



Date: September 11th, 2024

Project: All Seasons Arena Renovation	City Project No.: 11075 State Project No.:
Contractor: Met-Con Construction	Date of Contract:

The Contract is modified as follows upon execution of this Change Order:

Description: Change Order 006 –

PCI #023: Area C Stair Infill: A new detail was provided as there was not an existing concrete topping in this area. After reviewing the detail, there was additional support needed at the existing precast plank. The solution provided was to fill the open core with non shrink grout.

PCI #038 PR #006: KCS requested a PR from the design team to clear up expectations of the west stair modifications. Items included: Salvaged stone wall, clean stone and match existing stone coursing and pattern, new limestone sill, includes cast in place concrete stone ledge with #5 rebar and embed into existing.

PCI #043 RFI 075 Met-Con Pricing (Replace 8mm Ecore Basic ONLY): Previous pricing (PCI #047) included removal of the existing rubber flooring, glue and accessories around the south rink perimeter to allow for saw cutting to occur 1' from the rink edge to pour back a clean edge. This pricing includes installation of Ecore 8mm Basic Fit rubber flooring as well as accessories needed. Flooring to match existing/previous thickness.

PCI #045 PR #005: KCS requested a PR from the design team to show modified site/utility details. Including a revised vertical rain leader intake, replacement of sidewalk with rock mulch, shift of storm drain/overflow 4" to the south and a revised ceiling height at rooms per a previous RFI response

PCI #048 Wall infill on 2nd floor (Per owner site walkthrough): Per a site walkthrough with Met-Con, owner requested adding a new metal stud wall, complete with drywall and paint in the hallway between Press S-201 and Circulation/Viewing S-212 to cover the existing metal building structure, conduits and fill in the existing gap at the end of the precast plank.

PCI #049 RFI 088 Elevator Equipment Room Existing Exhaust Fan Opening: HVAC plans showed existing equipment in the room to remain. The fan and intake had to be removed to allow for the new ceiling installation. Due to new ceiling height, it did not allow the fan to be reinstalled in its existing location. Per onsite discussion, the decision was to move the fan down one course of block to allow for clearance and fill the existing opening.

Attachments:

ITEM	DESCRIPTION	UNIT	EST QTY	UNIT PRICE	TOTAL AMOUNT
023	RFI #064 - Area C Stair Infill	1		\$2,984.86	\$2,984.86
038	PR #006 – Exterior stairs/masonry	1		\$24,151.65	\$24,151.65
043	RFI #075 Met-Con Pricing (Replace 8mm Ecore Basic ONLY)	1		\$30,565.50	\$30,565.50
045	PR #005	1		-\$1,620.00	-\$1,620.00
048	Wall infill on 2 nd floor (Per owner site walkthrough)	1		\$2,439.96	\$2,439.96
049	RFI #088 Elevator Equipment Room Existing Exhaust Fan Opening	1		\$1,172.82	\$1,172.82
TOTAL CHANGE ORDER					\$59,694.79

CHANGE IN CONTRACT PRICE:

Original Contract Price:	\$	2,986,800.00
Total from previously approved Change Orders:	\$	209,900.23
Contract Price prior to this Change Order:	\$	3,196,700.23
Net increase (decrease) of this Change Order:	\$	59,694.79
New Contract Price:	\$	3,256,395.02

CHANGE IN CONTRACT TIME:

Original date of substantial completion: 09/12/2025
New change in contract duration from previously
approved Change Orders: 0
New date of substantial completion: 09/12/2025

The Contractor shall not make claim of any kind or character whatsoever for any other costs or expenses which he may have incurred or which he may hereinafter incur in performing the work and furnishing the materials required by the agreement. All Change Orders that exceed \$25,000 must be approved by the City Council.

PREPARED

By: Jared Mueller
Jared Mueller, Knutson Construction

Date: 09/11/2024

ACCEPTED

By: _____
Contractor (Auth. Signature)

Date: _____

☐ Facilities Manager (original)

REVIEWED

By: _____
Knutson Construction - CMA

Date: _____

APPROVED

By: _____
City Manager (Auth. Signature)

Date: _____

☐ Contractor

☐ Facilities Supervisor

RECOMMENDED

By: _____
Facilities Manager (Auth. Signature)

Date: _____

APPROVED

By: _____
Owner (Auth. Signature)

Date: _____

☐ DSAE (for funding review-if necessary)

COST PROPOSAL

All Seasons Arena Owners Representative

 1251 Monks Avenue
 Mankato, MN 56001

To:	Jim Tatge City of Mankato P.O. Box 3368 10 Civic Center Plaza Mankato, 56002-3368	Knutson PCI #:	CONT-023
		Knutson Job #:	2340015
		Date Submitted:	6/25/24
From:	Jared Mueller Knutson Construction Rochester 5985 Bandel RD NW Rochester, MN 55901	Status:	Submitted
		Source Type:	
		Reason:	

Description of Proposed Change

RFI #064 - Area C Stair Infill

Additional Scope of Work Details
COST SUMMARY

Description	Vendor	Qty	UofM	Amount
RFI #064 - Area C Stair Infill	Met-Con Construction	1	LS	\$2,984.86

Total Cost Proposal Amount: \$2,984.86

Days Impact (calendar days):

Please allow the above stated additional calendar days to the project schedule to complete this work scope change. The price quoted and days extension requested are for the direct impact of the requested change. We reserve the right to seek additional compensation and / or time extension for the cumulative effect of changes on the entire project that cannot be foreseen at this time.

Met-Con Construction, Inc.

15760 Acorn Trail
Faribault, MN 55021
Ph : (507)332-2266

Change Request

To: Jared Mueller
Knutson Construction
111 South Secon Street,
Suite 610
Mankato, MN 56001
Ph: 507-280-9788

Date: 6/20/24
Job: 34680 City Mankato/All Seasons Arena
Phone:

Description: RFC #006

Source: RFI # 064

We are pleased to offer the following specifications and pricing to make the following changes:

Add non-shrink grout at precast area C stair infill per RFI #064 response.

Description	Labor	Material	Equipment	Subcontract	Other	Price
Concrete	\$2,160.00	\$445.00	\$72.00			\$2,677.00
					Subtotal:	\$2,677.00
		Sub OH&P				\$0.00
		Self-Perform OH&P		\$2,677.00	10.00%	\$267.70
		Performance Bond		\$2,677.00	1.50%	\$40.16
					Total:	\$2,984.86
The schedule is not affected by this change.						
If you have any questions, please contact me at (507)332-2266.						

Submitted by: Bauer, Jennifer
Met-Con Companies-USE V#13417

Approved by: _____
Date: _____

Cc: Justin Fahey (Knutson Construction)



Knutson Construction
111 S 2nd St, Suite 610
Mankato, Minnesota 56001
P: (507) 280-9788

Project: 2340015 All Seasons Arena Owners
Representative
1251 Monks Avenue
Mankato, Minnesota 56001

RFI #64: Area C Stair infill

Status	Open		
To	Carter Burroughs (I & S Group, Inc.) Kalob Hays (I & S Group, Inc.)	From	Jennifer Bauer (Met-Con Construction) 15760 Acorn Trail Faribault, Minnesota 55021
Date Initiated	Jun 19, 2024	Due Date	Jun 24, 2024
Cost Impact		Project Stage	Course of Construction
Spec Section		Schedule Impact	
Drawing Number		Reference	
Linked Drawings			
Received From	Chuck Culhane (Met-Con Construction)		
Copies To	Jennifer Bauer (Met-Con Construction), Chuck Culhane (Met-Con Construction), Casey Funk (Met-Con Construction), Jared Mueller (Knutson Construction - Rochester), Barry Wright (Knutson Construction - Rochester)		
Proposed Suggestion			

Activity

Question	Question from Jennifer Bauer Met-Con Construction on Wednesday, Jun 19, 2024 at 02:46 PM CDT In area C at the stair infill - is support needed at the existing precast that was cut flush to allow for RFI #12 revised ISG detail to work? Plank is open at least 12". Please see attached photo and advise how to proceed. Attachments IMG_3220.pdf
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Fill open core with non shrink grout.

Answered by: Josh Kvasnicka, P.E.
ISG

Date: 6/20/2024



Justin Fahey

From: Jennifer Bauer <jennifer.bauer@met-con.com>
Sent: Friday, June 28, 2024 1:48 PM
To: Justin Fahey
Cc: Chuck Culhane
Subject: RE: ASA - RFI #064

CAUTION: This email originated from outside of the Knutson Construction email system. Do not click on links or open attachments unless you were expecting this email.

1'0"x1'-2"x12'-0"

Thank you,

Jennifer Bauer Project Manager
Office: (507) 332-2266
Cell: (507) 291-1107
jennifer.bauer@met-con.com
15760 Acorn Trail Faribault, MN 55021



From: Justin Fahey <jfahey@knutsonconstruction.com>
Sent: Friday, June 28, 2024 8:26 AM
To: Jennifer Bauer <jennifer.bauer@met-con.com>
Subject: RE: ASA - RFI #064

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Can you give me some brief dimensions? City is stating that they think the pricing is high.

Give me a call if needed.

Thanks,

Justin Fahey, Assistant Project Manager
111 South 2nd Street, Suite 610, Mankato, Minnesota 56001
o: 507.280.9788 | c: 952.992.0508
e: jfahey@knutsonconstruction.com | w: knutsonconstruction.com



INTEGRITY

We do the right thing.

We follow through on our promises.



KnutsonConstruction



From: Jennifer Bauer <jennifer.bauer@met-con.com>

Sent: Tuesday, June 25, 2024 4:17 PM

To: Justin Fahey <jfahey@knutsonconstruction.com>

Subject: RE: ASA - RFI #064

CAUTION: This email originated from outside of the Knutson Construction email system. Do not click on links or open attachments unless you were expecting this email.

Good afternoon Justin,

See the attached photo with RFI #064 .

Thank you,

Jennifer Bauer Project Manager

Office: (507) 332-2266

Cell: (507) 291-1107

jennifer.bauer@met-con.com

15760 Acorn Trail Faribault, MN 55021



"We can do that"

From: Justin Fahey <jfahey@knutsonconstruction.com>

Sent: Tuesday, June 25, 2024 2:51 PM

To: Jennifer Bauer <jennifer.bauer@met-con.com>

Subject: ASA - RFI #064

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Jennifer –

The City of Mankato is reviewing some open pricing items. One question they had regarding RFI #064 was how big of an area it is to fill with non shrink grout? Can you please confirm?

Thanks!

Justin Fahey, Assistant Project Manager

111 South 2nd Street, Suite 610, Mankato, Minnesota 56001

o: 507.280.9788 | c: 952.992.0508

e: jfahey@knutsonconstruction.com | w: knutsonconstruction.com



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We follow through on our promises.



KnutsonConstruction



COST PROPOSAL

All Seasons Arena Owners Representative

1251 Monks Avenue
Mankato, MN 56001

To:	Jim Tatge City of Mankato P.O. Box 3368 10 Civic Center Plaza Mankato, 56002-3368	Knutson PCI #:	CONT-038
		Knutson Job #:	2340015
		Date Submitted:	8/12/24
From:	Jared Mueller Knutson Construction Rochester 5985 Bandel RD NW Rochester, MN 55901	Status:	Submitted
		Source Type:	
		Reason:	

Description of Proposed Change

PR #006

Additional Scope of Work Details**COST SUMMARY**

Description	Vendor	Qty	UofM	Amount
Trade Package 01A (PR #006)	Met-Con Construction	1	LS	\$24,151.65

Total Cost Proposal Amount: \$24,151.65

Days Impact (calendar days):

Please allow the above stated additional calendar days to the project schedule to complete this work scope change. The price quoted and days extension requested are for the direct impact of the requested change. We reserve the right to seek additional compensation and / or time extension for the cumulative effect of changes on the entire project that cannot be foreseen at this time.

**AIA**[®]**Document G709™ – 2018****Proposal Request****PROJECT:** *(name and address)*All Seasons Arena Renovation
Mankato, MN**CONTRACT INFORMATION:**Contract For: General Construction
Date:

Architect's Project Number: 23-29969

Proposal Request Number: 006

Proposal Request Date: July 30, 2024

OWNER: *(name and address)*ASA Joint Powers Board
1251 Monks Avenue
Mankato, Minnesota 56001**ARCHITECT:** *(name and address)*I&S Group, Inc. (ISG)
115 E. Hickory Street, Suite 300
Mankato, Minnesota 56001**CONTRACTOR:** *(name and address)*Knutson Construction - Mankato
111 South Second Street, Suite 410
Mankato, MN 56001

The Owner requests an itemized proposal for changes to the Contract Sum and Contract Time for proposed modifications to the Contract Documents described herein. The Contractor shall submit this proposal within Five (5) days or notify the Architect in writing of the anticipated date of submission.

(Insert a detailed description of the proposed modifications to the Contract Documents and, if applicable, attach or reference specific exhibits.)

Description of Proposed Modifications to Contract:

1. Refer to revised Plan Sheet A1-21 – First Floor Plan – Overall
 - a. Revised west stone wall and west stair of the South Rink.
2. Refer to revised Plan Sheet A1-21C – First Floor Plan – Area C
 - a. Revised west stone wall and west stair of the South Rink.
 - b. Added keynotes 139 and 142.
 - c. Added detail callout 6/A3-30.
3. Refer to revised Plan Sheet A1-22 – Second Floor Plan – Overall
 - a. Revised west stone wall and west stair of the South Rink.
4. Refer to revised Plan Sheet A1-22C – Second Floor Plan – Area C
 - a. Revised west stone wall and west stair of the South Rink.
 - b. Added detail callout 6/A3-30.
5. Refer to revised Plan Sheet A2-11 – Exterior Elevations
 - a. Revised west stone wall and west stair of the South Rink.
6. Refer to revised Plan Sheet A2-12 – Exterior Elevations – Refrigeration Room
 - a. Revised west stone wall and west stair of the South Rink.
 - b. Added keynotes 139 and 142.
 - c. Added detail callout 6/A3-30.
7. Refer to revised Plan Sheet A3-30 – Plan Details
 - a. Added detail 6: Section Thru West Stone Wall
8. Refer to revised Plan Sheet A7-12 – Enlarged Vertical Circulation Sections
 - a. Revised stair to shift west 4” for addition of stone wall.
9. Refer to revised Plan Sheet S1-11C – Foundation Plan – Area C
 - a. Revised exterior west stair of the south rink support locations for stone wall
 - i. Revised pier spacing to coordinate with stone wall
 - b. Added cast in place concrete stone ledge detail for stone wall support
 - c. Added keynote 97
10. Refer to revised Plan Sheet S2-12 – Foundation & Slab Details
 - a. Added detail 8 for stone wall support

Attachments:

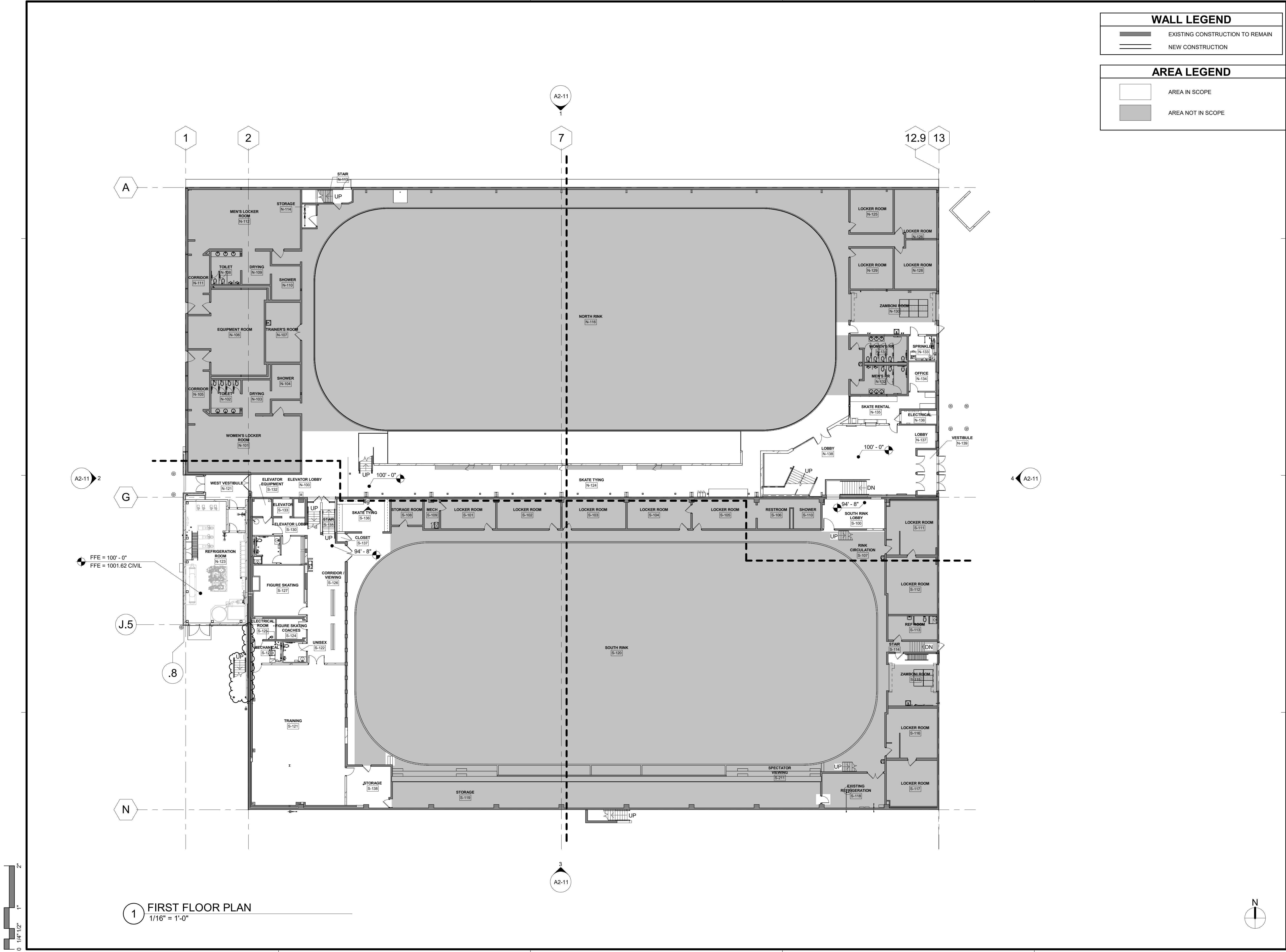
1. Revised Plan Sheet A1-21 – First Floor Plan – Overall
2. Revised Plan Sheet A1-21C – First Floor Plan – Area C
3. Revised Plan Sheet A1-22 – Second Floor Plan – Overall
4. Revised Plan Sheet A1-22C – Second Floor Plan – Area C
5. Revised Plan Sheet A2-11 – Exterior Elevations
6. Revised Plan Sheet A2-12 – Exterior Elevations – Refrigeration Room
7. Revised Plan Sheet A3-30 – Plan Details
8. Revised Plan Sheet A7-12 – Enlarged Vertical Circulation Sections

9. Revised Plan Sheet S1-11C – Foundation Plan – Area C
10. Revised Plan Sheet S2-12 – Foundation & Slab Details

THIS IS NOT A CHANGE ORDER, A CONSTRUCTION CHANGE DIRECTIVE, OR A DIRECTION TO PROCEED WITH THE WORK DESCRIBED IN THE PROPOSED MODIFICATIONS.

REQUESTED BY THE ARCHITECT:

Kalob Hays, Assistant Project Manager
PRINTED NAME AND TITLE



WALL LEGEND

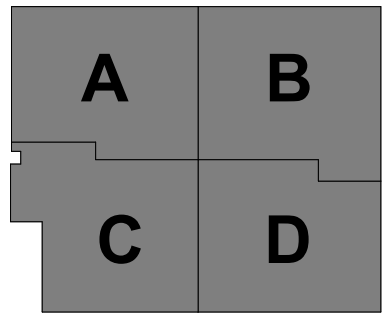
EXISTING CONSTRUCTION TO REMAIN

NEW CONSTRUCTION

AREA LEGEND

AREA IN SCOPE

AREA NOT IN SCOPE



KEYPLAN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE 07/25/2024 LIC. NO. 49451

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

JEREMY WIESEN

DATE 07/25/2024 LIC. NO. 49451

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PROJECT

ALL SEASONS
ARENA
RENOVATION

MANKATO MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
03/13/24	ADDENDUM #03	KKT
05/24/24	PROPOSAL REQUEST #02	SLD
06/27/24	PROPOSAL REQUEST #03	KKT
07/25/24	PROPOSAL REQUEST #06	KKT

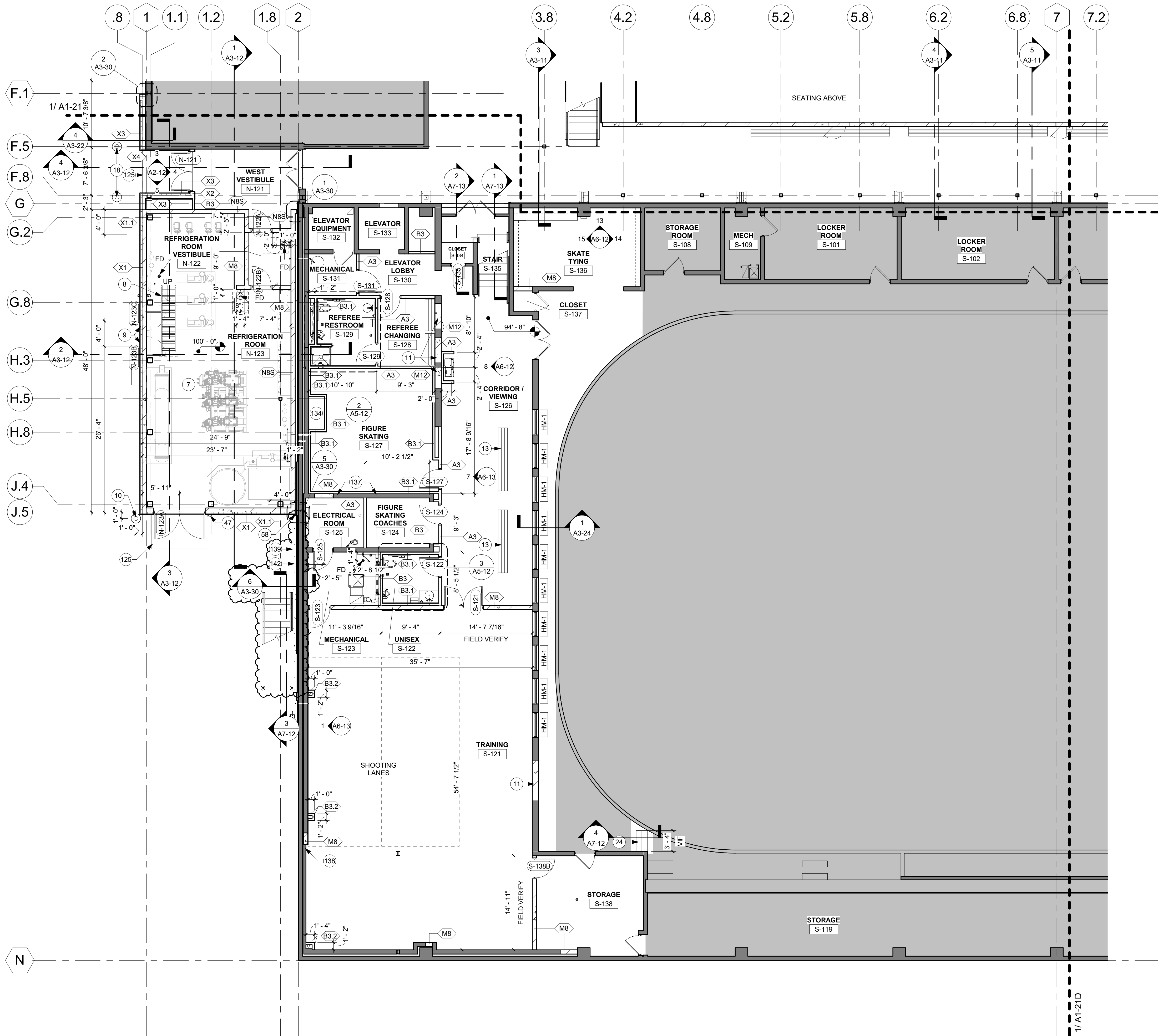
PROJECT NO.	23-29969
FILE NAME	29969 Arch R22.rvt
DRAWN BY	KKT
DESIGNED BY	KKT
REVIEWED BY	JPW
ORIGINAL ISSUE DATE	02/26/2024
CLIENT PROJECT NO.	

