

The City of Muskogee encourages participation from all its citizens in public meetings. If participation is not possible due to a disability, notify the Planning Department, in writing, at least forty-eight hours prior to the scheduled meeting and necessary accommodations will be made (ADA 28 CFR/36).

POSTING DATE: May 1, 2024

AGENDA
PLANNING AND ZONING COMMISSION
MAY 6, 2024

Official action can only be taken on items which appear on the agenda. The public body may adopt, approve, ratify, deny, defer, recommend, amend, strike, or continue any agenda item.

When more information is needed to act on an item, the public body may refer the matter to Staff or back to Committee or the recommending body.

Under certain circumstances, items are deferred to a specific date or stricken from the agenda entirely.

REGULAR SESSION - 9:00 A.M. 3RD FLOOR COUNCIL CHAMBERS, MUNICIPAL BUILDING, 229 W. OKMULGEE, MUSKOGEE, OKLAHOMA

ROLL CALL

1. Consider approval of the minutes from the Regular Sessions of the Planning & Zoning Commission held on February 5, 2024, and April 15, 2024, or take other necessary action.
2. Hold a public hearing and consider a recommendation to the City Council of the City of Muskogee regarding ordinance 4232-A, rezoning the property located at 2109 Ward Street, Southeast Section 24, Township 14 North, Range 18 East from R-1 Single Family to I-1 Light industrial, and if approved, authorize staff to update the official city map, or take other necessary action. (Jody King)
3. Hold a public hearing and consider a recommendation to the City Council of the City of Muskogee regarding Ordinance No. 4231-A, a rezone request for the property located at 2544 South 3rd Street, Southeast Section 4, Township 14 North, Range 18 East, to be rezoned from C-2 General Commercial and A-Agriculture to I-1 Light Industrial, and if approved, authorize staff to update the official city map, or take other necessary action. (Jody King)
4. Hold a public hearing and consider a recommendation to the City Council of the City of Muskogee for Resolution No. 2985 to approve a land use map amendment to allow for the property located at 2544 South 3rd Street, Southeast Section 4, Township 14 North, Range 18 East to be rezoned from C-2 General Commercial and A Agriculture to I-1 Light Industrial, or take other necessary action. (Jody King)

5. Consider approval of the lot split request for the property located at 113 & 115 N R Street, or take other necessary action. (Jody King)

ADJOURN

Planning Commission

2.

Meeting Date: 05/06/2024

Initiator: Jody King, Planning Director

Information

AGENDA ITEM TITLE:

Hold a public hearing and consider a recommendation to the City Council of the City of Muskogee regarding ordinance 4232-A, rezoning the property located at 2109 Ward Street, Southeast Section 24, Township 14 North, Range 18 East from R-1 Single Family to I-1 Light industrial, and if approved, authorize staff to update the official city map, or take other necessary action. (Jody King)

LEGAL DESCRIPTION:

The West 208.7 feet of the East 936.1 feet of the North 208.7 feet of the SE/4 of the NE/4 of Section 24, T15N, R18E of the I.B.&M., Muskogee County, State of Oklahoma. Containing 1.00 acres, more or less.

BACKGROUND:

Joe Rockey (applicant & owner) has requested a rezone of his property located at 2109 Ward Street from R-1 Single Family Residential to I-1 Light Industrial. The proposed use of the property will be for a commercial storage building. The request conforms to the 2013 Muskogee Comprehensive Plan and Future Land use Plan.

Surrounding Zoning & Land Use

North: I-1 Light Industrial, Manufacturing.

East: R-1 Single Family, vacant land.

South: R-1 Single Family, vacant land

West: R-1 Single Family, Turner Addition

Public hearings will be held at the Muskogee City Hall, 3rd Floor Council Chambers, at 229 W Okmulgee, Muskogee, OK 74401 at the following meetings and times:

1. City of Muskogee Planning & Zoning Commission on Monday, May 6, 2024 at 9:00 A.M.
2. City of Muskogee Public Works Committee on Monday, May 13, 2024 at 5:30 P.M.
3. City of Muskogee City Council on Monday, June 24, 2024 at 5:30 P.M.

This notice was published in the Muskogee Phoenix for circulation no later than Tuesday, April 16, 2024 and all property owners within a 300 foot radius of the property were noticed.

RECOMMENDED STAFF ACTION:

Recommend Approval

Fiscal Impact

Attachments

Staff Report

Site Plan

Building Plans

Ordinance 4232-A DRAFT

Planning & Community Development Staff Report

**City of Muskogee Planning & Zoning Commission, Monday, May 6, 2024 at
9:00 A.M. at City of Muskogee City Hall, 229 W Okmulgee Ave., 3rd Floor
Council Chambers**

Hold a public hearing and consider a recommendation to the City Council of the City of Muskogee to approve ordinance 4232-A, a rezone request for the property located at 2109 Ward Street, Southeast Section 24, Township 14 North, Range 18 East rezoning the property from R-1 Single Family to I-1 Light industrial, and if approved, authorize staff to update the official city map.

Planning Department Analysis

- Current Zoning & Use
 - R-1 Single Family Residential
 - Vacant agricultural land
- Proposed Zoning & Use
 - I-1 Light Industrial
 - Commercial Storage Facility.
- Section, Township, Range
 - SE quarter of the NE quarter of Section 24, Township 15 North, Range 18 East of the Indian Meridian.
- Street Address: 2109 Ward Street

Legal Description

The West 208.7 feet of the East 936.1 feet of the North 208.7 feet of the SE/4 of the NE/4 of Section 24, T15N, R18E of the I.B.&M., Muskogee County, State of Oklahoma. Containing 1.00 acres, more or less.

Discussion

Joe Rockey (applicant & owner) has requested a rezone of his property located at 2109 Ward Street from R-1 Single Family Residential to I-1 Light Industrial. The proposed use of the property will be for a commercial storage building. The request conforms to the 2013 Muskogee Comprehensive Plan and Future Land use Plan.

Surrounding Zoning & Land Use

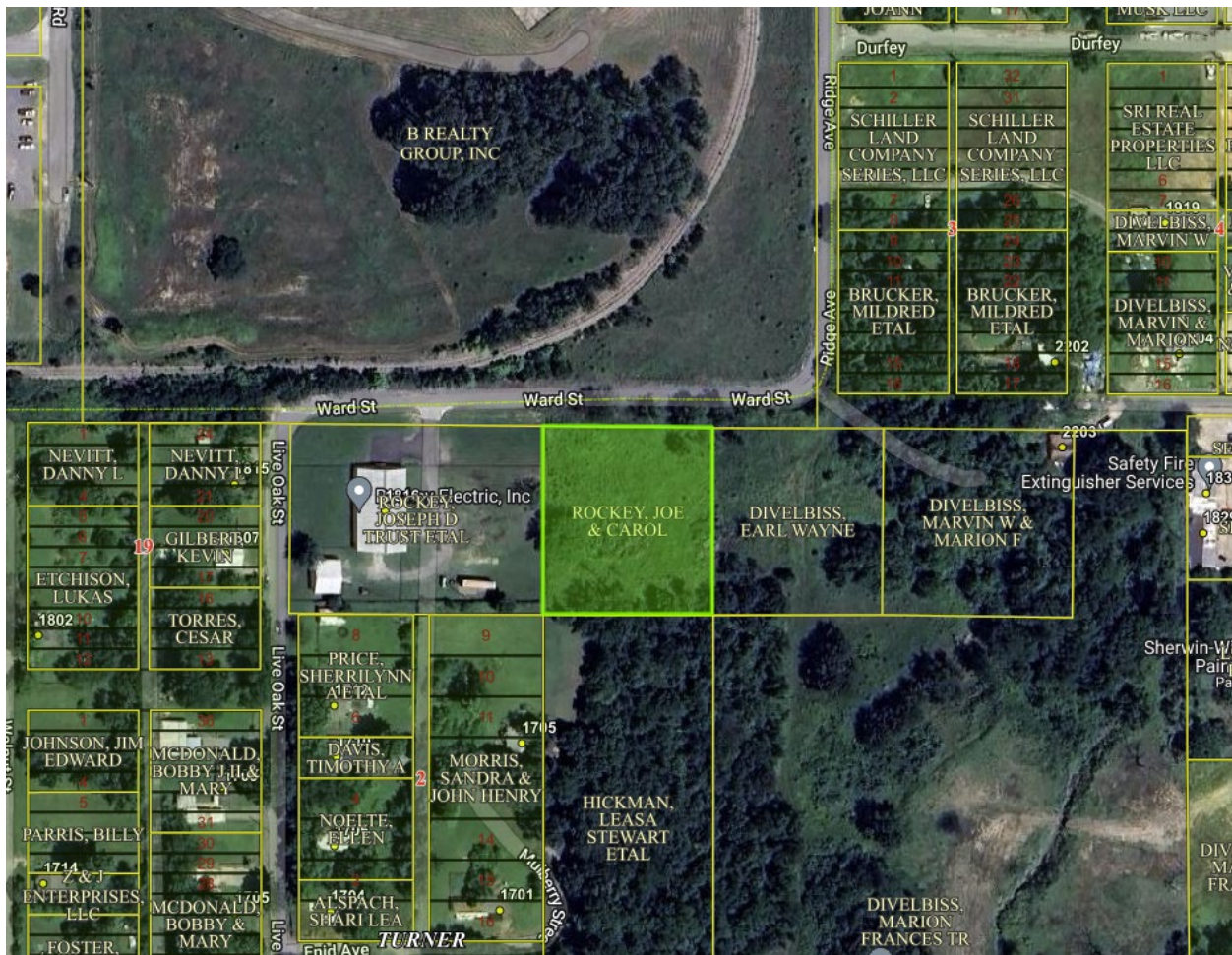
North: I-1 Light Industrial, Manufacturing.
East: R-1 Single Family, vacant land.
South: R-1 Single Family, vacant land
West: R-1 Single Family, Turner Addition

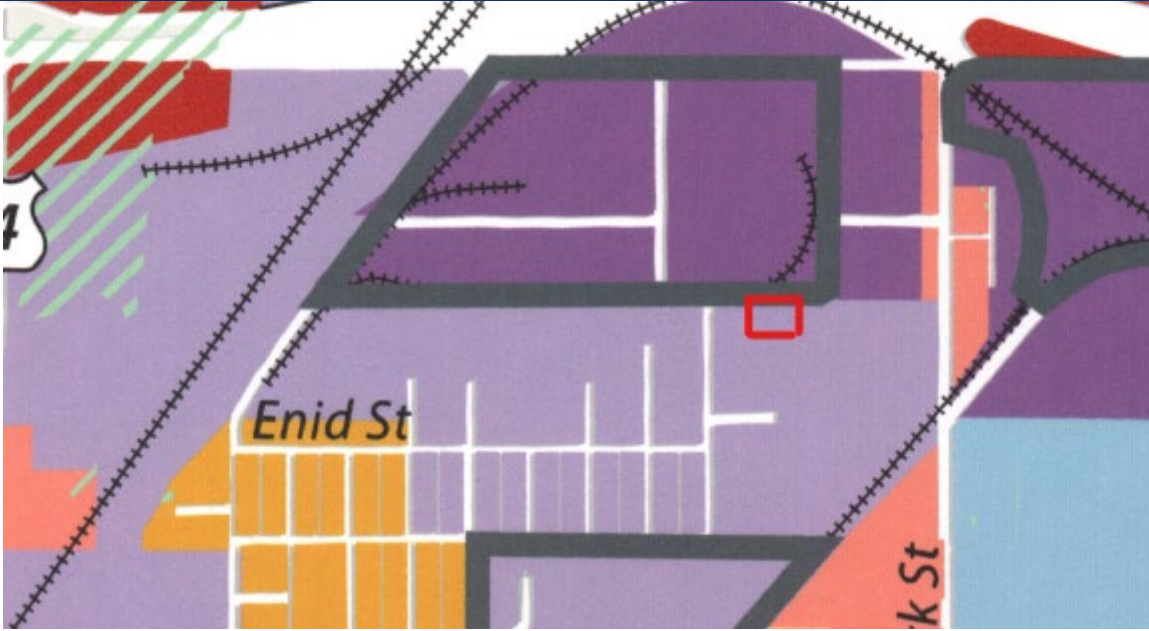
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RECOMMENDATION: Approve the Rezone Request





2109 Ward St. Zoning Map



4/10/2024

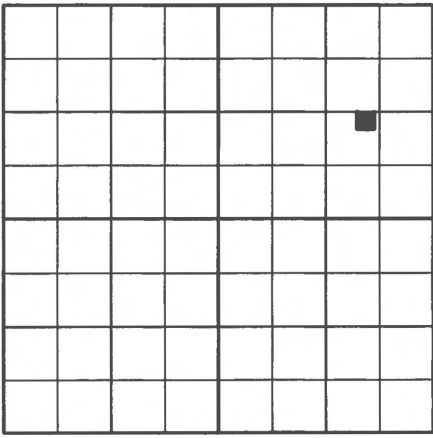
-  Muskogee parcels
-  R-5
-  C-2
-  I-2
-  I-1
-  City of Muskogee City Limits
-  R-1

1:2,257



0 0.01 0.03 0.05 0.06 mi
 0 0.03 0.05 0.1 km

Source: Esri, USDA FSA, Esri Community Maps Contributors, Texas Parks & Wildlife, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph,



PLAT OF SURVEY

LEGAL DESCRIPTION (AS PROVIDED)

The West 208.7 feet of the East 936.1 feet of the North 208.7 feet of the SE/4 of the NE/4 of Section 24, T15N, R18E of the I.B.&M., Muskogee County, State of Oklahoma. Containing 1.00 acres, more or less.

FLOOD CERTIFICATION

According to the U.S. Department of Housing & Urban Development Insurance Rate Map, Panel Number 40101C0115F, Effective Date February 4, 2011. The subject property is located in Zone "X", Areas determined to be outside the 0.2% annual chance floodplain.

NE CORNER
SEC.24,T15N,R18E
FOUND MAG NAIL

LOCATION MAP

SEC. 24 T 15 N, R 18 E

SCALE: 1" = 50'

● = IRON PIN

—x— = FENCE

(M) = MEASURED

(R) = RECORD



THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL, SIGNED AND SEALED DOCUMENT.



BEARINGS ARE BASED ON NAD83 OKLAHOMA STATE PLANE COORDINATE SYSTEM.

TONY ROBISON, LAND SURVEYOR NO. 1686

Heartland Surveying & Mapping, PLLC

CA #4849

800 Emporia St., Ste. "C"
Muskogee, Oklahoma 74401
(918) 682-7796

FOR: Joe Rockey

DATE: 7/27/2020

THIS SURVEY MEETS MINIMUM TECHNICAL SURVEY STANDARDS.

W.O.# 8712

SURVEYED BY: RT

DRAWN BY: TD

Last Site Visit: 7/24/20

FILE NAME
Mar 11, 2024 - 9:24am
S:\CAD - HEARTLAND-FILES\wo8712.dwg

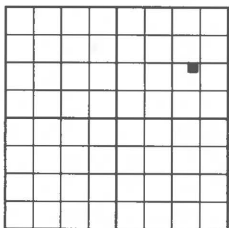
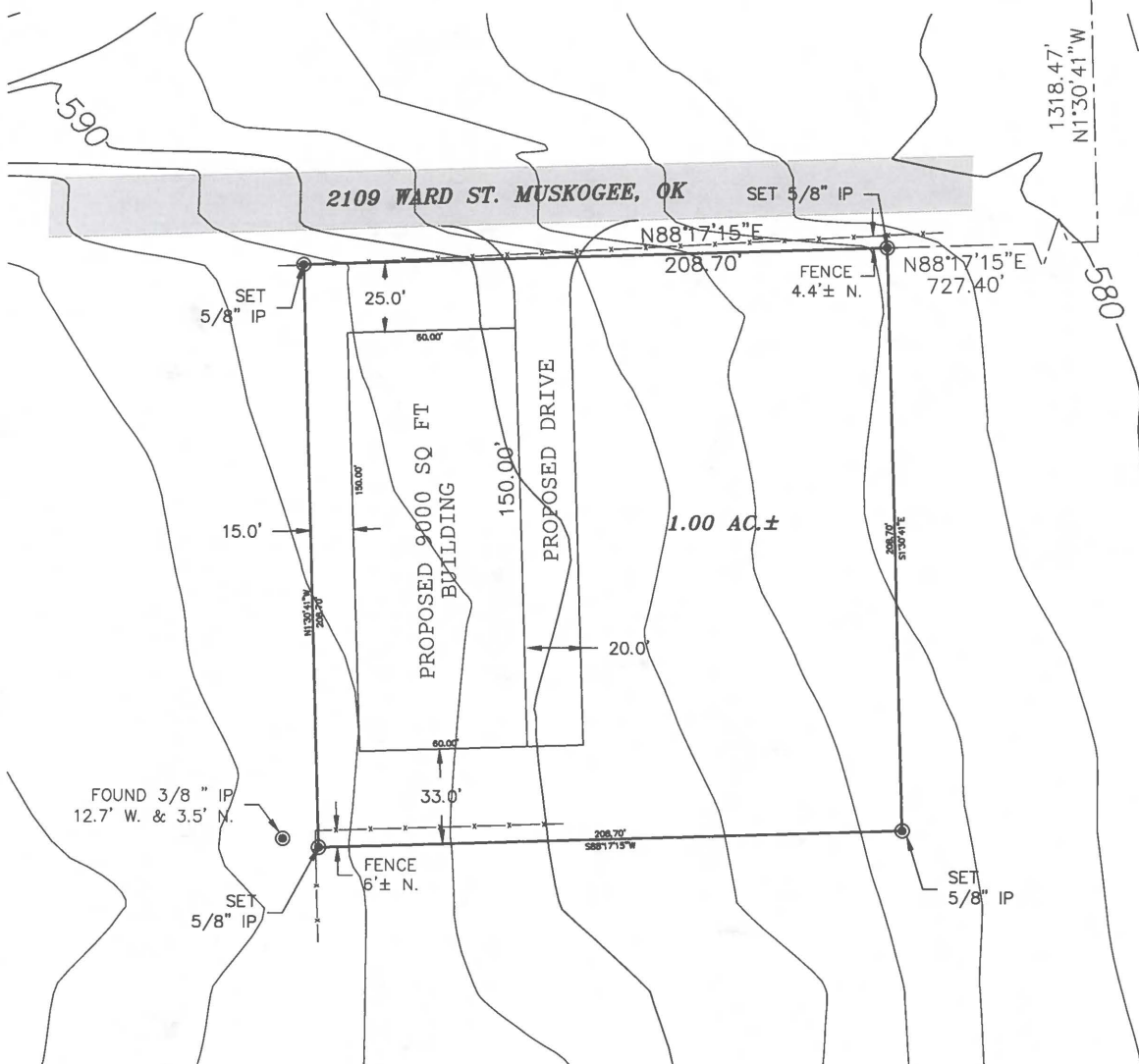


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NE CORNER
 SEC. 24, T15N, R18E
 FOUND MAG NAIL



SEC. 24 T 15 N, R 18 E
 ● = IRON PIN
 —x— = FENCE

CONTOURS SHOWN ARE FROM THE CITY OF MUSKOGEE LIDAR AND ARE 2 FOOT INTERVALS.

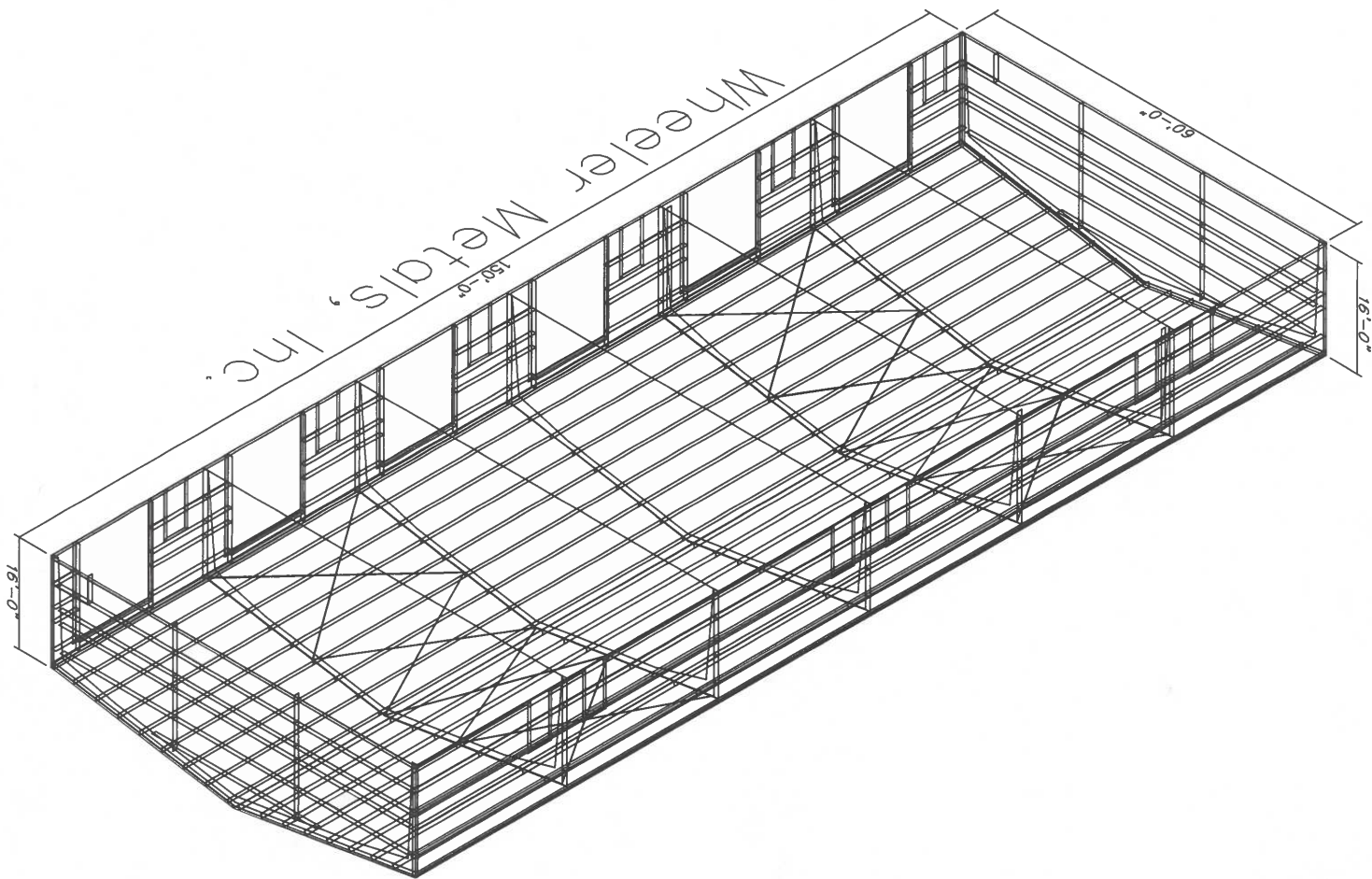


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DATE OF LAST REVISION: 12/22/20

NO.	DATE	BY	REVISION
1	12/22/20	JHR	PLAT OF SURVEY
2	12/22/20	JHR	REVISION 1
3	12/22/20	JHR	REVISION 2
4	12/22/20	JHR	REVISION 3
5	12/22/20	JHR	REVISION 4
6	12/22/20	JHR	REVISION 5
7	12/22/20	JHR	REVISION 6
8	12/22/20	JHR	REVISION 7
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98	12/22/20	JHR	REVISION 97
99	12/22/20	JHR	REVISION 98
100	12/22/20	JHR	REVISION 99
101	12/22/20	JHR	REVISION 100

THIS SURVEY MEETS MINIMUM TECHNICAL SURVEY STANDARDS.



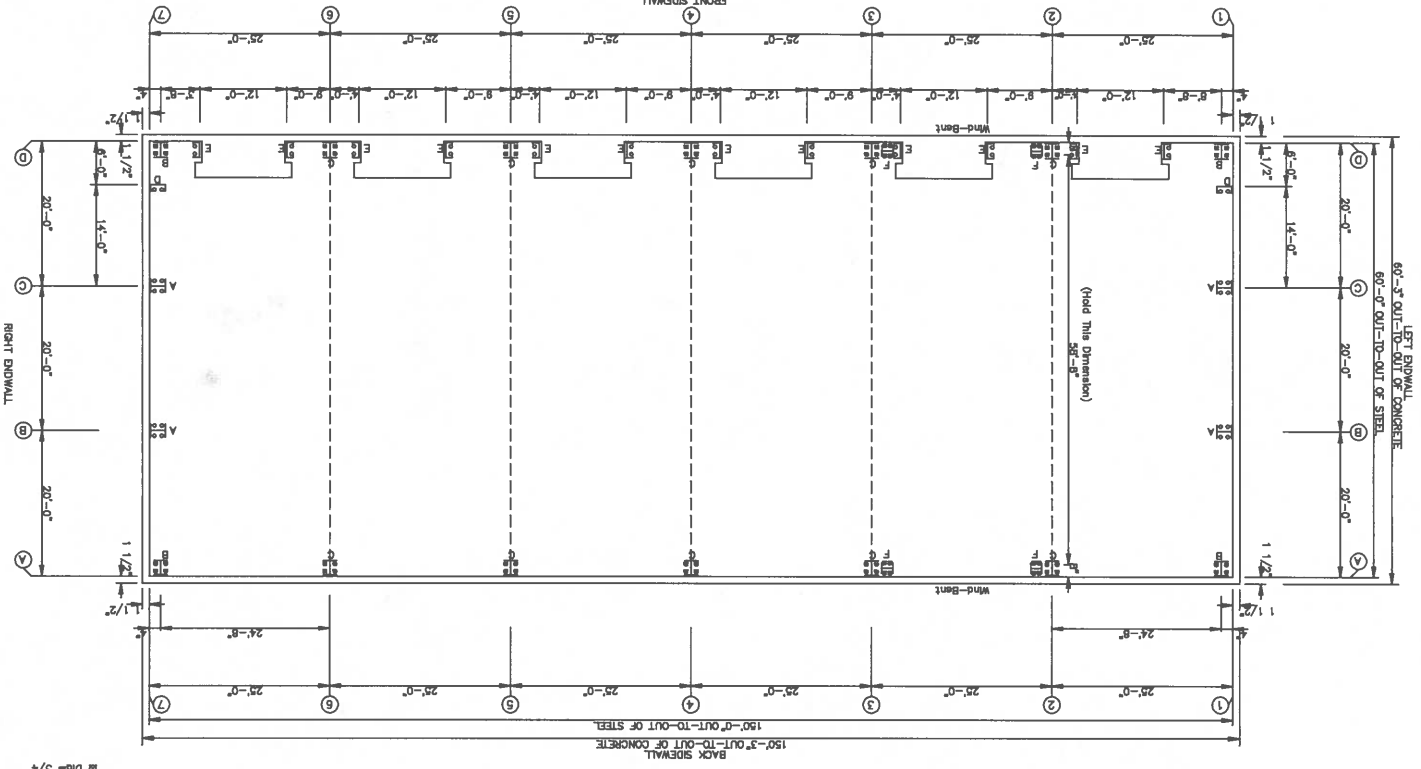
PROJECT	BRANDON BOWDEN
D	Q24-0212
CHECK:	
DATE:	3/18/24
SHEET	OF
BUILDING SIZE: 60'-0" x 150'-0" x 16'-0"	



 PROJECT ADDRESS: MUSKOGEE, OK 74403

APPROVAL DRAWINGS
 NOT FOR CONSTRUCTION

ANCHOR BOLT PLAN
 NOTE: All Base Plates @ 100'-0" (U.N.)
 --- Partition Wall (See Keying)



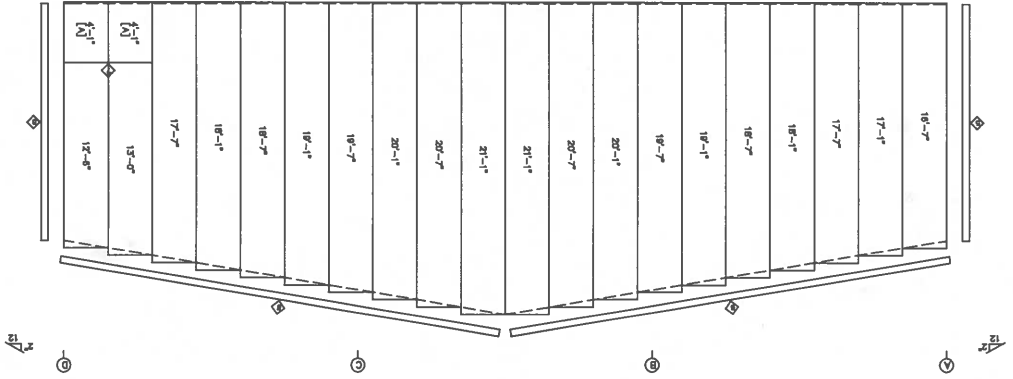
O Dia = 5/8"
 B Dia = 3/4"

PROJECT	BRANDON BOWDEN
ID	Q24-0212
DESIGN	BRANDON BOWDEN
CHECK	ENDWALL FRAMING
DATE	3/18/24
SHEET	OF
PROJECT	MUSKOGEE, OK 74403
ADDRESS	
BUILDING SIZE	80'-0" x 150'-0" x 18'-0"

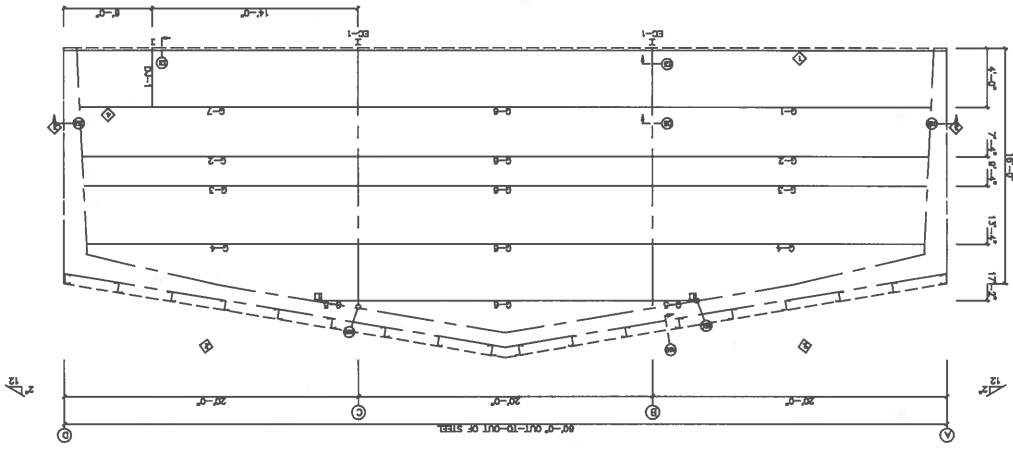


LEFT ENDWALL SHEETING & TRIM: FRAME LINE 1

[A] PANELS: 28 ea. RP - Colorbrite Plus
 PANELS: 28 ea. RP - NEED COLOR



LEFT ENDWALL FRAMING: FRAME LINE 1



ITEM	DESCRIPTION	QTY	UNIT	LENGTH
1	STEEL FRAMING	1	EA	18'-0"
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100	STEEL FRAMING	2	EA	12'-0"

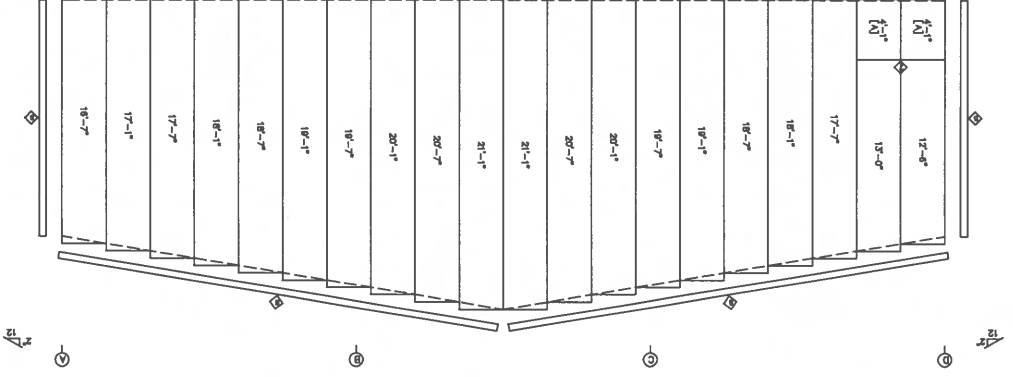
APPROVAL DRAWINGS NOT FOR CONSTRUCTION

PROJECT: BRANDON BOWDEN	PROJECT: MUSKOGEE, OK 74403	ADDRESS: MUSKOGEE, OK 74403
PROJECT ID: Q24-0212	DATE: 3/18/24	BUILDING SIZE: 80'-0" x 150'-0" x 18'-0"
DESIGN: BRANDON BOWDEN	CHECK: BRANDON BOWDEN	DATE: 3/18/24
PROJECT: BRANDON BOWDEN	PROJECT: MUSKOGEE, OK 74403	ADDRESS: MUSKOGEE, OK 74403

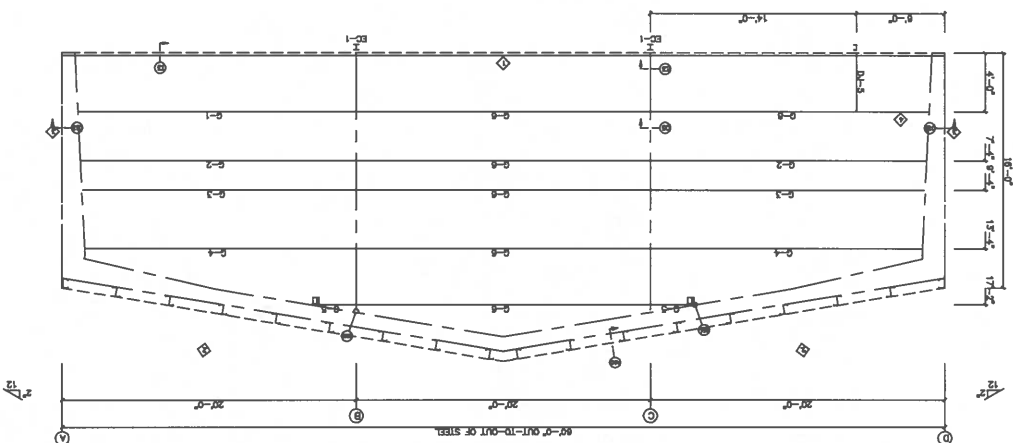


[A] PANELS: 20 GA. RP - CEDARLINE PLUS

RIGHT ENDWALL SHEETING & TRIM: FRAME LINE 7

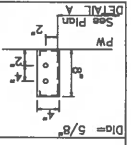


RIGHT ENDWALL FRAMING: FRAME LINE 7



APPROVAL DRAWINGS NOT FOR CONSTRUCTION

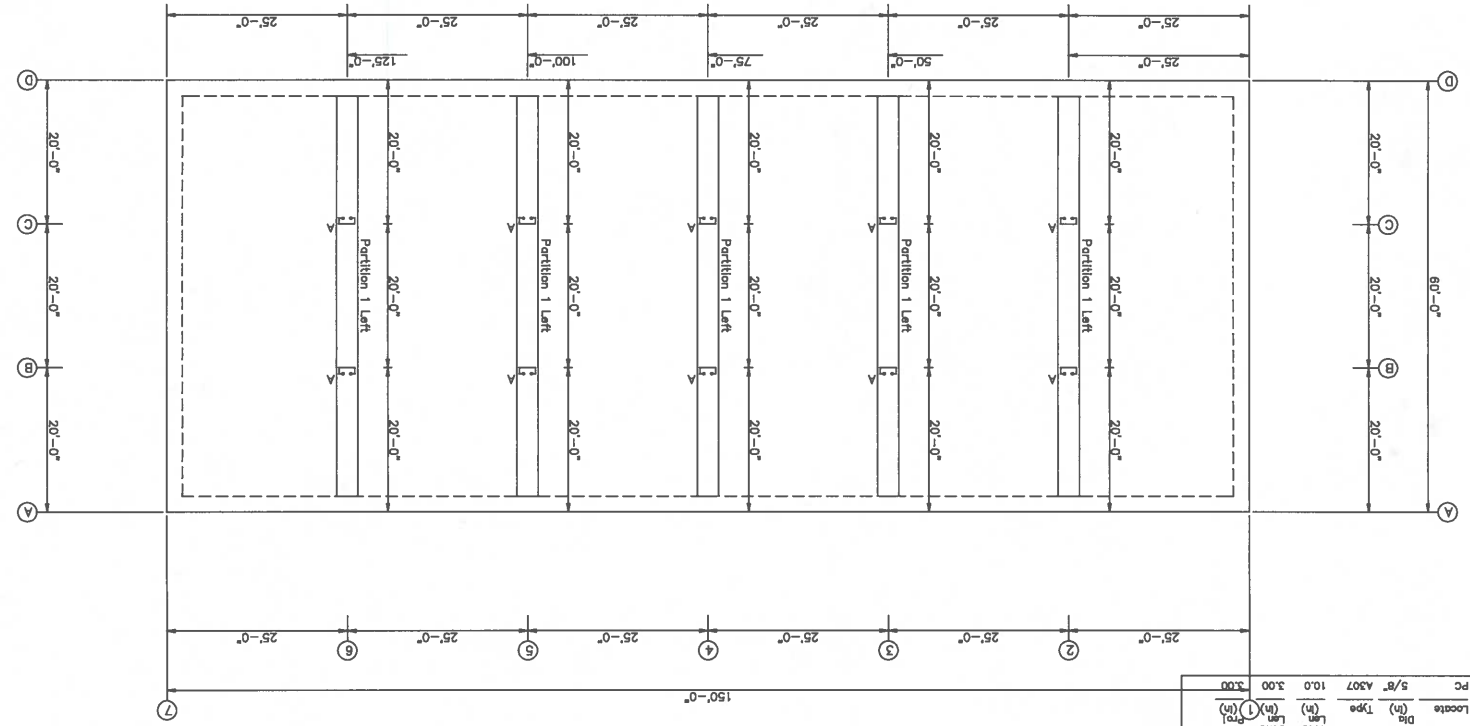
MEMBER TABLE	MEMBER	QTY	LENGTH
1	2x6	1	150'-0"
2	2x6	1	150'-0"
3	2x6	1	150'-0"
4	2x6	1	150'-0"
5	2x6	1	150'-0"
6	2x6	1	150'-0"
7	2x6	1	150'-0"
8	2x6	1	150'-0"
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10	2x6	1	150'-0"
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13	2x6	1	150'-0"
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16	2x6	1	150'-0"
17	2x6	1	150'-0"
18	2x6	1	150'-0"
19	2x6	1	150'-0"
20	2x6	1	150'-0"
21	2x6	1	150'-0"
22	2x6	1	150'-0"
23	2x6	1	150'-0"
24	2x6	1	150'-0"
25	2x6	1	150'-0"
26	2x6	1	150'-0"
27	2x6	1	150'-0"
28	2x6	1	150'-0"
29	2x6	1	150'-0"
30	2x6	1	150'-0"
31	2x6	1	150'-0"
32	2x6	1	150'-0"
33	2x6	1	150'-0"
34	2x6	1	150'-0"
35	2x6	1	150'-0"
36	2x6	1	150'-0"
37	2x6	1	150'-0"
38	2x6	1	150'-0"
39	2x6	1	150'-0"
40	2x6	1	150'-0"
41	2x6	1	150'-0"
42	2x6	1	150'-0"
43	2x6	1	150'-0"
44	2x6	1	150'-0"
45	2x6	1	150'-0"
46	2x6	1	150'-0"
47	2x6	1	150'-0"
48	2x6	1	150'-0"
49	2x6	1	150'-0"
50	2x6	1	150'-0"
51	2x6	1	150'-0"
52	2x6	1	150'-0"
53	2x6	1	150'-0"
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59	2x6	1	150'-0"
60	2x6	1	150'-0"
61	2x6	1	150'-0"
62	2x6	1	150'-0"
63	2x6	1	150'-0"
64	2x6	1	150'-0"
65	2x6	1	150'-0"
66	2x6	1	150'-0"
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68	2x6	1	150'-0"
69	2x6	1	150'-0"
70	2x6	1	150'-0"
71	2x6	1	150'-0"
72	2x6	1	150'-0"
73	2x6	1	150'-0"
74	2x6	1	150'-0"
75	2x6	1	150'-0"
76	2x6	1	150'-0"
77	2x6	1	150'-0"
78	2x6	1	150'-0"
79	2x6	1	150'-0"
80	2x6	1	150'-0"
81	2x6	1	150'-0"
82	2x6	1	150'-0"
83	2x6	1	150'-0"
84	2x6	1	150'-0"
85	2x6	1	150'-0"
86	2x6	1	150'-0"
87	2x6	1	150'-0"
88	2x6	1	150'-0"
89	2x6	1	150'-0"
90	2x6	1	150'-0"
91	2x6	1	150'-0"
92	2x6	1	150'-0"
93	2x6	1	150'-0"
94	2x6	1	150'-0"
95	2x6	1	150'-0"
96	2x6	1	150'-0"
97	2x6	1	150'-0"
98	2x6	1	150'-0"
99	2x6	1	150'-0"
100	2x6	1	150'-0"



PROJECT	MUSKOGEE, OK 74403
ID	024-0212
PROJECT	BRANDON BOWDEN
KEY PLAN	
DESIGN	
CHECK	
DATE	3/18/24
SHEET	OF
BUILDING SIZE	80'-0" x 190'-0" x 18'-0"

PARTITION WALL PLAN

APPROVAL DRAWINGS
NOT FOR CONSTRUCTION



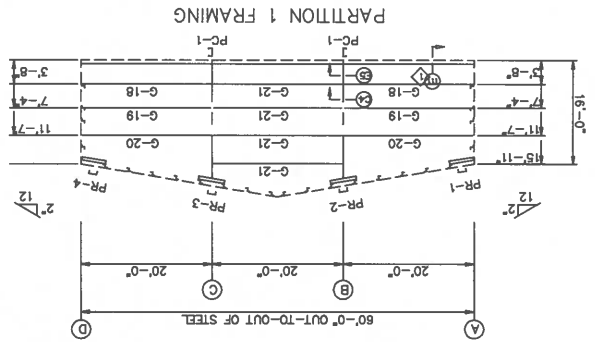
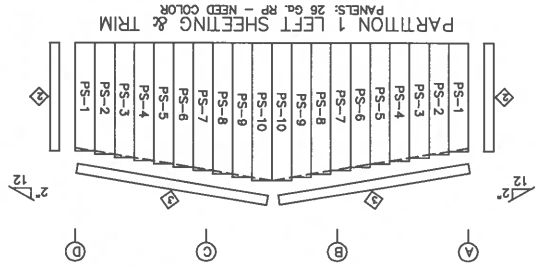
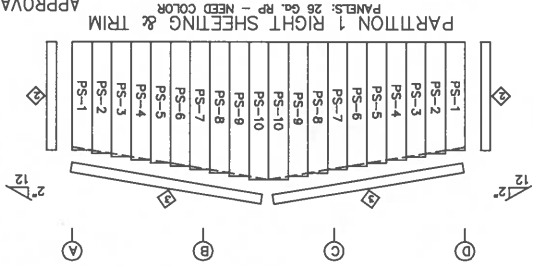
ANCHOR BOLT SUMMARY

Qty	Locate	Di	Type	Len	Total
0 4	PC	5/8"	A307	10.0	3.00
					3.00
					3.00

BRANDON BOWDEN	PROJECT	PARTITION FRAMING
MUSKOGEE, OK 74403	ID	G24-0212
DATE: 3/18/24	CHECK:	
SHEET OF	DRAFT:	
BUILDING SIZE: 60'-0" x 150'-0" x 10'-0"	PROJECT	MUSKOGEE, OK 74403



NOT FOR CONSTRUCTION
APPROVAL DRAWINGS



MEMBER TABLE	
PART	LENGTH
PC-1	17'-8 1/16"
PR-1	3'-9 7/16"
PR-2	3'-11 1/8"
PR-3	3'-11 1/8"
PR-4	3'-9 7/16"
G-18	18'-11 1/2"
G-19	18'-11 1/2"
G-20	18'-11 1/2"
G-21	18'-11 1/2"

ANGLE TABLE	
PART	LENGTH
PC-1	17'-8 1/16"
PR-1	3'-9 7/16"
PR-2	3'-11 1/8"
PR-3	3'-11 1/8"
PR-4	3'-9 7/16"
G-18	18'-11 1/2"
G-19	18'-11 1/2"
G-20	18'-11 1/2"
G-21	18'-11 1/2"

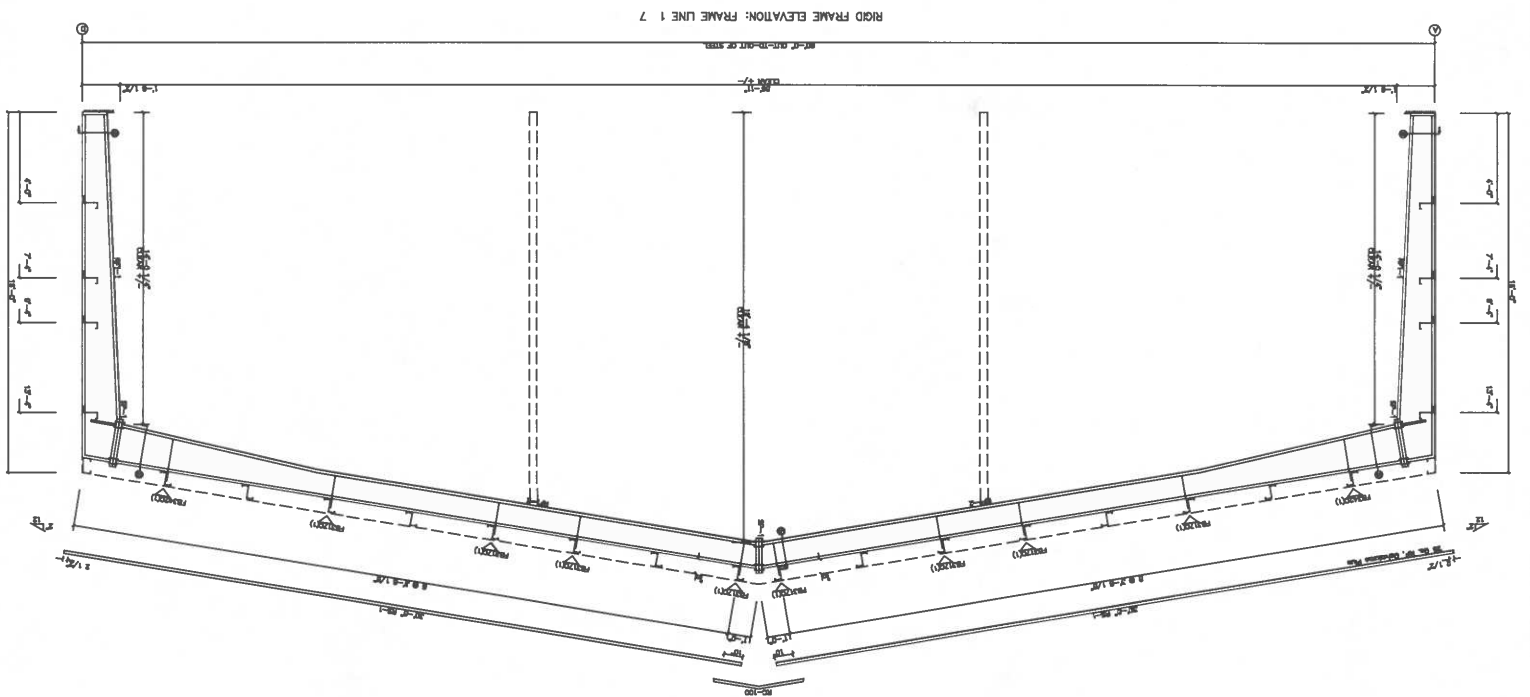
PANEL TABLE	
PART	LENGTH
PS-1	16'-0"
PS-2	17'-6"
PS-3	16'-0"
PS-4	16'-0"
PS-5	16'-0"
PS-6	16'-0"
PS-7	16'-0"
PS-8	16'-0"
PS-9	16'-0"
PS-10	21'-0"

TRIM TABLE	
PART	LENGTH
TRM-1	18'-0"
TRM-2	3'-0"
TRM-3	18'-0"

PROJECT	MUSKOGEE, OK 74403
ID	024-0212
DESIGN	BRANDON BOWDEN
CHECK	BRANDON BOWDEN
DRAFT	BRANDON BOWDEN
DATE	3/18/24
SHEET	OF
BUILDING SIZE	00'-0" x 190'-0" x 16'-0"



APPROVAL DRAWINGS
NOT FOR CONSTRUCTION



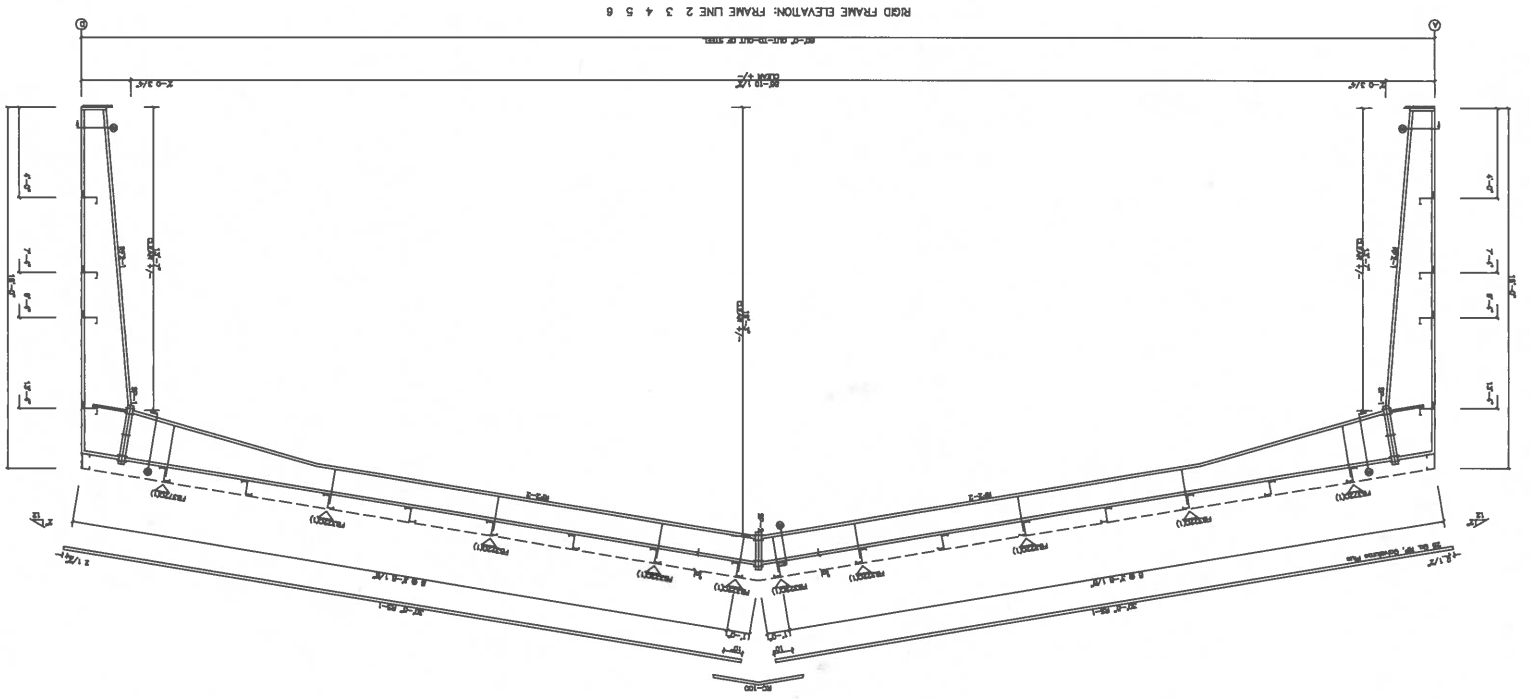
NO.	DESCRIPTION	DATE	BY	CHECKED
1	ISSUED FOR PERMIT	3/18/24	BB	BB
2	ISSUED FOR CONSTRUCTION			

