

Randi Stringham, Chair
Tim Patel, Vice-chair
Sonia Martinez, Board Member
Susan Rand, Board Member
Amanda Hofmann, Board Member
Patty Smith, Board Member
Kasey Crutcher, Board Member

Mary Raum, Marketing Manager



**NOTICE OF MEETING
TOURISM ADVISORY BOARD
August 17, 2021
11:00 AM
Council Chambers
504 N. Queen Street
Palestine, TX**

Zoom Link:

<https://us02web.zoom.us/j/81988185060?pwd=Z21CZWVZaVgrcjdlUEY5cEM3RmlUUT09>

Meeting ID: 819 8818 5060

Passcode: 924564

One tap mobile

+13462487799,,81988185060#,,, *924564# US

Note: when you are joining a Zoom meeting by phone, you can use your phone's dial pad to enter the commands *6 for toggling mute/unmute and *9 to "raise your hand."

Follow us live at: [facebook.com/palestinetx/](https://www.facebook.com/palestinetx/)

A. CALL TO ORDER

B. PROPOSED CHANGES OF AGENDA ITEMS

C. PUBLIC COMMENTS

Any citizen wishing to speak during public comments regarding an item on or off the agenda may do so during this section of the agenda. All comments must be no more than five minutes in length. Any comments regarding items, not on the posted agenda may not be discussed or responded to by the Board. Members of the public may join via Zoom or in person.

D. CONFLICT OF INTEREST DISCLOSURES

E. APPROVAL OF MINUTES

1. Review and consider approval of the July 27, 2021 Board Minutes.

F. DISCUSSION AND ACTION ITEMS

1. Review and consider the Hotel Occupancy Tax Application for restoration efforts for the Mt. Vernon A.M.E. Church located at 913 Calhoun St.
2. Review, consider and recommend one of the submissions for Mural RFP 2021-005 to be awarded.

3. Review and consider submissions for Mural RFP 2021-006.

G. **ADJOURNMENT**

I certify that the above Notice of Meeting was posted on the outdoor bulletin board at the main entrance to City Hall, 504 N. Queen Street, Palestine, Texas, in compliance with Chapter 551 of the Texas Government Code on **Friday, August 13, 2021, at 5:00 p.m.**



Mary Raum, Tourism Marketing Manager

IN ACCORDANCE WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) PERSONS IN NEED OF SPECIAL ACCOMMODATION TO PARTICIPATE IN THIS PROCEEDING SHALL, CONTACT THE CITY SECRETARY'S OFFICE VIA EMAIL AT therrera@palestine-tx.org or 903-731-8414.



Agenda Date: 08/17/2021

To: Tourism Advisory Board

From: Mary Raum, Tourism Marketing Manager

Agenda Item: Consider approval of the Tourism Advisory Board Meeting Minutes from July 27, 2021

Date Submitted: 08/13/2021

SUMMARY:

Review and consider approval of the July 27, 2021 Board Minutes

RECOMMENDED ACTION:

Review and consider approval of the July 27, 2021 Board Minutes

CITY MANAGER APPROVAL:

Attachments

TAB Meeting Minutes 7.27.21

THE STATE OF TEXAS §
COUNTY OF ANDERSON §
CITY OF PALESTINE §

The Tourism Advisory Board of the City of Palestine, Texas convened in a Regular Meeting on Tuesday, July 27, 2021 at 4:00 PM. for the Regular Meeting in the Palestine City Council Chambers at 504 N. Queen Street, with the following people present via ZOOM and/or in person:

Randi Stringham
Tim Patel
Sonia Martinez
Patty Smith
Kasey Crutcher
Staff present: Mary Raum, Lisa Denton, Greg Laudadio, April Jackson
Guests Present: Jeremy Janz, Tabitha Enge

CALL TO ORDER – REGULAR MEETING

Randi Stringham called the Regular Meeting to order at 4:00 p.m.

PROPOSED CHANGES OF AGENDA ITEMS

None

PUBLIC COMMENTS

None

CONFLICT OF INTEREST DISCLOSURES

Board Member Sonia Martinez announced that she will recuse herself from the meeting during the YMCA HOT Grant Application due to conflict of interest.

REGULAR AGENDA

MANAGERS REPORT

1. Tourism Marketing Manager, Mary Raum, reported the May and June 2021 Tourism Reports to the board.

APPROVAL OF MINUTES

1. Minutes of the May 4, 2021, Tourism Advisory Board Meeting were reviewed. Motion was made by Patty Smith to approve as written, second by Sonia Martinez. All in favor, motion passed.

BOARD DISCUSSION AND ACTION ITEMS

1. Discussion and update on the Palestine Community Forest Committee Project. Randi Stringham and Patty Smith shared updates on their designated areas of responsibility for the project. Committee members have been watching webinars on trail construction ROI and design details. No action required.
2. Sonia Martinez excused herself from the meeting for the next item.
3. Staff presented the HOT grant application for the Palestine YMCA for the Chick-fil-A Fall Classic Soccer Tournament. Also presenting was Jeremy Janz on behalf of the YMCA. Motion to approve \$8,500.00 for the Palestine YMCA was made by Tim Patel, second by Patty Smith. All in favor, none opposed, motion passed.
4. Sonia Martinez rejoined the meeting.
5. Staff presented the HOT grant application for the Mt Vernon AME Church for the preservation and restoration in the amount of \$5,000. A motion was made by Sonia Martinez to recommend the \$5,000.00 to City Council and Patty Smith second the motion. After discussion, none were in favor and the motion died. A second motion was made by Randi Stringham to table this application and have the applicant resubmit requesting up to \$15,000.00. The motion was second by Sonia Martinez. All in favor, none opposed. Motion passed.

ADJOURN

With no other business to come before the Tourism Advisory Board, the meeting was adjourned by Randi Stringham at 4:35 pm.

PASSED AND APPROVED THIS ____ DAY OF _____, 2021.

ATTEST: _____ Mary Raum, Tourism Marketing Manager



Agenda Date: 08/17/2021
To: Tourism Advisory Board
From: Mary Raum, Tourism Marketing Manager
Agenda Item: Hotel Occupancy Tax Funding Application Consideration – Mt Vernon AME Church
Date Submitted: 08/10/2021

SUMMARY:

Review and consider the Hotel Occupancy Tax Application for restoration efforts for the Mt. Vernon A.M.E. Church located at 913 Calhoun St. Built in 1921, this structure, listed on the Nation Register for Historic Places is celebrating 100 years this year. The preservation of the church will allow the church to be used as a place of worship, historic attraction and venue for special events in the future. Upon completion, church memorabilia and artifacts will be showcased promoting and education on African American/Black heritage in the City. This application meets the two part test and falls under the category of Historical restoration and preservation projects or activities of advertising and conducting solicitation and promotional programs to encourage tourists and convention delegates to visit preserved historic sites or museums. The applicant is requesting \$15,000.00.

RECOMMENDED ACTION:

Review and consider the Hotel Occupancy Tax application for funding in the amount of \$15,000.00.