TITLE

FIRST FLOOR
PLAN - OVERALL

SHEET

A1-21

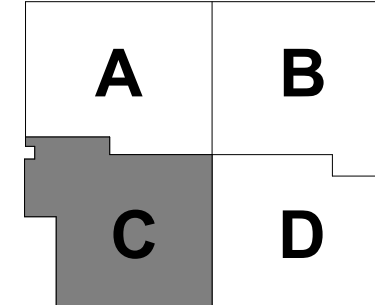


WALL LEGEND	
	EXISTING CONSTRUCTION TO REMAIN
	NEW CONSTRUCTION

AREA LEGEND	
	AREA IN SCOPE
	AREA NOT IN SCOPE

SHEET NOTES	
A. ALL INTERIOR PARTITION WALLS SHALL BE WALL TYPE A3, UNLESS OTHERWISE NOTED.	

KEYNOTE LEGEND	
8	SHIPS LADDER.
9	ACCESS DOOR FOR TEMPORARY CHILLER CONNECTIONS. SEE DOOR SCHEDULE. PROVIDE REMOVABLE METAL PANEL COVER ON EXTERIOR TO MATCH ADJACENT METAL PANEL.
10	8" BOLLARD SET IN PIER, REFER TO STRUCTURAL. PAINT TO MATCH EF-1.
11	INFILL OPENING TO MATCH ADJACENT WALL.
13	NEW BENCH.
18	8" BOLLARD SET IN PIER, REFER TO STRUCTURAL. PAINT TO MATCH EF-2.
24	NEW ALUMINUM BOX STEP BY BLEACHER MANUFACTURER. STEP HEIGHT TO CREATE EQUAL RISERS HEIGHTS.
47	KNOX BOX. COORDINATE FINAL LOCATION WITH LOCAL FIRE DEPARTMENT.
58	EXPANSION JOINT.
125	STOOP, REFER TO STRUCTURAL.
134	CONTRACTOR TO VERIFY LOCATION AND SIZE OF CHASE WITH RINK CONTRACTOR. BUILD CHASE AS SMALL AS POSSIBLE.
137	INFILL ALL OPENINGS IN MASONRY WALL TO MATCH EXISTING ADJACENT WALL.
138	INFILL WALL WITH 4" CMU TO COVER COLUMN. MATCH ADJACENT WALL SURFACES.
139	SALVAGED STONE WALL. CLEAN STONE PRIOR TO INSTALLATION. MATCH EXISTING STONE COURSING AND PATTERN. PROVIDE 2" MINIMUM CLEARANCE TO SOUTH WALL OF REFRIGERATION ROOM.
142	NEW LIMESTONE SILL.



KEYPLAN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

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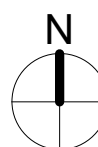
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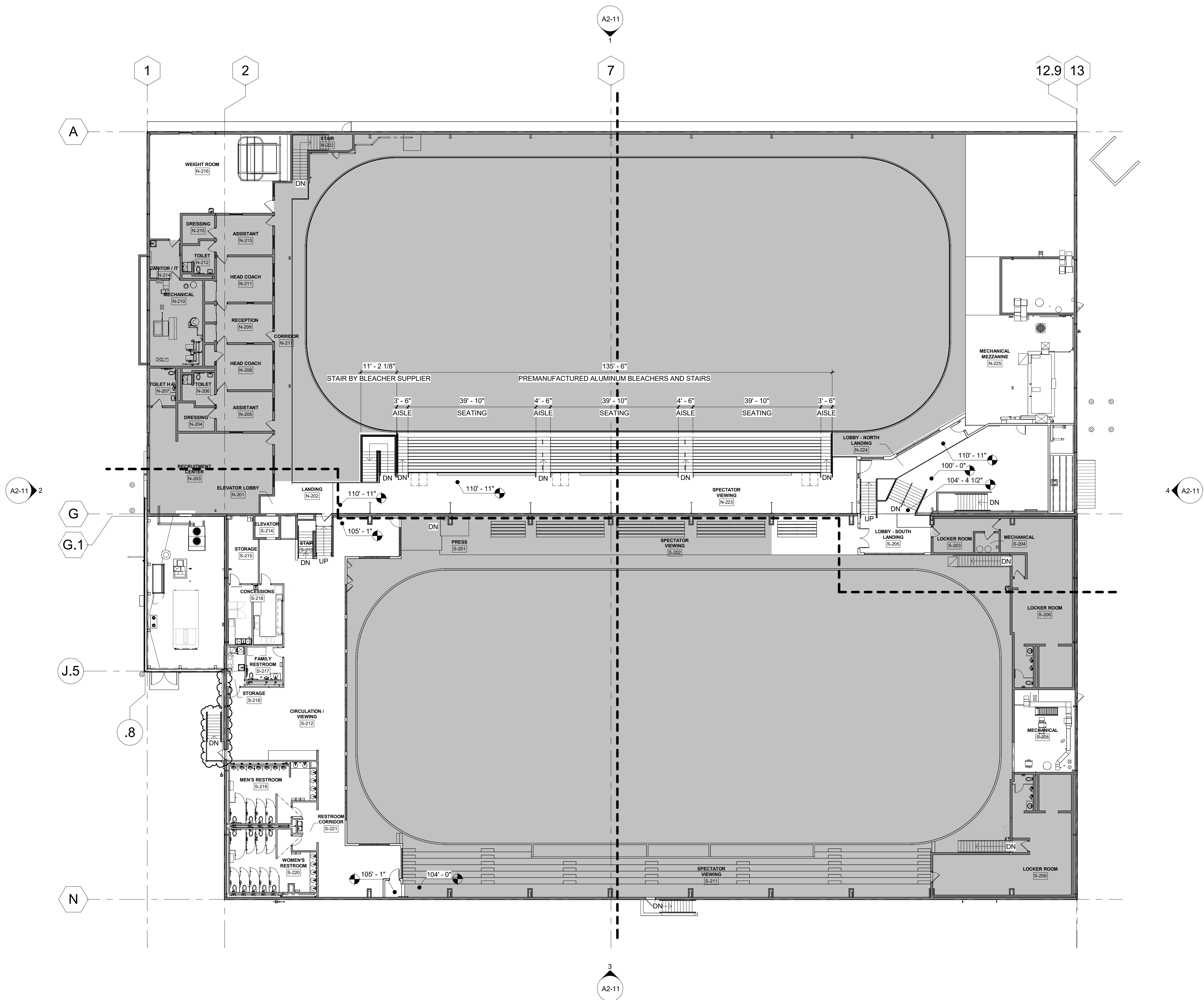
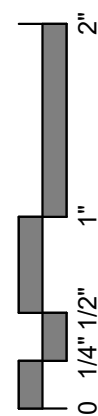
FIRST FLOOR PLAN - AREA C

SHEET

A1-21C

1 FIRST FLOOR PLAN - AREA C
1/8" = 1'-0"





WALL LEGEND

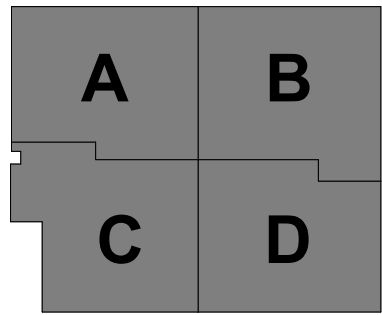
EXISTING CONSTRUCTION TO REMAIN

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AREA LEGEND

AREA IN SCOPE

AREA NOT IN SCOPE



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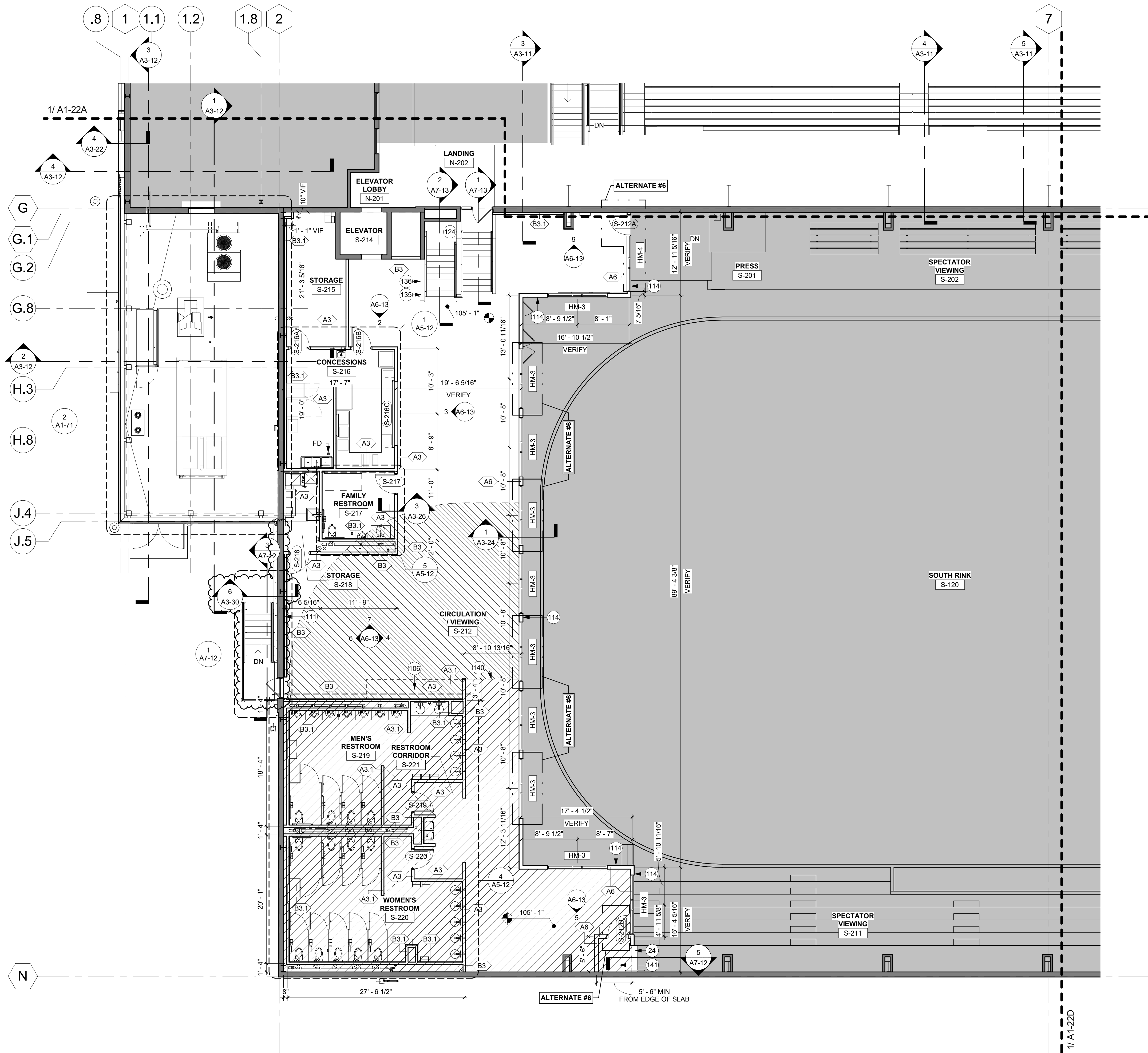
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REVIEWED BY	JPW
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CLIENT PROJECT NO.	

TITLE

SECOND FLOOR
PLAN - OVERALL

SHEET

A1-22



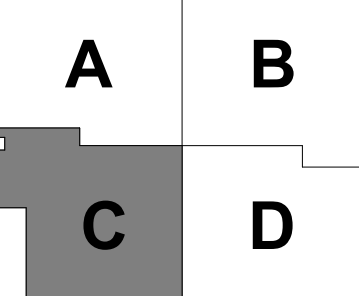
WALL LEGEND	
	EXISTING CONSTRUCTION TO REMAIN
	NEW CONSTRUCTION

AREA LEGEND	
	AREA IN SCOPE
	AREA NOT IN SCOPE

FLOOR TOPPING LEGEND	
	PROVIDE NEW CONCRETE TOPPING (MAX 1 1/4" THICKNESS) WITHIN REGION. PREPARE EXISTING SLAB PER MFR. REQUIREMENTS.
	PROVIDE NEW CONCRETE TOPPING SLOPED DOWN 1/32" PER FOOT UNTIL FLUSH WITH EXISTING FLOOR ELEVATION. PREPARE EXISTING SLAB PER MFR. REQUIREMENTS.

SHEET NOTES	
A. ALL INTERIOR PARTITION WALLS SHALL BE WALL TYPE A3, UNLESS OTHERWISE NOTED.	

KEYNOTE LEGEND	
24	NEW ALUMINUM BOX STEP BY BLEACHER MANUFACTURER. STEP HEIGHT TO CREATE EQUAL RISER HEIGHTS.
106	RELOCATED VENDING MACHINES.
111	PROVIDE ADDITIONAL BLOCKING IN WALL AS NEEDED FOR WALL MOUNTED PICTURE RAILS. REFER TO SHEET A6-13 INTERIOR ELEVATIONS FOR EXACT SIZE AND LOCATION.
114	IMPACT RESISTANT GYP. BOARD THIS SIDE OF NEW WALL.
124	PATCH, REPAIR, AND FINISH GYP WALLS AT AREAS WITH RAISED CEILING. REFER TO RCP FOR CEILING HEIGHT AND EXTENT.
135	NEW WALL CAP ON KNEE WALL. REFER TO A7-13 AND FINISH SCHEDULE.
136	ADD GYPSUM BOARD TO EXISTING METAL STUD WALL.
140	TOPPING TO DROP 10 MM FOR INSTALLATION OF RUBBER FLOORING. PROVIDE CUSTOM TRANSITION STRIP BETWEEN FLOOR TYPES. COORDINATE DROP IN HEIGHT WITH FLOOR THICKNESS AND TRANSITION TYPE.
141	TAPER TOPPING AS REQUIRED TO MAINTAIN CODE COMPLIANCE FOR MAXIMUM STAIR RISER HEIGHTS.



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JEREMY WIESEN
Jeremy Wiesen

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ALL SEASONS ARENA RENOVATION

MANKATO MINNESOTA

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PROJECT NO.	23-29969
FILE NAME	29969 Arch R22.rvt
DRAWN BY	KKT
DESIGNED BY	KKT
REVIEWED BY	JPW
ORIGINAL ISSUE DATE	02/26/2024
CLIENT PROJECT NO.	

SECOND FLOOR PLAN - AREA C

SHEET
A1-22C

1 SECOND FLOOR PLAN - AREA C
1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE						
MARK	MATERIAL TYPE	MANUFACTURER	MODEL / SIZE	COLOR	ADDITIONAL INFORMATION	COMMENTS
EF-1	PROFILE METAL PANEL	CENTRIA	CONCEALED FASTENER IW-20A	9921 CHARCOAL GRAY	VERTICAL INSTALLATION	--
EF-2	PROFILE METAL PANEL	CENTRIA	CONCEALED FASTENER IW-41A	9921 CHARCOAL GRAY	DIAGONAL INSTALLATION	--
EF-3	PROFILE METAL PANEL	CENTRIA	CONCEALED FASTENER IW-14A	9919 FASHION GRAY	VERTICAL INSTALLATION	--
EF-4	METAL PARAPET CAP	CENTRIA	--	9921 CHARCOAL GRAY	--	--
EF-5	LOUVERS	CENTRIA	LOUVER BR5-36	9921 CHARCOAL GRAY	HORIZONTAL INSTALLATION	20 GA, 3" BLADE DEPTH
EF-6	STONE	NA	PATTERN OF INSTALL TO MATCH EXISTING	EXISTING	NA	SALVAGED STONE FROM DEMOLITION; GROUT COLOR TO MATCH EXISTING
EF-7	PAINT	SHERWIN WILLIAMS	NA	TBD	NA	BID ALTERNATE: PAINT ALL EXISTING EXTERIOR METAL PANEL AND EXISTING HOLLOW METAL DOORS AND FRAMES.
EF-8	PAINT	SHERWIN WILLIAMS	NA	SW 7615 SEA SERPENT	--	NEW HOLLOW METAL DOORS AND FRAMES, ALL OF NEW EXTERIOR STAIR INCLUDING FRAMING, STRINGERS, TREADS / LANDING, GUARDRAIL, AND HANDRAIL.
EF-9	BURNISHED CMU	AMCON	8"X8"X16"	302 SHADOW	DUMPSTER ENCLOSURE VINYL SLATS TO BE GRAY	GROUT: STANDARD GRAY

KEYNOTE LEGEND	
17	PATCH AND REPAIR ALL PENETRATIONS FROM REMOVED EQUIPMENT. INFILL OPENINGS AND MATCH ADJACENT WALLS WITH SALVAGED METAL PANEL.
38	BID ALTERNATE: INFILL WINDOW OPENING WITH FRAMING AND SALVAGED METAL PANEL TO MATCH ADJACENT WALLS INTERIOR AND EXTERIOR FINISHES.
D45	REMOVE EXISTING HYDRANT/HOSE BIBB AND PATCH OPENING.



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DATE 07/25/2024 LIC. NO. 49451
JEREMY WIESEN
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

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PROJECT
**ALL SEASONS
ARENA
RENOVATION**

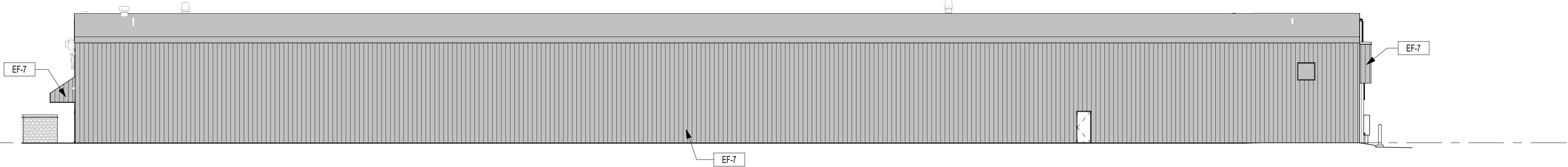
MANKATO MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
03/13/24	ADDENDUM #03	KKT
06/27/24	PROPOSAL REQUEST #03	KKT
07/25/24	PROPOSAL REQUEST #06	KKT

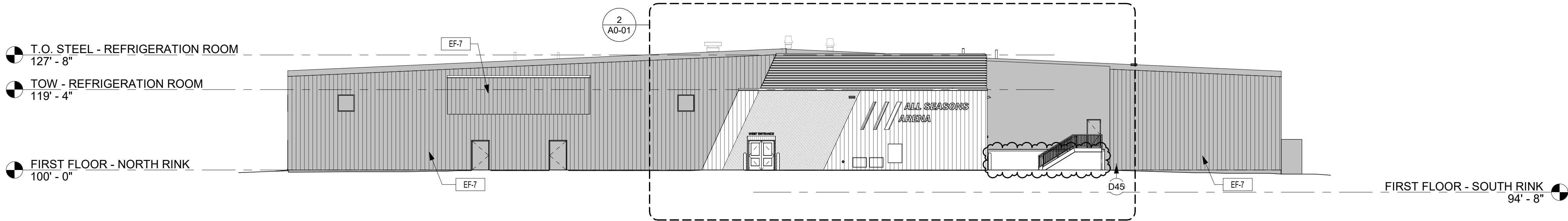
PROJECT NO.	23-29969
FILE NAME	29969 Arch R22.rvt
DRAWN BY	KKT
DESIGNED BY	KKT
REVIEWED BY	JPW
ORIGINAL ISSUE DATE	02/26/2024
CLIENT PROJECT NO.	

TITLE
**EXTERIOR
ELEVATIONS**

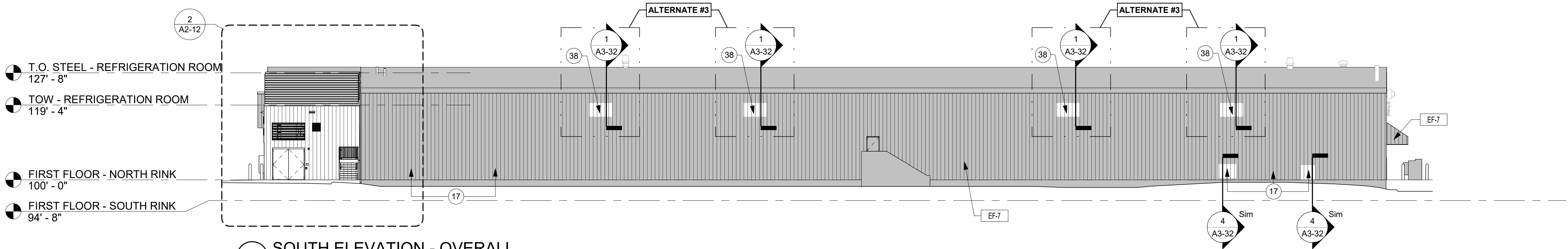
SHEET
A2-11



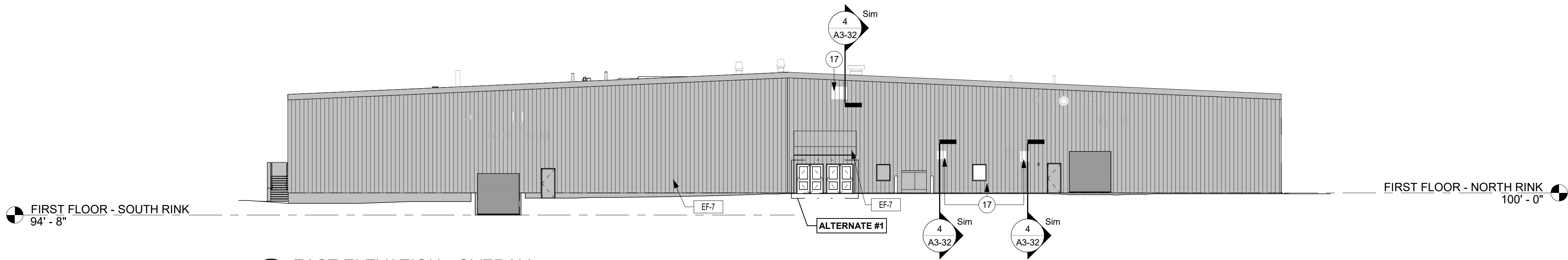
1 NORTH ELEVATION - OVERALL
1/16" = 1'-0"



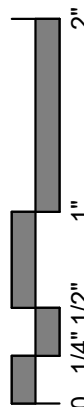
2 WEST ELEVATION - OVERALL
1/16" = 1'-0"



3 SOUTH ELEVATION - OVERALL
1/16" = 1'-0"

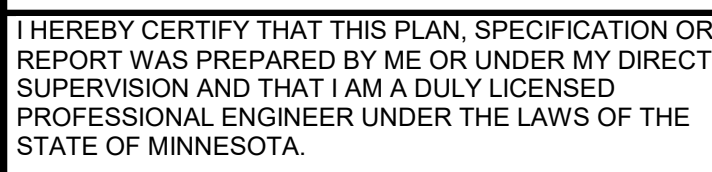


4 EAST ELEVATION - OVERALL
1/16" = 1'-0"



EXTERIOR FINISH SCHEDULE						
MARK	MATERIAL TYPE	MANUFACTURER	MODEL / SIZE	COLOR	ADDITIONAL INFORMATION	COMMENTS
EF-1	PROFILE METAL PANEL	CENTRIA	CONCEALED FASTENER IW-20A	9921 CHARCOAL GRAY	VERTICAL INSTALLATION	--
EF-2	PROFILE METAL PANEL	CENTRIA	CONCEALED FASTENER IW-41A	9921 CHARCOAL GRAY	DIAGONAL INSTALLATION	--
EF-3	PROFILE METAL PANEL	CENTRIA	CONCEALED FASTENER IW-14A	9919 FASHION GRAY	VERTICAL INSTALLATION	--
EF-4	METAL PARAPET CAP	CENTRIA	--	9921 CHARCOAL GRAY	--	--
EF-5	LOUVERS	CENTRIA	LOUVER BR5-36	9921 CHARCOAL GRAY	HORIZONTAL INSTALLATION	20 GA, 3" BLADE DEPTH
EF-6	STONE	NA	PATTERN OF INSTALL TO MATCH EXISTING	EXISTING	NA	SALVAGED STONE FROM DEMOLITION; GROUT COLOR TO MATCH EXISTING
EF-7	PAINT	SHERWIN WILLIAMS	NA	TBD	NA	BID ALTERNATE: PAINT ALL EXISTING EXTERIOR METAL PANEL AND EXISTING HOLLOW METAL DOORS - ALTERNATE
EF-8	PAINT	SHERWIN WILLIAMS	NA	SW 7615 SEA SERPENT	--	NEW HOLLOW METAL DOORS AND FRAMES: ALL OF NEW EXTERIOR STAIR INCLUDING FRAMING, STRINGERS, TREADS/LANDING, GUARDRAIL, AND HANDRAIL.
EF-9	BURNISHED CMU	AMCON	8"X8"X16"	302 SHADOW	DUMPSTER ENCLOSURE VINYL SLATS TO BE GRAY	GROUT: STANDARD GRAY

KEYNOTE LEGEND	
9	ACCESS DOOR FOR TEMPORARY CHILLER CONNECTIONS. SEE DOOR SCHEDULE. PROVIDE REMOVABLE METAL PANEL COVER ON EXTERIOR TO MATCH ADJACENT METAL PANEL.
10	8" BOLLARD SET IN PIER. REFER TO STRUCTURAL. PAINT TO MATCH EF-1.
14	BID ALTERNATE: 20" TALL INTERNALLY ILLUMINATED LETTERS. FONT: FRANKLIN GOTHIC DEMI. STYLE: ITALIC.
18	8" BOLLARD SET IN PIER. REFER TO STRUCTURAL. PAINT TO MATCH EF-2.
36	6" TALL CAST LETTERS. FONT: TBD.
37	ELECTRICAL CABINET. REFER TO ELECTRICAL DOCUMENTS.
39	PROVIDE FIRE-RESISTANCE TREATED BLOCKING WITHIN THE DASHED REGION FOR SIGNAGE INSTALLATION.
40	KNOX KICK COORDINATE FINAL LOCATION WITH LOCAL FIRE DEPARTMENT.
116	LAMBS TONGUE. REFER TO MECH. DRAWINGS. LOCATION TO BE COORDINATED WITH CIVIL DRAIN LOCATION.
122	PROVIDE MITERED CORNER AND RETURN ON LOUVERS
123	CAP FLASHING OVER TOP OF LOUVERS AND TUBE STEEL TO MATCH EF-5
139	SALVAGED STONE WALL. CLEAN STONE PRIOR TO INSTALLATION. MATCH EXISTING STONE COURSING AND PATTERN. PROVIDE 2" MINIMUM CLEARANCE TO SOUTH WALL OF REFRIGERATION ROOM.
142	NEW LIMESTONE SILL.



