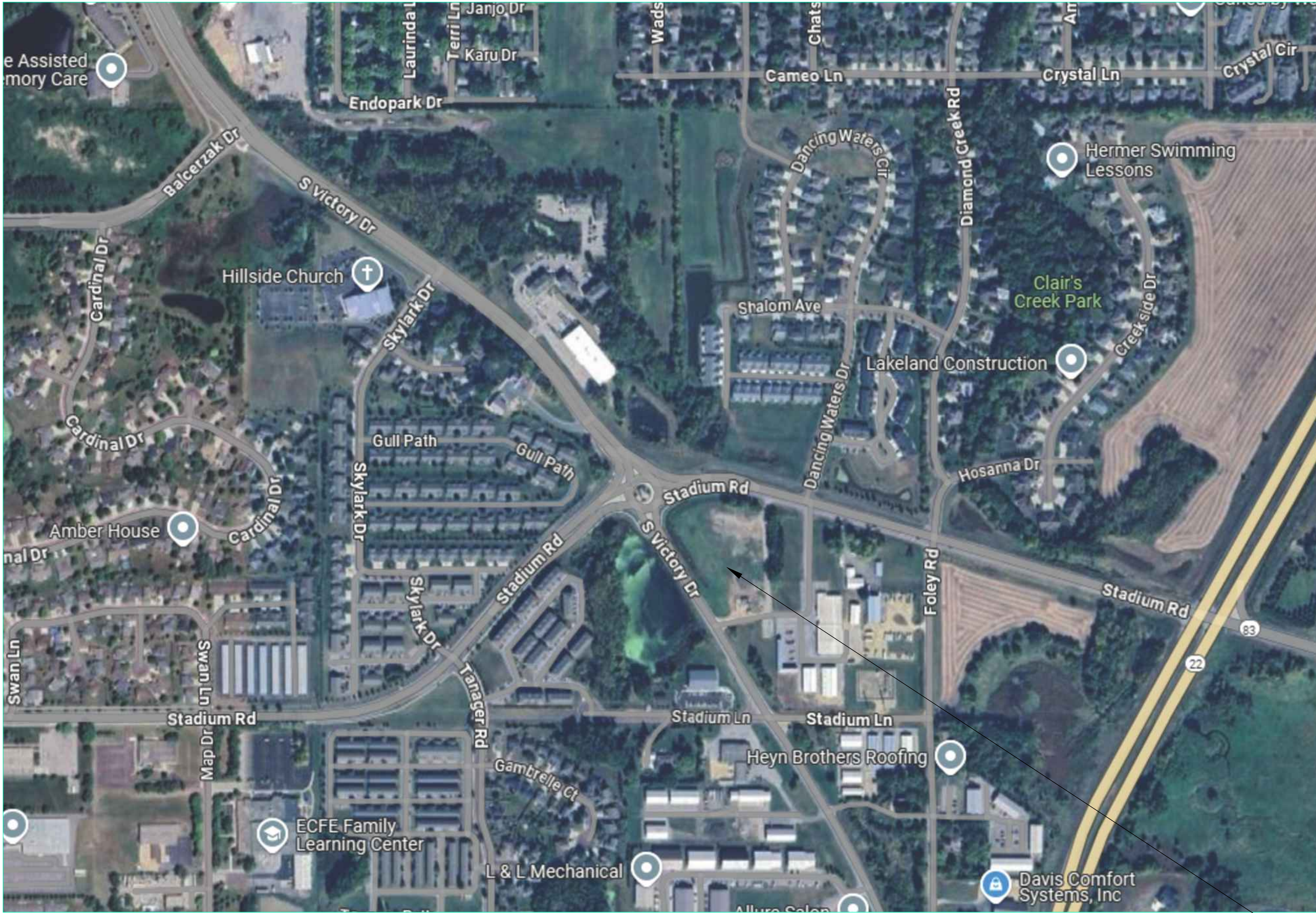


MANKATO APARTMENTS

MANKATO, MN



PROJECT LOCATION

INDEX TO SHEETS

C1: TITLE SHEET
C2: EXISTING CONDITIONS
C3: HARDSCAPE PLAN
C4: UTILITY PLAN
C5: GRADING PLAN
C6: LANDSCAPE PLAN
C7: DETAILS
C8: SWPPP NARRATIVE& DETAILS
C9: DETAILS
C10-C11: SPECIFICATIONS