CITY MANAGER APPROVAL:

Fiscal Impact

Fiscal Year: 2020/21
Budgeted Y/N: Y
Account #: 150-5-740-3350
Amount Requested: \$15,000.00

Attachments

HOT Application - Mt Vernon
Mt Vernon Cert of Ins.
Mt Vernon Preservation Plan



Hotel Occupancy Tax Funding Application

Which category or categories apply to funding request? Please indicate the amount requested under each category. See Policy for category descriptions

- ☐ Convention Center or Visitor Information Center: construction, improvement, equipping, repairing, operation, and maintenance of convention center facilities or visitor information centers, or both.
Amount requested under this category: \$
- ☐ Registration of Convention Delegates: furnishing of facilities, personnel, and materials for the registration of convention delegates or registrants. Amount requested under this category: \$
- ☐ Advertising, Solicitations, Promotional programs to attract tourists and convention delegates or registrants to the municipality or its vicinity. Amount requested under this category: \$
- ☐ Promotion of the Arts that Directly Enhance Tourism and the Hotel & Convention Industry: the encouragement, promotion, improvement, and application of the arts that can be shown to have some direct impact on tourism and the hotel/convention industry. The impact may be that the art facility or event can show hotel nights that are booked due to their events or that guests at hotels attend the arts event. Eligible forms of art include instrumental and vocal music, dance, drama, folk art, creative writing, architecture, design and allied fields, painting, sculpture photography, graphic and craft arts, motion picture, radio, television, tape and sound recording, and other arts related to the presentation, performance, execution, and exhibition of these major art forms. Amount requested under this category? \$

☒ Historical restoration and preservation projects or activities or advertising and conducting solicitation and promotional programs to encourage tourists and convention delegates to visit preserved historic sites or museums. Amount requested under this category: *\$15,000*

- ☐ Expenses including promotional expenses, directly related to a sporting event in which the majority of participants are tourists. The event must substantially increase economic activity at hotels within the city or its vicinity. Amount requested under this category: \$

How many individuals are expected to participate in the sporting related event?

How many of the participants at the sporting related event are expected to be from another city or county?

Quantify how the sporting related event will substantially increase economic activity at hotels within the city or its vicinity?

- ☐ Funding transportation systems for transporting tourists from hotels to and near the city to any of the following destinations: 1) the commercial center of the city; 2) a convention center in the city; 3) other hotels in or near the city; and 4) tourist attractions in or near the city. Amount requested under this category: \$

What sites or attractions will tourists be taken to by this transportation?

Will members of the general public (non-tourists) be riding on this transportation?

What percentage of the ridership will be local citizens?

- ☐ Signage directing tourists to sights and attractions that are visited frequently by hotel guests in the municipality. Amount requested under this category: \$

What tourist attractions will be the subject of the signs?



Hotel Occupancy Tax Funding Application

Applicant/Organization Information

| | | | |
|---|----------------------------------|--------------|-----------|
| Name of Applicant/Organization | MT. Vernon AME Church | | |
| Address | 913 Calhoun | | |
| City/State/Zip | Palestine, Texas 75801 | | |
| Contact Person | Tabitha Enge | | |
| Contact Phone Number | Cell | 903-948-9648 | Work/Home |
| Email | mtvernon14@gmail.com | | |
| Website | Project Restoration for mtvernon | | |
| Non Profit? <input checked="" type="radio"/> Yes <input type="radio"/> No | Federal Tax I.D.# | | |

Write a short description about your organization's purpose

Preservation of historical MT. Vernon will continue to provide place of worship that began 1878, Church memorabilia will be showcased promoting Education of African American Heritage in the City.

Proposal Information

| | | | |
|---|--|--------------------------|-----------|
| Name of the Event/Project and a short description: | Restoration Phase I of III of Architecture Planning guide. | | |
| Primary Location of event/project: | 913 Calhoun | | |
| Duration of Event: | | | |
| Start Date | 8-01-2021 | End Date | 9-01-2021 |
| Amount of H.O.T funds requested? | 15,000. | | |
| Write or Attach a timeline of the event/project from planning to completion | Phase I Plan Foundation Pier Repair etc. | | |
| How will the funds be used? (be specific) | Partial Cost of Phase I | | |
| List other sources of funding: | Annual Banquets, Crowdfunding, Bake Sales | | |
| Are there any partners in the community? (if so, please list them below) | <input checked="" type="radio"/> Yes | <input type="radio"/> No | |
| City of Palestine, Negro Preservation Society. | | | |



Hotel Occupancy Tax Funding Application

Answer the following questions if applicable. If there is not enough space provided, you may attach additional pages to the back. Please indicate which question you are answering.

| | |
|---|---|
| 2 | <p>How does the project/event directly impact tourism in Palestine? <i>Restoring mt vernon creates a positive platform of BLACK LIVES MATTER in our community. We will demonstrate a unified effort to save the most significant African American Historical Landmark within the city. Once restored, tourism will continue to the site as have in past. Preservation of</i></p> |
| | <p>How does the project/event directly promote and aid the convention and hotel industry? (i.e. increase overnight visitors)</p> <p><i>MT. Vernon has previously been on North East driving tour that promote tourism during Dogwood Wood Trail Festival, Hot Pepper Festival, many visitors visit the city at that time.</i></p> |
| | <p>What outside marketing is going to be conducted and how will it be effective?</p> <p><i>Marketing for MT. Vernon is currently on a National level, through National Historic Places, Social media, (Facebook), Palestine Herald Press, Tyler morning news, Palestine Chamber of Commerce magazine 2016, KLTU-News, KFTK News, Google Search, Presentation Texas</i></p> |
| | <p>Will you include a link to the CVB or other source on your promotional handouts and in your website for booking hotel nights during this event? <i>yes</i></p> <p><i>Sec. on website to visit tourism in Hotels.com</i></p> |
| | <p>What geographic areas does your advertising and promotion reach?</p> <p><i>All 50 States, Listed Nationally.</i></p> |
| 1 | <p>How does the project/event contribute to Palestine?</p> <p><i>MT. Vernon is the oldest African American significant site in the city. that hold designations of National Historic Landmark, Texas Historical Landmark, City of Palestine Landmark. Saving the site restore pride and dignity to the African American community while uniting all citizens of all race to work together</i></p> |
| | <p>If the funding requested is related to a permanent facility (e.g. museum, visitor center): <i>in a positive atmosphere.</i></p> <p>Expected Attendance Monthly/Annually: <i>100. +</i></p> <p>Percentage of those in attendance that are staying at area hotels/lodging facilities: <i>50 %</i></p> |



Hotel Occupancy Tax Funding Application

Questions for All Funding Request Categories:

Has this project or event been conducted before? Yes No If yes, how many years/times?