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Jeremy Wilson

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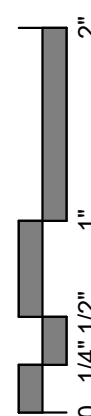
ALL SEASONS ARENA RENOVATION

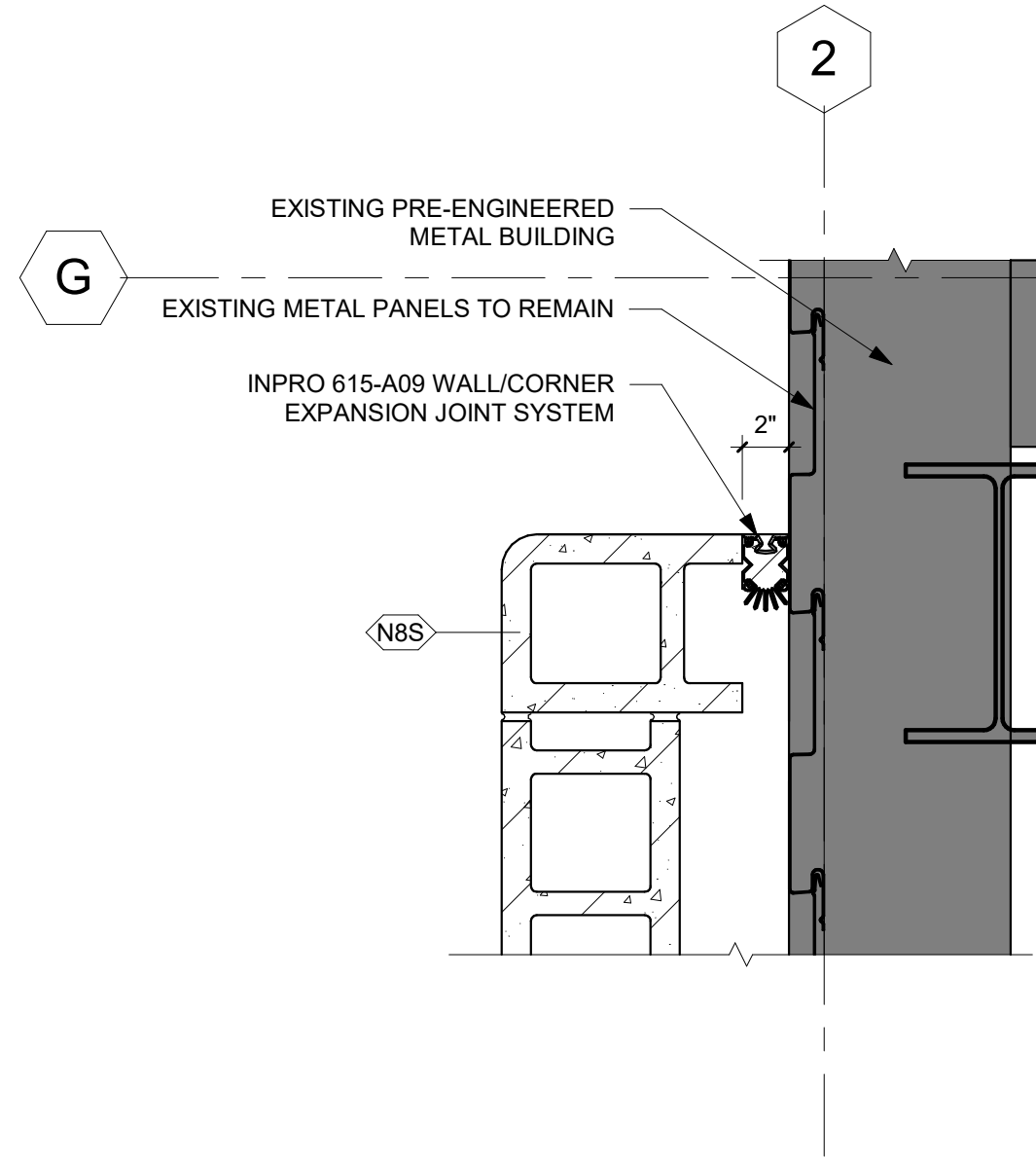
REVISION SCHEDULE		
DATE	DESCRIPTION	BY
03/13/24	ADDENDUM #03	KKT
06/27/24	PROPOSAL REQUEST #03	KKT
07/25/24	PROPOSAL REQUEST #06	KKT

FILE NAME	29969 Arch R22.rvt
DRAWN BY	KKT
DESIGNED BY	KKT
REVIEWED BY	JPW
ORIGINAL ISSUE DATE	02/26/2024
CLIENT PROJECT NO.	

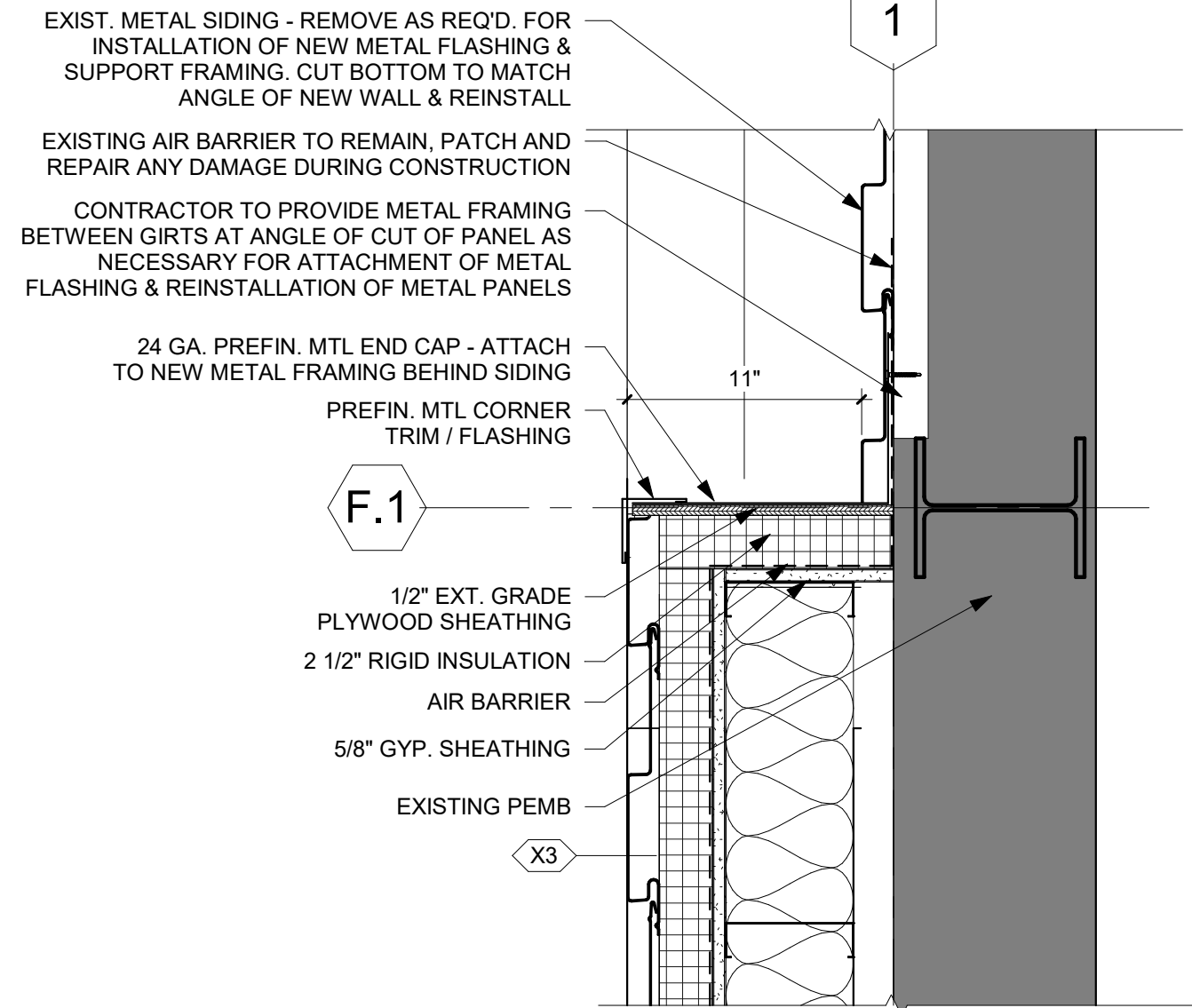
SHEET

A2-12

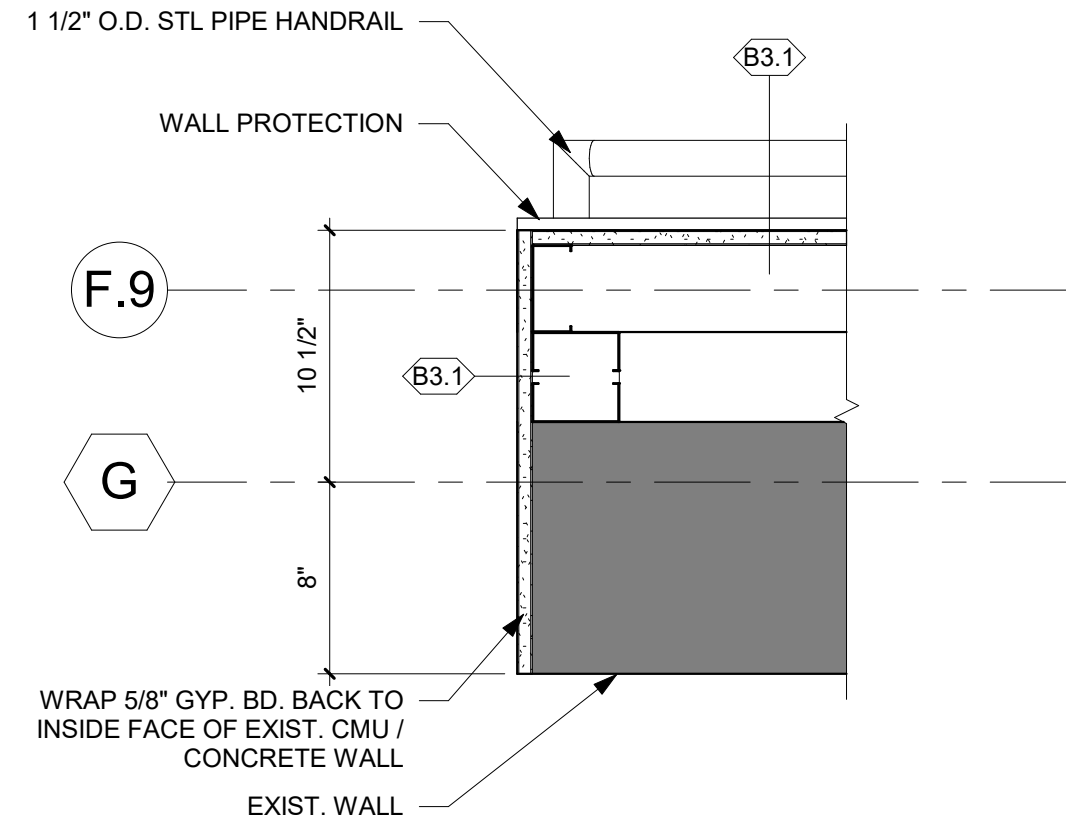




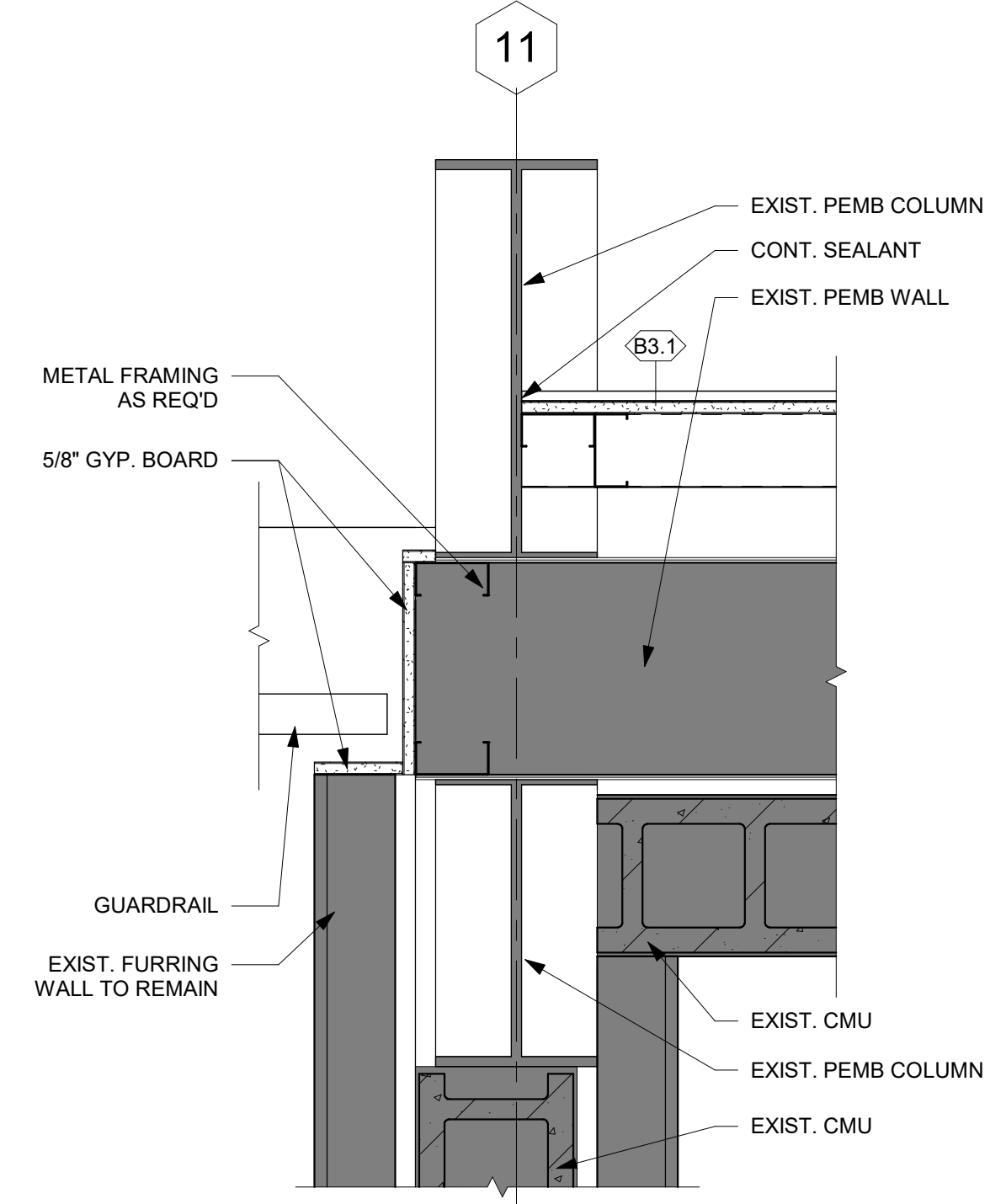
1 EXPANSION JOINT - AREA A - NORTH END
1 1/2" = 1'-0"



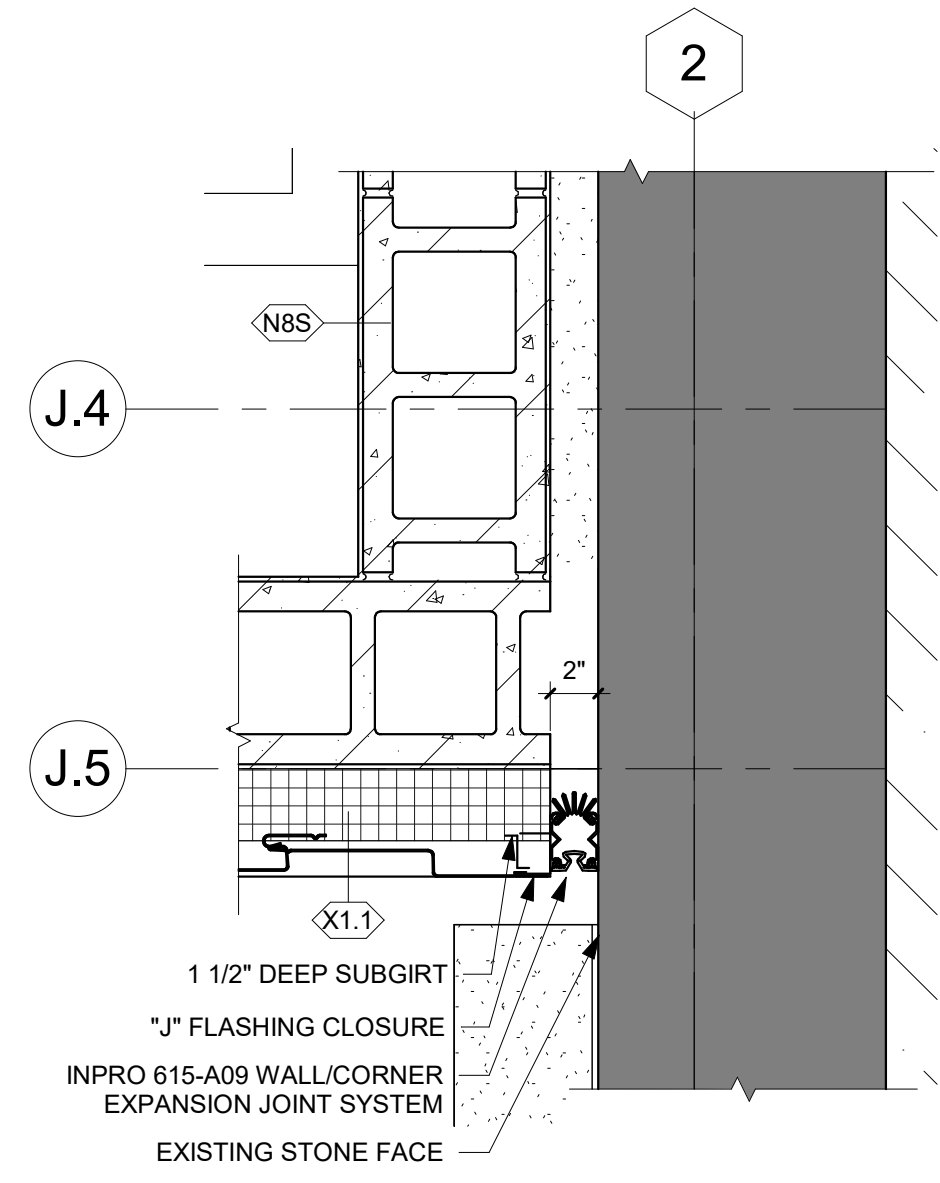
2 ADDITION CONNECTION TO EXISTING BUILDING - NORTH END
1 1/2" = 1'-0"



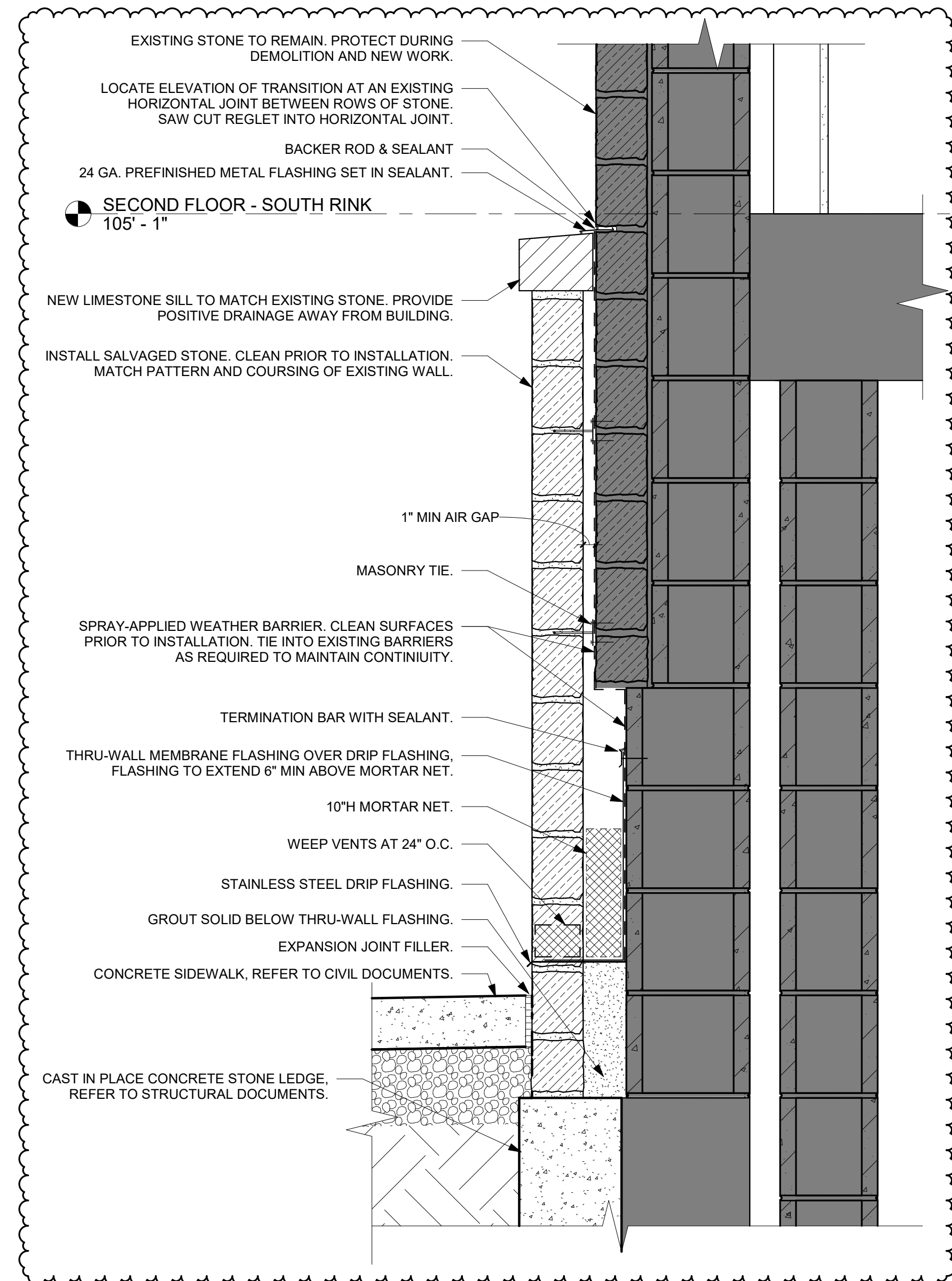
3 STAIR FURRING RETURN DETAIL @ OPG
1 1/2" = 1'-0"



4 LOBBY OPENING - JAMB
1 1/2" = 1'-0"



5 ADDITION CONNECTION TO EXISTING BUILDING - SOUTH END
1 1/2" = 1'-0"



6 SECTION THRU WEST STONE WALL
1 1/2" = 1'-0"



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DATE LIC. NO.

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JEREMY WIESEN

DATE 07/25/2024 LIC. NO. 49451

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PROJECT

ALL SEASONS ARENA RENOVATION

MANKATO MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
07/25/24	PROPOSAL REQUEST #06	KKT

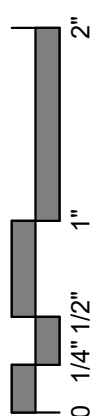
PROJECT NO.	23-29969
FILE NAME	29969 Arch R22.rvt
DRAWN BY	KKT
DESIGNED BY	KKT
REVIEWED BY	JPW
ORIGINAL ISSUE DATE	02/26/2024
CLIENT PROJECT NO.	

