

SAFELITE PARKING LOT EXPANSION CONSTRUCTION PLANS

MANKATO, MINNESOTA

ISG PROJECT # 25-33883



SITE SUMMARY		
PROJECT ADDRESS/LOCATION:	1761 BASSETT DR, MANKATO, MINNESOTA 56001	
ZONING:	B4 COMMERCIAL	
SITE/LOT AREA:	16,400 SF	(0.4 AC)
REQUIRED SETBACKS		
	PARKING	BUILDING
FRONT YARD	15'	15'
SIDE YARD	5'	5'
REAR YARD	5'	5'
PARKING DATA		
LAND USE CLASSIFICATION	AUTOMOTIVE REPAIR	
PARKING SPACES REQUIRED (CODE)	THREE SPACES PER STALL, PLUS ONE FOR EACH EMPLOYEE ON MAJOR SHIFT	
GOVERNING INFORMATION	2 SERVICE STALLS, 11 EMPLOYEES	
PARKING SPACES REQUIRED	17	
	PARKING STALLS PROVIDED	
STANDARD	16 (INCLUDES 2 SERVICE BAYS)	
ACCESSIBLE	1	
TOTAL	17	

SHEET INDEX

- C0-10 TITLE
- C0-11 LEGENDS AND DETAILS
- C0-12 EXISTING SITE AND REMOVAL PLAN
- C0-13 SITE PLAN
- C0-14 GRADING PLAN
- C0-15 SITE RESURFACING AND PLANTING PLAN
- C0-16 LANDSCAPE DETAILS
- E0-10 SITE PHOTOGRAPHIC PLAN

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PROJECT

SAFELITE

PARKING LOT EXPANSION

MANKATO MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	25-33883
FILE NAME	33883C00-GENERAL
DRAWN BY	EAK
DESIGNED BY	BMP
REVIEWED BY	BMP
ORIGINAL ISSUE DATE	11/1/24
CLIENT PROJECT NO.	-

TITLE

TITLE

SHEET

C0-10

PROJECT INDEX:

OWNER:
CAG MANKATO INVESTMENTS LLC
1761 BASSETT DR.
MANKATO, MINNESOTA, 56001
CONTACT: TODD ENFIELD
PH: 507.381.7771

PROJECT ADDRESS / LOCATION:

1761 BASSETT DR.
MANKATO, MINNESOTA, 56001

MANAGING OFFICE:
I & S GROUP, INC. (ISG)

MANKATO OFFICE
115 EAST HICKORY STREET
SUITE 300
MANKATO, MN 56001
PHONE: 507.387.6651

PROJECT MANAGER: BRYAN PETZEL
EMAIL: BRYAN.PETZEL@ISG-INC.COM

ISG

SPECIFICATIONS REFERENCE

ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF MANKATO REQUIREMENTS AND MOST STANDARD SPECIFICATIONS FOR CONSTRUCTION, 2025 EDITION, THE STANDARD SPECIFICATIONS FOR SANITARY SEWER, STORM DRAIN AND WATERMAIN AS PROVIDED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA, 2025 EDITION, AND THE CURRENT VERSION OF THE MINNESOTA STATE PLUMBING CODE UNLESS DIRECTED OTHERWISE.

PROJECT DATUM

HORIZONTAL COORDINATES HAVE BEEN REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), 1985 ADJUSTMENT (NAD83/1985) ON THE BLUE EARTH COUNTY COORDINATE SYSTEM, IN U.S. SURVEY FEET.

ELEVATIONS HAVE BEEN REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). RTK GPS METHODS WERE USED TO ESTABLISH HORIZONTAL AND VERTICAL COORDINATES FOR THIS PROJECT.

B.M. ELEVATION=1007.33
TOP NUT OF FIRE HYDRANT LOCATED
25' SOUTH FROM CENTERLINE OF BASSETT
AND 102' WEST OF ACCESS ROAD INTO SITE

TOPOGRAPHIC SURVEY

THIS PROJECT'S TOPOGRAPHIC SURVEY CONISTS OF DATA COLLECTED IN JANUARY 2025 BY ISG.

