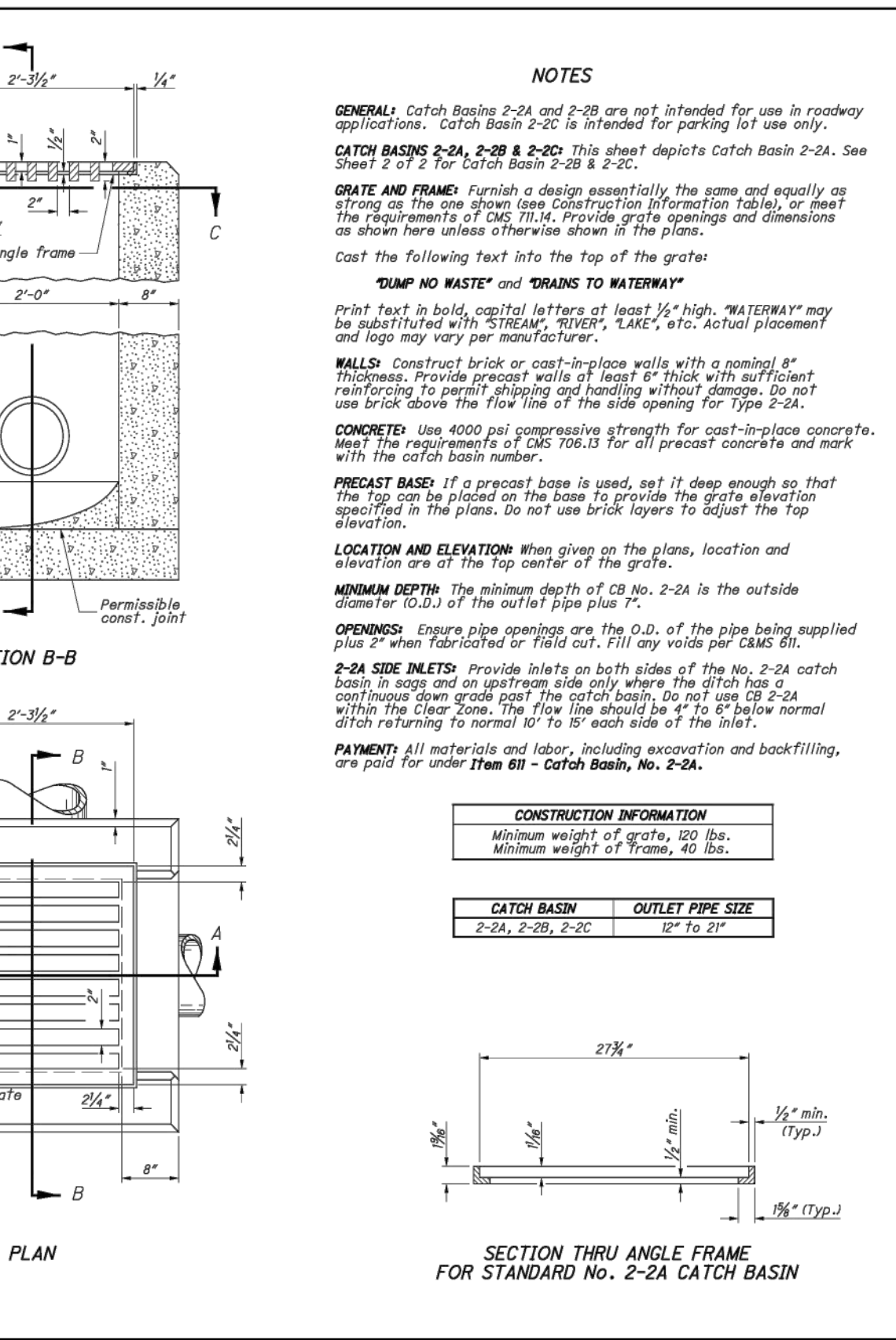
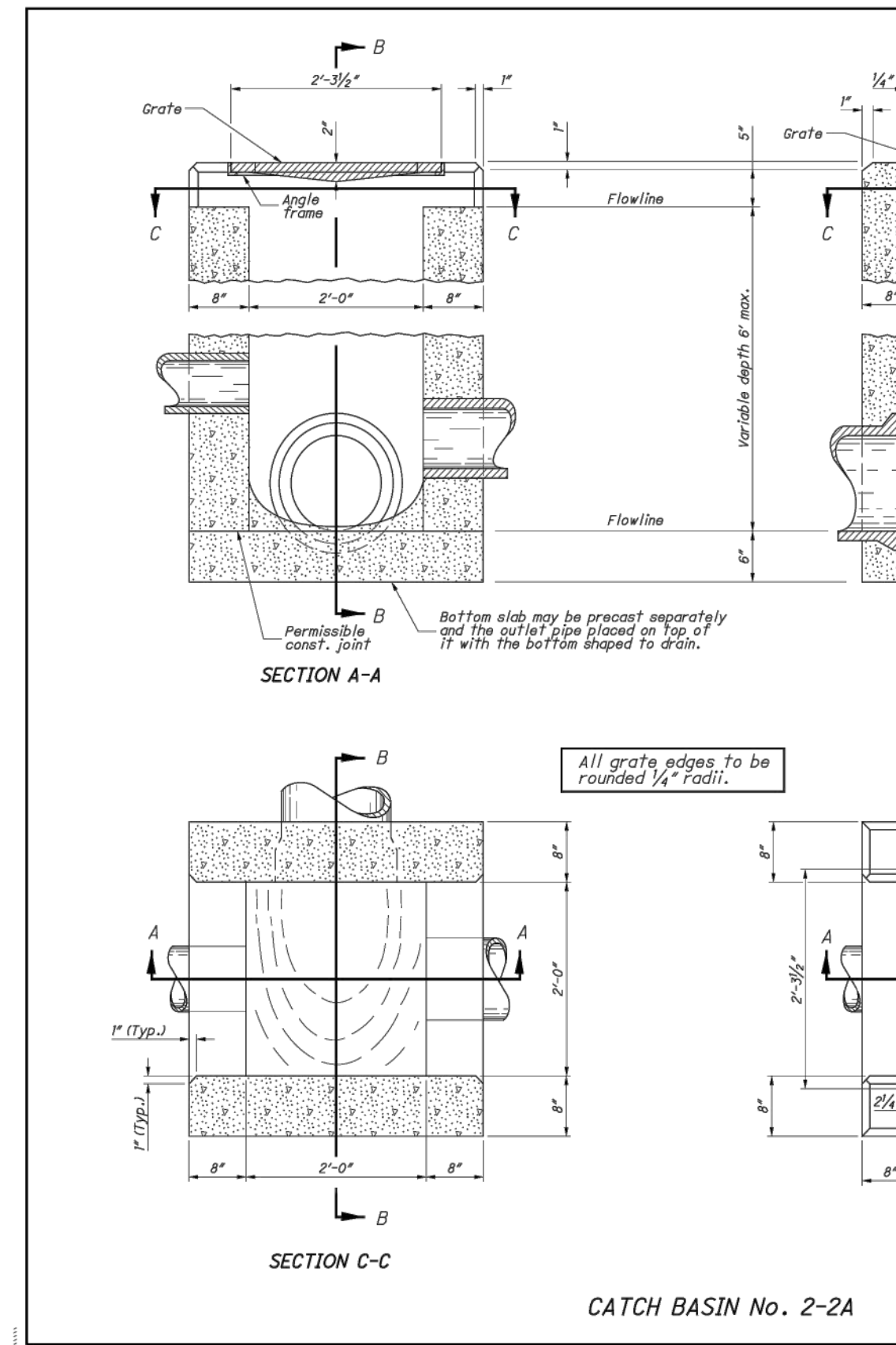
**STANDARD DESIGNS
STORM SEWER
GENERAL NOTES-MANHOLES**

ST-2.0

City of Lorain
200 West Erie Avenue, Lorain, Ohio 44052
Phone: (440) 294-2003

**STANDARD DESIGNS
STORM SEWER
GENERAL NOTES-CATCH BASINS & INLETS**

ST-3.0



REV.	BY	DATE	DESCRIPTION
1	MSP	12/29/2025	ISSUE PRELIMINARY PLANS TO CLIENT

RAFTER A, LTD
LAND SURVEYING • ENGINEERING • TESTING
42653 Oberlin-Elyria Road, Oberlin, Ohio 44074
440-707-4014 • www.raftera.com • info@raftera.com

ROBERT GONZALEZ
1430 MEISTER ROAD
LORAIN, OHIO 44053
PH: 440-320-2247

PROPOSED GONZALEZ WAREHOUSE
SITE IMPROVEMENTS

MISCELLANEOUS DETAILS
2767 WEST 21ST STREET
LORAIN, OHIO 44053

SEWER MAINS (PIPE AND FITTINGS)
 8" MINIMUM SDR27 PVC, ASTM D2684; JOINTS ASTM D3212. 8" MINIMUM DUCTILE IRON PIPE, CLASS 52, AWWA C151. CEMENT LINED, AWWA C104. AIR TEST REQUIRED ON ALL MAINS AND LATERALS. A 5% DEFLECTION TEST WITH AN APPROVED MANDREL SHALL BE MADE AFTER 30 DAYS.
 MINIMUM REQUIRED SLOPE SHALL NOT BE LESS THAN 0.40% FOR 8" PIPE OR FULL FLOW VELOCITY OF 2 FPS FOR LARGER PIPES.

LATERALS:
 6" MINIMUM PVC. SAME SPECIFICATIONS AS FOR MAIN PIPE.
 WYE OR TEE TYPE FITTINGS AT MAIN PIPE FOR NEW SEWER MAIN INSTALLATIONS AND KOR-N-TEE MEETING ASTM C923, FOR EXISTING SEWER MAIN INSTALLATIONS SEE SS-5.0 AND SS-5.1.
 FERNOCO 5000 SERIES STRONG BACK COUPLINGS ARE APPROVED FOR BUILDING SEWER CONNECTIONS. A NEOPRENE O-RING (DOUGHNUT) MAY BE USED AS AN ALTERNATIVE, WITH THE 4" PIPE INSIDE THE 6" PIPE A MINIMUM OF 10".
 GLUED JOINTS UNDERGROUND ARE PROHIBITED.
 90° BENDS ARE NOT PERMITTED. USE TWO 45° FITTINGS WITH A MINIMUM 24" STRAIGHT PIPE IN BETWEEN FITTINGS.
 6" CLEAN-OUT, OF SAME MATERIAL, IS REQUIRED EVERY 100' MAXIMUM.
 1.00% MINIMUM SLOPE, OR AS APPROVED BY THE CITY ENGINEER.
 INSTALL CLEANOUT ON EACH LATERAL, SEE SS-6.0 OR SS-7.0.

MANHOLE PIPE CONNECTORS
 PVC PLASTIC PIPE CONNECTORS TO MANHOLES SHALL BE RUBBER SLEEVES W/ STAINLESS STEEL BANDING, CAST-IN RUBBER COMPRESSION GASKETS, OR FIELD INSTALLED RUBBER COMPRESSION GASKETS W/ GROUT COLLAR MEETING ASTM C923.

PRESSURE PIPE:
 PVC PLASTIC, ASTM D2241, SDR21.
 RUBBER GASKETED JOINTS, ASTM D3139.
 HYDROSTATIC LEAKAGE TEST REQUIRED ON ALL FORCE MAINS.

FITTINGS:
 DUCTILE IRON, CEMENT LINED, FULL BODY OR COMPACT, MECHANICAL JOINT, AWWA C110 OR C153, AWWA C111 JOINTS WITH 316 STAINLESS STEEL BOLTS. ALL FITTINGS SHALL BE POLYETHYLENE ENCASED, AWWA C105.

THRUST RESTRAINT:
 EBAA IRON SERIES 1600 FOR PIPE JOINTS AND EBAA IRON SERIES 2000 PV FOR MECH. JOINTS. (STAINLESS STEEL BOLTS)

TRACER TAPE:
 TERREX INDUSTRIES, INC. TERREX TAPE SENTRY LINE 1350, 3" WIDE, GREEN METALIZED FOIL TAPE IMPRINTED W/ BLACK LETTERING *CAUTION BURIED SEWER LINE*

TRACER WIRE:
 COPPERHEAD STEEL CORE COPPER CLAD STRIPE #8 AWG WITH 30 MIL. HIGH DENSITY POLYETHYLENE COATING. GREEN IN COLOR WITH APPROVED MOISTURE TIGHT SPUNCE KITS.