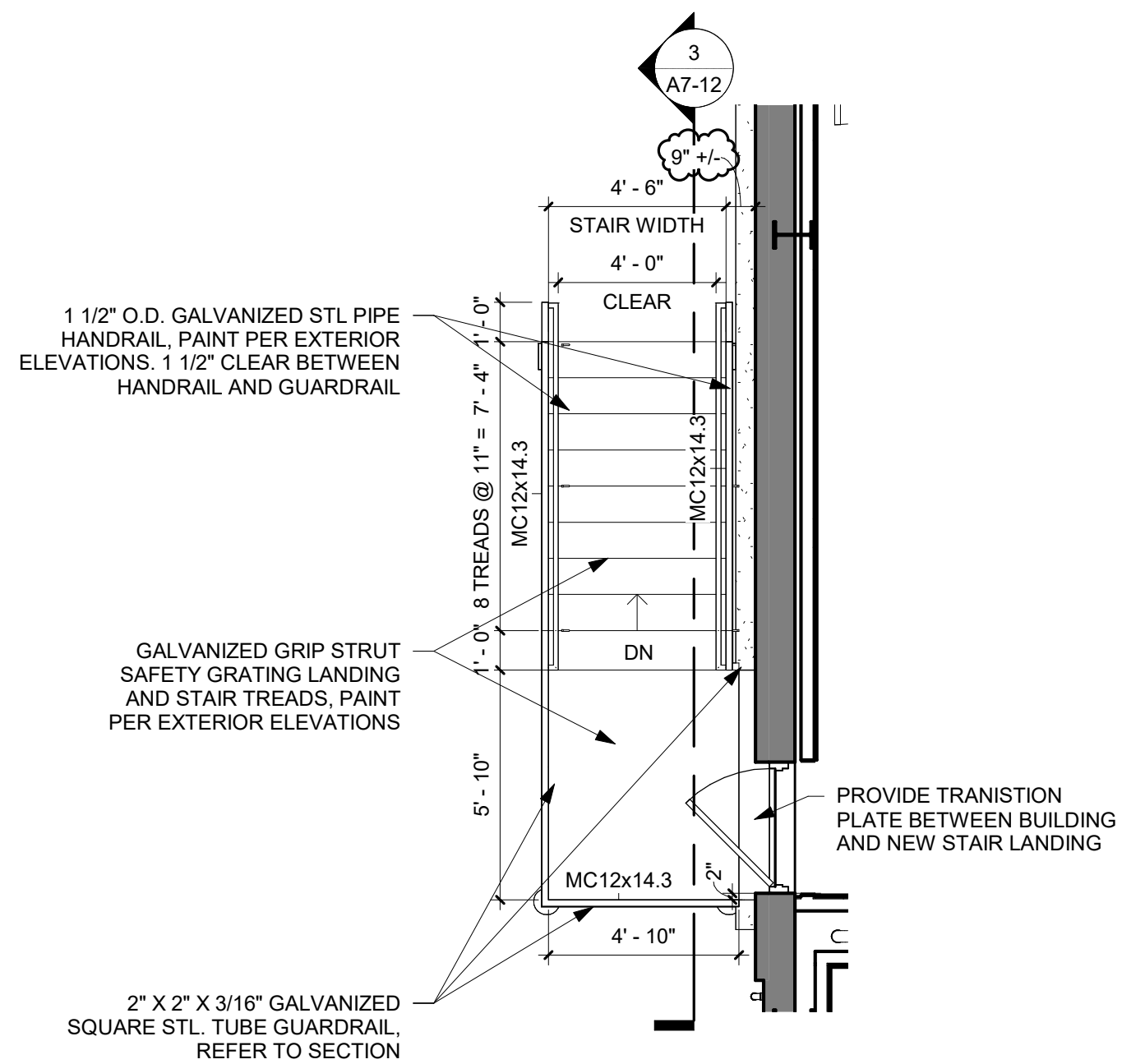
TITLE

PLAN DETAILS

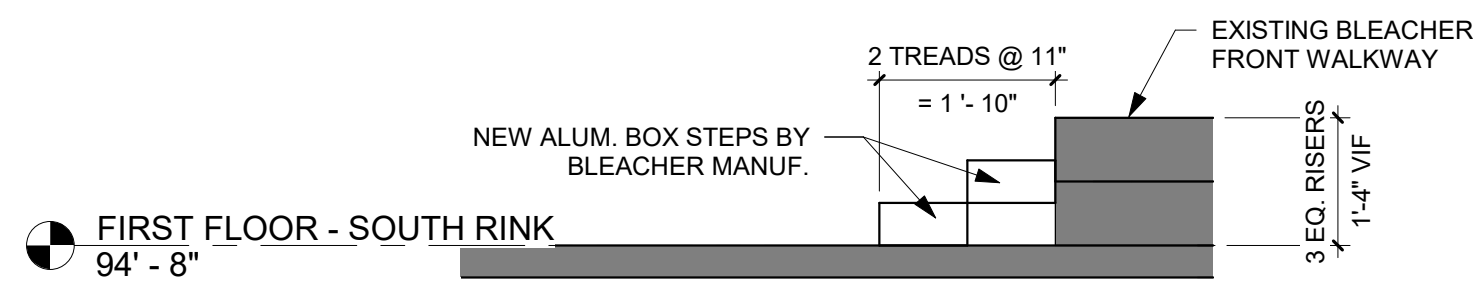
SHEET

A3-30

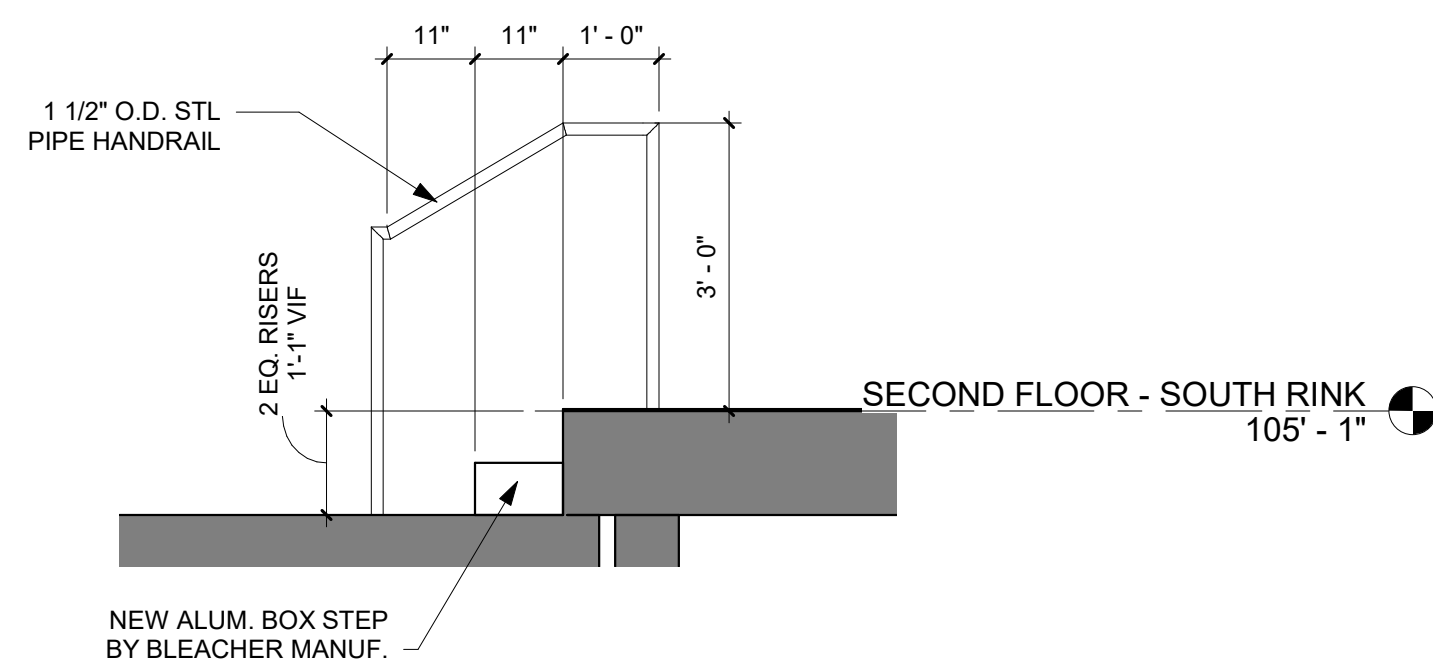




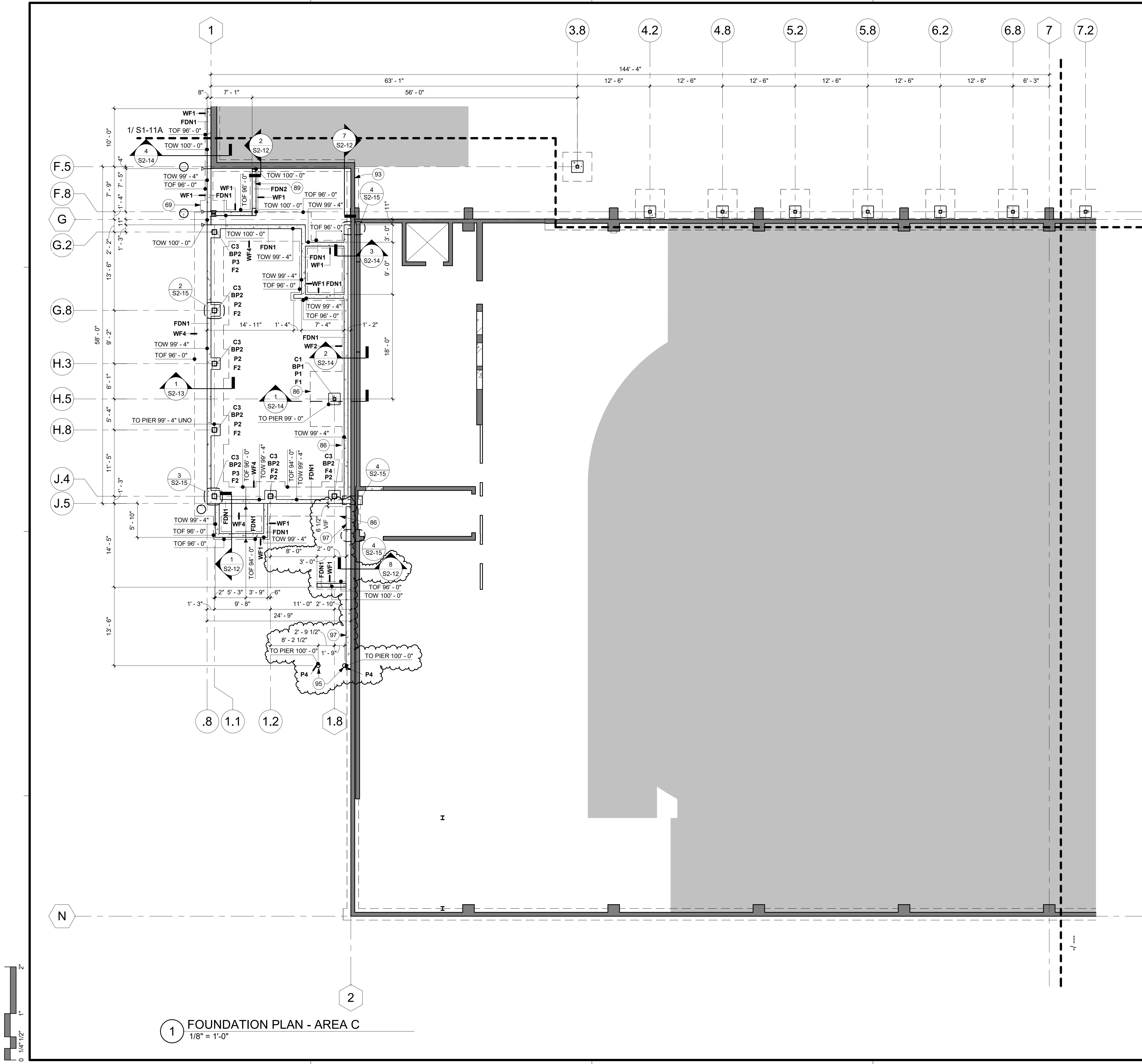
1 ENLARGED WEST EXTERIOR STAIR & RAMP PLAN
1/4" = 1'-0"



4 SOUTH SEATING STAIR SECTION 1
1/2" = 1'-0"



5 SOUTH SEATING STAIR SECTION 2
1/2" = 1'-0"

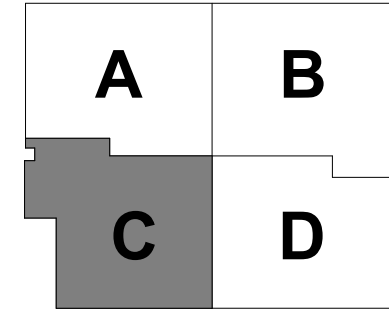


WALL LEGEND	
	EXISTING CONSTRUCTION TO REMAIN
	NEW CONSTRUCTION

AREA LEGEND	
	AREA IN SCOPE
	AREA NOT IN SCOPE

SHEET NOTES	
A.	TOP OF FOOTING VARIES SEE PLAN
B.	FIELD VERIFY ALL EXISTING FOUNDATIONS
C.	REFER TO SLAB PLAN FOR CIP CONCRETE SLAB ON GRADE INFORMATION
D.	SEE SHEET S1-05 FOR SCHEDULES
E.	REFER TO GEOTECHNICAL REPORT FOR REQUIRED EXCAVATION DEPTHS, FILL TYPE, AND COMPACTION RECOMMENDATIONS

KEYNOTE LEGEND	
69	EXISTING FOOTING, VIF
86	TOP OF FOOTING ELEVATION TO BE VERIFIED IN FIELD
89	BLOCKOUT TOP OF FOUNDATION WALL AT DOOR LOCATION
93	NEW RINK PIPING, VERIFY EXACT LOCATION WITH RINK SUPPLIER
95	BOTTOM OF PIER TO BE AT ELEVATION 95'-0"
97	CAST IN PLACE CONCRETE STONE LEDGE, COORDINATE EXTENTS WITH ARCHITECTURAL DOCUMENTS



KEYPLAN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

JOSH J KVASNICKA

DATE 07/25/24 LIC. NO. 49591

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE LIC. NO.

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PROJECT

ALL SEASONS ARENA RENOVATION

MANKATO MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
03/13/24	ADDENDUM #03	
05/10/24	SUPPLEMENTAL INSTRUCTION #02	SLD
05/24/24	PROPOSAL REQUEST #02	SLD
06/27/24	PROPOSAL REQUEST #03	
07/25/24	PROPOSAL REQUEST #06	

PROJECT NO.	23-29969
FILE NAME	29969 Arch R22.rvt
DRAWN BY	SLD
DESIGNED BY	JJK
REVIEWED BY	JJK
ORIGINAL ISSUE DATE	02/26/24
CLIENT PROJECT NO.	

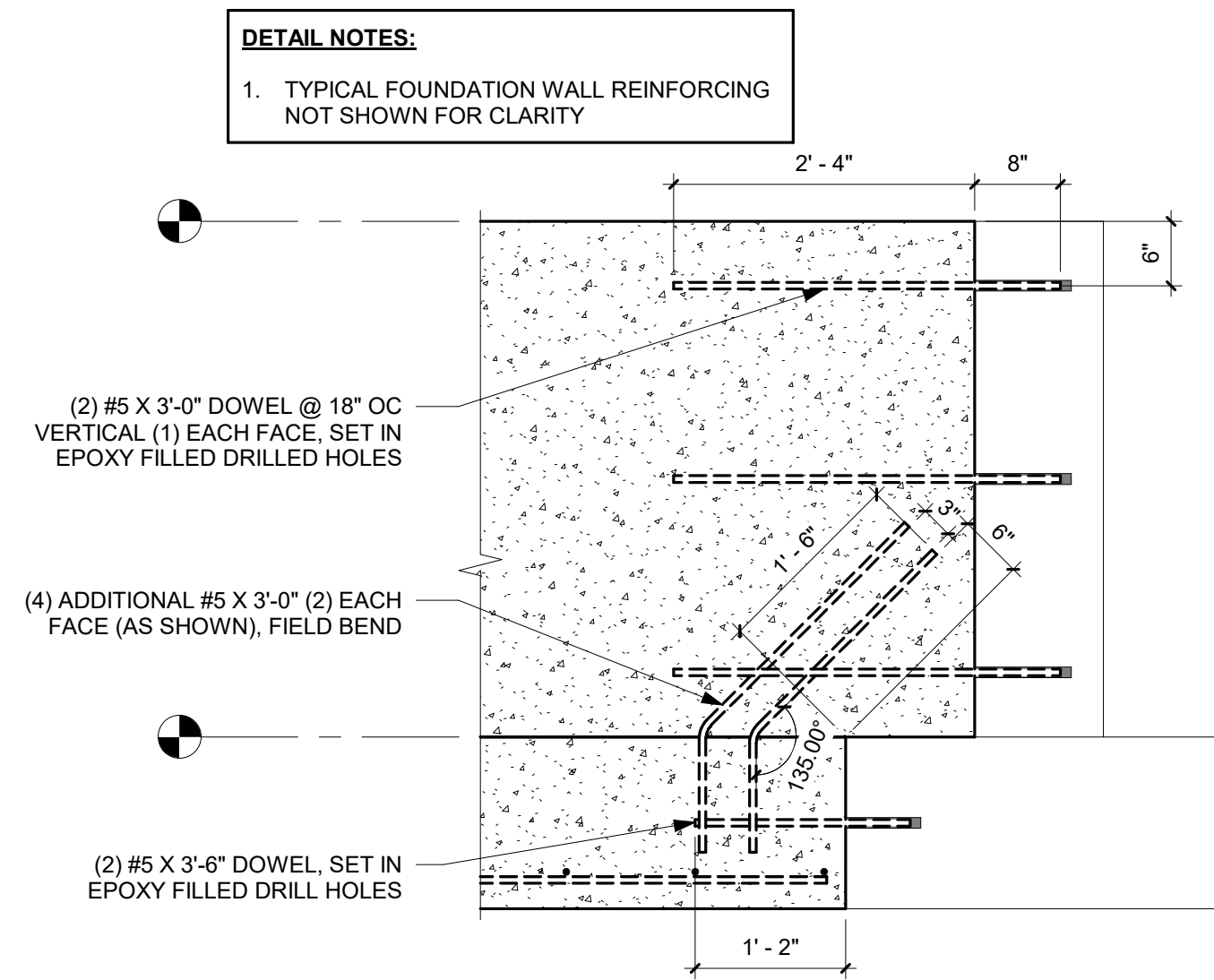
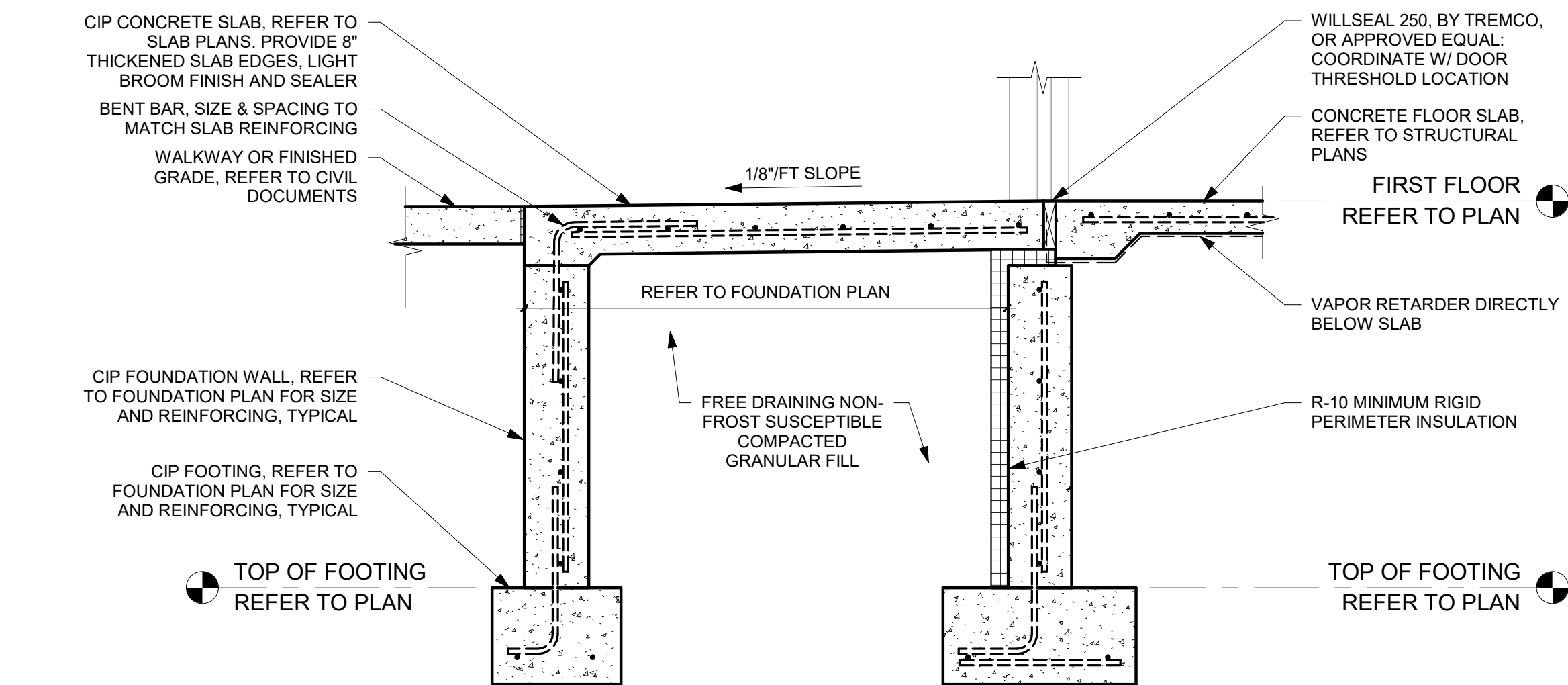
TITLE

FOUNDATION PLAN - AREA C

SHEET

S1-11C

1 FOUNDATION PLAN - AREA C
1/8" = 1'-0"



Met-Con Construction, Inc.

15760 Acorn Trail
Faribault, MN 55021
Ph : (507)332-2266

Change Request

To: Jared Mueller
Knutson Construction
111 South Secon Street,
Suite 610
Mankato, MN 56001
Ph: 507-280-9788

Date: 8/9/24
Job: 34680 City Mankato/All Seasons Arena
Phone:

Description: PR #006

Source: Other

We are pleased to offer the following specifications and pricing to make the following changes:

Clean up of demoed ramp by others. Frost soils per RFI #082 by others. Excavation by others.
Includes added #5 bar per RFI #82.

Alternative option in lieu of concrete foundation wall under stone, option to go to BG CMU down to the existing footing (adjacent the foundations and piers for new metal stairs are down around the existing exterior footing elevation) ~5'. Deduct 16 hrs from the concrete hours.

Please review and advise how to proceed.

Description	Labor	Material	Equipment	Subcontract	Other	Price
Concrete (48hrs)	\$4,368.00	\$1,798.00	\$144.00			\$6,310.00
Masonry Cleaning (16hrs)	\$1,456.00		\$48.00			\$1,504.00
Stone (96 hrs)	\$8,736.00	\$2,710.00	\$288.00			\$11,734.00
Air Barrier				\$2,211.86		\$2,211.86
					Subtotal:	\$21,759.86
			Sub OH&P	\$2,211.86	5.00%	\$110.59
			Self-Perform OH&P	\$19,548.00	10.00%	\$1,954.80
			Performance Bond	\$21,759.86	1.50%	\$326.40
					Total:	\$24,151.65

The schedule is not affected by this change.

If you have any questions, please contact me at (507)332-2266.

Submitted by: Bauer, Jennifer
Met-Con Companies-USE V#13417

Approved by: _____
Date: _____

Cc: Justin Fahey (Knutson Construction)

STRUC T U R A L A P P L I C A T O R S , I N C .

8/8/2024

All Season Arena

Mankato, MN

Wall will be cleaned by others.

PR#6

Materials	670.00
Labor	753.36
Mobilization	500.00
O/P	288.50
Total	2,211.86

COST PROPOSAL

All Seasons Arena Owners Representative

1251 Monks Avenue
Mankato, MN 56001

To:	Jim Tatge City of Mankato P.O. Box 3368 10 Civic Center Plaza Mankato, 56002-3368	Knutson PCI #:	CONT-043
		Knutson Job #:	2340015
		Date Submitted:	9/11/24
From:	Jared Mueller Knutson Construction Rochester 5985 Bandel RD NW Rochester, MN 55901	Status:	Submitted
		Source Type:	
		Reason:	

Description of Proposed Change

RFI #075 Met-Con Pricing (Replace 8mm Ecore Basic Fit ONLY)

Additional Scope of Work Details**COST SUMMARY**

Description	Vendor	Qty	UofM	Amount
Trade Package 01A	Met-Con Construction	1	LS	\$30,565.50

Total Cost Proposal Amount: \$30,565.50

Days Impact (calendar days):

Please allow the above stated additional calendar days to the project schedule to complete this work scope change. The price quoted and days extension requested are for the direct impact of the requested change. We reserve the right to seek additional compensation and / or time extension for the cumulative effect of changes on the entire project that cannot be foreseen at this time.