PRELIMINARY NOT FOR CONSTRUCTION

EXISTING		PROPOSED
EX STORM MH	STORM MANHOLE	EX STORM MH
EX CB	STORM CATCH BASIN	EX CB
EX CO	STORM CLEANOUT	EX CO
EX CO	STORM CULVERT	EX CO
EX S/O	SEWER OUTFALL	EX S/O
EX S/MH	SANITARY MANHOLE	EX S/MH
EX S/CO	SANITARY CLEANOUT	EX S/CO
EX LIFT STATION	LIFT STATION	EX LIFT STATION
EX WR	WATER REDUCER	EX WR
EX WV	WATER VALVE	EX WV
EX WVMH	WATER VALVE MANHOLE	EX WVMH
EX WCS	WATER CURB STOP	EX WCS
EX WSO	WATER SHUT-OFF	EX WSO
EX PIV	POST INDICATOR VALVE	EX PIV
EX FDC	FIRE DEPARTMENT CONNECTION	EX FDC
EX W	WELL	EX W
EX MW	MONITORING WELL	EX MW
EX LSB	LAWN SPRINKLER BOX	EX LSB
EX LSH	LAWN SPRINKLER HEAD	EX LSH
EX H	HYDRANT	EX H
EX YH	YARD HYDRANT	EX YH
EX UP	UTILITY POLE	EX UP
EX LP	LIGHT POLE	EX LP
EX GL	GROUND LIGHT	EX GL
EX GW	GUY WIRE	EX GW
EX TR	TRANSFORMER	EX TR
EX HH	HANDHOLE	EX HH
EX EMH	ELECTRIC MANHOLE	EX EMH
EX EMT	ELECTRIC METER	EX EMT
EX UV	UTILITY VAULT	EX UV
EX AC	AIR CONDITIONER	EX AC
EX GM	GAS METER	EX GM
EX GV	GAS VALVE	EX GV
EX SB	SOIL BORING	EX SB
EX FP	FLAG POLE	EX FP
EX MB	MAIL BOX	EX MB
EX TS	TRAFFIC SIGNAL	EX TS
EX S	SIGN	EX S
EX SS	STREET SIGN	EX SS
EX WS	WHEEL STOP	EX WS
EX RCS	RAILROAD CROSSING SIGN	EX RCS
EX P	POST	EX P
EX DT	DECIDUOUS TREE	EX DT
EX CT	CONIFEROUS TREE	EX CT
EX B	BUSH	EX B
EX TS	TREE STUMP	EX TS
EX WM	WETLAND / MARSH	EX WM
EX RB	ROCK / BOULDER	EX RB

NOTE:
CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES.

[illegible][illegible]

Figure 1: Typical cross-section of a concrete pavement structure. The diagram shows a multi-layered pavement structure. From top to bottom, the layers are: a thin surface layer labeled 'SPINUS COURSE (MOD SPEC 2360, TYPE SPW62040B)'; a thicker layer labeled 'RETINUS COURSE (MOD SPEC 2360, TYPE SPW62030B)'; a layer of 'AGGREGATE BASE (MOD CLASS 5)'; a layer of 'SELECT GRANULAR EMBANKMENT (MOD SPEC 3146.2B)'; and a bottom layer labeled 'COMPACTED SUBGRADE'. A vertical dimension line on the right indicates the thickness of the aggregate base layer as h_2 . The subgrade is shown with a hatched pattern, and the embankment layer is shown with a cross-hatched pattern.

[illegible]

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PROJECT	
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SAFELITE PARKING LOT EXPANSION

MANKATO MINNESOTA

[illegible]