CROSS CONNECTIONS PROHIBITED
 ROOF DRAINS, FOUNDATION DRAINS, DRIVEWAY DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE PROPOSED SANITARY SEWER ARE PROHIBITED.

GRAVITY SANITARY SEWER

SANITARY FORCE MAIN

NOTE 1: THIS DETAIL IS VALID ONLY WHEN USED AS PRESENTED HERE, WITHOUT CHANGES, AND IN CONJUNCTION WITH ANY GENERAL NOTES AND/OR OTHER DETAILS WHICH MAY APPLY. ANY CHANGES TO THIS DETAIL SHALL FIRST BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER.
 NOTE 2: BEFORE ANY EXCAVATING, CALL THE FOLLOWING NUMBERS AT LEAST 48 HOURS IN ADVANCE: C.U.P.S. @ (603) 362-2764.

City of Lorain
 200 West Erie Avenue Lorain, Ohio 44052
 Phone: (440) 204-2003

STANDARD DESIGNS
 SANITARY SEWER
 GENERAL NOTES-CONSTRUCTION

SS-1.0

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City of Lorain
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STANDARD DESIGNS
 SANITARY SEWER
 TEST TEE DETAIL - IN GRASS

SS-6.1

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 NOTE 2: BEFORE ANY EXCAVATING, CALL THE FOLLOWING NUMBERS AT LEAST 48 HOURS IN ADVANCE: C.U.P.S. @ (603) 362-2764 AND G.P.U.P.S. @ (603) 925-6888.

City of Lorain
 200 West Erie Avenue Lorain, Ohio 44052
 Phone: (440) 204-2003

STANDARD DESIGNS
 MISCELLANEOUS
 ROADWAY TRENCH DETAIL

MS-1.0

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City of Lorain
 200 West Erie Avenue Lorain, Ohio 44052
 Phone: (440) 204-2003

STANDARD DESIGNS
 SANITARY SEWER
 CLEANOUT DETAIL - IN GRASS

SS-6.0

NOTE 1: THIS DETAIL IS VALID ONLY WHEN USED AS PRESENTED HERE, WITHOUT CHANGES, AND IN CONJUNCTION WITH ANY GENERAL NOTES AND/OR OTHER DETAILS WHICH MAY APPLY. ANY CHANGES TO THIS DETAIL SHALL FIRST BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER.
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City of Lorain
 200 West Erie Avenue Lorain, Ohio 44052
 Phone: (440) 204-2003

STANDARD DESIGNS
 SANITARY SEWER
 CLEANOUT DETAIL - IN PAVEMENT

SS-7.0

NOTE 1: THIS DETAIL IS VALID ONLY WHEN USED AS PRESENTED HERE, WITHOUT CHANGES, AND IN CONJUNCTION WITH ANY GENERAL NOTES AND/OR OTHER DETAILS WHICH MAY APPLY. ANY CHANGES TO THIS DETAIL SHALL FIRST BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER.
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City of Lorain
 200 West Erie Avenue Lorain, Ohio 44052
 Phone: (440) 204-2003

STANDARD DESIGNS
 MISCELLANEOUS
 SERVICE LINE TRENCH DETAIL

MS-1.1

C:\Users\mga\AppData\Local\Temp\APL\..._1237855-1.0.dwg - SS-1.0 - Feb 04, 2021 - 1:13pm

F:\Singh\SS-6.0.dwg - SS-6.0 - Feb 04, 2021 - 2:15pm

E:\Aucord - Blocks - Standard\COL_STANDARDS\SS-6.1.dwg - SS-6.1 - Jul 05, 2020 - 2:28pm

F:\Singh\SS-7.0.dwg - SS-7.0 - Feb 04, 2021 - 2:34pm

E:\Aucord - Blocks - Standard\COL_STANDARDS\MS-1.0.dwg - MS-1.0 - Dec 28, 2016 - 1:58pm

E:\Aucord - Blocks - Standard\COL_STANDARDS\MS-1.1.dwg - MS-1.1 - Jun 23, 2020 - 3:40pm

REV.	BY	DATE	DESCRIPTION
1	MSP	12/29/2025	ISSUE PRELIMINARY PLANS TO CLIENT

RAFTER A, LTD
 LAND SURVEYING • ENGINEERING • TESTING
 42653 Oberlin-Elyria Road, Oberlin, Ohio 44074
 440-707-4014 • www.raftera.com • info@raftera.com

ROBERT GONZALEZ
 1430 MEISTER ROAD
 LORAIN, OHIO 44053
 PH: 440-320-2247

**PROPOSED GONZALEZ WAREHOUSE
 SITE IMPROVEMENTS**

MISCELLANEOUS DETAILS
 2767 WEST 21ST STREET
 LORAIN, OHIO 44053

DRAWN BY: MSP
 CHECKED BY: BDA
 RAF JOB NO: 3951-25

SHEET: **C5.2**

GENERAL - MATERIAL NOTE: ALL MATERIALS SHALL BE "LEAD FREE" PER SAFE DRINKING WATER ACT.

- MAIN LINES: PVC PLASTIC, AWWA C900, PRESSURE CLASS 255, RUBBER GASKETED JOINTS, AWWA C111, 6" MINIMUM DIAMETER FOR DISTRIBUTION LINE.
- FITTINGS: DUCTILE IRON, GEMENT LINED, FULL OR COMPACT BODY, MECHANICAL JOINT, AWWA C110 OR C153 WITH 316 STAINLESS STEEL BOLTS. ALL FITTINGS SHALL BE POLYETHYLENE ANCHORED, AWWA C105.
- THURST RESTRAINT: MECH. JOINTS W/ EBAA IRON SERIES 19M4 AND PIPE JOINTS WITH EBAA IRON SERIES 1900 RESTRAINTS (STAINLESS STEEL BOX TS).
- TAPPING SLEEVES: SHALL BE SMITH BLAIR STYLE 665 (STAINLESS STEEL) OR MUELLER H-304L (STAINLESS STEEL WITH STAINLESS STEEL FLANGE AND M4 OUTLET FOR STANDARD GATE VALVE). ALL TAPS SHALL BE MADE BY THE CONTRACTOR UNDER THE SUPERVISION OF AUTHORIZED CITY PERSONNEL, AND IN ACCORDANCE WITH CITY STANDARDS.
- BACKFILL: 4" 6" MINIMUM COVER ON MAIN LINE. REFER TO GN 2.1 - GENERAL NOTE #25 FOR ADDITIONAL BACKFILL GUIDANCE.
- MAIN LINE VALVES: MUELLER A-2960 WITH 316 STAINLESS STEEL FASTENERS, OPEN LEFT, RESILIENT WEDGE, MECHANICAL JOINT. MAIN LINE OFFSETS LOCATED AT 7' OR GREATER DEPTH SHALL HAVE VALVES LOCATED ON EITHER SIDE OF OFFSET. VALVE EXTENSIONS SHALL BE UTILIZED SO THAT VALVE KEY REQUIRED FOR O&M IS MAXIMUM 5'. ALSO, NO TAPS MAY BE MADE BETWEEN VALVES ON AN OFFSET.
- INSERTION VALVES: TEAM INSERT VALVE WITH STAINLESS STEEL FASTENERS. ONE CUBIC YARD OF ODOT 613 LOW STRENGTH MORTAR SHALL BE INSTALLED AROUND THE INSERTION VALVE PRIOR TO CLOSING THE VALVE. INSERTION VALVES SHALL NOT BE INSTALLED WITHIN 6 FEET OF AN EXISTING JOINT.
- TEMPORARY LINESTOPS: DUCTILE IRON OR STAINLESS STEEL TAPPING SLEEVES WITH STAINLESS STEEL FASTENERS WITH SHUT OFF WEDGE VALVE BY HYDROSTOP, EZ VALVE OR APPROVED EQUAL. ONE CUBIC YARD OF ODOT 613 LOW STRENGTH MORTAR SHALL BE INSTALLED AROUND THE LINE STOP PRIOR TO CLOSING THE VALVE. LINESTOPS SHALL NOT BE INSTALLED WITHIN 6 FEET OF AN EXISTING JOINT.
- VALVE BOX: EAST JORDAN IRON WORKS 8660 SERIES THREE PIECE WITH DROP LID.
- HYDRANTS: MUELLER SUPER CENTURION 250, A-423, 5" 0" BURY, TWO 2-1/2" NST HOSE OUTLETS AND ONE 5" STORZ OUTLET, OPEN LEFT, WITH 316 STAINLESS STEEL BOLTS. HYDRANTS SHALL BE PAINTED RED BARRELS AND WHITE DOMES.
- COPPER SERVICE: TYPE K COPPER, 1" MINIMUM.
- HIGH DENSITY POLYETHYLENE SERVICE: POLYFLEX TUBING (CTS) WITH 200 WITH PSI RATING AND CONFORMING TO ASTM D2757, AWWA C907 AND NSF STANDARDS 14 AND 61. STAINLESS STEEL SLEEVES SHALL BE USED AT EACH CONNECTION POINT. TRACER WIRE SHALL BE INSTALLED CHECK CONDUCTIVITY, 2" MINIMUM.
- CURB STOP: MUELLER H-15294 1" MINIMUM FOR COPPER OR MUELLER H-15209 2" MINIMUM FOR HDPE, OR EQUIVALENT MODEL APPROVED BY ENGINEER.
- CURB BOX: MUELLER H-10334 CURB BOX, 60", 88378 LID, BRASS MACHINE THREADS. MUELLER H-10336 CURB BOX FOR 1-1/2" AND 2" SERVICES, OR EQUIVALENT MODEL APPROVED BY ENGINEER.
- CORPORATION STOP: MUELLER B-1500 WITH AWWA TAPER INLET THREADS, 1" MINIMUM, OR EQUIVALENT MODEL APPROVED BY ENGINEER.
- COUPLING: MUELLER H-15400 UNION, STRAIGHT THREE PART, FOR COPPER OR MUELLER H-15403 FOR HDPE, SMITH-BLAIR, INC. 400 SERIES BETWEEN NEW COPPER AND EXISTING GALVANIZED WATER SERVICE.
- BRASS PLUGS: MUELLER H-10033 1" BRASS PLUGS, WHEN NECESSARY.
- SERVICE SADDLE: MUELLER BR-2-B SERIES WITH AWWA TAPER OUTLET THREADS.
- TRACER TAPE: NYLON REINFORCED METALIZED FOL CORE LAMINATED BETWEEN TWO LAYERS OF WERT PLASTIC FILM 3" WIDE BY 6 MILS. THICK WITH WARNING MESSAGE "CAUTION WATERLINE BURIED BELOW" REPEATED EVERY 30". REF. INDUSTRIES TERRA TAPE SENTRY LINE 1300 OR APPROVED EQUAL.
- TRACER WIRE: COPPER/AD STEEL CORE COPPER/AD REINFORCED #12 AWG WITH 30 MIL. HIGH DENSITY POLYETHYLENE COATING. BLUE IN COLOR WITH APPROVED MOISTURE TIGHT SPLICE KITS.

NOTE 1: THIS DETAIL IS VALID ONLY WHEN USED AS PRESENTED HERE, WITHOUT CHANGES, AND IN CONFORMANCE WITH ANY GENERAL NOTES AND/OR OTHER DETAILS WHICH MAY APPLY. ANY CHANGES TO THIS DETAIL SHALL FIRST BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER.

NOTE 2: BEFORE ANY EXCAVATING, CALL THE FOLLOWING NUMBERS AT LEAST 48 HOURS IN ADVANCE: C.U.P.S. @ (800) 362-2794.