DATE: 3/18/24
 DRAWN BY: BB
 CHECKED BY: BB
 PROJECT: MUSKOGEE, OK 74403
 SHEET: 1 OF 1

PROJECT	BRANDON BOWDEN
ID	024-0212
DESIGN	BRANDON BOWDEN
CHECK	
DATE	3/18/24
SHEET OF	
BUILDING SIZE: 80'-0" x 190'-0" x 10'-0"	

STEEL BUILDINGS
WHEELER METALS

APPROVAL DRAWINGS
 NOT FOR CONSTRUCTION



NO.	DESCRIPTION	DATE	BY	CHECKED
1	ISSUED FOR PERMIT	3/18/24	BRANDON BOWDEN	
2	ISSUED FOR CONSTRUCTION			

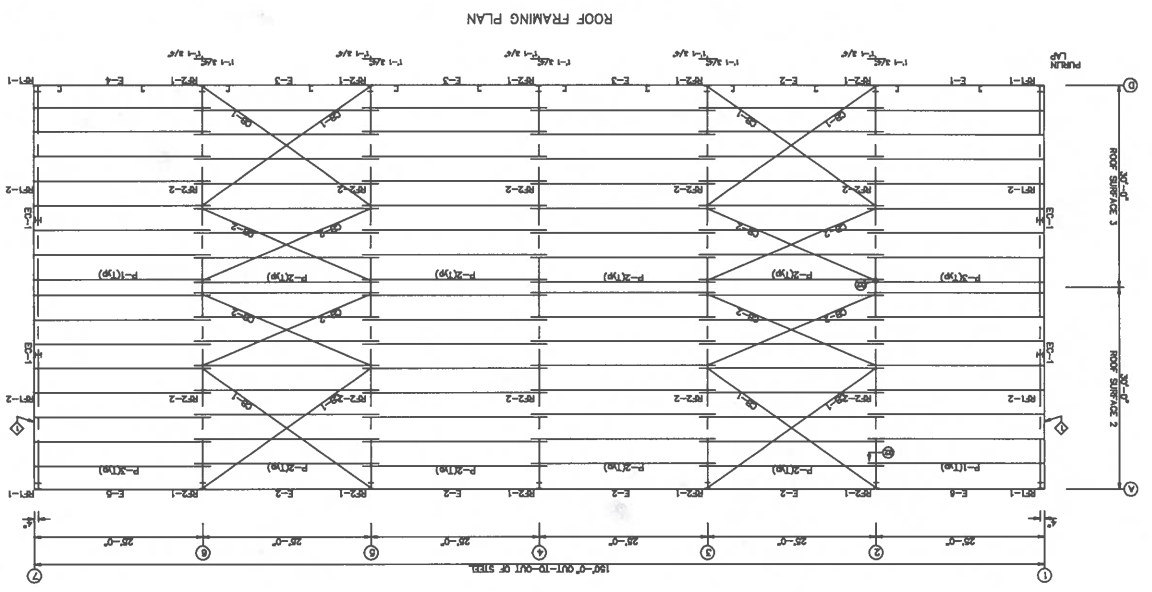
DATE	3/18/24
BY	BRANDON BOWDEN
CHECKED	
SCALE	AS SHOWN
PROJECT	BRANDON BOWDEN
NO.	024-0212
SHEET	1 OF 2

GENERAL NOTES:
 ALL PURLIN CONNECTIONS ARE TWO BOLT UNLESS NOTED
 SEE DETAILS FOR BOLT LOCATIONS



PROJECT	BRANDON BOWDEN
ID	024-0212
DESIGN	BRANDON BOWDEN
CHECK:	
DATE:	3/18/24
SHEET	OF
PROJECT	MUSKOGEE, OK 74403
ADDRESS	
BUILDING SIZE:	80'-0" x 150'-0" x 18'-0"

APPROVAL DRAWINGS
 NOT FOR CONSTRUCTION



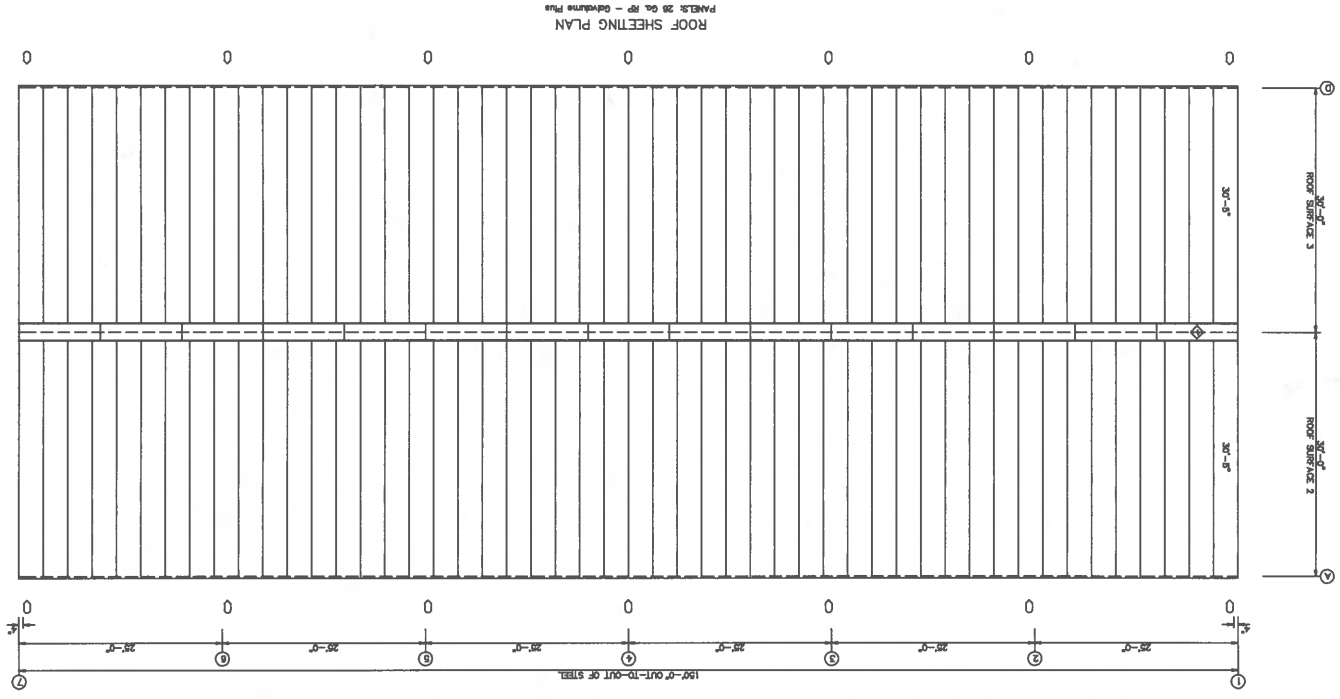
REVISION	DATE	BY	CHKD
1	3/18/24	BB	BB
2	3/18/24	BB	BB
3	3/18/24	BB	BB
4	3/18/24	BB	BB
5	3/18/24	BB	BB
6	3/18/24	BB	BB
7	3/18/24	BB	BB
8	3/18/24	BB	BB
9	3/18/24	BB	BB
10	3/18/24	BB	BB
11	3/18/24	BB	BB
12	3/18/24	BB	BB
13	3/18/24	BB	BB
14	3/18/24	BB	BB
15	3/18/24	BB	BB
16	3/18/24	BB	BB
17	3/18/24	BB	BB
18	3/18/24	BB	BB
19	3/18/24	BB	BB
20	3/18/24	BB	BB
21	3/18/24	BB	BB
22	3/18/24	BB	BB
23	3/18/24	BB	BB
24	3/18/24	BB	BB
25	3/18/24	BB	BB
26	3/18/24	BB	BB
27	3/18/24	BB	BB
28	3/18/24	BB	BB
29	3/18/24	BB	BB
30	3/18/24	BB	BB

PROJECT	BRANDON BOWDEN
ID	Q24-0212
DESIGN	BRANDON BOWDEN
DRAFT	BRANDON BOWDEN
CHECK	BRANDON BOWDEN
DATE	3/18/24
SHEET	OF
BUILDING SIZE	80'-0" x 190'-0" x 18'-0"



GENERAL NOTES:
 ALL PURLIN CONNECTIONS ARE TWO BOLT UNLESS NOTED
 SEE DETAILS FOR BOLT LOCATIONS

APPROVAL DRAWINGS
 NOT FOR CONSTRUCTION



DATE	3/18/24
BY	BRANDON BOWDEN
CHECKED	BRANDON BOWDEN
SCALE	AS SHOWN

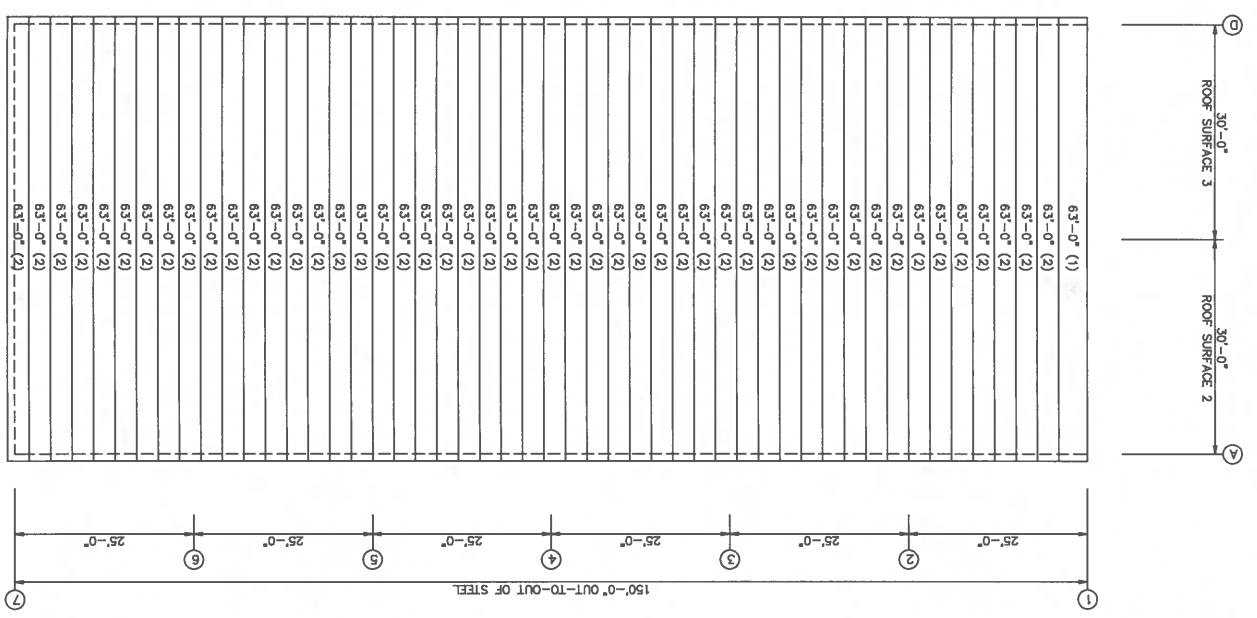
0 DOWNSPOUT LOCATIONS

PROJECT	BRANDON BOWDEN
ID	Q24-0212
DESIGN	ROOF INSULATION
CHECK	
DRAFT	
DATE	3/18/24
SHEET	OF
PROJECT	MUSKOGEE, OK 74403
ADDRESS	
BUILDING SIZE	80'-0" x 150'-0" x 10'-0"



APPROVAL DRAWINGS
NOT FOR CONSTRUCTION

ROOF INSULATION
INSULATION: 3.00" Thick 13



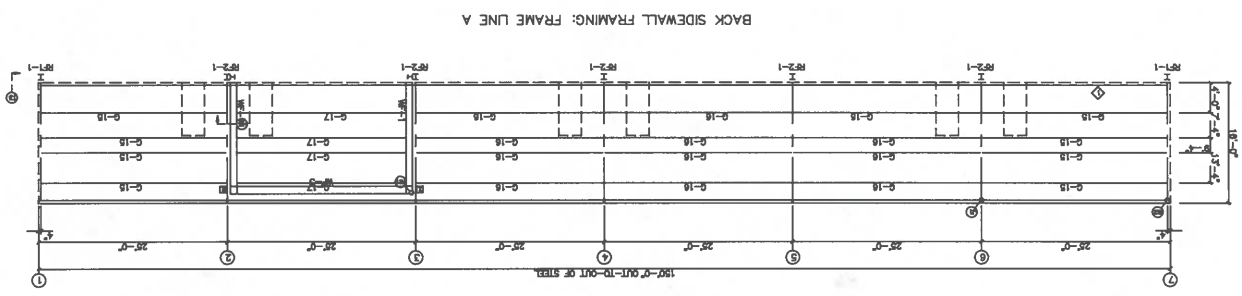
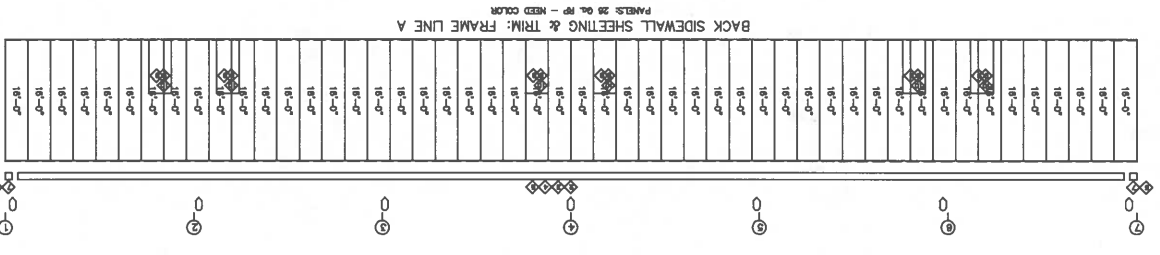
ROLL	QUAN	MARK	WIDTH	LENGTH
1	1	R-1	4'-0"	63'-0"
2	48	R-2	3'-0"	63'-0"

INSULATION TABLE
ROOF PLAN

BRANDON BOWDEN PROJECT: BRANDON BOWDEN SIDEWALL FRAMING
 ID: D24-0212 DESIGN: DRAFT: CHECK:
 PROJECT: MUSKOGEE, OK 74403 DATE: 3/18/24 SHEET OF
 ADDRESS: BUILDING SIZE: 80'-0" x 190'-0" x 10'-0"



APPROVAL DRAWINGS NOT FOR CONSTRUCTION



DOWNSPOUT LOCATIONS

FRAME LINE A
 TRIM TABLE

TRIM 33	LENGTH	10'-8"
TRIM 31	LENGTH	10'-8"
TRIM 15	LENGTH	10'-8"
TRIM 15	LENGTH	10'-8"
TRIM 15	LENGTH	10'-8"
TRIM 15	LENGTH	10'-8"

FRAME LINE A
 MEMBER TABLE

MEM-3	4	WT-1	1/2"
MEM-2	4	WT-2	1/2"
MEM-1	4	WT-3	1/2"

FRAME LINE A
 QUANT TABLE

WT-3	4	WT-1	1/2"
WT-2	4	WT-2	1/2"
WT-1	4	WT-3	1/2"

FRAME LINE A
 TABLE

WT-3	4	WT-1	1/2"
WT-2	4	WT-2	1/2"
WT-1	4	WT-3	1/2"

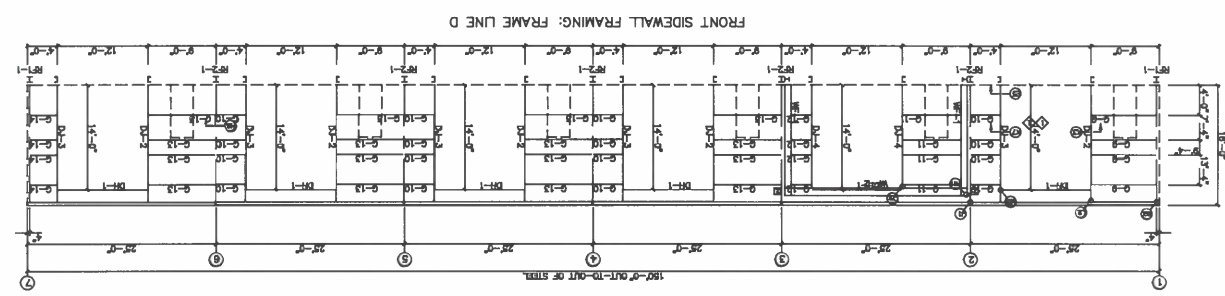
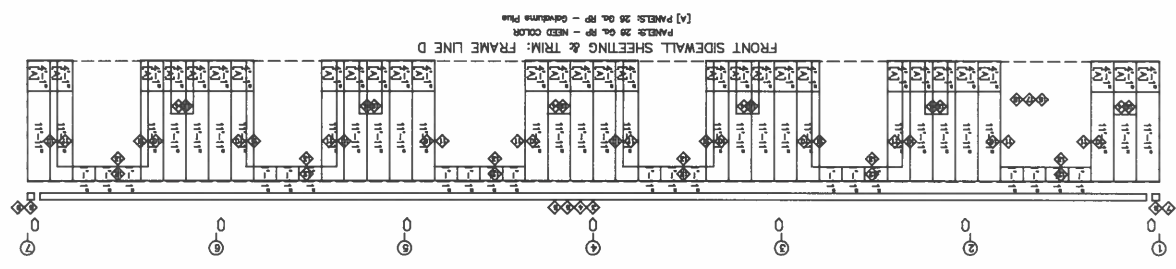
FRAME LINE A
 CONNECTION TABLE

CON-1	1	CON-1	1/2"
CON-2	1	CON-2	1/2"
CON-3	1	CON-3	1/2"

PROJECT	MUSKOGEE, OK 74403
DATE	3/18/24
BUILDING SIZE	80'-0" x 190'-0" x 10'-0"
PROJECT	BRANDON BOWDEN
DESIGN	024-0212
CHECK	
PROJECT	BRANDON BOWDEN
DESIGN	024-0212
CHECK	



APPROVAL DRAWINGS
NOT FOR CONSTRUCTION



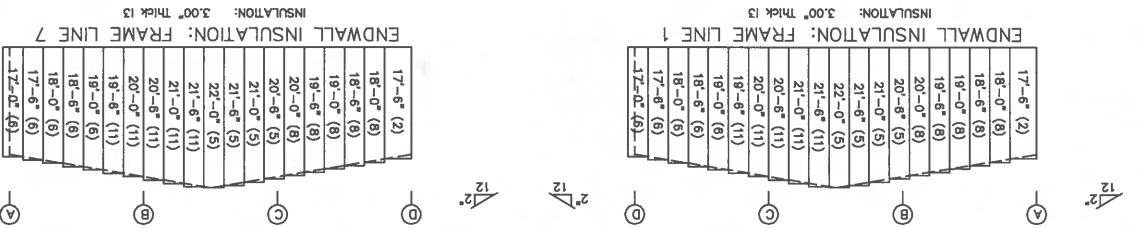
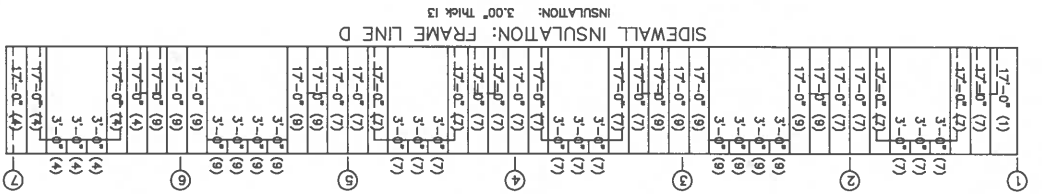
ITEM	DESCRIPTION	QTY	UNIT
1	SCRAP	1	EA
2	SCRAP	1	EA
3	SCRAP	1	EA
4	SCRAP	1	EA
5	SCRAP	1	EA
6	SCRAP	1	EA
7	SCRAP	1	EA
8	SCRAP	1	EA
9	SCRAP	1	EA
10	SCRAP	1	EA
11	SCRAP	1	EA
12	SCRAP	1	EA
13	SCRAP	1	EA
14	SCRAP	1	EA
15	SCRAP	1	EA
16	SCRAP	1	EA
17	SCRAP	1	EA
18	SCRAP	1	EA
19	SCRAP	1	EA
20	SCRAP	1	EA
21	SCRAP	1	EA
22	SCRAP	1	EA
23	SCRAP	1	EA
24	SCRAP	1	EA
25	SCRAP	1	EA
26	SCRAP	1	EA
27	SCRAP	1	EA
28	SCRAP	1	EA
29	SCRAP	1	EA
30	SCRAP	1	EA
31	SCRAP	1	EA
32	SCRAP	1	EA
33	SCRAP	1	EA
34	SCRAP	1	EA
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36	SCRAP	1	EA
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44	SCRAP	1	EA
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46	SCRAP	1	EA
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93	SCRAP	1	EA
94	SCRAP	1	EA
95	SCRAP	1	EA
96	SCRAP	1	EA
97	SCRAP	1	EA
98	SCRAP	1	EA
99	SCRAP	1	EA
100	SCRAP	1	EA

DOWNSPOUT LOCATIONS



PROJECT	BRANDON BOWDEN
ID	024-0212
DESIGN	WALL INSULATION
CHECK	
DATE	3/18/24
SHEET	OF
BUILDING SIZE	80'-0" x 190'-0" x 18'-0"
ADDRESS	MUSKOGEE, OK 74403

APPROVAL DRAWINGS
NOT FOR CONSTRUCTION

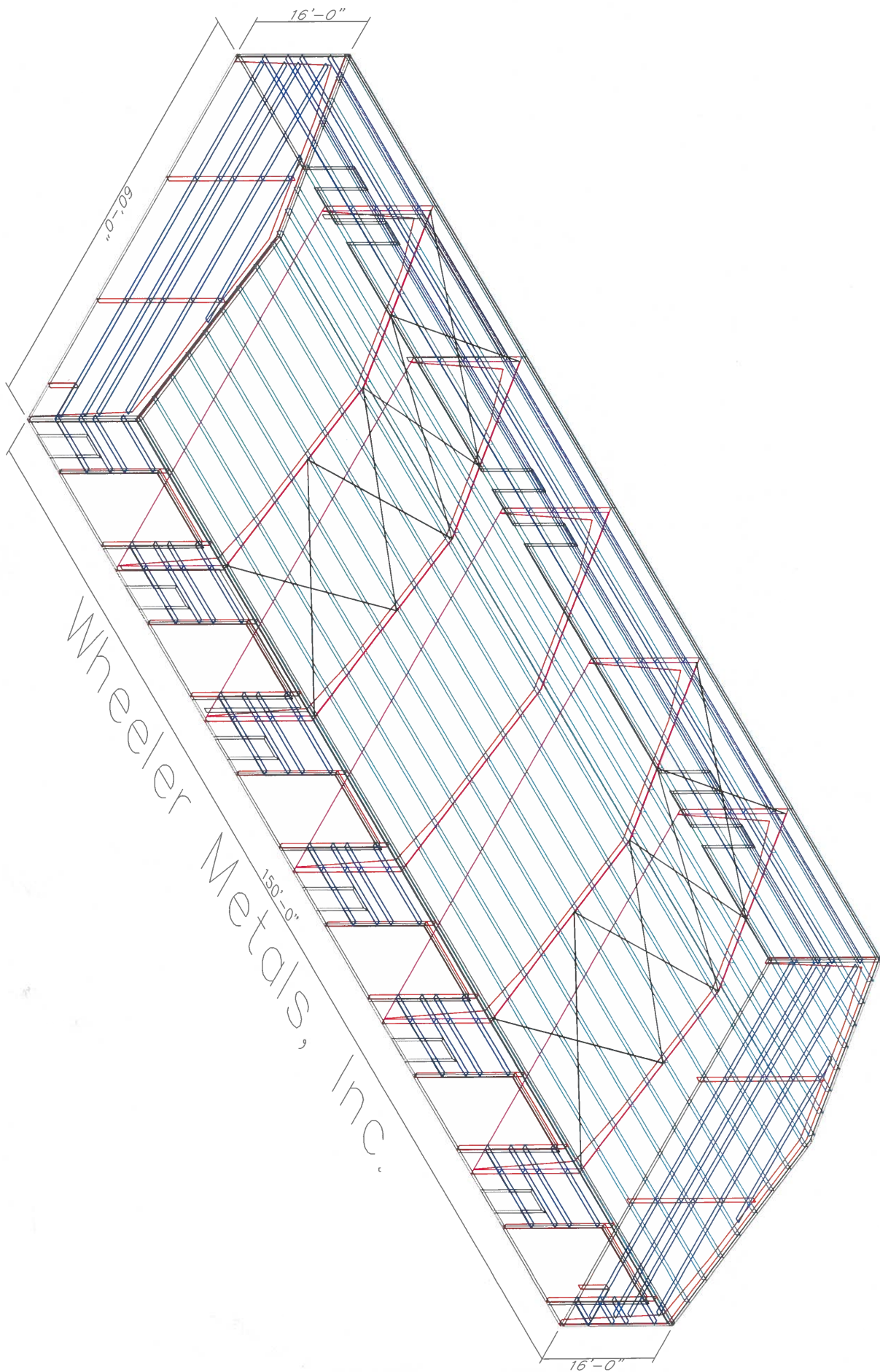


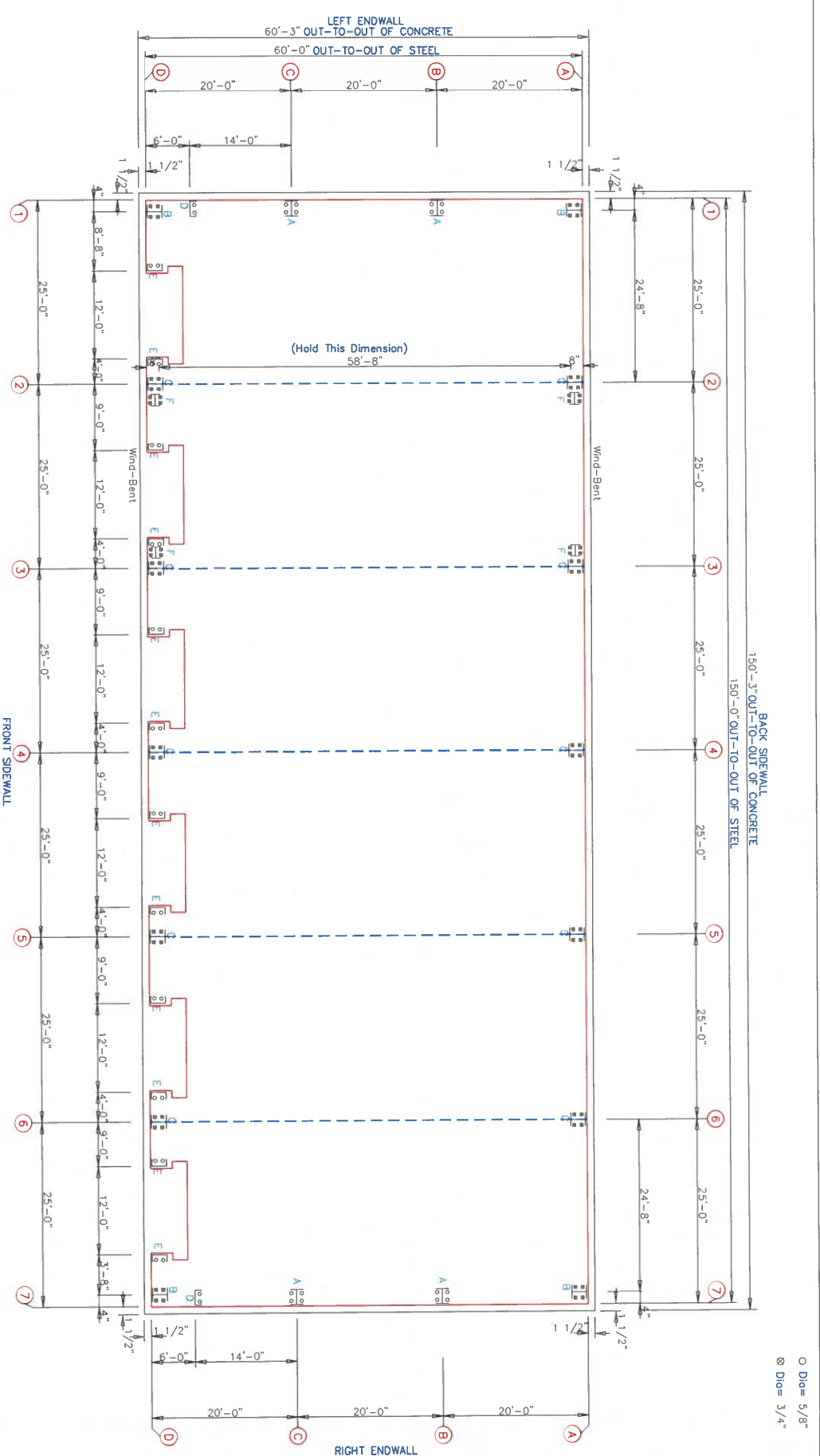
INSULATION TABLE

ROLL	QUANTITY	MARK	WIDTH	LENGTH
11	10	88	7	66
10	8	88	7	66
9	8	88	7	66
8	8	88	7	66
7	8	88	7	66
6	8	88	7	66
5	8	88	7	66
4	8	88	7	66
3	8	88	7	66
2	8	88	7	66
1	8	88	7	66
102	8	88	7	66

LENGTH (ft)

Length (ft)



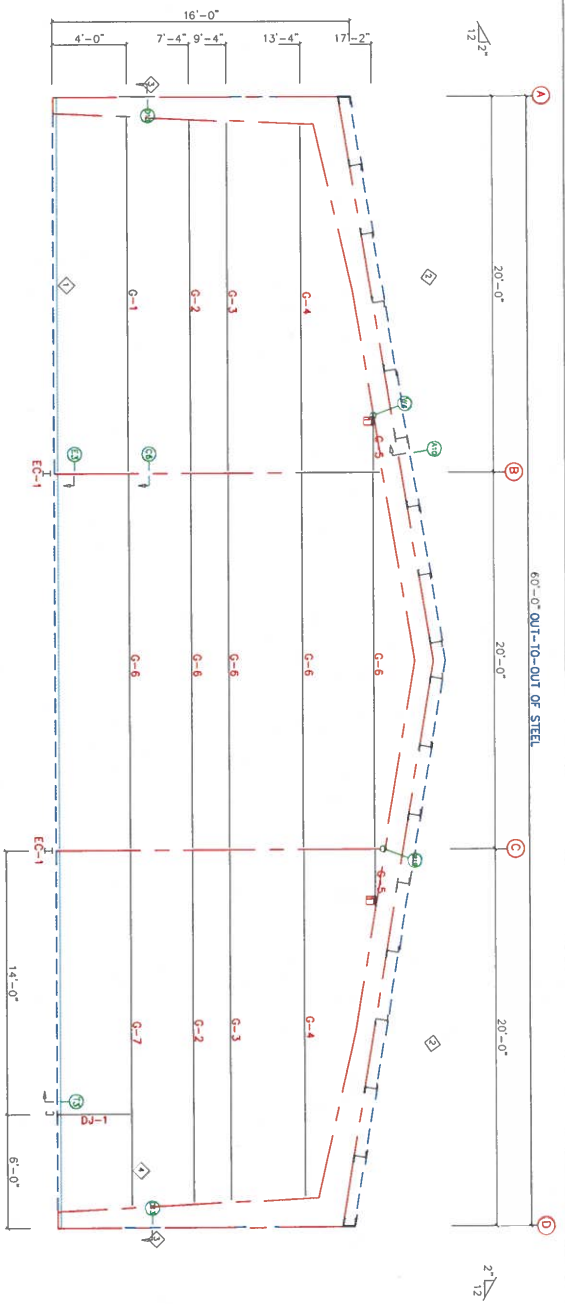


ANCHOR BOLT PLAN
 NOTE: All Base Plates @ 100'-0" (U.N.)
 --- Partition Wall (See KeyDwg)

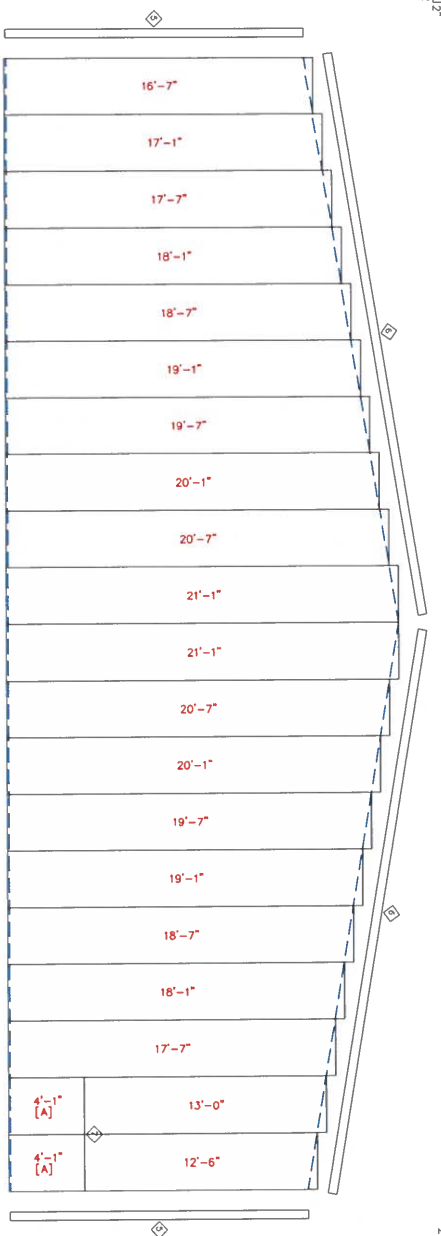
APPROVAL DRAWINGS
 NOT FOR CONSTRUCTION



PROJECT	BRANDON BOWDEN	DESIGN	ANCHOR BOLT PLAN & DETAILS
ID	024-0212	DRAFT	CHECK
PROJECT	MUSKOGEE, OK 74403	DATE	3/18/24 SHEET
ADDRESS			OF
BRANDON BOWDEN		BUILDING SIZE: 60'-0" x 150'-0" x 16'-0"	



LEFT ENDWALL FRAMING: FRAME LINE 1



LEFT ENDWALL SHEETING & TRIM: FRAME LINE 1

PANELS: 26 Co. RP - NEED COLOR
[A] PANELS: 26 Co. RP - Cadvalume Plus

TRIM TABLE			
FRAME LINE 1	MEMBER	LENGTH	DETAIL
1	EC-1	18'-6"	TRIM_26
2	G-1	19'-6"	TRIM_18
3	G-2	19'-6"	TRIM_18
4	G-3	19'-6"	TRIM_18
5	G-4	19'-6"	TRIM_18
6	G-5	19'-6"	TRIM_18
7	G-6	19'-6"	TRIM_18
8	G-7	19'-6"	TRIM_18

EQUIV TABLE			
FRAME LINE 1	MEMBER	LENGTH	DETAIL
1	EC-1	18'-6"	TRIM_26
2	G-1	19'-6"	TRIM_18
3	G-2	19'-6"	TRIM_18
4	G-3	19'-6"	TRIM_18
5	G-4	19'-6"	TRIM_18
6	G-5	19'-6"	TRIM_18
7	G-6	19'-6"	TRIM_18
8	G-7	19'-6"	TRIM_18

MEMBER TABLE			
FRAME LINE 1	MEMBER	LENGTH	DETAIL
1	EC-1	18'-6"	TRIM_26
2	G-1	19'-6"	TRIM_18
3	G-2	19'-6"	TRIM_18
4	G-3	19'-6"	TRIM_18
5	G-4	19'-6"	TRIM_18
6	G-5	19'-6"	TRIM_18
7	G-6	19'-6"	TRIM_18
8	G-7	19'-6"	TRIM_18

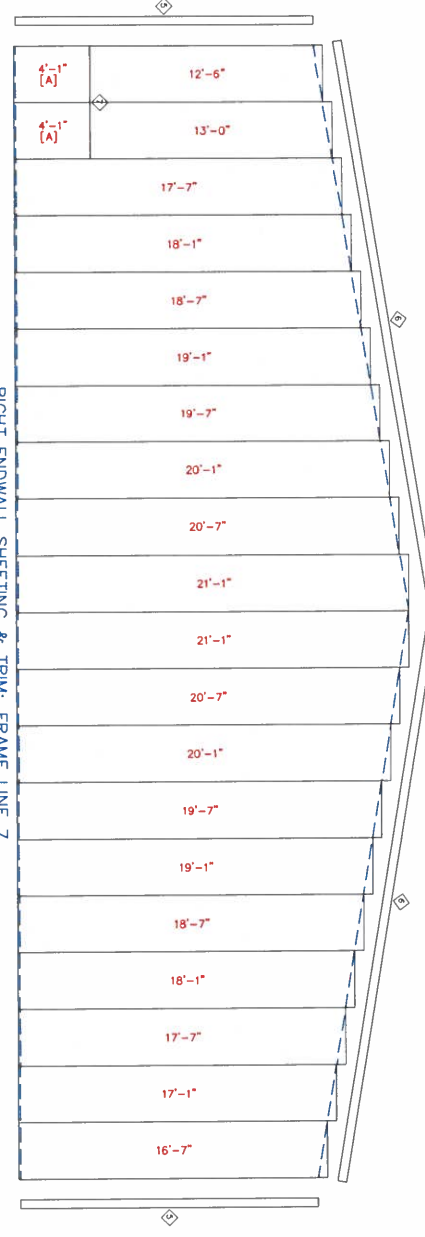
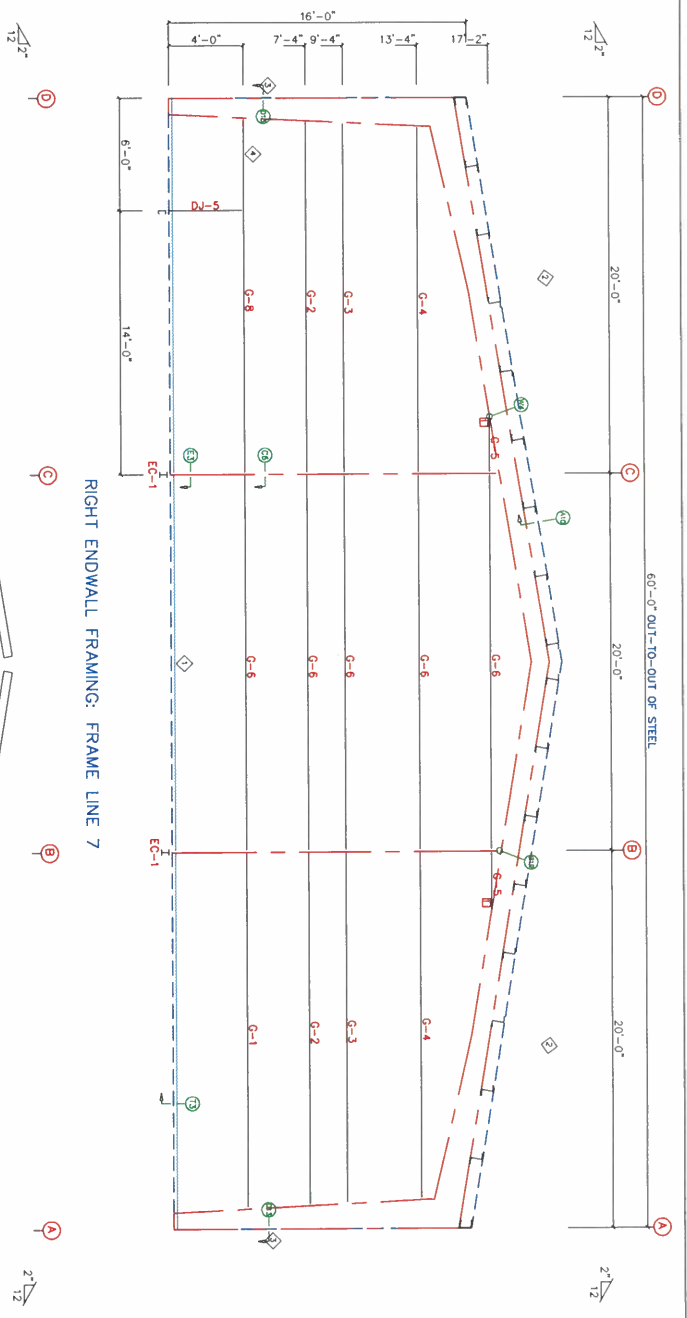
RANGE TABLE			
FRAME LINE 1	MEMBER	LENGTH	DETAIL
1	EC-1	18'-6"	TRIM_26
2	G-1	19'-6"	TRIM_18
3	G-2	19'-6"	TRIM_18
4	G-3	19'-6"	TRIM_18
5	G-4	19'-6"	TRIM_18
6	G-5	19'-6"	TRIM_18
7	G-6	19'-6"	TRIM_18
8	G-7	19'-6"	TRIM_18

CONNECTION PLATES			
FRAME LINE 1	MEMBER	LENGTH	DETAIL
1	EC-1	18'-6"	TRIM_26
2	G-1	19'-6"	TRIM_18
3	G-2	19'-6"	TRIM_18
4	G-3	19'-6"	TRIM_18
5	G-4	19'-6"	TRIM_18
6	G-5	19'-6"	TRIM_18
7	G-6	19'-6"	TRIM_18
8	G-7	19'-6"	TRIM_18



PROJECT	BRANDON BOWDEN	DESIGN	ENDWALL FRAMING
ID	024-0212	DRAWN	DR
PROJECT	MUSKOGEE, OK 74403	DATE	3/18/24 SHEET
ADDRESS		BUILDING SIZE	60'-0" x 150'-0" x 18'-0"

APPROVAL DRAWINGS
NOT FOR CONSTRUCTION



RIGHT ENDWALL SHEETING & TRIM: FRAME LINE 7
 PANELS: 26 Ga. RP - NEED COLOR
 [A] PANELS: 26 Ga. RP - Galvalume Plus

TRIM TABLE

FRAME LINE	ITEM	LENGTH	DETAIL
7	104	15'-6"	TRIM_1/8
6	1104	15'-6"	TRIM_1/8
7	1100	10'-6"	TRIM_1/8

BOLT TABLE

FRAME LINE	QUANTITY	DIA.	LENGTH
7	2	A325	5/8" 1 1/2"

MEMBER TABLE

FRAME LINE	MARK	PART	LENGTH
7	EC-1	W090C4	4'-0" 1/4"
7	EC-1	8X25Z14	18'-6 11/16"
7	G-1	8X25Z14	18'-4 3/4"
7	G-2	8X25Z14	18'-3 9/16"
7	G-3	8X25Z14	18'-3 7/8"
7	G-4	8X25Z14	19'-3 1/2"
7	G-6	8X25Z14	18'-6 11/16"
7	G-8	8X25Z14	18'-6 11/16"

RANGE TABLE

FRAME LINE	PART	LENGTH
7	1	24'-20"
7	2	20'-0"
7	3	24'-20"
7	4	24'-20"
7	5	24'-20"
7	6	24'-20"
7	7	24'-20"
7	8	24'-20"
7	9	24'-20"
7	10	24'-20"
7	11	24'-20"
7	12	24'-20"
7	13	24'-20"
7	14	24'-20"
7	15	24'-20"
7	16	24'-20"
7	17	24'-20"
7	18	24'-20"
7	19	24'-20"
7	20	24'-20"
7	21	24'-20"
7	22	24'-20"
7	23	24'-20"
7	24	24'-20"
7	25	24'-20"
7	26	24'-20"
7	27	24'-20"
7	28	24'-20"
7	29	24'-20"
7	30	24'-20"
7	31	24'-20"
7	32	24'-20"
7	33	24'-20"
7	34	24'-20"
7	35	24'-20"
7	36	24'-20"
7	37	24'-20"
7	38	24'-20"
7	39	24'-20"
7	40	24'-20"
7	41	24'-20"
7	42	24'-20"
7	43	24'-20"
7	44	24'-20"
7	45	24'-20"
7	46	24'-20"
7	47	24'-20"
7	48	24'-20"
7	49	24'-20"
7	50	24'-20"
7	51	24'-20"
7	52	24'-20"
7	53	24'-20"
7	54	24'-20"
7	55	24'-20"
7	56	24'-20"
7	57	24'-20"
7	58	24'-20"
7	59	24'-20"
7	60	24'-20"
7	61	24'-20"
7	62	24'-20"
7	63	24'-20"
7	64	24'-20"
7	65	24'-20"
7	66	24'-20"
7	67	24'-20"
7	68	24'-20"
7	69	24'-20"
7	70	24'-20"
7	71	24'-20"
7	72	24'-20"
7	73	24'-20"
7	74	24'-20"
7	75	24'-20"
7	76	24'-20"
7	77	24'-20"
7	78	24'-20"
7	79	24'-20"
7	80	24'-20"
7	81	24'-20"
7	82	24'-20"
7	83	24'-20"
7	84	24'-20"
7	85	24'-20"
7	86	24'-20"
7	87	24'-20"
7	88	24'-20"
7	89	24'-20"
7	90	24'-20"
7	91	24'-20"
7	92	24'-20"
7	93	24'-20"
7	94	24'-20"
7	95	24'-20"
7	96	24'-20"
7	97	24'-20"
7	98	24'-20"
7	99	24'-20"
7	100	24'-20"

CONNECTION PLATES

FRAME LINE	MARK	PART	LENGTH
7	EC-1	W090C4	4'-0" 1/4"
7	EC-1	8X25Z14	18'-6 11/16"
7	G-1	8X25Z14	18'-4 3/4"
7	G-2	8X25Z14	18'-3 9/16"
7	G-3	8X25Z14	18'-3 7/8"
7	G-4	8X25Z14	19'-3 1/2"
7	G-6	8X25Z14	18'-6 11/16"
7	G-8	8X25Z14	18'-6 11/16"

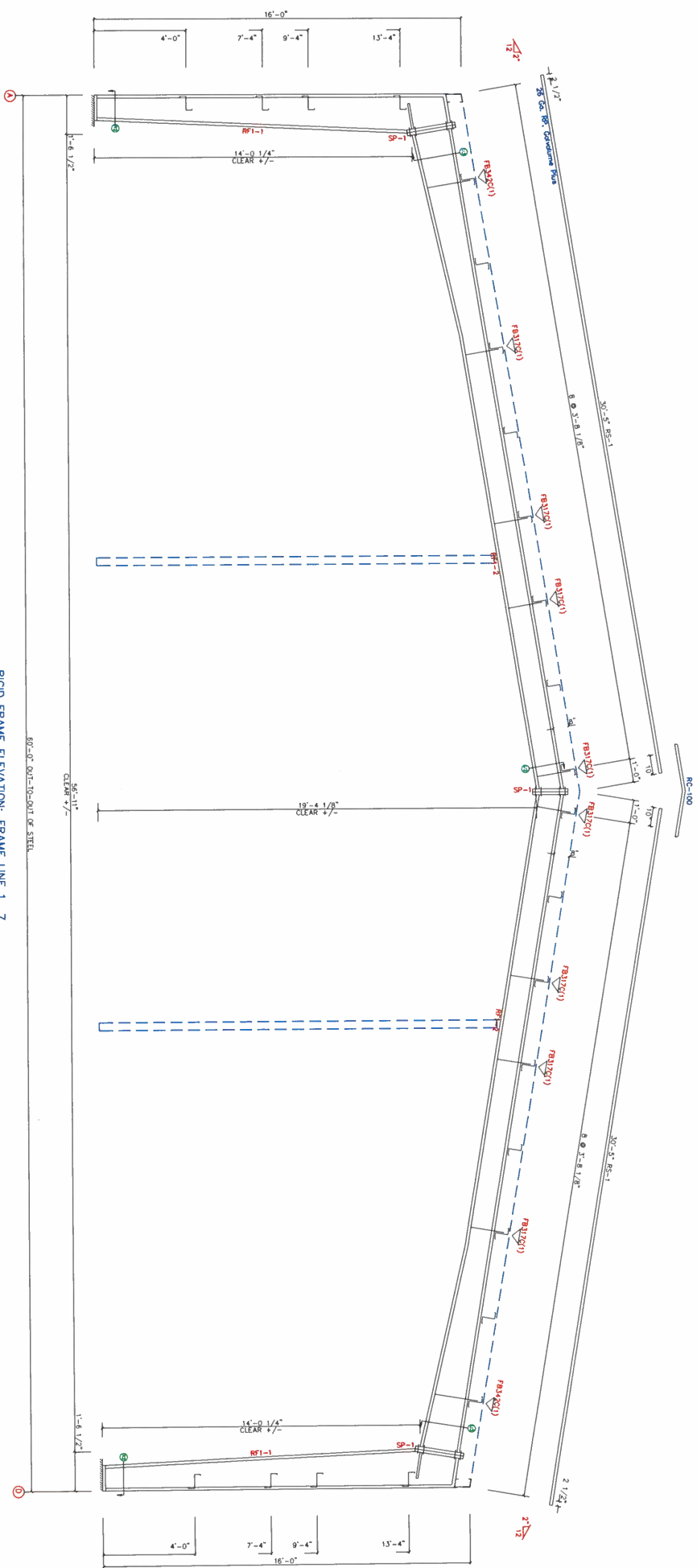
APPROVAL DRAWINGS
 NOT FOR CONSTRUCTION



PROJECT	BRANDON BOWDEN	ENDWALL FRAMING	CHECK:
ID	024-0212	DRAFT:	
PROJECT	MUSKOGEE, OK 74403	DATE:	3/18/24
ADDRESS		SHEET	01
		BUILDING SIZE:	60'-0" x 150'-0" x 16'-0"