Met-Con Construction, Inc.

15760 Acorn Trail
Faribault, MN 55021
Ph : (507)332-2266

Change Request

To: Jared Mueller
Knutson Construction
111 South Secon Street,
Suite 610
Mankato, MN 56001
Ph: 507-280-9788

Date: 8/28/24
Job: 34680 City Mankato/All Seasons Arena
Phone:

Description: RFC #021
Source: RFI # 075

We are pleased to offer the following specifications and pricing to make the following changes:
ADD to install new rubber flooring around the perimeter of the south rink per direction from Knutson Construction dated 8/21/2024.
Product proposed is Ecore Flooring 8mm Basic Fit, product data is attached.
RFC #021 is linked to RFC #016. The price was broken out by request from Knuston Construction via email dated 8/27/2024.

Description	Labor	Material	Equipment	Subcontract	Other	Price
Athletic Flooring				\$28,700.00		\$28,700.00
					Subtotal:	\$28,700.00
		Sub OH&P		\$28,700.00	5.00%	\$1,435.00
		Self-Perform OH&P				\$0.00
		Performance Bond		\$28,700.00	1.50%	\$430.50
					Total:	\$30,565.50
The schedule is not affected by this change.						
If you have any questions, please contact me at (507)332-2266.						

Submitted by: Bauer, Jennifer
Met-Con Companies-USE V#13417
Cc: Justin Fahey (Knutson Construction)

Approved by: _____
Date: _____

Jennifer Bauer

From: Aaron Esser <aaron.e@rickwaycarpet.com>
Sent: Monday, August 19, 2024 4:38 PM
To: Jennifer Bauer
Subject: All Season Arena- Price Breakdown

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hey Jennifer,

Here is the price break down:

8 mm Materials:	\$20,100
Labor:	\$8,000
Demo:	\$6,600
	\$34,700

9 mm Materials:	\$44,060
Labor:	\$8,000
Demo:	\$6,600

Remove and Replace: Materials:	\$8,000
Labor:	\$20,700

Let me know if you have any questions or comments.

Thanks,

Aaron Esser - Project Manager



Cell: 507-382-2189 | Office: 507-625-3089 | Direct: 507-514-6438

Email: aaron.e@rickwaycarpet.com

www.rickwaycarpet.com



BID DATE:

~~8/5/2024~~
8/8/2024Rickway Carpet
1107 Cross St
North Mankato, MN 56003
Phone: (507)625-3085
Cell: (507)382-2189PROJECT: All Seasons Arena
ADDRESS: 1251 Monks Ave
Mankato, MN 56001SUBMITTED TO: Met-Con
CONTACT: Jennifer Bauer
PHONE: -
FAX: -
EMAIL: -FOB Jobsite No
Installed YES
Prevailing Wage No
Performance Bond No
Tax Exempt NoESTIMATOR: Aaron Esser
PHONE/EMAIL: aaron.e@rickwaycarpet.com $\$28,100 + \$600 = \$28,700$ (see email below)

ADDENDUMS NOTED: 0

SECTIONS: 0

Proposal Includes:

- * Labor and Materials
- * 8 MM Roll Rubber Flooring (Color TBD)
- * Demo, Disposal and Glue Removal Included
- * Rubber Flooring Around the South Rink (Does not Include Player Boxes/Penalty Box)

Labor and Materials

\$ 28,100.00

Demo, Disposal and Glue Removal

\$ ~~6,600.00~~

Base Bid Amount \$ 34,700.00

QUALIFICATIONS

Furnish and install per listed specified sections

EXCLUSIONS:

Moisture / vapor emissions testing is NOT including in this proposal
Moisture Mitigation is NOT included in this proposal
All flooring protection and lighting access to be provided by General Contractor
Building space ambient temperature/slab/floor temperature MUST meet ALL flooring manufacturers requirements for installation
Extra work requested in the field REQUIRES a signed change order by authorized personnel prior to proceeding with work
This proposal EXCLUDES moving of furniture and/or equipment

TERMS:

This proposal is valid for thirty (30) days.
By accepting this proposal, all exclusions and qualifications listed are hereby accepted.
This proposal supersedes and subsequent contract.

ADDITIONAL
NOTES

Authorized Bidder's Signature / Date

Authorized Client's Signature / Date

By signing above, you hereby acknowledge, accept and agree to the
forgoing proposal under all terms and conditions set forth therein

ASA -Floor Demo at Rink - Revised RFC

Jared Mueller <jmueller@KnutsonConstruction.com>

Tue 8/27/2024 1:07 PM

To: Jennifer Bauer <jennifer.bauer@met-con.com>

Cc: Chuck Culhane <chuck.culhane@met-con.com>; Casey Funk <casey.funk@met-con.com>; Justin Fahey

<jfahey@knutsonconstruction.com>; Barry Wright <BWright@KnutsonConstruction.com>

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Jennifer,

Please send a separate RFC for this pricing shown below for JUST THE DEMO. If we can get this today we'll get it to the city and we will combine it with your recent RFC 020 and send it in for change order approval. Aaron at Rickway is on board with this as well.

Mankato, MN 56001

SUBMITTED TO: Met-Con
CONTACT: Jennifer Bauer

PHONE: -
FAX: -
EMAIL: jfahey@knutsonconstruction.com

FOB Jobsite No
Installed YES
Prevailing Wage No
Performance Bond No
Tax Exempt No

ESTIMATOR: Aaron Esser
PHONE/EMAIL: aaron.esser@rickwaycarpet.com

ADDENDUMS NOTED: 0	
SECTIONS: 0	
Proposal Includes:	
* Labor and Materials	
* 8 MM Roll Rubber Flooring (Color TBD)	
* Demo, Disposal and Glue Removal Included	
* Rubber Flooring Around the South Rink (Does not Include Player Boxes/Penalty Box)	
Labor and Materials	
Demo, Disposal and Glue Removal	\$ 28,100.00
	6,600.00
e Bid Amount \$ 34,700.00	
QUALIFICATIONS	
Furnish and install per listed specified sections	
EXCLUSIONS:	
Moisture / vapor emissions testing is NOT including i Moisture Mitigation is NOT included in this proposal All flooring protection and lighting access to be provided by General Contractor Building space ambient temperature/slab/floor temperature MUST meet ALL flooring manufacturers requirements for installation Extra work requested in the field REQUIRES a signed change order by authorized personnel prior to proceeding with work This proposal EXCLUDES moving of furniture and/or equipment	
TERMS:	
This proposal is valid for thirty (30) days. By accepting this proposal, all exclusions and qualifications listed are hereby accepted. This proposal supersedes and subsequent contract.	
ADDITIONAL NOTES	

revised this to \$6,000
and send separate
RFC for just this price
with your OH&P add
the extra \$600 to the
\$28,100.

Thanks,

Jared Mueller, Project Manager

111 South 2nd Street, Suite 610, Mankato, Minnesota 56001

c: 507.201.7291

e: jmueller@KnutsonConstruction.com | w: knutsonconstruction.com



FUN

We promote a positive environment.
We celebrate accomplishments.



KnutsonConstruction



Fit Collection

PREMIUM FIT BASIC FIT

Rolls & Interlocking Tiles

PRODUCT ATTRIBUTES

- **8mm Vulcanized Composition Rubber**

A durable surface that provides ergonomic benefits and is slip resistant wet or dry

The Fit Collection is the “original” recycled rubber fitness floor. Available in rolls and tiles, this durable surface sets the standard for performance, quality, and affordability.



APPLICATIONS

- Free Weights
- Therapy/Rehab
- Retail
- Public Spaces
- Selectorized Strength
- Childcare/Playzones
- K-12/Higher Education
- Cardio

BENEFITS

- Durable
- Ergonomic
- Slip-resistant
- Easy to maintain
- Interlocking tiles are quick and easy to install

NOMINAL DIMENSIONS

Available as a standard in rolls and interlocking tiles. Talk to your local sales rep to determine availability, pricing, minimums, and lead times.



8mm x 48" (1.2m)
6mm x 48" (1.2m)*
9mm x 48" (1.2m)*

*Available in EL00, EL01, and EL02, EL05 only



8mm x 23" (.58m) x 23" (.58m)

NRG =



Force Reduction: 10.4%
Absorption of impact energy



Energy Restitution: 71.9%
Useful return of impact energy

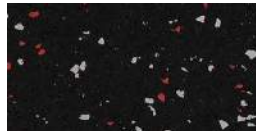


Fit Collection

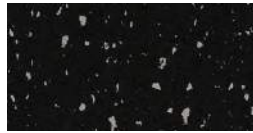
BASIC FIT



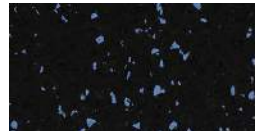
Buff Blue / Gray 10 EL04



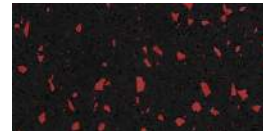
Rippin Red / Gray 10 EL06



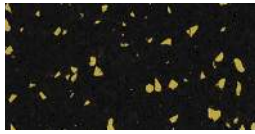
Grippin Gray 10 EL02



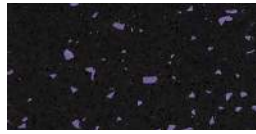
Buff Blue 10 EL01



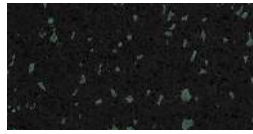
Rippin Red 10 EL05



Yellow Surge EL07



Pumpkin Purple EL09



Green Tea 3 EL32B

PREMIUM FIT



Steel Appeal 2 EL15A



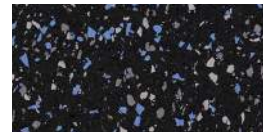
Dark Gray EL502



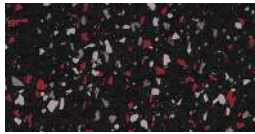
Mocha Latte 2 EL43A



Raiders EL503



Blue Jays EL103



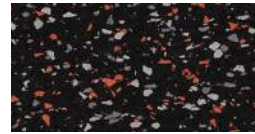
Cardinals EL104



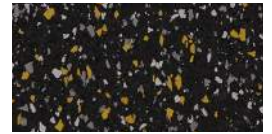
Wildcats 3 EL100B



Gators 3 EL107B



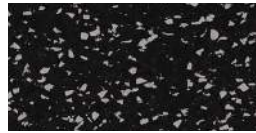
Tigers EL106



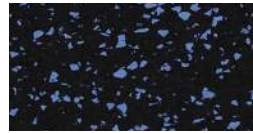
Lions EL102



Vikings EL101



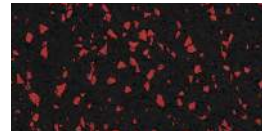
Grippin Gray 20 EL46



Buff Blue 20 EL45



Whey Protein 2 EL97A



Rippin Red 20 EL47



Jet Black EL00

TECHNICAL DETAILS

Performance Criteria	Test Standard	Typical Results
Recovery after Static Load (@1,000 psi)	ASTM F970 Modified	0.020"
Coefficient of Friction	ASTM D2047	>0.8
FloorScore	CA 01350	Certified
Abrasion Resistance	ASTM D3389	Pass
Flammability - Pill Test	ASTM D2859	Pass
Impact Insulation Class (IIC)*	ASTM E492	51
Delta IIC*	ASTM E2179	22

*Tested on a 6" concrete slab with no ceiling.

COST PROPOSAL

All Seasons Arena Owners Representative

 1251 Monks Avenue
 Mankato, MN 56001

To:	Jim Tatge City of Mankato P.O. Box 3368 10 Civic Center Plaza Mankato, 56002-3368	Knutson PCI #:	CONT-045
		Knutson Job #:	2340015
		Date Submitted:	9/11/24
From:	Jared Mueller Knutson Construction Rochester 5985 Bandel RD NW Rochester, MN 55901	Status:	Submitted
		Source Type:	
		Reason:	

Description of Proposed Change

PR #005 - ISG

Additional Scope of Work Details
COST SUMMARY

Description	Vendor	Qty	UofM	Amount
Trade Package 01A - Proposal Request 5	Met-Con Construction	1	LS	\$-1,620.00

Total Cost Proposal Amount: \$-1,620.00

Days Impact (calendar days):

Please allow the above stated additional calendar days to the project schedule to complete this work scope change. The price quoted and days extension requested are for the direct impact of the requested change. We reserve the right to seek additional compensation and / or time extension for the cumulative effect of changes on the entire project that cannot be foreseen at this time.



AIA®

Document G709™ – 2018

Proposal Request**PROJECT:** *(name and address)*All Seasons Arena Renovation
Mankato, MN**OWNER:** *(name and address)*ASA Joint Powers Board
1251 Monks Avenue

Mankato, Minnesota 56001

CONTRACT INFORMATION:Contract For: General Construction
Date:**ARCHITECT:** *(name and address)*I&S Group, Inc. (ISG)
115 E. Hickory Street, Suite 300

Mankato, Minnesota 56001

Architect's Project Number: 23-29969

Proposal Request Number: 005

Proposal Request Date: September 5, 2024

CONTRACTOR: *(name and address)*Knutson Construction - Mankato
111 South Second Street, Suite 410

Mankato, MN 56001

The Owner requests an itemized proposal for changes to the Contract Sum and Contract Time for proposed modifications to the Contract Documents described herein. The Contractor shall submit this proposal within Five (5) days or notify the Architect in writing of the anticipated date of submission.

(Insert a detailed description of the proposed modifications to the Contract Documents and, if applicable, attach or reference specific exhibits.)

Description of Proposed Modifications to Contract:

1. Refer to revised Plan Sheet C0-21 – SITE DETAILS
 - a. Revised the Vertical Rain Leader Intake Detail
2. Refer to revised Plan Sheet C3-11 – SITE AND UTILITY PLAN
 - a. Replaced concrete walk with rock mulch
 - b. Added B618 Concrete Curb and Gutter
 - c. Moved overflow roof drain pipe, roof drain pipe, and roof drain intake
3. Refer to revised Plan Sheet C4-10 – SITE GRADING PLAN
 - a. Added spot elevations to B618 concrete curb and gutter
4. Refer to revised Plan Sheet A1-31C – FIRST FLOOR REFLECTED CEILING PLAN – AREA C
 - a. Revised ceilings to be 8'-0" elevation in rooms: S-122, S-124, S-128, S-129, S-130
5. Refer to revised Plan Sheet P2-10C – FOUNDATION PLUMBING PLAN AREA C
 - a. Shifted 4" storm primary drain to the south
6. Refer to revised Plan Sheet P2-11C – FIRST FLOOR SANITARY/STORM PLUMBING PLAN AREA C
 - a. View update, storm primary and overflow drain lines shifting to the south
7. Refer to revised Plan Sheet P4-11 – PLUMBING ENLARGED PLANS
 - a. Shifted 4" storm primary drain and 4" storm overflow drain and downspout nozzle to the south

Attachments:

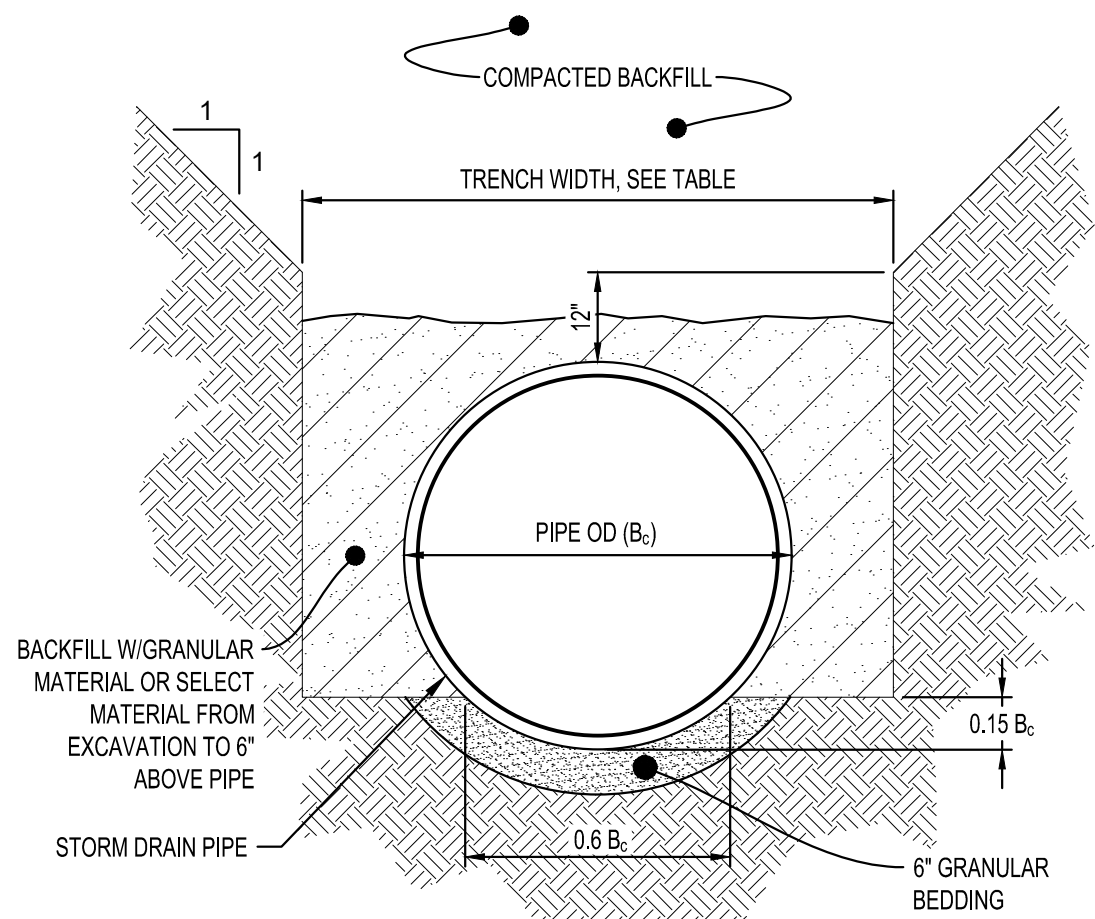
1. Revised Sheet C3-11 – SITE AND UTILITY PLAN
2. Revised Plan Sheet C4-10 – SITE GRADING PLAN
3. Revised Plan Sheet A1-31C – FIRST FLOOR REFLECTED CEILING PLAN – AREA C
4. Revised Plan Sheet P2-10C – FOUNDATION PLUMBING PLAN AREA C
5. Revised Plan Sheet P2-11C – FIRST FLOOR SANITARY/STORM PLUMBING PLAN AREA C
6. Revised Plan Sheet P4-11 – PLUMBING ENLARGED PLANS

THIS IS NOT A CHANGE ORDER, A CONSTRUCTION CHANGE DIRECTIVE, OR A DIRECTION TO PROCEED WITH THE WORK DESCRIBED IN THE PROPOSED MODIFICATIONS.

REQUESTED BY THE ARCHITECT:

Kalob Hays, Assistant Project Manager

PRINTED NAME AND TITLE

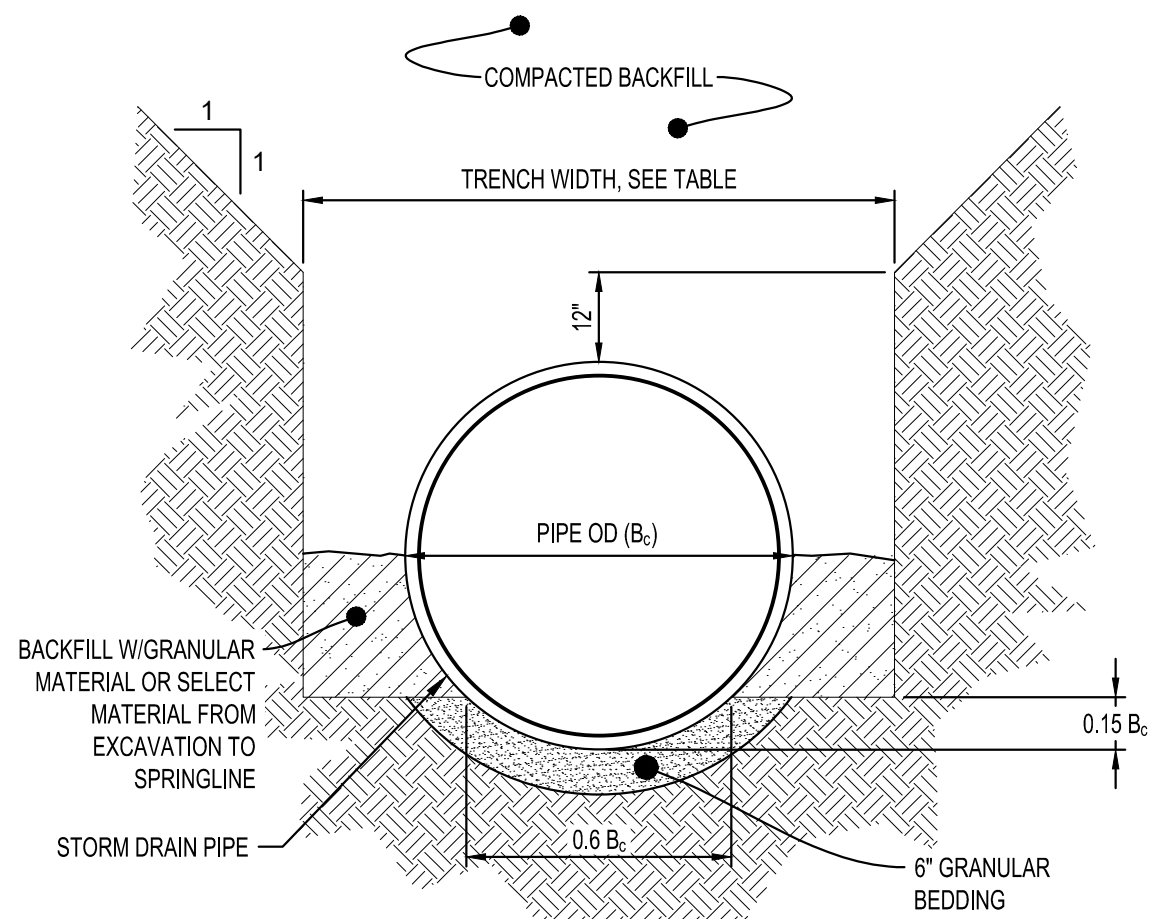


TRENCH WIDTH	
PIPE Ø	TRENCH WIDTH
36" OR LESS	B _c + 24"
42" TO 54"	1.5 x B _c
60" OR OVER	B _c + 36"

NOTES:

- GRANULAR BEDDING AND BACKFILL FOR STORM DRAIN PIPES SHALL BE INCIDENTAL TO STORM DRAIN CONSTRUCTION

**NON-CONCRETE
STORM DRAIN PIPE BEDDING**
NTS

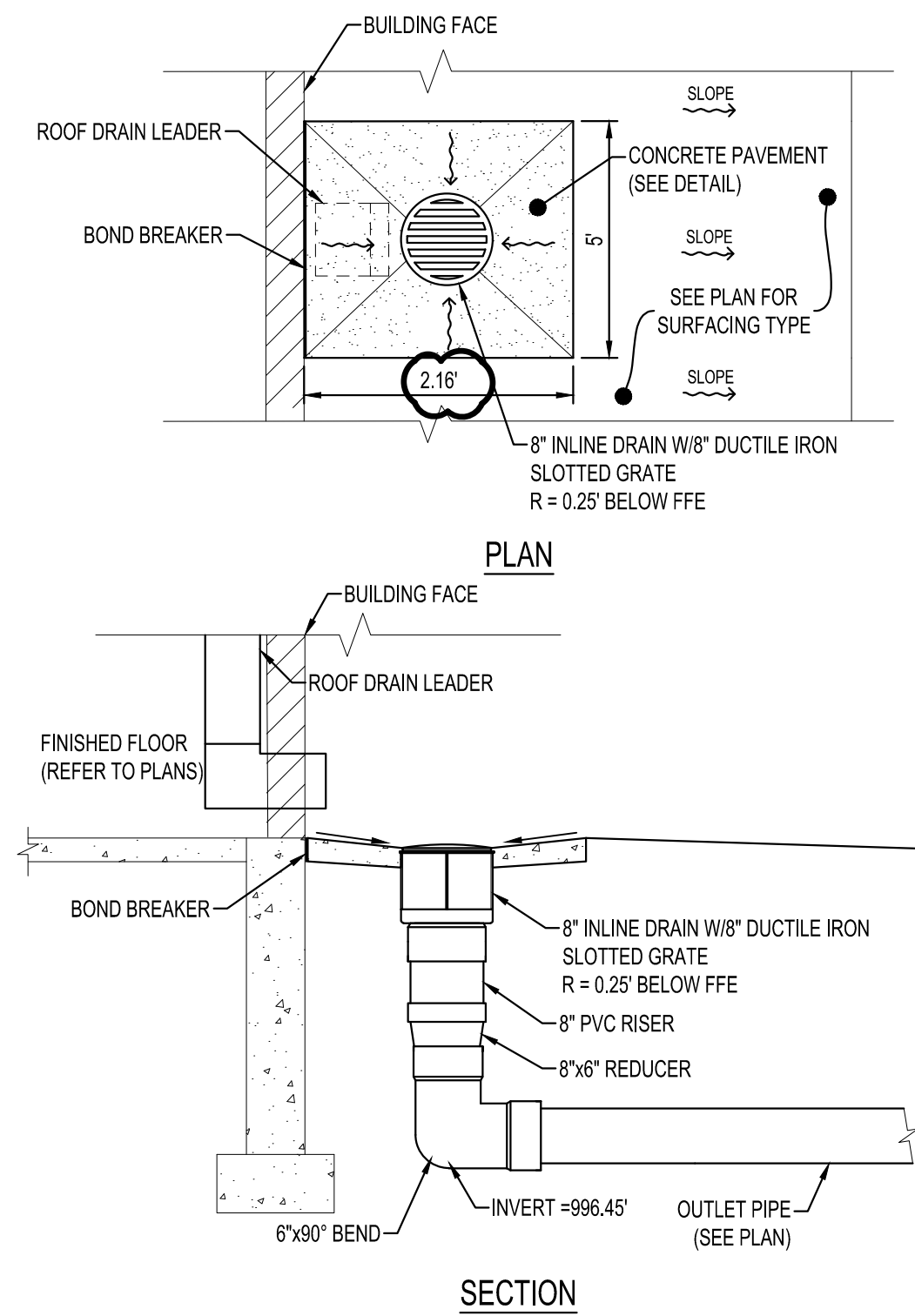


TRENCH WIDTH	
PIPE Ø	TRENCH WIDTH
36" OR LESS	B _c + 24"
42" TO 54"	1.5 x B _c
60" OR OVER	B _c + 36"

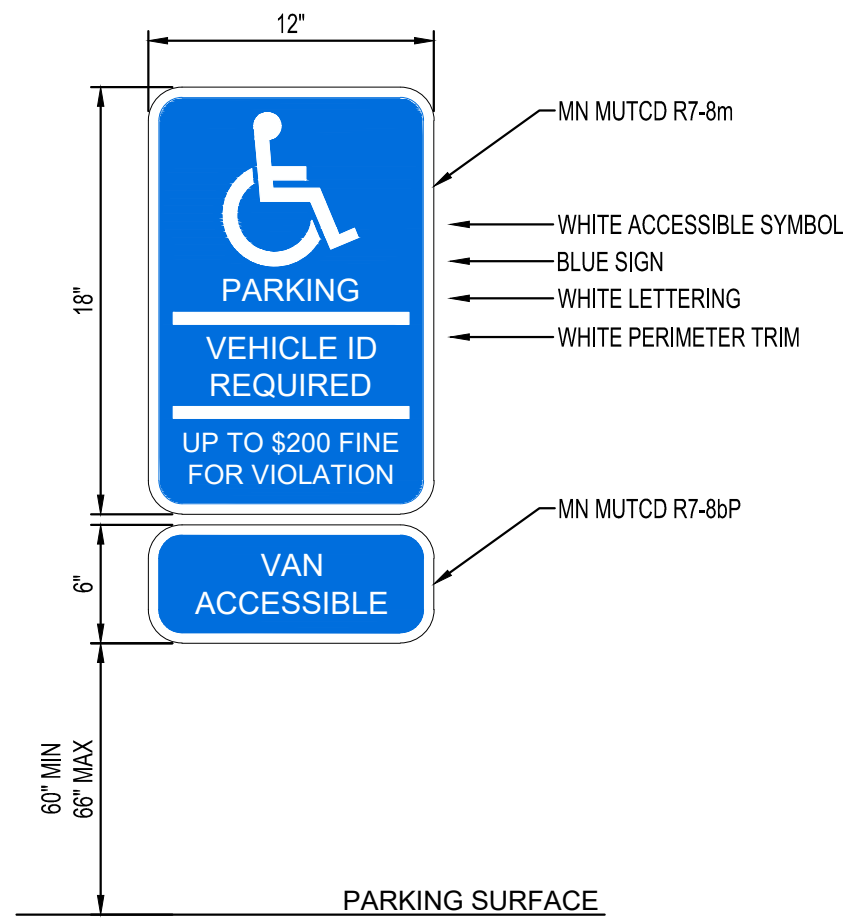
NOTES:

- GRANULAR BEDDING AND BACKFILL FOR STORM DRAIN PIPES SHALL BE INCIDENTAL TO STORM DRAIN CONSTRUCTION

**REINFORCED CONCRETE
STORM DRAIN PIPE BEDDING**
NTS



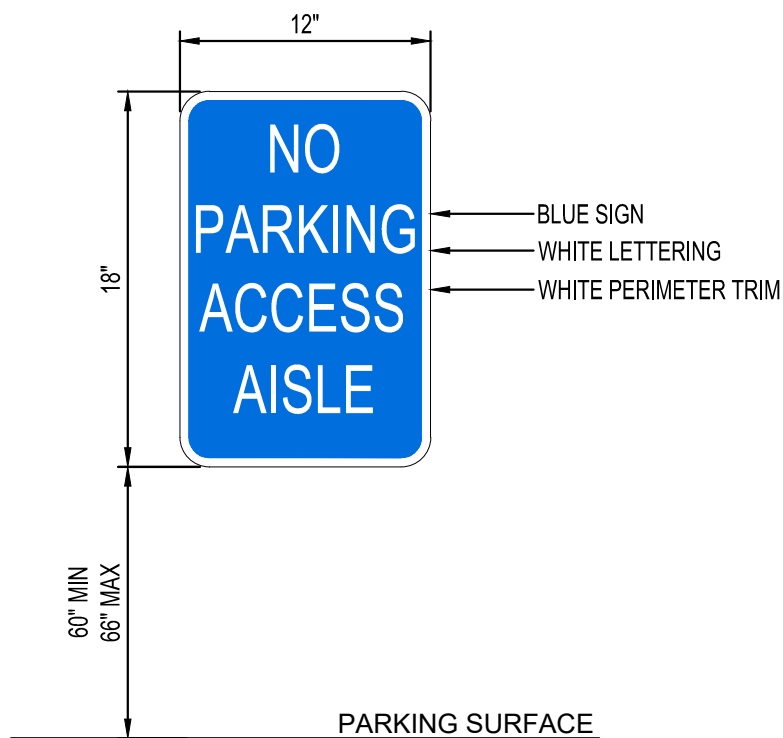
VERTICAL RAIN LEADER INTAKE
NTS



NOTES:

- ACCESSIBLE PARKING STALL SIGN TO BE MOUNTED AT THE HEIGHT SHOWN. SIGN SHALL COMPLY WITH MINNESOTA STATUTES, SECTION 169.346, SUBDIVISION 2, PARAGRAPH (a). SIGN TO BE CENTERED ON PARKING STALL.

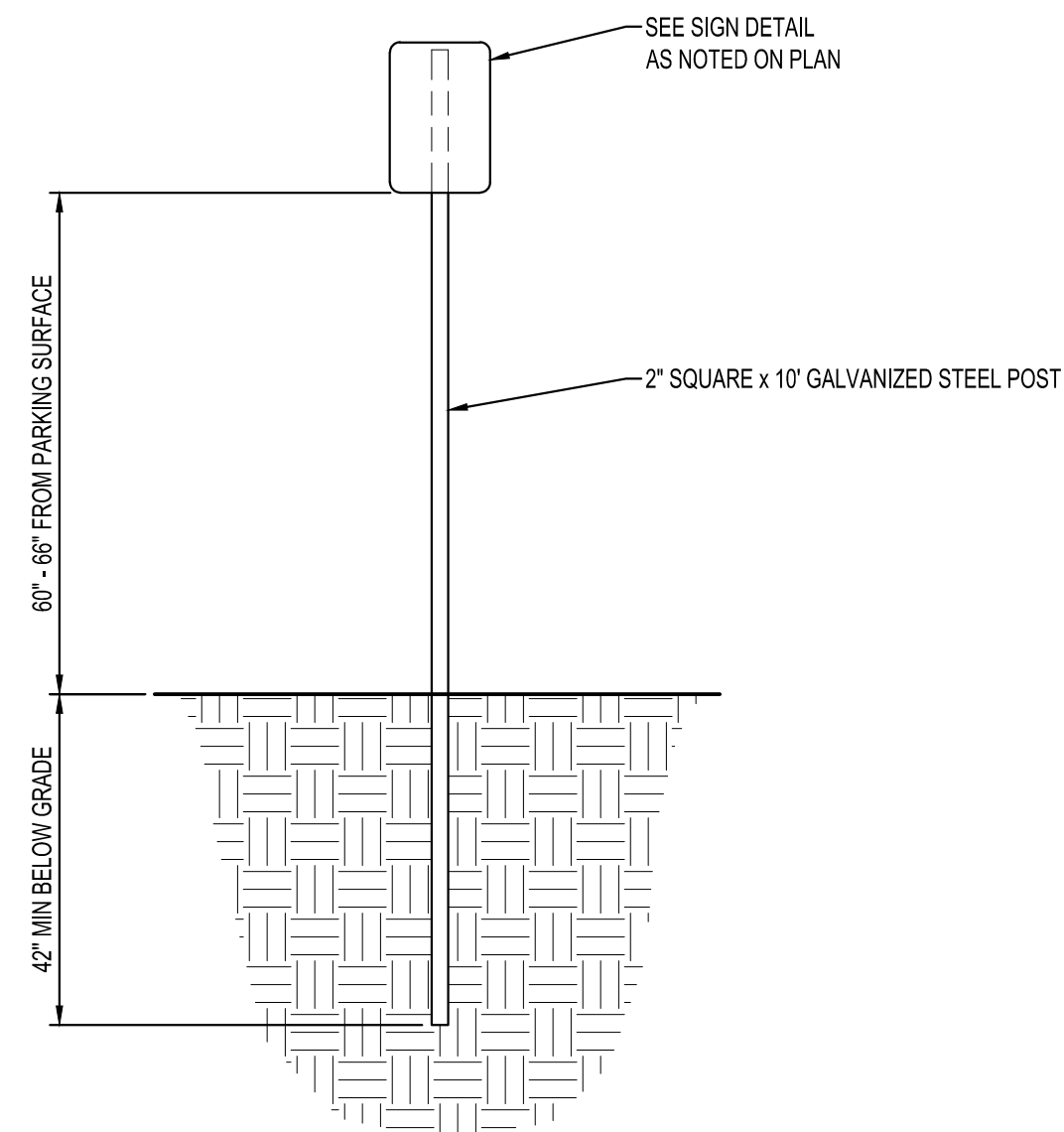
ACCESSIBLE PARKING SIGN
NTS



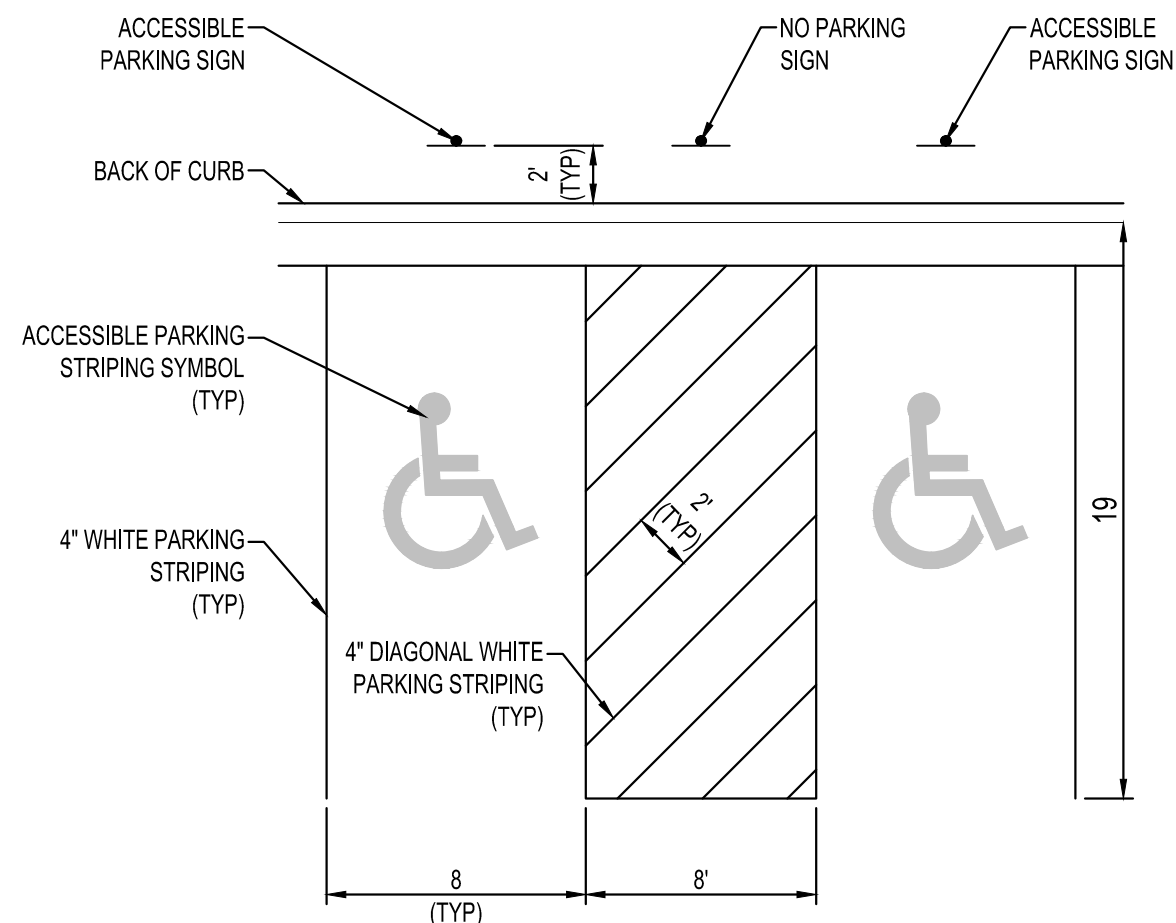
NOTES:

- ACCESSIBLE PARKING STALL SIGN TO BE MOUNTED AT THE HEIGHT SHOWN. ALIGN TOP WITH TOP OF ADJACENT SIGNS IF POSSIBLE.

**NO PARKING
ACCESS AISLE SIGN**
NTS



SIGN POST
NTS



ACCESSIBLE PARKING AREA
NTS



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

NATHAN J HERMER

DATE 09/04/24 LIC. NO. 54848

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PROJECT

**ALL SEASONS
ARENA
RENOVATION**

MANKATO MN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
09/04/24	PROPOSAL REQUEST #5	BJK

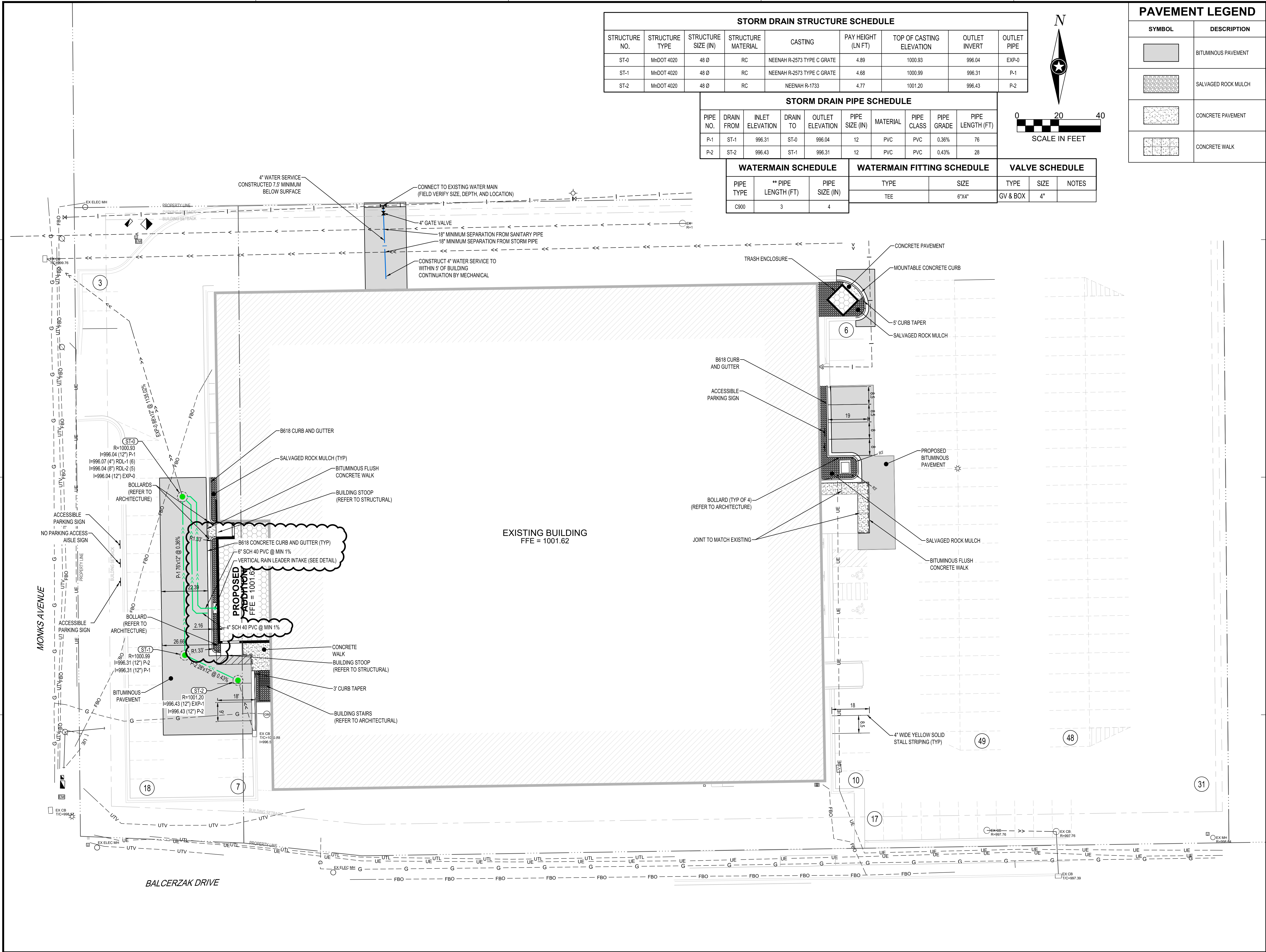
PROJECT NO.	23-29969
FILE NAME	29969-CO-DETAILS
DRAWN BY	BJK
DESIGNED BY	BJK
REVIEWED BY	NUH
ORIGINAL ISSUE DATE	02/26/24
CLIENT PROJECT NO.	-

TITLE

SITE DETAILS

SHEET

C0-21



STORM DRAIN STRUCTURE SCHEDULE								
STRUCTURE NO.	STRUCTURE TYPE	STRUCTURE SIZE (IN)	STRUCTURE MATERIAL	CASTING	PAY HEIGHT (LN FT)	TOP OF CASTING ELEVATION	OUTLET INVERT	OUTLET PIPE
ST-0	MnDOT 4020	48 Ø	RC	NEENAH R-2573 TYPE C GRATE	4.89	1000.93	996.04	EXP-0
ST-1	MnDOT 4020	48 Ø	RC	NEENAH R-2573 TYPE C GRATE	4.68	1000.99	996.31	P-1
ST-2	MnDOT 4020	48 Ø	RC	NEENAH R-1733	4.77	1001.20	996.43	P-2

STORM DRAIN PIPE SCHEDULE								
PIPE NO.	DRAIN FROM	INLET ELEVATION	DRAIN TO	OUTLET ELEVATION	PIPE SIZE (IN)	MATERIAL	PIPE CLASS	PIPE GRADE
P-1	ST-1	996.31	ST-0	996.04	12	PVC	PVC	0.36%
P-2	ST-2	996.43	ST-1	996.31	12	PVC	PVC	0.43%

WATERMAIN SCHEDULE			WATERMAIN FITTING SCHEDULE		VALVE SCHEDULE	
PIPE TYPE	** PIPE LENGTH (FT)	PIPE SIZE (IN)	TYPE	SIZE	TYPE	SIZE
C900	3	4	TEE	6"x4"	GV & BOX	4"

PAVEMENT LEGEND	
SYMBOL	DESCRIPTION
	BITUMINOUS PAVEMENT
	SALVAGED ROCK MULCH
	CONCRETE PAVEMENT
	CONCRETE WALK

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NATHAN J HERMER

DATE 09/04/24 LIC. NO. 54848

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PROJECT

ALL SEASONS ARENA RENOVATION

MANKATO MN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
03/13/24	ADDENDUM 3	BJK
05/16/24	PROPOSAL REQUEST #1	BJK
06/27/24	PROPOSAL REQUEST #3	BJK
09/04/24	PROPOSAL REQUEST #5	BJK

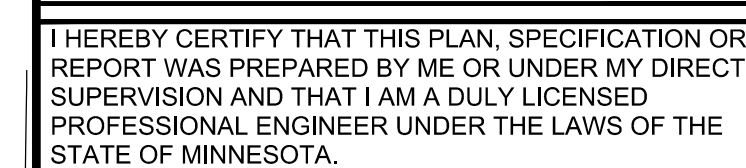
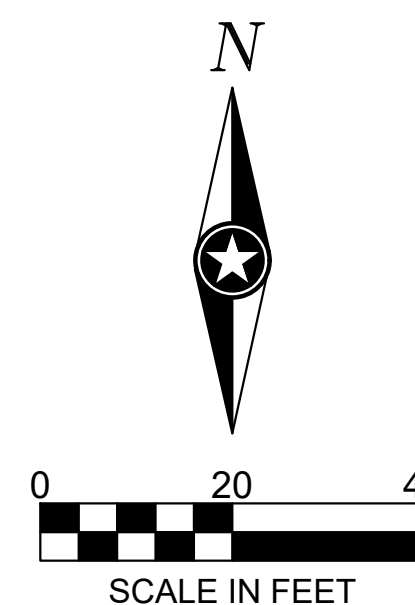
PROJECT NO.	23-29969
FILE NAME	29969-C3-SITE
DRAWN BY	BJK
DESIGNED BY	BJK
REVIEWED BY	NUH
ORIGINAL ISSUE DATE	02/26/24
CLIENT PROJECT NO.	-

TITLE

SITE AND UTILITY PLAN

SHEET

C3-11



DATE 09/04/24 LIC. NO. 54848

DATE 09/04/24 LIC. NO. 54848

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PROJECT

ALL SEASONS ARENA RENOVATION

MANKATO MN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
06/27/24	PROPOSAL REQUEST #3	BJK
09/04/24	PROPOSAL REQUEST #5	BJK

PROJECT NO.	23-29969
FILE NAME	29969-C4-GRADING
DRAWN BY	BJK
DESIGNED BY	BJK
REVIEWED BY	NJH
ORIGINAL ISSUE DATE	02/26/24
CLIENT PROJECT NO.	-

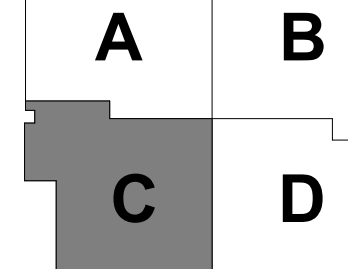
TITLE

SITE GRADING PLAN

SHEET

C4-10

ISG



KEYPLAN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE 08/20/2024 LIC. NO. 49451
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
JEREMY WIESEN
Jeremy Wiesen

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PROJECT
**ALL SEASONS
ARENA
RENOVATION**

MANKATO MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
03/13/24	ADDENDUM #03	KKT
05/24/24	PROPOSAL REQUEST #02	SLD
08/20/24	PROPOSAL REQUEST #05	KKT

PROJECT NO. 23-29969
FILE NAME 29969 Arch R22.rvt
DRAWN BY CRN / KKT
DESIGNED BY CRN / KKT
REVIEWED BY JMM / JPW
ORIGINAL ISSUE DATE 02/26/2024
CLIENT PROJECT NO.