City of Lorain
200 West Erie Avenue, Lorain, Ohio 44052
Phone: (440) 204-2003

STANDARD DESIGNS WATERLINE GENERAL NOTES

WT-N01.dwg
DATE: 04/25/2023
SCALE: NONE

GENERAL

- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE EXISTING MAIN AND SERVICE CONNECTIONS DURING CONSTRUCTION. ANY BREAKS IN THE MAIN OR CONNECTIONS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE PROJECT DURING THE ENTIRE TIME THE EXISTING MAIN IS IN SERVICE.
- THE LOCATION AND ELEVATION OF EXISTING SANITARY AND STORM SEWER TAPS ARE UNKNOWN. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS TO PROVIDE EIGHTEEN (18) INCHES OF VERTICAL CLEARANCE FOR PERPENDICULAR SANITARY SEWER CONNECTIONS AND TWELVE (12) INCHES OF CLEARANCE FOR STORM SEWER CONNECTIONS.
- WATER LINES SHALL BE INSTALLED WITH A MINIMUM COVER OF 4'-6" FEET BELOW EXISTING GRADE OR 4'-6" FEET BELOW LEVEL OF EDGE OF ADJACENT PAVEMENT WHICHEVER RESULTS IN THE LOWER ELEVATION.
- A MINIMUM OF 35 PSI SHALL BE MAINTAINED TO THE CURB STOPS DURING NORMAL OPERATING CONDITIONS.
- BOOSTER PUMPS ARE NOT PERMITTED ON SERVICE CONNECTIONS.
- THE CONTRACTOR SHALL PERFORM PRESSURE TEST, CHLORINATION OF LINE, CHLORINATION TESTS, AND DISINFECTION TESTS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY TEMPORARY CONNECTIONS FOR THE REQUIRED TESTING. THE CONTRACTOR SHALL PROVIDE TEMPORARY CAPS OR PLUGS ON THE PROPOSED WATERLINE AS NECESSARY FOR TESTING. PRESSURE TESTS SHALL BE UNDER THE SUPERVISION OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO OPEN AND CLOSE WATER VALVES.
- FIRE HYDRANTS THAT ARE LOCATED WITHIN 10 FEET OF A STORM OR SANITARY SEWER SHALL HAVE THE HYDRANT DRAINS PLUGGED.
- WATERLINE PIPE AND FITTING JOINTS SHALL BE RESTRAINED IN ACCORDANCE WITH THE RESTRAINED JOINT TABLE.
- PRIOR TO FINAL WALK-THROUGH, THE CONTRACTOR SHALL VERIFY THAT ALL GATE VALVES AND CURB STOPS ARE OPERABLE AND IN THE CORRECT OPEN OR CLOSED POSITION BY PHYSICALLY CHECKING ALL VALVES IN THE PRESENCE OF THE ENGINEER'S REPRESENTATIVE WITH A VALVE WRENCH.
- ALL WATERLINES TO BE ABANDONED IN PLACE SHALL BE PLUGGED AND FILLED.
- WATERLINES SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18 INCHES AND 10 FEET HORIZONTAL SEPARATION FROM ANY SANITARY SEWER OR STORM SEWER.
- THE CONTRACTOR SHALL REMOVE ALL ABANDONED CASTINGS FOR MANHOLES, METERS AND VALVES TO A MINIMUM OF ONE (1) FOOT BELOW GRADE AND FILL THE STRUCTURE WITH COMPACTED SAND OR LOW STRENGTH MORTAR (LSM). IF THE CASTING IS IN A PAVED AREA THE PAVEMENT SHALL BE REMOVED 4" BEYOND THE CASTING AND REPLACED ACCORDING TO THE PAVEMENT REPLACEMENT STANDARD DETAILS.
- THE CONTRACTOR SHALL REMOVE EXISTING HYDRANT AND HYDRANT VALVE ASSEMBLIES IN ONE PIECE, PALLETIZE AND DELIVER TO THE CITY'S WATER DISTRIBUTION STORAGE AREA FOR DISASSEMBLY BY CITY WORKERS. AFTER THE HYDRANT ASSEMBLY IS REMOVED THE REMAINING LINE TO THE MAIN SHALL BE PLUGGED.
- CONTRACTOR SHALL PERFORM THE CONSTRUCTION USING THE FOLLOWING SEQUENCE OF CONSTRUCTION FOR EACH PROJECT AREA:
 - INSTALL PROPOSED WATERLINES, VALVES, HYDRANTS, SERVICE TAP ASSEMBLIES, CURB STOPS AND WATER SERVICE PIPE.
 - PRESSURE TEST THE WATERLINE IN ACCORDANCE WITH AWWA C-600.
 - DISINFECT THE WATERLINE IN ACCORDANCE WITH AWWA C-651.
 - CHANGE THE NEWLY INSTALLED WATERLINE AND SWITCH OVER SERVICES FROM THE OLD WATERLINE TO THE NEW WATERLINE. FOR EACH SERVICE SWITCHOVER, THE SERVICE SHALL BE SWITCHED FROM A CHARGED OLD WATERLINE TO A CHARGED NEW WATERLINE.
 - MAKE RECONNECTION OF THE NEW WATERLINE IN ACCORDANCE WITH AWWA C-651, SECTION 9. DISCONNECT AND ABANDON THE OLD WATERLINE.
 - COMPLETE SURFACE RESTORATION.
- WINTER FLUSHING OF WATER MAINS: THE CONTRACTOR SHALL PROVIDE MEASURES TO PREVENT WATER FLUSHED FROM WATER MAINS FROM FREEZING AND ACCUMULATING IN PAVED AREAS.

NOTE 1: THIS DETAIL IS VALID ONLY WHEN USED AS PRESENTED HERE, WITHOUT CHANGES, AND IN CONFORMANCE WITH ANY GENERAL NOTES AND/OR OTHER DETAILS WHICH MAY APPLY. ANY CHANGES TO THIS DETAIL SHALL FIRST BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER.

NOTE 2: BEFORE ANY EXCAVATING, CALL THE FOLLOWING NUMBERS AT LEAST 48 HOURS IN ADVANCE: C.U.P.S. @ (800) 362-2794.

City of Lorain
200 West Erie Avenue, Lorain, Ohio 44052
Phone: (440) 204-2003

STANDARD DESIGNS WATERLINE GENERAL NOTES

WT-N02.dwg
DATE: 04/25/2023
SCALE: NONE

A. PRESSURE TESTING:

- PRESSURE TESTING OF ALL NEW WATER MAINS SHALL BE IN ACCORDANCE WITH CURRENT AWWA C-600 STANDARDS AND REGULATIONS.
- AFTER EXPELLING ALL TRAPPED AIR IN THE LINE, THE TEST PRESSURE SHALL BE 150 PSI OR 50% ABOVE THE NORMAL OPERATING PRESSURE, WHICHEVER IS GREATER.
- DURATION OF THE LEAKAGE TEST SHALL NOT BE LESS THAN 2 HOURS UNDER PRESSURE. ALLOWABLE LEAKAGE SHALL NOT EXCEED 10.49 GALLONS PER INCH OF PIPE DIAMETER PER MILE OF PIPE PER 24 HOUR PERIOD.
- THE CONTRACTOR SHALL PERFORM ALL TESTING IN THE PRESENCE OF THE CITY ENGINEER OR REPRESENTATIVE, EXCEPT FIRELINE TESTING AS NOTED ABOVE.
- FAILURES SHALL BE FOUND AND CORRECTED AND THE TEST REPEATED UNTIL SATISFACTORY RESULTS ARE OBTAINED.

B. DISINFECTION PROCEDURES:

- ALL NEW MAINS OR SECTIONS OF MAINS ARE REQUIRED TO HAVE 1" TAPS WITHIN 50' OF THE INFLUENT END, EVERY 500' TO 700', AND AT THE END OF THE MAIN. EACH TAP IS REQUIRED TO HAVE A BRONZE STANDARD HOSE BIBB (OR SIMILAR) FOR THE PURPOSE OF STERILIZATION AND COLLECTION OF SAMPLES. A TEST HOSE BIBB CAN BE INCORPORATED INTO A FLUSHING ASSEMBLY IF APPROVED. CHLORINE OR BACTERIA TESTING WILL NOT BE PERMITTED FROM A FIRE HYDRANT. WATER PLANT PERSONNEL WILL HAVE FINAL APPROVAL OF THE LOCATION OF ALL CHLORINE AND BACTERIA TESTING TAPS.
- ANY NEW LINE LESS THAN 100' IN LENGTH MAY REQUIRE ONLY ONE TAP TO BE PLACED AT THE EFFLUENT END OF THE LINE WITH APPROVAL OF WATER PLANT PERSONNEL.
- A RESIDUAL OF 25 MG/L OR GREATER OF CHLORINE MUST BE PRESENT AT THE INFLUENT, AT THE DESIGNATED TAPS, AND AT THE END OF THE MAIN OR BRANCH. THE CONTRACTOR WILL NOTIFY THE WATER PLANT PERSONNEL AT 440-204-2280 TO HAVE THE HIGH CHLORINE RESIDUAL LEVEL CHECKED.
- AFTER 24 HOURS, WATER PLANT PERSONNEL OR THE CITY INSPECTOR WILL AGAIN CHECK THE DESIGNATED TAPS TO SEE IF THE REQUIRED 10 MG/L CHLORINE RESIDUAL IS STILL PRESENT. IF IT IS NOT PRESENT, RECHLORINATION WILL BE NECESSARY. (THE CITY INSPECTOR WILL REQUIRE THE PRESSURE TEST TO BE COMPLETED PRIOR TO THE FLUSHING OF THE CHLORINE FROM THE NEW MAIN.)
- THE NEW MAIN CAN THEN BE FLUSHED TO BRING THE CHLORINE LEVEL BACK TO NORMAL CITY WATER. THE LEVEL WILL BE CHECKED BY WATER PLANT PERSONNEL TO SEE IF ADDITIONAL FLUSHING IS NECESSARY.
- FLUSHING WATER WITH HIGH LEVELS OF CHLORINE SHALL BE NEUTRALIZED PRIOR TO DISCHARGE TO WATERS OF THE STATE.
- BACTERIA SAMPLES WILL BE TAKEN AT THE EARLIEST CONVENIENT TIME BY WATER PLANT PERSONNEL. AFTER 24 HOURS ANOTHER BACTERIA SAMPLE WILL BE TAKEN FROM THE SAME LOCATION(S). THE NEW MAIN INFLUENT VALVES ARE TO REMAIN CLOSED UNTIL ALL BACTERIA TESTING RESULTS ARE ACQUIRED. IT IS REQUIRED THAT ALL BACTERIA SAMPLES BE NEGATIVE.
- WHEN ALL OF THE ABOVE REQUIREMENTS ARE MET, THE CORPORATION STOPS MUST BE REMOVED AND BRASS PLUGS INSERTED. THE CITY INSPECTOR MUST WITNESS THIS. THE NEW MAIN WILL THEN BE ACCEPTED FOR USE.
- ALL WATERMAIN DISINFECTION SHALL BE IN ACCORDANCE WITH AWWA C-651.

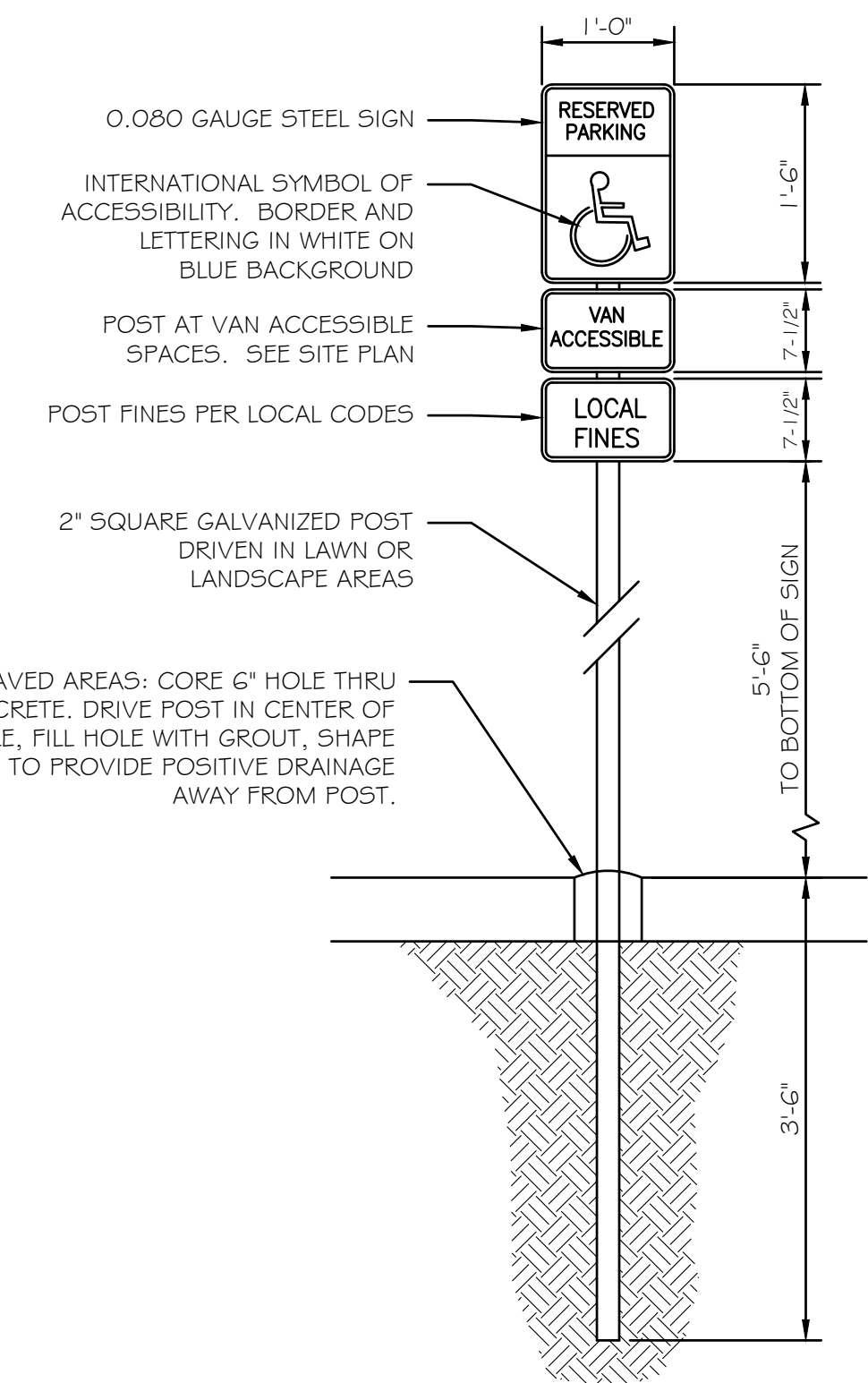
NOTE 1: THIS DETAIL IS VALID ONLY WHEN USED AS PRESENTED HERE, WITHOUT CHANGES, AND IN CONFORMANCE WITH ANY GENERAL NOTES AND/OR OTHER DETAILS WHICH MAY APPLY. ANY CHANGES TO THIS DETAIL SHALL FIRST BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER.