Previous year attendance

Projected attendance

Local Visitors

Local Visitors

Out of Town Visitors

Out of Town Visitors

Hotel Rooms Booked

Number of rooms booked by participants in previous years

Number of rooms projected to be booked by this year's participants

If major increase/decrease in number of rooms booked is projected, please explain why:

Do you reserve a room block for this event at an area hotel and if so, for how many rooms and at which hotels:

Will you negotiate a special rate or hotel/event package to attract overnight stays?

How will you measure the impact of your event on area hotel activity (e.g.; room block usage information, survey of hoteliers, etc.)?

Will the event charge admission? Do you anticipate a net profit from the event? If there is a net profit, what is the anticipated amount and how will it be used?

Number of years that you have received H.O.T. funds?



Hotel Occupancy Tax Funding Application

PROPOSED Revenues Budgeted

Revenues 

Donations

Entry Fees

Vendor Fees

Other Fees

Revenue Total

PROPOSED Expenditures Budgeted: This is designed to help create a comprehensive event budget. Your existing budget may be attached and must have all major categories included. Please note that additional information may be requested. Inclusion of an expense does not guarantee eligibility of grant fund reimbursement.

Staffing

Audio/Visual Equipment

Supplies

Food & Beverage

Location/Facility Cost

Signage

Security

Grounds Keeping

Marketing/Promotion

Other

Other

Expenditures Total 

PROPOSED Cost Breakdown

% of costs covered by HOT funds

% of facility costs covered by HOT funds

% of staff costs covered by HOT funds

PROPOSED Marketing Breakdown

Newspapers

Radio

Flyers

Social Media

Posters

Web

Brochures

Other



Hotel Occupancy Tax Funding Application

I have read and agree to comply with the terms outlined in the Hotel Tax Funding Policy and draft Hotel Tax Funding Agreement

I certify that the information contained in this application is correct to the best of my knowledge and that I am authorized to make this application on behalf of the organization herein described for the purpose of receiving City of Palestine H.O.T. funds.

Date: *July 29, 2021*

Signature: *Tabitha Engle*

Printed Name and Title: *Tabitha Engle Project Coordinator*

Attachments:

- ✓ List of current Board of Directors and staff
- ✓ Proof of Insurance
- ✓ Statement of Applicants/Organization's Ability to Financially Support this Activity

SUBMIT TO: Mary Raum at 825 W. Spring Street, Palestine, Texas 75801

Questions, please email: mraum@palestine-tx.org or call 903-723-3014



First Class Renovations, LLC
301 W. Oak St. Palestine TX 75801
713-836-2622
glowwormpc@hotmail.com
www.fcrhome.com

| | | | |
|--------------|---------------------|--------|----------------------|
| Client Name: | Mount Vernon AME | Date: | 7/12/2021 |
| Address: | 913 Calhoun St. | Phone: | 903-948-9648 |
| | Palestine, TX 75801 | Email: | mtvernon14@gmail.com |

This bid is to address many of the items identified in the Preservation Master Plan conducted by Mark A. Thacker.

Ph I

1. Remove loose wood material from crawl space
2. Treat crawl space for termites.
3. Repair foundation system (piers)
7. Remove all carpet
8. Clean out all debris from interior that are not salvage material or objects.
9. Remove all moisture damaged items such as pews, papers, boxes, etc.
10. Remove non historic material and objects.
11. Cover and protect objects that need to remain in storage in the building.
12. Remove all debris from crawl space.
13. Remove all gypsum board (provided it is free of hazardous materials)
14. Remove all wood paneling.

Ph II


- 2 a. Conduct floor survey after over-lay materials are removed.


Ph III

8. Partial....address the bricks that allow water to enter the structure.

The price to complete these items is \$15,000.

I have read the terms and conditions and do hereby accept this bid as a binding contract.


HOMEOWNER


M. Craig Allen, First Class Renovations

**Project Restoration
Mt. Vernon AME
Board of Directors**

Executive Coordinator

Tabitha Enge

President

Tony Evans

Vice President

Bobby Carwell

Secretary of Board

Bernidine Taylor

Board Member

Mary Birdow

Board Member

Ronnie Evans

To: HOT Funding Committee

From: Tabitha Enge Executive Project Coordinator

Re: Mt. Vernon AME Grant proposal

Date July 22, 2021

Greetings,

Thank you for review and consideration of recent submitted grant proposal requesting funding for Phase I of V of the Master Planning Book prepared by Mark Thacker AIA. At present time restoration will not began or continue to go forward without the funding requested due to the depletion of saved funds to purchase mentioned Master Preservation Plan. Recent 2021 Grant Proposal submitted to THC for Restoration planning was rejected/not recommended due to the Covid 19 impact reducing general revenue, therefore Mark Thacker reduced cash price allowing the Plan to be paid in full with funds raised.

To this date several reactive steps has been taken in saving the building from collapse including a) purchase and erection of temporary scaffolding funded by the restoration fund. b) Masonry, restoration of the Bilateral Bell towers funded by matching grant offered through THC. .

This Project has been ongoing as funds has allowed, the efforts of saving one of the City's most significant historical sites has been costly and time consuming, my dedication to the preservation of African American Heritage in this community is long lasting. I pray this additional information helps in the consideration of funding paid directly to general contractor.

Sincerely,

Tabitha Enge, Executive Project Coordinator

903-948-9648

A handwritten signature in black ink, appearing to read "Tabitha Enge", written in a cursive style.



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
1/5/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

| | | | | |
|--|--|---|--|--------------|
| PRODUCER HERRON GROUP INSURANCE 14525 FM 529 #104 HOUSTON, TX 77095 | | CONTACT NAME PHONE (A/C, No, Ext): 281-858-5818 FAX (A/C, No): 281-858-5817 E-MAIL ADDRESS: frank@herrongroup.net | | |
| INSURED First Class Renovations LLC 1615 Mustang Canyon Way Houston, TX 77049 | | INSURER(S) AFFORDING COVERAGE | | NAIC# |
| | | INSURER A: Evanston Insurance Company | | |
| | | INSURER B: | | |
| | | INSURER C: | | |
| | | INSURER D: | | |
| | | INSURER E: | | |
| INSURER F: | | | | |