GRADE RISE TABLE			
Work	Qty	Req. Bar mt	Type Dia Length
RF-1	4	0	AS22 07282 2300

GRADE RAISES: Fbaa (1 or 2)
 (1) Edge/End
 (2) Two Sides
 C - L2X2X7/8



RIGID FRAME ELEVATION: FRAME LINE 1 7

MEMBER	NO.	SIZE	REQ. LENGTH	REQ. AREA	REQ. VOLUME	INSTEAD TORQUE	INSTEAD TORQUE
RF-1	4	AS22 07282 2300	46.5	46.5	46.5	6 x 1/4" x 14.9	6 x 1/4" x 14.9
RF-2	4	AS22 07282 2300	108.5	108.5	108.5	6 x 1/4" x 108.5	6 x 1/4" x 108.5
			97.0	97.0	97.0	6 x 1/4" x 108.7	6 x 1/4" x 108.7
			24.0	24.0	24.0		



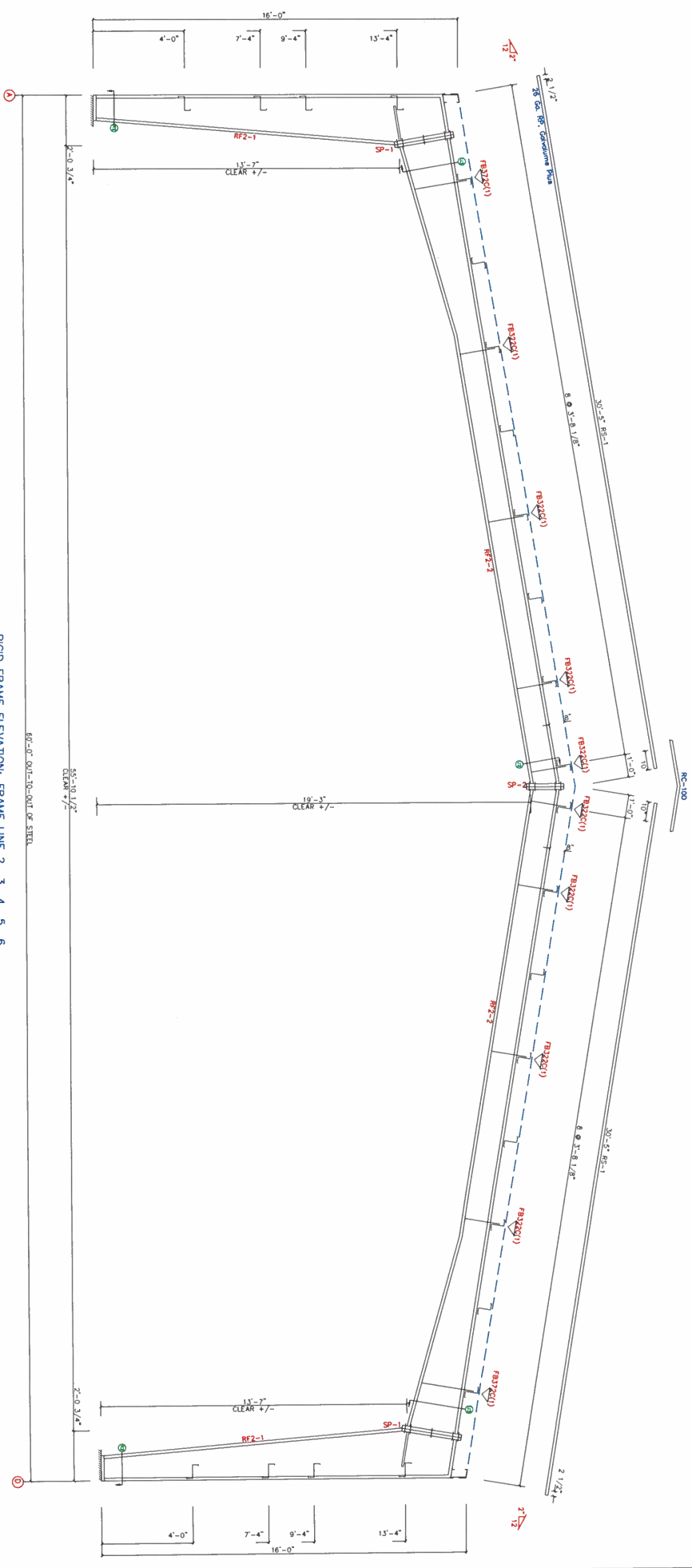
BRANDON BOWDEN		RIGID FRAME ELEVATION	
PROJECT	BRANDON BOWDEN	DESIGN:	DRAFT:
ID	024-0212	DATE:	3/18/24
PROJECT	MUSKOGEE, OK 74403	SHEET	OF
ADDRESS		BUILDING SIZE:	60'-0" x 150'-0" x 16'-0"

APPROVAL DRAWINGS
 NOT FOR CONSTRUCTION

STEEL ROLL TABLE

Item	Qty	Qty	Bar	Type	Dia	Length
SP-2	4	4	0	A325	0.750	3.00

▽ WELD DETAILS: Flare (1 or 2)
 (1) One Side (2) Two Sides
 C - EARTH/8



RIGID FRAME ELEVATION: FRAME LINE 2 3 4 5 6

MEMBER TABLE

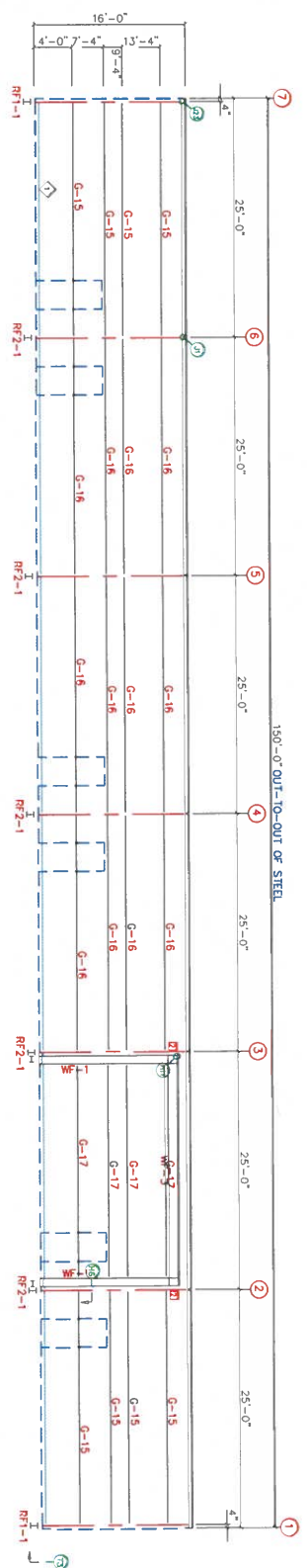
Member	Start/End	Area	Vol	Weight	Outside Flange	Inside Flange
RF2-1	20.5/24.5	0.115	40.7	6 x 3/8 x 20.1	6 x 3/8 x 118.1	6 x 3/8 x 103.8
RF2-2	24.0/28.0	0.135	103.1	19.0	6 x 1/4 x 228.0	6 x 1/4 x 229.8
	12.0/24.0	0.135	19.0	24.0		



BRANDON BOWDEN		RIGID FRAME ELEVATION	
PROJECT	BRANDON BOWDEN	DESIGN	DRAFT
ID	024-0212	DATE	3/18/24 SHEET
PROJECT	MUSKOGEE, OK 74403	CHECK	DF
ADDRESS		BUILDING SIZE	60'-0" x 150'-0" x 16'-0"

APPROVAL DRAWINGS
 NOT FOR CONSTRUCTION

DOWNSPOUT LOCATIONS



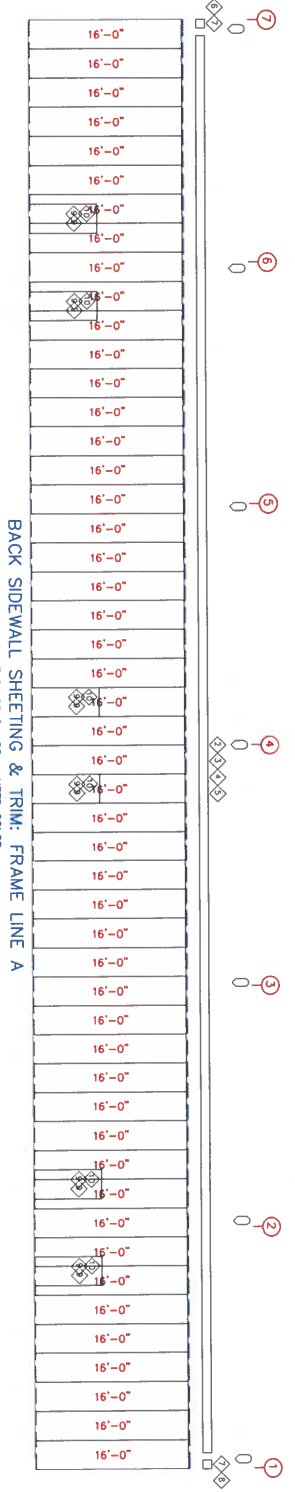
TRIM TABLE			
QTY	FRAME LINE A	LENGTH	DETAILED
2	GT-1022	10'-6"	TRIM-15
4	GT-1024	18'-6"	TRIM-15
7	GT-1027	20'-6"	TRIM-15
2	GT-STRAP	9"	
75	GT-STRAP	9"	
1	GT-LEND	5'-0"	
2	GT-REFND	6'-0"	TRIM-31
12	JT-1004	10'-6"	
6	HT-1006	10'-6"	TRIM-33

BOLT TABLE			
LOCATION	QUANTITY	TYPE	DIAMETER
WF-1	3	A325	3/8"
WF-2	3	A325	3/8"
WF-3	4	A325	3/8"
WF-4	4	A325	3/8"

MEMBER TABLE			
FRAME LINE A	PART	LENGTH	DETAIL
WF-1	W10641	15'-1 7/8"	
WF-2	W12641	22'-5 1/16"	
WF-3	W12641	23'-11 1/4"	
G-15	8x22x14	23'-11 1/4"	
G-16	8x22x14	22'-5 5/16"	
G-17	8x22x14	22'-5 5/16"	

ANGLE TABLE			
FRAME LINE A	PART	LENGTH	DETAIL
RF1-1	L2x4-20	20'-0"	
RF2-1	L2x4-20	20'-0"	

CONNECTION PLATES			
FRAME LINE A	PART	LENGTH	DETAIL
RF1-1	PL-1	20'-0"	
RF2-1	PL-2	20'-0"	

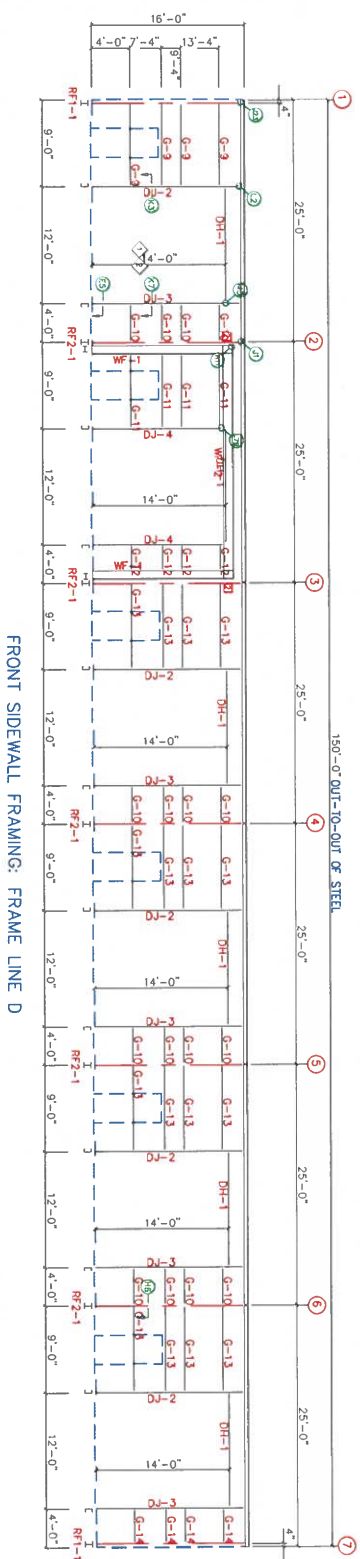


APPROVAL DRAWINGS
NOT FOR CONSTRUCTION



PROJECT	BRANDON BOWDEN	SIDE WALL FRAMING	CHECK:
ID	024-0212	DRAFT:	
PROJECT ADDRESS	MUSKOGEE, OK 74403	DATE:	3/18/24
		SHEET	OF
		BUILDING SIZE:	60'-0" x 150'-0" x 16'-0"

DOWNSPOUT LOCATIONS



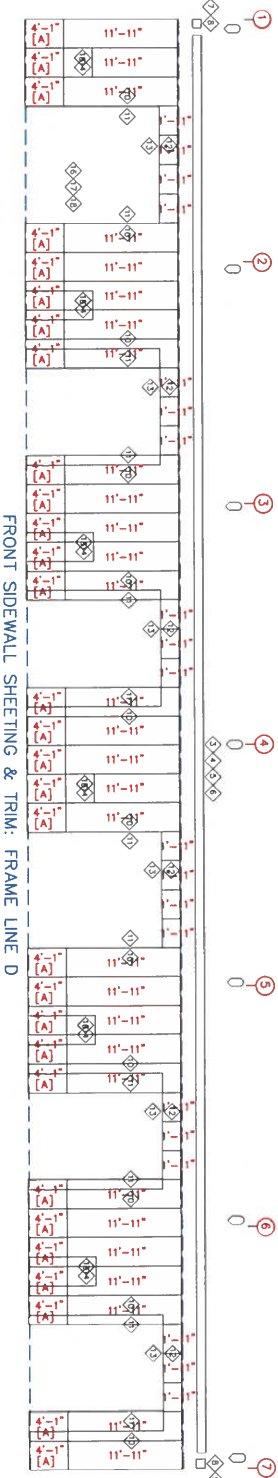
TRIM TABLE	FRAME LINE D	QUANT	PART	LENGTH	DETAIL
1	WT-1	4	A335 3/4" x 2 1/2"		
2	WT-2	4	A335 5/8" x 1 1/2"		
3	WT-1	4	A335 3/4" x 2 1/2"		
4	WT-2	4	A335 5/8" x 1 1/2"		
5	WT-1	4	A335 3/4" x 2 1/2"		
6	WT-2	4	A335 5/8" x 1 1/2"		
7	WT-1	4	A335 3/4" x 2 1/2"		
8	WT-2	4	A335 5/8" x 1 1/2"		
9	WT-1	4	A335 3/4" x 2 1/2"		
10	WT-2	4	A335 5/8" x 1 1/2"		
11	WT-1	4	A335 3/4" x 2 1/2"		
12	WT-2	4	A335 5/8" x 1 1/2"		
13	WT-1	4	A335 3/4" x 2 1/2"		
14	WT-2	4	A335 5/8" x 1 1/2"		
15	WT-1	4	A335 3/4" x 2 1/2"		
16	WT-2	4	A335 5/8" x 1 1/2"		
17	WT-1	4	A335 3/4" x 2 1/2"		
18	WT-2	4	A335 5/8" x 1 1/2"		

BOLT TABLE	FRAME LINE D	QUANT	TYPE	DIAM	LENGTH
1	WT-1	4	A335	3/4"	2 1/2"
2	WT-2	4	A335	5/8"	1 1/2"

MEMBER TABLE	FRAME LINE D	PART	LENGTH
1	WF-1	WT0641	15'-1 7/8"
2	WF-2	WT0641	12'-5 1/16"
3	DJ-1	8X25C14	15'-5 1/4"
4	DJ-2	8X25C14	14'-0 7/8"
5	DH-1	8X25C14	12'-0 3/8"
6	G-9	8X25Z14	7'-11 3/8"
7	G-10	8X25Z14	7'-4 3/8"
8	G-11	8X25Z14	2'-4 3/8"
9	G-12	8X25Z14	2'-4 3/8"
10	G-13	8X25Z14	2'-4 3/8"
11	G-14	8X25Z14	2'-11 3/8"

ANGLE TABLE	FRAME LINE D	LENGTH
1	RF2-1	124'-20"
2	RF2-1	124'-20"

CONNECTION PLATES	FRAME LINE D	LENGTH
1	RF2-1	124'-20"
2	RF2-1	124'-20"



PANELS: 26 Ga. RP - NEED COLOR
[A] PANELS: 26 Ga. RP - Galvalume Plus

APPROVAL DRAWINGS
NOT FOR CONSTRUCTION

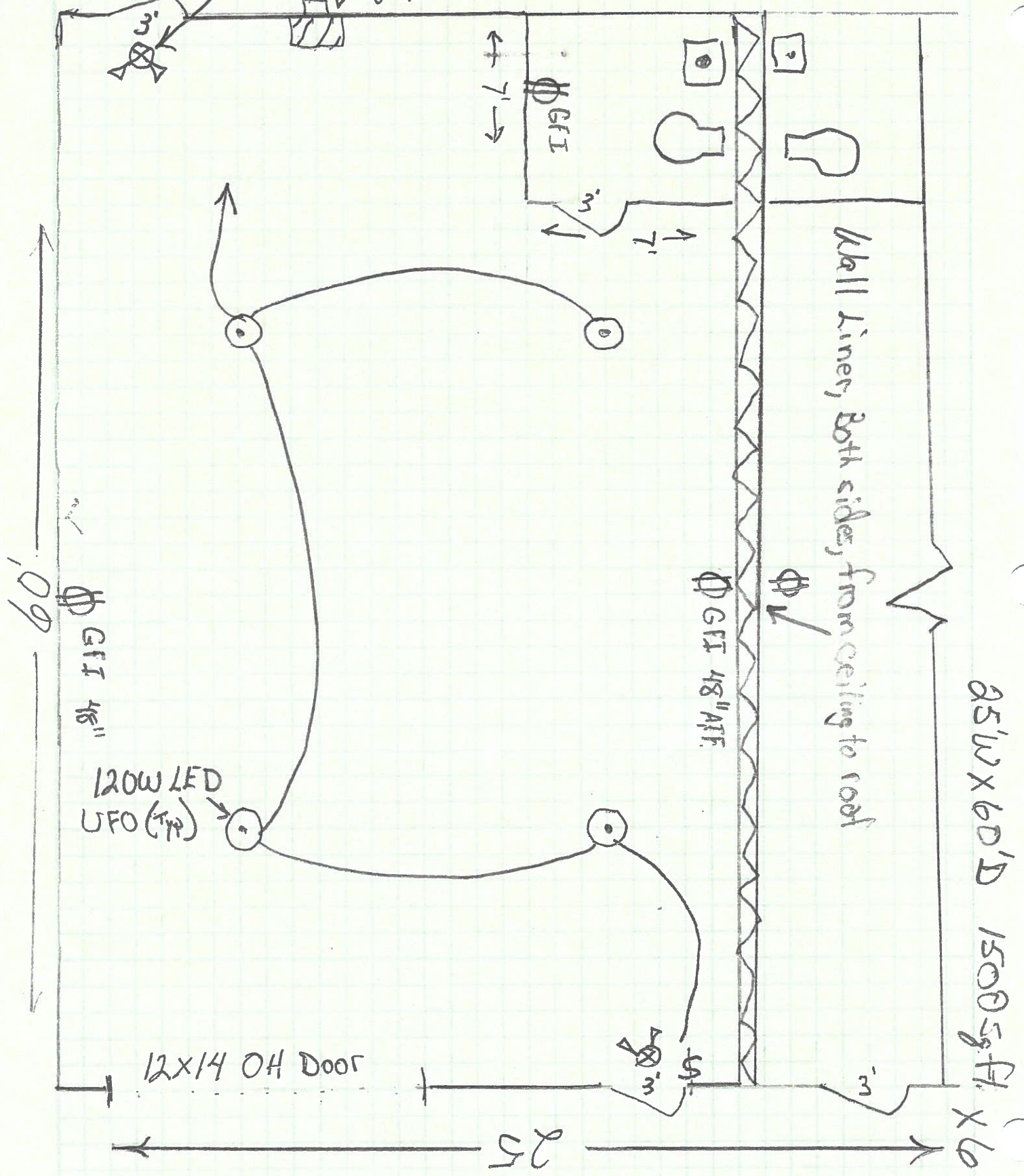


PROJECT	BRANDON BOWDEN	SIDEWALL FRAMING	CHECK:
ID	024-0212	DRAFT:	
PROJECT	MUSKOGEE, OK 74403	DATE:	3/18/24
ADDRESS		SHEET	DF
BUILDING	SIZE: 60'-0" x 150'-0" x 16'-0"		

ADA
Compliant

Combo Emerg Exit (Typ)

200A 1Ø
120/240



ORDINANCE NO. 4232-A

AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP OF THE CITY OF MUSKOGEE AS PROVIDED BY CHAPTER 90, SECTION 01-03, OF THE MUSKOGEE CITY CODE, SEPTEMBER 2014, BY RE-ZONING PROPERTY LOCATED AT 2109 WARD STREET. THE TRACT OF LAND IS IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 15 NORTH, RANGE 18 EAST OF THE INDIAN BASE AND MERIDIAN, MUSKOGEE COUNTY, STATE OF OKLAHOMA. CONTAINING 1.00 ACRES MORE OR LESS, AND PROVIDING FOR SEVERABILITY. THE PROPERTY IS MORE PARTICULARLY DESCRIBED AS:

The West 208.7 feet of the East 936.1 feet of the North 208.7 feet of the SE/4 of the NE/4 of Section 24, T15N, R18E of the 1.B.&M., Muskogee County, State of Oklahoma. Containing 1.00 acres, more or less.

(JOE ROCKEY, Applicant)

**FROM R-1 SINGLE FAMILY
TO
I-1 LIGHT INDUSTRIAL**

WHEREAS, the City of Muskogee Planning and Zoning Commission, in a meeting held Monday, May 6, 2024, did recommend the approval of the rezoning of the property set out above in the title of the Ordinance, and did authorize the director of the Commission to advise the Council of the City of Muskogee of this recommendation, NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MUSKOGEE, OKLAHOMA,

Section 1. THAT, the official zoning map of the City of Muskogee as provided by Chapter 90, Section 01-03, of the Muskogee City Code, September 2014, is hereby amended by changing the District Classification by rezoning;

The West 208.7 feet of the East 936.1 feet of the North 208.7 feet of the SE/4 of the NE/4 of Section 24, T15N, R18E of the 1.B.&M., Muskogee County, State of Oklahoma. Containing 1.00 acres, more or less.

**FROM R-1 SINGLE FAMILY
TO
I-1 LIGHT INDUSTRIAL**

AND that this change be so ordered and declared by the City Council.

Section 2. THAT, the City Clerk is authorized and directed to show such change on the zoning map record.

Section 3. REPEALER. All other ordinances or parts of ordinances in direct conflict herewith are repealed to the extent of the conflict only.

Section 4. SEVERABILITY. Should any part, section, subsection, sentence, provision, clause, or phrase hereof be held invalid, void, or unconstitutional for any reason, such holding shall not render invalid, void, or unconstitutional any other section, subsection, sentence, provision, clause, or phrase of this Ordinance, and the same are deemed severable for this purpose.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF MUSKOGEE, OKLAHOMA, THIS _____ DAY OF JUNE 2024.

W. PATRICK CALE, MAYOR

ATTEST:

TAMMY L. TRACY, CITY CLERK

(SEAL)

APPROVED as to form and legality this ____ day of _____, 20____.

KATRINA BODENHAMER, CITY ATTORNEY

Planning Commission

3.

Meeting Date: 05/06/2024

Initiator: Jody King, Planning Director

Information

AGENDA ITEM TITLE:

Hold a public hearing and consider a recommendation to the City Council of the City of Muskogee regarding Ordinance No. 4231-A, a rezone request for the property located at 2544 South 32nd Street, Southeast Section 4, Township 14 North, Range 18 East, to be rezoned from C-2 General Commercial and A-Agriculture to I-1 Light Industrial, and if approved, authorize staff to update the official city map, or take other necessary action. (Jody King)

LEGAL DESCRIPTION:

A TRACT OF LAND BEING ALL OF LOT 1, BLOCK 1, OF THE SLEEPY TRAVELER ADDITION, FILED IN THE MUSKOGEE COUNTY CLERK'S OFFICE IN PLAT BOOK 4867, PAGE 503, AND A PORTION OF THE SOUTHWEST QUARTER (SW/4) OF THE NORTHEAST QUARTER (NE/4) OF SECTION FOUR (4), TOWNSHIP FOURTEEN NORTH (T14N), RANGE EIGHTEEN EAST (R18E) OF THE INDIAN MERIDIAN, MUSKOGEE COUNTY, OKLAHOMA, TOGETHER BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 1, BLOCK 1, MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE; THENCE N88°06'48"E, PASSING THROUGH A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE FOR THE NORTHEAST CORNER OF SAID LOT 1, BLOCK 1 AT A DISTANCE OF 749.94 FEET, AND CONTINUING FOR A TOTAL DISTANCE OF 1205.56 FEET TO A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE; THENCE S01°36'13"E A DISTANCE OF 329.93 FEET TO A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE; THENCE S88°06'00"W, PASSING THROUGH A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE FOR THE SOUTHEAST CORNER OF SAID LOT 1, BLOCK 1 AT A DISTANCE OF 457.58 FEET, AND CONTINUING FOR A TOTAL DISTANCE OF 1207.50 FEET TO A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE, SAID POINT BEING ON THE PLATTED RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 64; THENCE ALONG SAID LINE N01°16'02"W A DISTANCE OF 330.22 FEET TO THE POINT OF BEGINNING SAID TRACT HAVING AN AREA OF 398,231.9 SQUARE FEET OR 9.142 ACRES, MORE OR LESS

BACKGROUND:

Old Dominion Freight Line (ODFL) requests the rezone of the newly consolidated lots from C-2 General Commercial & A Agriculture to I-1 Light Industrial. The frontage of the lot was originally platted as the Sleepy Traveler Addition for a proposed RV Park in 2023. The owner has since decided to sell the property to ODFL. The combined lots will serve as a drop yard for commercial trucking making Muskogee a destination for further industrial and commercial expansion. The request does not conform with the future land use plan, but as the City of Muskogee is in the middle of their comprehensive plan update, the upcoming ODOT expansion of Highway 69, and the continued growth of industrial and commercial development, the preceding land use map amendment is recommended by city staff and must be approved by the city council in order to proceed with the rezone request.

Attached is the lot consolidation survey and building plans which together, conform to the requirement of section 90-03-04 since the request does not conform to the future land use plan.

Surrounding Zoning & Land Use

North: I-1 Light Industrial, Accessory Structures by Legacy Buildings.

East: R-1 Single Family, Single Family Homes in the Southgate RP Addition.

South: Similarly zoned, vacant farmland.

West: outside city limits.

Public hearings will be held at the Muskogee City Hall, 3rd Floor Council Chambers, at 229 W Okmulgee, Muskogee, OK 74401 at the following meetings and times:

1. City of Muskogee Planning & Zoning Commission on Monday, May 6, 2024, at 9:00 A.M.
2. City of Muskogee Public Works Committee on Monday, May 13, 2024, at 5:30 P.M.
3. City of Muskogee City Council on Monday, June 24, 2024, at 5:30 P.M.

This notice was published in the Muskogee Phoenix for circulation no later than Tuesday April 16, 2024, for twenty (20) days and all property owners within a 300 foot radius of the property were noticed.

RECOMMENDED STAFF ACTION:

Recommend Approval

Fiscal Impact

Attachments

Staff Report

Site Plan

Building Plans

Ordinance 4231-A DRAFT

Planning & Community Development Staff Report

**City of Muskogee Planning & Zoning Commission, Monday, May 6, 2024 at
9:00 A.M. at City of Muskogee City Hall, 229 W Okmulgee Ave., 3rd Floor
Council Chambers**

Hold a public hearing and consider a recommendation to the City Council of the City of Muskogee for Resolution No. 2985 to approve a land use map amendment to allow for the property located at 2544 South 32nd Street, Southeast Section 4, Township 14 North, Range 18 East to be rezoned from C-2 General Commercial and A Agriculture to I-1 Light Industrial.

AND;

Hold a public hearing and consider a recommendation to the City Council of the City of Muskogee to approve Ordinance No. 4231-A, a rezone request for the property located at 2544 South 32nd Street, Southeast Section 4, Township 14 North, Range 18 East to be rezoned from C-2 General Commercial and A Agriculture to I-1 Light Industrial and if approved, authorize staff to update the official city map.

Planning Department Analysis

- Current Zoning & Use
 - Street frontage is zoned C-1 Local commercial, back half is zoned A Agriculture
 - Vacant agricultural land
- Proposed Zoning & Use
 - I-1 Light Industrial
 - Commercial Trucking Drop yard for Old Dominion Freight Line.
- Section, Township, Range
 - SW quarter of the NE quarter of Section 4, Township 14 North, Range 18 East of the Indian Meridian.
- Street Address: 2544 South 32nd Street

Legal Description

A TRACT OF LAND BEING ALL OF LOT 1, BLOCK 1, OF THE SLEEPY TRAVELER ADDITION, FILED IN THE MUSKOGEE COUNTY CLERK'S OFFICE IN PLAT BOOK 4867, PAGE 503, AND A PORTION OF THE SOUTHWEST QUARTER (SW/4) OF THE NORTHEAST QUARTER (NE/4) OF SECTION FOUR (4), TOWNSHIP FOURTEEN NORTH (T14N), RANGE EIGHTEEN EAST (R18E) OF THE INDIAN MERIDIAN, MUSKOGEE COUNTY, OKLAHOMA, TOGETHER BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 1, BLOCK 1, MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE; THENCE N88°06'48"E, PASSING THROUGH A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE FOR THE NORTHEAST CORNER OF SAID LOT 1, BLOCK 1 AT A DISTANCE OF 749.94 FEET, AND CONTINUING FOR A TOTAL DISTANCE OF 1205.56 FEET TO A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE; THENCE S01°36'13"E A DISTANCE OF 329.93 FEET TO A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE; THENCE S88°06'00"W, PASSING THROUGH A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE FOR THE SOUTHEAST CORNER OF SAID LOT 1, BLOCK 1 AT A DISTANCE OF 457.58 FEET, AND CONTINUING FOR A TOTAL DISTANCE OF 1207.50 FEET TO A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE, SAID POINT BEING ON THE PLATTED RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 64; THENCE ALONG SAID LINE N01°16'02"W A DISTANCE OF 330.22 FEET TO THE POINT OF BEGINNING SAID TRACT HAVING AN AREA OF 398,231.9 SQUARE FEET OR 9.142 ACRES, MORE OR LESS.

Discussion on Land Use Map Amendment

The City of Muskogee and Old Dominion Freight Line (applicant) are requesting an amendment to the Land Use Map to allow the property to be rezoned from C-2 General Commercial and A Agriculture to I-1 Light Industrial to allow for a commercial trucking drop yard. The future land use map as adopted by the City Council demonstrates that the area has the possibility of residential expansion. However, since the City of Muskogee is in the middle of their comprehensive plan update, the upcoming ODOT expansion of Highway 69, the continued growth of industrial and commercial development, and the existing I-1 zoning contiguous to the northern most portion of the property, the preceding land use map amendment is by city staff and must be approved by the city council in order to proceed with the rezone request. The amendment, if approved, would change the Land Use Map from "Single Family Residential" to "Light Industrial" and allow the rezoning request to be considered for approval.

Public hearings will be held at the Muskogee City Hall, 3rd Floor Council Chambers, at 229 W Okmulgee, Muskogee, OK 74401 at the following meetings and times:

1. City of Muskogee Planning & Zoning Commission on Monday, May 6, 2024, at 9:00 A.M.
2. City of Muskogee Public Works Committee on Monday, May 13, 2024, at 5:30 P.M.
3. City of Muskogee City Council on Monday, June 24, 2024, at 5:30 P.M.

This notice was published in the Muskogee Phoenix for circulation no later than Tuesday April 16, 2024, for twenty (20) days and all property owners within a 300 foot radius of the property were noticed.

Discussion on Rezone

Old Dominion Freight Line (ODFL) requests the rezone of the newly consolidated lots from C-2 General Commercial & A Agriculture to I-1 Light Industrial. The frontage of the lot was originally platted as the Sleepy Traveler Addition for a proposed RV Park in 2023. The owner has since decided to sell the property to ODFL. The combined lots will serve as a drop yard for commercial trucking making Muskogee a destination for further industrial and commercial expansion. The request does not conform with the future land use plan, but as the City of Muskogee is in the middle of their comprehensive plan update, the upcoming ODOT expansion of Highway 69, and the continued growth of industrial and commercial development, the preceding land use map amendment is recommended by city staff and must be approved by the city council in order to proceed with the rezone request.

Attached is the lot consolidation survey and building plans which together, conform to the requirement of section 90-03-04 since the request does not conform to the future land use plan.

Surrounding Zoning & Land Use

North: I-1 Light Industrial, Accessory Structures by Legacy Buildings.

East: R-1 Single Family, Single Family Homes in the Southgate RP Addition.

South: Similarly zoned, vacant farmland.

West: outside city limits.

Public hearings will be held at the Muskogee City Hall, 3rd Floor Council Chambers, at 229 W Okmulgee, Muskogee, OK 74401 at the following meetings and times:

1. City of Muskogee Planning & Zoning Commission on Monday, May 6, 2024, at 9:00 A.M.
2. City of Muskogee Public Works Committee on Monday, May 13, 2024, at 5:30 P.M.
3. City of Muskogee City Council on Monday, June 24, 2024, at 5:30 P.M.

This notice was published in the Muskogee Phoenix for circulation no later than Tuesday April 16, 2024, for twenty (20) days and all property owners within a 300 foot radius of the property were noticed.

RECOMMENDATION: Approve Land Use Map Amendment and the Rezone

Request



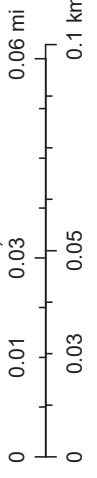
2544 South 32nd Street Zoning Map



4/10/2024

- Muskogee parcels
- R-1
- I-1
- C-2
- City of Muskogee City Limits
- A

1:2,257



Source: Esri, USDA FSA, Esri Community Maps Contributors, Texas Parks & Wildlife, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph,

SITE INFORMATION

N/F: HOLMAN RECREATION LLC
 2544 SOUTH 32ND STREET,
 MUSKOGEE, OKLAHOMA 74401
 APN: 510045050
 398,232 ± SQUARE FEET, OR 9.142 ± ACRES

DEED DESCRIPTION

THE LAND IS DESCRIBED AS FOLLOWS:
 FOR APN/PARCEL ID(S): 510045050
 FOR TAX MAP ID(S): 45050 AND 58514
 THE N/2 OF THE N/2 OF THE SW/4 OF THE NE/4 OF SECTION 4, TOWNSHIP 14 NORTH, RANGE 18 EAST OF THE INDIAN BASE AND MERIDIAN, MUSKOGEE COUNTY, STATE OF OKLAHOMA

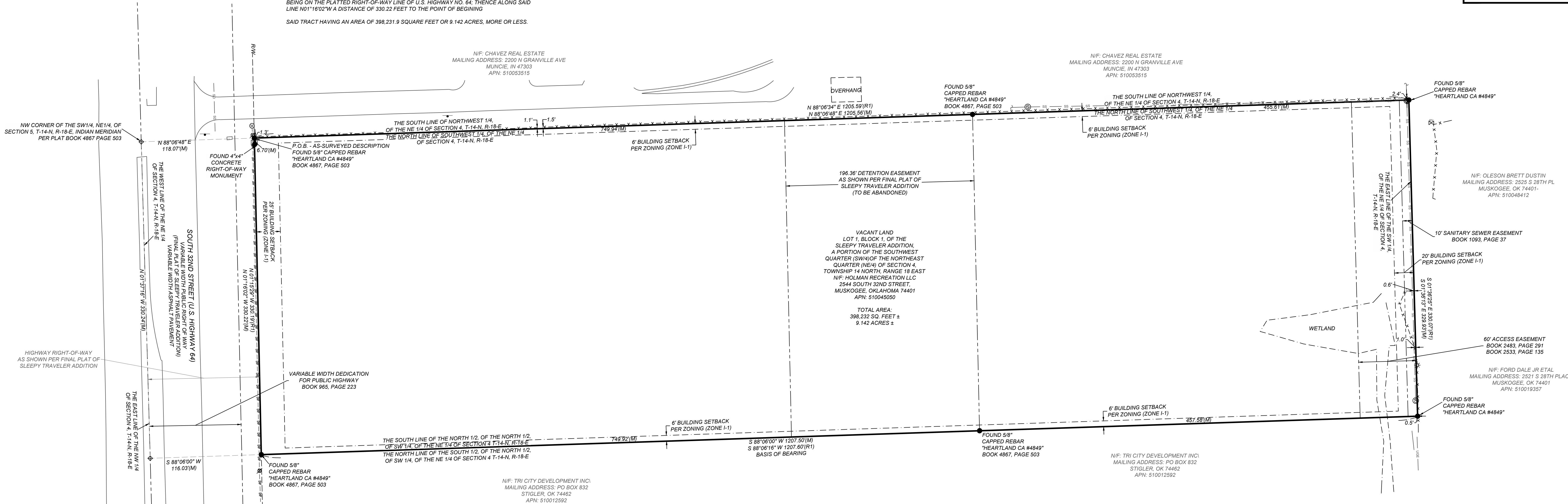
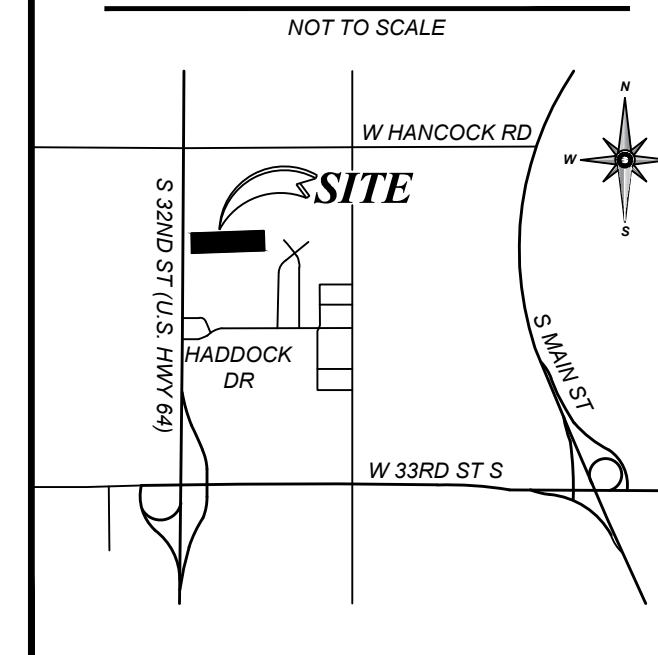
AS-SURVEYED DESCRIPTION

A TRACT OF LAND BEING ALL OF LOT 1, BLOCK 1, OF THE SLEEPY TRAVELER ADDITION, FILED IN THE MUSKOGEE COUNTY CLERK'S OFFICE IN PLAT BOOK 4867, PAGE 503, AND A PORTION OF THE SOUTHWEST QUARTER (SW/4) OF THE NORTHEAST QUARTER (NE/4) OF SECTION FOUR (4), TOWNSHIP FOURTEEN NORTH (T14N), RANGE EIGHTEEN EAST (R18E) OF THE INDIAN MERIDIAN, MUSKOGEE COUNTY, OKLAHOMA, TOGETHER BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 1, BLOCK 1, MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE, THENCE
 N88°06'48"E, PASSING THROUGH A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE FOR THE NORTHEAST CORNER OF SAID LOT 1, BLOCK 1 AT A DISTANCE OF 749.94 FEET, AND CONTINUING FOR A TOTAL DISTANCE OF 1205.56 FEET TO A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE, THENCE
 S01°36'13"E A DISTANCE OF 329.93 FEET TO A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE, THENCE
 S88°06'00"W, PASSING THROUGH A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE FOR THE SOUTHEAST CORNER OF SAID LOT 1, BLOCK 1 AT A DISTANCE OF 457.58 FEET, AND CONTINUING FOR A TOTAL DISTANCE OF 1207.50 FEET TO A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE, SAID POINT BEING ON THE PLATED RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 84, THENCE ALONG SAID LINE N01°16'02"W A DISTANCE OF 330.22 FEET TO THE POINT OF BEGINNING
 SAID TRACT HAVING AN AREA OF 398,231.9 SQUARE FEET OR 9.142 ACRES, MORE OR LESS.

LOT CONSOLIDATION SURVEY

2544 SOUTH 32ND STREET,
 MUSKOGEE, OKLAHOMA 74401
 MUSKOGEE COUNTY

VICINITY MAP



GENERAL NOTES

- SOME FEATURES SHOWN ON THIS PLAT MAY BE SHOWN OUT OF SCALE FOR CLARITY.
- DIMENSIONS ON THIS PLAT ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED. MONUMENTS WERE FOUND AT POINTS WHERE INDICATED.
- COMPLETED FIELD WORK WAS DECEMBER 26, 2023.
- THE DISTANCES SHOWN HEREON ARE UNITS OF GROUND MEASUREMENT.
- NAMES AND ADDRESSES OF ADJOINING PROPERTY OWNERS WERE TAKEN FROM MUSKOGEE COUNTY GIS.
- THIS SURVEY MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.
- THIS PROJECT WAS COMPLETED UNDER MY DIRECT AND RESPONSIBLE CHARGE FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; THAT THIS GROUND SURVEY WAS PERFORMED AT THE 90% CONFIDENCE LEVEL TO MEET FEDERAL GEOGRAPHIC DATA COMMITTEE STANDARDS; THAT THIS SURVEY WAS PERFORMED TO MEET THE SPECIFICATIONS FOR TOPOGRAPHIC AND PLANIMETRIC MAPPING CONTAINED IN THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS; THE ORIGINAL DATA WAS OBTAINED AND THAT THE SURVEY WAS COMPLETED ON DECEMBER 26, 2023, AND ALL COORDINATES ARE BASED ON NAD83(2011) EPOCH 2010.0 AND ALL ELEVATIONS ARE BASED ON NAVD83.
- PROPERTY TO BE REZONED TO I-1 - LIGHT INDUSTRIAL. THE I-1, LIGHT INDUSTRIAL DISTRICT IS INTENDED TO ACCOMMODATE MOST TYPES OF INDUSTRIAL DEVELOPMENT AS WELL AS BUSINESS PARKS. THIS DISTRICT IS DESIGNED TO PROTECT RESIDENTIAL AND LESS INTENSIVE COMMERCIAL USES BY LOCATING GENERAL INDUSTRIAL USES IN LOCATIONS REMOVED FROM SUCH RESIDENTIAL OR COMMERCIAL DEVELOPMENT. CERTAIN GENERAL INDUSTRIAL USES THAT MAY TEND TO BE OBJECTIONABLE DUE TO THEIR ODOR, VIBRATIONS, SMOKE, GLARE, HEAT, NOISE OR SIMILAR CHARACTERISTICS ARE PROVIDED AS SPECIAL USES IN THIS DISTRICT.

FLOOD ZONE INFORMATION

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 40101C0235F, WHICH BEARS AN EFFECTIVE DATE OF 02/04/2011 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA
 ZONE "X" - AREA OF MINIMAL FLOOD HAZARD, USUALLY DEPICTED ON FIRMS AS ABOVE THE 500-YEAR FLOOD LEVEL. ZONE "X" IS THE AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD AND PROTECTED BY LEVEE FROM 100-YEAR FLOOD.

BASIS OF BEARING

THE BASIS OF BEARING OF THIS SURVEY IS GRID NORTH (G) BASED ON THE SOUTH LINE OF THE SUBJECT PROPERTY. THE BEARING IS DENOTED AS S88°06'00"W PER GPS COORDINATE OBSERVATIONS OKLAHOMA STATE PLANE, NORTH ZONE NAD83(2011).
 LATITUDE = 35°43'18.607"
 LONGITUDE = -95°24'08.1325"
 CONVERGENCE ANGLE = -01°31'58.9772"

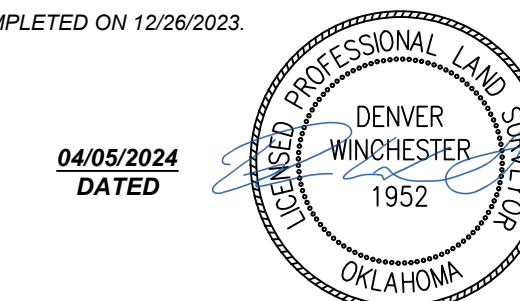
PLANNING COMMISSION APPROVAL

I CERTIFY THAT THIS SURVEY ACCURATELY REPRESENTS THE ACTION OF THE CITY OF MUSKOGEE PLANNING AND ZONING COMMISSION TAKEN ON _____
 PLANNING COMMISSION CHAIRMAN: _____ DATE _____

SURVEYOR'S CERTIFICATE

I, DENVER WINCHESTER, PROFESSIONAL LAND SURVEYOR, IN THE STATE OF OKLAHOMA, DO HEREBY CERTIFY THAT A SURVEY WAS MADE UNDER MY DIRECT SUPERVISION OF THE HEREIN DESCRIBED PROPERTY SITUATE WITHIN MUSKOGEE COUNTY. THE SURVEY WAS MADE ON THE GROUND USING AT LEAST THE MINIMUM STANDARDS OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND FURTHER CERTIFY THAT THIS PLAT MEETS SAID STANDARDS AND ACCURATELY REPRESENTS SAID SURVEY.

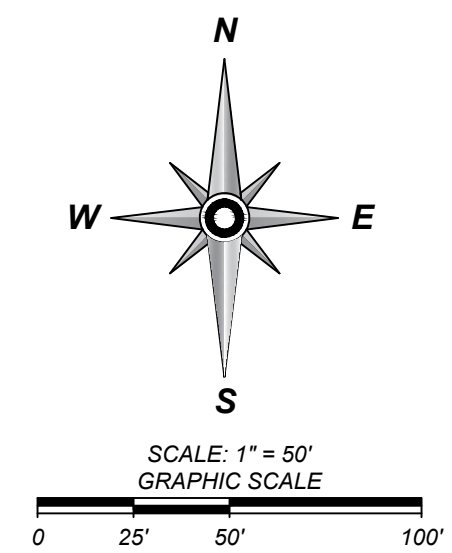
THE FIELD WORK WAS COMPLETED ON 12/26/2023.