THIS PLAN CONTAINS 11 SHEETS

LEGEND

	= 5/8" Ø X 16" iron stake monument		= Sign
	= Iron stake monument-Found		= Sign-Handicap
	= Water Main		= Light Pole
	= Sanitary Sewer		= Power Pole
	= Storm Sewer		= Guy Anchor
	= Gas Main		= Fire hydrant
	= Underground Telephone		= Water Main Valve
	= Overhead Telephone		= Fire Sprinkler
	= Fiber-Optics		= Cleanout
	= Underground Electric		= Culvert
	= Overhead Electric		= Gas Main Valve
	= Chain Link Fence		= Catch Basin
	= Control Access		= Manholes
	= Gate Post		= Spot Elevation
	= Bollards		= Rim Elevation
	= Electric Meter		= Line Elevation
	= Gas Meter		= Concrete Surface
	= Fiber-Optics Box		= Bituminous Surface
	= Telephone Pedestal		= Gravel Surface
	= Light Tower		= Proposed Pavement Elevation
	= Silt Fence		= Proposed Top/Bottom of Retaining Wall Elevation
	= Furnish & Install		
	= Existing Elevation Contour Line		
	= Proposed Elevation Contour Line		

APPLICABLE CONSTRUCTION PERMITS

ALL CONSTRUCTION WITHIN ROAD RIGHT-OF-WAY
SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE
PERMIT AS ISSUED BY THE ROAD AUTHORITY.

GENERAL NOTES

DEVELOPER, CONTRACTOR AND ALL SUBCONTRACTORS SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES GOVERNED BY STATE AND LOCAL JURISDICTION.

ALL IRRIGATING, LIGHTING AND SIGNAGE ARE NOT A PART OF THIS PLAN.

PROVIDE EROSION CONTROL PER NPDES PERMIT REQUIREMENTS AND AS SHOWN.

PROVIDE HANDICAP CURB RAMPS & SIGNAGE. COMPLY WITH ALL AMERICAN DISABILITY ACT REQUIREMENTS.

ALL CONCRETE OR ASPHALTIC PAVEMENT CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF MN/DOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.

A ROCK CONSTRUCTION ENTRANCE IS REQUIRED AT ALL ENTRANCES FROM BITUMINOUS PAVEMENT.

ACCESS FOR LOCAL RESIDENTS/BUSINESSES SHALL ALWAYS BE MAINTAINED.

PROVIDE PAVEMENT STRIPING AS SHOWN

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR CONSTRUCTION.

THE BOUNDARY SURVEY BY OTHERS FOR THE SITE BOUNDARIES, ANY ALTERATIONS OR REVISIONS TO THE SITE DEVELOPMENT PLAN AS SHOWN SHALL NOT BE THE RESPONSIBILITY OF JONES, HAUGH & SMITH INC. AND SHALL RELY ON JONES, HAUGH & SMITH INC. OF ANY LIABILITY FOR ANY DAMAGES CAUSED BY JONES, HAUGH & SMITH INC. PRIOR.

BENCHMARK 1

Top head of spike in power pole at southeast corner of property
Elevation = 1001.49

BASIS OF BEARING SYSTEM

All bearings are based upon the MnDot Blue Earth County Coordinate
System Nad 83 (96) Harn Adjustment Grid

herby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Professional Engineer under the laws of the State of Minnesota.

Brian J. Johnson

Brian J. Johnson



**JONES
HAUGH
SMITH**
Engineers + Surveyors

115 South Washington Ave. Albert Lea, MN

WANKATO APARTMENTS

726

25.188

Date: 9/20/2025

bii

Checked:

Project Manager:

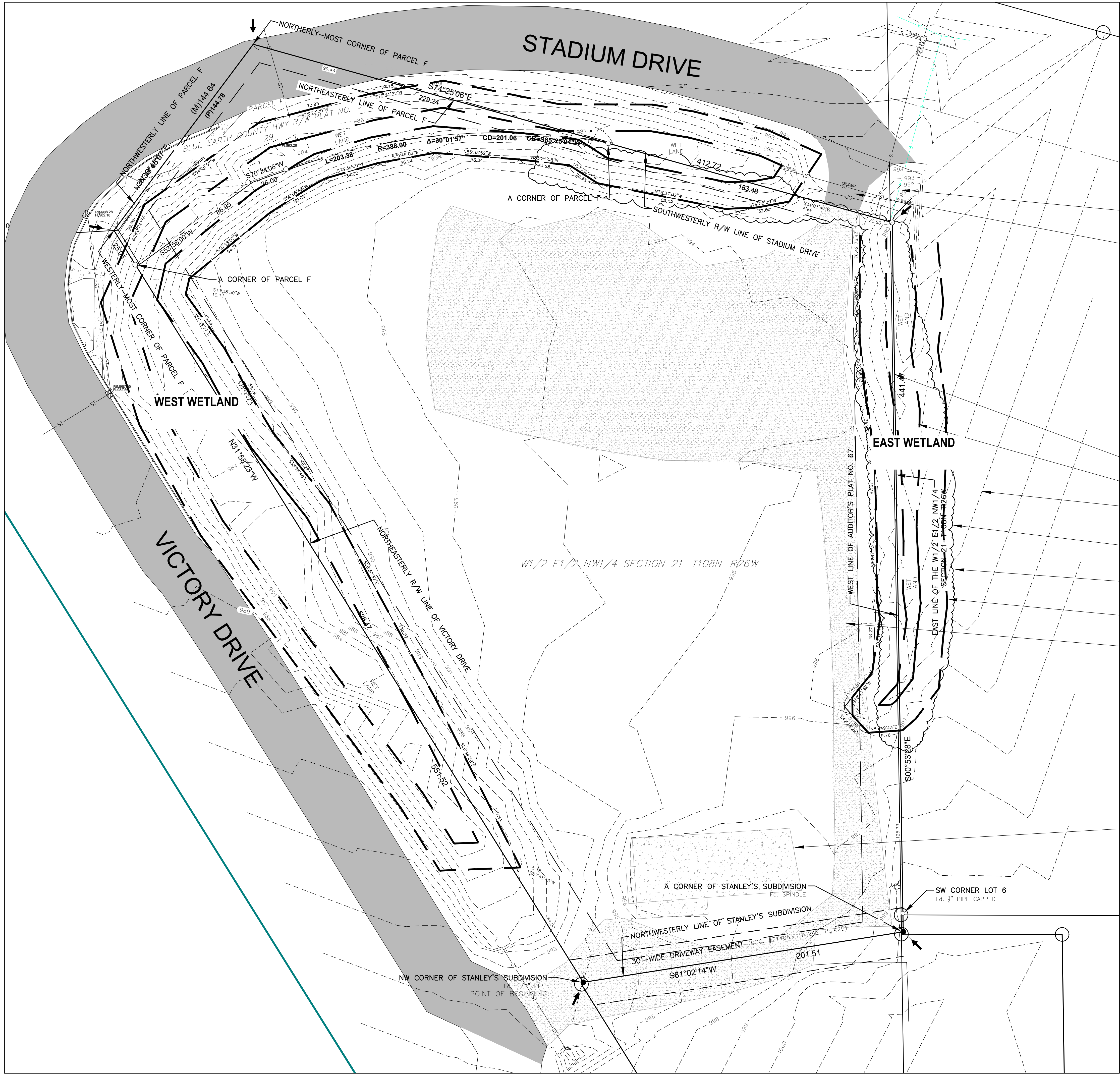
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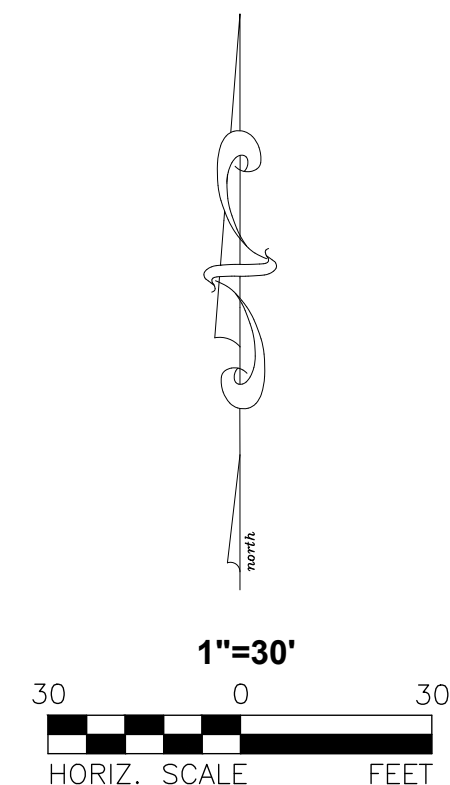
TITLE SHEET