NOTE 2: BEFORE ANY EXCAVATING, CALL THE FOLLOWING NUMBERS AT LEAST 48 HOURS IN ADVANCE: C.U.P.S. @ (800) 362-2794.

City of Lorain
200 West Erie Avenue, Lorain, Ohio 44052
Phone: (440) 204-2003

STANDARD DESIGNS WATERLINE GENERAL NOTES-WATERLINE TESTING

WT-N03.dwg
DATE: 04/25/2023
SCALE: NONE



HANDICAP PARKING SIGN POST DETAIL
- NOT TO SCALE -

WATER SERVICE INSTALLATION (PERFORMED BY LWD WHEN SERVICE APPLIED FOR BY PROPERTY OWNER)

NOTE 1: THIS DETAIL IS VALID ONLY WHEN USED AS PRESENTED HERE, WITHOUT CHANGES, AND IN CONFORMANCE WITH ANY GENERAL NOTES AND/OR OTHER DETAILS WHICH MAY APPLY. ANY CHANGES TO THIS DETAIL SHALL FIRST BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER.

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City of Lorain
200 West Erie Avenue, Lorain, Ohio 44052
Phone: (440) 204-2003

STANDARD DESIGNS WATER SERVICE CONNECTION NEW "LONG-SIDE" SERVICE

WT-M01.dwg
DATE: 04/25/2023
SCALE: NONE

METER SIZE

METER SIZE	"A"	"B"	"C"
8"	12"	6" MIN.	24" MIN.
10"	14"	12" MAX.	36" MAX.
12"	16"		

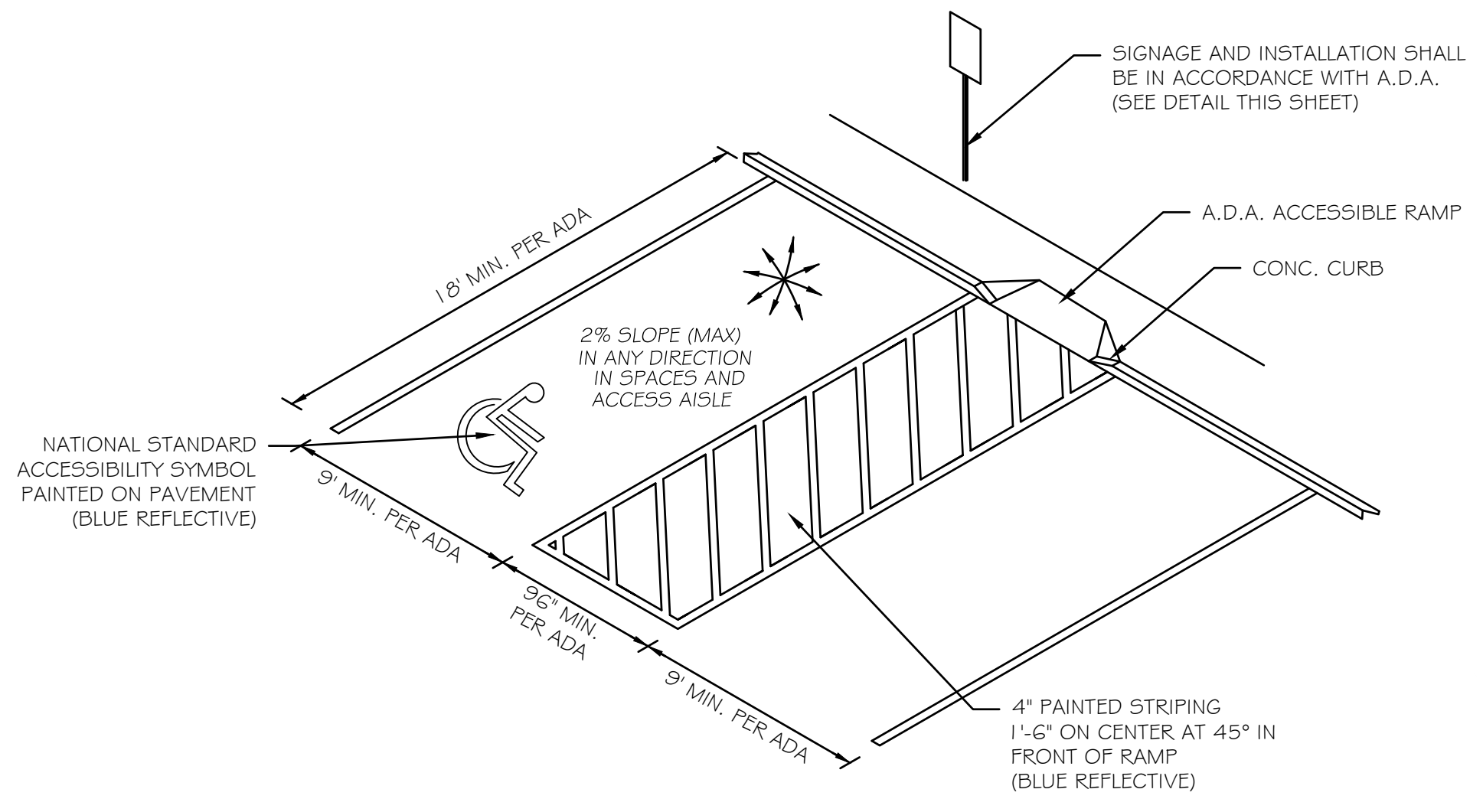
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City of Lorain
200 West Erie Avenue, Lorain, Ohio 44052
Phone: (440) 204-2003

STANDARD DESIGNS WATER Meter Settings for 5/8", 3/4" & 1" Meters

WT-M01.dwg
DATE: 04/25/2023
SCALE: NONE



ACCESSIBLE PARKING DETAIL
- NOT TO SCALE -

REV. BY DATE DESCRIPTION

1 MSP 12/29/2025 ISSUE PRELIMINARY PLANS TO CLIENT

RAFTER A, LTD
LAND SURVEYING • ENGINEERING • TESTING
42653 Oberlin-Elyria Road, Oberlin, Ohio 44074
440-707-4014 • www.raftera.com • info@raftera.com

PROPOSED GONZALEZ WAREHOUSE SITE IMPROVEMENTS

MISCELLANEOUS DETAILS
2767 WEST 21ST STREET
LORAIN, OHIO 44055

DRAWN BY: MSP
CHECKED BY: BDA
RAF JOB NO: 3951-25

SHEET: **C5.4**

TRANSFERRED

IN COMPLIANCE WITH SBC 339-202
OHIO REV CODE

AUG 06 2021

J. CRAIG SNODGRASS, CPA, CGFM
LORAIN COUNTY AUDITOR

*Fees Paid 140.00
LD*

2021 AUG -6 PM 1:13

Doc ID: 023038720003 Type: OFF
Kind: DEEDS
Recorded: 08/06/2021 at 02:06:28 PM
Fee Amt: \$42.00 Page 1 of 3
Lorain County, Ohio
Mike Doran County Recorder
File # 2021-0832802



GENERAL WARRANTY DEED

M.D.

M.D.

ITRI A. EREN, married to **ANNE EREN**, and **MUSTAFA K. EREN**, a single person, for valuable consideration paid, grants, with general warranty covenants, to **ROBERT GONZALEZ, SR.**, the following real property:

Situated in the City of Lorain, County of Lorain and State of Ohio, And being known as part of Original Lot No. 22, Tract No. 2 of Black River Township and more definitely described as follows: Beginning at the Northeast corner of lands conveyed to M.J. and E.G. and Mary Napoli by deed dated June 2, 1966 and recorded in Volume 927, Page 402 of the Lorain County Records of Deeds. Said point being set in the South line of State Route 611 as conveyed to the Board of Commissioners of Lorain County by deed dated March 4, 1943 and recorded in Volume 327, Page 172 of Lorain County Records of Deeds, at a point about 1611.59 feet measured westerly in the aforesaid South line of State Route 611 from its intersection with the westerly line of State Route 58 as was established in 1963 by the State of Ohio, Department of Highways; Thence Easterly along said southerly line of State Route 611 a distance of 297.17 feet to the principal place of beginning; Thence continuing Easterly along said Southerly line of State Route 611 a distance of 195.77 feet along a curve to the right having a radius of 3769.72 feet and a chord which bears North 88° 04' 57" East a distance of 195.75 feet to a point; Thence South 0° 10' 17" West a distance of 436.90 feet to a point; Thence South 89° 10' 00" West a distance of 194.67 feet to a point; Thence North 0° 02' 31" East a distance of 433.18 feet to the principal place of beginning and containing within said bounds 1.95034 Acres of land. Be the same more or less but subject to all legal highways.

Tax Mailing Address: 1439 Meiser Rd Lorain OH 44053

Except a) any mortgage assumed by Grantee, b) such restrictions, conditions, easements

AC
8/6/2021

(however created) and encroachments as do not materially adversely affect the use or value of the property, c) zoning ordinances, if any, and d) taxes and assessments, both general and special, not yet due and payable.

Permanent Parcel Number: 02-02-022-107-010

Prior Instrument Reference: 2016-0611047

Property Address: V/L West 21st Street, Lorain, OH 44053

ANNE EREN, spouse of **ITRI A. EREN**, hereby releases all rights of dower therein.

Executed by **ITRI A. EREN** ^{MD} and **ANNE EREN**, this the 4 day of August, 2021.

OHIO REAL TITLE
193867

[Signature]
ITRI A. EREN ^{MD}

[Signature]
ANNE EREN ^{MD}

State of OHIO
County of LORAIN

This is an acknowledgment clause. No oath or affirmation was administered to the signer.

The foregoing instrument was acknowledged before me this 4 day of AUGUST 2021 by **ITRI A. EREN** ^{MD} and **ANNE EREN**.



THOMAS E. CANSIAN
NOTARY PUBLIC
STATE OF OHIO
Recorded in
Cuyahoga County
My Comm. Exp. 9/28/2023

[Signature]
NOTARY PUBLIC

Executed by **MUSTAFA K. EREN** this 4th day of August, 2021.

[Signature]
MUSTAFA K. EREN MD

State of *Ohio*
County of *Lorain*

This is an acknowledgment clause. No oath or affirmation was administered to the signer.