DENVER WINCHESTER
 PROFESSIONAL LAND SURVEYOR NO. 1952
 STATE OF OKLAHOMA
 OKLAHOMA COA 5387

LEGEND & SYMBOLS

- FOUND MONUMENT AS-NOTED
- COMPUTED POINT
- ⊕ SIGN
- FIBER OPTIC VAULT
- SANITARY MANHOLE(S/MH)
- POWER POLE
- WATER METER
- IRRIGATION CONTROL VALVE
- UTILITY VAULT
- (M) MEASURED/CALCULATED DIMENSION
- (RT) RECORD DIMENSION PER FINAL PLAT OF SLEEPY TRAVELER ADDITION, DATED JULY 17, 2023, FILE NAME: W010865
- N/F NOW OR FORMERLY
- P.O.B. POINT OF BEGINNING
- BOUNDARY LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- x-x-x-x- FENCE LINE
- OVERHEAD POWER LINE
- UNDERGROUND SANITARY SEWER LINE
- UNDERGROUND STORM DRAIN LINE
- EDGE OF WATER
- SETBACK LINE



DATE	REVISION HISTORY	BY

BLEW & ASSOCIATES, P.A.
 3825 N. SHILOH DRIVE - FAYETTEVILLE, AR 72703
 EMAIL: SURVEY@BLEWINC.COM
 OFFICE: 479.443.4506 FAX: 479.582.1883
 WWW.BLEWINC.COM

SURVEYOR JOB NUMBER:
 23-8131.02

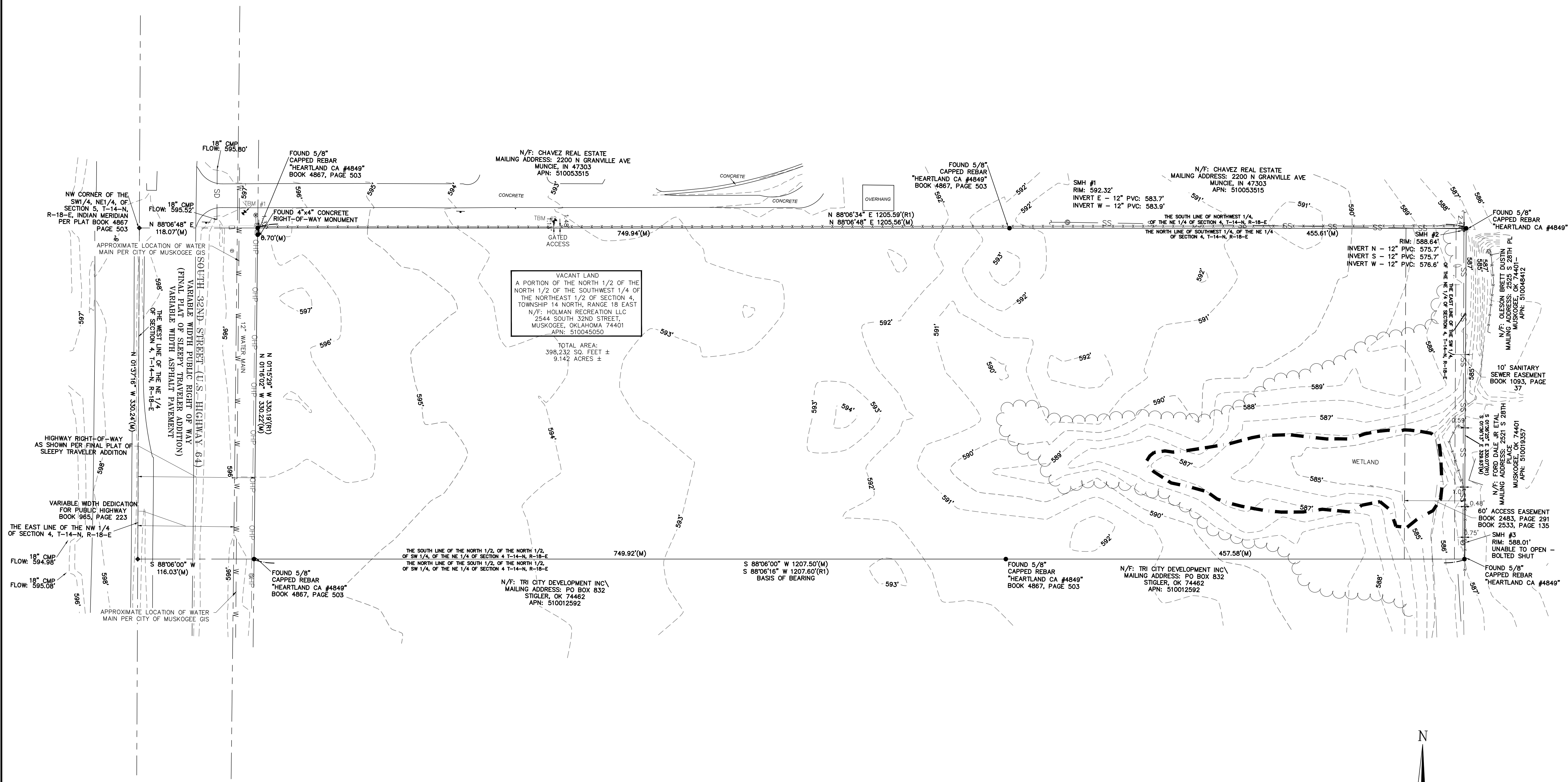
SURVEY DRAWN BY:
 CKL/STS - 03/19/2024

SURVEY REVIEWED BY:
 DW

SHEET:
 1 OF 1

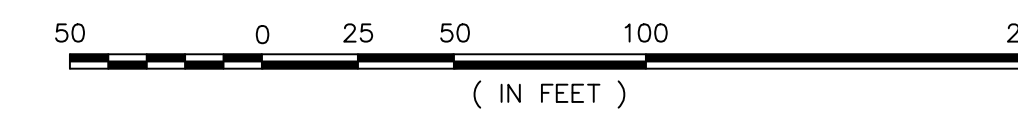
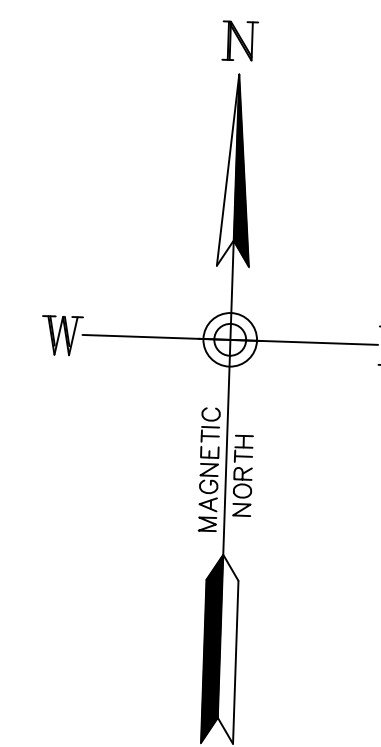
GENERAL NOTES

1. THIS DRAWING WAS CREATED UTILIZING INFORMATION FROM A SURVEY TITLE "ALTA/NPS LAND TITLE SURVEY 2544 SOUTH 32ND STREET, MUSKOGEE, OKLAHOMA 74401 MUSKOGEE COUNTY" BY DENVER WINCHESTER WITH BLEW & ASSOCIATES, P.A. DATED 01/24/2024



VACANT LAND
A PORTION OF THE NORTH 1/2 OF THE
NORTH 1/2 OF THE SOUTHWEST 1/4 OF
THE NORTHEAST 1/2 OF SECTION 4,
TOWNSHIP 14 NORTH, RANGE 18 EAST
N/F: HOLMAN RECREATION LLC
2544 SOUTH 32ND STREET,
MUSKOGEE, OKLAHOMA 74401
APN: S10045050

TOTAL AREA:
398,232 SQ. FEET ±
9.142 ACRES ±



Old Dominion Freight Line
Muskegee, OK

REVISIONS

NO.	DATE	DESCRIPTION

DRAWN BY: Matt T. Prosser, P.E.
CHECKED BY: Kyle M. Hoyt, P.E.
DATE: April 05, 2024
PROJECT #: 23-099
SCALE: 1"=50'
SHEET TITLE:
Existing
Conditions

SHEET NUMBER:
C2.1



SWPPP SEQUENCE OF CONSTRUCTION PHASE 1

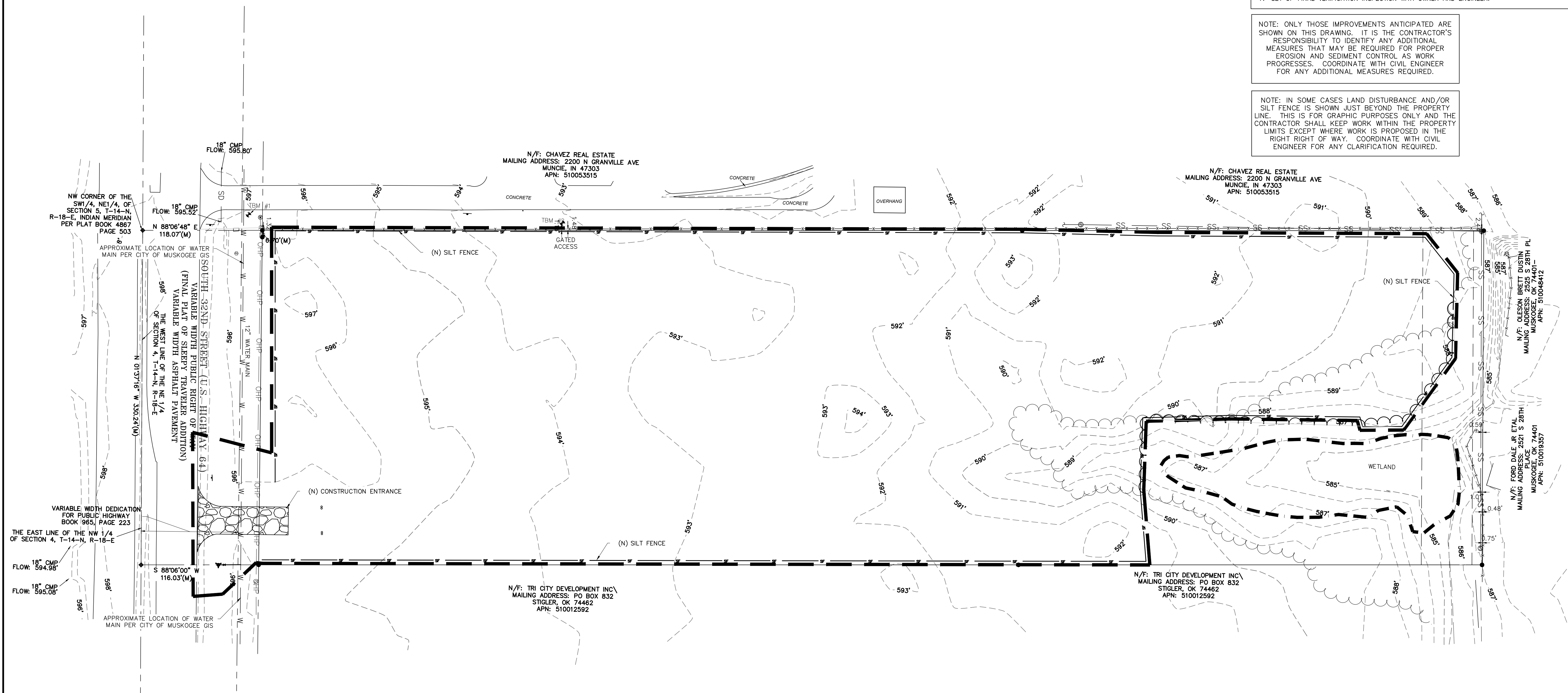
1. CONTACT CITY OF MUSKOGEE A MINIMUM OF 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. CONDUCT LIMITED CLEARING AND GRUBBING AS NECESSARY TO INSTALL PERIMETER CONTROLS AND CONSTRUCTION ENTRANCE.
3. INSTALLATION OF CONSTRUCTION ENTRANCE AND PERIMETER CONTROLS AS SHOWN.
4. CONTACT CITY OF MUSKOGEE FOR FIELD INSPECTION AND APPROVAL OF PERIMETER AND INITIAL PHASE BMP'S. **NO MASS GRADING OR CLEARING CAN COMMENCE UNTIL INITIAL CONTROLS ARE IN PLACE AND INSPECTOR HAS SIGNED OFF ON SAID CONTROLS**
5. MAINTAIN SWPPP BMP CONTROLS THROUGHOUT CONSTRUCTION.

STORMWATER CLOSEOUT NOTE

- CONTRACTOR SHALL COORDINATE WITH OWNER, ENGINEER AND COUNTY/CITY INSPECTOR AND FURNISH THE FOLLOWING ITEMS FOR REVIEW AS PART OF FINAL STORMWATER CLOSEOUT:
1. PROVIDE NOTICE FOR FINAL INSPECTION UPON INSTALLATION OF ALL IMPROVEMENTS.
 2. STORMWATER AS-BUILT (INCL. POND BMP'S, STORM DRAINAGE PIPES, DITCHES, FINISHED FLOOR ELEVATIONS, ETC.)
 3. CLEANING OF STORM DRAINAGE LINES. LINES SHOULD BE FREE AND CLEAR OF DIRT, DUST, DEBRIS, AND SEDIMENT PRIOR TO TURNOVER FOR MAINTENANCE.
 4. CLEANING OF STORM DRAINAGE POND BMP'S. THIS INCLUDES REMOVING ALL SEDIMENT ACCUMULATION WITHIN THE POND. ESTABLISH PERMANENT VEGETATION AND MAINTAIN POND UNTIL TERMINATION OF PERMIT AND CONTRACT.
 5. CCTV INSPECTION FOR ALL STORM DRAINAGE PIPES (PUBLIC AND PRIVATE).
 6. ADDRESS ALL PUNCH LIST ITEMS PROVIDED.
 7. SET UP FINAL VERIFICATION INSPECTION WITH OWNER AND ENGINEER.

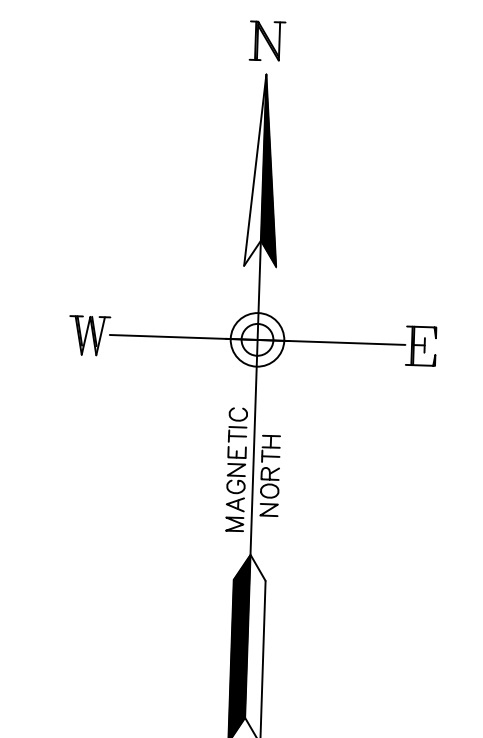
NOTE: ONLY THOSE IMPROVEMENTS ANTICIPATED ARE SHOWN ON THIS DRAWING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY ANY ADDITIONAL MEASURES THAT MAY BE REQUIRED FOR PROPER EROSION AND SEDIMENT CONTROL AS WORK PROGRESSES. COORDINATE WITH CIVIL ENGINEER FOR ANY ADDITIONAL MEASURES REQUIRED.

NOTE: IN SOME CASES LAND DISTURBANCE AND/OR SILT FENCE IS SHOWN JUST BEYOND THE PROPERTY LINE. THIS IS FOR GRAPHIC PURPOSES ONLY AND THE CONTRACTOR SHALL KEEP WORK WITHIN THE PROPERTY LIMITS EXCEPT WHERE WORK IS PROPOSED IN THE RIGHT RIGHT OF WAY. COORDINATE WITH CIVIL ENGINEER FOR ANY CLARIFICATION REQUIRED.



SWPPP LEGEND

- | | | | |
|-------------------|--|--------------------------------|--|
| SILT FENCE | | CONCRETE WASHOUT | |
| DUST CONTROL | | STABILIZED CONSTRUCTION ACCESS | |
| TEMPORARY SEEDING | | LIMITS OF DISTURBANCE | |
| PERMANENT SEEDING | | ROCK SILT FENCE OUTLET | |
| SEDIMENT TUBE | | | |



HOYT + BERENYI
P.O. Box 1470 Ladson, SC 29456
843.408.3546 | www.HoytBerenyi.com



DRAWINGS FOR
Old Dominion Freight Line
Muskogee, OK

REV.	DATE	DESCRIPTION

DRAWN BY: Matt T. Prosser, P.E.
CHECKED BY: Kyle M. Hoyt, P.E.
DATE: April 05, 2024
PROJECT #: 23-099
SCALE: 1"=50'
SHEET TITLE:
SWPPP and Demolition Phase 1

SHEET NUMBER:
C3.1



SWPPP SEQUENCE OF CONSTRUCTION PHASE 2

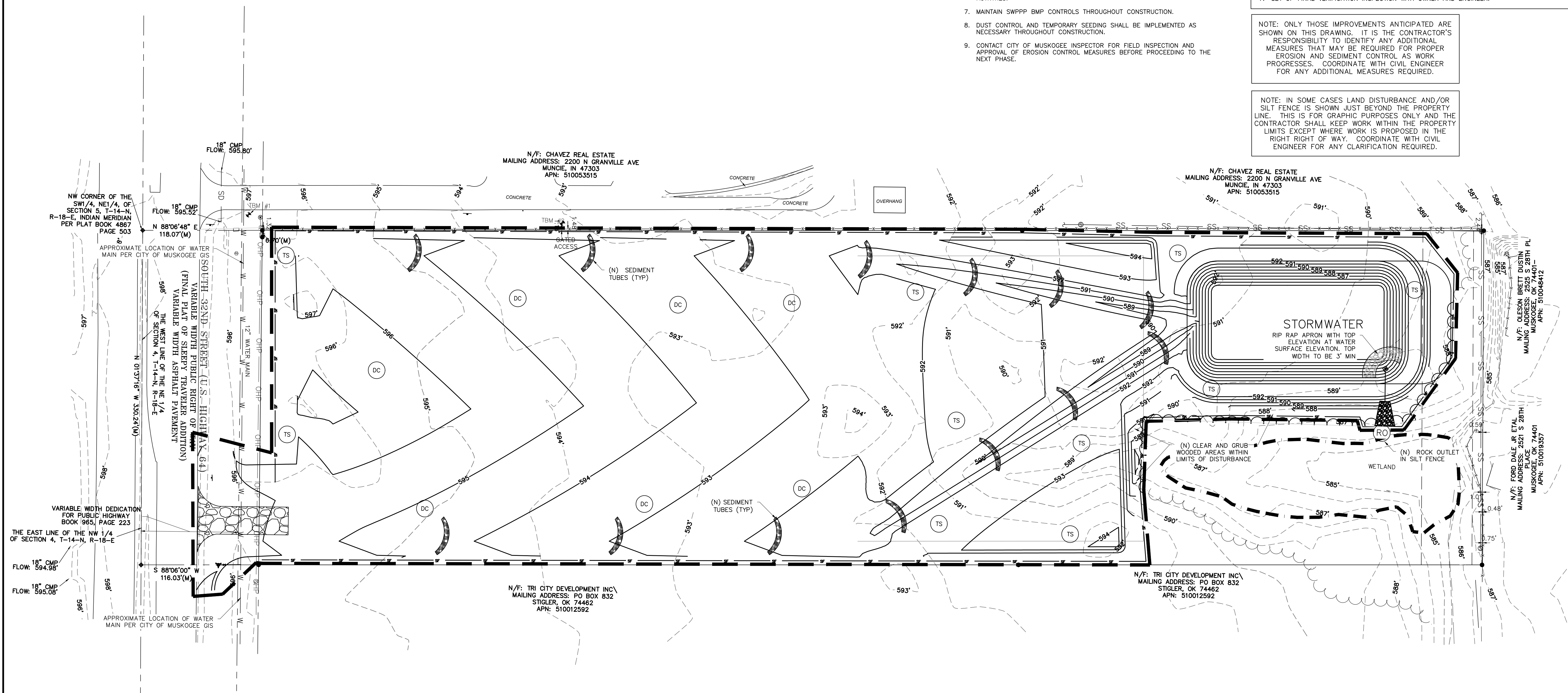
1. CLEAR AND GRUB AREAS NECESSARY TO INSTALL SEDIMENT BASINS AND DIVERSION DITCHES AS SHOWN.
2. INSTALL SEDIMENT BASINS WITH SKIMMER, TRAPS, AND DIVERSION BERMS/DITCHES. ALL SEDIMENT BASINS AND DIVERSIONS DITCHES/SWALES SHALL BE TEMPORARILY STABILIZED UPON INSTALLATION.
3. CONDUCT DEMOLITION AND MASS CLEARING AND GRADING ACTIVITIES.
4. AS MASS CLEARING AND GRADING BEING, THE CONSTRUCTION ENTRANCE MAY BE RELOCATED TO THE NEW DRIVEWAY LOCATIONS. PERMANENT CULVERTS AND INLET PROTECTION SHALL BE INSTALLED UPON CONSTRUCTION ENTRANCE RELOCATIONS.
5. AS WORK PROGRESS INSTALL NEW STORM DRAINAGE AS REQUIRED TO MANAGE RUNOFF FROM THE SITE AND TO DIRECT DISTURBED AREA RUNOFF INTO POND.
6. UTILITY INSTALLATIONS SHALL COMMENCE IN PARALLEL DURING GRADING ACTIVITIES.
7. MAINTAIN SWPPP BMP CONTROLS THROUGHOUT CONSTRUCTION.
8. DUST CONTROL AND TEMPORARY SEEDING SHALL BE IMPLEMENTED AS NECESSARY THROUGHOUT CONSTRUCTION.
9. CONTACT CITY OF MUSKOGEE INSPECTOR FOR FIELD INSPECTION AND APPROVAL OF EROSION CONTROL MEASURES BEFORE PROCEEDING TO THE NEXT PHASE.

STORMWATER CLOSEOUT NOTE

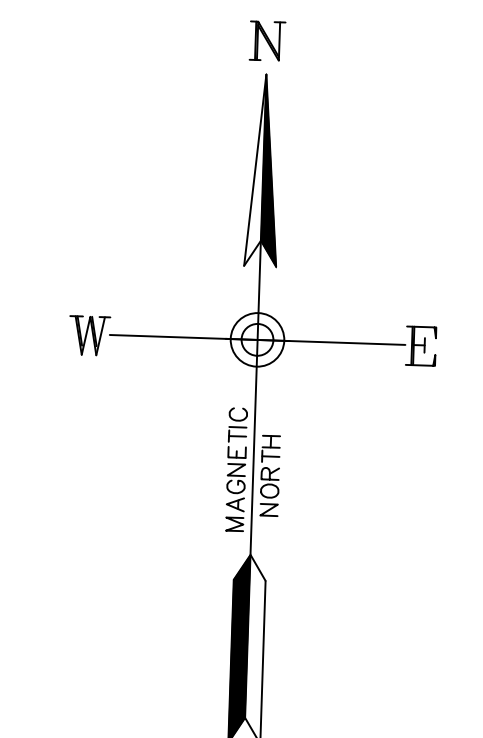
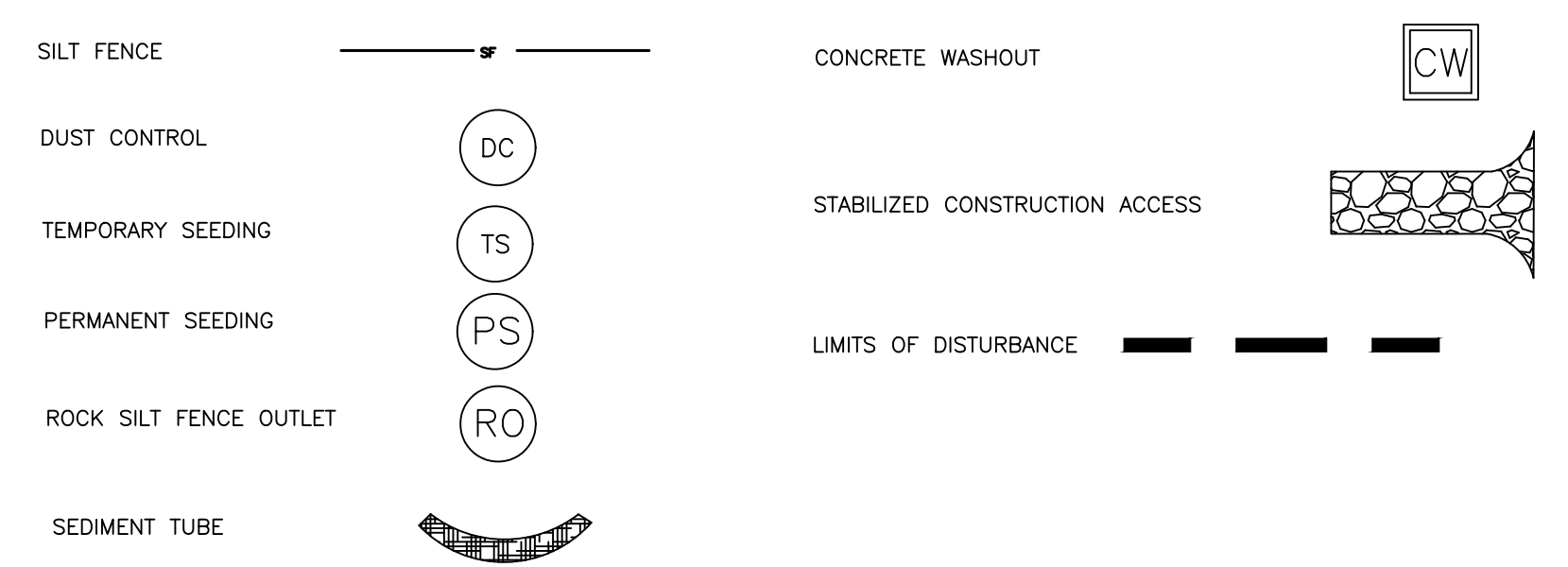
- CONTRACTOR SHALL COORDINATE WITH OWNER, ENGINEER AND COUNTY/CITY INSPECTOR AND FURNISH THE FOLLOWING ITEMS FOR REVIEW AS PART OF FINAL STORMWATER CLOSEOUT:
1. PROVIDE NOTICE FOR FINAL INSPECTION UPON INSTALLATION OF ALL IMPROVEMENTS.
 2. STORMWATER AS-BUILT (INCL. POND BMPs, STORM DRAINAGE PIPES, DITCHES, FINISHED FLOOR ELEVATIONS, ETC.).
 3. CLEANING OF STORM DRAINAGE LINES. LINES SHOULD BE FREE AND CLEAR OF DIRT, DUST, DEBRIS, AND SEDIMENT PRIOR TO TURNOVER FOR MAINTENANCE.
 4. CLEANING OF STORM DRAINAGE POND BMPs. THIS INCLUDES REMOVING ALL SEDIMENT ACCUMULATION WITHIN THE POND. ESTABLISH PERMANENT VEGETATION AND MAINTAIN POND UNTIL TERMINATION OF PERMIT AND CONTRACT.
 5. CCTV INSPECTION FOR ALL STORM DRAINAGE PIPES (PUBLIC AND PRIVATE).
 6. ADDRESS ALL PUNCH LIST ITEMS PROVIDED.
 7. SET UP FINAL VERIFICATION INSPECTION WITH OWNER AND ENGINEER.

NOTE: ONLY THOSE IMPROVEMENTS ANTICIPATED ARE SHOWN ON THIS DRAWING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY ANY ADDITIONAL MEASURES THAT MAY BE REQUIRED FOR PROPER EROSION AND SEDIMENT CONTROL AS WORK PROGRESSES. COORDINATE WITH CIVIL ENGINEER FOR ANY ADDITIONAL MEASURES REQUIRED.

NOTE: IN SOME CASES LAND DISTURBANCE AND/OR SILT FENCE IS SHOWN JUST BEYOND THE PROPERTY LINE. THIS IS FOR GRAPHIC PURPOSES ONLY AND THE CONTRACTOR SHALL KEEP WORK WITHIN THE PROPERTY LIMITS EXCEPT WHERE WORK IS PROPOSED IN THE RIGHT RIGHT OF WAY. COORDINATE WITH CIVIL ENGINEER FOR ANY CLARIFICATION REQUIRED.



SWPPP LEGEND



P.O. Box 1470 Ladson, SC 29456
843.408.3546 | www.HoytBereny.com



Old Dominion Freight Line
Muskogee, OK

REV	DATE	DESCRIPTION

DRAWN BY: Matt T. Prosser, P.E.
CHECKED BY: Kyle M. Hoyt, P.E.
DATE: April 05, 2024
PROJECT #: 23-099
SCALE: 1"=50'
SHEET TITLE:
SWPPP and Demolition Phase 2
SHEET NUMBER:

C3.2



SWPPP SEQUENCE OF CONSTRUCTION PHASE 3

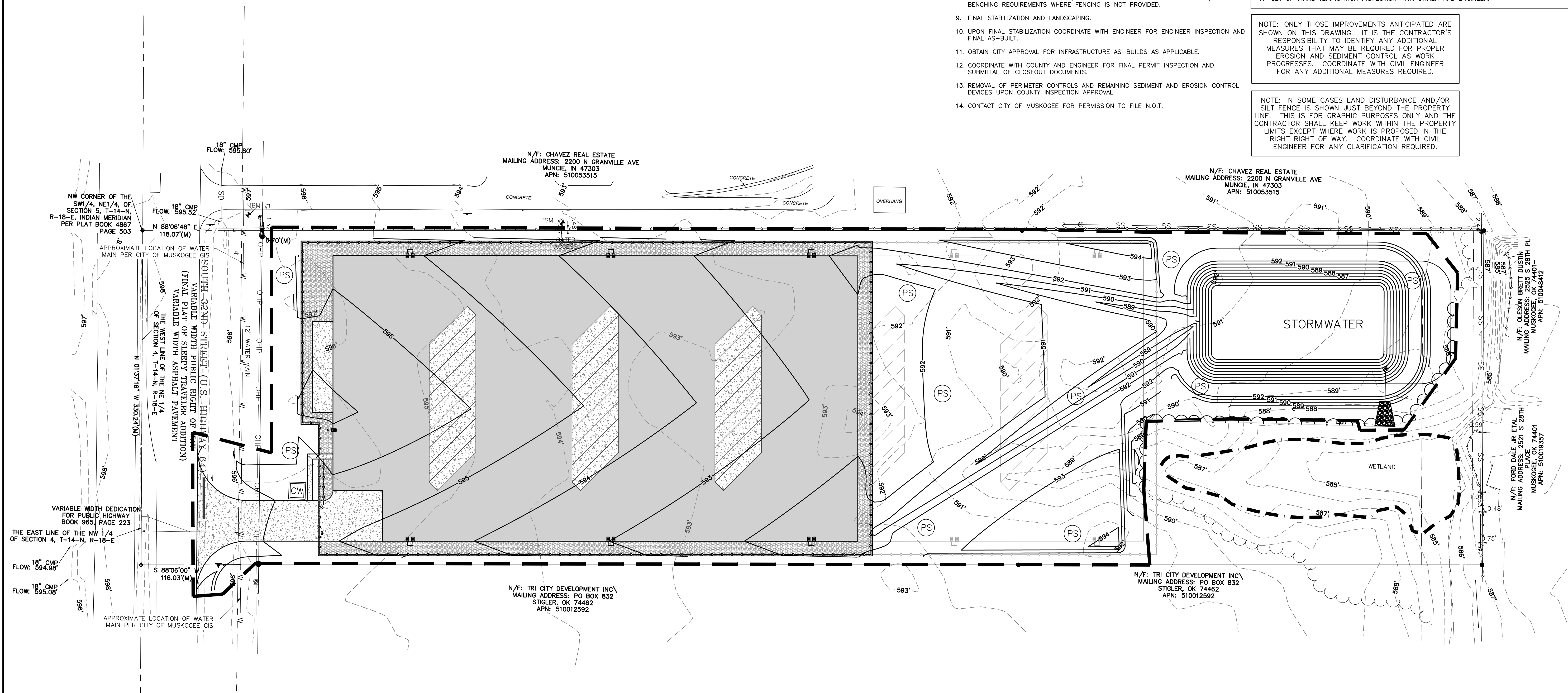
1. PREPARE SITE FOR PAVING.
2. INSTALL CONCRETE WASHOUT PRIOR TO ANY CONCRETE WORK.
3. INSTALL PAVING, SIDEWALKS, AND BUILDING FOUNDATION.
4. INSTALL APPROPRIATE INLET PROTECTION FOR PAVED AREAS AS WORK PROGRESSES.
5. COMPLETE GRADING, PAVING AND DRAINAGE.
6. PERFORM PRELIMINARY AS-BUILT AND COORDINATE WITH ENGINEER FOR ANY DISCREPANCIES.
7. FINAL STABILIZATION INCLUDING LANDSCAPING. CONTRACTOR SHALL COORDINATE WITH ENGINEER AND INSPECTOR FOR REMOVAL OF EROSION AND SEDIMENT CONTROLS.
8. CONVERT SEDIMENT BASIN BMPs INTO PERMANENT STORMWATER POND BMPs. SEE STORMWATER CLOSEOUT NOTE FOR SPECIFIC REQUIREMENTS. FINAL POND CONVERSION MUST INCLUDE INSTALLATION OF POND FENCING IN ACCORDANCE WITH COUNTY ZONING AND STORMWATER REQUIREMENTS, OR VERIFICATION OF MINIMUM SLOPE AND/OR BENCHING REQUIREMENTS WHERE FENCING IS NOT PROVIDED.
9. FINAL STABILIZATION AND LANDSCAPING.
10. UPON FINAL STABILIZATION COORDINATE WITH ENGINEER FOR ENGINEER INSPECTION AND FINAL AS-BUILT.
11. OBTAIN CITY APPROVAL FOR INFRASTRUCTURE AS-BUILDS AS APPLICABLE.
12. COORDINATE WITH COUNTY AND ENGINEER FOR FINAL PERMIT INSPECTION AND SUBMITTAL OF CLOSEOUT DOCUMENTS.
13. REMOVAL OF PERIMETER CONTROLS AND REMAINING SEDIMENT AND EROSION CONTROL DEVICES UPON COUNTY INSPECTION APPROVAL.
14. CONTACT CITY OF MUSKOGEE FOR PERMISSION TO FILE N.O.T.

STORMWATER CLOSEOUT NOTE

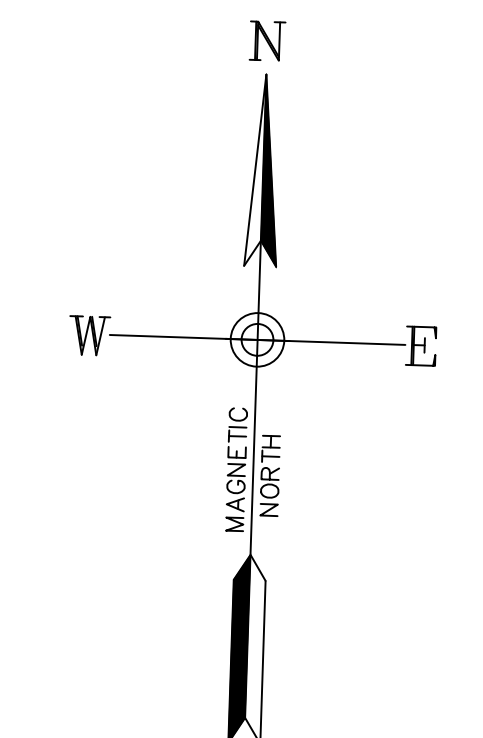
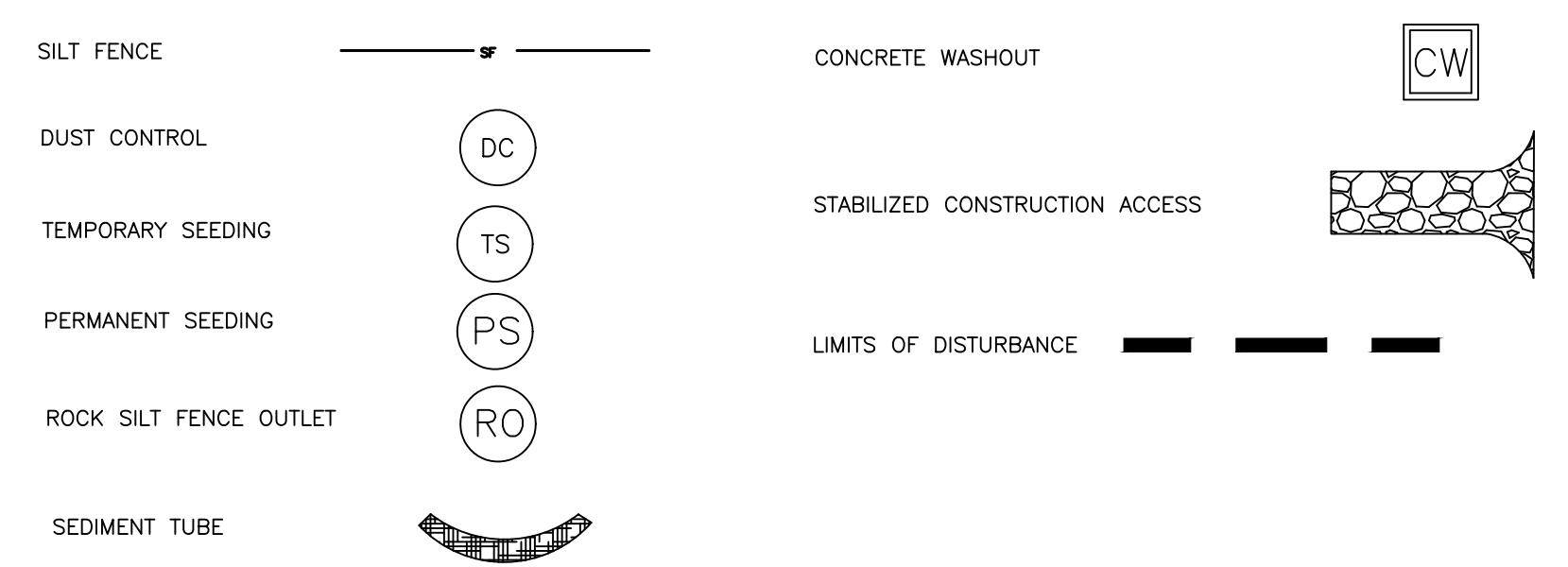
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 5. CCTV INSPECTION FOR ALL STORM DRAINAGE PIPES (PUBLIC AND PRIVATE).
 6. ADDRESS ALL PUNCH LIST ITEMS PROVIDED.
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SWPPP LEGEND



DRAWINGS FOR
Old Dominion Freight Line
 Muskogee, OK

REV	DATE	DESCRIPTION

DRAWN BY: Matt T. Prosser, P.E.
 CHECKED BY: Kyle M. Hoyt, P.E.
 DATE: April 05, 2024
 PROJECT #: 23-099
 SCALE: 1"=50'
 SHEET TITLE:
SWPPP and Demolition Phase 3
 SHEET NUMBER:

C3.3



DRAWINGS FOR

NO.	REV.	DATE	DESCRIPTION

DRAWN BY: Matt T. Prosser, P.E.
CHECKED BY: Kyle M. Hoyt, P.E.
DATE: April 05, 2024
PROJECT #: 23-099
SCALE: AS NOTED
SHEET TITLE: SWPPP Details
SHEET NUMBER:

SEDIMENT TUBE INSTALLATION

SEDIMENT TUBE SPACING

SLOPE	MAX. SEDIMENT TUBE SPACING
LESS THAN 2%	150- FEET
2%	100- FEET
3%	75- FEET
4%	50- FEET
5%	40- FEET
6%	30- FEET
GREATER THAN 6%	25- FEET

SEDIMENT TUBES
STANDARD DRAWING NO. SC-05 PAGE 1 of 2
NOT TO SCALE
FEBRUARY 2014 DATE

SEDIMENT TUBES - GENERAL NOTES

- Sediment tubes may be installed along contours, in drainage conveyance channels, and around inlets to help prevent off-site discharge of sediment-laden stormwater runoff.
- Sediment tubes are elongated tubes of compacted geotextiles, curled excelsior wood, natural coconut fiber, or hardwood mulch. Straw, pine needle, and leaf mulch-filled sediment tubes are not permitted.
- The outer netting of the sediment tube should consist of seamless, high-density polyethylene photodegradable materials treated with ultraviolet stabilizers or a seamless, high-density polyethylene non-degradable material.
- Sediment tubes, when used as checks within channels, should range between 18-inches and 24-inches depending on channel dimensions. Diameters outside this range may be allowed where necessary when approved.
- Curled excelsior wood, or natural coconut products that are rolled up to create a sediment tube are not allowed.
- Sediment tubes should be staked using wooden stakes (2-inch X 2-inch) or steel posts (standard "U" or "T" sections with a minimum weight of 1.25 pounds per foot) at a minimum of 48-inches in length placed on 2-foot centers.
- Install all sediment tubes to ensure that no gaps exist between the soil and the bottom of the tube. Manufacturer's recommendations should always be consulted before installation.
- The ends of adjacent sediment tubes should be overlapped 6-inches to prevent flow and sediment from passing through the field joint.
- Sediment tubes should not be stacked on top of one another, unless recommended by manufacturer.
- Each sediment tube should be installed in a trench with a depth equal to 1/3 the diameter of the sediment tube.
- Sediment tubes should continue up the side slopes a minimum of 1-foot above the design flow depth of the channel.
- Install stakes at a diagonal facing incoming runoff.

SEDIMENT TUBES - INSPECTION & MAINTENANCE

- The key to functional sediment tubes is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of sediment tubes shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
- Attention to sediment accumulations in front of the sediment tube is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
- Remove accumulated sediment when it reaches 1/3 the height of the sediment tube.
- Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
- Large debris, trash, and leaves should be removed from in front of tubes when found.
- If erosion causes the edges to fall to a height equal to or below the height of the sediment tube, repairs should be made immediately to prevent runoff from bypassing tube.
- Sediment tubes should be removed after the contributing drainage area has been completely stabilized. Permanent vegetation should replace areas from which sediment tubes have been removed.

SEDIMENT TUBES
STANDARD DRAWING NO. SC-05 PAGE 2 of 2
GENERAL NOTES
FEBRUARY 2014 DATE

SILT FENCE INSTALLATION

FLAT-BOTTOM TRENCH DETAIL

V-SHAPED TRENCH DETAIL

SILT FENCE - GENERAL NOTES

- Do not place silt fence across channels or in other areas subject to concentrated flows. Silt fence should not be used as a velocity control BMP. Concentrated flows are any flows greater than 0.5 cfs.
- Maximum sheet or overland flow path length to the silt fence shall be 100-feet.
- Maximum slope steepness (normal [perpendicular] to the fence line) shall be 2:1.
- Silt fence joints, when necessary, shall be completed by one of the following options:
 - Wrap each fabric together at a support post with both ends fastened to the post, with a 1-foot minimum overlap.
 - Overlap silt fence by installing 3-feet passed the support post to which the new silt fence roll is attached. Attach old roll to new roll with heavy-duty plastic ties or;
 - Overlap entire width of each silt fence roll from one support post to the next support post.
- Attach filter fabric to the steel posts using heavy-duty plastic ties that are evenly spaced within the top 8-inches of the fabric.
- Install the silt fence perpendicular to the direction of the stormwater flow and place the silt fence the proper distance from the toe of steep slopes to provide sediment storage and access for maintenance and cleanout.
- Install Silt Fence Checks (Tie-Backs) every 50-100 feet, dependent on slope, along silt fence that is installed with slope and where concentrated flows are expected or are documented along the proposed/installed silt fence.

SILT FENCE
STANDARD DRAWING NO. SC-03 PAGE 1 of 2
NOT TO SCALE
FEBRUARY 2014 DATE

SILT FENCE - POST REQUIREMENTS

- Silt fence posts must be 48-inch long steel posts that meet, at a minimum, the following physical characteristics:
 - Composed of a high strength steel with a minimum yield strength of 50,000 psi.
 - Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 1.48-inches.
 - Weigh 1.25 pounds per foot (± 8%).
- Posts shall be equipped with projections to aid in fastening of filter fabric.
- Steel posts may need to have a metal soil stabilization plate welded near the bottom when installed along steep slopes or installed in loose soils. The plate should have a minimum cross section of 17-square inches and be composed of 15 gauge steel, at a minimum. The metal soil stabilization plate should be completely buried.
- Install posts to a minimum of 24-inches. A minimum height of 1- to 2-inches above the fabric shall be maintained, and a maximum height of 3 feet shall be maintained above the ground.
- Post spacing shall be at a maximum of 6-feet on center.

SILT FENCE - FABRIC REQUIREMENTS

- Silt fence must be composed of woven geotextile filter fabric that consists of the following requirements:
 - Composed of fibers consisting of long chain synthetic polymers of at least 85% by weight of polyolefins, polyesters, or polyamides that are formed into a network such that the filaments or yarns retain dimensional stability relative to each other.
 - Free of any treatment or coating which might adversely alter its physical properties after installation.
 - Free of any defects or flaws that significantly affect its physical and/or filtering properties; and,
 - Have a minimum width of 36-inches.
- Use only fabric appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #34, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.
- 12-inches of the fabric should be placed within excavated trench and tied in when the trench is backfilled.
- Filter Fabric shall be purchased in continuous rolls and cut to the length of the barrier to avoid joints.
- Filter fabric shall be installed at a minimum of 24-inches above the ground.

SILT FENCE - INSPECTION & MAINTENANCE

- The key to functional silt fence is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of silt fence shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
- Attention to sediment accumulations along the silt fence is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
- Remove accumulated sediment when it reaches 1/3 the height of the silt fence.
- Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
- Check for areas where stormwater runoff has eroded a channel beneath the silt fence, or where the fence has sagged or collapsed due to runoff overlapping the silt fence. Install checks/tie-backs and/or reinstall silt fence, as necessary.
- Check for tears within the silt fence, areas where silt fence has begun to decompose, and for any other circumstance that may render the silt fence ineffective. Removed damaged silt fence and reinstall new silt fence immediately.
- Silt fence should be removed within 30 days after final stabilization is achieved and once it is removed, the resulting disturbed area shall be permanently stabilized.

SILT FENCE
STANDARD DRAWING NO. SC-03 PAGE 2 of 2
GENERAL NOTES
FEBRUARY 2014 DATE

EXCAVATED PIT CONCRETE WASHOUT

CONCRETE WASHOUT EXCAVATED PIT

STANDARD DRAWING NO. RC-08 PAGE 1 of 1
NOT TO SCALE
FEBRUARY 2014 DATE

LETTERS A MINIMUM OF 5" IN HEIGHT

CONCRETE WASHOUT SIGN DETAIL

CONCRETE WASHOUT EXCAVATED PIT

STANDARD DRAWING NO. RC-08 PAGE 1 of 1
NOT TO SCALE
FEBRUARY 2014 DATE

CONSTRUCTION ENTRANCE

SPECIFICATION	SIZE
ROCK PAD THICKNESS	6 INCHES
ROCK PAD WIDTH	24 FEET
ROCK PAD LENGTH	100 FEET
ROCK PAD STONE SIZE	D = 2-3 INCHES

CONSTRUCTION ENTRANCE
STANDARD DRAWING NO. SC-06 PAGE 1 of 2
NOT TO SCALE
FEBRUARY 2014 DATE

CONSTRUCTION ENTRANCE - GENERAL NOTES

- Stabilized construction entrances should be used at all points where traffic will egress/ingress a construction site onto a public road or any impervious surfaces, such as parking lots.
- Install a non-woven geotextile fabric prior to placing any stone.
- Install a culvert pipe across the entrance when needed to provide positive drainage.
- The entrance shall consist of 2-inch to 3-inch D50 stone placed at a minimum depth of 6-inches.
- Minimum dimensions of the entrance shall be 24-feet wide by 100-feet long, and may be modified as necessary to accommodate site constraints.
- The edges of the entrance shall be tapered out towards the road to prevent tracking at the edge of the entrance.
- Divert all surface runoff and drainage from the stone pad to a sediment trap or basin or other sediment trapping structure.
- Limestone may not be used for the stone pad.

CONSTR. ENTRANCE - INSPECTION & MAINTENANCE

- The key to functional construction entrances is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of construction entrances shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
- During regular inspections, check for mud and sediment buildup and pad integrity. Inspection frequencies may need to be more frequent during long periods of wet weather.
- Reshape the stone pad as necessary for drainage and runoff control.
- Wash or replace stones as needed and as directed by site inspector. The stone in the entrance should be washed or replaced whenever the entrance fails to reduce the amount of mud being carried off-site by vehicles. Frequent washing will extend the useful life of stone pad.
- Immediately remove mud and sediment tracked or washed onto adjacent impervious surfaces by brushing or sweeping. Flushing should only be used when the water can be discharged to a sediment trap or basin.
- During maintenance activities, any broken pavement should be repaired immediately.
- Construction entrances should be removed after the site has reached final stabilization. Permanent vegetation should replace areas from which construction entrances have been removed, unless area will be converted to an impervious surface to serve post-construction.

CONSTRUCTION ENTRANCE
STANDARD DRAWING NO. SC-06 PAGE 2 of 2
GENERAL NOTES
FEBRUARY 2014 DATE

SILT FENCE ROCK OUTLET

SILT FENCE ROCK OUTLET

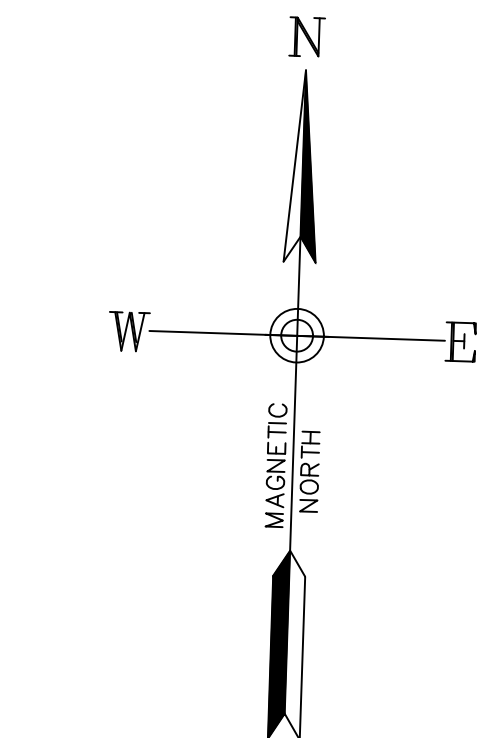
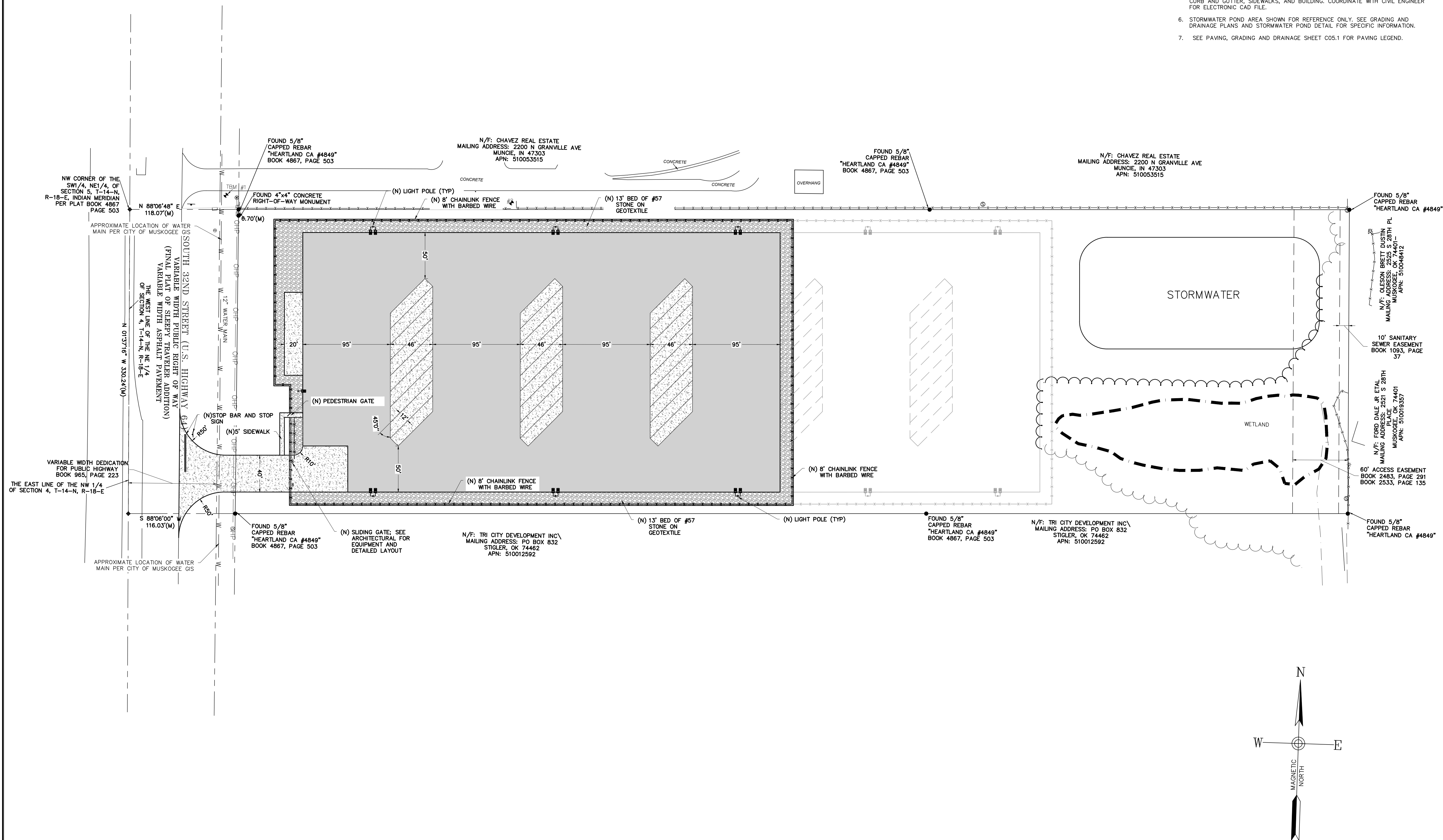
STANDARD DRAWING NO. SC-14 PAGE 1 of 1
NOT TO SCALE
FEBRUARY 2014 DATE

SILT FENCE ROCK OUTLET

STANDARD DRAWING NO. SC-14 PAGE 1 of 1
NOT TO SCALE
FEBRUARY 2014 DATE

GENERAL NOTES

1. REFERENCE ARCHITECT'S PLANS FOR TRUE BUILDING DIMENSIONS, GATE ENTRANCE REQUIREMENTS, DOORS, TRUCK DOCKS, SIDEWALKS, DUMPSTER PADS, STEPS, TRANSFORMER PADS, CANOPIES, ETC. CONTACT CIVIL ENGINEER WITH ANY DISCREPANCIES SHOWN ON THESE PLANS.
2. ALL DIMENSIONS SHOWN ARE TO OUTSIDE FACE OF BUILDING, FACE OF CURB, OR EDGE OF TRAVELWAY.
3. CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS AND SPECIFICATIONS TO VERIFY ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SEWER LATERALS, DOMESTIC AND FIRE PROTECTION, WATER SERVICE, ELECTRICAL, GAS AND PHONE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS AND CLEARANCES AS SHOWN IN THE CIVIL PLANS CAN BE ACHIEVED.
4. CONTRACTOR SHALL VERIFY FINAL LOCATION OF POWER, GAS, COMMUNICATION, AND LIGHTING WITH UTILITY PROVIDER AND COORDINATE WITH CIVIL ENGINEER IF MODIFICATIONS ARE REQUIRED.
5. CONTRACTOR SHALL HAVE STAKEOUT PERFORMED BY LICENSED SURVEYOR FOR CURB AND GUTTER, SIDEWALKS, AND BUILDING. COORDINATE WITH CIVIL ENGINEER FOR ELECTRONIC CAD FILE.
6. STORMWATER POND AREA SHOWN FOR REFERENCE ONLY. SEE GRADING AND DRAINAGE PLANS AND STORMWATER POND DETAIL FOR SPECIFIC INFORMATION.
7. SEE PAVING, GRADING AND DRAINAGE SHEET C05.1 FOR PAVING LEGEND.