Sheet No. -

C1



- EXISTING SEWER/WATER SERVICES-FIELD VERIFY LOCATION
- REMOVE EXISTING DRIVEWAY APPROACH-GRADE TO MATCH EXISTING DITCH SLOPES
SEE GRADING PLAN-REMOVE EXISTING DRIVEWAY CULVERT
- PROPERTY LINE TYP.
- WETLAND DELINEATION LINE TYP.
- EXISTING ELEVATION CONTOUR TYP.
- EDGE OF TREES TYP.
- EXISTING GROUND SPOT ELEVATION TYP.
- 16.5' WETLAND BUFFER LINE TYP.
- REMOVE OR SALVAGE EXISTING GRAVEL SURFACING
- REMOVE EXISTING CONCRETE SLABS & WALKS AS REQUIRED FOR CONSTRUCTION TYP.



Consultant:

JONES HAUGH SMITH
Engineers + Surveyors
515 South Washington Ave. Albert Lea, MN 56007
507-373-4876

Project:

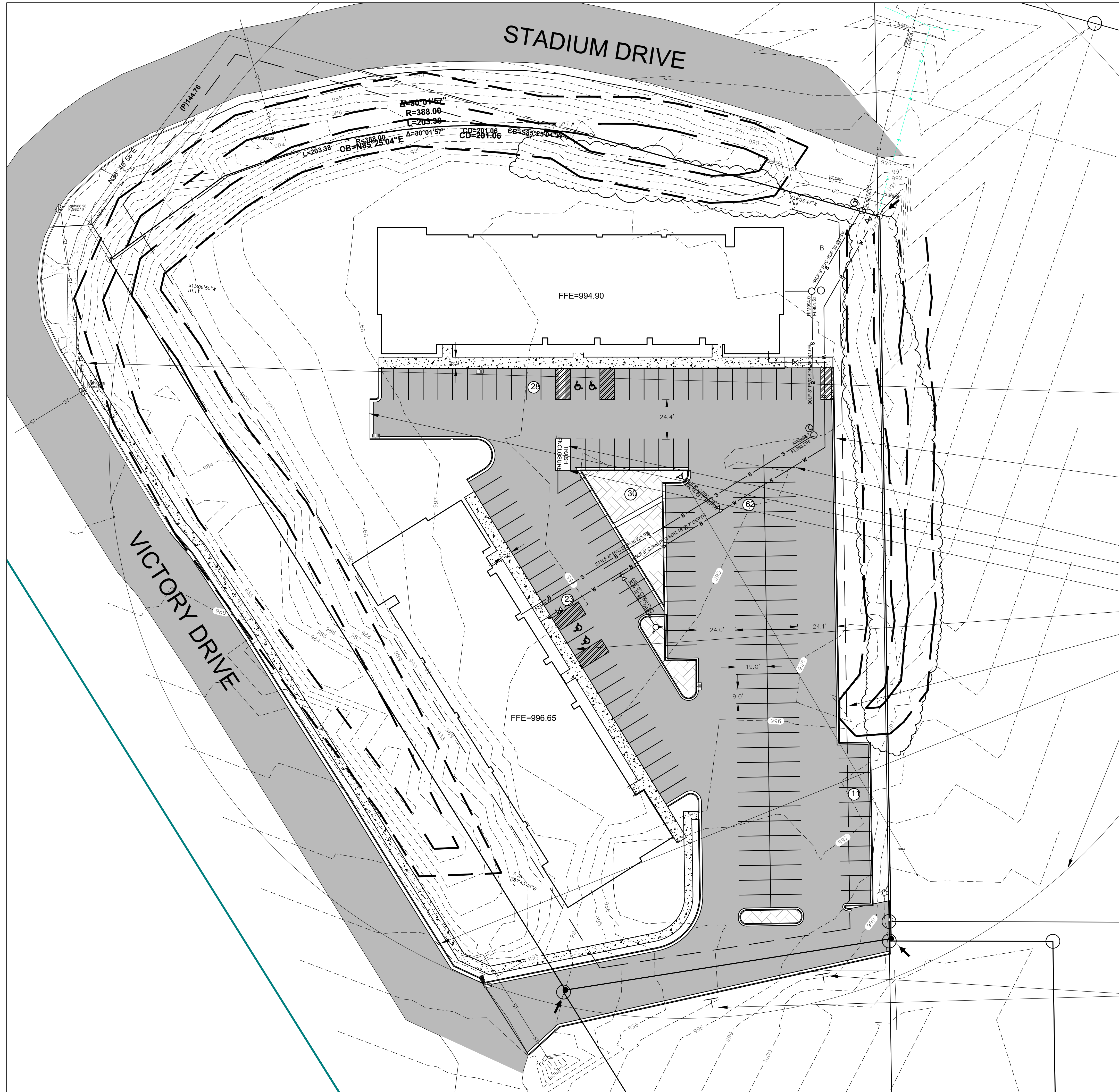
MANKATO APARTMENTS

Revision:

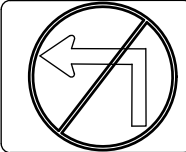
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Project Status: CD	
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EXISTING CONDITIONS	
Sheet No.: C2	

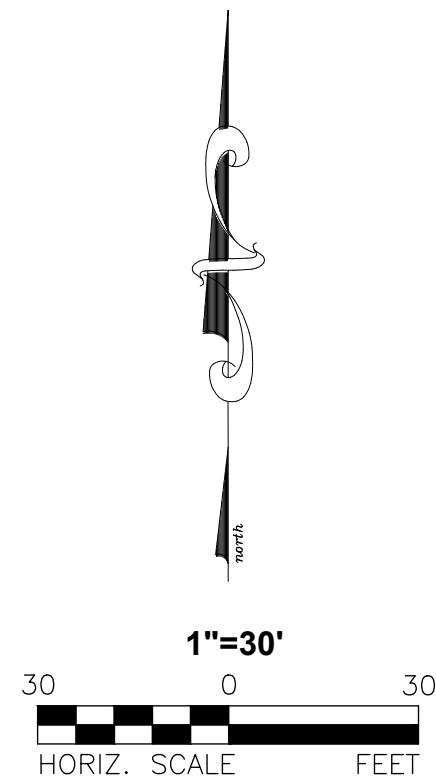
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Brian J. Johnson
Reg. No. 42744 Date: 9/20/25



- F&I NEW SIDEWALK ALONG VICTORY DR. WITH 4' BOULEVARD TYP. CONNECT NEW SIDEWALK TO EXISTING TYP.
- NEW CONCRETE B618 CURB & GUTTER TYP.
- F&I LATEX PAVEMENT STRIPING/MESSAGES TYP.
- F&I CONCRETE PAVEMENT SECTION WITHIN TRASH ENCLOSURE TYP.
- F&I CURB CUT FOR POND MAINTENANCE ACCESS
- PROPOSED DUMPSTER ENCLOSURE LOCATION-SEE ARCHITECTURAL
- F&I THICKENED EDGE WALK ALONG BUILDING EXCEPT AT ADA STALLS TYP. SEE THICKENED EDGE WALK DETAIL AND RAISED PAVEMENT DETAIL BUILDING SETBACK LINE TYP.
- F&I B624 CURB & GUTTER ALONG EDGE OF VICTORY DRIVE ALONG NEW SIDEWALK SAWCUT EXISTING SHOULDER BITUMINOUS AND PATCH AS REQUIRED FOR CURB INSTALLATION
- 350' HYDRANT COVERAGE RADII-SEE UTILITY PLAN FOR MORE INFORMATION