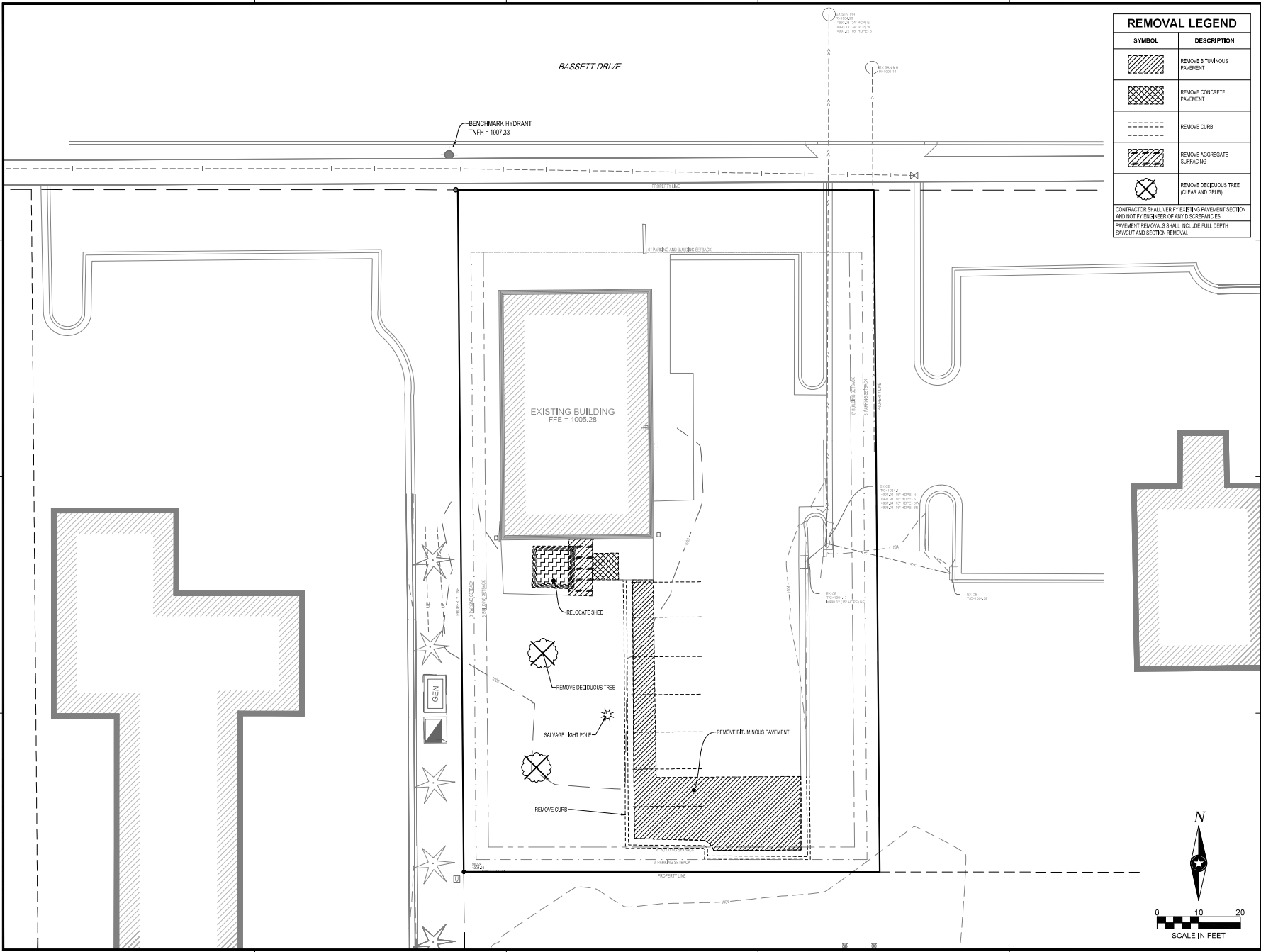
PROJECT NO.	25-33883
FILE NAME	33883-CO-GENERAL
DRAWN BY	EAK
DESIGNED BY	EAK
REVIEWED BY	BMP
ORIGINAL ISSUE DATE	—/—/—
CLIENT PROJECT NO.	-

TITLE

**LEGANDS AND
DETAILS**

SHEET

C0-11



REMOVAL LEGEND	
SYMBOL	DESCRIPTION
	REMOVE BITUMINOUS PAVEMENT
	REMOVE CONCRETE PAVEMENT
	REMOVE CURB
	REMOVE AGGREGATE SURFACING
	REMOVE DECIDUOUS TREE (C-DECD TRS)
CONTRACTOR SHALL VERIFY EXISTING PAVEMENT SECTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.	
PAVEMENT REMOVALS SHALL INCLUDE FULL DEPTH SAWCUT AND SECTION REMOVAL.	