Drawings for
Old Dominion Freight Line
 Muskogee, OK

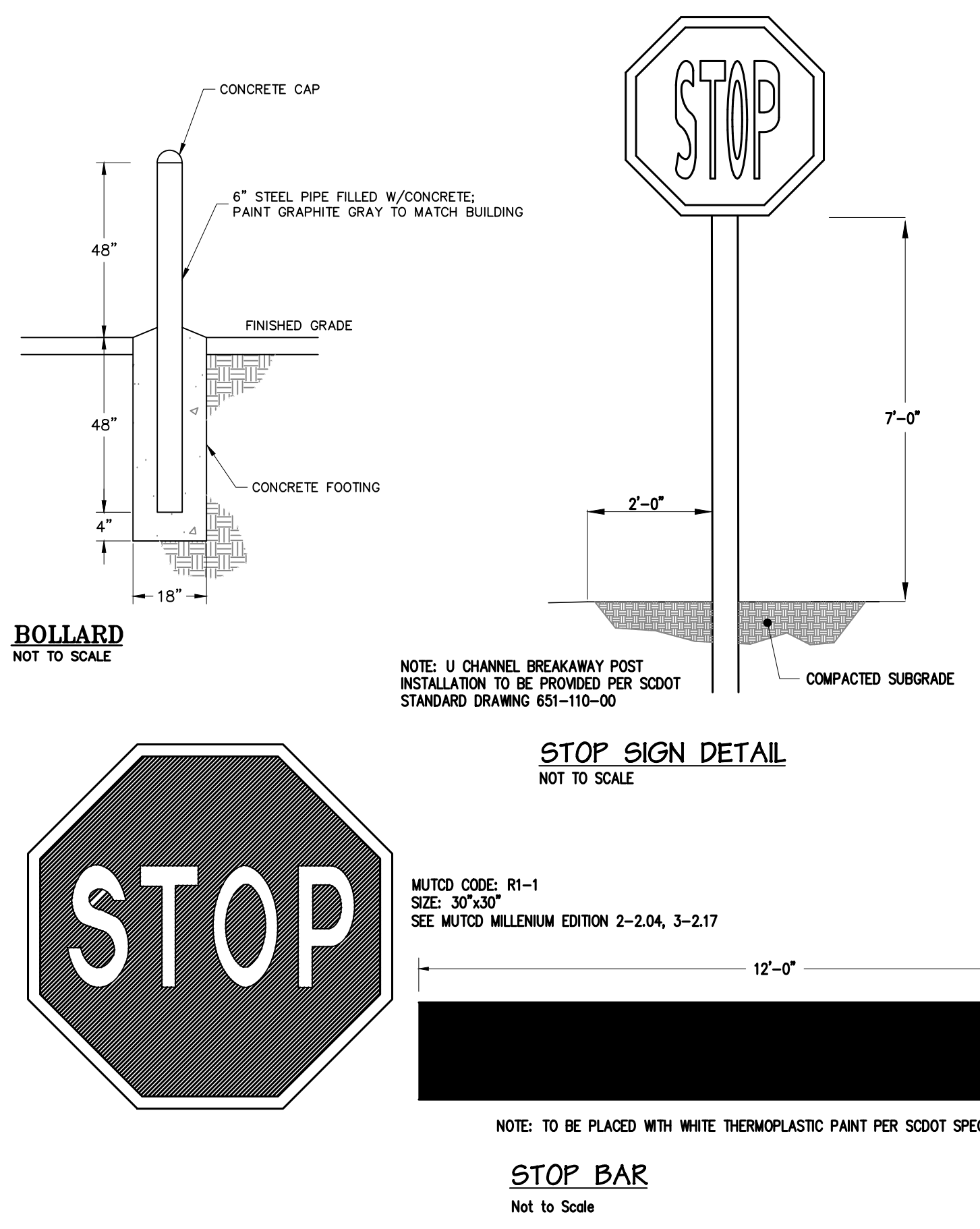
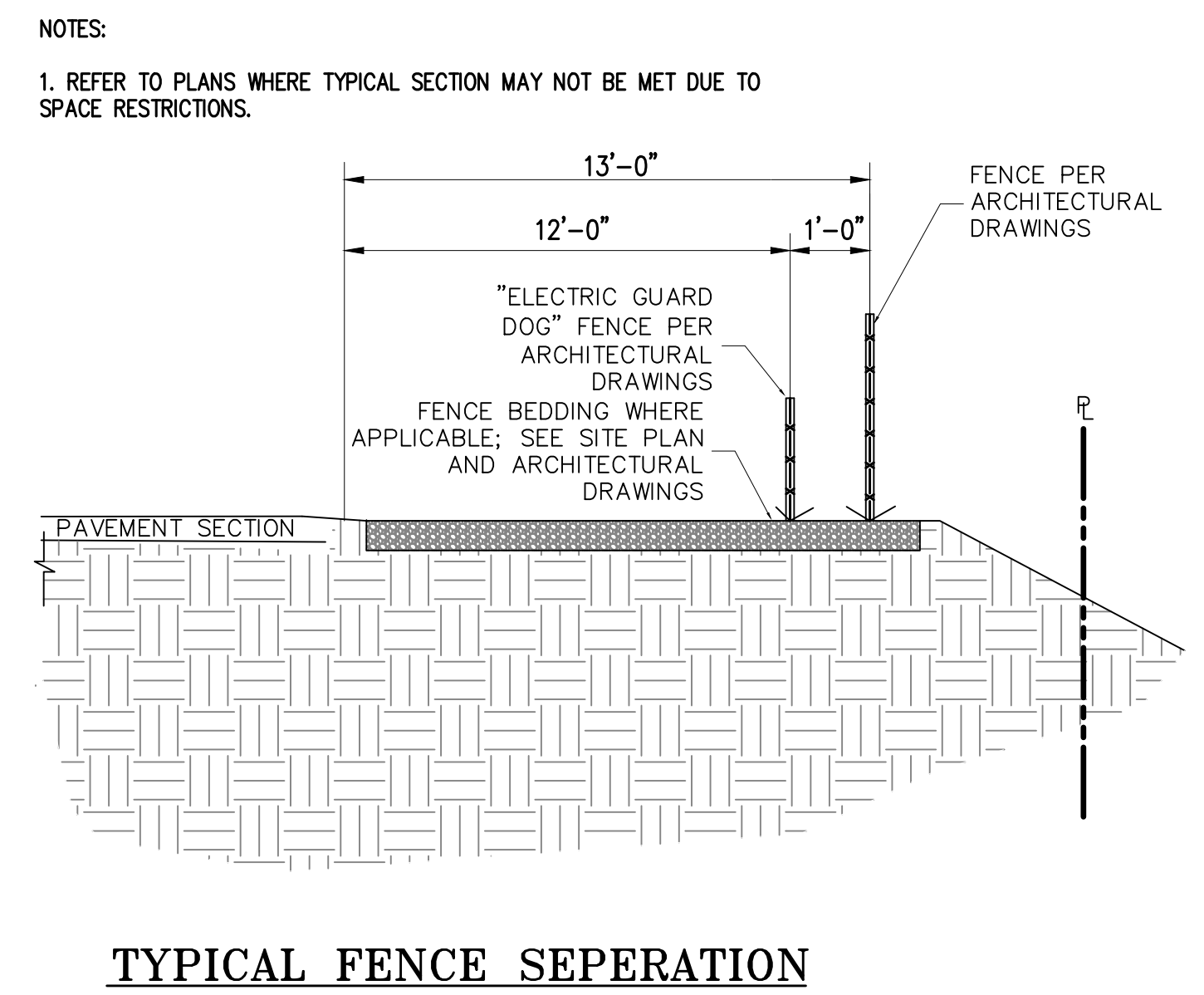
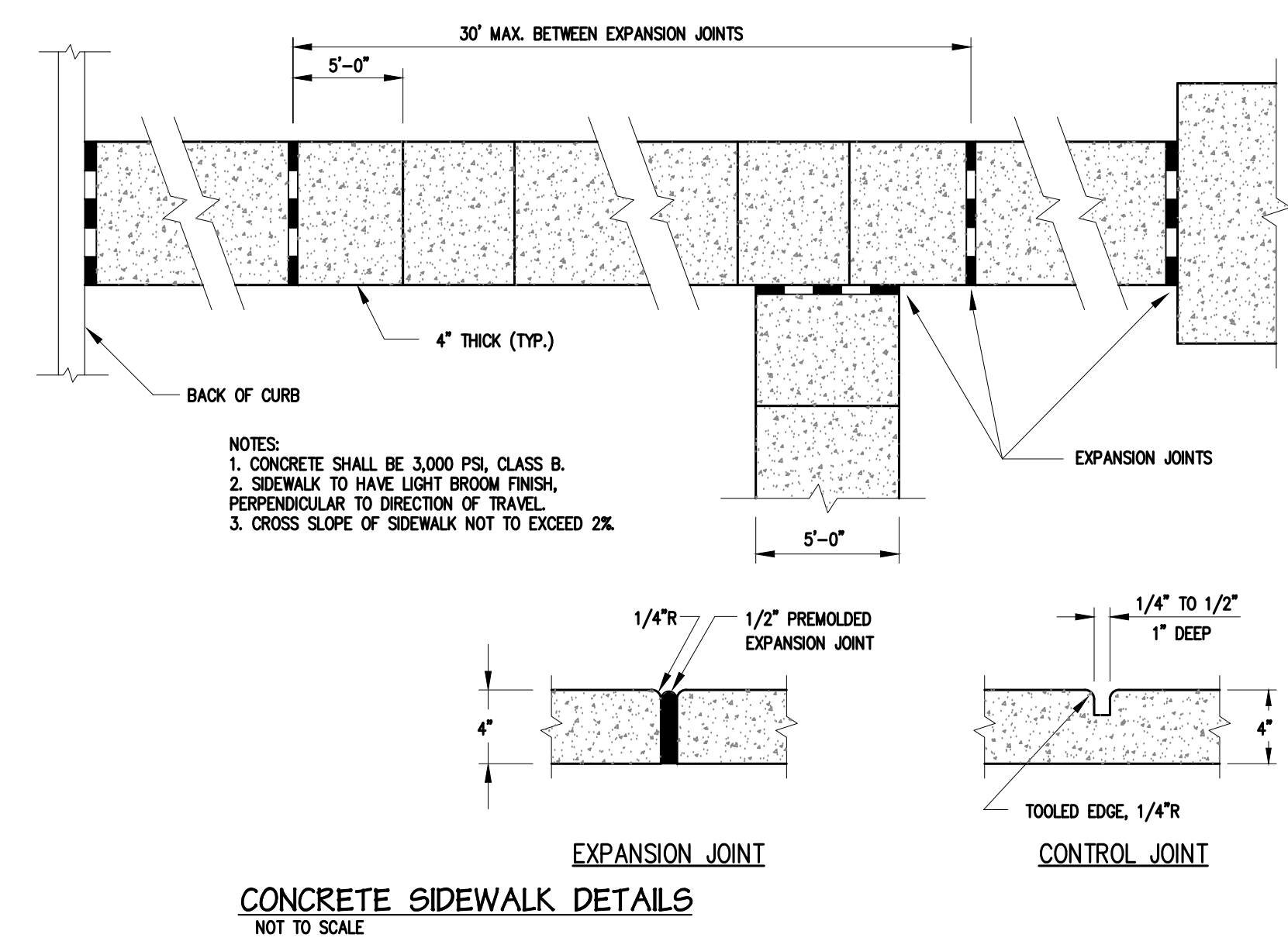
REV.	DATE	DESCRIPTION	BY

DRAWN BY: Matt T. Prosser, P.E.
 CHECKED BY: Kyle M. Hoyt, P.E.
 DATE: April 05, 2024
 PROJECT #: 23-099
 SCALE: 1"=50'
 SHEET TITLE:
Site Plan

SHEET NUMBER:
C4.1



Old Dominion Freight Line
Muskogee, OK



REV	DATE	DESCRIPTION	BY

DRAWN BY: Matt T. Prosser, P.E.
CHECKED BY: Kyle M. Hoyt, P.E.
DATE: April 05, 2024
PROJECT #: 23-099
SCALE: AS NOTED
SHEET TITLE: Site Details

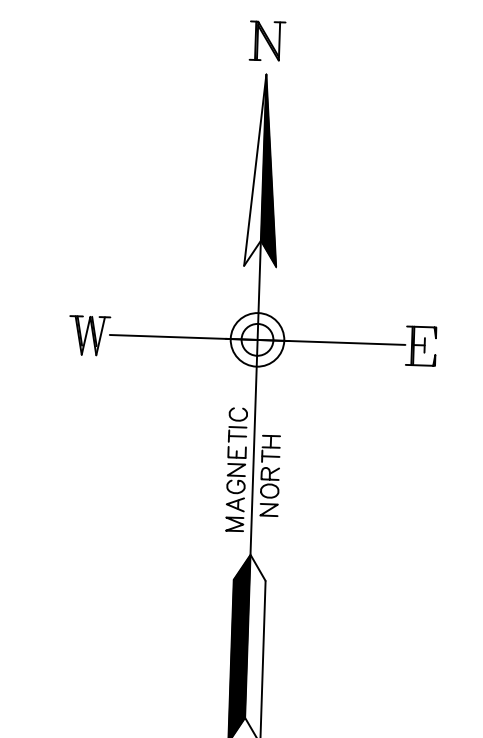
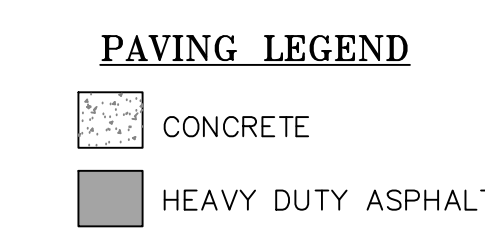
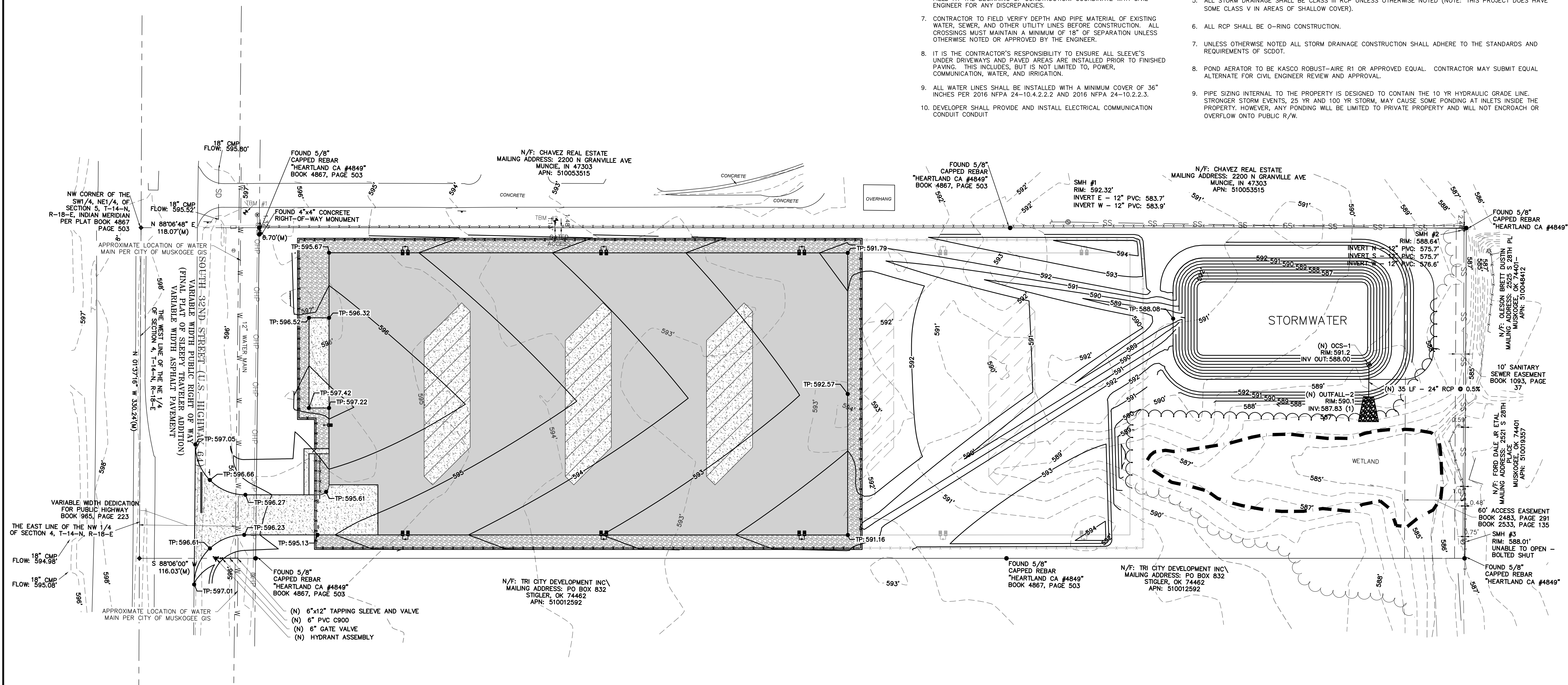
SHEET NUMBER: C4.2

WATER AND UTILITY GENERAL NOTES:

1. ALL NEW WATER LINES SHALL CONFORM TO CITY OF MUSKOGEE STANDARD SPECIFICATIONS.
2. POWER, GAS, AND COMMUNICATION ARE SHOWN FOR REFERENCE PURPOSES ONLY. ALL UTILITY REQUIREMENTS AND ROUTING SHALL BE CONFIRMED WITH MP&E AND THE UTILITY PROVIDER.
3. 18" MIN. VERTICAL SEPARATION SHALL BE PROVIDED AT ALL UTILITY CROSSINGS UNLESS OTHERWISE NOTED.
4. NOT ALL FITTINGS (I.E. BENDS, RESTRAINTS, ETC.) ARE SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY FITTINGS REQUIRED BASED ON THE ALIGNMENT SHOWN.
5. RESTRAINED JOINTS ARE NOT GRAPHICALLY REFLECTED IN THE DRAWING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT RESTRAINED JOINTS AS REQUIRED UNDER THE CITY OF MUSKOGEE SPECIFICATIONS.
6. ALL EXISTING UTILITIES SHOWN ARE BASED ON PUPS UTILITY LOCATE AND ABOVE GROUND OBSERVATIONS. ALL UTILITIES SHALL BE VERIFIED IN THE FIELD AT THE BEGINNING OF CONSTRUCTION. COORDINATE WITH CIVIL ENGINEER FOR ANY DISCREPANCIES.
7. CONTRACTOR TO FIELD VERIFY DEPTH AND PIPE MATERIAL OF EXISTING WATER, SEWER, AND OTHER UTILITY LINES BEFORE CONSTRUCTION. ALL CROSSINGS MUST MAINTAIN A MINIMUM OF 18" OF SEPARATION UNLESS OTHERWISE NOTED OR APPROVED BY THE ENGINEER.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL SLEEVE'S UNDER DRIVEWAYS AND PAVED AREAS ARE INSTALLED PRIOR TO FINISHED PAVING. THIS INCLUDES, BUT IS NOT LIMITED TO, POWER, COMMUNICATION, WATER, AND IRRIGATION.
9. ALL WATER LINES SHALL BE INSTALLED WITH A MINIMUM COVER OF 36" INCHES PER 2016 NFPA 24-10.4.2.2.2 AND 2016 NFPA 24-10.2.2.3.
10. DEVELOPER SHALL PROVIDE AND INSTALL ELECTRICAL COMMUNICATION CONDUIT CONDUIT

PAVING GRADING AND DRAINAGE NOTES:

1. GRADING IN THIS PLAN CAN BE LIMITED TO 0.1'. WHERE REQUIRED, CONTRACTOR SHALL ENSURE FINER IN-FIELD GRADE ADJUSTMENTS ARE IMPLEMENTED TO ENSURE POSITIVE DRAINAGE IS MAINTAINED. FLAT SLOPES SHALL NOT BE PERMITTED. COORDINATE WITH ENGINEER IF ANY AREAS IN THE PLAN REQUIRE FURTHER DETAIL FOR INSTALLATION.
2. PRIOR TO GRADING ACTIVITIES IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK INTO SURVEY CONTROL AND VERIFY TOPOGRAPHIC INFORMATION. COORDINATE WITH ENGINEER IF DISCREPANCIES ARE ENCOUNTERED WHICH MAY AFFECT ANTICIPATED EARTHWORK QUANTITIES.
3. CONTRACTOR SHALL PROVIDE ADD ALTERNATE PRICING FOR CONCRETE PAVEMENT WITHIN YARD IN LIEU OF HEAVY-DUTY ASPHALT. COORDINATE WITH CIVIL ENGINEER IF NEEDED.
4. THIS PROJECT WILL HAVE A GEOTECHNICAL REPORT. THE REPORT MAY NOT HAVE BEEN AVAILABLE DURING ORIGINAL DESIGN DRAWING CREATION. CONTRACTOR SHALL OBTAIN A COPY OF THIS REPORT ADHERE TO THE REQUIREMENTS OF THE REPORT. COORDINATE WITH CIVIL ENGINEER IF DISCREPANCIES BETWEEN THE REPORT AND DRAWINGS EXIST.
5. ALL STORM DRAINAGE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED (NOTE: THIS PROJECT DOES HAVE SOME CLASS V IN AREAS OF SHALLOW COVER).
6. ALL RCP SHALL BE O-RING CONSTRUCTION.
7. UNLESS OTHERWISE NOTED ALL STORM DRAINAGE CONSTRUCTION SHALL ADHERE TO THE STANDARDS AND REQUIREMENTS OF SCDOT.
8. POND AERATOR TO BE KASCO ROBUST-AIRE R1 OR APPROVED EQUAL. CONTRACTOR MAY SUBMIT EQUAL ALTERNATE FOR CIVIL ENGINEER REVIEW AND APPROVAL.
9. PIPE SIZING INTERNAL TO THE PROPERTY IS DESIGNED TO CONTAIN THE 10 YR HYDRAULIC GRADE LINE. STRONGER STORM EVENTS, 25 YR AND 100 YR STORM, MAY CAUSE SOME PONDING AT INLETS INSIDE THE PROPERTY. HOWEVER, ANY PONDING WILL BE LIMITED TO PRIVATE PROPERTY AND WILL NOT ENCROUGH OR OVERFLOW ONTO PUBLIC R/W.



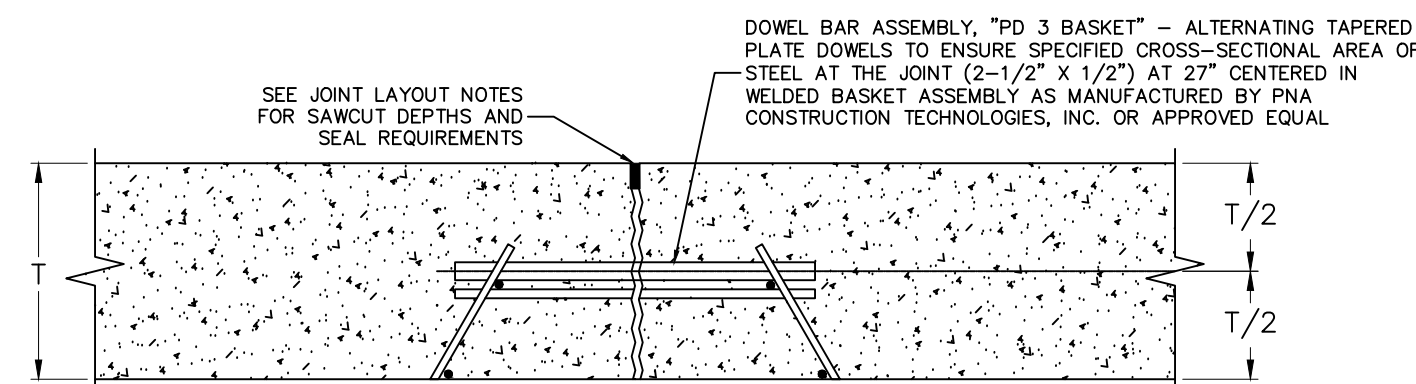
Drawings for
Old Dominion Freight Line
 Muskogee, OK

REV	DATE	DESCRIPTION

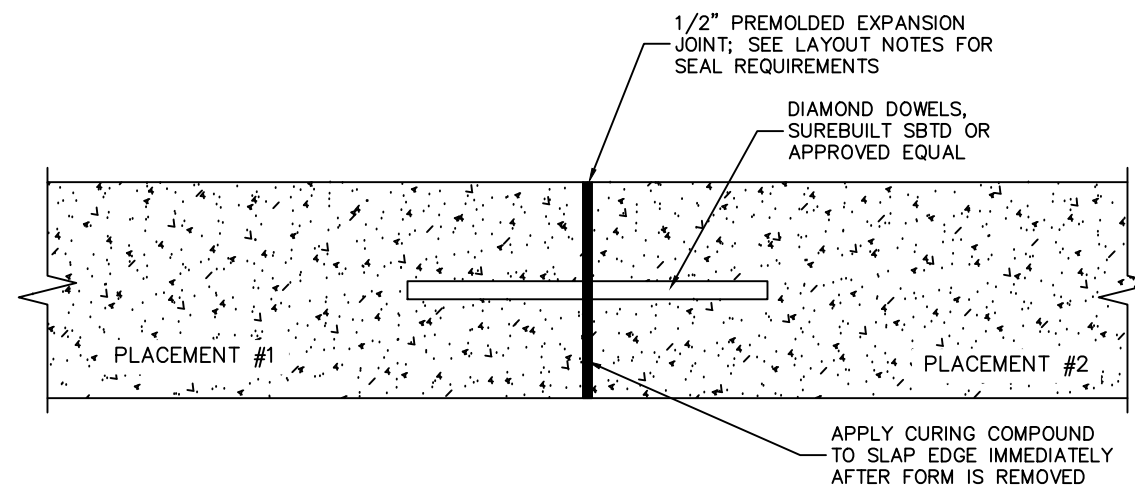
DRAWN BY: Matt T. Prosser, P.E.
 CHECKED BY: Kyle M. Hoyt, P.E.
 DATE: April 05, 2024
 PROJECT #: 23-099
 SCALE: 1"=50'
 SHEET TITLE:
**Paving, Grading,
 Drainage, and
 Utilities**

SHEET NUMBER:
C5.1

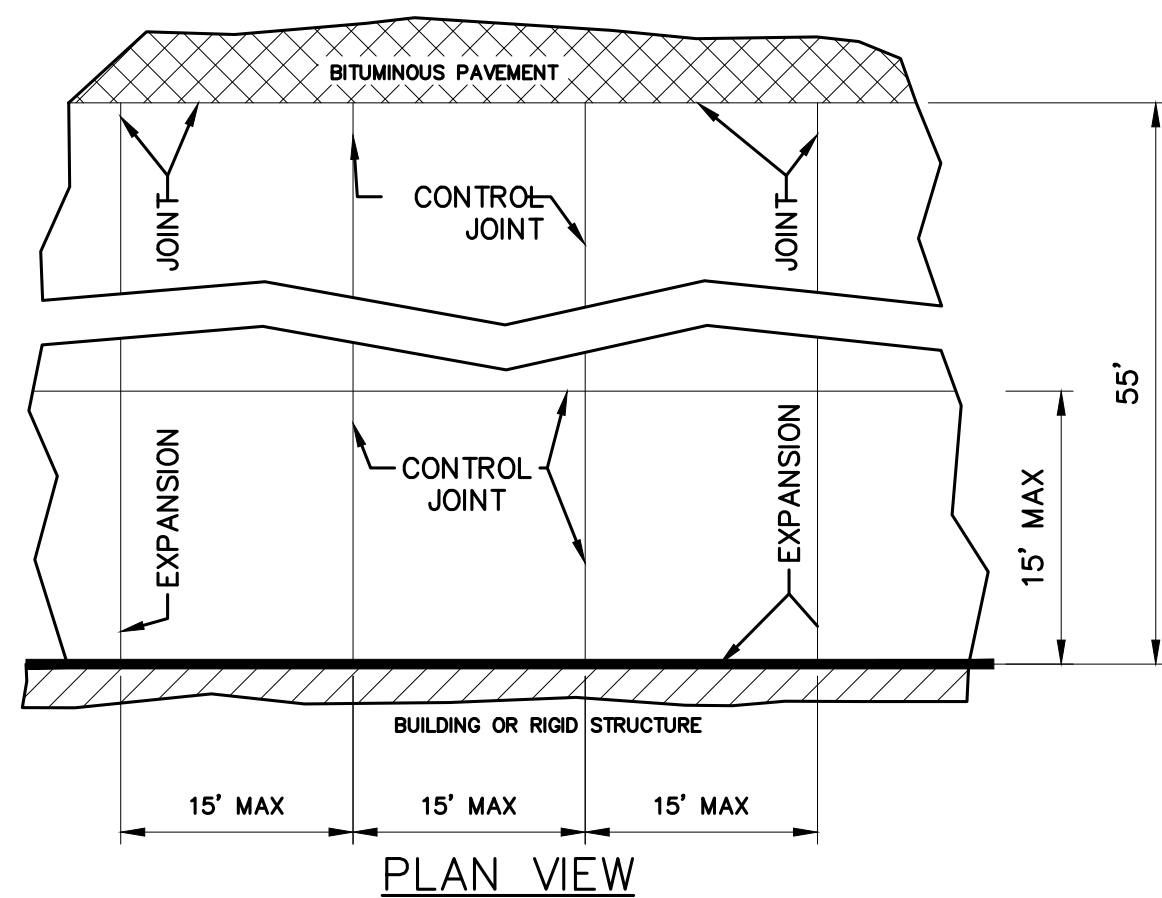




TYPICAL CONTROL JOINT
NOT TO SCALE

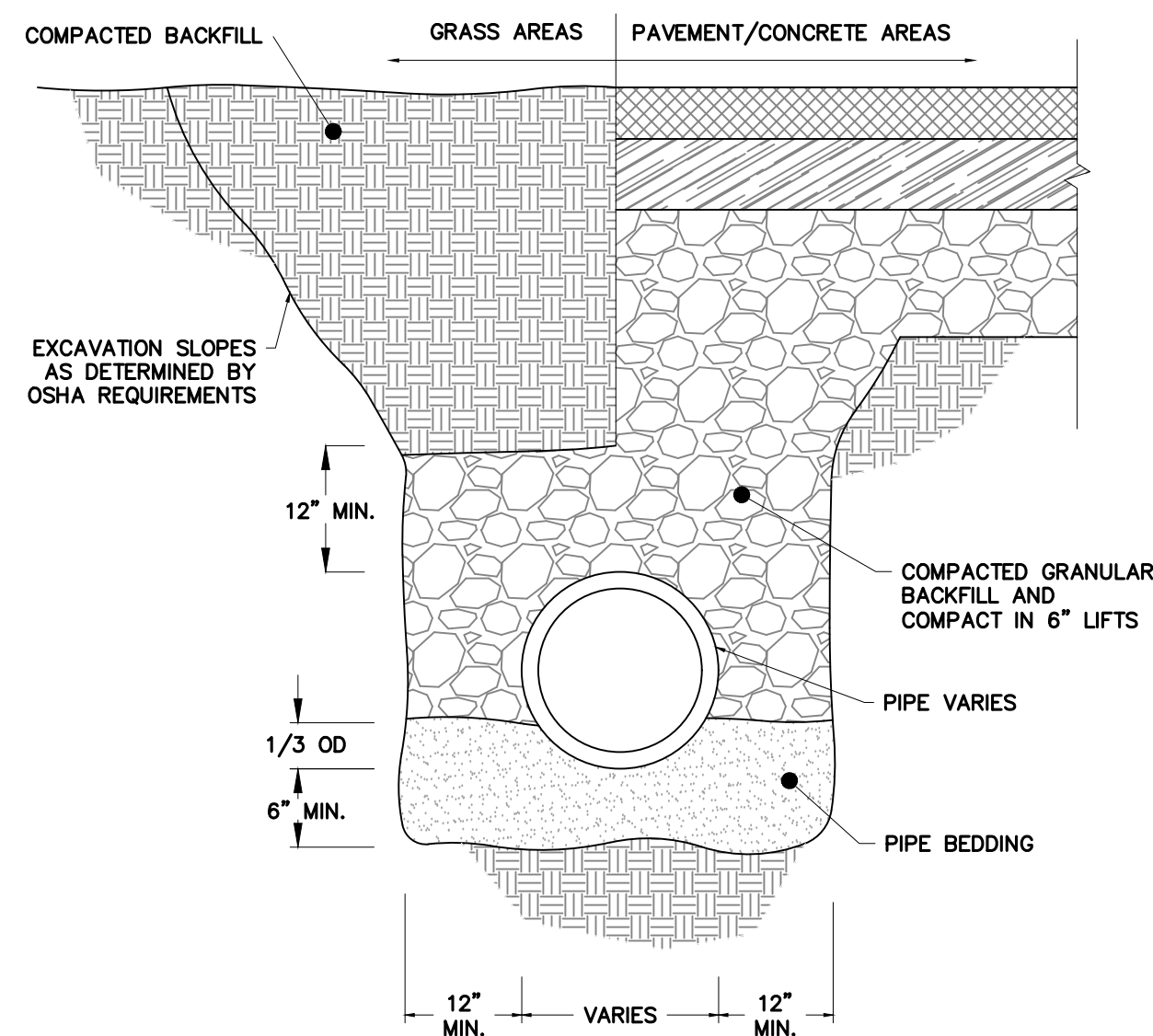


TYPICAL EXPANSION/CONSTRUCTION JOINT
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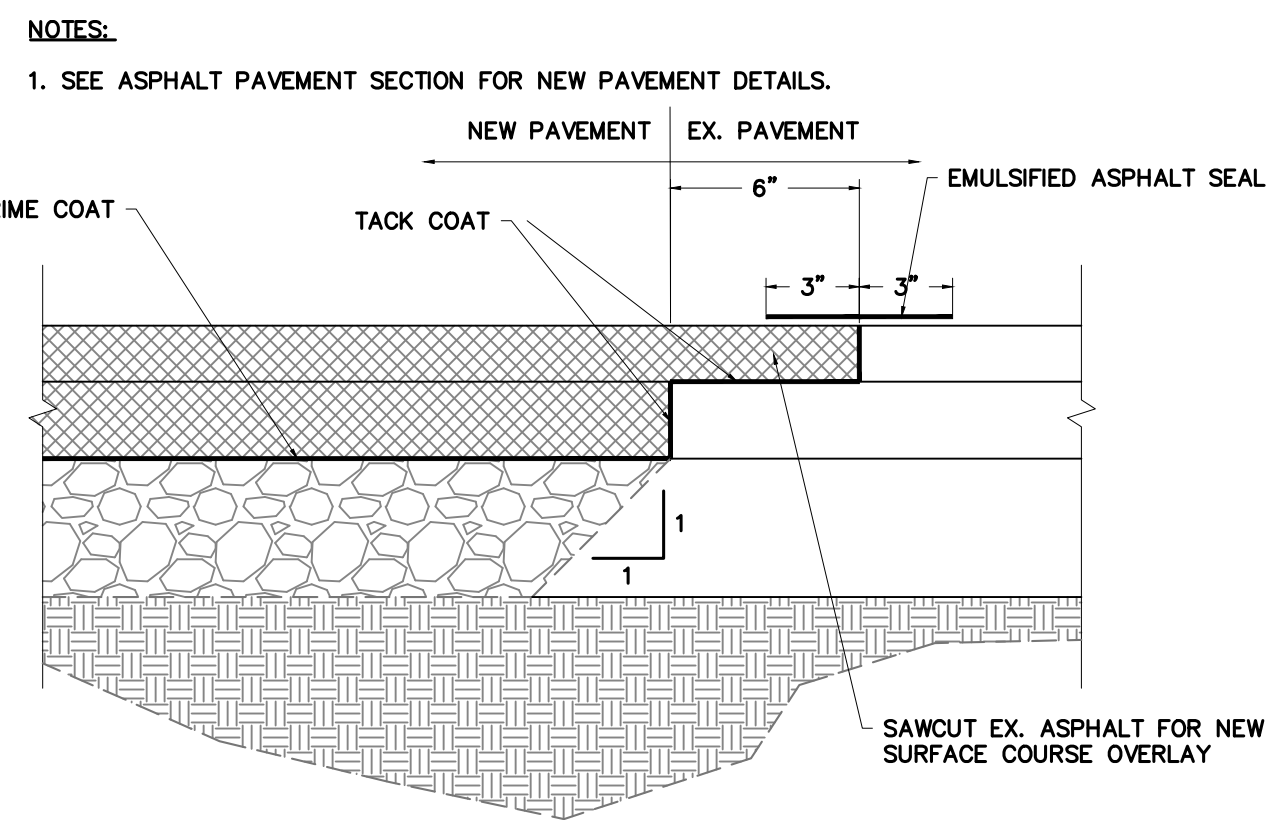


- NOTES:**
- CONTROL JOINTS TO BE 1/4" TO 3/8" SAW CUT. DEPTH TO BE 2" AND JOINT TO BE SEALED WITH SELF-LEVELING, UV RESISTANT, EXTERIOR GRADE, NON-PRIMING POLYURETHANE SEALANT. SEALANT TO BE FLUSH WITH CONCRETE SURFACE.
 - WIRE SUPPORTS SHALL BE SPACED AT 4'-0" (MAX.) IN BOTH DIRECTIONS.
 - IN GENERAL PROVIDE EXPANSION JOINTS AT MAXIMUM 60' SPACING PERPENDICULAR TO THE BUILDING AND AGAINST BUILDINGS, SIDEWALKS, DRIVEWAY APRONS, BUILDING PADS AND OTHER STRUCTURES. EXPANSION JOINTS MAY BE ELIMINATED DURING LARGER CONTINUOUS POURS IF COORDINATED WITH ENGINEER PRIOR TO INSTALLATION. EXPANSION JOINTS SHALL BE REQUIRED BETWEEN POURS IN ANY CASE.
 - DIAMOND DOWELS, SUREBUILT SBTD OR APPROVED EQUAL TO BE PROVIDED AT PAD EXPANSION JOINTS BETWEEN POURS.
 - SEAL CONCRETE/ASPHALT PAVING JOINT WITH PG 64-22 ASPHALT.
 - REFER TO PLAN VIEW FOR LANDING PAD DIMENSIONS.

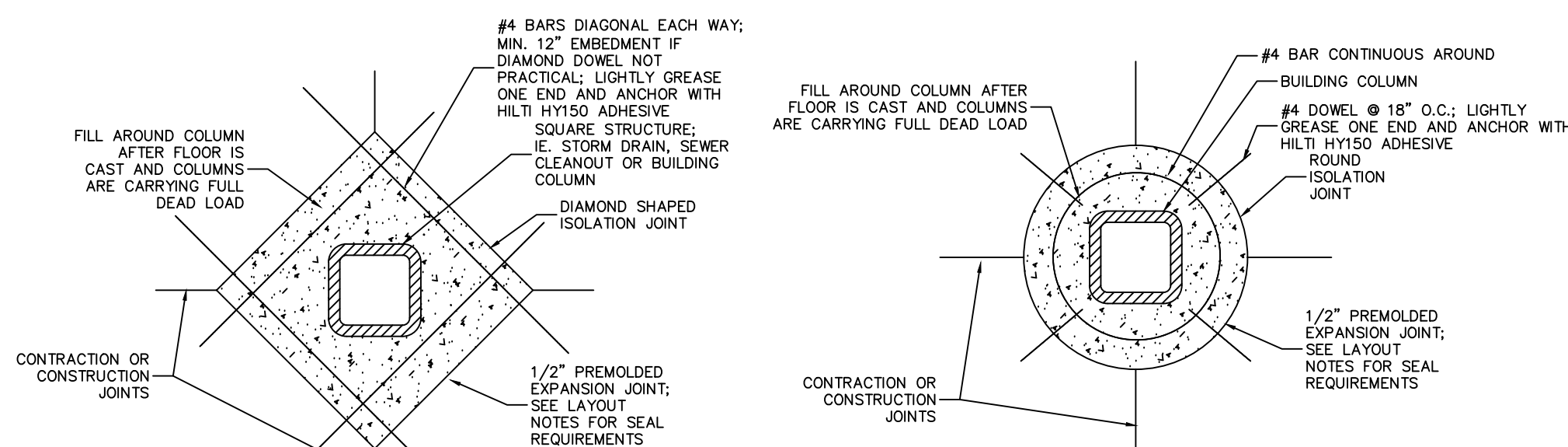
CONCRETE LOADING DOCK & LANDING PAD JOINT DETAILS
NOT TO SCALE



RCP TRENCH DETAIL
NOT TO SCALE

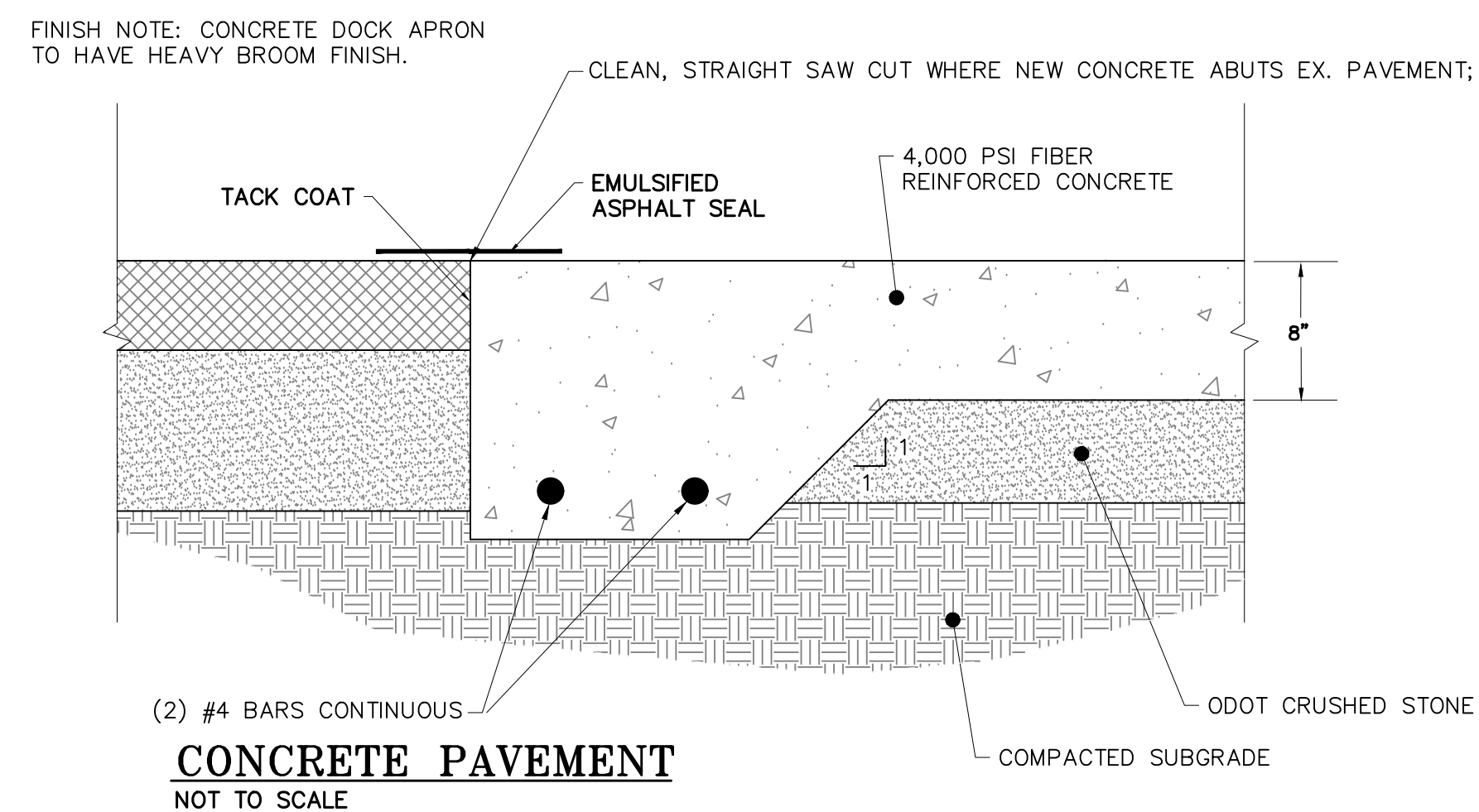


NEW PAVEMENT TO EX PAVEMENT JOINT DETAIL
NOT TO SCALE

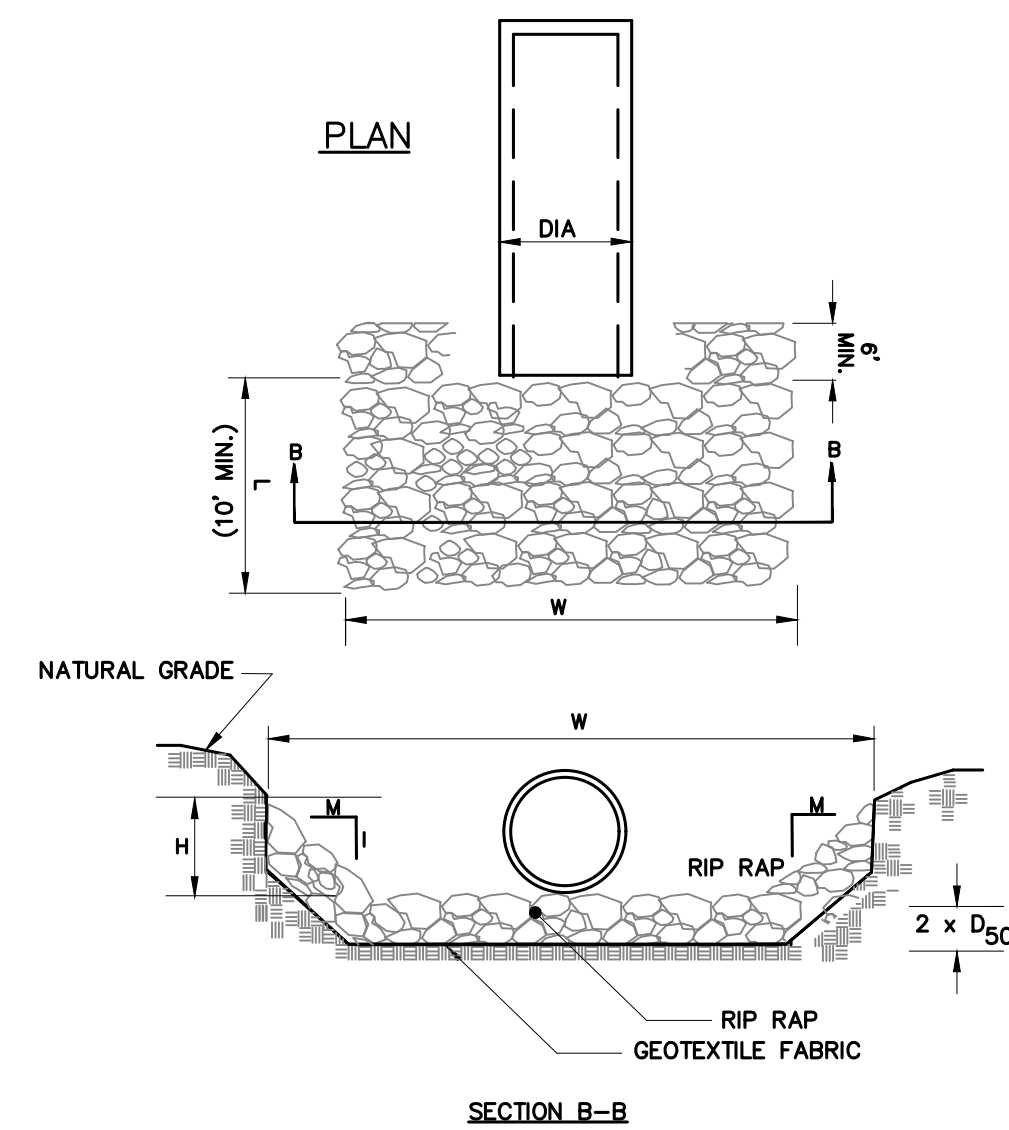


RECTANGULAR EXPANSION JOINT
NOT TO SCALE

ROUND EXPANSION JOINT
NOT TO SCALE

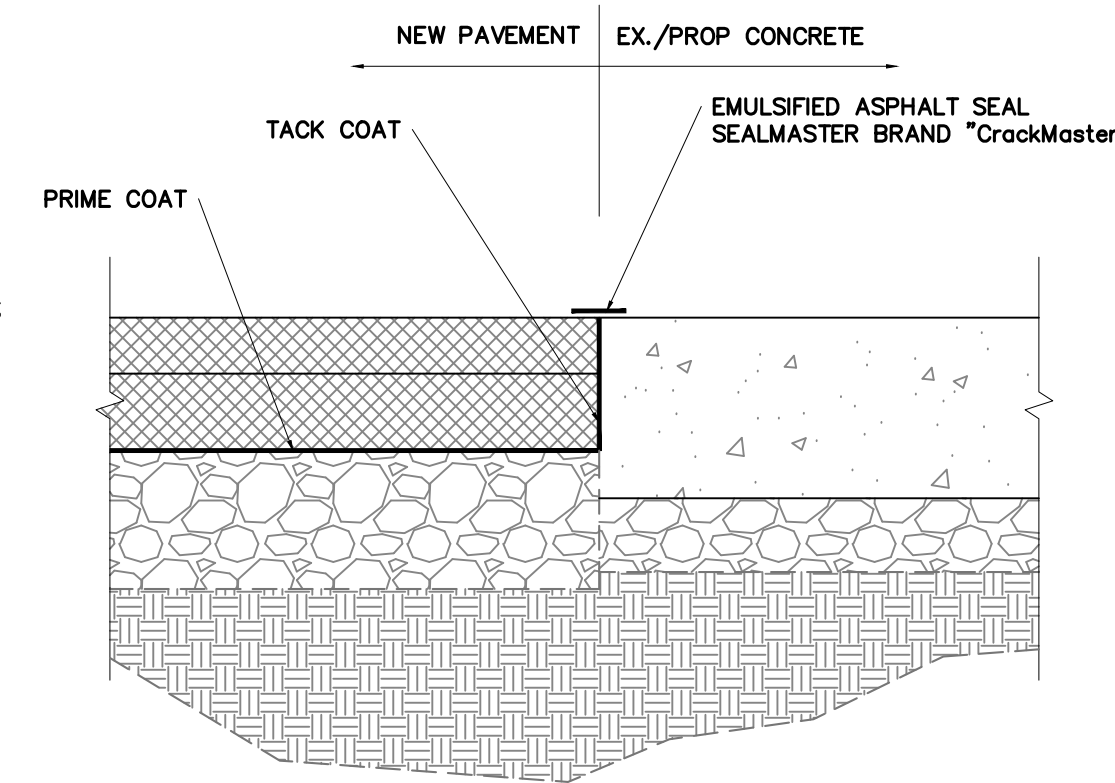


CONCRETE PAVEMENT
NOT TO SCALE



RIPRAP APRON AT PIPE OUTLETS
NOT TO SCALE

- NOTES:**
- SEE ASPHALT PAVING SECTION FOR NEW PAVEMENT DETAILS.
 - SEE CONCRETE APRON DETAILS FOR CONCRETE SECTION REQUIREMENTS.