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

| INSR LTR | TYPE OF INSURANCE | ADDL INSD | SUBR WVD | POLICY NUMBER | POLICY EFF (MM/DD/YYYY) | POLICY EXP (MM/DD/YYYY) | LIMITS |
|----------|---|-----------|--|---------------|-------------------------|-------------------------|--|
| A | <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY | | | TXGL3025948 | 08/24/20 | 08/24/21 | EACH OCCURRENCE \$ 1,000,000 |
| | <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR | | DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 | | | | |
| | | | MED EXP (Any one person) \$ 5,000 | | | | |
| | | | PERSONAL & ADV INJURY \$ 1,000,000 | | | | |
| | GEN'L AGGREGATE LIMIT APPLIES PER: | | | | | | GENERAL AGGREGATE \$ 2,000,000 |
| | POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC | | | | | | PRODUCTS - COMP/OP AGG \$ 2,000,000 |
| | OTHER: | | | | | | \$ |
| | AUTOMOBILE LIABILITY | | | | | | COMBINED SINGLE LIMIT (Ea accident) \$ |
| | ANY AUTO | | | | | | BODILY INJURY (Per person) \$ |
| | OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS | | | | | | BODILY INJURY (Per accident) \$ |
| | HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY | | | | | | PROPERTY DAMAGE (Per accident) \$ |
| | | | | | | | \$ |
| | UMBRELLA LIAB <input type="checkbox"/> OCCUR | | | | | | EACH OCCURRENCE \$ |
| | EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE | | | | | | AGGREGATE \$ |
| | DED <input type="checkbox"/> RETENTION \$ | | | | | | \$ |
| | WORKERS COMPENSATION AND EMPLOYERS' LIABILITY | | | | | | PER STATUTE <input type="checkbox"/> OTH-ER <input type="checkbox"/> |
| | ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) <input type="checkbox"/> Y/N <input type="checkbox"/> N/A | | | | | | E.L. EACH ACCIDENT \$ |
| | If yes, describe under DESCRIPTION OF OPERATIONS below | | | | | | E.L. DISEASE - EA EMPLOYEE \$ |
| | | | | | | | E.L. DISEASE - POLICY LIMIT \$ |

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER

CANCELLATION

MASTER CERTIFICATE

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

Mt. Vernon AME

913 Calhoun Street
Palestine, Texas

Preservation Master Plan Phase I

February 10, 2021



 **Mark A. Thacker, AIA**
Commercial & Preservation Architecture

203 S. Henry

Lindale, Texas 75771

MT. VERNON AME
913 E. Calhoun Street
Palestine, Texas

Preservation Master Plan – Phase 1
February 10, 2021



Introduction

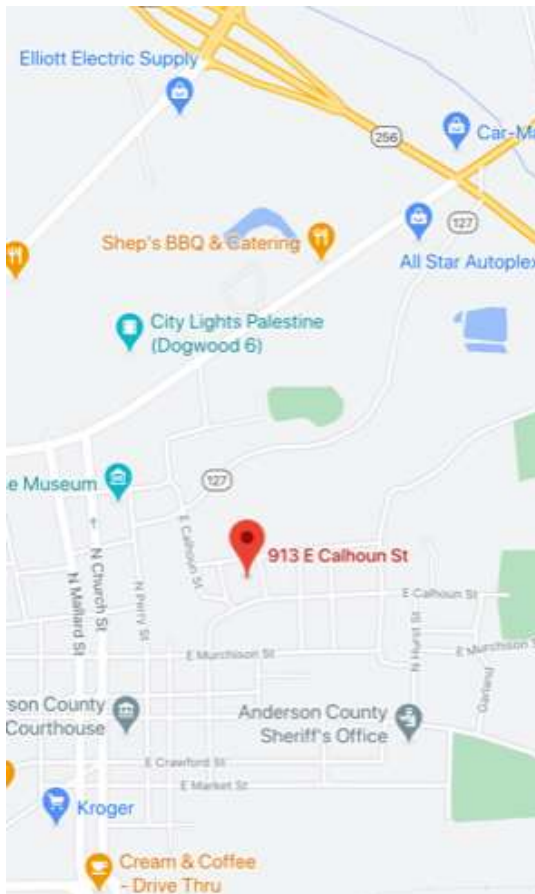
The architectural firm Mark A. Thacker, AIA ~ *Commercial & Preservation Architecture* was selected to perform an investigation and documentation for the Mt. Vernon AME Church located in Palestine, Texas. This report represents phase 1 of a master plan and contains general information. Phase 2 will be published at a later date and will contain detailed information on each topic. The classification of the two phases of reports should not be confused with actual phasing recommendations contained within this report.

Recommendations contained in this report are general descriptions and should not be considered construction documents. For each category of work described, the specific issue should be thoroughly investigated prior to any physical work; which should be conducted in most cases by skilled professionals. After an environmental investigation has been completed, the Church may elect to perform some initial phase tasks which do not include alterations to structural elements.

The building is listed on the National Register and the Texas Historical Commission, the THC and the City of Palestine should be notified prior to any demolition, repairs, or restoration activities.



Vicinity map.



Site location. 913 East Calhoun



Aerial view of site.

Scope

The scope of this project is to conduct a field investigation and to create a Preservation Master Plan – Phase I. Phase 1 is to generally describe the most urgently projects. Included in Phase I is extensive field documentation but will not be included. Phase 2 is to be issued at a later date to expand on later phase projects and when combined with this Phase 1 will provide a more comprehensive master plan. Phase II would represent a complete Historic Structures Report.

Purpose

The purpose of the Phase I project is to:

- A. Document existing condition of the building.
- B. Present a prioritized list of issues needing to be addressed in order to preserve the building.
- C. Provide recommendations for restoration.
- D. Provide cost projections for initial phase projects.

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South Elevation.