The foregoing instrument was acknowledged before me this 4th day of August 2021 by **MUSTAFA K. EREN MD**

[Signature]
NOTARY PUBLIC

This document was prepared by:
Leonard A. Cuilli
Sandhu Law Group, LLC
1213 Prospect Ave., STE 300
Cleveland, OH 44115
(216) 373-1001
2021-08-0053-153867



DEIRDRE SLAVIK
Notary Public
State of Ohio
My Comm. Expires
March 17, 2025

CARDINAL HOPE EXAM
36040 CARONIA CIRCLE
AVON, OH 44011

MARK W. RUBY
ARCHITECT

199 NORTH LEAVITT ROAD SUITE #201

AMHERST, OHIO 44001

(440) 986-2091

12/30/25

Attn: Evelisse Atkinson, Planning & Zoning Administrator
City of Lorain Department of Building, Housing & Planning
200 West Erie Ave., 5th Floor
Lorain, OH 44052

Re: List of adjacent property owners for New Office / Warehouse located at 2767
W. 21st Street

PPN 0202022107011 - City of Lorain

PPN 0202022107007 - JK Lucas LLC Rear Land, Lorain, OH 44035

PPN 0202018000032 - JK Lucas LLC Rear Land, Lorain, OH 44035

PPN 0202018000002 - Vargo, John M & Joanne L, Rear Land Lorain, OH 44035

PPN 0202023114017 - Alvarado, Jorge 7 Olalde, Elsa Fany, 2801 w. 21st St.,
Lorain, OH 44053

PPN 0202023114016 - Alvarado, Jorge & Olalde, Elsa, 2665 W. 21st. St., Lorain,
OH 44053

PPN 0202023113005 - Mercy JLA LLC, 2426 W. 21st St., Lorain, OH 44035

PPN 0202023113006 - Aine, Kevin, W. 21st. St., Lorain, OH 44035

PPN 0202022106006 - Aine, Kevin, 2808 W. 21st St., Lorain, OH 44035

PPN 0202022106001 – Drive Max LLC, 2910 W. 21st St., Lorain, OH 44035



Jack Bradley
Mayor

CITY OF LORAIN

Department of Building, Housing & Planning

Matthew Kuszniir
Director

David Faciana
Chief Building Official

January 26, 2026

To: Planning Commission

Re: *F.D.P. 02-2026, Submission for Planning Commission's review and consideration, a Final Development Plan for Commercial new construction (rental office and storage), in a B-2 Business Commercial district, Chapter 1125 and Section 1145 Site Development Plans located at, 2767 W 21st St. Robert Gonzalez- Gonzalez Properties, applicant.*

The following comments were received in response to the plans for consideration:

Zoning- Front yard building setback is 35 feet (site plan indicates a 25-foot setback). Building placement is in compliance.

Building- Plans will be reviewed during permitting.

Engineering- Required information has been submitted. Plans will be reviewed for compliance during permitting.

Review of the Preliminary or Final Development Plan by City departments and Planning Commission does not permit or authorize the commencement of any development or construction. The applicant must submit the required applications, fees, and necessary documentation to each respective department for permit consideration after full approval from Planning Commission.

Respectfully,

Evelisse Atkinson
Planning & Zoning Administrator



CITY OF LORAIN

Planning Commission

4. E.

Meeting Date: 02/04/2026

Subject:

C.U.P. 03-2026 Submission for Planning Commission's review and consideration, a Conditional Use Permit for a Vehicle Service Station, Section 1143.07(o) in a B-2 Business Commercial district, and Section 1125.02 Schedule of Allowed Uses at, 2217 E 42nd St. Carlton Moore, agent, Rakesh Patel, applicant.

Attachments

Recommendation Letter
Application and Site Plan



Jack Bradley
Mayor

CITY OF LORAIN

Department of Building, Housing & Planning

Matthew Kuszmir
Director

David Faciana
Chief Building Official

January 26, 2026

To: Planning Commission

From: Evelisse Atkinson, Planning and Zoning Administrator

Re: C.U.P. 03-2026 Submission for Planning Commission's review and consideration, a Conditional Use Permit for a Vehicle Service Station, Section 1143.07(o) in a B-2 Business Commercial district, and Section 1125.02 Schedule of Allowed Uses at, 2217 E 42nd St. Carlton Moore, agent, Rakesh Patel, applicant. **My responses are below in bold.**

Requirements for Conditional Use Permit, 1143.07(o) Vehicle Service Station:

1. There shall be a minimum lot area of one (1) acre and minimum lot width of 150 feet on an arterial street.
 - **In compliance**
2. Access to the site shall comply with the driveway spacing standards of *Section 14.06* but, in no case, be located closer than 125 feet to any intersection or other driveway on the same side of the street, as measured from the nearest right-of-way line to the nearest edge of the driveway. Driveways or curb openings shall be located at least 100 feet from any adjacent residential or mixed-use district boundary line.
 - **Not in compliance. See application BA 11-2026.**
3. On a corner lot, only one (1) driveway shall be permitted from any street, unless the planning commission determines additional driveways will be necessary to ensure safe and efficient access to the site.
 - **Not in compliance. See application BA 11-2026**
4. A 10 foot "landscaping" strip shall be maintained between the street line and the edge of the service station pavement along all adjoining streets.
 - **In compliance**
5. No portion of a service station or its equipment may be located within 50 feet of a residential district.
 - **In compliance**
6. Pump islands shall be a minimum of 25 feet from any public right-of-way or lot line. No vehicles shall be parked in front of the pump island setback line, except vehicles actually being serviced at the pump island. Tanks, propane, and petroleum products shall be set back at least 35 feet from any lot line.
 - **In compliance**

7. Enclosed, permanently installed cabinets or racks for the display and storage of motor oil, wiper blades, or wiper fluids may be placed back of the pump island. Tires may be stored outside the building, but only in one (1) or more enclosed, permanently installed cabinets or racks, each with dimensions not exceeding 12 feet in length and five (5) feet in width, located back of the building setback line.
 - **In compliance (the applicant indicates no items will be stored outside)**
8. The edge of overhead canopies shall be set back at least 15 feet from the right-of-way and shall be constructed of materials consistent with the principal building. The proposed clearance of any canopy shall be noted on the site plan. The canopy shall not exceed 18 feet in height. Lighting in the canopy shall be recessed, fully shielded, and directed downward to prevent off-site glare.
 - **In compliance**
9. If rental trailers or trucks are stored on the premises, a minimum lot area of one (1) acre shall be devoted exclusively to service station use, and an additional area for the storage of the rental trailers or trucks shall be provided behind the front line of the main building.
 - **In compliance (no rental trucks or trailers will be at the location)**
10. If the use includes installation of oil or other automotive fluids except for fuel, the applicant shall submit a Pollution Incidence Protection Plan (PIPP). The PIPP shall describe measures to prevent groundwater contamination caused by accidental spills or leakage of gasoline or other hazardous materials. Such measures may include special check valves, drain back catch basins, automatic shut off valves or others, as approved by the fire department and city engineer.
 - **In compliance. This location will only be used for fuel**
11. In the event that a gasoline station use has been abandoned or terminated for a period of more than 12 months, all underground gasoline storage tanks shall be removed from the premises, in accordance with state requirements.
 - **Ongoing compliance**
12. A vehicle service station may be combined with other uses, such as convenience store, vehicle wash, and/or restaurant; provided all relevant requirements are met and the most restrictive requirements applicable to any single use shall apply. Parking requirements may be modified, as provided in *Section 14.02 D*. Signs shall comply with the standards for business centers in *Section 15.06*.
 - **Not in compliance. See application BA 11-2026**

Lastly, the maneuvering aisle width per Section 1149.04, is not in compliance.

Respectfully,

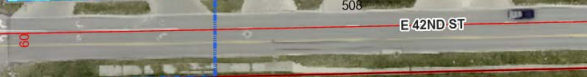


Evelisse Atkinson

Planning & Zoning Administrator

200 West Erie Avenue, 5th Floor, Lorain, Ohio 44052
Building Division: (440) 204-2045 Fax: (440) 204-2540
Housing & Planning Division: (440) 204-2020 Fax: (440) 204-2080
Email: bhp@cityoflorain.org

GROVE AVE



20

233

112

87.44

2217 2039 2221

237.44

99

150

2225

-028

.28

150

237.44

-032

.61

112

2233 2247 2253 2254

0

60

508

E 42ND ST

672.21



CITY OF LORAIN

PLANNING COMMISSION

Jack Bradley
Mayor

CONDITIONAL USE PERMIT 03-2026

APPLICATION FOR A CONDITIONAL USE PERMIT

APPLICATION IS HEREBY MADE TO THE PLANNING COMMISSION OF THE CITY OF LORAIN, OHIO FOR A
CONDITIONAL USE, CHAPTER 11.



NAME OF OWNER: RAKESH PATEL

ADDRESS OF OWNER: 35 OLD BROADWAY

CITY: GARDEN CITY ^{PARK} STATE: NEW YORK ZIP CODE: 11040

PHONE: (BUSINESS) (917) 405-0211 (RESIDENTIAL) _____

ADDRESS OF PROPERTY REQUIRING A CONDITIONAL USE IF DIFFERENT FROM ABOVE:

2217 EAST 42ND STREET LORAIN, 44055

SITE PLAN SUBMITTED: YES NO

LETTER SUBMITTED: YES NO

SECTION OF THE ZONING CODE INVOLVED: 143.07 (0) VEHICLE SERVICE STATION

REASON FOR REQUESTING THE CONDITIONAL USE: TO ADD NEW CANOPY AND (3) FUELING PUMPS TO EXISTING CONVENIENCE STORE-SEE ATTACHED COVER LETTER AND PROJECT DESCRIPTION

NON-REFUNDABLE FEE: \$500.00 As per Ordinance 168-20 Effective January 21, 2021.

CONTACT PERSON:
CARLETON MOORE!
(216) 272-7653
Applicant's Signature

12-13-2025
Date

CWMSERVICES2015@GMAIL.COM

lorain

1 message

CARLETON MOORE! <cwmservices2015@gmail.com>

Thu, Jan 8, 2026 at 5:07 PM

To: CARLETON MOORE! <cwmservices2015@gmail.com>

COVER LETTER AND PROJECT DESCRIPTION

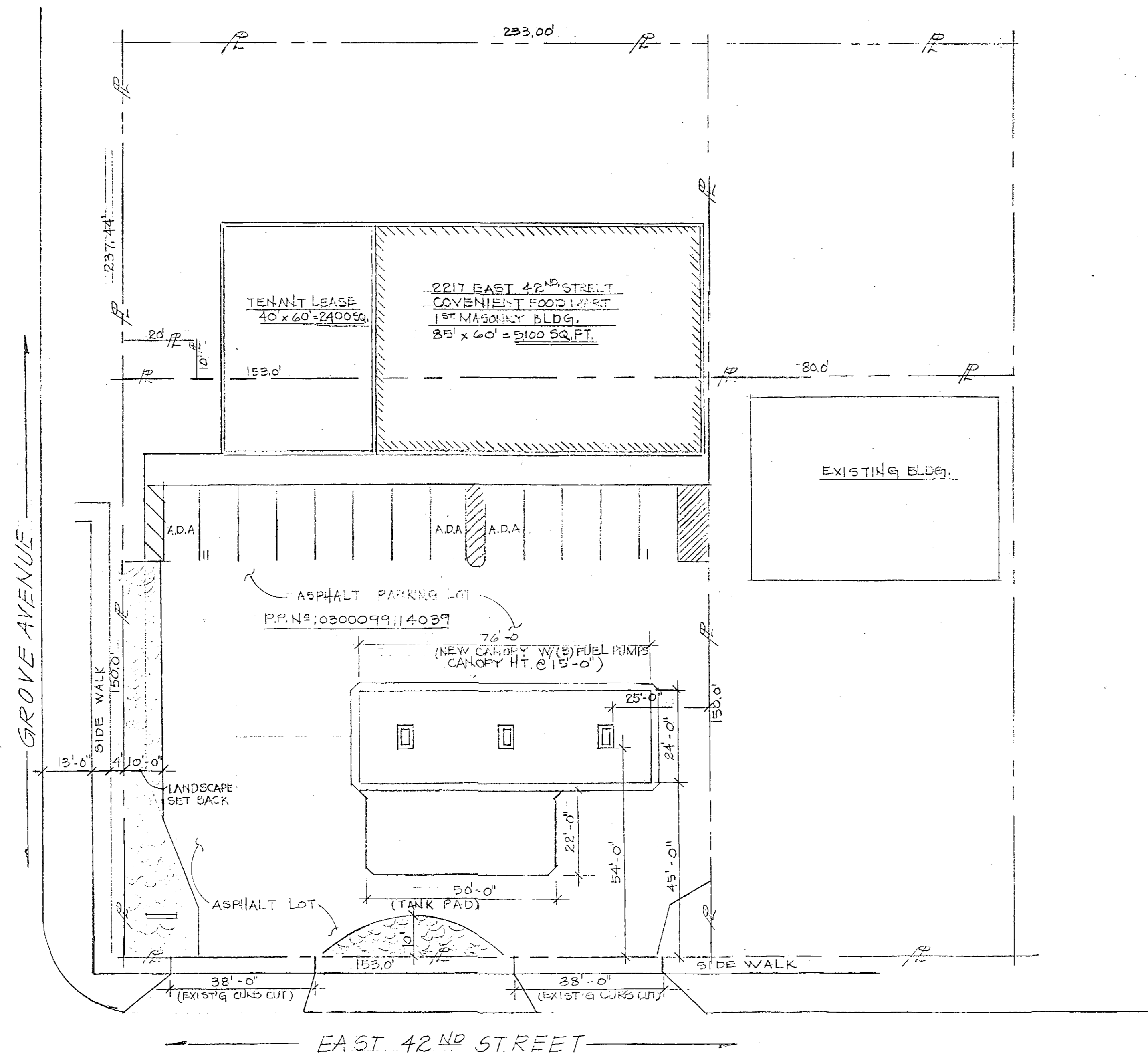
FOR NEW GAS STATION FUEL PUMPS AND CANOPY AT 2217 EAST 42nd STREET