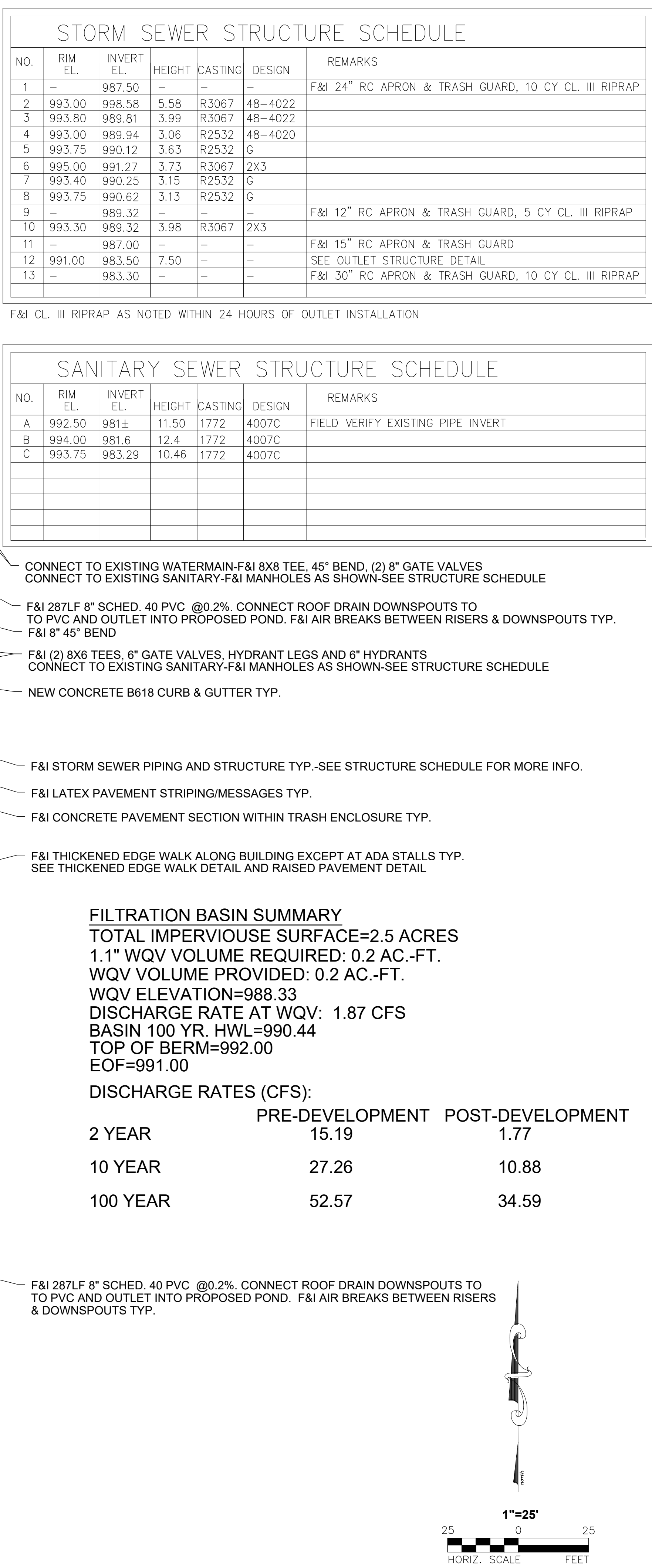

F&I (2) R3-2 NO LEFT TURN SIGNS PER MUTCD MANUAL



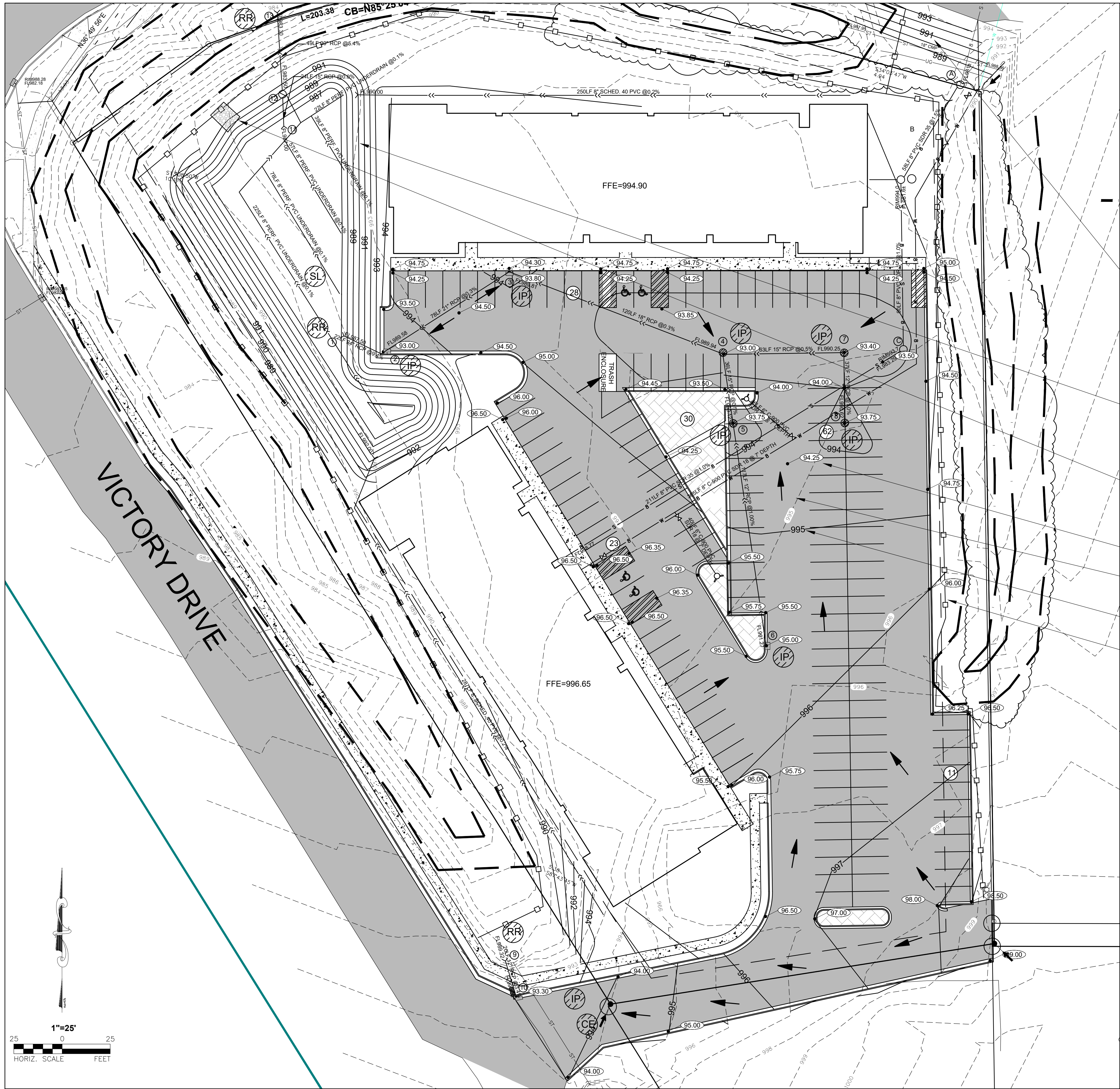
MANKATO APARTMENTS

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Project Manager:	
Project Status: CD	
Sheet Title:	

HARDSCAPE PLAN



Project:	
Revision:	
No.:	Date: 9/20/2025
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Project Manager:	
Project Status: CD	
Sheet Title:	
UTILITY PLAN	
Sheet No.:	
C4	



SWPPP LEGEND

- = ROCK CONSTRUCTION ENTRANCE
 - = INLET PROTECTION-TYP. AT ALL DOWNGRADE INLETS
 - = SILT FENCE-FOR PERIMETER CONTROL
 - = WOOD CHIP BIO-ROLL/SILT SOCK
 - = HYDRO-SEED TYPE LAWN OVER 6" MIN. BLACK DIRT TOPSOIL (TYP. TO ALL NON-PAVED DISTURBED AREAS WITHIN SITE)
 - = DESIGNATED CONCRETE WASHOUT AREA
 - = CL. III RIPRAP ENERGY DISSIPATION-PLACE WITHIN 24 HOURS
 - = RUNOFF FLOW DIRECTION
 - = DRAINAGE AREA BOUNDARY
 - = DESIGNATED POLLUTANT GENERATING AREA
 - = DESIGNATED STEEP SLOPE AREA (4:1 OR GREATER) F&I CATEGORY 3 BLANKET ON ALL 4:1 OR STEEPER SLOPES
- ONSITE SOILS=SILTY CLAY, KLOSSNER MUCK PER NRCS SOIL SURVEY