DATE _____ UIC NO. _____

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PROJECT

SAFELITE

PARKING LOT EXPANSION

MANKATO MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 25-33883

FILE NAME 33883-C2-EXMST

DRAWN BY EAK

DESIGNED BY EAK

REVIEWED BY BMP

ORIGINAL ISSUE DATE 11/1/24

CLIENT PROJECT NO. -

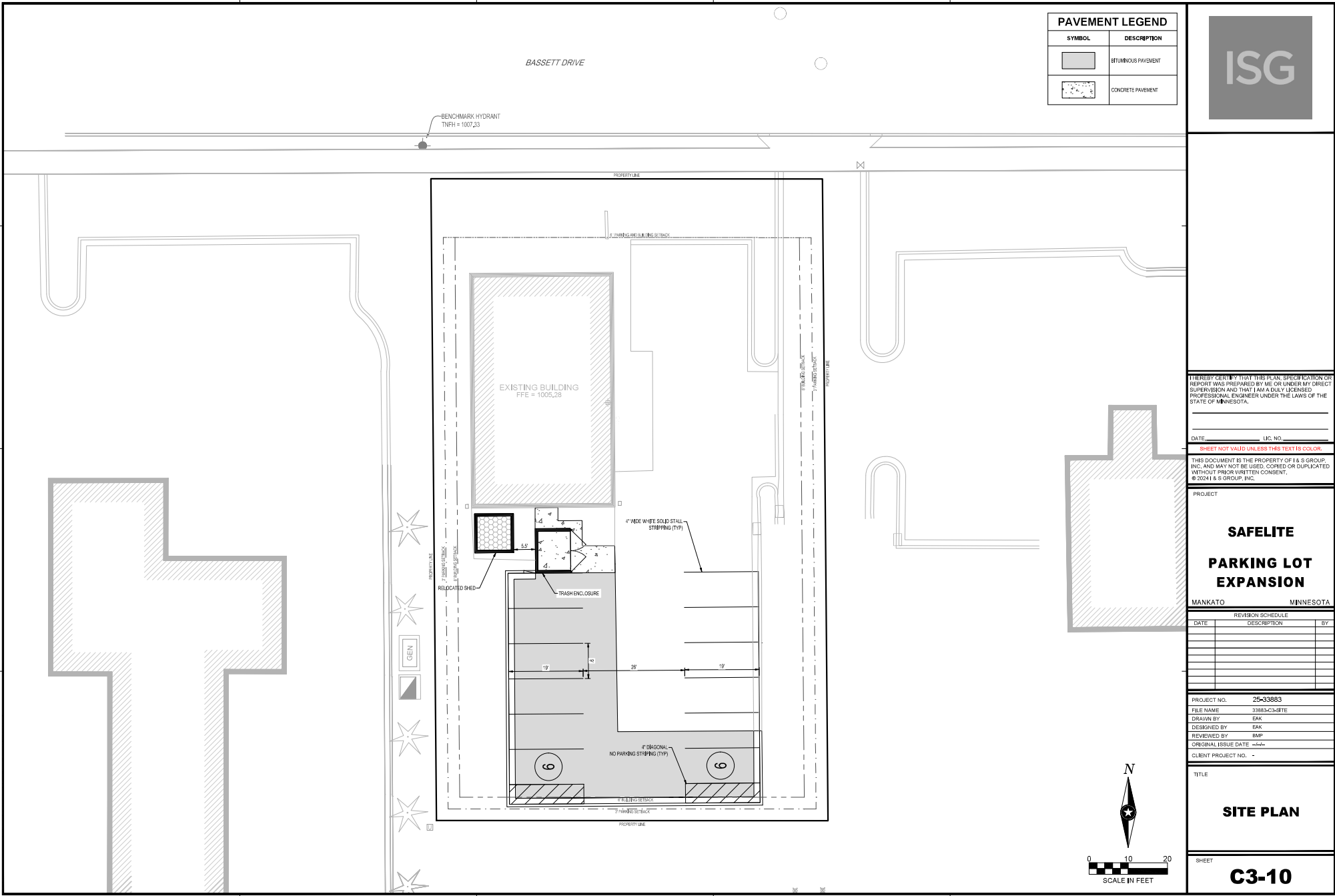
TITLE

EXISTING SITE AND REMOVAL PLAN

SHEET

C2-10

PRELIMINARY NOT FOR CONSTRUCTION



PAVEMENT LEGEND	
SYMBOL	DESCRIPTION
	BITUMINOUS PAVEMENT
	CONCRETE PAVEMENT



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PROJECT _____

SAFELITE PARKING LOT EXPANSION

MANKATO MINNESOTA

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DATE	DESCRIPTION	BY

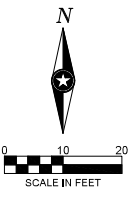
PROJECT NO.	25-03883
FILE NAME	33883C3-10 SITE
DRAWN BY	EAK
DESIGNED BY	EAK
REVIEWED BY	BMP
ORIGINAL ISSUE DATE	11/11/24
CLIENT PROJECT NO.	-