The following are references to Section 1143.07 (O) Vehicle Service Station

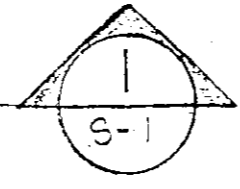
1. Yes- Lot width is 153ft.
- 2.No- The location is closer than 125ft to the intersection
- 3.No- There are two driveway entrances on East 42nd. Street
4. Yes- Landscaping is 10ft wide
- 5.No- Residential district is within 50ft. of this parcel
6. Yes- Over 43ft. away
7. Yes- Inside the store only. No items will be located outside the store
8. Yes- The height of the canopy is 15ft, and it is 45ft back from the property line
LED downward directional lighting will be used in the canopy.
9. Yes- No rentals at this location
10. Yes- Does not apply
11. Yes- Does not apply
- 12.No- Does not meet the minimum parking spaces required

PROJECT DESCRIPTION

INSTALLATION OF NEW CANOPY WITH (3) FUELING PUMP DISPENSERS



SITE PLAN
SCALE: 1" = 20'-0"



REVISIONS	BY

CWMI DEVELOPERS, INC
cwmiservices2015@gmail.com
(216) 831-6878

NEW FUEL PUMPS & CANOPY
2217 EAST 42ND STREET

SITE PLAN

Date	12-15-23
Scale	AS NOTED
Drawn	CM!
Job	
Sheet	S-1
Of	Sheets

NAMES AND ADDRESSES OF ABUTTING PROPERTY OWNERS.

1. LORAIN CSD BOARD OF EDUCATION
E. 42 STREET LORAIN, OH 44055
PARCEL N^o: 030009116001
MAILING ADDRESS: 2601 POLE AVE,
LORAIN, OH. 44052
2. FIRST FEDERAL SAVINGS & LOAN ASSOC
2233 E. 42 ST., LORAIN, OH, 44052
PARCEL N^o: 030009114032
MAILING ADDRESS: 3721 OBERLIN RD,
LORAIN, OHIO 44053
3. ARBOR GROVE LLC
4112 GARY AVE
APT. 102 LORAIN, OH. 44055
PARCEL N^o: 0300099114036
MAILING ADDRESS: 301 W. MICHIGAN AVE,
SUITE 411
YPSILANTI, MI. 48197
4. LORAIN PLAZA LLC
2225 E. 42ND ST,
LORAIN, OH. 44055
PARCEL N^o: 0300099114028
MAILING ADDRESS: 35 OLD BROADWAY
GARDEN CITY PARK, NY.
11040



CITY OF LORAIN

Planning Commission

4. F.

Meeting Date: 02/04/2026

Subject:

Z.C.A. 01-2026 Submission for Planning Commission's review and recommendation to Lorain City Council, the Zoning Reclassification of, 1051 Meister Rd, PPN 02-01-006-184-022 from a B-2 General Commercial District to an I-1 district. TDI Lorain, LLC, applicant.

Attachments

Staff Report

Application and Site Plan



Jack Bradley
Mayor

CITY OF LORAIN

Department of Building, Housing & Planning

Matthew Kuszniir
Director

David Faciana
Chief Building Official

January 26, 2026

To: Planning Commission
From: Evelisse Atkinson, Planning and Zoning Administrator

Re: Z.C.A. 01-2026 Submission for Planning Commission's review and recommendation to Lorain City Council, the Zoning Reclassification of, 1051 Meister Rd, PPN 02-01-006-184-022 from a B-2 General Commercial District to an I-1 district. TDI Lorain, LLC, applicant.

My responses regarding compliance are below:

The proposed use at, 1051 Meister Rd., PPN 02-01-006-184-022 is indoor self-storage. If the parcel is rezoned from the current classification of B-2 Business Commercial to (I-1) Light-Industrial, the property may include any permitted and conditional uses identified in Section 1127.02, Scheduled of Allowed Uses (attached).

Light Industrial 1127.03-Dimensional Requirements:

Minimum side and rear setback abutting a residential zoning district shall be 50 ft. in the I-1 and 75 ft. in the I-2 District.

Table 1127.03. Area, Height and Placement Requirements, Industrial District		
Zoning District	I-1, Light Industrial	I-2, Heavy Industrial
Lot Area and Width		
Minimum Lot Area (sq. ft.)	1 acre	2 acres
Minimum Lot Width (ft.)	200	200
Minimum Setbacks (ft.)		
Front	30	30
Rear	35	50
Side (interior)	20	20
Side (street)	20	30
Maximum Height and Lot Coverage		
Height (ft.)	45	60
Coverage (%)	-	-

Standards for a Zoning Map Amendment, Section 1177.04: In order to promote the public health, safety, and general welfare of the city against the unrestricted use of property, the Council and Planning Commission may consider the following standards and any other factors relevant to balancing the public interest in making any rezoning decision:

- (a) Is the request in conformance with the City's comprehensive long-range plan?
- (b) Is this request a logical extension of a zoning boundary which would improve the pattern of uses in the general area?
- (c) Does the current zoning classification unreasonably restrict the use and enjoyment of the subject property?
- (d) Has a change of conditions occurred in the surrounding area which makes the current zoning of the property unreasonable?
- (e) Is this spot zoning and generally unrelated to either existing zoning or the pattern of development of the area?
- (f) Could traffic created by the proposed use or other uses permissible under the proposed zoning district travel through established residential neighborhoods on minor streets, leading to congestion, noise and traffic hazards?
- (g) Will the proposed use substantially conflict with existing density patterns in the zone or neighborhood?
- (h) Would the proposed use precipitate similar requests which would generate or accelerate adverse land use changes in the zone or neighborhood?
- (i) Will the request have any impact on any present or planned historic site or development in the City?
- (j) Will the action adversely impact adjacent or nearby properties in terms of:
 - (1) Environmental quality or livability, resulting from the introduction of uses or activities which would create traffic, noise, odor or visual hazards or the reduction of light and air that is incompatible with the established development pattern.
 - (2) Property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted.
- (k) Will the action create development potential of such increased intensity that storm water runoff from the site cannot be controlled within previous limits, resulting in adverse impacts upon existing down-stream drainage problems or potential problems?
- (l) Will the action create development opportunities that could create traffic flow beyond the carrying capacity of the current street system?
- (m) Will the action result in public service requirements such as provision of utilities or safety services which, because of the location or scale of the development, cannot be provided economically and therefore would create an actual burden to the public?

Respectfully,



Evelisse Atkinson

Planning & Zoning Administrator

1127.02 SCHEDULE OF ALLOWED USES.

Buildings or land shall not be used and buildings shall not be erected, except for the following specified uses, unless otherwise provided for in this Ordinance. Land and/or buildings in the districts indicated at the top of Table 1127.02 may be used for the purposes denoted by the following abbreviations:

- (a) Permitted Use (P). Land and/or buildings with this designation may be used for these purposes by right.
- (b) Conditional Use (C). Land and/or buildings with this designation may be used for these purposes if conditional approval is granted by the Planning Commission upon a finding that all applicable requirements in Chapter 1143 are satisfied.
- (c) Specific Conditions. Indicates that conditions related to the specific use must be satisfied in addition to the general criteria of Sections 1143.02 and 1143.03.

(Links for Table 1127.02: 1141.26, 1141.33, 1143.04, 1143.05, 1143.07, 1143.08)

Table 1127.02, Schedule of Uses – Industrial District

Use	I-1	I-2	Specific Conditions
Accessory Uses			
Accessory uses and structures	P	P	
Cafeteria facilities located within a principal use	P	P	
Child care facilities located within a principal use	P	P	
Corporate offices incidental to the principal use	P	P	
Drive-in and drive-through facilities for automated teller machines, banks and pharmacies, not including drive-in restaurants	C	C	See Section 1143.07(d)
Dwelling units for watchmen and operating personnel and their families	C	C	
Outdoor storage related to a principal use	C	C	See Section 1143.08(a)
Single-user solar energy system as accessory to a principal use	C	C	
Agriculture, Food and Animal-related Uses			
Breweries, distilleries and bottling plants	P		
Food processing plants		P	
Greenhouse/nursery (not including retail sales)	P		
Kennels	P		
Produce and other food products terminals	P		
Commercial Establishments			
Appliance repair	P		
Auction houses	P		
Consumer fireworks retail sales facility (permanent)	C		
Consumer fireworks retail sales facility (temporary)	C		See Section 1143.07(b)
Machinery and equipment sales & service	P		
Office equipment sales & service	P		
Pawn Shops	C		See Section 1143.07(a)
Petroleum products sales	P		
Sexually oriented businesses	C		See Section 1143.04(f)
Construction			
Contractors' offices and shops (not including outdoor storage)	P		
Glass sales & service	P		
HVAC sales & service	P		
Landscaping services	P		
Educational Services			
Schools, driving	C	C	
Technical and trade schools	P		
Training centers, engineering or sales	P		
Food, Drink, Entertainment and Hospitality			
Bars, taverns and nightclubs	C	C	See Section 1143.04(a)
Food catering service	P		
Restaurant, standard (not including drive-in or drive-thru)	P	P	
Restaurants (including alcohol and/or entertainment)	P	P	
Short-Term Rental	P	P	See Section 1141.33

Table 1127.02, Schedule of Uses – Industrial District

Use	I-1	I-2	Specific Conditions
Manufacturing			
Building material manufacturing including milling, planing and joining	C	P	
Chemical manufacturing and storage		C	
Concrete or asphalt manufacturing		C	
Electronics manufacturing and assembly	P	P	
Machine, sheet metal and welding shops	P	P	
Manufacturing and assembly of automobiles, trucks, planes, ships and railways		P	
Manufacturing, compounding, processing, packaging, treating or assembly from previously prepared materials	P	P	
Metal stamping, pressing and buffing	C	P	
Oil refineries		C	
Paint, rust proofing and rust coating	C		
Primary metal industries		P	
Sawmills		P	
Structural and steel fabrication	C	P	
Tool and die shops	P	P	
Mining			
Mineral extraction operations		C	
Offices, Research and Technical Facilities			
Blueprinting and photocopying establishments	P	P	
Financial institutions (banks, savings & loans, credit unions)	P	P	
Laboratory serving professional requirements, e.g. medical, dental, etc.	P		
Medical and dental office, including clinics	P		
Offices, general and professional	P		
Printing and publishing facilities	P		
Radio, television and recording studios	P		
Research and development laboratories	P	P	
Short-term lending or pay-day check cashing	C		See Section 1143.07(a)
Public Facilities			
Correctional facilities	C	C	
Government buildings	P	P	
Services			
Child care centers, commercial preschools and nurseries	P	P	
Cleaning services	P		
Crematorium	C		See Section 1143.07(c)
Dry cleaning plants and commercial laundries	C		
Locksmith shops	P		
Pest control services	P		
Repair shops, including small engine repair	P		
Tool and equipment rental	P		