QUANTITY

- 1 EA
- 9 EA
- 1400 LF
- 1 ACRE
- 1 EA
- 25 CY
- 1 EA
- 1300 SY

REMOVE EXISTING ACCESS ROAD & CULVERT-GRADE TO MATCH EXISTING ROAD SLOPES

PROPOSED FILTRATION BASIN-SEE BASIN DETAILS FOR SAND MEDIA AND SEEDING REQUIREMENTS

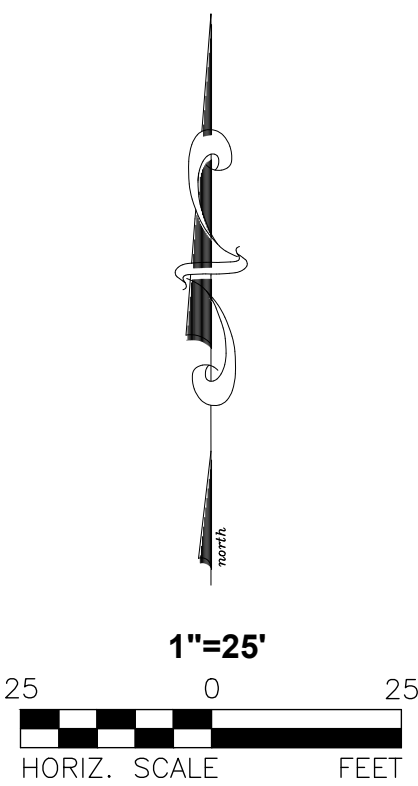
F&I EMERGENCY OVERFLOW (EOF) AT THIS LOCATION AT ELEV. 1192.00 -INSTALL 10'X12'X12" THICK RIPRAP OVERFLOW WITH CL. III RIPRAP OVER GEO-FABRIC

PROPOSED PAVEMENT/GUTTER ELEVATION (NGVD LESS 900) TYP.

EXISTING ELEVATION CONTOUR TYP.

PROPOSED ELEVATION CONTOUR TYP.

PROPOSED SILT FENCE TYP.



I hereby certify that this plan, specification, or report was prepared by me, or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Brian J. Johnson
Brian J. Johnson
Reg. No. 42744 Date: 9/20/25

Consultant:
JONES HAUGH SMITH
Engineers & Surveyors
515 South Washington Ave. Albert Lea, MN 56007-373-4876

Project:
MANKATO APARTMENTS

Revision:
No.: Date: 9/20/2025
Drawn: bjj Checked:
Project Manager:
Project Status: CD
Sheet Title:

GRADING PLAN

Sheet No.:
C5



LANDSCAPING NOTES

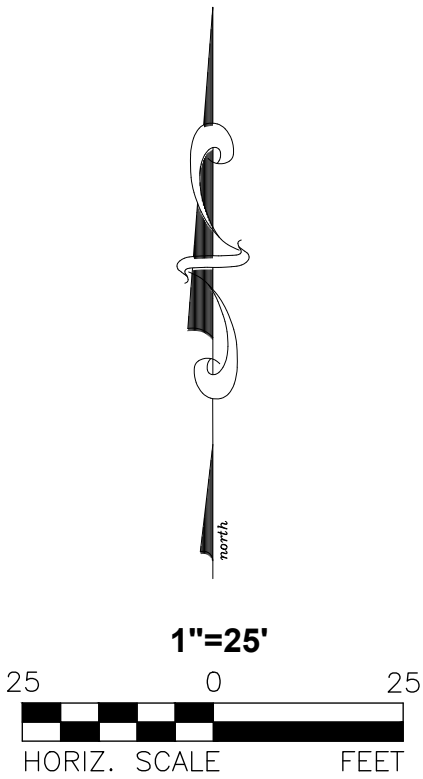
Sec. 10-1740 PERIMETER OFF STREET PARKING LOT
(1) SHADE TREE/ 50 LF OF FRONTAGE
(1) EVERGREEN TREE/ 25 LF OF FRONTAGE
80% OPAQUE ALONG ALL PARKING FRONTING STREET

PLANTING BEDS SHALL BE MULCHED WITH BARK CHIPS,
ROCK MULCH, FEATHER ROCKS OR SIMILAR MATERIAL.

PERIMETER LANDSCAPING & TRANSITIONAL YARDS SHALL
CONSIST OF A COMBINATION OF GROUND COVER, SHADE
TREES OR EVERGREEN TREES, SHRUBS AND APPROPRIATE
SCREENING DEVICES SUCH AS DECORATIVE WALLS, FENCES OR
BERMS.

LANDSCAPING LEGEND

- =DENOTES EVERGREEN TREE
- =DENOTES SHRUB
- =DENOTES ARBOVITAE HEDGE (4' MIN. - 8' MAX)
(80% OPAQUE ALONG ALL PARKING FRONTING PREMIER DR.)
- =DENOTES SHADE TREE
- =DENOTES PLANTING BED W/ MULCH
- =DENOTES EXISTING TREELINE



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Doreen J. Jones
Professional Engineer
Reg. No. 42744

Project: Mankato Apartments
Date: 9/20/25

MANKATO
APARTMENTS

No.:	Date: 9/20/2025
Drawn: bjj	Checked:
Project Manager:	
Project Status: CD	
Sheet Title: LANDSCAPE PLAN	