TITLE

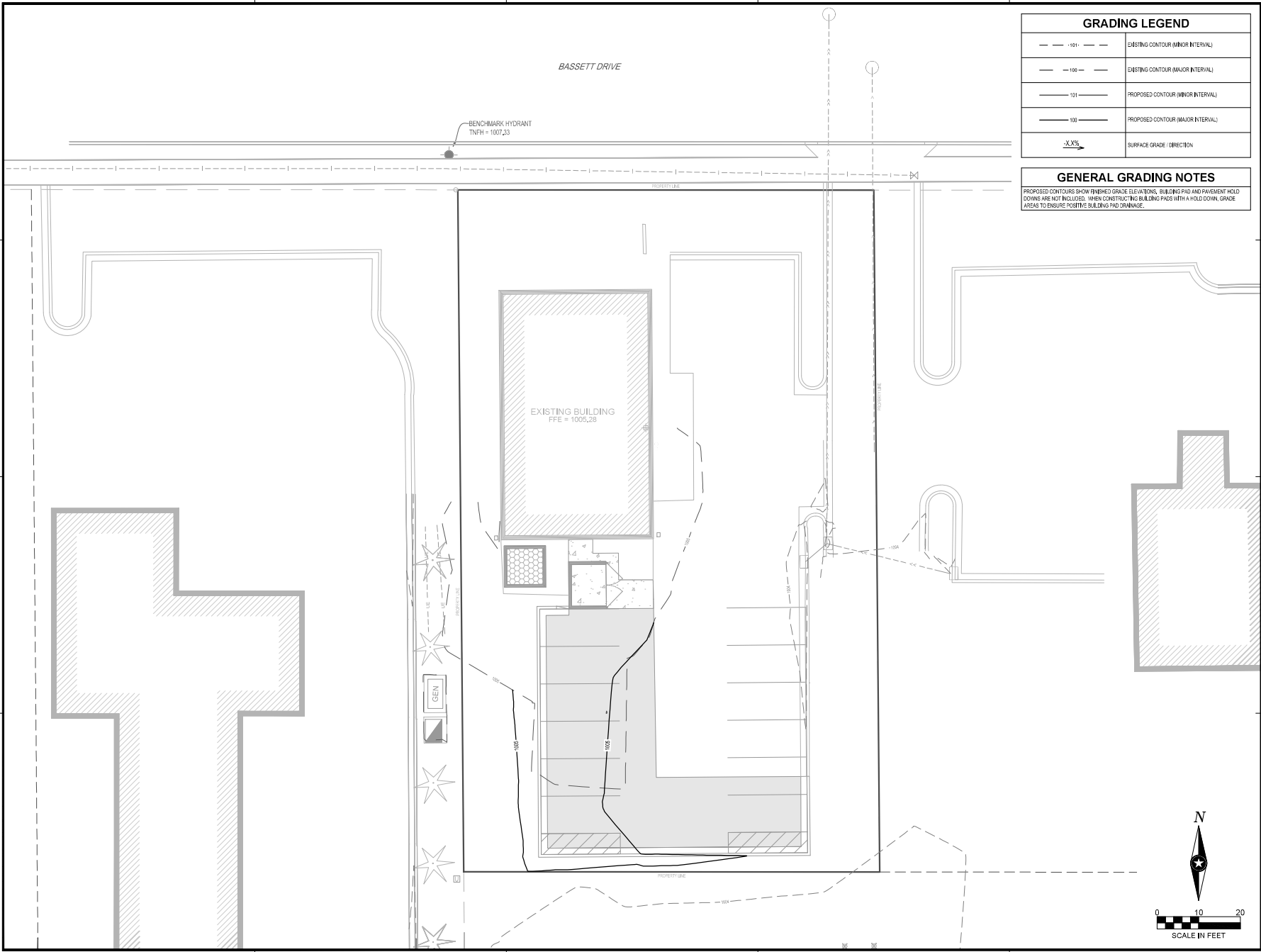
SITE PLAN

SHEET

C3-10



PRELIMINARY NOT FOR CONSTRUCTION PRELIMINARY NOT FOR CONSTRUCTION



GRADING LEGEND	
--- 101 ---	EXISTING CONTOUR (MINOR INTERVAL)
--- 100 ---	EXISTING CONTOUR (MAJOR INTERVAL)
--- 101 ---	PROPOSED CONTOUR (MINOR INTERVAL)
--- 100 ---	PROPOSED CONTOUR (MAJOR INTERVAL)
--- XX% ---	SURFACE GRADE / DIRECTION

GENERAL GRADING NOTES

PROPOSED CONTOURS SHOW FINISHED GRADE ELEVATIONS. BUILDING PAD AND PAVEMENT HOLD DOWNES ARE NOT INCLUDED. WHEN CONSTRUCTING BUILDING PADS WITH A HOLD DOWN, GRADE AREAS TO ENSURE POSITIVE BUILDING PAD DRAINAGE.