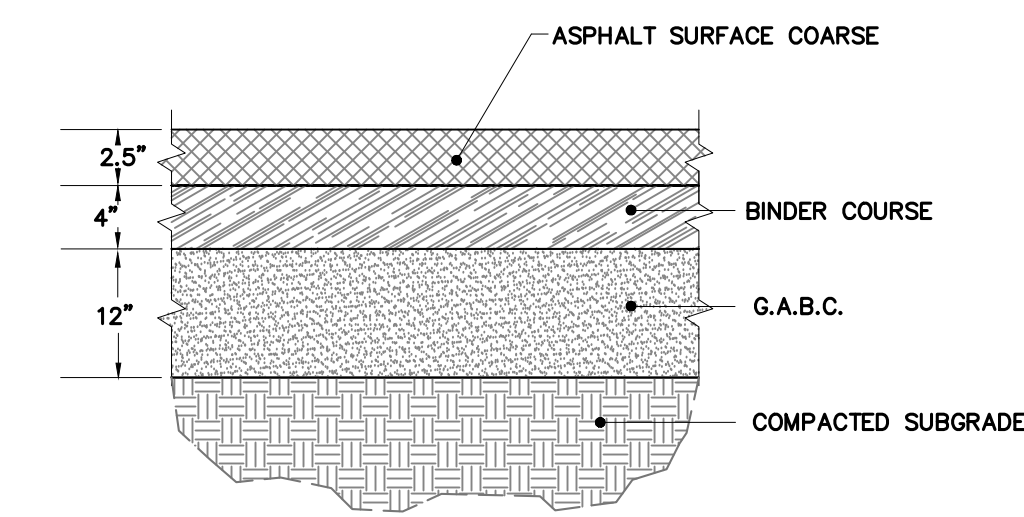
NEW PAVEMENT TO CONCRETE JOINT DETAIL
NOT TO SCALE

- NOTES:**
- GRADED AGGREGATE BASE COURSE (G.A.B.C.) SHALL MEET OKLAHOMA
- RIPRAP SHOULD EXTEND UP BOTH SIDES OF THE APRON AND AROUND THE END OF THE PIPE OR CULVERT AT THE DISCHARGE OUTLET AT A MAXIMUM SLOPE OF 3:1 (W:1) AND A HEIGHT (H) NOT LESS THAN TWO THIRDS THE PIPE DIAMETER OR CULVERT HEIGHT.
- THERE SHALL BE NO OVERFLOW FROM THE END OF THE APRON TO THE SURFACE OF THE RECEIVING CHANNEL. THE AREA TO BE PAVED OR RIPRAPPED SHALL BE UNDERCUT SO THAT THE INVERT OF THE APRON SHALL BE AT THE SAME GRADE (FLUSH) WITH THE SURFACE OF THE RECEIVING CHANNEL. THE APRON SHALL HAVE A CUTOFF OR TOE WALL AT THE DOWNSTREAM END.
- THE WIDTH OF THE END OF THE APRON SHALL BE EQUAL TO THE BOTTOM WIDTH OF THE RECEIVING CHANNEL. MAXIMUM TAPER TO RECEIVING CHANNEL 5:1
- ALL SUBGRADE FOR STRUCTURE TO BE COMPACTED TO 95% OR GREATER.
- THE PLACING OF FILL, EITHER LOOSE OR COMPACTED IN THE RECEIVING CHANNEL SHALL NOT BE ALLOWED.
- NO BENDS OR CURVES IN THE HORIZONTAL ALIGNMENT OF THE APRON WILL BE PERMITTED.
- GEOTEXTILE FILTER FABRIC IS REQUIRED UNDER RIP RAP.
- ANY DISTURBED AREA FROM END OF APRON TO RECEIVING CHANNEL MUST BE STABILIZED.
- WIDTH (W)= DIAMETER OF PIPE + LENGTH OF APRON

Pipe Diameter (DIA)	Rip-rap Size (D50)	Width (W)	Length (L)
24"	6"	15'	25'

PAVEMENT SECTION

- DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
- THE SURFACE COURSE SHALL BE APPLIED NO LESS THAN 4 DAYS AND NO MORE THAN 7 DAYS AFTER THE APPLICATION OF PRIME COAT EXCEPT AS APPROVED BY THE ENGINEER.
- THE SURFACE COURSE SHALL MEET THE REQUIREMENTS OF ODOT.
- THE SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH ODOT STANDARDS.
- REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL ASPHALT PAVING REQUIREMENTS.



HEAVY DUTY ASPHALT
NOT TO SCALE



Old Dominion Freight Line
Muskegee, OK

REV	DATE	DESCRIPTION	BY

DRAWN BY: Matt T. Prosser, P.E.
 CHECKED BY: Kyle M. Hoyt, P.E.
 DATE: April 05, 2024
 PROJECT #: 23-099
 SCALE: AS NOTED
 SHEET TITLE: Paving, Grading, and Drainage Details
 SHEET NUMBER:

C5.2

ORDINANCE NO. 4231-A

AN ORDINANCE OF THE CITY OF MUSKOGEE, OKLAHOMA, AMENDING THE OFFICIAL ZONING MAP OF THE CITY OF MUSKOGEE, AS PROVIDED BY CHAPTER 90 OF THE CITY OF MUSKOGEE CITY CODE, RE-ZONING PROPERTY LOCATED AT 2544 S 32ND STREET, IN THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 14 NORTH, RANGE 18 EAST OF THE INDIAN BASE AND MERIDIAN, MUSKOGEE COUNTY, OKLAHOMA, AS FURTHER HEREIN DESCRIBED; PROVIDING FOR REPEALER, SEVERABILITY, AND SETTING AN EFFECTIVE DATE.

(Old Dominion Freight Line, Applicant)

FROM C-2 GENERAL COMMERCIAL AND A AGRICULTURE

TO

I-1 LIGHT INDUSTRIAL

WHEREAS, the City of Muskogee Planning and Zoning Commission, in a meeting held [date of planning meeting], did recommend the approval of the rezoning of the property set out above in the title of the Ordinance, and did authorize the director of the Commission to advise the Council of the City of Muskogee of this recommendation, NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MUSKOGEE, OKLAHOMA,

Section 1. THAT, the official zoning map of the City of Muskogee as provided by Chapter 90, Section 01-03, of the Muskogee City Code, September 2014, is hereby amended by changing the District Classification by rezoning;

A TRACT OF LAND BEING ALL OF LOT 1, BLOCK 1, OF THE SLEEPY TRAVELER ADDITION, FILED IN THE MUSKOGEE COUNTY CLERK'S OFFICE IN PLAT BOOK 4867, PAGE 503, AND A PORTION OF THE SOUTHWEST QUARTER (SW/4) OF THE NORTHEAST QUARTER (NE/4) OF SECTION FOUR (4), TOWNSHIP FOURTEEN NORTH (T14N), RANGE EIGHTEEN EAST (R18E) OF THE INDIAN MERIDIAN, MUSKOGEE COUNTY, OKLAHOMA, TOGETHER BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 1, BLOCK 1, MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE; THENCE N88°06'48"E, PASSING THROUGH A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE FOR THE NORTHEAST CORNER OF SAID LOT 1, BLOCK 1 AT A DISTANCE OF 749.94 FEET, AND CONTINUING FOR A TOTAL DISTANCE OF 1205.56 FEET TO A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED

"CA 4849" FOUND IN PLACE; THENCE S01°36'13"E A DISTANCE OF 329.93 FEET TO A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE; THENCE S88°06'00"W, PASSING THROUGH A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE FOR THE SOUTHEAST CORNER OF SAID LOT 1, BLOCK 1 AT A DISTANCE OF 457.58 FEET, AND CONTINUING FOR A TOTAL DISTANCE OF 1207.50 FEET TO A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE, SAID POINT BEING ON THE PLATTED RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 64; THENCE ALONG SAID LINE N01°16'02"W A DISTANCE OF 330.22 FEET TO THE POINT OF BEGINNING SAID TRACT HAVING AN AREA OF 398,231.9 SQUARE FEET OR 9.142 ACRES, MORE OR LESS.

**FROM C-2 GENERAL COMMERCIAL AND A AGRICULTURE
TO
I-1 LIGHT INDUSTRIAL**

AND that this change be so ordered and declared by the City Council.

Section 2. THAT, the City Clerk is authorized and directed to show such change on the zoning map record.

Section 3. REPEALER. All other ordinances or parts of ordinances in direct conflict herewith are repealed to the extent of the conflict only.

Section 4. SEVERABILITY. Should any part, section, subsection, sentence, provision, clause, or phrase hereof be held invalid, void, or unconstitutional for any reason, such holding shall not render invalid, void, or unconstitutional any other section, subsection, sentence, provision, clause, or phrase of this Ordinance, and the same are deemed severable for this purpose.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF MUSKOGEE, OKLAHOMA, THIS _____ DAY OF JUNE 2024.

W. PATRICK CALE, MAYOR

ATTEST:

TAMMY L. TRACY, CITY CLERK

(SEAL)

APPROVED as to form and legality this ____ day of _____, 20____.

KATRINA BODENHAMER, CITY ATTORNEY

DRAFT

Meeting Date: 05/06/2024

Initiator: Jody King, Planning Director

Information

AGENDA ITEM TITLE:

Hold a public hearing and consider a recommendation to the City Council of the City of Muskogee for Resolution No. 2985 to approve a land use map amendment to allow for the property located at 2544 South 32nd Street, Southeast Section 4, Township 14 North, Range 18 East to be rezoned from C-2 General Commercial and A Agriculture to I-1 Light Industrial, or take other necessary action. (Jody King)

LEGAL DESCRIPTION:

A TRACT OF LAND BEING ALL OF LOT 1, BLOCK 1, OF THE SLEEPY TRAVELER ADDITION, FILED IN THE MUSKOGEE COUNTY CLERK'S OFFICE IN PLAT BOOK 4867, PAGE 503, AND A PORTION OF THE SOUTHWEST QUARTER (SW/4) OF THE NORTHEAST QUARTER (NE/4) OF SECTION FOUR (4), TOWNSHIP FOURTEEN NORTH (T14N), RANGE EIGHTEEN EAST (R18E) OF THE INDIAN MERIDIAN, MUSKOGEE COUNTY, OKLAHOMA, TOGETHER BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 1, BLOCK 1, MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE; THENCE N88°06'48"E, PASSING THROUGH A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE FOR THE NORTHEAST CORNER OF SAID LOT 1, BLOCK 1 AT A DISTANCE OF 749.94 FEET, AND CONTINUING FOR A TOTAL DISTANCE OF 1205.56 FEET TO A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE; THENCE S01°36'13"E A DISTANCE OF 329.93 FEET TO A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE; THENCE S88°06'00"W, PASSING THROUGH A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE FOR THE SOUTHEAST CORNER OF SAID LOT 1, BLOCK 1 AT A DISTANCE OF 457.58 FEET, AND CONTINUING FOR A TOTAL DISTANCE OF 1207.50 FEET TO A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE, SAID POINT BEING ON THE PLATTED RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 64; THENCE ALONG SAID LINE N01°16'02"W A DISTANCE OF 330.22 FEET TO THE POINT OF BEGINNING SAID TRACT HAVING AN AREA OF 398,231.9 SQUARE FEET OR 9.142 ACRES, MORE OR LESS.

BACKGROUND:

The City of Muskogee and Old Dominion Freight Line (applicant) are requesting an amendment to the Land Use Map to allow the property to be rezoned from C-2 General Commercial and A Agriculture to I-1 Light Industrial to allow for a commercial trucking drop yard. The future land use map as adopted by the City Council demonstrates that the area has the possibility of residential expansion. However, since the City of Muskogee is in the middle of their comprehensive plan update, the upcoming ODOT expansion of Highway 69, the continued growth of industrial and commercial development, and the existing I-1 zoning contiguous to the northern most portion of the property, the preceding land use map amendment is by city staff and must be approved by the city council in order to proceed with the rezone request. The amendment, if approved, would change the Land Use Map from "Single Family Residential" to "Light Industrial" and allow the rezoning request to be considered for approval.

Public hearings will be held at the Muskogee City Hall, 3rd Floor Council Chambers, at 229 W Okmulgee, Muskogee, OK 74401 at the following meetings and times:

1. City of Muskogee Planning & Zoning Commission on Monday, May 6, 2024, at 9:00 A.M.
2. City of Muskogee Public Works Committee on Monday, May 13, 2024, at 5:30 P.M.
3. City of Muskogee City Council on Monday, June 24, 2024, at 5:30 P.M.

This notice was published in the Muskogee Phoenix for circulation no later than Tuesday April 16, 2024, for twenty (20) days and all property owners within a 300 foot radius of the property were noticed.

RECOMMENDED STAFF ACTION:

Recommend Approval

Fiscal Impact

Attachments

Staff Report

Site Plan

Building Plans

Resolution 2985-DRAFT

Planning & Community Development Staff Report

**City of Muskogee Planning & Zoning Commission, Monday, May 6, 2024 at
9:00 A.M. at City of Muskogee City Hall, 229 W Okmulgee Ave., 3rd Floor
Council Chambers**

Hold a public hearing and consider a recommendation to the City Council of the City of Muskogee for Resolution No. 2985 to approve a land use map amendment to allow for the property located at 2544 South 32nd Street, Southeast Section 4, Township 14 North, Range 18 East to be rezoned from C-2 General Commercial and A Agriculture to I-1 Light Industrial.

AND;

Hold a public hearing and consider a recommendation to the City Council of the City of Muskogee to approve Ordinance No. 4231-A, a rezone request for the property located at 2544 South 32nd Street, Southeast Section 4, Township 14 North, Range 18 East to be rezoned from C-2 General Commercial and A Agriculture to I-1 Light Industrial and if approved, authorize staff to update the official city map.

Planning Department Analysis

- Current Zoning & Use
 - Street frontage is zoned C-1 Local commercial, back half is zoned A Agriculture
 - Vacant agricultural land
- Proposed Zoning & Use
 - I-1 Light Industrial
 - Commercial Trucking Drop yard for Old Dominion Freight Line.
- Section, Township, Range
 - SW quarter of the NE quarter of Section 4, Township 14 North, Range 18 East of the Indian Meridian.
- Street Address: 2544 South 32nd Street

Legal Description

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Discussion on Land Use Map Amendment

The City of Muskogee and Old Dominion Freight Line (applicant) are requesting an amendment to the Land Use Map to allow the property to be rezoned from C-2 General Commercial and A Agriculture to I-1 Light Industrial to allow for a commercial trucking drop yard. The future land use map as adopted by the City Council demonstrates that the area has the possibility of residential expansion. However, since the City of Muskogee is in the middle of their comprehensive plan update, the upcoming ODOT expansion of Highway 69, the continued growth of industrial and commercial development, and the existing I-1 zoning contiguous to the northern most portion of the property, the preceding land use map amendment is by city staff and must be approved by the city council in order to proceed with the rezone request. The amendment, if approved, would change the Land Use Map from "Single Family Residential" to "Light Industrial" and allow the rezoning request to be considered for approval.

Public hearings will be held at the Muskogee City Hall, 3rd Floor Council Chambers, at 229 W Okmulgee, Muskogee, OK 74401 at the following meetings and times:

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2. City of Muskogee Public Works Committee on Monday, May 13, 2024, at 5:30 P.M.
3. City of Muskogee City Council on Monday, June 24, 2024, at 5:30 P.M.

This notice was published in the Muskogee Phoenix for circulation no later than Tuesday April 16, 2024, for twenty (20) days and all property owners within a 300 foot radius of the property were noticed.

Discussion on Rezone

Old Dominion Freight Line (ODFL) requests the rezone of the newly consolidated lots from C-2 General Commercial & A Agriculture to I-1 Light Industrial. The frontage of the lot was originally platted as the Sleepy Traveler Addition for a proposed RV Park in 2023. The owner has since decided to sell the property to ODFL. The combined lots will serve as a drop yard for commercial trucking making Muskogee a destination for further industrial and commercial expansion. The request does not conform with the future land use plan, but as the City of Muskogee is in the middle of their comprehensive plan update, the upcoming ODOT expansion of Highway 69, and the continued growth of industrial and commercial development, the preceding land use map amendment is recommended by city staff and must be approved by the city council in order to proceed with the rezone request.

Attached is the lot consolidation survey and building plans which together, conform to the requirement of section 90-03-04 since the request does not conform to the future land use plan.

Surrounding Zoning & Land Use

North: I-1 Light Industrial, Accessory Structures by Legacy Buildings.

East: R-1 Single Family, Single Family Homes in the Southgate RP Addition.

South: Similarly zoned, vacant farmland.

West: outside city limits.

Public hearings will be held at the Muskogee City Hall, 3rd Floor Council Chambers, at 229 W Okmulgee, Muskogee, OK 74401 at the following meetings and times:

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RECOMMENDATION: Approve Land Use Map Amendment and the Rezone

Request



2544 South 32nd Street Zoning Map



4/10/2024

 Muskogee parcels

 R-1

 I-1

Zoning

 C-2

 City of Muskogee City Limits

 A

Source: Esri, USDA FSA, Esri Community Maps Contributors, Texas Parks & Wildlife, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph,

SITE INFORMATION

N/F: HOLMAN RECREATION LLC
2544 SOUTH 32ND STREET,
MUSKOGEE, OKLAHOMA 74401
APN: 510045050
398,232 ± SQUARE FEET, OR 9.142 ± ACRES

DEED DESCRIPTION

THE LAND IS DESCRIBED AS FOLLOWS:
FOR APN/PARCEL ID(S): 510045050
FOR TAX MAP ID(S): 45050 AND 58514
THE N/2 OF THE N/2 OF THE SW/4 OF THE NE/4 OF SECTION 4, TOWNSHIP 14 NORTH, RANGE 18 EAST OF THE INDIAN BASE AND MERIDIAN, MUSKOGEE COUNTY, STATE OF OKLAHOMA

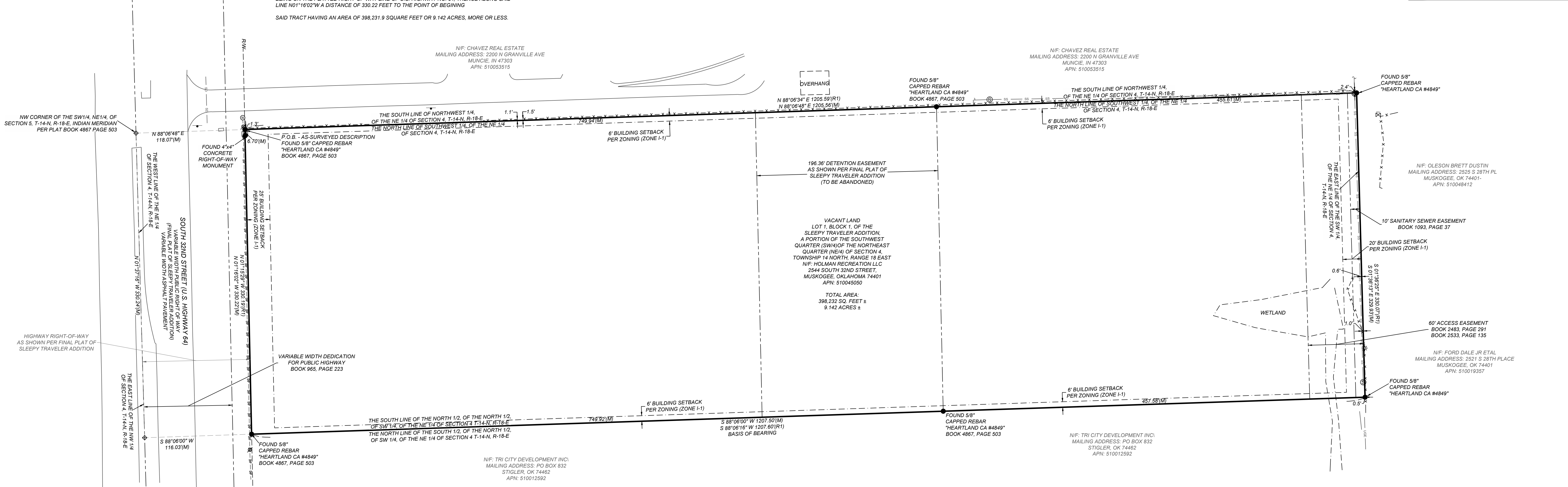
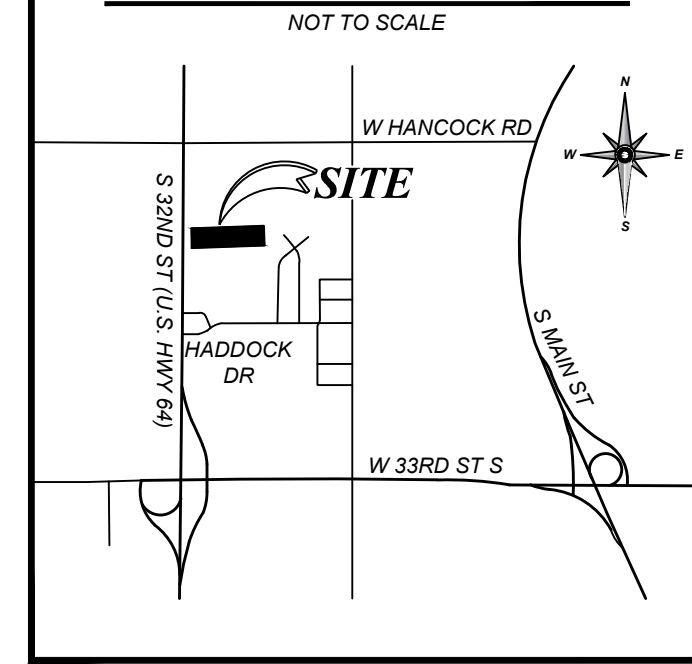
AS-SURVEYED DESCRIPTION

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SAID TRACT HAVING AN AREA OF 398,231.9 SQUARE FEET OR 9.142 ACRES, MORE OR LESS.

LOT CONSOLIDATION SURVEY

2544 SOUTH 32ND STREET,
MUSKOGEE, OKLAHOMA 74401
MUSKOGEE COUNTY

VICINITY MAP



GENERAL NOTES

- SOME FEATURES SHOWN ON THIS PLAT MAY BE SHOWN OUT OF SCALE FOR CLARITY.
- DIMENSIONS ON THIS PLAT ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED. MONUMENTS WERE FOUND AT POINTS WHERE INDICATED.
- COMPLETED FIELD WORK WAS DECEMBER 26, 2023.
- THE DISTANCES SHOWN HEREON ARE UNITS OF GROUND MEASUREMENT.
- NAMES AND ADDRESSES OF ADJOINING PROPERTY OWNERS WERE TAKEN FROM MUSKOGEE COUNTY GIS.
- THIS SURVEY MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.
- THIS PROJECT WAS COMPLETED UNDER MY DIRECT AND RESPONSIBLE CHARGE FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; THAT THIS GROUND SURVEY WAS PERFORMED AT THE 90% CONFIDENCE LEVEL TO MEET FEDERAL GEOGRAPHIC DATA COMMITTEE STANDARDS; THAT THIS SURVEY WAS PERFORMED TO MEET THE SPECIFICATIONS FOR TOPOGRAPHIC AND PLANIMETRIC MAPPING CONTAINED IN THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS; THE ORIGINAL DATA WAS OBTAINED AND THAT THE SURVEY WAS COMPLETED ON DECEMBER 26, 2023, AND ALL COORDINATES ARE BASED ON NAD83(2011) EPOCH 2010.0 AND ALL ELEVATIONS ARE BASED ON NAVD83.
- PROPERTY TO BE REZONED TO I-1 - LIGHT INDUSTRIAL. THE I-1, LIGHT INDUSTRIAL DISTRICT IS INTENDED TO ACCOMMODATE MOST TYPES OF INDUSTRIAL DEVELOPMENT AS WELL AS BUSINESS PARKS. THIS DISTRICT IS DESIGNED TO PROTECT RESIDENTIAL AND LESS INTENSIVE COMMERCIAL USES BY LOCATING GENERAL INDUSTRIAL USES IN LOCATIONS REMOVED FROM SUCH RESIDENTIAL OR COMMERCIAL DEVELOPMENT. CERTAIN GENERAL INDUSTRIAL USES THAT MAY TEND TO BE OBJECTIONABLE DUE TO THEIR ODOR, VIBRATIONS, SMOKE, GLARE, HEAT, NOISE OR SIMILAR CHARACTERISTICS ARE PROVIDED AS SPECIAL USES IN THIS DISTRICT.

FLOOD ZONE INFORMATION

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 40101C0235F, WHICH BEARS AN EFFECTIVE DATE OF 02/04/2011 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA
ZONE "X" - AREA OF MINIMAL FLOOD HAZARD, USUALLY DEPICTED ON FIRMS AS ABOVE THE 500-YEAR FLOOD LEVEL. ZONE "X" IS THE AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD AND PROTECTED BY LEVEE FROM 100-YEAR FLOOD.

BASIS OF BEARING

THE BASIS OF BEARING OF THIS SURVEY IS GRID NORTH (G) BASED ON THE SOUTH LINE OF THE SUBJECT PROPERTY. THE BEARING IS DENOTED AS S88°06'00"W PER GPS COORDINATE OBSERVATIONS OKLAHOMA STATE PLANE, NORTH ZONE NAD83(2011).
LATITUDE = 35°43'18.607"
LONGITUDE = -95°24'08.1325"
CONVERGENCE ANGLE = -01°31'58.9772"

PLANNING COMMISSION APPROVAL

I CERTIFY THAT THIS SURVEY ACCURATELY REPRESENTS THE ACTION OF THE CITY OF MUSKOGEE PLANNING AND ZONING COMMISSION TAKEN ON _____
PLANNING COMMISSION CHAIRMAN: _____ DATE _____

SURVEYOR'S CERTIFICATE

I, DENVER WINCHESTER, PROFESSIONAL LAND SURVEYOR, IN THE STATE OF OKLAHOMA, DO HEREBY CERTIFY THAT A SURVEY WAS MADE UNDER MY DIRECT SUPERVISION OF THE HEREON DESCRIBED PROPERTY SITUATE WITHIN MUSKOGEE COUNTY. THE SURVEY WAS MADE ON THE GROUND USING AT LEAST THE MINIMUM STANDARDS OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND FURTHER CERTIFY THAT THIS PLAT MEETS SAID STANDARDS AND ACCURATELY REPRESENTS SAID SURVEY.

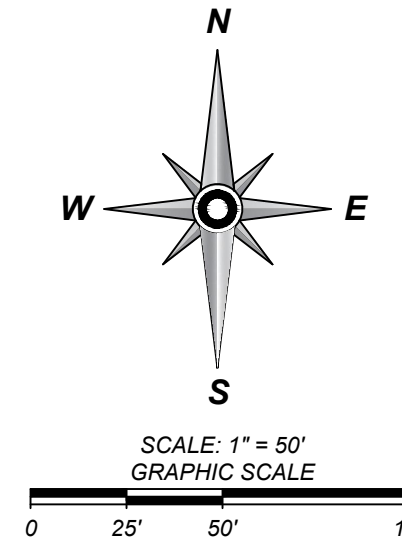
THE FIELD WORK WAS COMPLETED ON 12/26/2023.



DENVER WINCHESTER
PROFESSIONAL LAND SURVEYOR NO. 1952
STATE OF OKLAHOMA
OKLAHOMA COA 5387

LEGEND & SYMBOLS

- FOUND MONUMENT AS-NOTED
- COMPUTED POINT
- ⊕ SIGN
- FIBER OPTIC VAULT
- SANITARY MANHOLE(S/MH)
- ⊙ POWER POLE
- ⊗ WATER METER
- ⊕ IRRIGATION CONTROL VALVE
- ⊕ UTILITY VAULT
- (M) MEASURED/CALCULATED DIMENSION
- (RT) RECORD DIMENSION PER FINAL PLAT OF SLEEPY TRAVELER ADDITION, DATED JULY 17, 2023, FILE NAME: W010865
- N/F NOW OR FORMERLY
- P.O.B. POINT OF BEGINNING
- BOUNDARY LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- x-x-x-x- FENCE LINE
- OVERHEAD POWER LINE
- UNDERGROUND SANITARY SEWER LINE
- UNDERGROUND STORM DRAIN LINE
- EDGE OF WATER
- SETBACK LINE



DATE	REVISION HISTORY	BY

BLEW & ASSOCIATES, P.A.
3825 N. SHILOH DRIVE - FAYETTEVILLE, AR 72703
EMAIL: SURVEY@BLEWINC.COM
OFFICE: 479.443.4506 FAX: 479.582.1883
WWW.BLEWINC.COM

SURVEYOR JOB NUMBER:
23-8131.02

SURVEY DRAWN BY:
CKL/S/Ts - 03/19/2024

SURVEY REVIEWED BY:
DW

SHEET:
1 OF 1

GENERAL NOTES

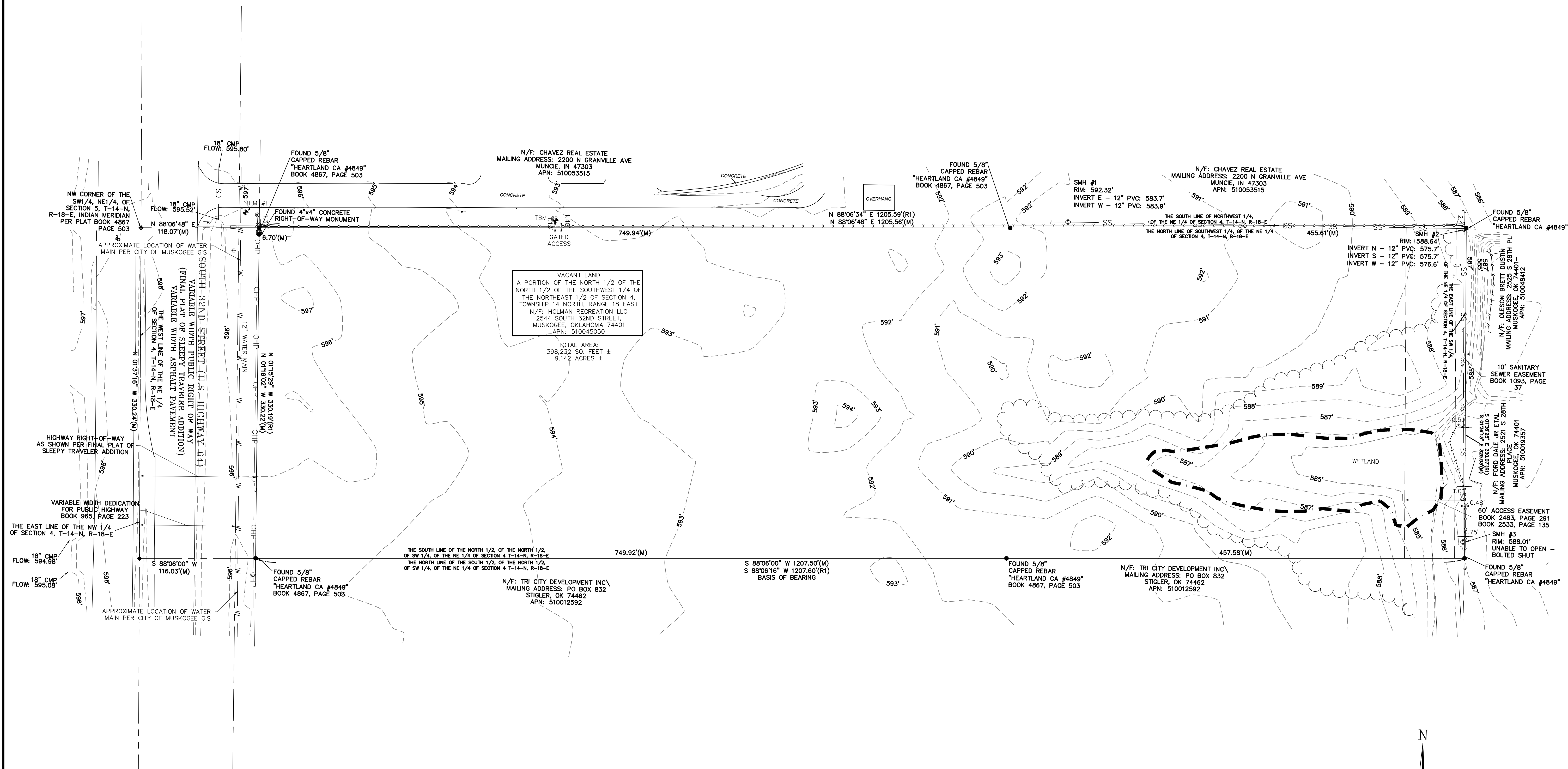
1. THIS DRAWING WAS CREATED UTILIZING INFORMATION FROM A SURVEY TITLE "ALTA"NSPS LAND TITLE SURVEY 2544 SOUTH 32ND STREET, MUSKOGEE, OKLAHOMA 74401 MUSKOGEE COUNTY" BY DENVER WINCHESTER WITH BLEW & ASSOCIATES, P.A. DATED 01/24/2024



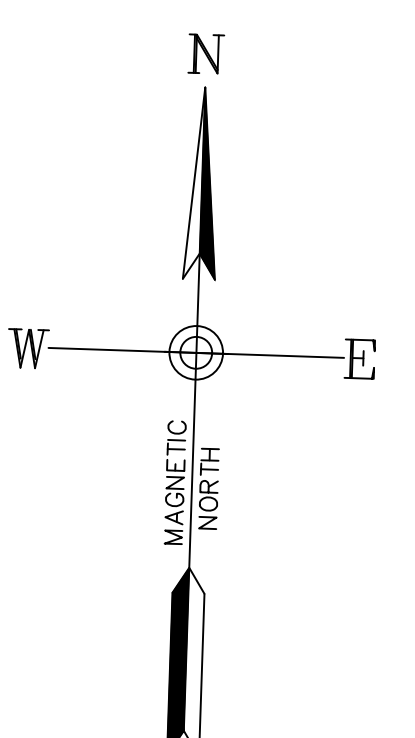
HOYT+BERENYI
P.O. Box 1470 Ladson, SC 29456
843.408.3546 | www.HoytBerenyi.com



DRAWINGS FOR
Old Dominion Freight Line
Muskegee, OK



VACANT LAND
A PORTION OF THE NORTH 1/2 OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/2 OF SECTION 4, TOWNSHIP 14 NORTH, RANGE 18 EAST
N/F: HOLMAN RECREATION LLC
2544 SOUTH 32ND STREET, MUSKOGEE, OKLAHOMA 74401
APN: S10045050
TOTAL AREA:
398,232 SQ. FEET ±
9.142 ACRES ±



REV	DATE	DESCRIPTION

DRAWN BY: Matt T. Prosser, P.E.
CHECKED BY: Kyle M. Hoyt, P.E.
DATE: April 05, 2024
PROJECT #: 23-099
SCALE: 1"=50'
SHEET TITLE:
**Existing
Conditions**

SHEET NUMBER:
C2.1

SWPPP SEQUENCE OF CONSTRUCTION PHASE 1

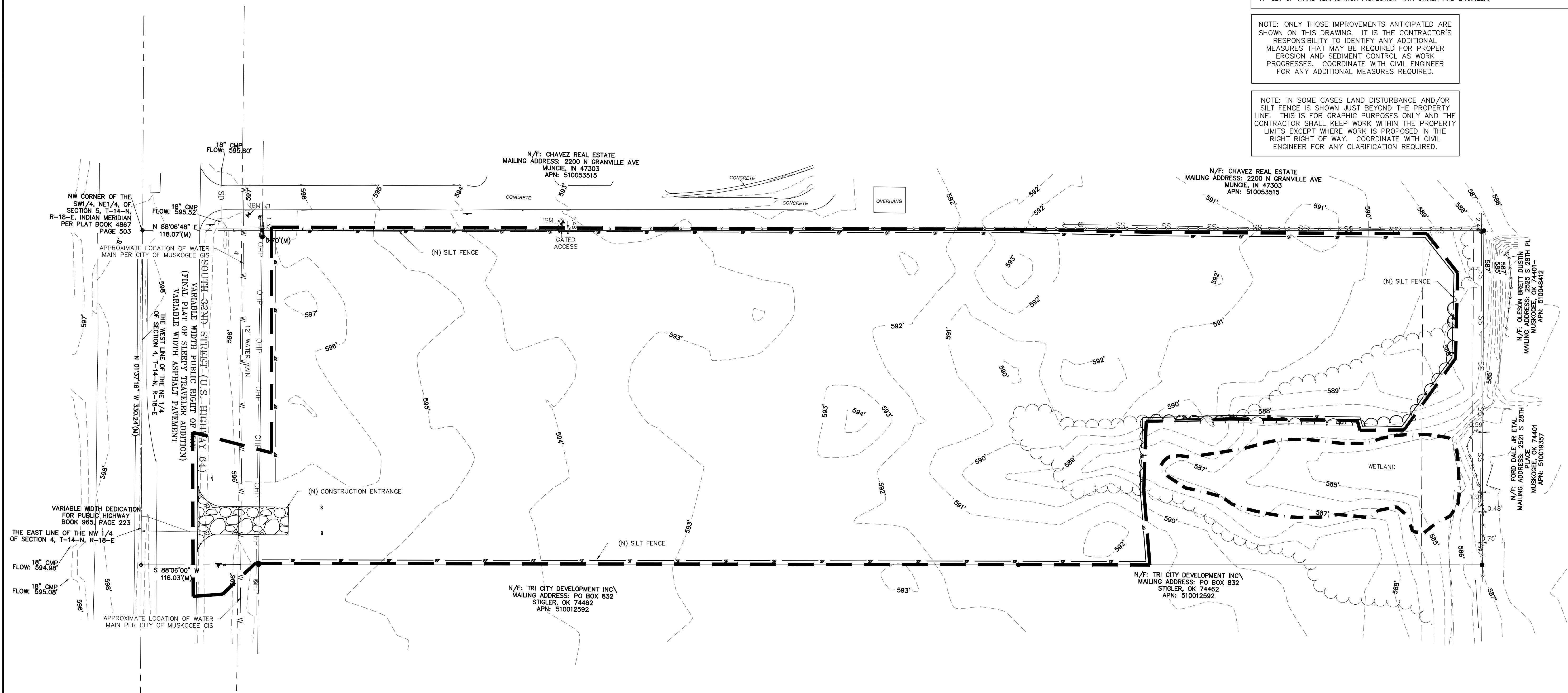
1. CONTACT CITY OF MUSKOGEE A MINIMUM OF 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. CONDUCT LIMITED CLEARING AND GRUBBING AS NECESSARY TO INSTALL PERIMETER CONTROLS AND CONSTRUCTION ENTRANCE.
3. INSTALLATION OF CONSTRUCTION ENTRANCE AND PERIMETER CONTROLS AS SHOWN.
4. CONTACT CITY OF MUSKOGEE FOR FIELD INSPECTION AND APPROVAL OF PERIMETER AND INITIAL PHASE BMP'S. **NO MASS GRADING OR CLEARING CAN COMMENCE UNTIL INITIAL CONTROLS ARE IN PLACE AND INSPECTOR HAS SIGNED OFF ON SAID CONTROLS**
5. MAINTAIN SWPPP BMP CONTROLS THROUGHOUT CONSTRUCTION.

STORMWATER CLOSEOUT NOTE

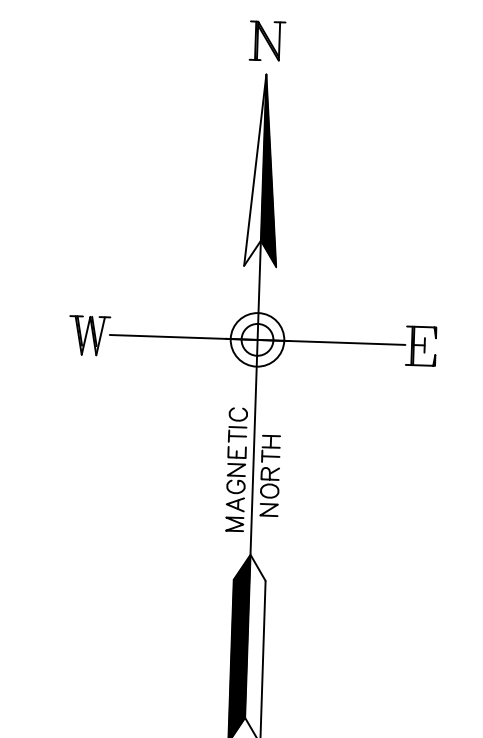
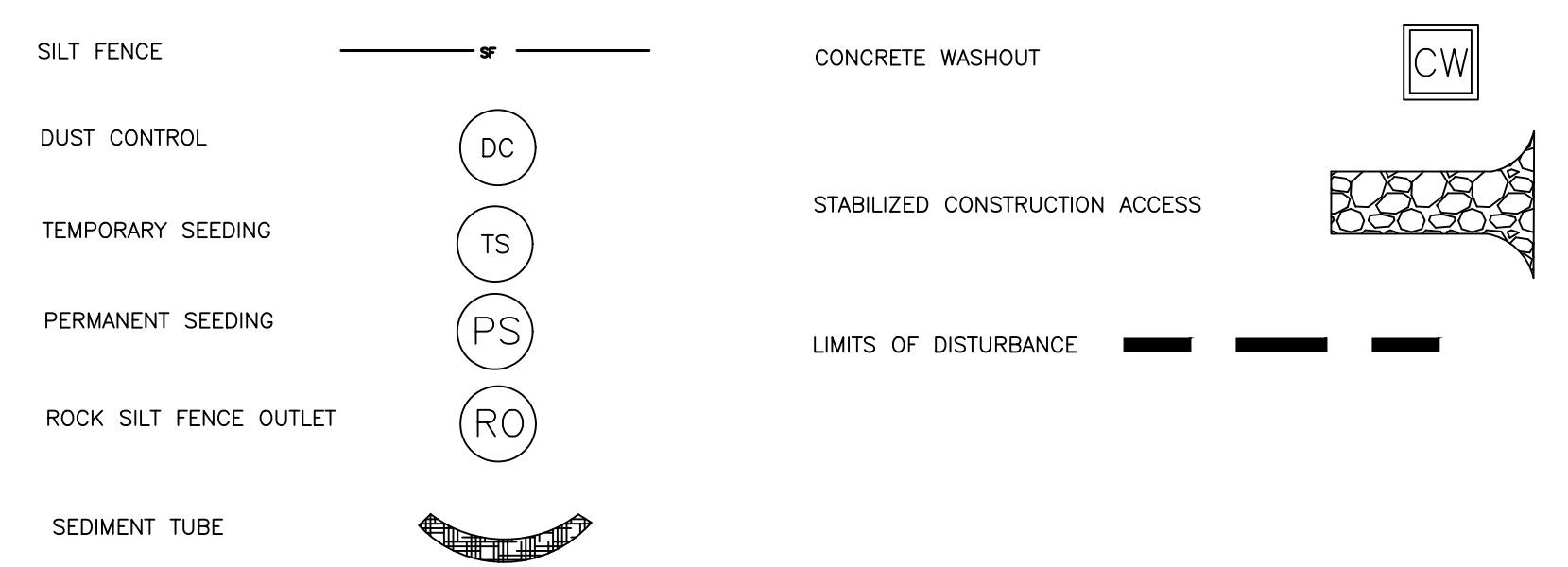
- CONTRACTOR SHALL COORDINATE WITH OWNER, ENGINEER AND COUNTY/CITY INSPECTOR AND FURNISH THE FOLLOWING ITEMS FOR REVIEW AS PART OF FINAL STORMWATER CLOSEOUT:
1. PROVIDE NOTICE FOR FINAL INSPECTION UPON INSTALLATION OF ALL IMPROVEMENTS.
 2. STORMWATER AS-BUILT (INCL. POND BMP'S, STORM DRAINAGE PIPES, DITCHES, FINISHED FLOOR ELEVATIONS, ETC.)
 3. CLEANING OF STORM DRAINAGE LINES. LINES SHOULD BE FREE AND CLEAR OF DIRT, DUST, DEBRIS, AND SEDIMENT PRIOR TO TURNOVER FOR MAINTENANCE.
 4. CLEANING OF STORM DRAINAGE POND BMP'S. THIS INCLUDES REMOVING ALL SEDIMENT ACCUMULATION WITHIN THE POND. ESTABLISH PERMANENT VEGETATION AND MAINTAIN POND UNTIL TERMINATION OF PERMIT AND CONTRACT.
 5. CCTV INSPECTION FOR ALL STORM DRAINAGE PIPES (PUBLIC AND PRIVATE).
 6. ADDRESS ALL PUNCH LIST ITEMS PROVIDED.
 7. SET UP FINAL VERIFICATION INSPECTION WITH OWNER AND ENGINEER.

NOTE: ONLY THOSE IMPROVEMENTS ANTICIPATED ARE SHOWN ON THIS DRAWING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY ANY ADDITIONAL MEASURES THAT MAY BE REQUIRED FOR PROPER EROSION AND SEDIMENT CONTROL AS WORK PROGRESSES. COORDINATE WITH CIVIL ENGINEER FOR ANY ADDITIONAL MEASURES REQUIRED.

NOTE: IN SOME CASES LAND DISTURBANCE AND/OR SILT FENCE IS SHOWN JUST BEYOND THE PROPERTY LINE. THIS IS FOR GRAPHIC PURPOSES ONLY AND THE CONTRACTOR SHALL KEEP WORK WITHIN THE PROPERTY LIMITS EXCEPT WHERE WORK IS PROPOSED IN THE RIGHT RIGHT OF WAY. COORDINATE WITH CIVIL ENGINEER FOR ANY CLARIFICATION REQUIRED.



SWPPP LEGEND



DRAWINGS FOR
Old Dominion Freight Line
 Muskogee, OK

REV	DATE	DESCRIPTION

DRAWN BY: Matt T. Prosser, P.E.
 CHECKED BY: Kyle M. Hoyt, P.E.
 DATE: April 05, 2024
 PROJECT #: 23-099
 SCALE: 1"=50'
 SHEET TITLE:
SWPPP and Demolition Phase 1

SHEET NUMBER:
C3.1



SWPPP SEQUENCE OF CONSTRUCTION PHASE 2

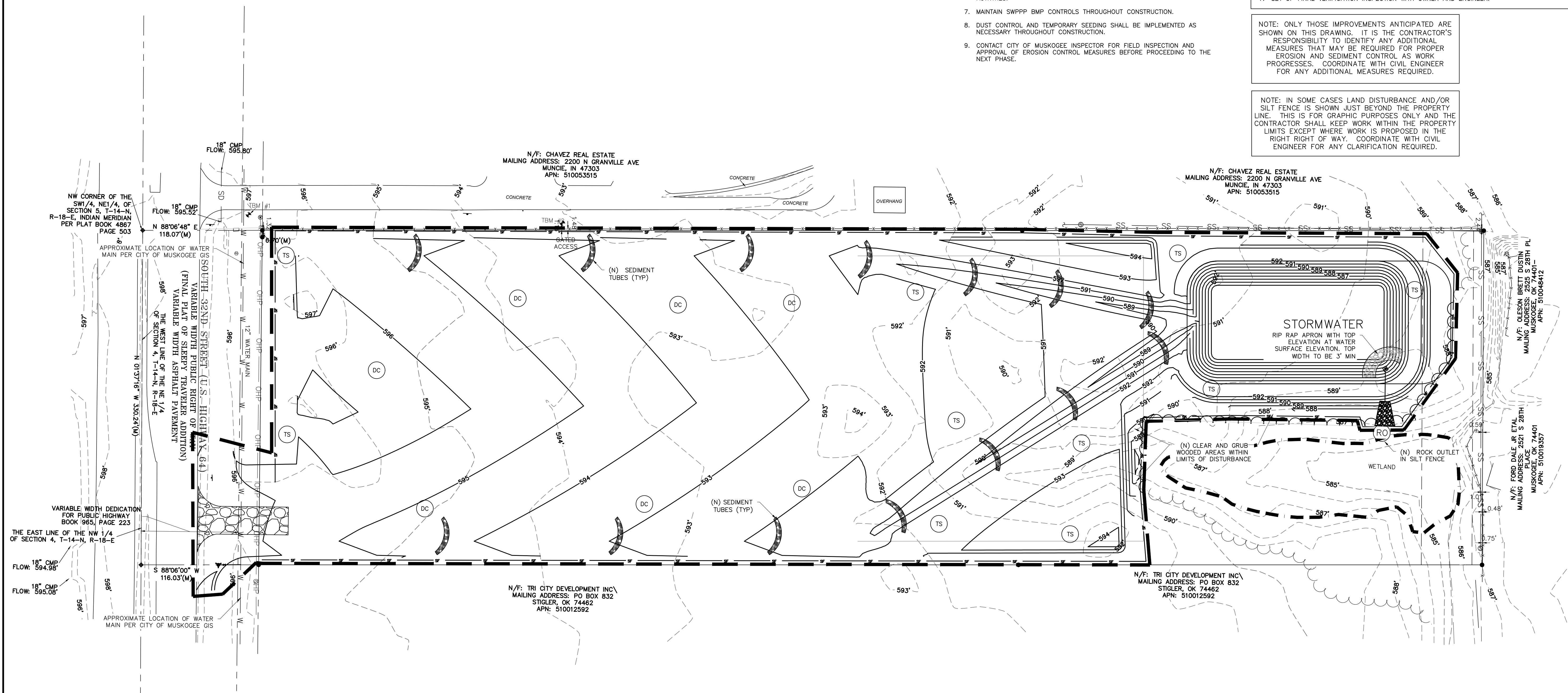
1. CLEAR AND GRUB AREAS NECESSARY TO INSTALL SEDIMENT BASINS AND DIVERSION DITCHES AS SHOWN.
2. INSTALL SEDIMENT BASINS WITH SKIMMER, TRAPS, AND DIVERSION BERMS/DITCHES. ALL SEDIMENT BASINS AND DIVERSIONS DITCHES/SWALES SHALL BE TEMPORARILY STABILIZED UPON INSTALLATION.
3. CONDUCT DEMOLITION AND MASS CLEARING AND GRADING ACTIVITIES.
4. AS MASS CLEARING AND GRADING BEING, THE CONSTRUCTION ENTRANCE MAY BE RELOCATED TO THE NEW DRIVEWAY LOCATIONS. PERMANENT CULVERTS AND INLET PROTECTION SHALL BE INSTALLED UPON CONSTRUCTION ENTRANCE RELOCATIONS.
5. AS WORK PROGRESS INSTALL NEW STORM DRAINAGE AS REQUIRED TO MANAGE RUNOFF FROM THE SITE AND TO DIRECT DISTURBED AREA RUNOFF INTO POND.
6. UTILITY INSTALLATIONS SHALL COMMENCE IN PARALLEL DURING GRADING ACTIVITIES.
7. MAINTAIN SWPPP BMP CONTROLS THROUGHOUT CONSTRUCTION.
8. DUST CONTROL AND TEMPORARY SEEDING SHALL BE IMPLEMENTED AS NECESSARY THROUGHOUT CONSTRUCTION.
9. CONTACT CITY OF MUSKOGEE INSPECTOR FOR FIELD INSPECTION AND APPROVAL OF EROSION CONTROL MEASURES BEFORE PROCEEDING TO THE NEXT PHASE.