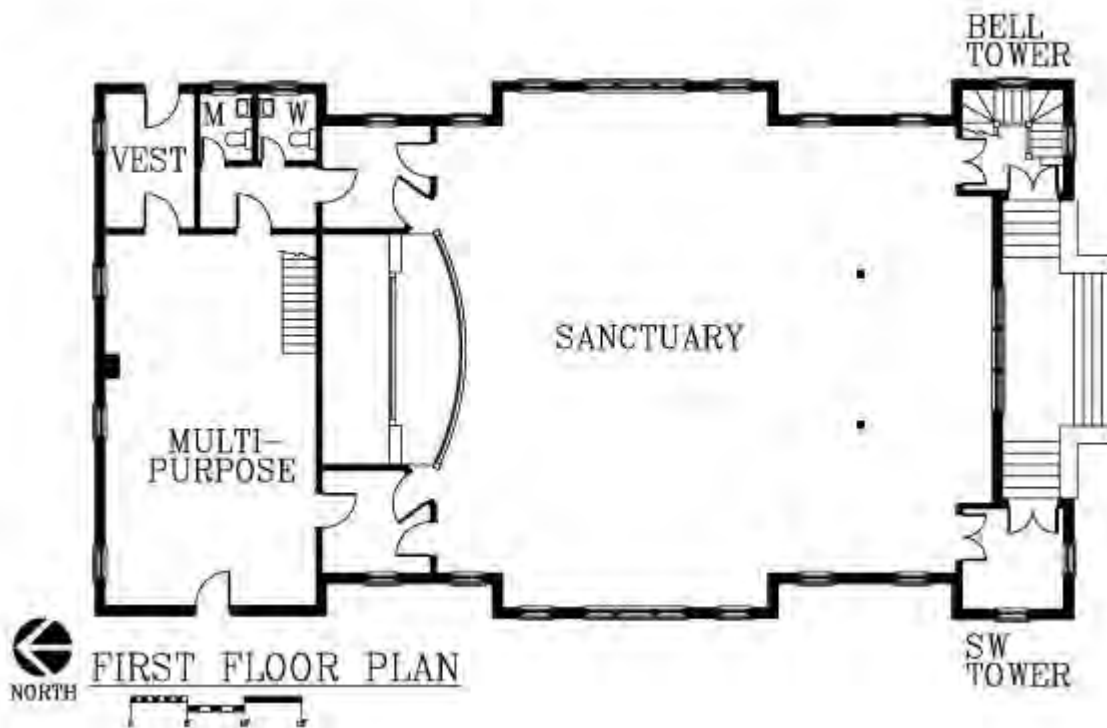
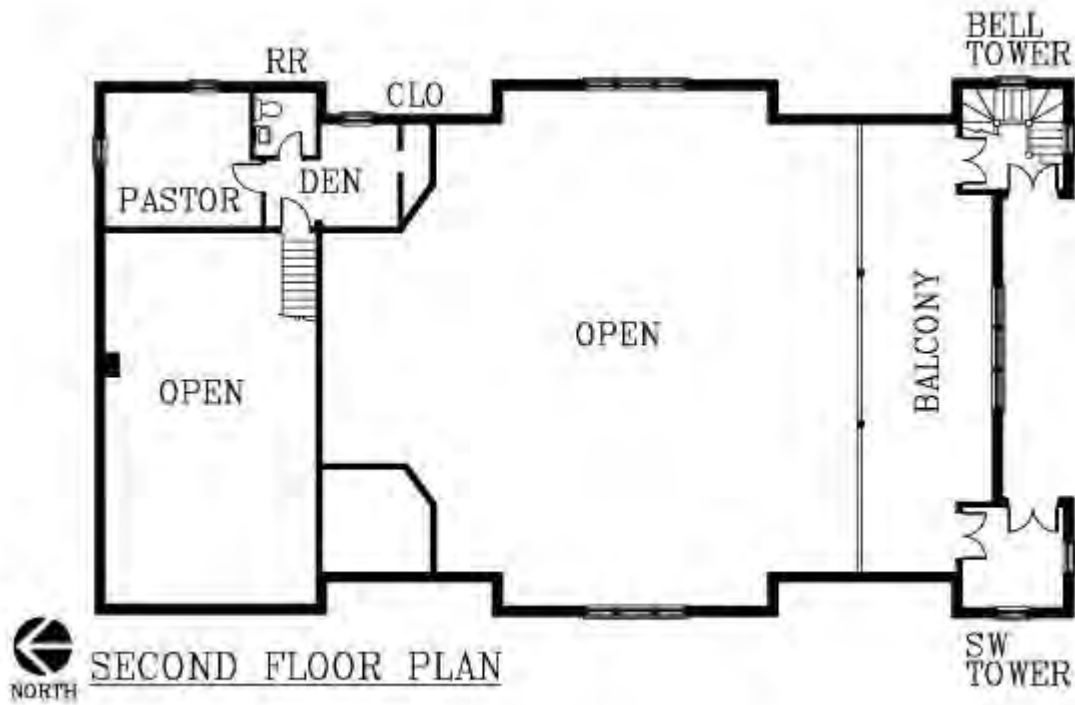
West Elevation.



South Elevation.



West Elevation.



BACKGROUND

Phasing Summary

| | |
|------------------|---|
| Phase I | Possibly to be conducted with volunteers and relatively low costs. |
| Phase II | Major structural stabilization of building and roof replacement. |
| Phase III | Additional repairs to preserve the building. |
| Phase IV | Building Sanctuary repaired to an occupiable condition. |
| Phase V | Restoration of remaining historic components. |

Building Exterior

Site

The rear of the Church gently slopes downward from north to south. Currently there is no paved parking. Under Phase IV it is recommended to at least pave an area for accessible parking and construct concrete walks to the northeast and northwest exterior doors.

It is recommended to install exterior lighting along the north elevation to illuminate the parking area. It is also recommended to install site lighting in the lawn area on the south side of the building, extending to Calhoun Street.

Foundation

The foundation consists of original brick piers and a supplement of added modern concrete block piers. The perimeter grade beams are constructed of corbeled brick to an unknown depth.

The site slopes upward from south to north. When observed from the crawl space, evidence of water infiltration was present along the south wall as well as high moisture content in soils along the southern areas of the east and west grade beams. It is probable site and/or roof runoff has been either ponding or running along the east and west perimeter walls and at some location(s) water is making its way into the crawl space. See Roof section of this report. In addition to a subsurface drain system, fine grading along the east and west exterior walls should be conducted to provide a slope of at least ¼ inch per foot away from the building. Swales extending north-south should be constructed to move surface runoff towards the south (Calhoun Street).

There are openings in masonry walls, around perimeter of windows and doors, and along the eaves which may allow water to migrate into the crawl space.

In the Michael L. Marler, PE report of March 11, 2014 (Marler 2014) drainage issues are mentioned.

Soils occurring in the central area of the crawl space appear relatively dry and powdery suggesting a high-water table or presence of ground water is not a significant contributing factor to settlement of piers.

Due to moisture observed in the crawl space, the recommendations for interior debris removal, and non-original floor finish removal; it is recommended to treat the crawl space for termites. Disturbance of materials located within the interior may reveal active termites, removal of their food source may cause infestations elsewhere.

Recommendations:

1. Eliminate water running along the exterior side of west and east walls by sloping grade away from the walls. Phase I.
2. All piers located in the crawl space should be examined individually to ensure shims are in contact with pier top and sill above. Phase I.
3. Install a wire mesh door to access crawl space to secure the opening and to allow ventilation. Phase II.
4. Remove all wood lumber and debris to reduce possibility of termite infestation. Phase I.
5. Apply termiticide to wood framing in the crawl space. Phase I.

Refer to BBSE structural report included in the Appendix this report.



Crawl space. Presence of moisture along the east grade beam.



Crawl space. Evidence water had run along the south grade beam due to a previous heavy rain event.



Crawl space, View to west. Several piers have settled and/ or rotated.



Near northeast corner at Women's restroom. Wood sill in contact with grade.



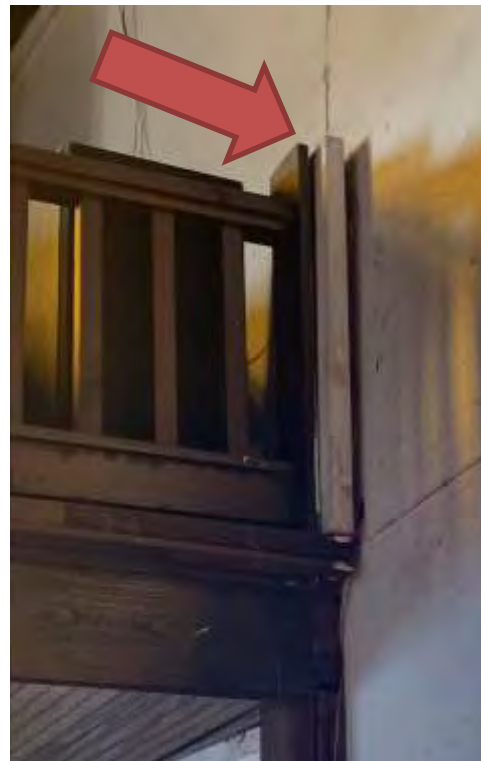
Exterior, west grade beam. The bottom of the grade beam appears to contain a corbeled brick footing in lieu of concrete as noted in the structural report.