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SAFELITE PARKING LOT EXPANSION

MANKATO MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	25-03883
FILE NAME	33883C4GRADE
DRAWN BY	EAK
DESIGNED BY	EAK
REVIEWED BY	BMP
ORIGINAL ISSUE DATE	11/11
CLIENT PROJECT NO.	-

TITLE

GRADING PLAN

SHEET
C4-10

PRELIMINARY NOT FOR CONSTRUCTION PRELIMINARY NOT FOR CONSTRUCTION

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
DECIDUOUS TREES					
	UP4	2	LILY OF THE VALLEY PATRIOT CLIM	7' CAL	B & B
EVERGREEN TREES					
	T04	4	THUJA OCCIDENTALIS 'NANA' JOHN TECHNICAL ARBORVITAE	6' HT MN	B & B
DECIDUOUS SHRUBS					
	DS4	4	CORNUS BENEDICTIONIS ARCTIC FRUIT-RED TWIG DOGWOOD	2' GAL	CONT
SYMBOL	QTY	BOTANICAL / COMMON NAME			
GROUND COVERS					
	723 SF	DECORATIVE LANDSCAPE ROCK/MULCH 6" MIN DEPTH OVER GEOTEXTILE FABRIC			
	723 SF	SEED MIXTURE MINI-DOT 25-31 (TURF)			

ZONING LANDSCAPE REQUIREMENTS

ZONING: B1 - COMMUNITY BUSINESS DISTRICT

SEC. 10-1740. - PERIMETER LANDSCAPING; OFF-STREET PARKING LOTS.

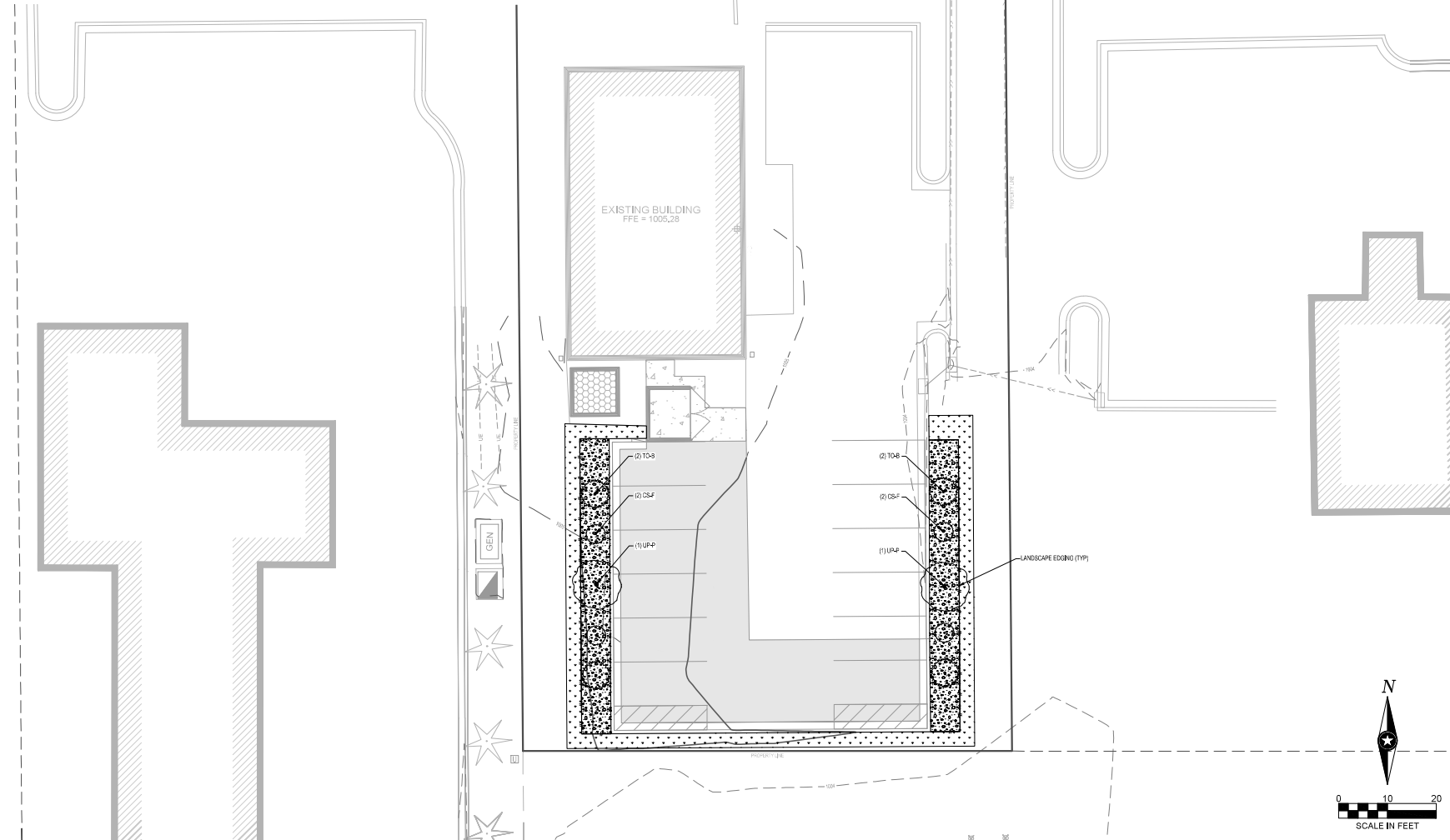
EVERY OFF-STREET PARKING LOT CONTAINING FOUR (4) OR MORE PARKING STALLS SHALL BE BUFFERED AND SCREENED BY PERIMETER LANDSCAPING CONSISTING OF AN AREA AT LEAST THREE (3) FEET OR GREATER IN HEIGHT AS REQUIRED IN THE YARD AND SETBACK STANDARDS OF EACH ZONING DISTRICT. SHADE TREES SHALL BE PROVIDED AT A RATE OF ONE (1) TREE FOR EVERY FIFTY (50) LINEAL FEET OF PERIMETER LENGTH OR FRACTION THEREOF. EVERGREEN TREES SHALL BE PROVIDED AT A RATE OF ONE (1) TREE AND SHRUB FOR EVERY TWENTY-FIVE (25) LINEAL FEET OF PERIMETER LENGTH OF FRACTION THEREOF. EVERGREEN TREES SHALL BE MAINTAINED AT A HEIGHT OF NOT LESS THAN THREE (3) FEET.