STORMWATER CLOSEOUT NOTE

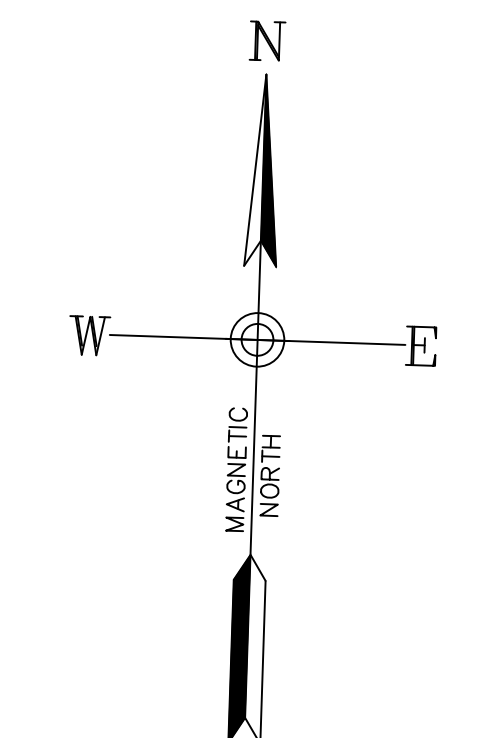
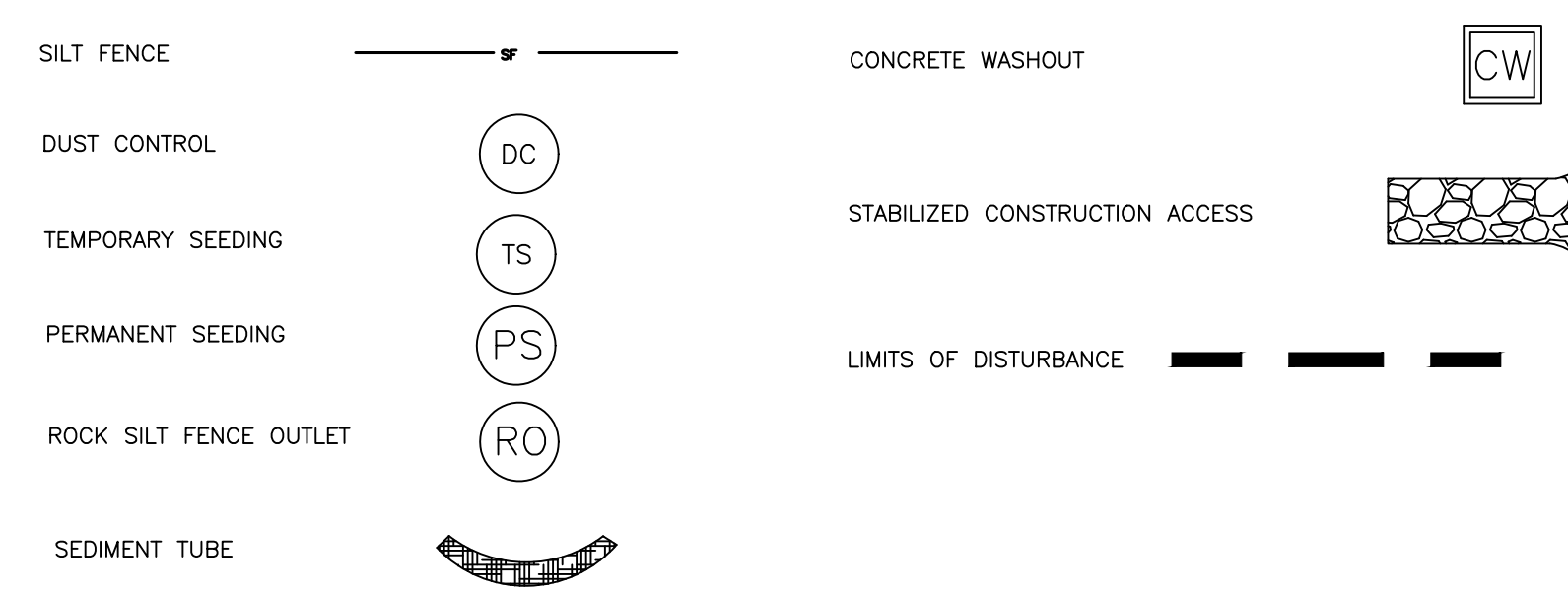
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 2. STORMWATER AS-BUILT (INCL. POND BMPS, STORM DRAINAGE PIPES, DITCHES, FINISHED FLOOR ELEVATIONS, ETC.).
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 5. CCTV INSPECTION FOR ALL STORM DRAINAGE PIPES (PUBLIC AND PRIVATE).
 6. ADDRESS ALL PUNCH LIST ITEMS PROVIDED.
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SWPPP LEGEND



DRAWINGS FOR
Old Dominion Freight Line
Muskogee, OK

REV	DATE	DESCRIPTION

DRAWN BY: Matt T. Prosser, P.E.
CHECKED BY: Kyle M. Hoyt, P.E.
DATE: April 05, 2024
PROJECT #: 23-099
SCALE: 1"=50'
SHEET TITLE:
SWPPP and Demolition Phase 2

SHEET NUMBER:
C3.2



SWPPP SEQUENCE OF CONSTRUCTION PHASE 3

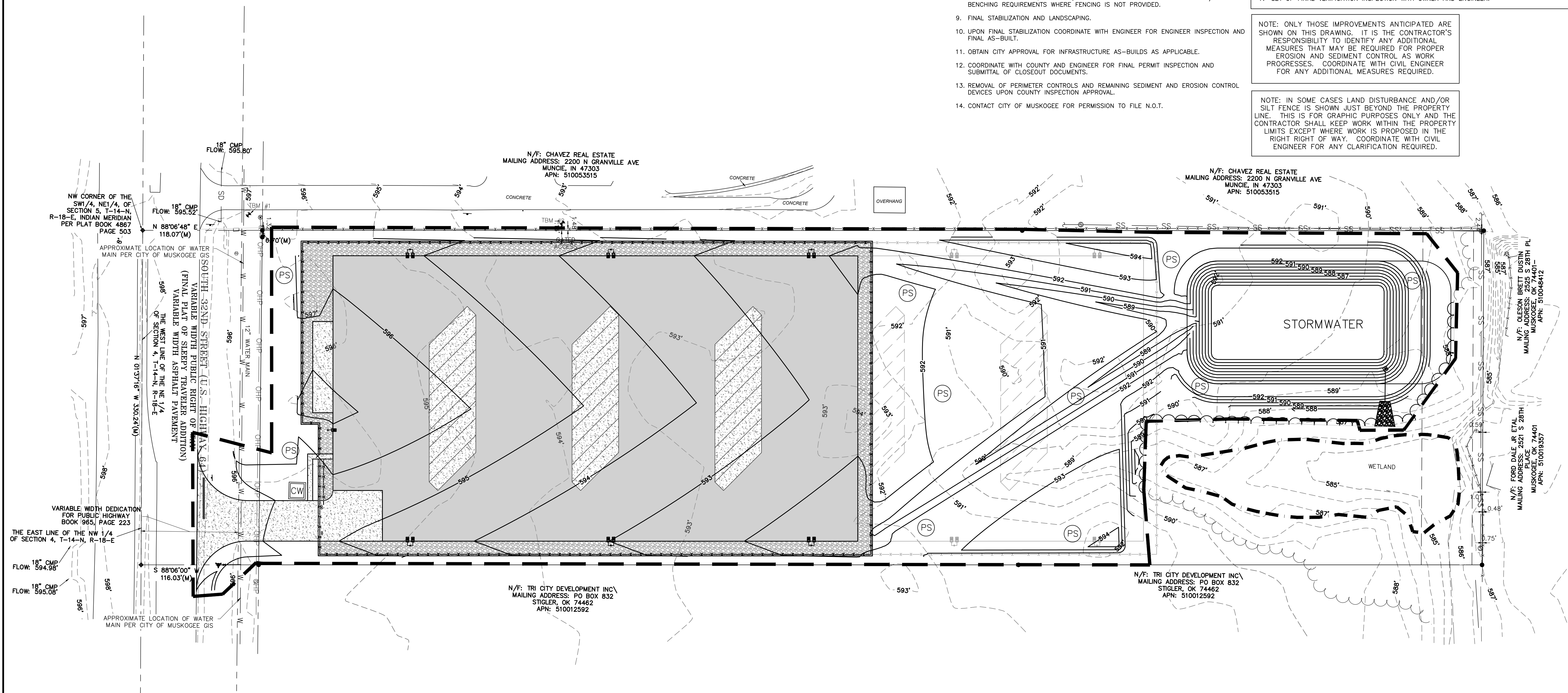
1. PREPARE SITE FOR PAVING.
2. INSTALL CONCRETE WASHOUT PRIOR TO ANY CONCRETE WORK.
3. INSTALL PAVING, SIDEWALKS, AND BUILDING FOUNDATION.
4. INSTALL APPROPRIATE INLET PROTECTION FOR PAVED AREAS AS WORK PROGRESSES.
5. COMPLETE GRADING, PAVING AND DRAINAGE.
6. PERFORM PRELIMINARY AS-BUILT AND COORDINATE WITH ENGINEER FOR ANY DISCREPANCIES.
7. FINAL STABILIZATION INCLUDING LANDSCAPING. CONTRACTOR SHALL COORDINATE WITH ENGINEER AND INSPECTOR FOR REMOVAL OF EROSION AND SEDIMENT CONTROLS.
8. CONVERT SEDIMENT BASIN BMPs INTO PERMANENT STORMWATER POND BMPs. SEE STORMWATER CLOSEOUT NOTE FOR SPECIFIC REQUIREMENTS. FINAL POND CONVERSION MUST INCLUDE INSTALLATION OF POND FENCING IN ACCORDANCE WITH COUNTY ZONING AND STORMWATER REQUIREMENTS, OR VERIFICATION OF MINIMUM SLOPE AND/OR BENCHING REQUIREMENTS WHERE FENCING IS NOT PROVIDED.
9. FINAL STABILIZATION AND LANDSCAPING.
10. UPON FINAL STABILIZATION COORDINATE WITH ENGINEER FOR ENGINEER INSPECTION AND FINAL AS-BUILT.
11. OBTAIN CITY APPROVAL FOR INFRASTRUCTURE AS-BUILDS AS APPLICABLE.
12. COORDINATE WITH COUNTY AND ENGINEER FOR FINAL PERMIT INSPECTION AND SUBMITTAL OF CLOSEOUT DOCUMENTS.
13. REMOVAL OF PERIMETER CONTROLS AND REMAINING SEDIMENT AND EROSION CONTROL DEVICES UPON COUNTY INSPECTION APPROVAL.
14. CONTACT CITY OF MUSKOGEE FOR PERMISSION TO FILE N.O.T.

STORMWATER CLOSEOUT NOTE

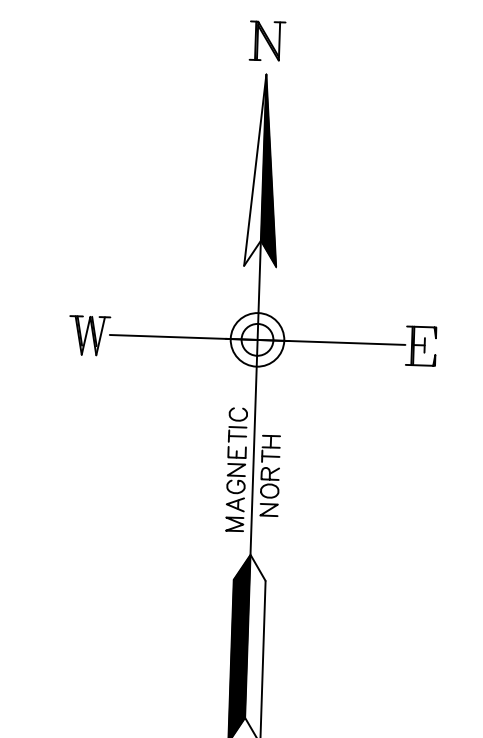
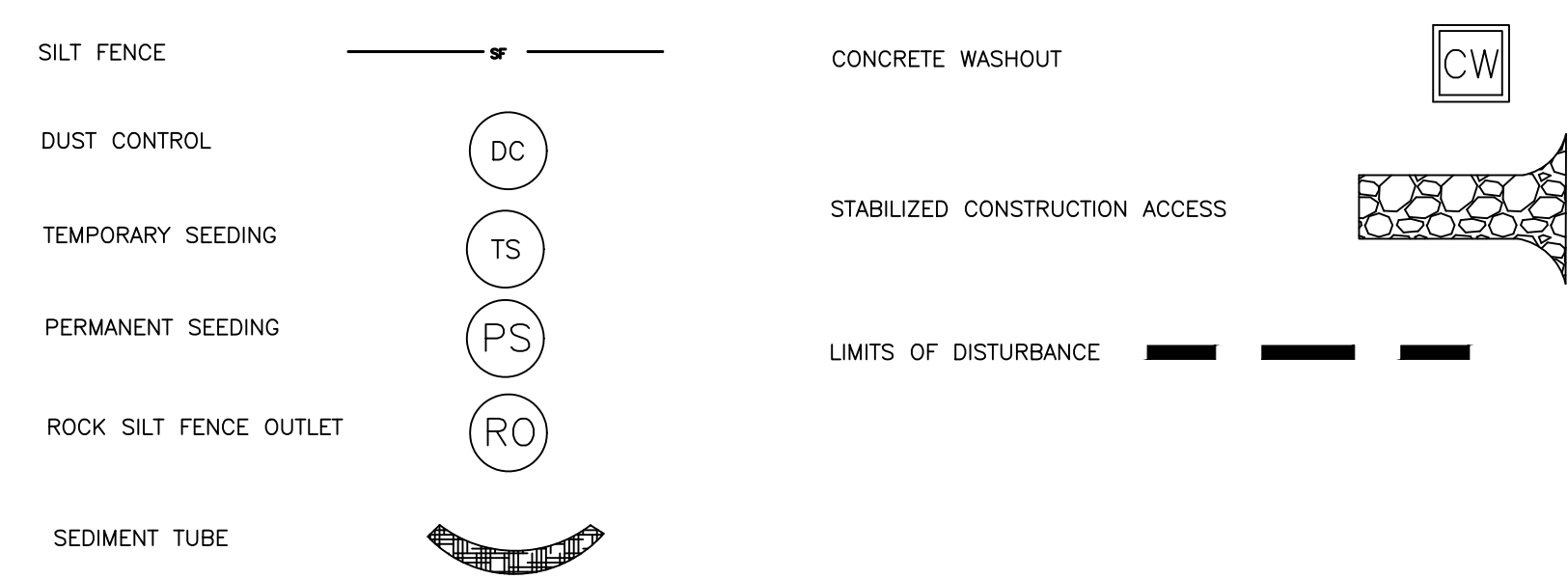
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SWPPP LEGEND



OLD Dominion Freight Line
Muskegee, OK

REV	DATE	DESCRIPTION

DRAWN BY: Matt T. Prosser, P.E.
 CHECKED BY: Kyle M. Hoyt, P.E.
 DATE: April 05, 2024
 PROJECT #: 23-099
 SCALE: 1"=50'
 SHEET TITLE:
SWPPP and Demolition Phase 3

SHEET NUMBER:
C3.3



SEDIMENT TUBE INSTALLATION

SEDIMENT TUBES
STANDARD DRAWING NO. SC-05 PAGE 1 of 2
NOT TO SCALE
FEBRUARY 2014 DATE

SLOPE	MAX. SEDIMENT TUBE SPACING
LESS THAN 2%	150- FEET
2%	100- FEET
3%	75- FEET
4%	50- FEET
5%	40- FEET
6%	30- FEET
GREATER THAN 6%	25- FEET

SEDIMENT TUBES - GENERAL NOTES

- Sediment tubes may be installed along contours, in drainage conveyance channels, and around inlets to help prevent off-site discharge of sediment-laden stormwater runoff.
- Sediment tubes are elongated tubes of compacted geotextiles, curled excelsior wood, natural coconut fiber, or hardwood mulch. Straw, pine needle, and leaf mulch-filled sediment tubes are not permitted.
- The outer netting of the sediment tube should consist of seamless, high-density polyethylene photodegradable materials treated with ultraviolet stabilizers or a seamless, high-density polyethylene non-degradable material.
- Sediment tubes, when used as checks within channels, should range between 18-inches and 24-inches depending on channel dimensions. Diameters outside this range may be allowed where necessary when approved.
- Curled excelsior wood, or natural coconut products that are rolled up to create a sediment tube are not allowed.
- Sediment tubes should be staked using wooden stakes (2-inch X 2-inch) or steel posts (standard "U" or "T" sections with a minimum weight of 1.25 pounds per foot) at a minimum of 48-inches in length placed on 2-foot centers.
- Install all sediment tubes to ensure that no gaps exist between the soil and the bottom of the tube. Manufacturer's recommendations should always be consulted before installation.
- The ends of adjacent sediment tubes should be overlapped 6-inches to prevent flow and sediment from passing through the field joint.
- Sediment tubes should not be stacked on top of one another, unless recommended by manufacturer.
- Each sediment tube should be installed in a trench with a depth equal to 1/3 the diameter of the sediment tube.
- Sediment tubes should continue up the side slopes a minimum of 1-foot above the design flow depth of the channel.
- Install stakes at a diagonal facing incoming runoff.

SEDIMENT TUBES - INSPECTION & MAINTENANCE

- The key to functional sediment tubes is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of sediment tubes shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall even that produces 1/2-inch or more of precipitation.
- Attention to sediment accumulations in front of the sediment tube is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
- Remove accumulated sediment when it reaches 1/3 the height of the sediment tube.
- Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
- Large debris, trash, and leaves should be removed from in front of tubes when found.
- If erosion causes the edges to fall to a height equal to or below the height of the sediment tube, repairs should be made immediately to prevent runoff from bypassing tube.
- Sediment tubes should be removed after the contributing drainage area has been completely stabilized. Permanent vegetation should replace areas from which sediment tubes have been removed.

SEDIMENT TUBES
STANDARD DRAWING NO. SC-05 PAGE 2 of 2
GENERAL NOTES
FEBRUARY 2014 DATE

SILT FENCE INSTALLATION

FLAT-BOTTOM TRENCH DETAIL

V-SHAPED TRENCH DETAIL

SILT FENCE - GENERAL NOTES

- Do not place silt fence across channels or in other areas subject to concentrated flows. Silt fence should not be used as a velocity control BMP. Concentrated flows are any flows greater than 0.5 cfs.
- Maximum sheet or overland flow path length to the silt fence shall be 100-feet.
- Maximum slope steepness (normal [perpendicular] to the fence line) shall be 2:1.
- Silt fence joints, when necessary, shall be completed by one of the following options:
 - Wrap each fabric together at a support post with both ends fastened to the post, with a 1-foot minimum overlap.
 - Overlap silt fence by installing 3-feet passed the support post to which the new silt fence roll is attached. Attach old roll to new roll with heavy-duty plastic ties or;
 - Overlap entire width of each silt fence roll from one support post to the next support post.
- Attach filter fabric to the steel posts using heavy-duty plastic ties that are evenly spaced within the top 8-inches of the fabric.
- Install the silt fence perpendicular to the direction of the stormwater flow and place the silt fence the proper distance from the toe of steep slopes to provide sediment storage and access for maintenance and cleanout.
- Install Silt Fence Checks (Tie-Backs) every 50-100 feet, dependent on slope, along silt fence that is installed with slope and where concentrated flows are expected or are documented along the proposed/installed silt fence.

SILT FENCE
STANDARD DRAWING NO. SC-03 PAGE 1 of 2
NOT TO SCALE
FEBRUARY 2014 DATE

SILT FENCE - POST REQUIREMENTS

- Silt fence posts must be 48-inch long steel posts that meet, at a minimum, the following physical characteristics:
 - Composed of a high strength steel with a minimum yield strength of 50,000 psi.
 - Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 1.48-inches.
 - Weigh 1.25 pounds per foot (± 8%).
- Posts shall be equipped with projections to aid in fastening of filter fabric.
- Steel posts may need to have a metal soil stabilization plate welded near the bottom when installed along steep slopes or installed in loose soils. The plate should have a minimum cross section of 17-square inches and be composed of 15 gauge steel, at a minimum. The metal soil stabilization plate should be completely buried.
- Install posts to a minimum of 24-inches. A minimum height of 1- to 2-inches above the fabric shall be maintained, and a maximum height of 3 feet shall be maintained above the ground.
- Post spacing shall be at a maximum of 6-feet on center.

SILT FENCE - FABRIC REQUIREMENTS

- Silt fence must be composed of woven geotextile filter fabric that consists of the following requirements:
 - Composed of fibers consisting of long chain synthetic polymers of at least 85% by weight of polyolefins, polyesters, or polyamides that are formed into a network such that the filaments or yarns retain dimensional stability relative to each other.
 - Free of any treatment or coating which might adversely alter its physical properties after installation.
 - Free of any defects or flaws that significantly affect its physical and/or filtering properties; and,
 - Have a minimum width of 36-inches.
- Use only fabric appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #34, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.
- 12-inches of the fabric should be placed within excavated trench and tied in when the trench is backfilled.
- Filter Fabric shall be purchased in continuous rolls and cut to the length of the barrier to avoid joints.
- Filter fabric shall be installed at a minimum of 24-inches above the ground.

SILT FENCE - INSPECTION & MAINTENANCE

- The key to functional silt fence is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of silt fence shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall even that produces 1/2-inch or more of precipitation.
- Attention to sediment accumulations along the silt fence is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
- Remove accumulated sediment when it reaches 1/3 the height of the silt fence.
- Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
- Check for areas where stormwater runoff has eroded a channel beneath the silt fence, or where the fence has sagged or collapsed due to runoff overlapping the silt fence. Install checks/tie-backs and/or reinstall silt fence, as necessary.
- Check for tears within the silt fence, areas where silt fence has begun to decompose, and for any other circumstance that may render the silt fence ineffective. Removed damaged silt fence and reinstall new silt fence immediately.
- Silt fence should be removed within 30 days after final stabilization is achieved and once it is removed, the resulting disturbed area shall be permanently stabilized.

SILT FENCE
STANDARD DRAWING NO. SC-03 PAGE 2 of 2
GENERAL NOTES
FEBRUARY 2014 DATE

EXCAVATED PIT CONCRETE WASHOUT

CONCRETE WASHOUT EXCAVATED PIT

STANDARD DRAWING NO. RC-08 PAGE 1 of 1
NOT TO SCALE
FEBRUARY 2014 DATE

LETTERS A MINIMUM OF 5" IN HEIGHT

CONCRETE WASHOUT SIGN DETAIL

CONCRETE WASHOUT EXCAVATED PIT

STANDARD DRAWING NO. RC-08 PAGE 1 of 1
NOT TO SCALE
FEBRUARY 2014 DATE

CONSTRUCTION ENTRANCE

SPECIFICATION	SIZE
ROCK PAD THICKNESS	6 INCHES
ROCK PAD WIDTH	24 FEET
ROCK PAD LENGTH	100 FEET
ROCK PAD STONE SIZE	D = 2-3 INCHES

CONSTRUCTION ENTRANCE
STANDARD DRAWING NO. SC-06 PAGE 1 of 2
NOT TO SCALE
FEBRUARY 2014 DATE

CONSTRUCTION ENTRANCE - GENERAL NOTES

- Stabilized construction entrances should be used at all points where traffic will egress/ingress a construction site onto a public road or any impervious surfaces, such as parking lots.
- Install a non-woven geotextile fabric prior to placing any stone.
- Install a culvert pipe across the entrance when needed to provide positive drainage.
- The entrance shall consist of 2-inch to 3-inch D50 stone placed at a minimum depth of 6-inches.
- Minimum dimensions of the entrance shall be 24-feet wide by 100-feet long, and may be modified as necessary to accommodate site constraints.
- The edges of the entrance shall be tapered out towards the road to prevent tracking at the edge of the entrance.
- Divert all surface runoff and drainage from the stone pad to a sediment trap or basin or other sediment trapping structure.
- Limestone may not be used for the stone pad.

CONSTR. ENTRANCE - INSPECTION & MAINTENANCE

- The key to functional construction entrances is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of construction entrances shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall even that produces 1/2-inch or more of precipitation.
- During regular inspections, check for mud and sediment buildup and pad integrity. Inspection frequencies may need to be more frequent during long periods of wet weather.
- Reshape the stone pad as necessary for drainage and runoff control.
- Wash or replace stones as needed and as directed by site inspector. The stone in the entrance should be washed or replaced whenever the entrance fails to reduce the amount of mud being carried off-site by vehicles. Frequent washing will extend the useful life of stone pad.
- Immediately remove mud and sediment tracked or washed onto adjacent impervious surfaces by brushing or sweeping. Flushing should only be used when the water can be discharged to a sediment trap or basin.
- During maintenance activities, any broken pavement should be repaired immediately.
- Construction entrances should be removed after the site has reached final stabilization. Permanent vegetation should replace areas from which construction entrances have been removed, unless area will be converted to an impervious surface to serve post-construction.

CONSTRUCTION ENTRANCE
STANDARD DRAWING NO. SC-06 PAGE 2 of 2
GENERAL NOTES
FEBRUARY 2014 DATE

SILT FENCE ROCK OUTLET

SILT FENCE ROCK OUTLET

STANDARD DRAWING NO. SC-14 PAGE 1 of 1
NOT TO SCALE
FEBRUARY 2014 DATE

RO PLAN SYMBOL

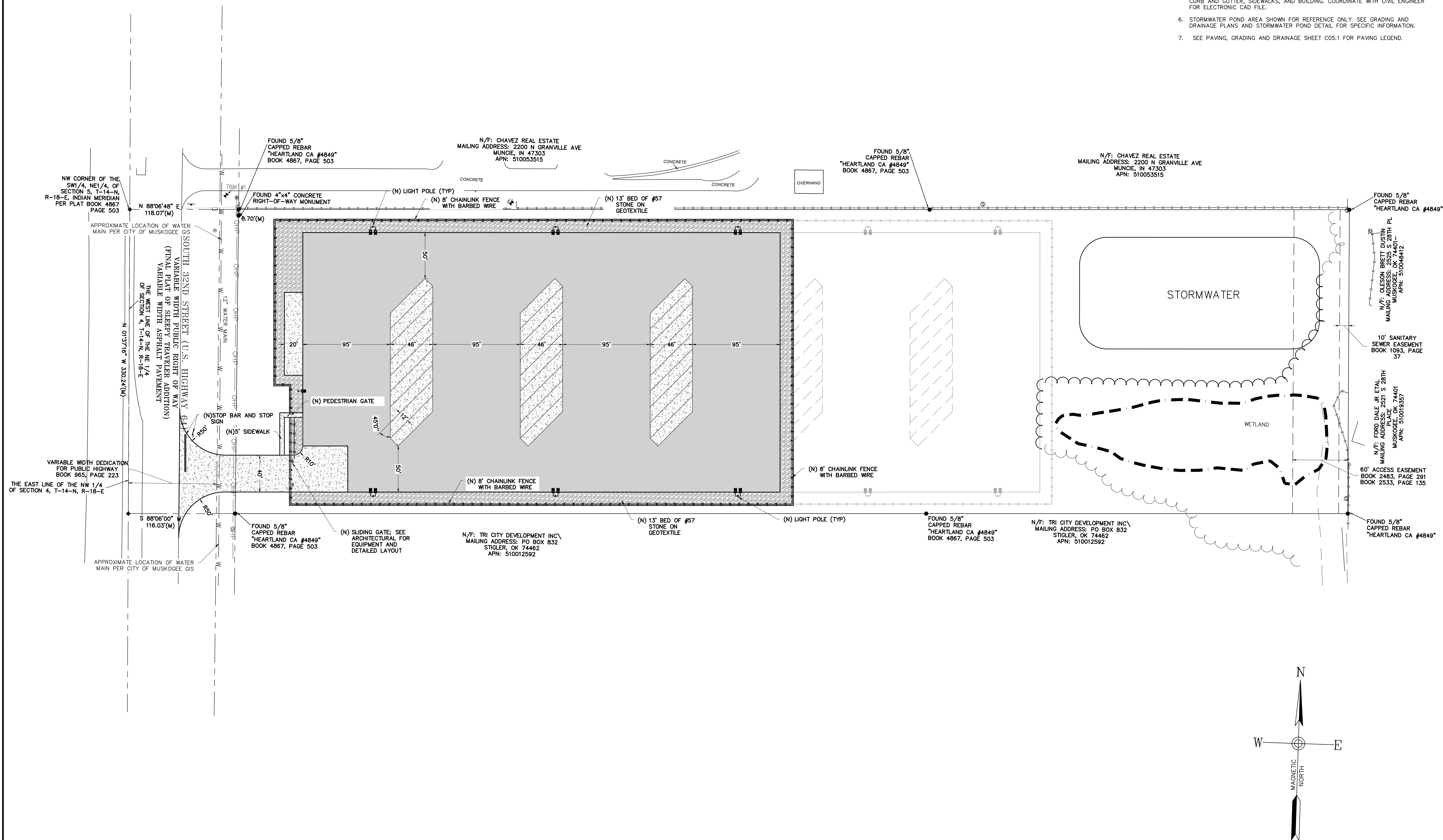
SILT FENCE ROCK OUTLET

STANDARD DRAWING NO. SC-14 PAGE 1 of 1
NOT TO SCALE
FEBRUARY 2014 DATE

NO.	REVISION	DATE	DESCRIPTION

GENERAL NOTES

1. REFERENCE ARCHITECT'S PLANS FOR TRUE BUILDING DIMENSIONS, GATE ENTRANCE REQUIREMENTS, DOORS, TRUCK DOCKS, SIDEWALKS, DUMPSTER PADS, STEPS, TRANSFORMER PADS, CANOPIES, ETC. CONTACT CIVIL ENGINEER WITH ANY DISCREPANCIES SHOWN ON THESE PLANS.
2. ALL DIMENSIONS SHOWN ARE TO OUTSIDE FACE OF BUILDING, FACE OF CURB, OR EDGE OF TRAVELWAY.
3. CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS AND SPECIFICATIONS TO VERIFY ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SEWER LATERALS, DOMESTIC AND FIRE PROTECTION, WATER SERVICE, ELECTRICAL, GAS AND PHONE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS AND CLEARANCES AS SHOWN IN THE CIVIL PLANS CAN BE ACHIEVED.
4. CONTRACTOR SHALL VERIFY FINAL LOCATION OF POWER, GAS, COMMUNICATION, AND LIGHTING WITH UTILITY PROVIDER AND COORDINATE WITH CIVIL ENGINEER IF MODIFICATIONS ARE REQUIRED.
5. CONTRACTOR SHALL HAVE STAKEOUT PERFORMED BY LICENSED SURVEYOR FOR CURB AND GUTTER, SIDEWALKS, AND BUILDING. COORDINATE WITH CIVIL ENGINEER FOR ELECTRONIC CAD FILE.
6. STORMWATER POND AREA SHOWN FOR REFERENCE ONLY. SEE GRADING AND DRAINAGE PLANS AND STORMWATER POND DETAIL FOR SPECIFIC INFORMATION.
7. SEE PAVING, GRADING AND DRAINAGE SHEET C05.1 FOR PAVING LEGEND.

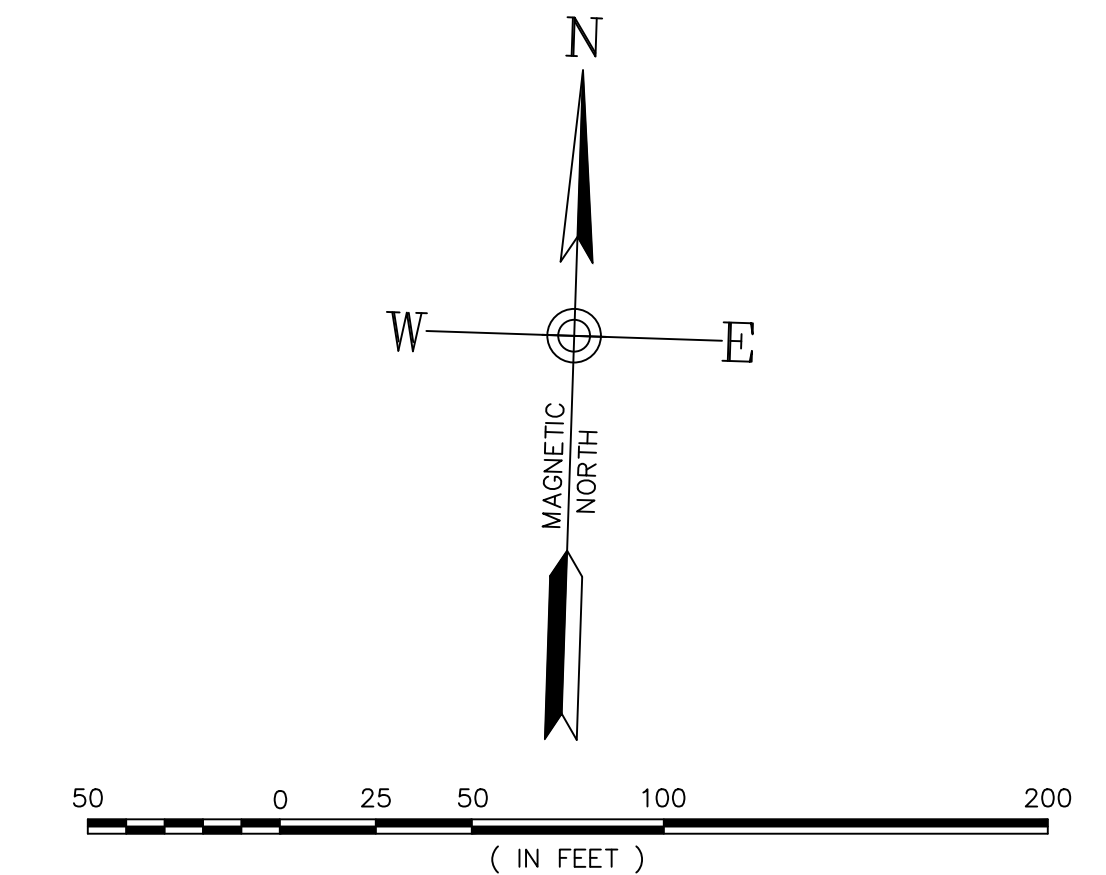


Old Dominion Freight Line
Muskogee, OK

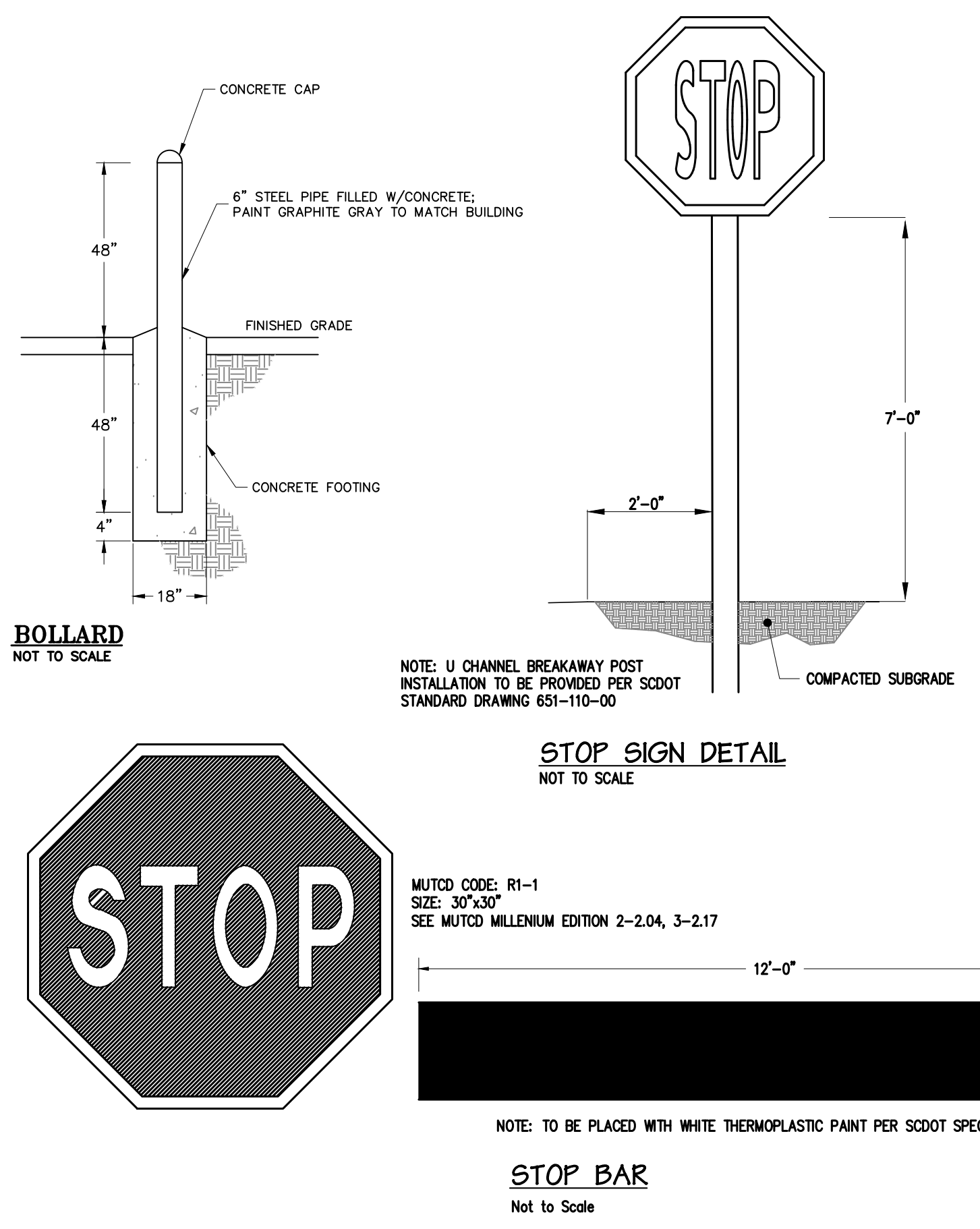
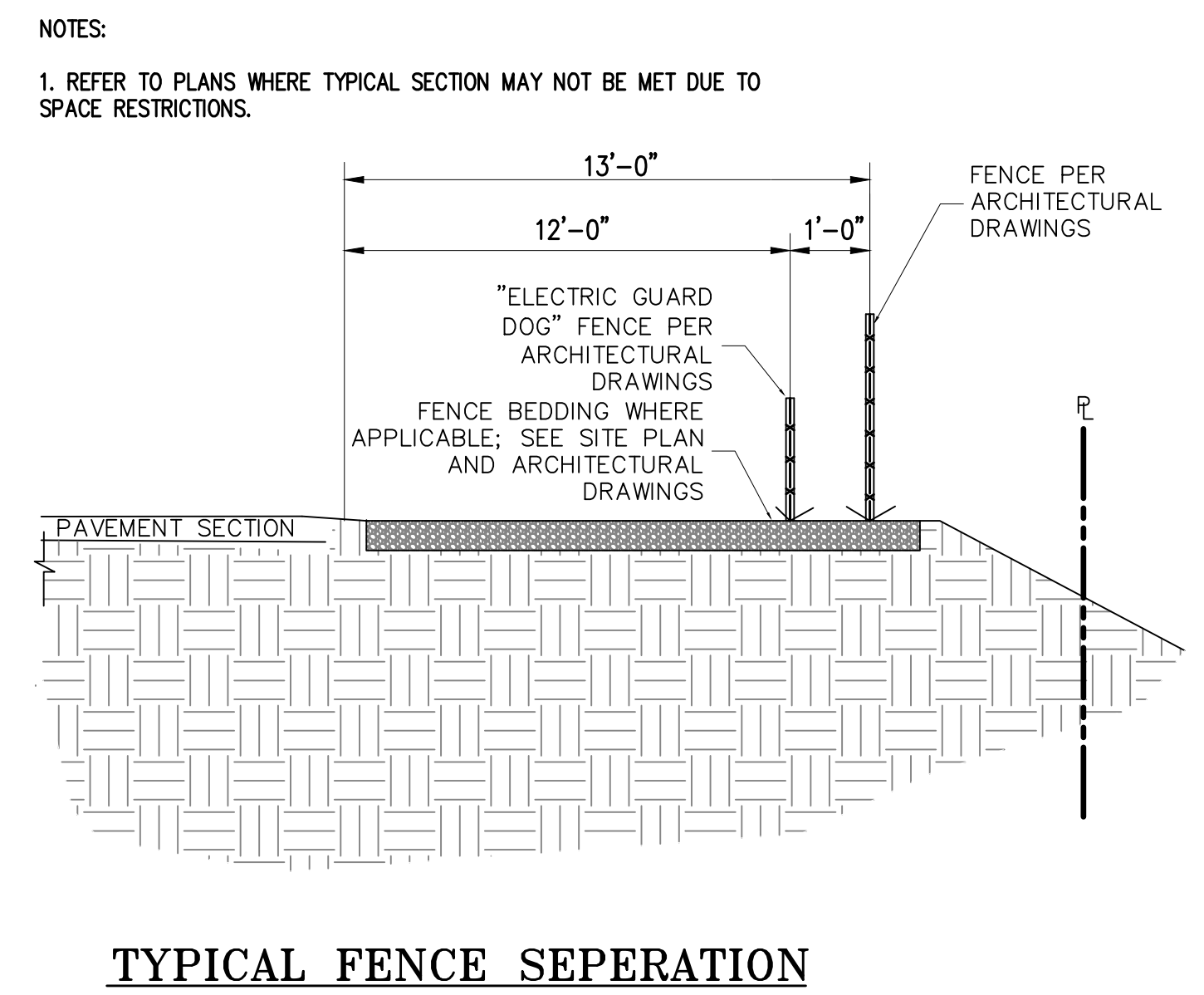
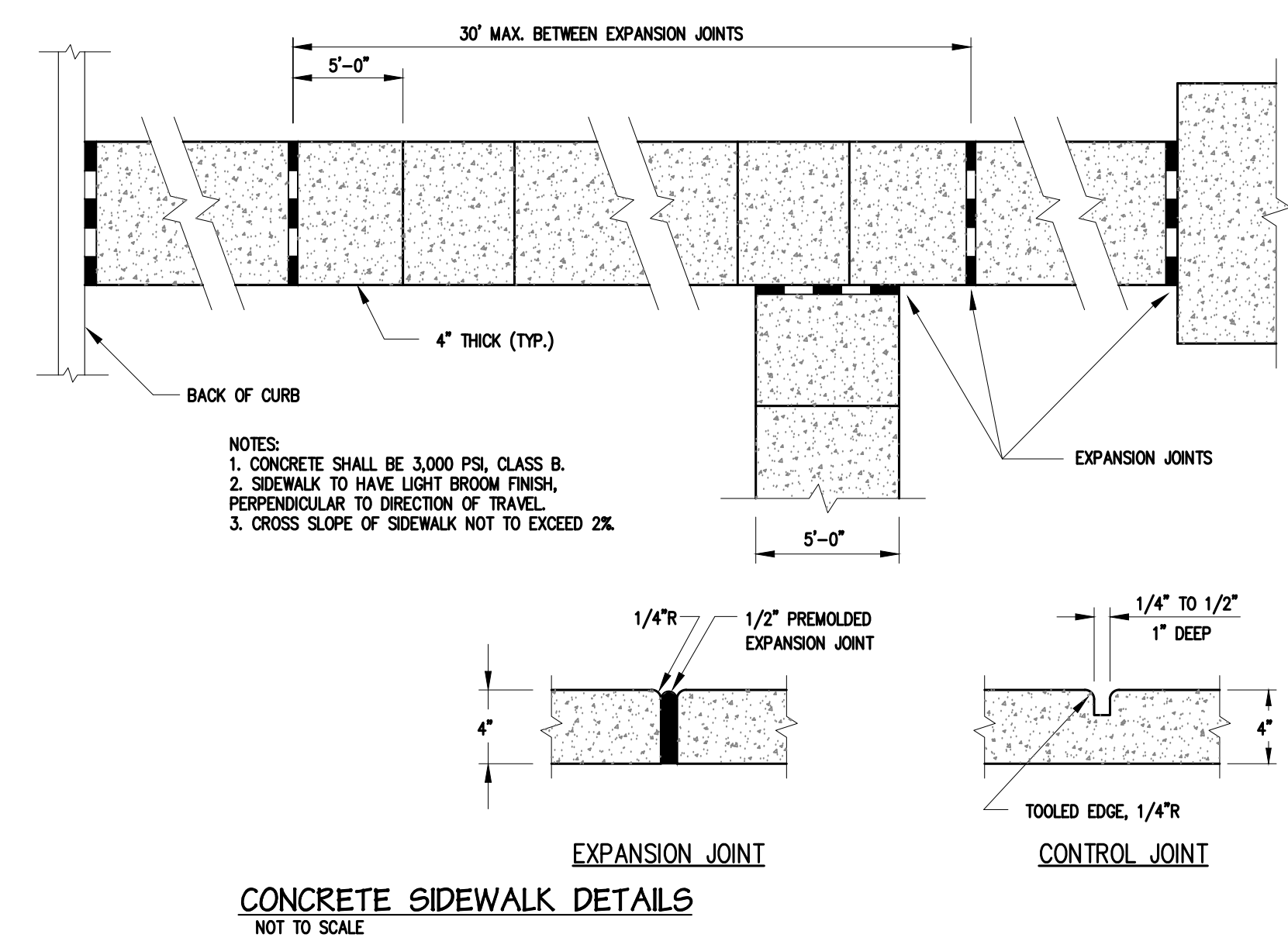
REV	DATE	DESCRIPTION	BY

DRAWN BY: Matt T. Prosser, P.E.
 CHECKED BY: Kyle M. Hoyt, P.E.
 DATE: April 05, 2024
 PROJECT #: 23-099
 SCALE: 1"=50'
 SHEET TITLE: Site Plan
 SHEET NUMBER:

C4.1



DRAWINGS FOR
Old Dominion Freight Line
Muskogee, OK



REV	DATE	DESCRIPTION	BY

DRAWN BY: Matt T. Prosser, P.E.
CHECKED BY: Kyle M. Hoyt, P.E.
DATE: April 05, 2024
PROJECT #: 23-099
SCALE: AS NOTED
SHEET TITLE:
Site Details

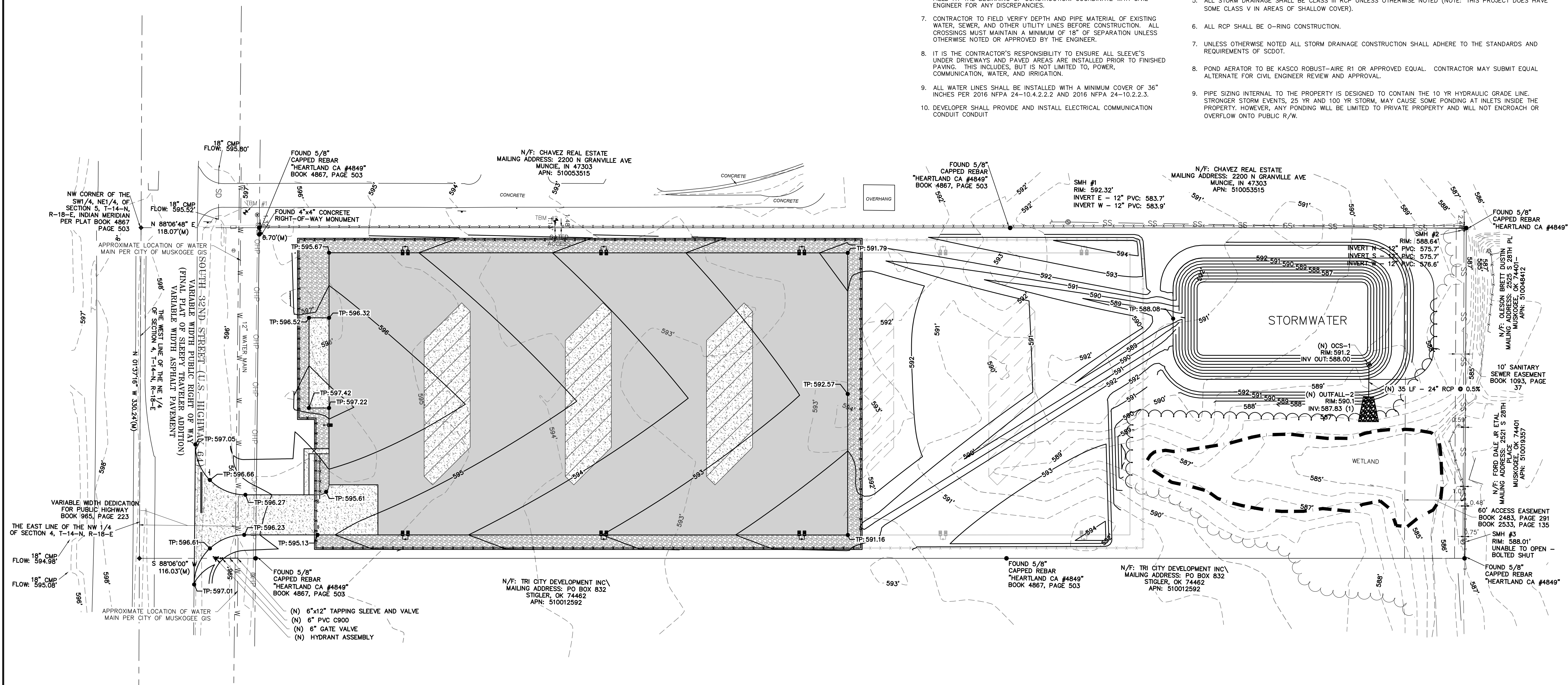
SHEET NUMBER:
C4.2

WATER AND UTILITY GENERAL NOTES:

1. ALL NEW WATER LINES SHALL CONFORM TO CITY OF MUSKOGEE STANDARD SPECIFICATIONS.
2. POWER, GAS, AND COMMUNICATION ARE SHOWN FOR REFERENCE PURPOSES ONLY. ALL UTILITY REQUIREMENTS AND ROUTING SHALL BE CONFIRMED WITH MP&E AND THE UTILITY PROVIDER.
3. 18" MIN. VERTICAL SEPARATION SHALL BE PROVIDED AT ALL UTILITY CROSSINGS UNLESS OTHERWISE NOTED.
4. NOT ALL FITTINGS (I.E. BENDS, RESTRAINTS, ETC.) ARE SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY FITTINGS REQUIRED BASED ON THE ALIGNMENT SHOWN.
5. RESTRAINED JOINTS ARE NOT GRAPHICALLY REFLECTED IN THE DRAWING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT RESTRAINED JOINTS AS REQUIRED UNDER THE CITY OF MUSKOGEE SPECIFICATIONS.
6. ALL EXISTING UTILITIES SHOWN ARE BASED ON PUPS UTILITY LOCATE AND ABOVE GROUND OBSERVATIONS. ALL UTILITIES SHALL BE VERIFIED IN THE FIELD AT THE BEGINNING OF CONSTRUCTION. COORDINATE WITH CIVIL ENGINEER FOR ANY DISCREPANCIES.
7. CONTRACTOR TO FIELD VERIFY DEPTH AND PIPE MATERIAL OF EXISTING WATER, SEWER, AND OTHER UTILITY LINES BEFORE CONSTRUCTION. ALL CROSSINGS MUST MAINTAIN A MINIMUM OF 18" OF SEPARATION UNLESS OTHERWISE NOTED OR APPROVED BY THE ENGINEER.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL SLEEVE'S UNDER DRIVEWAYS AND PAVED AREAS ARE INSTALLED PRIOR TO FINISHED PAVING. THIS INCLUDES, BUT IS NOT LIMITED TO, POWER, COMMUNICATION, WATER, AND IRRIGATION.
9. ALL WATER LINES SHALL BE INSTALLED WITH A MINIMUM COVER OF 36" INCHES PER 2016 NFPA 24-10.4.2.2.2 AND 2016 NFPA 24-10.2.2.3.
10. DEVELOPER SHALL PROVIDE AND INSTALL ELECTRICAL COMMUNICATION CONDUIT CONDUIT

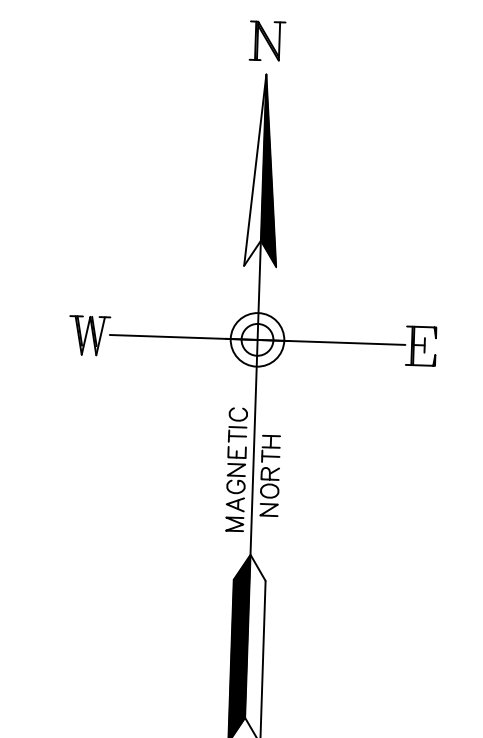
PAVING GRADING AND DRAINAGE NOTES:

1. GRADING IN THIS PLAN CAN BE LIMITED TO 0.1'. WHERE REQUIRED, CONTRACTOR SHALL ENSURE FINER IN-FIELD GRADE ADJUSTMENTS ARE IMPLEMENTED TO ENSURE POSITIVE DRAINAGE IS MAINTAINED. FLAT SLOPES SHALL NOT BE PERMITTED. COORDINATE WITH ENGINEER IF ANY AREAS IN THE PLAN REQUIRE FURTHER DETAIL FOR INSTALLATION.
2. PRIOR TO GRADING ACTIVITIES IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK INTO SURVEY CONTROL AND VERIFY TOPOGRAPHIC INFORMATION. COORDINATE WITH ENGINEER IF DISCREPANCIES ARE ENCOUNTERED WHICH MAY AFFECT ANTICIPATED EARTHWORK QUANTITIES.
3. CONTRACTOR SHALL PROVIDE ADD ALTERNATE PRICING FOR CONCRETE PAVEMENT WITHIN YARD IN LIEU OF HEAVY-DUTY ASPHALT. COORDINATE WITH CIVIL ENGINEER IF NEEDED.
4. THIS PROJECT WILL HAVE A GEOTECHNICAL REPORT. THE REPORT MAY NOT HAVE BEEN AVAILABLE DURING ORIGINAL DESIGN DRAWING CREATION. CONTRACTOR SHALL OBTAIN A COPY OF THIS REPORT ADHERE TO THE REQUIREMENTS OF THE REPORT. COORDINATE WITH CIVIL ENGINEER IF DISCREPANCIES BETWEEN THE REPORT AND DRAWINGS EXIST.
5. ALL STORM DRAINAGE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED (NOTE: THIS PROJECT DOES HAVE SOME CLASS V IN AREAS OF SHALLOW COVER).
6. ALL RCP SHALL BE O-RING CONSTRUCTION.
7. UNLESS OTHERWISE NOTED ALL STORM DRAINAGE CONSTRUCTION SHALL ADHERE TO THE STANDARDS AND REQUIREMENTS OF SCDOT.
8. POND AERATOR TO BE KASCO ROBUST-AIRE R1 OR APPROVED EQUAL. CONTRACTOR MAY SUBMIT EQUAL ALTERNATE FOR CIVIL ENGINEER REVIEW AND APPROVAL.
9. PIPE SIZING INTERNAL TO THE PROPERTY IS DESIGNED TO CONTAIN THE 10 YR HYDRAULIC GRADE LINE. STRONGER STORM EVENTS, 25 YR AND 100 YR STORM, MAY CAUSE SOME PONDING AT INLETS INSIDE THE PROPERTY. HOWEVER, ANY PONDING WILL BE LIMITED TO PRIVATE PROPERTY AND WILL NOT ENCRUGH OR OVERFLOW ONTO PUBLIC R/W.