TITLE
**FIRST FLOOR
REFLECTED
CEILING PLAN -
AREA C**

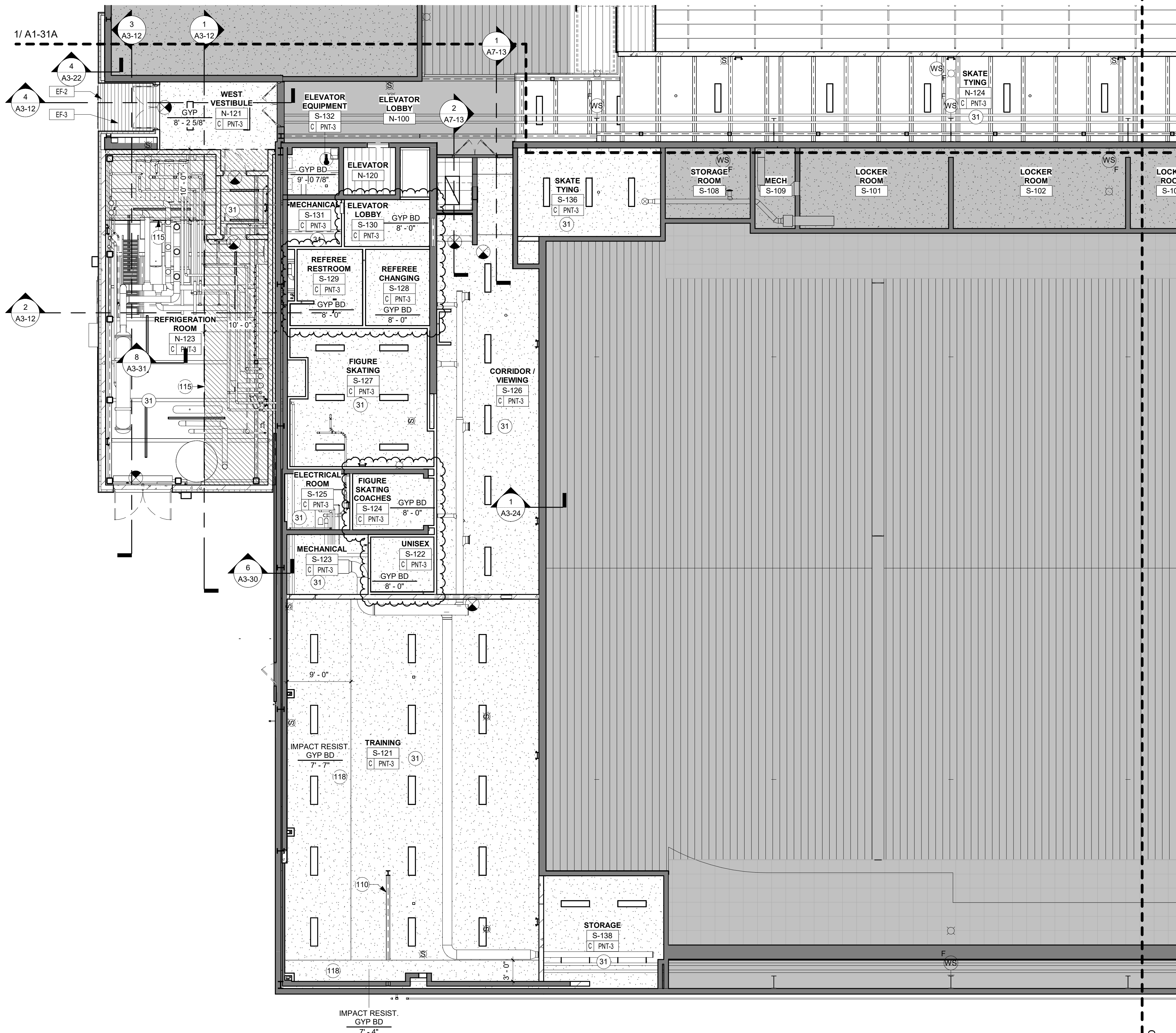
SHEET
A1-31C

SHEET NOTES

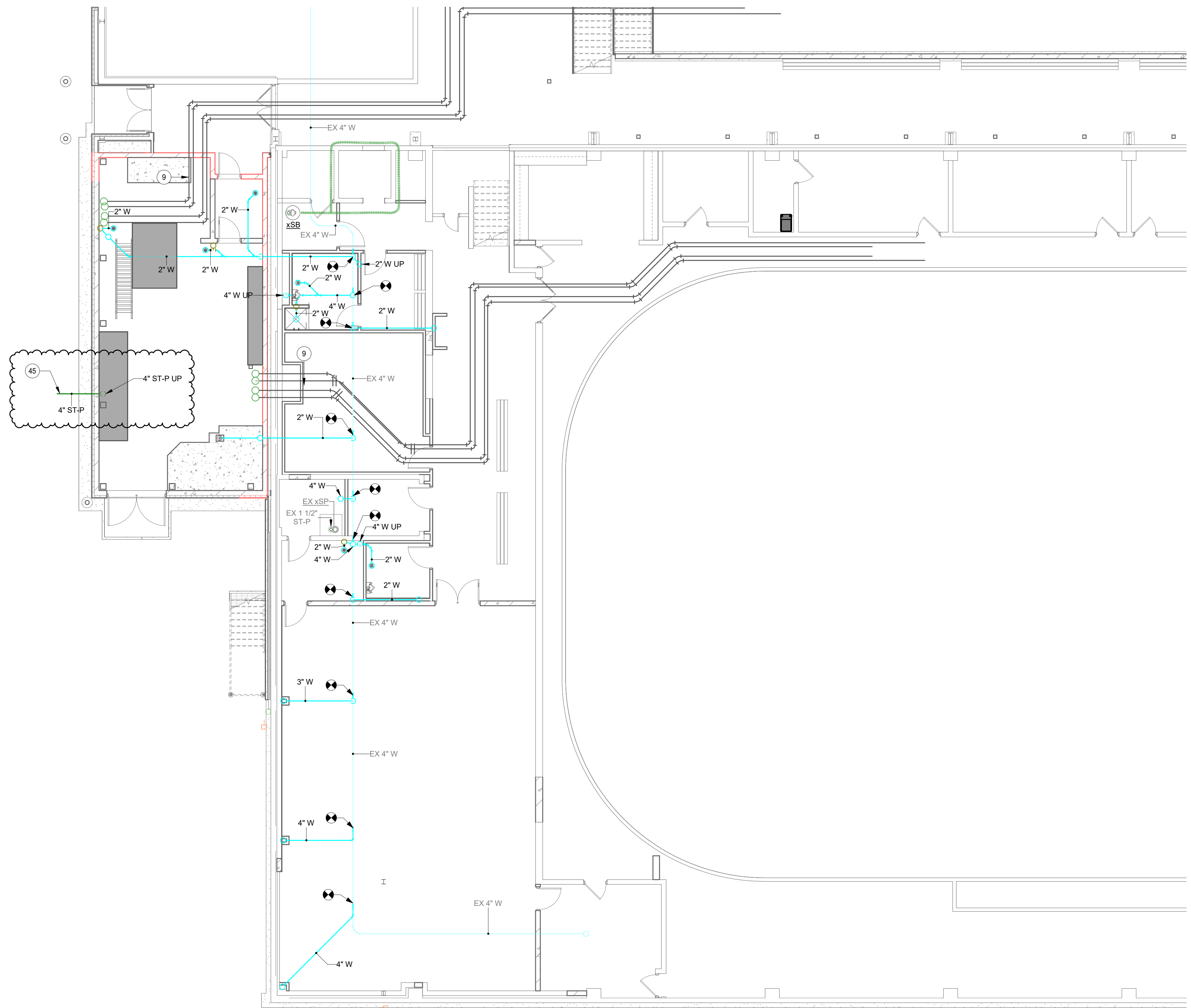
- A. PAINT ALL EXPOSED CONCRETE, MECHANICAL, AND LIGHTING CONDUIT IN CEILING RECEIVING PNT-3.
- B. SEE EXTERIOR FINISH LEGEND ON ELEVATIONS SHEETS FOR EXTERIOR FINISHES (EF).

KEYNOTE LEGEND

31	OPEN TO STRUCTURE ABOVE.
110	EXPOSED COLUMN AND BEAM TO BE PAINTED PNT-11.
115	SPRAY-APPLIED FIRE PROOFING ON ROOF DECK THIS AREA. SPRAY-APPLIED FIRE PROOFING ON ALL COLUMNS AND BEAMS WITHIN REFRIGERATION ROOM.
118	GYP. BOARD SOFFIT. COORDINATE INSTALLATION HEIGHT WITH PLUMBING, ETC. INSTALL AS HIGH AS POSSIBLE.



1 FIRST FLOOR REFLECTED CEILING PLAN - AREA C
1/8" = 1'-0"



1 FOUNDATION PLUMBING PLAN AREA C
1/8" = 1'-0"

SHEET NOTES

1. FIELD VERIFY ALL SITE CONDITIONS BEFORE STARTING CONSTRUCTION.
2. ALL EXISTING DUCTWORK, PIPING, EQUIPMENT, ETC. INDICATED ON PLANS ARE BASED ON INFORMATION FROM CONSTRUCTION DOCUMENTS AND FIELD VERIFICATION OF EXISTING BUILDING.
3. COORDINATE INSTALLATION OF ALL NEW DUCTWORK, PIPING, EQUIPMENT, ETC. WITH OTHER TRADES.

KEYNOTE LEGEND

- 9 REFRIGERATION EQUIPMENT UNDER SEPARATE SCOPE, REFER TO REFRIGERATION DRAWINGS.
- 45 CONSTRUCT STORM SEWER SERVICE. INVERT DEPTH LOCATED AT 3'-7" BELOW FINISHED FLOOR. SEE CIVIL PLANS FOR CONTINUATION. PLUMBING CONTRACTOR TO CONNECT TO SITE PLUMBING.

A

B

C

D

KEYPLAN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

ANTHONY J. EFFENBERGER

Anthony J. Effenberger

DATE 09/04/24 LIC. NO. 41935

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DATE LIC. NO.

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PROJECT

ALL SEASONS
ARENA
RENOVATION

MANKATO MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
03/07/24	ADDENDUM #2	DJS
03/13/24	ADDENDUM #3	DJS
09/04/24	PROPOSAL REQUEST #5	DJS

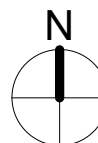
PROJECT NO.	23-29969
FILE NAME	29969 Mech R22.rvt
DRAWN BY	DJS
DESIGNED BY	DJS / AJE
REVIEWED BY	AJE
ORIGINAL ISSUE DATE	02/26/24
CLIENT PROJECT NO.	

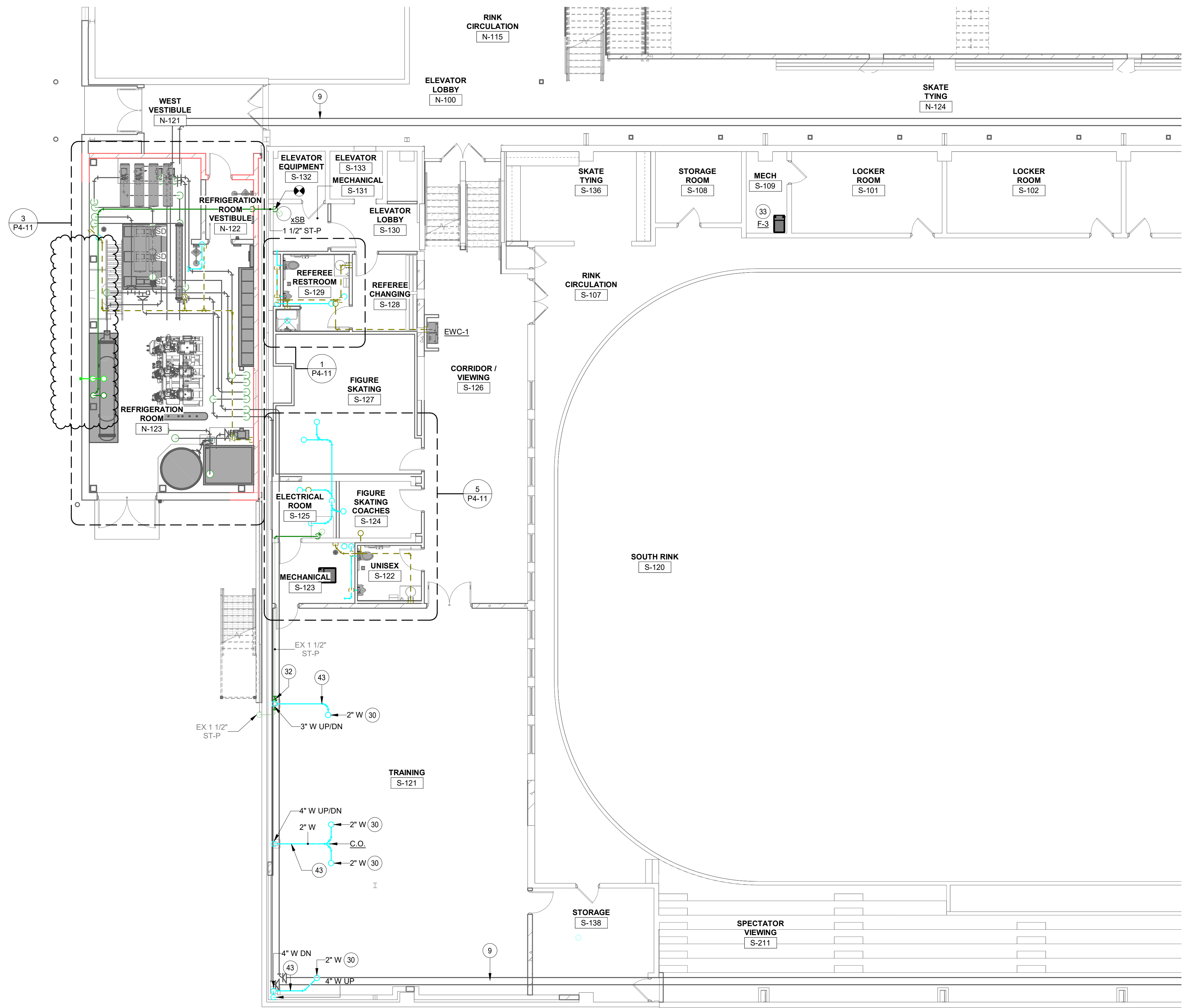
TITLE

FOUNDATION
PLUMBING PLAN
AREA C

SHEET

P2-10C





SHEET NOTES

1. FIELD VERIFY ALL SITE CONDITIONS BEFORE STARTING CONSTRUCTION.
2. ALL EXISTING DUCTWORK, PIPING, EQUIPMENT, ETC. INDICATED ON PLANS ARE BASED ON INFORMATION FROM CONSTRUCTION DOCUMENTS AND FIELD VERIFICATION OF EXISTING BUILDING.
3. COORDINATE INSTALLATION OF ALL NEW DUCTWORK, PIPING, EQUIPMENT, ETC. WITH OTHER TRADES.

KEYNOTE LEGEND

- | | |
|----|---|
| 9 | REFRIGERATION EQUIPMENT UNDER SEPARATE SCOPE, REFER TO REFRIGERATION DRAWINGS. |
| 30 | UP TO FLOOR DRAIN. |
| 32 | FIELD VERIFY AND RE-ROUTE EXISTING SUMP DISCHARGE LINE AS NECESSARY. |
| 33 | INSTALL CONDENSATE PIPING TO EXISTING FLOOR DRAIN AND/OR RECEPTOR. |
| 43 | SANITARY PIPING IN TRAINING S-121 TO BE GALVANIZED STEEL ASTM A53. GALVANIZED STEEL PIPE SHALL NOT BE USED UNDERGROUND AND SHALL BE KEPT NO LESS THAN 6\"/> |

ISG

A B
C D

KEYPLAN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

ANTHONY J. EFFENBERGER

Anthony J. Effenberger

DATE 09/04/24 LIC. NO. 41935

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE LIC. NO.

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PROJECT

ALL SEASONS
ARENA
RENOVATION

MANKATO MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
03/13/24	ADDENDUM #3	DJS
09/04/24	PROPOSAL REQUEST #5	DJS

PROJECT NO. 23-29969

FILE NAME 29969 Mech R22.rvt

DRAWN BY DJS

DESIGNED BY DJS / AJE

REVIEWED BY AJE

ORIGINAL ISSUE DATE 02/26/24

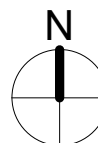
CLIENT PROJECT NO.

TITLE
FIRST FLOOR
SANITARY/STORM
PLUMBING PLAN
AREA C

SHEET

P2-11C

1 FIRST FLOOR SANITARY/STORM PLUMBING PLAN AREA C
1/8" = 1'-0"



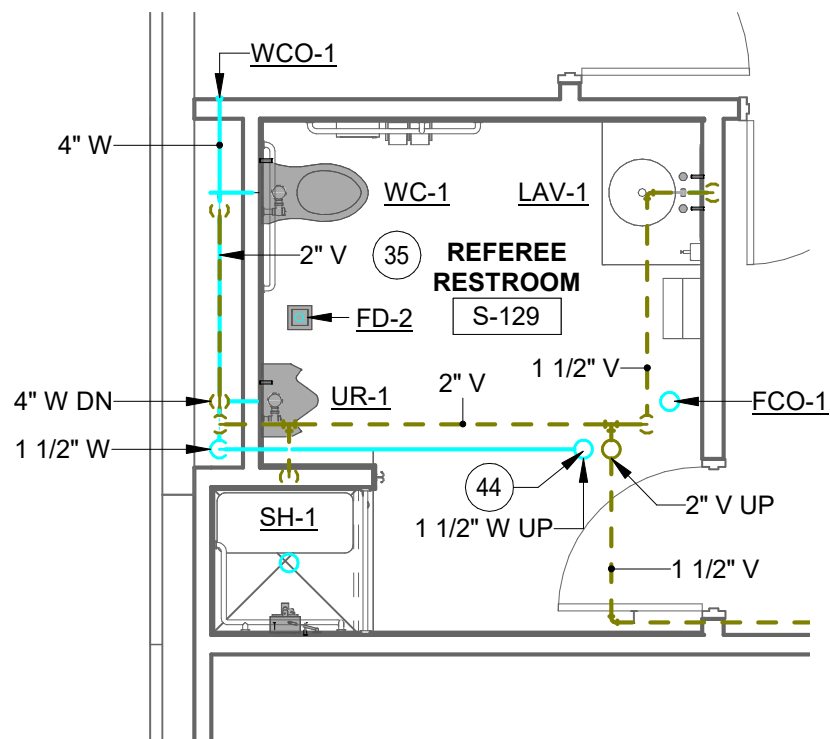
ISG

SHEET NOTES

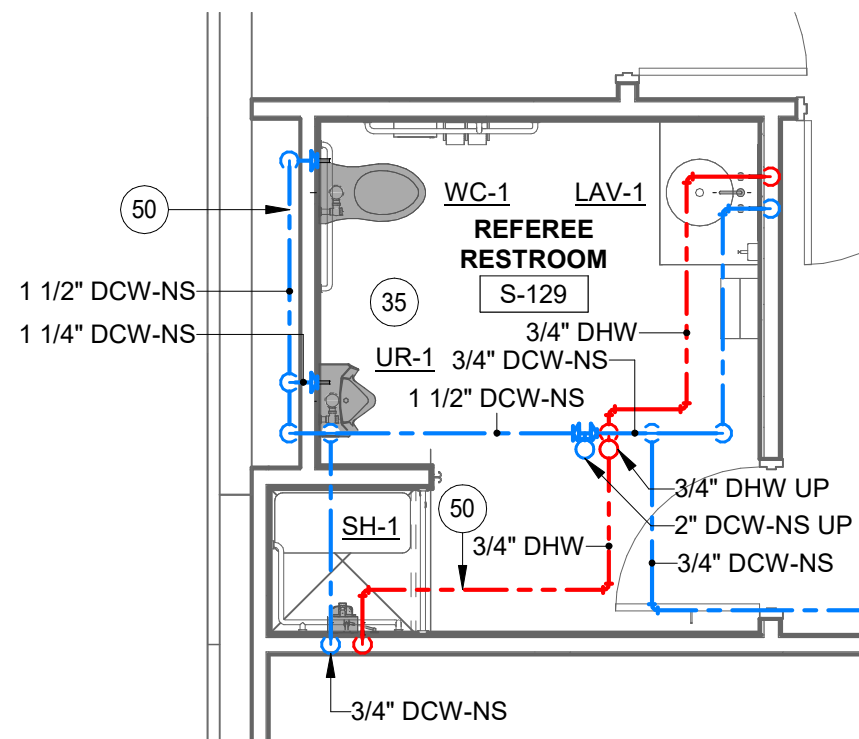
1. FIELD VERIFY ALL SITE CONDITIONS BEFORE STARTING CONSTRUCTION.
2. ALL EXISTING DUCTWORK, PIPING, EQUIPMENT, ETC. INDICATED ON PLANS ARE BASED ON INFORMATION FROM CONSTRUCTION DOCUMENTS AND FIELD VERIFICATION OF EXISTING BUILDING.
3. COORDINATE INSTALLATION OF ALL NEW DUCTWORK, PIPING, EQUIPMENT, ETC. WITH OTHER TRADES.

KEYNOTE LEGEND

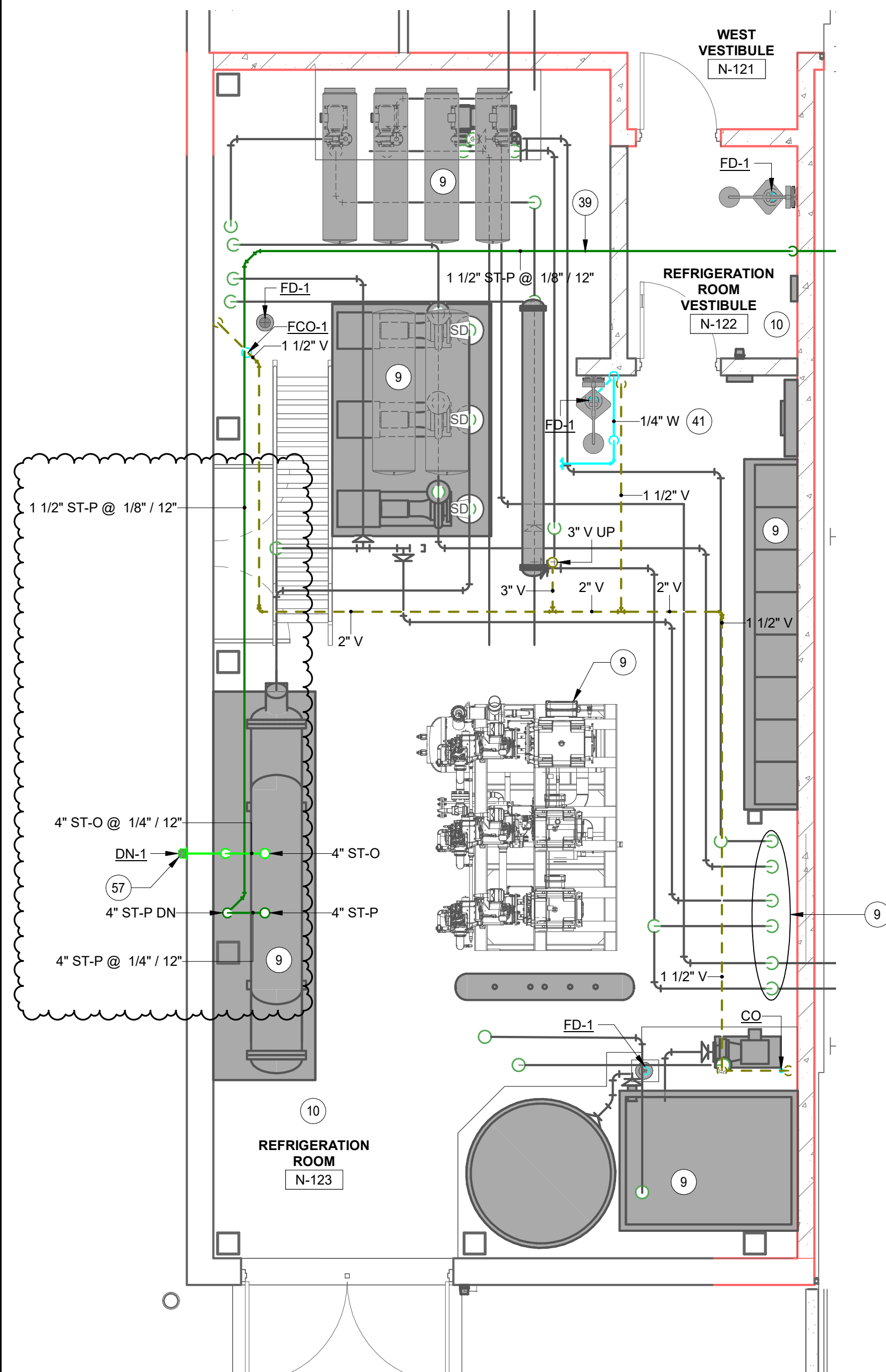
3. INSTALL SHUT-OFF VALVE/S.
9. REFRIGERATION EQUIPMENT UNDER SEPARATE SCOPE, REFER TO REFRIGERATION DRAWINGS.
10. DUCTWORK AND PIPE PENETRATIONS IN REFRIGERATION ROOM TO BE SEALED.
30. UP TO FLOOR DRAIN.
31. UP TO MOP SINK.
34. INSTALL CONDENSATE PIPING TO NEW FLOOR DRAIN.
35. REFER TO "C" PLAN SHEETS FOR MOUNTING HEIGHTS AND ELEVATIONS.
39. RUN PIPING IN CEILING SPACE, APPROXIMATELY 11'-0" A.F.F. COORDINATE ELEVATION WITH OTHER DISCIPLINES.
40. PROVIDE AND INSTALL BACKFLOW PREVENTOR WITH SHUT-OFF VALVES AND SUPPORT AS NEEDED.
41. PROVIDE AND INSTALL DRAIN PIPING FROM ROOF HYDRANT TO NEAREST VENTED FLOOR DRAIN/RECEPTOR.
42. REROUTE SUMP PIPING ABOVE NEW DOORWAY.
44. UP TO SINK.
46. COORDINATE WITH REFRIGERATION CONTRACTOR ON EXACT LOCATION. REFRIGERATION CONTRACTOR TO MAKE CONNECTION TO EQUIPMENT.
47. UP TO ROOF HYDRANT.
50. PROVIDE AND INSTALL WATER HAMMER ARRESTOR AT APPROXIMATE LOCATION. REFER TO DETAIL FOR MORE INFORMATION.
57. COORDINATE LOCATION OF DOWNSPOUT NOZZLE WITH EXTERIOR CATCH DRAIN. REFER TO CIVIL PLANS.