PERIMETER LENGTH = 120 FT
REQUIRED SHADE TREES = 2
REQUIRED EVERGREEN TREES = 4
REQUIRED SHRUBS = 4

PROVIDED SHADE TREES = 2
PROVIDED EVERGREEN TREES = 4
PROVIDED SHRUBS = 4

*NORTH PARKING AREA CONTAINS LESS THAN FOUR PARKING STALLS, PERIMETER LANDSCAPING AND INTERIOR LANDSCAPING DO NOT APPLY.

BASSETT DRIVE



ISG

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PROJECT:

SAFELITE
PARKING LOT
EXPANSION

MANKATO MINNESOTA

DATE	REVISION	SCHEDULE	DESCRIPTION	BY

PROJECT NO. 25-03883
 FILE NAME 33883SCH-AND
 DRAWN BY EAK
 DESIGNED BY EAK
 REVIEWED BY BWP
 ORIGINAL ISSUE DATE 11/1/24
 CLIENT PROJECT NO. -

TITLE
SITE RESOTRATION
AND PLANTING
PLAN

SHEET
C5-10

PRELIMINARY NOT FOR CONSTRUCTION PRELIMINARY NOT FOR CONSTRUCTION



PLANTING NOTES

- COORDINATE LOCATION OF ALL UTILITIES (LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, TREE ROOTBALLS, ETC.) WITH LOCATIONS OF PROPOSED LANDSCAPE ELEMENTS (FENCE, FOOTINGS, TREE ROOTBALLS, ETC.). CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONTINUING WORK.
- SAVE AND PROTECT ALL EXISTING TREES NOT NOTED TO BE REMOVED.
- REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
- REFER TO PLANTING DETAILS FOR AMENDED SOIL, DEPTH IN PLANTING BEDS AND SURROUNDING TREES.
- FIELD STAKE PLANTINGS ACCORDING TO PLANT OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT LOCATIONS PRIOR TO INSTALLATION. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REVERSE PLANTING LAYOUT AT TIME OF INSTALLATION.
- ALL PLANT MATERIALS SHALL BE TRUE TO THEIR SCIENTIFIC NAME AND SIZE AS INDICATED IN THE PLANT SCHEDULE.
- IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE SCHEDULE, THE PLANTING PLAN SHALL GOVERN.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIALS MUST CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1), LATEST EDITION PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, WASHINGTON, D.C. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO ANSI Z60.1.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN A LIVE AND HEALTHY GROWING CONDITION FOR ONE FULL GROWING SEASON (ONE YEAR) AFTER FINAL PROJECT ACCEPTANCE OR SHALL BE REPLACED BY THE CONTRACTOR FREE OF CHARGE WITH THE SAME GRADE AND SPECIES.