Exterior Walls

Exterior walls are of the initial brick veneer construction; ca 1921 was the era of transition from the bonded wall systems to the common brick veneer systems where a single wythe of brick are installed and secured laterally to wood framing. Exterior masonry is included in this section because it is an integral part of the exterior wall system. Note that this early veneer system did not incorporate a moisture barrier between the wood sheathing and back of brick.

Recommendations:

1. Remove brick from the west and east Sanctuary gables. Phase II.
2. Reinforce walls and add additional framing for cable bracing. Phase II.
3. Install cable bracing in exterior west and east walls to restrain further outward movement. Phase II.
4. Reinstall brick masonry. Phase II.
5. Secure connections and install additional reinforcement in attic. Phase II.
6. Repair and restore interior finishes in Sanctuary. Phase III.
7. Replace deteriorated roof decking and replace the roof system. Phase II.
8. Repoint all exterior masonry on remainder of building. This work can take place under any phase after cable bracing has been installed. Phase III.



Balcony railing. Possible evidence of outward wall movement.



Outward movement of Sanctuary east and west gables.

Doors

All exterior doors are modern except the one located at near the southeast building corner. The original wood exterior door is a half glass over three panel door with original hardware. This door also contains a transom window with its original hardware. The door has had some reinforcements added to the surface. The interior side of the door was originally natural wood finish and the exterior door and frame were painted white. The door and transom are restorable.



Exterior door near southeast building corner. Interior and exterior view.



Exterior door near southeast building corner. Transom window with original hardware.

Modern exterior doors consist of laminated doors with metal surface panels. They are currently exhibiting signs of corrosion and will have a limited life. The oldest doors (ca. 1950's) are located as door pairs for the two towers facing Calhoun Street. The exterior door into the Multipurpose room near the northwest corner is ca. 1970 to present era. These two door pair and the single door should be replaced during Phase V.



Southeast tower ca. 1950's door pair. Wood transom and frame are original.



Face sheet separation of door edge.



Modern residential hollow metal door. Wood frame members appear to have been selectively replaced.

Recommendations:

1. Repair doors so they will function properly. Conduct minor repairs on hardware. Phase IV.
2. Restore original Multipurpose room door and hardware. Phase V.
3. Replace all hollow metal doors with replica wood doors. Phase V.

Windows

Windows include two generations, the original 1921 wood windows and later limited replacements being aluminum frame.

Original wood windows are in poor but restorable condition, most retain the original glazing. The glazing puddy is in need of replacement on almost all. Due to cost and other needed repairs of higher priority, restoration of the original wood windows has been placed under Phase IV. It would be beneficial if the original wood windows could be simply painted with a white primer to cover exposed bare wood in an effort to temporarily preserve the frames and sashes.

Recommendations:

1. Remove all aluminum framed windows and install new replica windows. Phase V.
2. Restore all original wood windows. Phase IV.



Upper gothic window is original wood framed. Six lower are aluminum. Typical for 3 locations of Sanctuary.



All lower, rectangular, windows of the Sanctuary are non-original aluminum frame.



Example of original wood framed window with original glazing.



Original window hardware.

Exterior Stairs

Northwest Stair

The northwest entry has had a ramp constructed to replace an earlier stair. The ramp does not comply with the Texas Accessibility Standards (TAS) or the Americans with Disabilities Act (ADA). Since this is a secondary entry/ exit located on a secondary façade, the existing ramp should be replaced with a compliant ramp and handrails. The opening facilitates a 36 inch wide door.



Recommendations:

1. Remove the existing concrete ramp and replace with an accessible ramp with handrails. Phase IV.

South Stair

The south stair consists of three concrete segments and is located at the primary façade which fronts on East Calhoun Street. Doors located in each tower connect the exterior with the Sanctuary. The stair configuration does not comply with current codes in respect to egress or accessibility requirements, however this is a historic building, and the local code official will be responsible for determining if additional modifications are required.

There is a significant grade difference between the street and the stair system. It is doubtful that persons with difficulty walking will utilize this entry/ exit, they will park at the rear of the Church and use ramps recommended in other sections of this report.

For the purposes of this master plan, it is recommended to only install additional pipe railings so each stair run will have a rail on each side.

Recommendations:

1. Add pipe handrails. Phase IV.



South stair.

Northeast Stair

A stair once existed at this door location; it is suspected it was of wood construction. This door location should serve as an egress door, it is on a secondary façade, and should contain an accessible ramp similar to the replacement ramp described for the Northwest door. Phase IV.



Northeast building corner.



Northeast door. A wood stair probably was at this location.

Roof

The composition shingle roof was last replaced about 1996 (plywood sheathing was added) and is currently in poor condition. Over the last few years it has experienced damage which included open voids; also, interior finishes and furnishings have been water damaged. The roof should be completely replaced, but only after structural repairs, until then it is recommended to continue to patch isolated leaks as they develop.

Scaffolding was erected ca. 2015 to prevent a possible collapse of the Sanctuary roof. At that point in time the roof had moved downward, the east and west exterior walls had moved outward, and it was speculated the roof would not be able to withstand a substantial snow/ ice event during the next winter. As an economical and temporary measure, a metal scaffolding system was erected inside the Sanctuary to relieve live and dead load forces acting on the roof and walls. Refer to BBSE Structural Report dated July 15, 2016 for further descriptions and recommendations. Note that the report is general; specific modifications should require detailed plans and specifications prior to alterations.

There was no evidence observed that indicated the building originally had gutters and downspouts. Due to damage and settlement to perimeter grade beams from water discharge it is recommended to install a system to carry water from the roof to the street.

Recommendations:

1. Remove existing roof system, replace any deteriorated decking and install a new shingle system. Phase III.
2. Install gutters, downspouts and subsurface drain system. Phase IV.



Aerial view of roof.



Attic, near southwest tower. Custom built scissor trusses.



Sanctuary. Scaffolding erected to partially transfer roof loading.



Example of roof opening where day light is visible from below.

Masonry

Masonry of both towers was pointed and repaired in 2015. The remainder of the building is in need of limited brick replacement and about 85% repointing (exclusive of structural repair areas).



Suspected limestone cornerstone from pre-1921 building.

Cornerstone on southwest tower.

Also, see Exterior Walls.

Color Scheme

The exterior side of original window frames and sashes were painted white. All exposed wood trim and casings were painted white. All subsequent repainting were variations of basic whites. No other colors were discovered during a limited paint investigation.

It is recommended to paint all exterior exposed wood white under Phase IV.



View of southeast building corner showing painted white trim.

