

GOOD COUNSEL HILL

SEC. 5 & 8, TWN. 108, RGE. 26

EXISTING LEGEND

SECTION LINE	GUY WIRE ANCHOR	UNDERGROUND ELECTRIC WIRE
EASEMENT LINE	SIGN - SINGLE	NATURAL GAS MAIN PIPE
DEEDED LOT LINE(S)	FENCE - CHAINLINK	MANHOLE
PLATTED LOT LINE(S)	TELECOM MANHOLE	SANITARY MAIN PIPE
SUBJECT TRACT(S) BOUNDARY	TELECOM PEDESTAL	CATCH BASIN
SUBJECT TRACT SETBACK LINE(S)	UNDERGROUND FIBER OPTIC CABLE	INLET STRUCTURE
MAJOR CONTOURS (WITH LABEL)	UNDERGROUND TELEPHONE CABLE	MANHOLE
MINOR CONTOURS (WITH LABEL)	LIGHT POLE	STORM MAIN PIPE
TREE - CONIFER	MANHOLE	HYDRANT
TREE - DECIDUOUS	PEDESTAL	MANHOLE
EDGE OF WOODS	ELECTRIC POLE	WATER MAIN VALVE
BITUMINOUS PAVEMENT	TRANSFORMER	WATER MAIN PIPE
CONCRETE PAVEMENT	OVERHEAD ELECTRIC WIRE	WATER SERVICE PIPE

PROPOSED LEGEND

BITUMINOUS PAVEMENT
CONCRETE PAVEMENT
CURB & GUTTER
MANHOLE
GRAVITY MAIN PIPE
SERVICE PIPE
MANHOLE
GRAVITY MAIN PIPE
HYDRANT
WATER MAIN VALVE
WATER MAIN PIPE
WATER SERVICE PIPE
MAJOR CONTOURS
MINOR CONTOURS

PRELIMINARY PLAT NOTES

OWNER/DEVELOPER

GC Mankato Hill LLC
140 Homestead Road
Mankato, MN 56001
(507) 636-1608

LAND SURVEYOR

Widseth
3777 40th Ave. NW Suite 200
Rochester, MN 55901
(507) 292-6743

WETLAND SPECIALIST

Bolton & Menk
1960 Premier Drive
Mankato, MN 56001
(507) 625-4171

PROPERTY LEGAL DESCRIPTION

Outlot 8, SCHOOL SISTERS OF NOTRE DAME SUBDIVISION, according to the plat thereof on file at the County Recorder's Office, Blue Earth County, Minnesota.

EXCEPT

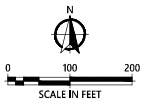
That part of Good Counsel Meadows, according to the plat thereof on file at said County Recorder's Office described as follows:

Beginning at the most southerly corner of Outlot C, said GOOD COUNSEL MEADOWS, thence on an assumed bearing of North 55 degrees 42 minutes 25 seconds West, along the southwesterly line of said GOOD COUNSEL MEADOWS, a distance of 215.53 feet; thence North 89 degrees 05 minutes 18 seconds East 275.49 feet to the southeasterly line of said GOOD COUNSEL MEADOWS; thence South 37 degrees 44 minutes 24 seconds West along said southeasterly line a distance of 159.11 feet to the point of beginning.

SURVEY NOTES

- Orientation of this bearing system is based on Blue Earth County Coordinate System; NAD83, 2011 Adjustment.
- Benchmark: TNH of hydrant 110 feet due south of cul-de-sac bell of Good Counsel Dr.
- The E911 address of the subject property is: 170 Good Counsel Dr, Mankato.
- Property Identification Number: Part of R01.09.05.379.005, R01.09.08.201.007
- Total Acreage: 1,769,649 sq.ft. or 40.63 acres.
- Contours shown are 1 foot contours, NAVD88 Datum.
- There is a wetland on the subject property according to the Wetland Delineation completed by Eva Douma, Bolton and Menk, Certified Wetland Delineator No. 1342, on October 6, 2021.
- According to FEMA Flood Insurance Rate Map No. 27013C0115F, effective date February 22, 2024 the property is within Zone X (Area of Minimal Flood Hazard).
- The property is zoned R-2 One & Two Family Dwelling per City of Mankato zoning map. Building setback distances are:
 - Front Yard: 20 feet
 - Side Yard: 5 feet
 - Rear Yard: 10 feet
- ALTA Commitment for Title Insurance issued By Stewart Title Guaranty Company, File No: 01040-25333a, Third Revision; Commitment Date - 07/22/2025
- The underground utilities shown on this survey are according to observed evidence and Gopher One, Ticket No. 252062459 together with plans. Widseth assumes no responsibility for the completeness and accuracy of these locations. Further locations and verifications are recommended before any construction or excavation.
- The fieldwork was completed on January 6, 2026.

ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE <COUNTY>-COUNTY COORDINATE DATABASE, NAD83
● DENOTES FOUND IRON MONUMENT
○ DENOTES 1/2 INCH DIAMETER BY 18 INCH LONG IRON PIPE SET AND MARKED BY RLS #<NUMBER>



WIDSETH
ARCHITECTS • ENGINEERS • SCIENTISTS • SURVEYORS

DRAWN BY:
RSH
CHECKED BY:
CNB

I HEREBY CERTIFY THAT THE PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
NOT FOR CONSTRUCTION
CRAIG N. BRITTON LIC. NO. 44228 DATE: 03/24/2026

DATE	AMENDMENT DESCRIPTION	PREPARED FOR:

GOOD COUNSEL HILL

PRELIMINARY PLAT

PROJECT #: 2025-10591