- ALL TREES SHALL HAVE A STRONG CENTRAL LEADER. ANY TREES DEEMED NOT TO HAVE A STRONG CENTRAL LEADER SHALL BE REJECTED.
- CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO CONSTRUCTION OPERATIONS. ANY AREAS THAT ARE DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- PROVIDE LANDSCAPE ROCK MULCH SURROUNDING ALL PROPOSED TREES (5" @) AND WITHIN PLANTING BEDS TO A 3" MINIMUM DEPTH AS SHOWN IN TREE PLANTING DETAIL. DO NOT USE AN UNDERLAYMENT SUCH AS PLASTIC SHEET OR LANDSCAPE FABRIC, AFTER THE EMERGENT TO ALL PLANTING BEDS PRIOR TO MULCHING. REFER TO PLANS FOR ADDITIONAL DETAILS. REFER TO STORMWATER DETAILS FOR BASIN CONSTRUCTION AND MULCH APPLICATION.
- MULCHING MATERIAL SHALL BE LANDSCAPE ROCK MULCH, WITH NO INDIVIDUAL PIECES LARGER THAN 3". FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. 3" MINIMUM DEPTH. MINIMUM DEPTHS AT LOCATIONS INDICATED ON DRAWINGS.
- CONTRACTOR SHALL PROVIDE SAMPLE OF MULCH TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
- INDICATED QUANTITIES ARE ESTIMATES AND SHALL BE CONFIRMED BY THE CONTRACTOR.
- ADJUST SPACING OF PLANT MATERIALS AROUND ADJACENT UTILITY STRUCTURES.

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PROJECT: _____

SAFELITE

PARKING LOT EXPANSION

MANKATO MINNESOTA

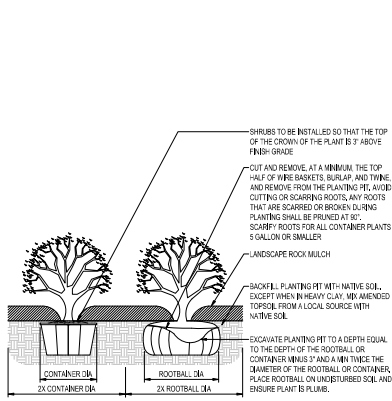
REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	25-03883
FILE NAME	33883SCH-LAND
DRAWN BY	EAK
DESIGNED BY	BMP
REVIEWED BY	BMP
ORIGINAL ISSUE DATE	4-11-24
CLIENT PROJECT NO.	-

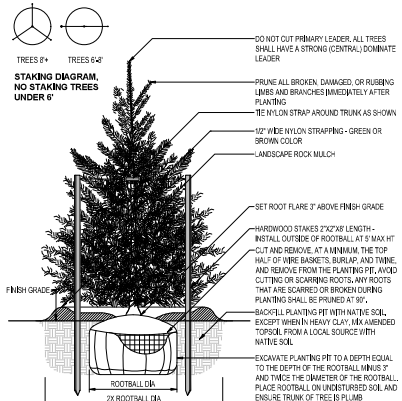
TITLE

LANDSCAPE DETAILS

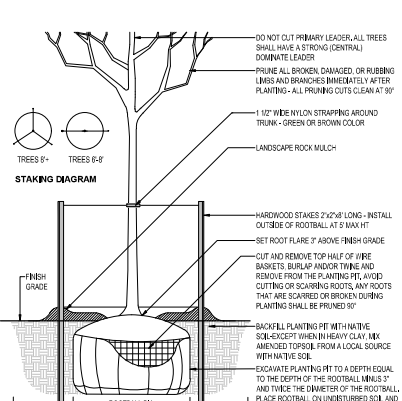
SHEET **C5-20**



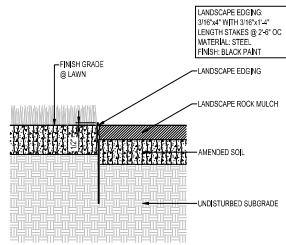
SHRUB PLANTING
NTS



EVERGREEN TREE PLANTING
NTS



DECIDUOUS TREE PLANTING
NTS



LANDSCAPE EDGING
NTS