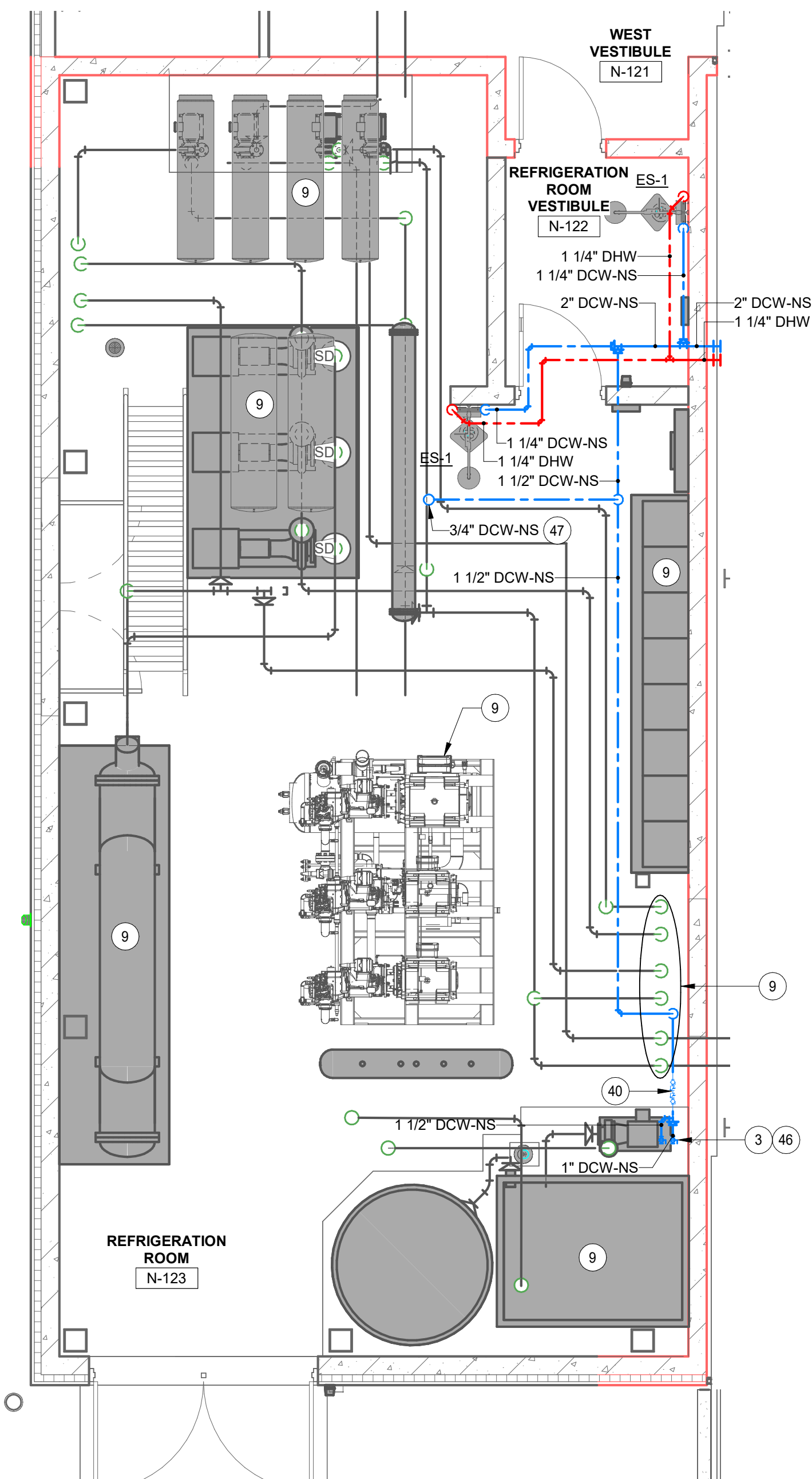
1 ENLARGED PLAN, DWV, REFEREE RESTROOM S-129
1/4" = 1'-0"



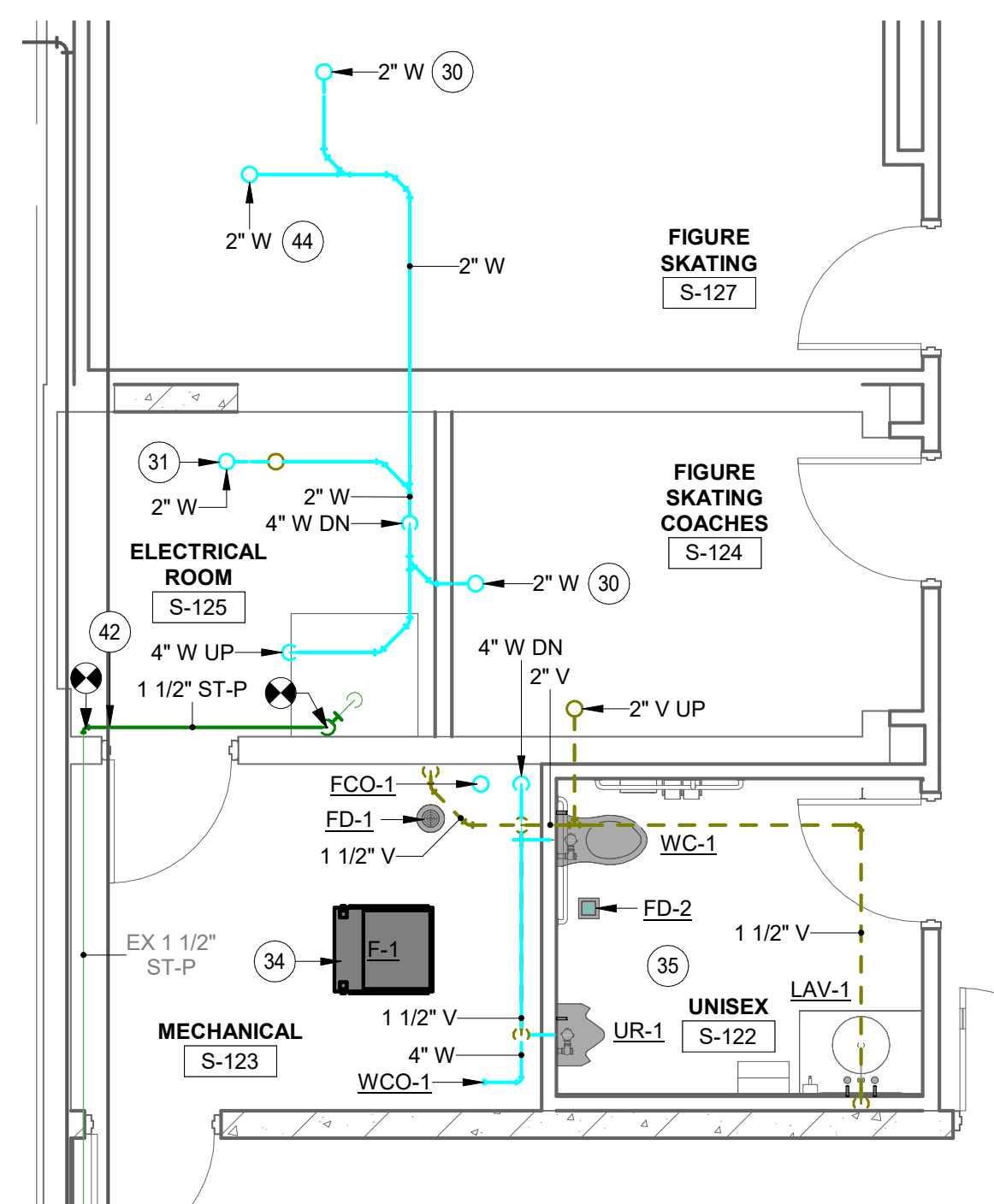
2 ENLARGED PLAN, WATER, REFEREE RESTROOM S-129
1/4" = 1'-0"



3 ENLARGED PLAN, DWV / STORM, REFRIGERATION ROOM N-123
1/4" = 1'-0"



4 ENLARGED PLAN, WATER, REFRIGERATION ROOM N-123
1/4" = 1'-0"



5 ENLARGED PLAN, DWV, UNISEX S-122, MECH S-123, ELEC S-125
1/4" = 1'-0"

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

ANTHONY J. EFFENBERGER

DATE 09/04/24 LIC. NO. 41935

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE LIC. NO.

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PROJECT

ALL SEASONS
ARENA
RENOVATION

MANKATO MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
03/07/24	ADDENDUM #2	DJS
03/13/24	ADDENDUM #3	DJS
09/04/24	PROPOSAL REQUEST #5	DJS

PROJECT NO. 23-29969

FILE NAME 29969 Mech R22.rvt

DRAWN BY DJS

DESIGNED BY DJS / AJE

REVIEWED BY AJE

ORIGINAL ISSUE DATE 02/26/24

CLIENT PROJECT NO.

TITLE

PLUMBING
ENLARGED PLANS

SHEET

P4-11

Met-Con Construction, Inc.

15760 Acorn Trail
Faribault, MN 55021
Ph : (507)332-2266

Change Request

To: Jared Mueller
Knutson Construction
111 South Secon Street,
Suite 610
Mankato, MN 56001
Ph: 507-280-9788

Date: 9/11/24
Job: 34680 City Mankato/All Seasons Arena
Phone:

Description: PR #005

Source: Other

We are pleased to offer the following specifications and pricing to make the following changes:

Schwickert's has indicated no cost change on their end for PR #005.
Credit provided for sidewalk revision.

Description	Labor	Material	Equipment	Subcontract	Other	Price
Site Concrete (-10 hrs)	\$-930.00	\$-660.00	\$-30.00			\$-1,620.00
					Subtotal:	\$-1,620.00
		Sub OH&P				\$0.00
		Self-Perform OH&P				\$0.00
		Performance Bond				\$0.00
					Total:	\$-1,620.00
The schedule is not affected by this change.						
If you have any questions, please contact me at (507)332-2266.						

Submitted by: Bauer, Jennifer
Met-Con Companies-USE V#13417

Approved by: _____
Date: _____

Cc: Justin Fahey (Knutson Construction)

COST PROPOSAL

All Seasons Arena Owners Representative

1251 Monks Avenue
Mankato, MN 56001

To:	Jim Tatge City of Mankato P.O. Box 3368 10 Civic Center Plaza Mankato, 56002-3368	Knutson PCI #:	CONT-048
		Knutson Job #:	2340015
		Date Submitted:	9/11/24
From:	Jared Mueller Knutson Construction Rochester 5985 Bandel RD NW Rochester, MN 55901	Status:	Submitted
		Source Type:	
		Reason:	

Description of Proposed Change

Wall infill on 2nd floor (Walk through)

Additional Scope of Work Details**COST SUMMARY**

Description	Vendor	Qty	UofM	Amount
Trade Package 01A	Met-Con Construction	1	LS	\$2,439.96

Total Cost Proposal Amount: \$2,439.96

Days Impact (calendar days):

Please allow the above stated additional calendar days to the project schedule to complete this work scope change. The price quoted and days extension requested are for the direct impact of the requested change. We reserve the right to seek additional compensation and / or time extension for the cumulative effect of changes on the entire project that cannot be foreseen at this time.

Met-Con Construction, Inc.

15760 Acorn Trail
Faribault, MN 55021
Ph : (507)332-2266

Change Request

To: Jared Mueller
Knutson Construction
111 South Secon Street,
Suite 610
Mankato, MN 56001
Ph: 507-280-9788

Date: 9/4/24
Job: 34680 City Mankato/All Seasons Arena
Phone:

Description: RFC #022

Source: Other

We are pleased to offer the following specifications and pricing to make the following changes:

At the owners request, we are proposing to ADD a new metal stud wall, complete with drywall and paint, in the hallway between Press S-201 and Circulation/Viewing S-212 to cover the existing metal building structure, conduits, and fill in the existing gap at the end of the precast plank (see attached images.)

Description	Labor	Material	Equipment	Subcontract	Other	Price
Drywall				\$1,966.04		\$1,966.04
Painting & VWC				\$325.00		\$325.00
					Subtotal:	\$2,291.04
			Sub OH&P	\$2,291.04	5.00%	\$114.55
			Self-Perform OH&P			\$0.00
			Performance Bond	\$2,291.04	1.50%	\$34.37
					Total:	\$2,439.96
The schedule is not affected by this change.						
If you have any questions, please contact me at (507)332-2266.						

Submitted by: Bauer, Jennifer
Met-Con Companies-USE V#13417

Approved by: _____
Date: _____

Cc: Justin Fahey (Knutson Construction)

All Seasons Arena Reno - Manka Request for Change

1251 Monks Avenue
Mankato, MN 56001



To: Met-Con Construction

RFC Number: RTL #002

Original Contract : \$213,959.00

Other Approved Change Orders: \$10,356.66

Total Contract to Date: \$224,315.66

Other Pending Requests: \$3,302.76

This Request: \$1,966.04

RTL Job # 24-159

Date: 8/28/2024

COST SUMMARY

Description of Change: Build a 8' 6" long wall roughly 14' tall to cover existing girder/MEPs.

Cost		Notes/Attachments
Labor	\$ 1,365.00	
Material	\$ 422.31	
Total Cost	\$ 1,787.31	
Overhead and Profit	\$ 178.73	10%
Self-Performed Total	\$1,966.04	
Subcontractors	\$ 0.00	
Overhead and Profit on Subs	\$ 0.00	
Subcontractor Total	\$0.00	
Total Change in Contract	\$1,966.04	

Detail Breakdown Below:

Labor	Hours	Rate	Total
Interior Framing	6	\$105.00	\$630.00
Sheetrocking	3	\$105.00	\$315.00
Taping	4	\$105.00	\$420.00
Labor Total	13		\$1,365.00
Material	Total		
Material Total			\$422.31

The above work is subject to the same conditions as specified in the original contract unless otherwise stipulated.
Upon approval the sum of \$1,966.04 will be added to the contract price.

Authorized Signature: _____ Date: _____

Met-Con Construction



September 3, 2024

Met-con
15760 Acorn Trail
Faribault, MN 55021

Project: All Seasons Arena Renovations

Mankato, MN

Wall 15' x 8'.6"

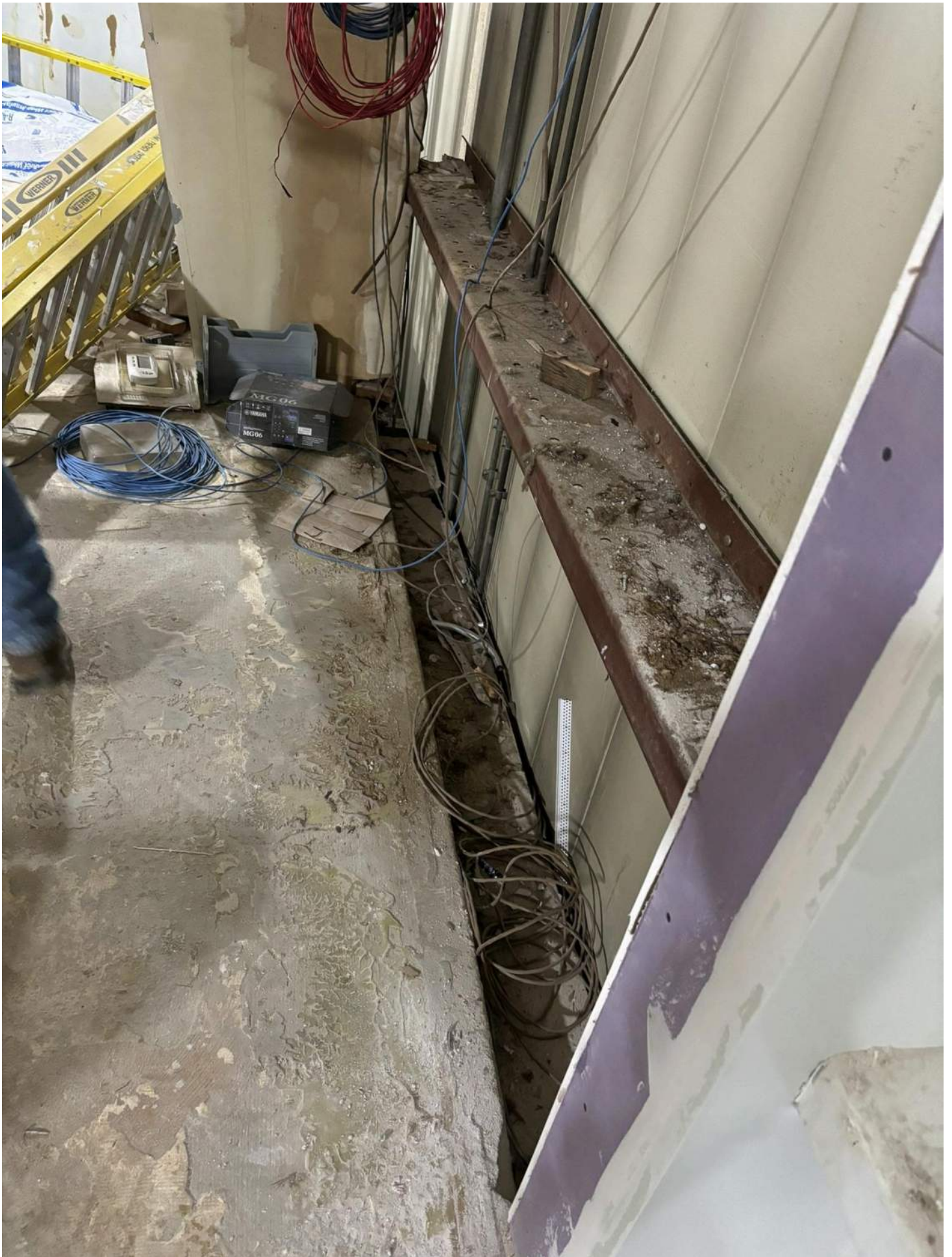
Add \$325.00 for painting the 15' x 8'.6" wall.
Labor \$225.00
Materials \$100.00

Thank you,

A handwritten signature in black ink, appearing to read "Bob Caswell". The signature is fluid and cursive, with a large loop at the end.

Bob Caswell





COST PROPOSAL

All Seasons Arena Owners Representative

 1251 Monks Avenue
 Mankato, MN 56001

To:	Jim Tatge City of Mankato P.O. Box 3368 10 Civic Center Plaza Mankato, 56002-3368	Knutson PCI #:	CONT-049
		Knutson Job #:	2340015
		Date Submitted:	9/11/24
From:	Jared Mueller Knutson Construction Rochester 5985 Bandel RD NW Rochester, MN 55901	Status:	Submitted
		Source Type:	
		Reason:	

Description of Proposed Change

RFI 88 Elevator Equipment Room Existing Exhaust Fan Opening

Additional Scope of Work Details
COST SUMMARY

Description	Vendor	Qty	UofM	Amount
Trade Package 01A	Met-Con Construction	1	LS	\$1,172.82

Total Cost Proposal Amount: \$1,172.82

Days Impact (calendar days):

Please allow the above stated additional calendar days to the project schedule to complete this work scope change. The price quoted and days extension requested are for the direct impact of the requested change. We reserve the right to seek additional compensation and / or time extension for the cumulative effect of changes on the entire project that cannot be foreseen at this time.



Knutson Construction
111 S 2nd St, Suite 610
Mankato, Minnesota 56001
P: (507) 280-9788

Project: 2340015 All Seasons Arena Owners
Representative
1251 Monks Avenue
Mankato, Minnesota 56001

RFI #88: S-132 Elevator Equipment room

Status	Closed on 08/21/24		
To	Kalob Hays (I & S Group, Inc.) Carter Burroughs (I & S Group, Inc.)	From	Mark Prange (Malterer Mechanical) 319 Pintail Street Mankato, Minnesota 56001
Date Initiated	Aug 16, 2024	Due Date	Aug 21, 2024
		Project Stage	
Cost Impact		Schedule Impact	
Spec Section			
Drawing Number	M2-11C	Reference	A1-31C
Linked Drawings			
Received From	Mark Prange (Malterer Mechanical)		
Copies To	Justin Fahey (Knutson Construction - Rochester), Jared Mueller (Knutson Construction - Rochester), Barry Wright (Knutson Construction - Rochester)		
Proposed Suggestion			

Activity

Question	Question from Mark Prange Malterer Mechanical on Friday, Aug 16, 2024 at 07:13 AM CDT HVAC plan shows existing equipment in that room to remain. The fan and intake had to be removed to allow for the new ceiling installation. The new ceiling is lower than what is called out for on the plan page due to some structural steel. The new ceiling height will not allow the fan to be reinstalled back into its existing location. The wall opening will need to be recut lower to allow for reinstallation of existing smoke damper. Who will cut the wall opening and potentially infill the upper part of that opening thru the block wall?
Official Response	Response from Kalob Hays I & S Group, Inc. on Wednesday, Aug 21, 2024 at 03:41 PM CDT Per discussion on site move the damper down one course to allow for clearance.

Met-Con Construction, Inc.

15760 Acorn Trail
Faribault, MN 55021
Ph : (507)332-2266

Change Request

To: Jared Mueller
Knutson Construction
111 South Secon Street,
Suite 610
Mankato, MN 56001
Ph: 507-280-9788

Date: 9/4/24
Job: 34680 City Mankato/All Seasons Arena
Phone:

Description: RFC #023 - Existing EF Opening
Source: RFI # 88

We are pleased to offer the following specifications and pricing to make the following changes:
ADD to cut in a new 8" x 8" opening one course below the existing exhaust fan opening in S-132 Elevator Equipment Room and patch back original opening per RFI #088 response dated 8/21/2024.

Description	Labor	Material	Equipment	Subcontract	Other	Price
Select Demolition				\$650.00		\$650.00
Int Block 4hrs	\$364.00	\$55.00	\$12.00			\$431.00
					Subtotal:	\$1,081.00
			Sub OH&P	\$650.00	5.00%	\$32.50
			Self-Perform OH&P	\$431.00	10.00%	\$43.10
			Performance Bond	\$1,081.00	1.50%	\$16.22
					Total:	\$1,172.82
The schedule is not affected by this change.						
If you have any questions, please contact me at (507)332-2266.						

Submitted by: Bauer, Jennifer
Met-Con Companies-USE V#13417
Cc: Justin Fahey (Knutson Construction)

Approved by: _____
Date: _____

Re: All Seasons Arena - Masonry Cut

The Concrete Cutter <theconcretecutter@yahoo.com>

Thu 8/29/2024 9:24 AM

To: Casey Funk <casey.funk@met-con.com>

 2 attachments (3 KB)

Outlook-uobsuyl; Outlook-dq4wypm0;

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

figure\$ 650

*Cole Mueller, President
Carrie Mueller, Office Manager*

*The Concrete Cutter, LLC
260 W. Derrynane Street
PO Box 206
Le Center, MN 56057
Office: 507-357-4294*

On Thursday, August 29, 2024 at 09:07:26 AM CDT, Casey Funk <casey.funk@met-con.com> wrote:

Cole,

The existing exhaust fan hole at ASA shown in the attached photo is too high and interferes with the new floor that we put in. Could you send us a price to cut in the same opening one course below it? It's roughly an 8" x 8" opening in a core filled masonry wall. Please let me know if you have any questions.

Thanks!

Casey Funk | *Project Manager*

Met-Con Companies, Inc.

15760 Acorn Trail | Faribault, MN 55021 | Email: casey.funk@met-con.com

Tel: (507) 332-2266 | Fax: (507) 332-8742 | Cell: (507) 384-7610

We can do that! www.met-con.com