Table 1.127.02, Schedule of Uses – Industrial District

Use	I-1	I-2	Specific Conditions
Transportation and Warehousing			
Airports	C		
Bottled gas storage and distribution	C		
Cartage, express and parcel delivery facilities	C	P	
Freight and intermodal terminals		P	
Heliports and helipads	C	C	
Mail order businesses and fulfillment centers	P		
Moving companies	P		
Parking garage, structure or lot (as principal use)	P	P	
Petroleum bulk stations		C	
Self-storage facilities (indoor)	C		
Self-storage facilities (outdoor)	C		
Warehouses and distribution centers	P	P	
Wholesale businesses	P		
Utilities			
Power generating plants	P	P	
Public utility structures and land	P	P	
Sewage treatment plants	C	C	
Solar Farms	P	P	
Wind energy conversion systems (single accessory)	C	C	See Section 1143.05(c)
Wind energy conversion systems (commercial)		C	See Section 1143.05(c)
Wireless communication facilities and towers	C	C	See Section 1143.05(d)
Vehicle Services			
Ambulance service	P		
Auto parts and tire stores	P		
Automobile rental	P		
Heavy equipment/semi-tractor and trailer sales, rental and service	P		
Tire retreading plant	C		
Truck and trailer rental	P	P	
Truck stops	C	P	See Section 1143.07(l)
Vehicle auction facilities	P		
Vehicle repair, major	C	P	See Section 1143.07(l)
Vehicle repair, minor	P		
Vehicle service stations	P	P	
Vehicle wash facilities	P	P	
Vehicle wash facilities for trucks and trailers	P	P	

Table 1127.02, Schedule of Uses – Industrial District

Use	I-1	I-2	Specific Conditions
Waste Processing and Disposal			
Construction debris, junk, solid waste disposal and salvage yards		C	See Section 1143.02(b)
Processing, storage, transfer, disposal or incineration of hazardous waste or medical waste		C	
Recycling collection and/or processing facility (non-hazardous)	P	P	
Sanitary landfills		C	
Vehicle salvage business		C	See Section 1143.07(n)
Other			
Uses of the same nature or class as uses listed in this district, but not listed elsewhere in this ordinance.	P/C	P/C	See Section 1141.26

(Ord. 4-21. Passed 1-4-21; Ord. 251-23. Passed 12-4-23; Ord. 36-25. Passed 4-7-25.)



CITY OF LORAIN
PLANNING COMMISSION

Jack Bradley
Mayor

Z.C.A. 01-2026

ZONING RECLASSIFICATION OF PROPERTY APPLICATION

Application is hereby made to the Lorain City Council, to reclassify the below described

property now in a B-2 district to a I district.

Owner of property TDI Lorain LLC

Address of owner 11 Parkway Center, Suite 300

City: Pittsburgh State PA Zip 15220

Phone (business) (412) 921-6100 (residential) _____

Address of property to be rezoned 1051 Meister Road Lorain OH 44052

Permanent Parcel Number 02-01-006-184-022

The reason(s) for requesting the zoning reclassification is as follows:

The reason for the zoning reclassification is to allow for the expansion of the Defender Self Storage facility at the Property

Two separate non-refundable payments made payable to the City of Lorain:

Five hundred (\$500.00) Building department fee

Thirty dollar (30.00) Engineering department fee

TDI Lorain, LLC

By: Town Development Inc., sole member

Curtis Kossman, President
Signature of Applicant

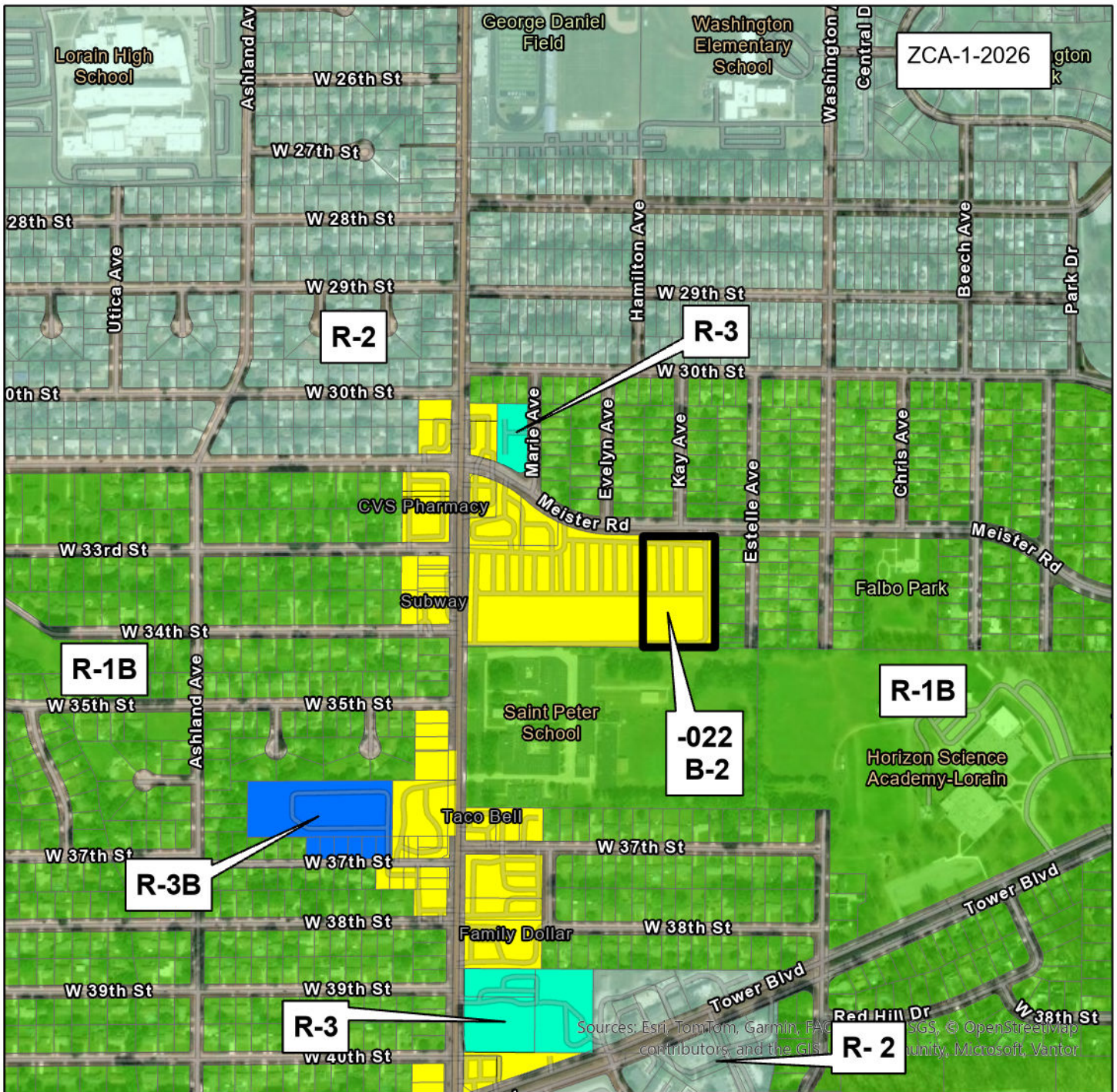
1/13/2026

Date

NARRATIVE FOR APPLICATION FOR A ZONING RECLASSIFICATION

The applicant TDI Lorain, LLC (successor-in-interest of Town Development Inc. and Lorko Corporation) has been the owner of the Lorain Plaza Shopping Center at 1069 Meister Road, Lorain Ohio 44052 since 1955. Over the years, applicant has developed and expanded the main strip section of the shopping center as well as developed and constructed outparcel buildings, all of which have been used for retail and commercial purposes. In October of 2025 the Apple grocery store located at the shopping center closed for business.

With the expansion of the existing climate-controlled self-service mini storage facilities in former Apple space, such use shall have no detrimental effect on the elements of noise, glare, odor, fumes and/or vibration in relation to the adjoining property owners. The expansion of the existing self-storage facility, with a zoning change from B-2 to Industrial, is required to permit the expansion of the existing self-storage facility. The expansion of the existing self-storage facility is compatible with the existing retail, self-storage and commercial uses at the shopping center, does not alter the character of the neighborhood and adjacent properties. The additional climate-controlled self-service mini storage facilities create less traffic than retail or commercial uses in the shopping center, and are similar to a retail use in that they are for the benefit of consumers. The relationship of the conditional use to the comprehensive plan has been maintained.



PROPOSED ZONE CHANGE TO OUTLINED AREA: B-2 TO I



APPROVED _____
 PUBLIC HEARING _____
 APPROVED BY COUNCIL _____
 ORDINANCE NO. _____

DATE _____
 DATE _____
 DATE _____

AMENDING AND ESTABLISHING ZONE CLASSIFICATION UNDER ZONING CODE ORDINANCE 186-85

EXHIBIT A

LEGAL DESCRIPTION

Situated in the County of Lorain, State of Ohio, described as follows:

Parcel 1:

Situated in City of Lorain, County of Lorain and State of Ohio:

Being known as part of Original Black River Township Lot No. 6, Tract No. 1, now within the corporate limits of the City of Lorain and more definitely described as follows:

Beginning at the intersection of the West line of Estelle Avenue, a 60.00 feet wide street and the South line of Meister Road, a 80.00 feet wide street.

Thence North 89°-11'-00" West, in the South line of Meister Road, a distance of 600.00 feet to the P.C. of a curve.

Thence continuing in the South line of Meister Road, in the arc of a curve that deflects to the right, a distance of 411.59 feet to an iron rod found set in the point of tangency. Said curve has a radius of 591.61 feet, a central angle of 39°-51'40" and a chord bearing North 69°-15'10" West, a distance of 403.33 feet.

Thence continuing in the South line of Meister Road, North 49°-19'-20" West, a distance of 32.53 feet to a point. Said point is the P.C. of a curve that deflects to the left, a distance of 16.22 feet to an iron pin set. Said curve has a radius of 511.61 feet, a central angle of 01°-49'-00" and a chord bearing North 50°-13'50" West, a distance of 16.22 feet. Said point shall be known as the principal place of beginning.

Thence continuing in the South line of Meister Road in the arc of curve that deflects to the left, a distance of 129.89 feet to an iron pin found set in the East line of lands conveyed to Uno-Ven Company as described in Official Record Volume 241 Page 263 of the Lorain County Record of Deeds. Said curve has a radius of 511.61 feet, a central angle of 14°-32'-47" and a chord bearing North 58°-24'-43" West, a distance of 129.54 feet.

Thence South 00°-41'-00" West in the East line of lands conveyed to Uno-Ven Company, a distance of 163.33 feet to an iron rod found set in the Southeast corner of said Uno-Ven Company lands.

Thence North 89°-19'-00" West in the South line of lands so conveyed to Uno-Ven Company a distance of 120.00 feet to an iron pin found set in the East line of Oberlin Avenue.

Thence South 00°-41'-00" West in the East line of Oberlin Avenue, a distance of 124.67 feet to a point.

Thence South 89°-19'-00" East, a distance of 231.13 feet to an iron pin set.

Thence North 00°-41'-00" East, a distance of 221.47 feet to the principal place of beginning, containing within said bounds 1.002 acres of land, be the same more or less, but is subject to all legal highways and easements of record. As surveyed by Norman R. Hura, Registered Surveyor No. S-5208 dba Norman R. Hura & Associates in February, 1993.

Parcel 2:

Situated in City of Lorain, County of Lorain and State of Ohio:

Being known as part of Original Black River Township Lot No. 6, Tract No. 1, now within the corporate limits of the City of Lorain and more definitely described as follows:

Beginning at the intersection of the West line of Estelle Avenue, a 60.00 feet wide street and the South line of Meister Road, a 80.00 feet wide street.

Thence North 89°-11'-00" West, in the South line of Meister Road, a distance of 600.00 feet to the P.C. of a curve.

Thence continuing in the South line of Meister Road, in the arc of a curve that deflects to the right, a distance of 257.24 feet to an iron pin found set and the principal place of beginning. Said curve has a radius of 591.61 feet, a central angle of 24°-54'-47" and a chord bearing North 76°-44'-00" West, a distance of 255.22 feet.

Thence continuing in the South line of Meister Road, in the arc of said curve deflecting to the right, a distance of 154.25 feet to an iron rod found set in the point of tangency. Said curve has a radius of 591.61 feet, a central angle of 14°-56'-18" and a chord bearing North 56°-47'-20" West, a distance of 153.81 feet.

Thence continuing in the South line of Meister Road, North 49°-19'-20" West, a distance of 32.53 feet to a point. Said point is the P.C. of a curve.