PAVING LEGEND

- CONCRETE
- HEAVY DUTY ASPHALT



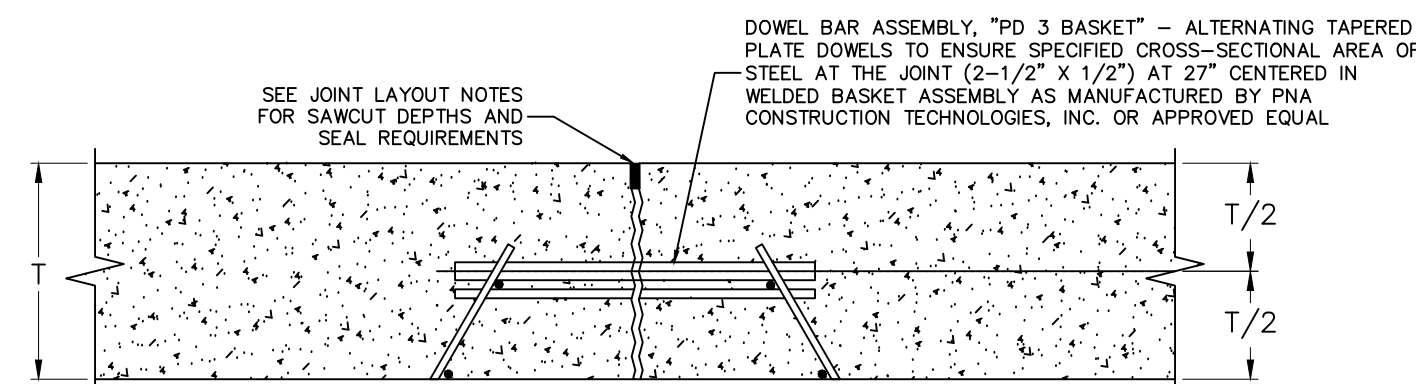
Drawings for
Old Dominion Freight Line
 Muskogee, OK

REV	DATE	DESCRIPTION

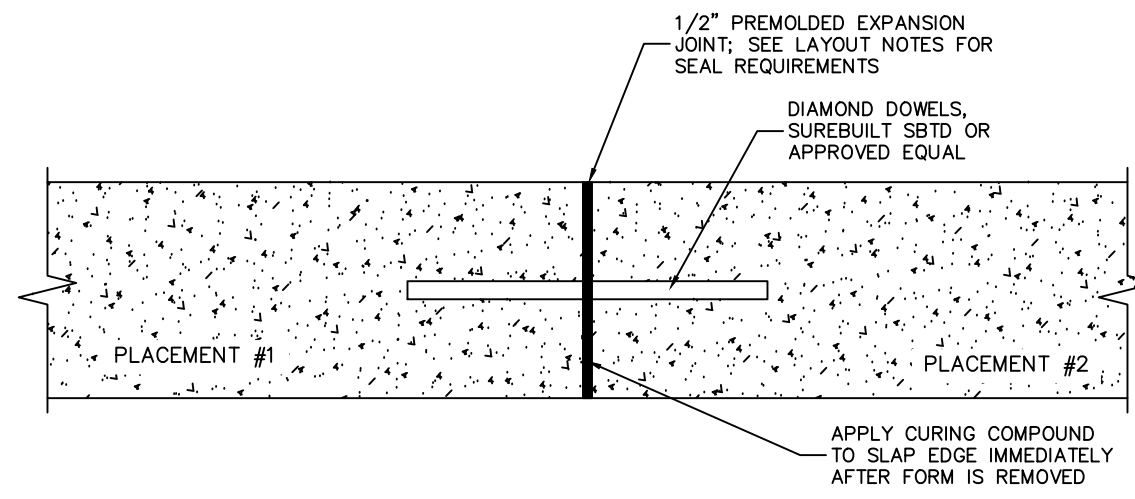
DRAWN BY: Matt T. Prosser, P.E.
 CHECKED BY: Kyle M. Hoyt, P.E.
 DATE: April 05, 2024
 PROJECT #: 23-099
 SCALE: 1"=50'
 SHEET TITLE:
**Paving, Grading,
 Drainage, and
 Utilities**

SHEET NUMBER:
C5.1

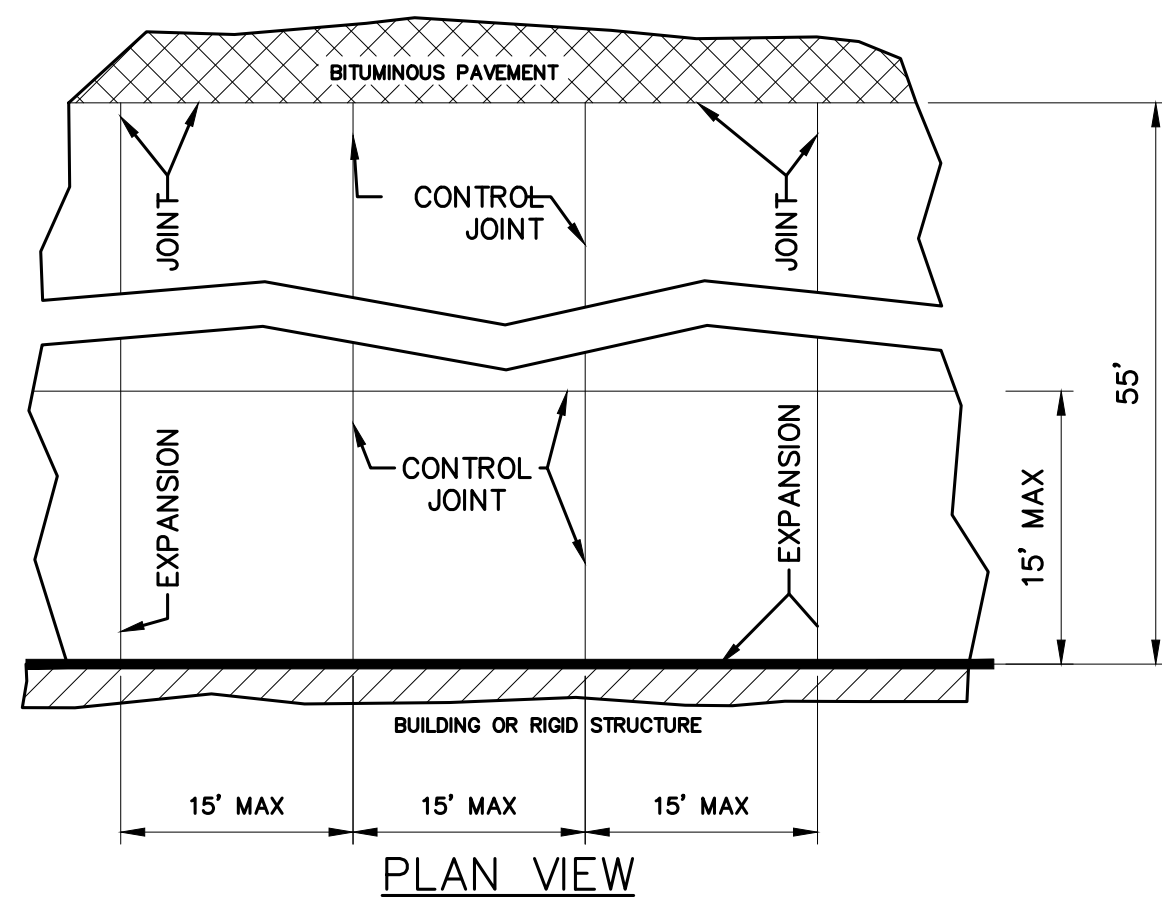




TYPICAL CONTROL JOINT
NOT TO SCALE

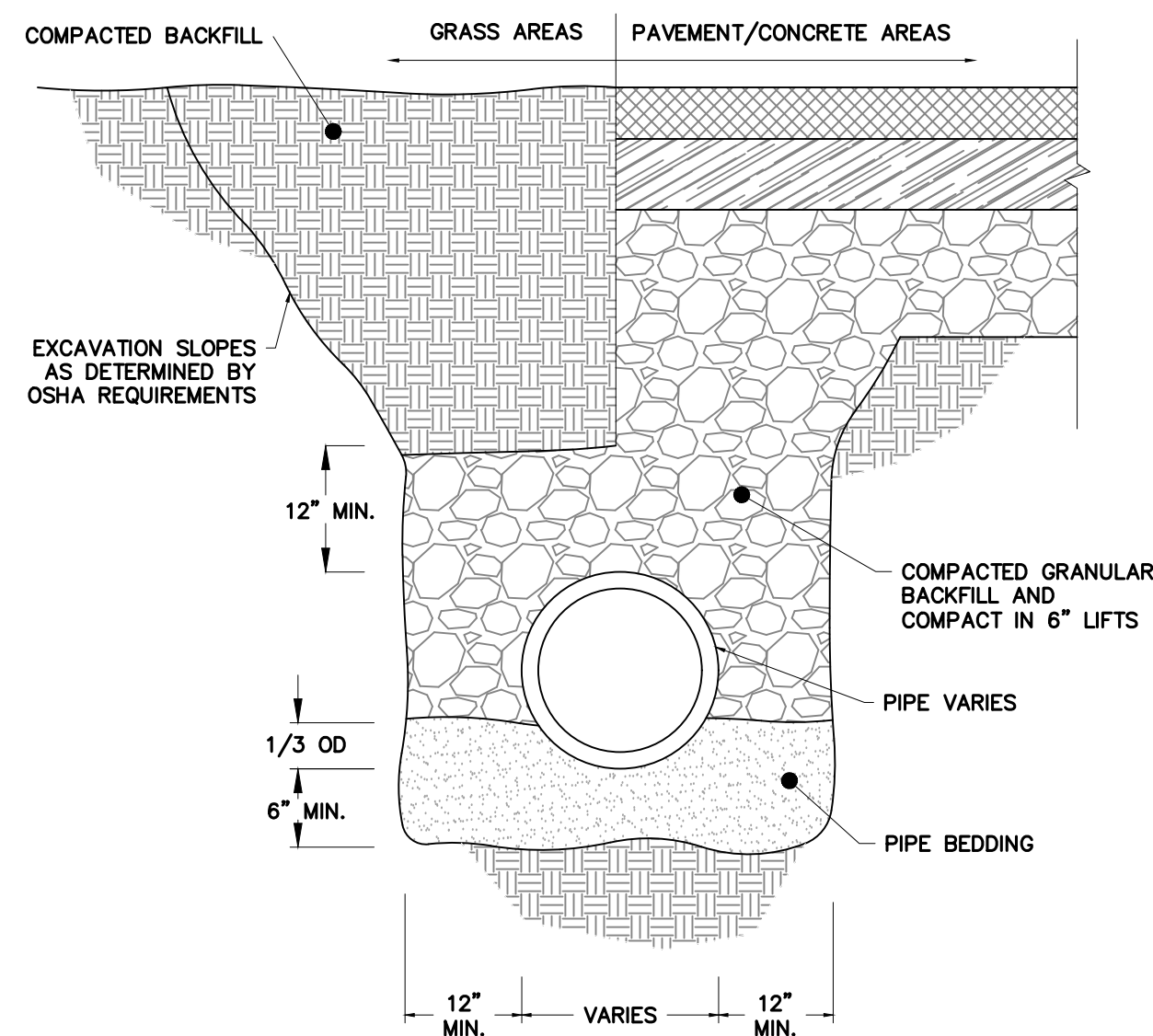


TYPICAL EXPANSION/CONSTRUCTION JOINT
NOT TO SCALE

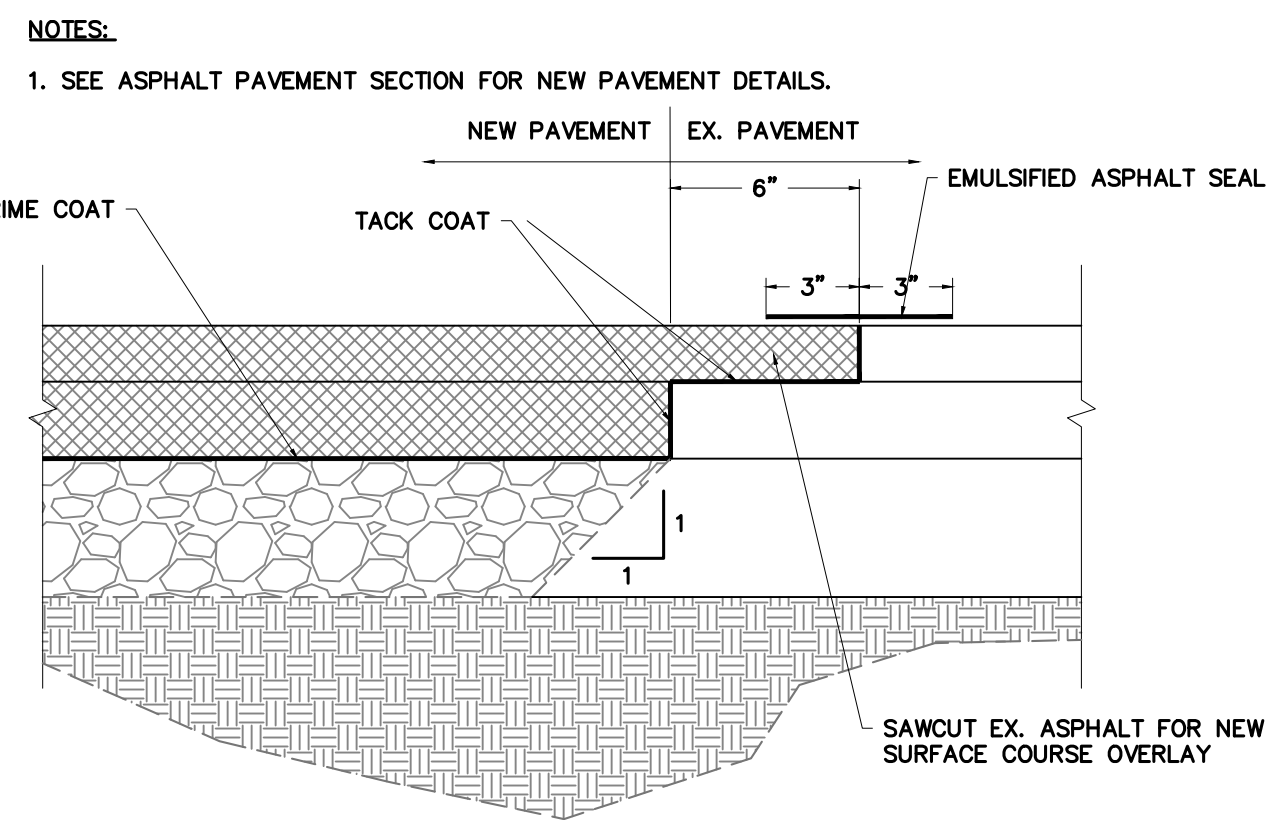


- NOTES:**
- CONTROL JOINTS TO BE 1/4" TO 3/8" SAW CUT. DEPTH TO BE 2" AND JOINT TO BE SEALED WITH SELF-LEVELING, UV RESISTANT, EXTERIOR GRADE, NON-PRIMING POLYURETHANE SEALANT. SEALANT TO BE FLUSH WITH CONCRETE SURFACE.
 - WIRE SUPPORTS SHALL BE SPACED AT 4'-0" (MAX.) IN BOTH DIRECTIONS.
 - IN GENERAL PROVIDE EXPANSION JOINTS AT MAXIMUM 60' SPACING PERPENDICULAR TO THE BUILDING AND AGAINST BUILDINGS, SIDEWALKS, DRIVEWAY APRONS, BUILDING PADS AND OTHER STRUCTURES. EXPANSION JOINTS MAY BE ELIMINATED DURING LARGER CONTINUOUS POURS IF COORDINATED WITH ENGINEER PRIOR TO INSTALLATION. EXPANSION JOINTS SHALL BE REQUIRED BETWEEN POURS IN ANY CASE.
 - DIAMOND DOWELS, SUREBUILT SBTD OR APPROVED EQUAL TO BE PROVIDED AT PAD EXPANSION JOINTS BETWEEN POURS.
 - SEAL CONCRETE/ASPHALT PAVING JOINT WITH PG 64-22 ASPHALT.
 - REFER TO PLAN VIEW FOR LANDING PAD DIMENSIONS.

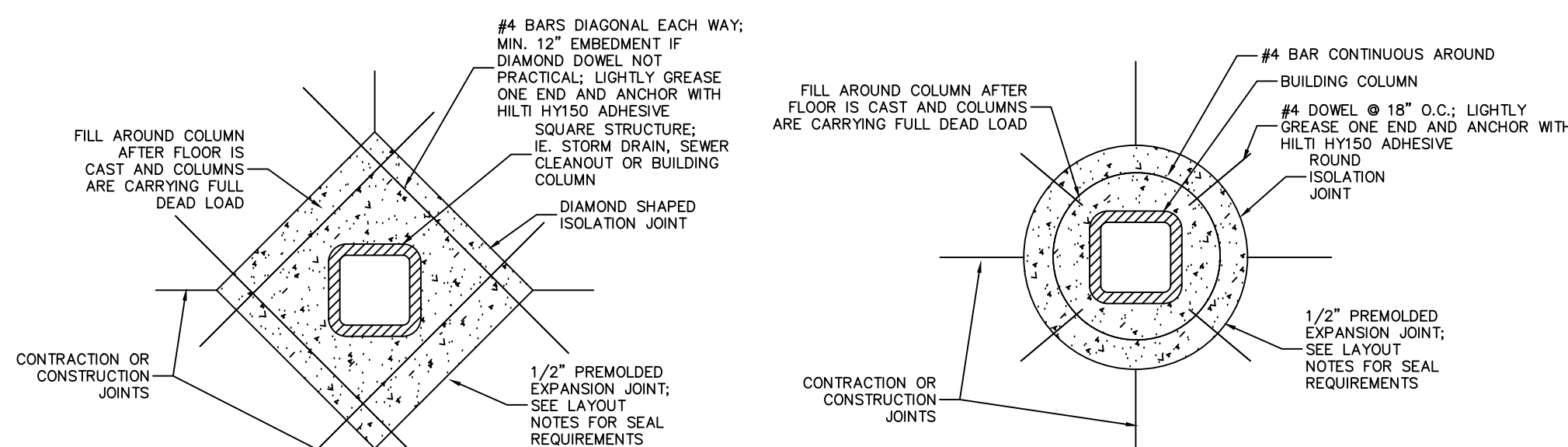
CONCRETE LOADING DOCK & LANDING PAD JOINT DETAILS
NOT TO SCALE



RCP TRENCH DETAIL
NOT TO SCALE

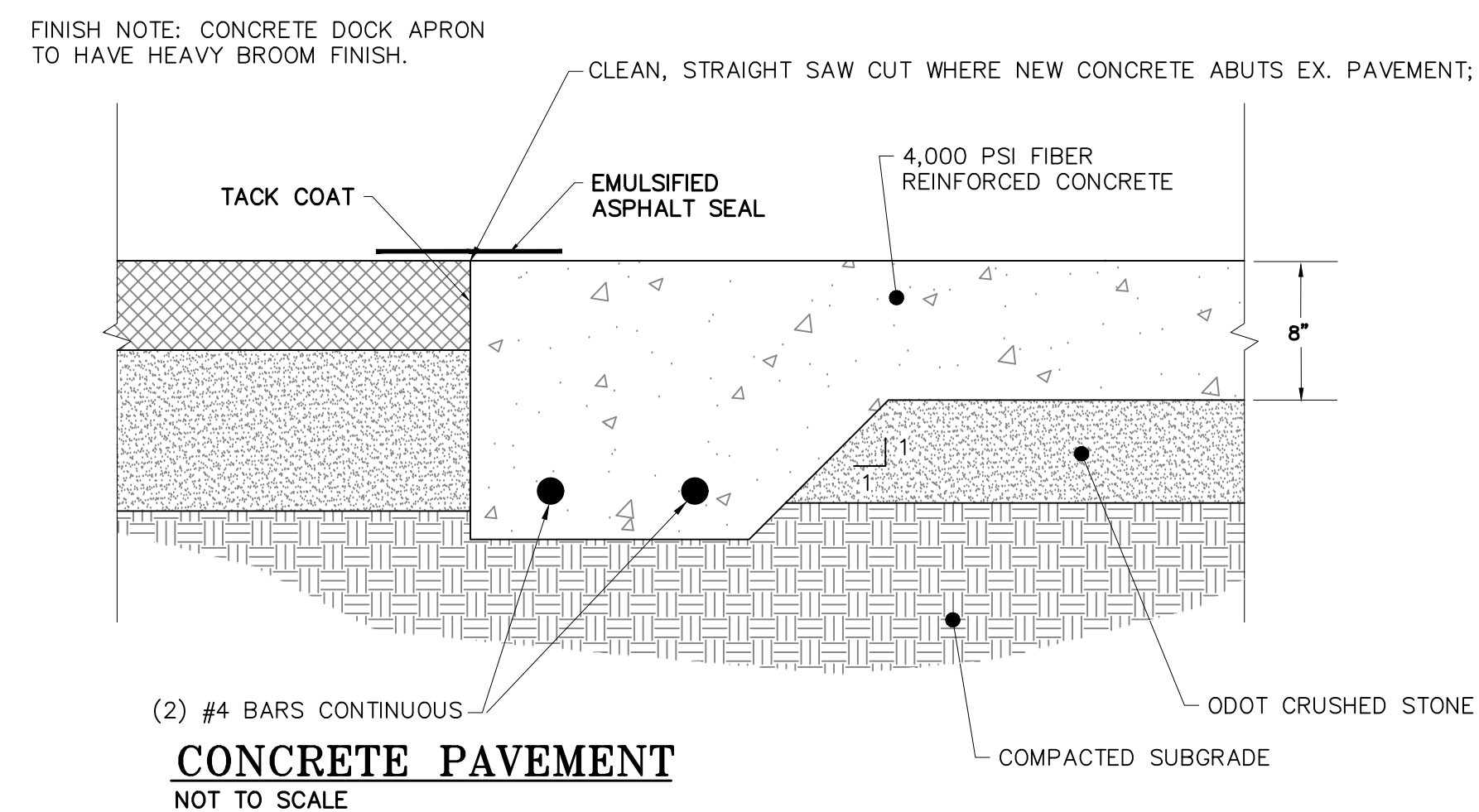


NEW PAVEMENT TO EX PAVEMENT JOINT DETAIL
NOT TO SCALE

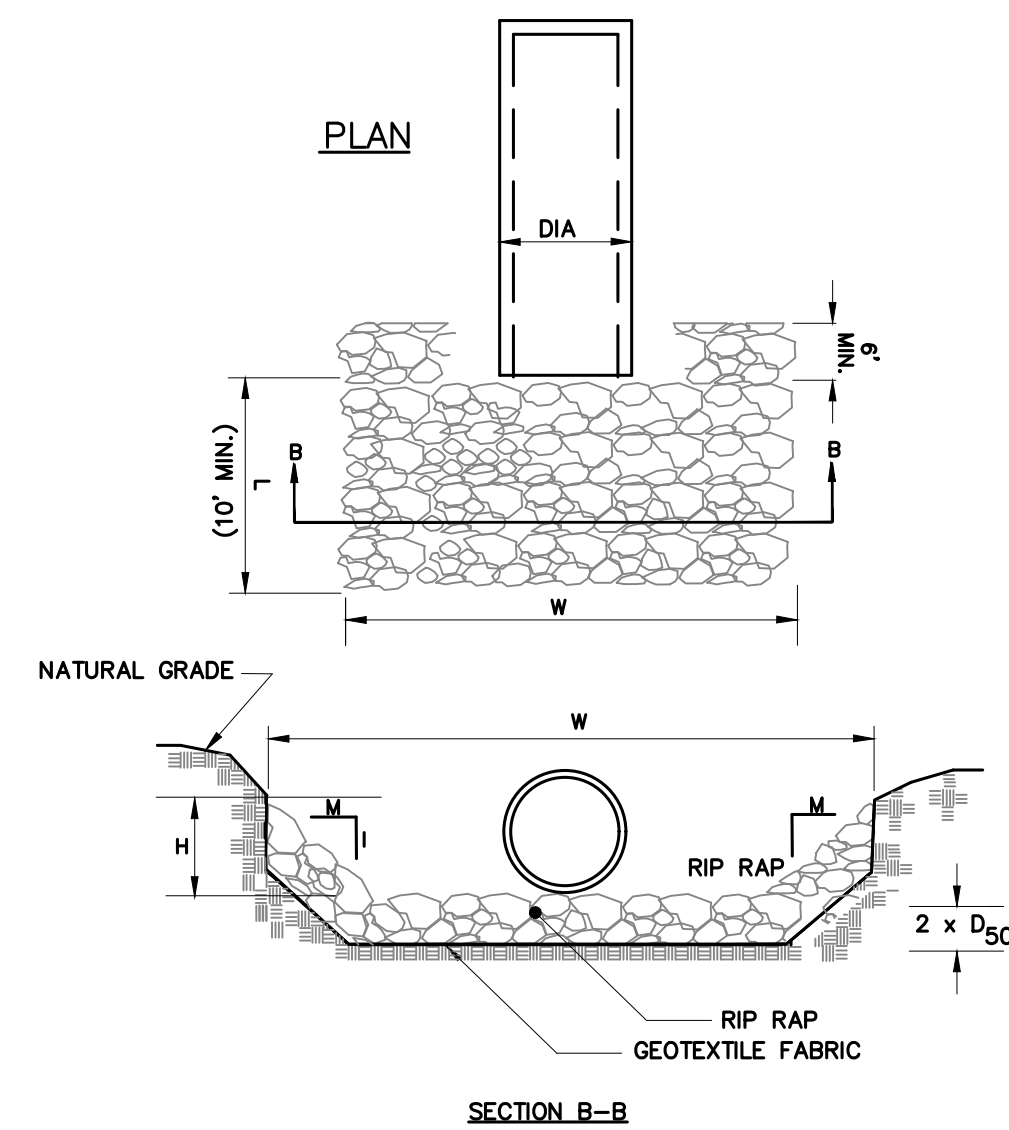


RECTANGULAR EXPANSION JOINT
NOT TO SCALE

ROUND EXPANSION JOINT
NOT TO SCALE

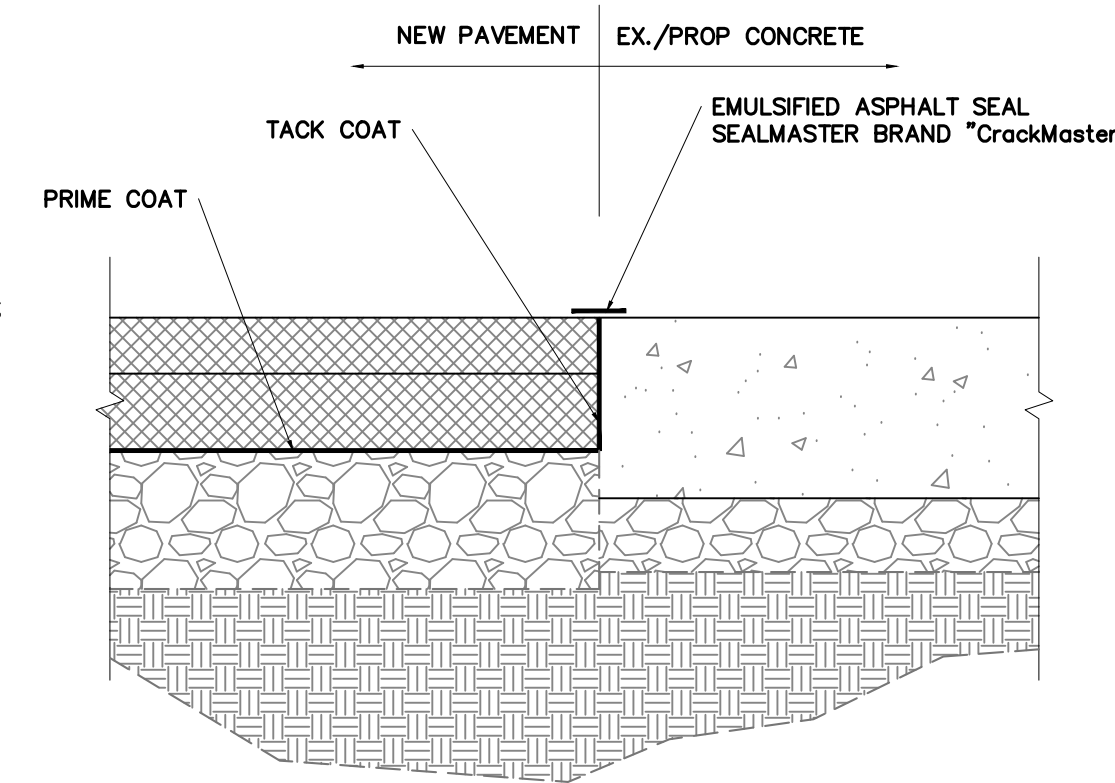


CONCRETE PAVEMENT
NOT TO SCALE



RIPRAP APRON AT PIPE OUTLETS
NOT TO SCALE

- NOTES:**
- SEE ASPHALT PAVING SECTION FOR NEW PAVEMENT DETAILS.
 - SEE CONCRETE APRON DETAILS FOR CONCRETE SECTION REQUIREMENTS.



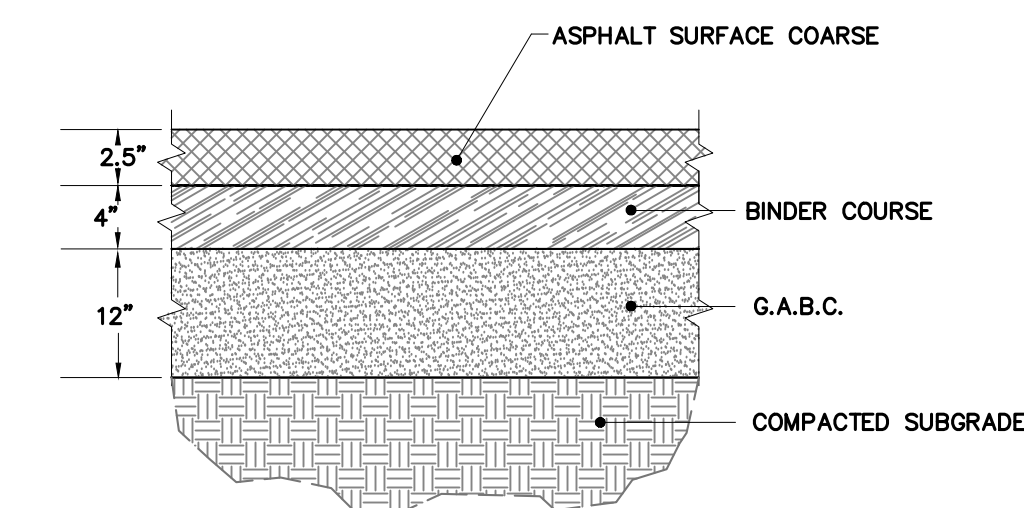
NEW PAVEMENT TO CONCRETE JOINT DETAIL
NOT TO SCALE

- NOTES:**
- GRADED AGGREGATE BASE COURSE (G.A.B.C.) SHALL MEET OKLAHOMA
 - RIPRAP SHOULD EXTEND UP BOTH SIDES OF THE APRON AND AROUND THE END OF THE PIPE OR CULVERT AT THE DISCHARGE OUTLET AT A MAXIMUM SLOPE OF 3:1 (H:1) AND A HEIGHT (H) NOT LESS THAN TWO THIRDS THE PIPE DIAMETER OR CULVERT HEIGHT.
 - THERE SHALL BE NO OVERFLOW FROM THE END OF THE APRON TO THE SURFACE OF THE RECEIVING CHANNEL. THE AREA TO BE PAVED OR RIPRAPPED SHALL BE UNDERCUT SO THAT THE INVERT OF THE APRON SHALL BE AT THE SAME GRADE (FLUSH) WITH THE SURFACE OF THE RECEIVING CHANNEL. THE APRON SHALL HAVE A CUTOFF OR TOE WALL AT THE DOWNSTREAM END.
 - THE WIDTH OF THE END OF THE APRON SHALL BE EQUAL TO THE BOTTOM WIDTH OF THE RECEIVING CHANNEL. MAXIMUM TAPER TO RECEIVING CHANNEL 5:1
 - ALL SUBGRADE FOR STRUCTURE TO BE COMPACTED TO 95% OR GREATER.
 - THE PLACING OF FILL, EITHER LOOSE OR COMPACTED IN THE RECEIVING CHANNEL SHALL NOT BE ALLOWED.
 - NO BENDS OR CURVES IN THE HORIZONTAL ALIGNMENT OF THE APRON WILL BE PERMITTED.
 - GEOTEXTILE FILTER FABRIC IS REQUIRED UNDER RIP RAP.
 - ANY DISTURBED AREA FROM END OF APRON TO RECEIVING CHANNEL MUST BE STABILIZED.
 - WIDTH (W) = DIAMETER OF PIPE + LENGTH OF APRON

Pipe Diameter (DIA)	Rip-rap Size (D50)	Width (W)	Length (L)
24"	6"	15'	25'

PAVEMENT SECTION

- DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
- THE SURFACE COURSE SHALL BE APPLIED NO LESS THAN 4 DAYS AND NO MORE THAN 7 DAYS AFTER THE APPLICATION OF PRIME COAT EXCEPT AS APPROVED BY THE ENGINEER.
- THE SURFACE COURSE SHALL MEET THE REQUIREMENTS OF ODOT.
- THE SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH ODOT STANDARDS.
- REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL ASPHALT PAVING REQUIREMENTS.



HEAVY DUTY ASPHALT
NOT TO SCALE



Old Dominion Freight Line
Muskegee, OK

REV	DATE	DESCRIPTION	BY

DRAWN BY: Matt T. Prosser, P.E.
 CHECKED BY: Kyle M. Hoyt, P.E.
 DATE: April 05, 2024
 PROJECT #: 23-099
 SCALE: AS NOTED
 SHEET TITLE: Paving, Grading, and Drainage Details
 SHEET NUMBER:

C5.2

RESOLUTION NO. 2955

A RESOLUTION APPROVING AN AMENDMENT TO THE FUTURE LAND USE MAP FOR THE CITY OF MUSKOGEE FROM A SINGLE FAMILY RESIDENTIAL DISTRICT TO AN INDUSTRIAL DISTRICT.

WHEREAS, the City Planning Commission and the Muskogee City Council have adopted the Future Land Use Map; and

WHEREAS, the Future Land Use Map functions as the comprehensive plan in consideration of matters affecting the orderly urbanization of the community; and

WHEREAS, Title 11, Section 43-103, Oklahoma State Statutes, requires zoning districts to be in accordance with the comprehensive plan (Future Land Use Map); and

WHEREAS, the Future Land Use Map recognizes that changes may occur in the community which may cause the necessity of amending said plan; and, WHEREAS, a public hearing has been held on MAY 6, 2024, before the City Planning Commission on the property described in Section 1 hereof; and

WHEREAS, in accordance with Title 11 Oklahoma Statutes, Section 43-105, the Muskogee City Council shall approve any amendment to the Land Use Plan. NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Muskogee, Oklahoma, that:

SECTION 1. An amendment to the Future Land Use Map from A SINGLE FAMILY RESIDENTIAL DISTRICT TO AN INDUSTRIAL DISTRICT located on the tract of land described as:

A TRACT OF LAND BEING ALL OF LOT 1, BLOCK 1, OF THE SLEEPY TRAVELER ADDITION, FILED IN THE MUSKOGEE COUNTY CLERK'S OFFICE IN PLAT BOOK 4867, PAGE 503, AND A PORTION OF THE SOUTHWEST QUARTER (SW/4) OF THE NORTHEAST QUARTER (NE/4) OF SECTION FOUR (4), TOWNSHIP FOURTEEN NORTH (T14N), RANGE EIGHTEEN EAST (R18E) OF THE INDIAN MERIDIAN, MUSKOGEE COUNTY, OKLAHOMA, TOGETHER BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 1, BLOCK 1, MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE; THENCE N88°06'48"E, PASSING THROUGH A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE FOR THE NORTHEAST CORNER OF SAID LOT 1, BLOCK 1 AT A DISTANCE OF 749.94 FEET, AND CONTINUING FOR A TOTAL DISTANCE OF 1205.56 FEET TO A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE; THENCE S01°36'13"E A DISTANCE OF 329.93 FEET TO A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE; THENCE S88°06'00"W, PASSING THROUGH A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE FOR THE SOUTHEAST CORNER OF SAID LOT 1, BLOCK 1 AT A DISTANCE OF 457.58 FEET, AND CONTINUING FOR A TOTAL DISTANCE OF 1207.50 FEET TO A POINT MARKED BY A 5/8" REBAR WITH CAP STAMPED "CA 4849" FOUND IN PLACE, SAID POINT BEING ON THE PLATTED RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 64; THENCE ALONG SAID LINE N01°16'02"W A DISTANCE OF 330.22 FEET TO THE

**POINT OF BEGINNING SAID TRACT HAVING AN AREA OF 398,231.9 SQUARE FEET
OR 9.142 ACRES, MORE OR LESS.**

PASSED and APPROVED by the Mayor and Council of the City of Muskogee this _____ day
of JUNE, 2024.

W. PATRICK CALE, MAYOR

ATTEST:

TAMMY L. TRACY, CITY CLERK

APPROVED as to form and legality this _____ day of _____, 20____.

KATRINA BODENHAMER, CITY ATTORNEY

DRAFT

Meeting Date: 05/06/2024

Initiator: Jody King, Planning Director

Information

AGENDA ITEM TITLE:

Consider approval of the lot split request for the property located at 113 & 115 N R Street, or take other necessary action. (Jody King)

LEGAL DESCRIPTION:

TRACT 1: A TRACT OF LAND SITUATED IN THE SOUTH 115 FEET OF THE NORTH 265 FEET OF BLOCK 12 IN CRABTREE ADDITION TO THE CITY OF MUSKOGEE, MUSKOGEE COUNTY, STATE OF OKLAHOMA: WITH THE BASIS OF BEARING OF THIS DESCRIPTION BEING NAD83 OKLAHOMA STATE PLANE, AND PREPARED ON 4/17/24 BY TONY ROBISON, LS #1686: SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS: COMMENCING AT THE NE CORNER OF BLOCK 12; THENCE S1°29'13"E ALONG THE EAST LINE OF BLOCK 12 A DISTANCE OF (149.89 FEET MEASURED, 150.00 FEET RECORD) TO THE POINT OF BEGINNING; THENCE CONTINUING S1°29'13"E A DISTANCE OF 54.70 FEET; THENCE S87°11'39"W A DISTANCE OF (109.68 FEET MEASURED, 110.00 FEET RECORD); THENCE N1°37'50"W A DISTANCE OF 57.00 FEET TO A POINT 150.00 FEET SOUTH OF THE COMPUTED NW CORNER OF BLOCK 12; THENCE N87°24'58"E A DISTANCE OF (109.80 FEET MEASURED, 110.00 FEET RECORD) TO THE POINT BEGINNING, CONTAINING 0.14 ACRES MORE OR LESS.

TRACT 2: A TRACT OF LAND SITUATED IN THE SOUTH 115 FEET OF THE NORTH 265 FEET OF BLOCK 12 IN CRABTREE ADDITION TO THE CITY OF MUSKOGEE, MUSKOGEE COUNTY, STATE OF OKLAHOMA: WITH THE BASIS OF BEARING OF THIS DESCRIPTION BEING NAD83 OKLAHOMA STATE PLANE, AND PREPARED ON 4/17/24 BY TONY ROBISON, LS #1686: SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS: COMMENCING AT THE NE CORNER OF BLOCK 12; THENCE S1°29'13"E ALONG THE EAST LINE OF BLOCK 12 A DISTANCE OF (204.55 FEET MEASURED, 204.70 FEET RECORD) TO THE POINT OF BEGINNING; THENCE CONTINUING S1°29'13"E A DISTANCE OF 60.30 FEET TO THE SE CORNER OF SAID SOUTH 115 FEET; THENCE S88°22'49"W A DISTANCE OF (109.50 FEET MEASURED, 110.00 FEET RECORD); THENCE N1°37'50"W A DISTANCE OF 58.00 FEET TO A POINT 207.00 FEET SOUTH OF THE COMPUTED NW CORNER OF BLOCK 12; THENCE N87°11'39"E A DISTANCE OF (109.68 FEET MEASURED, 110.00 FEET RECORD) TO THE POINT BEGINNING, CONTAINING 0.15 ACRES MORE OR LESS.

BACKGROUND:

Cook Properties Management, LLC is requesting the split of a lot consisting of a portion of Block 12 of the Crabtree Addition into two tracts. The existing lot is a split lot from a single lot and block originally platted in 1906. To date, there are two dwelling structures on the existing lot and the lot split would give each existing lot a structure of its own. The lot and structures are legally nonconforming, and the lot split will be allowed, continuing the legally nonconforming status.

RECOMMENDED STAFF ACTION:

Approve Lot Split

Fiscal Impact

Attachments

Staff Report

Planning & Community Development Staff Report

City of Muskogee Planning & Zoning Commission, Monday, May 6, 2024 at 9:00 A.M. at City of Muskogee City Hall, 229 W Okmulgee Ave., 3rd Floor Council Chambers

Consider approval of the lot split request for the property located at 113 & 115 N R Street.

Planning Department Analysis

Current Zoning & Use: R-1 Single Family Residential, Single Family Housing

Proposed Zoning & Use: Same

SE quarter of Section 25, Township 15 North, Range 18 East of the Indian Meridian.

Street Address: 113 & 115 N R Street

Legal Description:

TRACT 1: A TRACT OF LAND SITUATED IN THE SOUTH 115 FEET OF THE NORTH 265 FEET OF BLOCK 12 IN CRABTREE ADDITION TO THE CITY OF MUSKOGEE, MUSKOGEE COUNTY, STATE OF OKLAHOMA: WITH THE BASIS OF BEARING OF THIS DESCRIPTION BEING NAD83 OKLAHOMA STATE PLANE, AND PREPARED ON 4/17/24 BY TONY ROBISON, LS #1686: SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS: COMMENCING AT THE NE CORNER OF BLOCK 12; THENCE S1°29'13"E ALONG THE EAST LINE OF BLOCK 12 A DISTANCE OF (149.89 FEET MEASURED, 150.00 FEET RECORD) TO THE POINT OF BEGINNING; THENCE CONTINUING S1°29'13"E A DISTANCE OF 54.70 FEET; THENCE S87°11'39"W A DISTANCE OF (109.68 FEET MEASURED, 110.00 FEET RECORD); THENCE N1°37'50"W A DISTANCE OF 57.00 FEET TO A POINT 150.00 FEET SOUTH OF THE COMPUTED NW CORNER OF BLOCK 12; THENCE N87°24'58"E A DISTANCE OF (109.80 FEET MEASURED, 110.00 FEET RECORD) TO THE POINT BEGINNING, CONTAINING 0.14 ACRES MORE OR LESS.

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Discussion: Cook Properties Management, LLC is requesting the split of a lot consisted of a portion of block 12 of the Crabtree Addition into two tracts. The existing lot is a split lot from a single lot and block originally platted in 1906. To date, there are two dwelling structures on the existing lot and the lot split would give each existing a structure its own lot. The lot and structures in itself is a legally nonconforming lot and the lot split will be allowed, continuing the legally nonconforming status.

RECOMMENDATION: Approve the Lot Split