Building Interior

Floors

It appears original flooring throughout the building is a single layer of 3 ¼” tongue and groove long leaf pine. In most cases the original flooring has been overlaid with a subsequent finish of plywood and/ or carpet, or sheet vinyl.

The foundation system has been repaired at least twice. There are a number of floor areas which appear to be unlevel but it can't be determined if the issue is with the overlay materials or if the original wood floor is unlevel due to inconsistent joist elevation or isolated deterioration.

Temporarily patch floors until restoration.

The Balcony floor has been overlaid with plywood. The stored (loose) original pews should be moved to the first level to reduce weight. Remove plywood overlay and determine condition of original wood flooring. It may be necessary to remove a small area of original flooring to determine joist size and spacing; repairs may be required as it is unknown why plywood was installed (it could have been to reduce the noise a single layer wood floor typically will make when walked along).

Recommendations:

1. Remove all carpet (that is not glue applied) and debris. Phase I.
2. Conduct environmental investigation and abatement (if necessary). Phase I.
3. Determine level and soundness of original wood flooring. Phase II.
4. Replace deteriorated long leaf pine flooring where necessary. Protect with plywood. Phase IV.
5. Restore and finish all long leaf pine flooring. Phase V.



View upward from crawl space. Underside of long leaf pine flooring of Sanctuary.



Non-historic sheet vinyl, over plywood (bottom of photo), over original wood flooring (top of photo).



Area where later overlays have been removed and original wood flooring is exposed.

Walls

Original interior wall finishes can be classified into two categories; 1) Fully wall papered, and 2) bead board wainscot with wall paper above. Originally there was no gypsum board in the building. A 1997 preservation report refers to plaster; based upon this investigation plaster does not exist in the building. Where walls do not contain bead board wainscot, they are sheathed with 1x6 tongue and groove planking run horizontal.

It is anticipated that structural repairs and modifications will require removal and subsequent damage to interior wall finishes. Since most gypsum board has been damaged due to various issues; it is recommended to completely remove in all prominent rooms.

Recommendations:

1. Remove all gypsum board material (pending environmental report). Phase I.
2. Remove all wall paneling. Phase I.



Example of interior wall construction.



Sanctuary, west wall. Wainscot numbered and removed.



Two generations of wall paper. First layer of white is suspected of being an underlayment installed with the first generation cloth backing and floral paper.



Enlarged view of floral print detail.



Remains of original wall papers backing under paneling.



Sanctuary. Example of later added gypsum board damage due to outward wall movement and moisture.

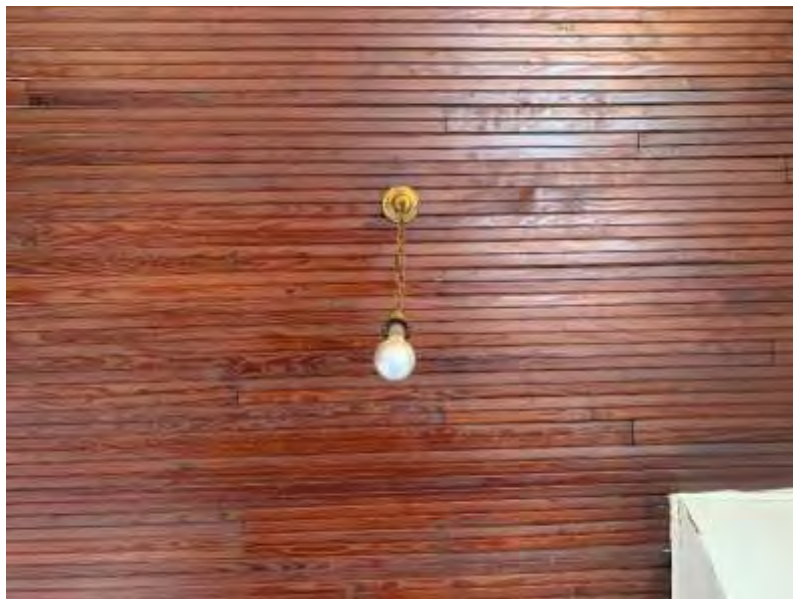
Ceilings

Two ceiling types were originally installed; 1) Wall papered, and 2) bead board.

Bead board ceilings, casings, doors, base boards, and wainscoting were all of natural wood finish. It appears the material was varnished with a mix of light stain. This would have resulted in a medium dark appearance such as light walnut and would have brought out the wood graining. One protected ceiling location was observed which revealed an aged dark color suggesting the stain was low quality; much of the darkness has developed by a century of aging. All bead board ceilings had a wood moulding matching the ceiling finish (most have now been replaced or painted).

Recommendations:

1. Remove all ceiling material back to wood (material should be tested for asbestos prior to disturbance). Phase III.
2. Replace deteriorated bead board in Sanctuary. Phase IV.
3. Install ceiling wall paper where it originally occurred. Phase V.



Bead board ceiling. Shiny areas are possibly a later application of polyurethane.



Beadboard ceiling with one generation of finish. Original moulding has been painted.



Ceiling paper and ceramic light fixture mounting base.

Doors

Almost all interior wood doors are original and are in restorable condition.

Recommendations:

1. Repair doors so they will function properly. Conduct minor repairs on hardware. Phase IV.
2. Restore all original doors and hardware. Phase V.



Original doors are 5 panel and had a natural wood finish (arrow).



Original interior door hinge with remaining original finish. Modern replacement hinge.



Typical original interior door latchset.



Probable white ceramic replacement knob.



Ca. 1950's latchset. Evidence of removed rim latchset. Chiseled out casing for rim latch receiver.



Narrow width, two panel door (24 inch Restroom door). Door and casings have been painted.



Former door location. Undetermined reasoning for previous configuration. Needs additional investigation. It is possible the original floor plans did not include indoor plumbing and the restrooms were added later.



Original door hardware later reinstalled upside down.



Second level. Plain wood doors are possibly ca. 1950's.

Multipurpose Room Stair

The stair leading up to the second level containing the Pastor's are is original to the building and its railing construction is similar to the Balcony railing. The stair and its components retain the original finish. The stair appears stable; treads and risers are secure.

Recommendations:

1. Protect the stair from damage during work of all phases.
2. Clean and touch up finish. Phase V.



Multipurpose. Original stair.

Towers

Both towers do not have finish materials above the rooms below. Masonry was restored under a previous project.

There are various locations where the 1x6 tongue and groove sheathing is deteriorated, especially at the corners. Since it is not practical to remove masonry to replace the sheathing, plywood panes could be added to the interior face of wood studs. During this procedure, additional brick ties could be added to restore the restraint system which currently includes deteriorated corrugated brick ties.



View upward in southwest tower.

Bell Tower

The stair and upper landing connect the southeast entry area with the Balcony and has completely been painted an orange-red. Wainscoting, doors, and trim within the room has also been painted. All paint should be removed and woodwork returned to its natural finish.

It is recommended to reinforce the tower attic as with the southwest tower. The original bell is present in the southeast tower and is in working condition.