Thence continuing in the South line of Meister Road, in the arc of a curve that deflects to the left, a distance of 16.22 feet to an iron pin set. Said curve has a radius of 511.61 feet, a central angle of 01°-49'-00" and a chord bearing North 50°-13'-50" West, a distance of 16.22 feet.

Thence South 00°-41'-00" West, a distance of 221.47 feet to an iron pin set.

Thence South 89°-19'-00" East, a distance of 167.19 feet to an iron rod found set.

Thence North 00°-41'-00" East, a distance of 107.62 feet to the principal place of beginning, containing within said bounds 0.609 acres of land be the same more or less, but is subject to all legal highways and easements of record. As surveyed by Norman R. Hura, Registered Surveyor No. S-5208 dba Norman R. Hura & Associates in February, 1993.

Parcel 3:

Situated in City of Lorain, County of Lorain and State of Ohio:

And known as being Block "A" in Falbo Subdivision No. 2 of part of Original Black River Township Lot No. 6 in Tract No. 1, as shown by the recorded plat in Volume 18 of Maps, Page 7 of Lorain County Records, and described as follows:

Beginning on the Easterly line of Oberlin Avenue at the Southwesterly corner of said Falbo Subdivision No. 2 (being also the Southwesterly corner of said Block "A");

Thence Northerly along the Easterly line of Oberlin Avenue 678.83 feet to the Southwesterly corner of land conveyed to Station Development Corporation by deed dated September 29, 1953, and recorded in Volume 596, Page 130 of Lorain County Records;

Thence South 89° 19' East along the Southerly line of land so conveyed to the Station Development Corporation 125.0 feet to the Southeasterly corner thereof;

Thence North 0° 41' East along the Easterly line of land so conveyed to the Station Development Corporation 163.33 feet to the Southerly line of Meister Road as shown on the plat of said Falbo Subdivision No. 2;

Thence Southeasterly and Easterly along the Southerly line of said Meister Road to the Northwesterly corner of Sublot No. 262 in said Falbo Subdivision No. 2;

Thence Southerly along the Westerly line of said Sublot No. 262, and along the Westerly lines of Sublots Nos. 263, 264, 265, 266, 267, 268, 269 and 270 in said Falbo Subdivision No. 2, a distance of 504.58 feet to the Southwesterly corner of said Sublot No. 270, being also the Southerly line of said Falbo Subdivision No. 2;

Thence North 89° 24' West along the Southerly line of said Falbo Subdivision No. 2, a distance of 785.84 feet to the place of beginning, as appears by said plat.

Excepting therefrom the following described parcels:

Exception 1:

Situated in City of Lorain, County of Lorain and State of Ohio:

Being known as part of Original Black River Township Lot No. 6, Tract No. 1, now within the corporate limits of the City of Lorain and more definitely described as follows:

Beginning at the Intersection of the West line of Estelle Avenue, a 60.00 feet wide street and the South line of Melster Road, a 80.00 feet wide street.

Thence North $89^{\circ}-11'-00''$ West, in the South line of Melster Road, a distance of 600.00 feet to the P.C. of a curve.

Thence continuing in the South line of Melster Road, in the arc of a curve that deflects to the right, a distance of 411.59 feet to an iron rod found set in the point of tangency. Said curve has a radius of 591.61 feet, a central angle of $39^{\circ}-51'40''$ and a chord bearing North $69^{\circ}-15'10''$ West, a distance of 403.33 feet.

Thence continuing in the South line of Melster Road, North $49^{\circ}-19'-20''$ West, a distance of 32.53 feet to a point. Said point is the P.C. of a curve that deflects to the left, a distance of 16.22 feet to an iron pin set. Said curve has a radius of 511.61 feet, a central angle of $01^{\circ}-49'-00''$ and a chord bearing North $50^{\circ}-13'50''$ West, a distance of 16.22 feet. Said point shall be known as the principal place of beginning.

Thence continuing in the South line of Melster Road in the arc of curve that deflects to the left, a distance of 129.89 feet to an iron pin found set in the East line of lands conveyed to Uno-Ven Company as described in Official Record Volume 241 Page 263 of the Lorain County Record of Deeds. Said curve has a radius of 511.61 feet, a central angle of $14^{\circ}-32'-47''$ and a chord bearing North $58^{\circ}-24'-43''$ West, a distance of 129.54 feet.

Thence South $00^{\circ}-41'-00''$ West in the East line of lands conveyed to Uno-Ven Company, a distance of 163.33 feet to an iron rod found set in the Southeast corner of said Uno-Ven Company lands.

Thence North $89^{\circ}-19'-00''$ West in the South line of lands so conveyed to Uno-Ven Company a distance of 120.00 feet to an iron pin found set in the East line of Oberlin Avenue.

Thence South $00^{\circ}-41'-00''$ West in the East line of Oberlin Avenue, a distance of 124.67 feet to a point.

Thence South $89^{\circ}-19'-00''$ East, a distance of 231.13 feet to an iron pin set.

Thence North $00^{\circ}-41'-00''$ East, a distance of 221.47 feet to the principal place of beginning, containing within said bounds 1.002 acres of land, be the same more or less, but is subject to all legal highways and easements of record. As surveyed by Norman R. Hura, Registered Surveyor No. S-5208 dba Norman R. Hura & Associates in February, 1993.

Exception 2:

Situated in City of Lorain, County of Lorain and State of Ohio:

Being known as part of Original Black River Township Lot No. 6, Tract No. 1, now within the corporate limits of the City of Lorain and more definitely described as follows:

Beginning at the Intersection of the West line of Estella Avenue, a 60.00 feet wide street and the South line of Melster Road, a 80.00 feet wide street.

Thence North $89^{\circ}-11'-00''$ West, in the South line of Melster Road, a distance of 600.00 feet to the P.C. of a curve.

Thence continuing in the South line of Melster Road, in the arc of a curve that deflects to the right, a distance of 257.24 feet to an iron pin found set and the principal place of beginning. Said curve has a radius of 591.61 feet, a central angle of $24^{\circ}-54'-47''$ and a chord bearing North $76^{\circ}-44'-00''$ West, a distance of 255.22 feet.

Thence continuing in the South line of Melster Road, in the arc of said curve deflecting to the right, a distance of 154.25 feet to an iron rod found set in the point of tangency. Said curve has a radius of 591.61 feet, a central angle of $14^{\circ}-56'-18''$ and a chord bearing North $56^{\circ}-47'-20''$ West, a distance of 153.81 feet.

Thence continuing in the South line of Melster Road, North $49^{\circ}-19'-20''$ West, a distance of 32.53 feet to a point. Said point is the P.C. of a curve.

Thence continuing in the South line of Melster Road, in the arc of a curve that deflects to the left, a distance of 16.22 feet to an iron pin set. Said curve has a radius of 511.61 feet, a central angle of $01^{\circ}-49'-00''$ and a chord bearing North $50^{\circ}-13'-50''$ West, a distance of 16.22 feet.

Thence South $00^{\circ}-41'-00''$ West, a distance of 221.47 feet to an iron pin set.

Thence South $89^{\circ}-19'-00''$ East, a distance of 167.19 feet to an iron rod found set.

Thence North $00^{\circ}-41'-00''$ East, a distance of 107.62 feet to the principal place of beginning, containing within said bounds 0.609 acres of land be the same more or less, but is subject to all legal highways and easements of record. As surveyed by Norman R. Hura, Registered Surveyor No. S-5208 dba Norman R. Hura & Associates in February, 1993.

Parcel 4:

Situated in the City of Lorain, County of Lorain and State of Ohio, and known as being Sublots Nos. 236 to 243 inclusive and Sublots Nos. 262 to 270 inclusive, as they appear on the plat for the Falbo Subdivision No. 2, Original Lot No. 6 Black River Township, City of Lorain.

1051 MEISTER ROAD
ABUTTING PROPERTY OWNERS

Diocese of Cleveland
3601 Oberlin Avenue
Lorain, OH 44053

Anthony S. Pawlowski
3346 Estelle Avenue
Lorain, OH 44052

Jackie L. Marrero
3309 Estelle Avenue
Lorain, OH 44052

Nellie Caraballo
3310 Estelle Avenue
Lorain, OH 44052

Helen Johnson Diaz
3280 Estelle Avenue
Lorain, OH 44052

3264 Estelle LLC
3264 Estelle Avenue
Lorain, OH 44052
Mailing Address:
3911 Miami Avenue
Lorain, OH 44053

Ronald A. and Kristin P. Vincek
3252 Estelle Avenue
Lorain, Ohio 44052

James A. Brown
1029 Meister Road
Lorain, OH 44052

Bella Villas LLC
1030 Meister Road
Lorain, OH 44052
Mailing Address:
5075 Oberlin Avenue
Suite #B
Lorain, OH 44053

Power Systems LLC
3159 Kay Avenue
Lorain, OH 44052
Mailing Address:
3 Windstar Court
Newport Beach, CA 92657

Kenneth S. Barlow
3164 Kay Avenue
Lorain, OH 44052

Amber M. Strader
1060 Meister Road
Lorain, OH 44052

TDI LORAIN, LLC
ELEVEN PARKWAY CENTER, SUITE 300
PITTSBURGH, PA 15220
PHONE: (412) 921-6100 FAX: (412) 921-0913

January 13, 2026

VIA FedEx

Evelisse Atkinson
Planning & Zoning Administrator
City of Lorain
Building, Housing and Planning Dept.
200 West Erie Avenue, 5th Floor
Lorain, Ohio 44052

Re: Lorain Plaza Shopping Center
Application for Zoning Reclassification

Dear Ms. Atkinson:

Enclosed is a Zoning Reclassification of Property Application together with the following requirements:

1. Legal Description marked Exhibit "A";
2. Copy of names and addresses of all abutting property owners;
3. Copy of the plot plan and survey of the property;
4. A narrative of what is being requested;
5. Check in the amount of \$500.00 covering the Building Department fee; and
6. Check in the amount of \$30.00 covering the Engineering Department fee.

Please accept this application, advise if the same meets with your approval and if it will be set for public hearing on Wednesday, February 4, 2026.

If you have any questions or need additional information, please contact me at 412-921-6105 x 254.

Sincerely,



Steve Weisbrod
Senior Vice President of Real Estate
and Operations

SW/mas
Enclosures
cc: Curtis Kossman



CITY OF LORAIN

Planning Commission

5. A.

Meeting Date: 02/04/2026

Subject:

Correspondence regarding a Moratorium on the Development of Additional Storage Units at 1051 Meister Rd., Lorain, OH 44052.

Attachments

Correspondence Letter



LORAIN CITY COUNCIL
200 WEST ERIE AVE, ROOM 103
LORAIN OH 44052
CITYOFLORAIN.ORG

OFFICE (440)204-2050

FAX (440)204-2521

Wednesday, August 20, 2025

To the Members of the Lorain Zoning Board:

I am writing with a deep sense of urgency to request an immediate moratorium on the development of additional storage units in the City of Lorain, particularly within the 3rd Ward. While storage units may generate limited property tax revenue and temporary construction jobs, they do not create lasting employment, essential services, or vibrant commercial activity. In fact, an overabundance of storage facilities threatens the vitality of our neighborhoods and limits opportunities for meaningful economic growth.

The impending closure of the Apples Grocery Store on Meister Road highlights the critical decisions we face. Potentially converting this key community space into another storage facility would be a devastating loss for our residents, who rely on accessible goods, services, and local jobs. The city cannot afford to allow these spaces to be used in ways that provide minimal benefit while stifling real economic opportunity.

We must take bold action to attract businesses that bring good-paying jobs, essential services, and sustainable growth to Lorain. I urge the Administration and Zoning Board to work proactively with property owners to explore alternatives that serve the long-term interests of our community. Additionally, establishing minimum distance requirements between storage units would help prevent oversaturation and ensure that our commercial corridors are used strategically to strengthen, not weaken, our neighborhoods.

The future of the 3rd Ward—and the city as a whole—depends on the decisions we make today. Our residents deserve investments that revitalize neighborhoods, support families, and foster economic opportunity. Every empty lot or vacated building is a chance to create real value, and storage units are not that solution.

I urge the Zoning Board to act decisively, placing the needs of Lorain's residents and its economic future above short-term convenience. The time to prioritize real economic development and neighborhood vitality is now.

Thank you for your urgent attention to this matter.

Sincerely,
Pamela Carter
Councilwoman, 3rd Ward