Recommendations:

1. Clean and lubricate bell and moving parts. Phase IV.
2. Restore finishes in the room. Phase V.



Southeast bell tower stair.



Underside of stair.



Residue of original wood finish.



Crude repair to original door.



Probably a reinstalled original spring bolt (left) and modern knob on 1950's exterior door (right).



Steel bell system. Blue-gray color plank is unique and may have been shipped with the bell.



Pull rope.

Pews

There are approximately seven original wood pews located on the Balcony. The original pews should be restored and used in the Sanctuary as a part of Phase IV. Replicas could be constructed to complete seating under Phase V.



Original pews.



Non-original pews.

Color Scheme

The interior color scheme was fairly simple. All woodwork was natural finish, dark color. Non-wood finished walls and ceilings were papered.

1. Restore all original finishes. Phase V.

Mechanical

The original building did not contain an HVAC cooling system. It is suspected the building was heated with coal or wood burning heaters. Two possible locations for heater flues were observed; one at the southeast corner of the Sanctuary and one on the east wall of the Multi-purpose Room. A new concealed heating and cooling system(s) is recommended when the building is restored to an occupiable condition. As a part of Phase IV, replica heaters could be installed.

Recommendations:

1. Install dehumidifiers throughout building. Phase III.
2. Install new heating and cooling systems. Phase IV.
3. Install replica wood burning heaters. Phase V.



Sanborn Map image, 1935. Noted as “Heat: Stoves”.



Sanctuary. Exterior heater chimney.



Multi-purpose. Interior heater chimney.

Electrical

The existing electrical system is a multitude of wiring and switchgear types, installed over various eras of time. The entire system should be replaced; initially from the meter to a new disconnect and main panel board. The new main panel board should be sized to accommodate future phases and ultimately a completely new system. Sufficient spares should be included to facilitate new electrical HVAC and instantaneous water heaters.

It will be a challenge to locate replacement blobs matching original. Both ceiling and wall fixtures probably the same size and style. Bare bulb fixtures are restorable in many cases, if not replicas are available. All light fixtures should be restored and re-wired prior to reactivation. Until restoration can take place, temporary modern fixtures should be installed.

Recommendations:

1. Replace electrical infrastructure from meter to a new main panel board and disconnect. Phase III.
2. Replace selected areas of electrical components to provide limited HVAC, lighting and power. Phase III.
3. Completely replace all electrical components. Phase IV.
4. Install a smoke alarm system. Phase III.
5. Install emergency egress lighting. Phase IV.
6. Install wireless internet service. Phase V.
7. Install supplemental can light fixtures. Phase IV.
8. Rewire and reinstall original light fixtures. Phase V.



Wiring sandwiched between second generation ceiling wall paper and fiberboard ceiling tile.



Original light fixture and globe.



Original wall fixture base.



Ceramic base with bare bulb fixture.



Plumbing

Recommendations:

1. Replace limited water supply piping. Phase III.
2. Construct at least one working rest room with rough finishes. Phase III.
3. Reconstruct the second rest room and Pastor's rest room on the second level. Phase IV.
4. Install plumbing in Multi-purpose Room to make room functional. Phase V.



Cast iron waste plumbing in restroom area.



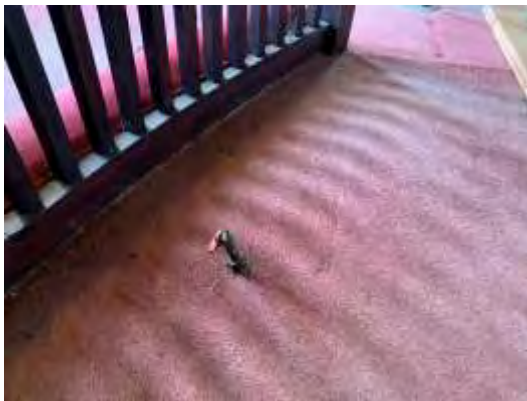
Second floor. Pastor's restroom.

Gas Heating

Gas space heaters and gas water heaters have been installed post WWII. The galvanized and black pipe system has deteriorated to the point it should be completely removed. Abandoned gas jets present a trip hazard and should all be removed. It is recommended to remove all gas infrastructure, remaining heaters, and water heaters under Phase I. It is recommended the Church consider an all-electric system for heating in a future restoration.

Recommendations:

1. Remove all gas piping, heaters and water heaters. Phase I.
2. Install a new electric heat system with a new HVAC system. Install instantaneous water heaters for hot water. Phase IV.



Gas jet. Potential trip hazard.



Vestibule, west end. Gas water heater flue. North elevation. Water heater flue.



Non-original gas space heater.

Fire Sprinkler System

Fire sprinkler systems are required for assembly occupancy, combustibile construction type buildings; it is not only for life safety but to protect the building. These systems have become more affordable in recent decades resulting from code requirements as the number of installers and product availability have significantly increased.

The recommendation is placed under Phase IV when the building is again occupiable and before finishes are installed or restored.

Recommendations:

1. Install a fire sprinkler system. Phase IV.

Clocks

It appears there were an early generation of wall clocks, one in the Sanctuary and one in the Multipurpose room. The remaining clock located on the balcony fascia is a modern plastic clock. It is recommended to install new clocks, representative of the 1920's, and with a wood enclosure.

Recommendations:

1. Install replica clocks. Phase V.



Modern clock.



Miscellaneous

Security Alarm

Recommendations:

1. Install a security alarm system with smoke detectors. Phase III.

Signage

The restroom signage appears to be ca. 1970's adhesive applied. New signage could be stenciled or enameled metal, occurring above the restroom doors. TAS compliant signage should be considered even though it may not be required.

Recommendations:

1. Remove non-original signage. Phase I.
2. Install period appropriate signage. Phase V.
3. Install TAS compliant signage. Phase V.



Ca. 1970's signage.

Wall Mounted Items

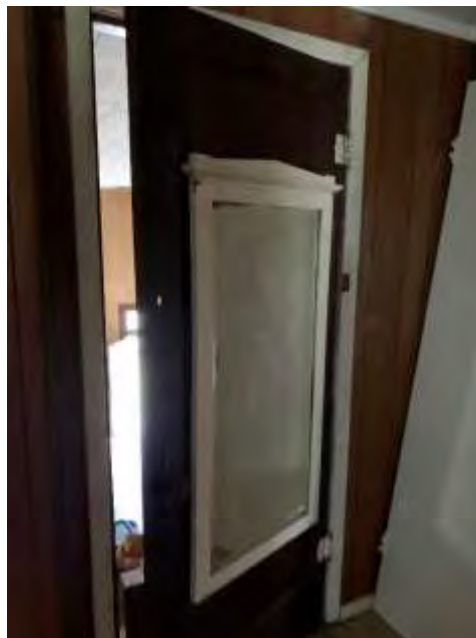
There are a number of original wall mounted items which are a part of the original construction era and should be preserved. They are consistent with natural finished wood in appearance.

Recommendations:

1. Preserve items. Reinstall at same locations after replica wall paper is installed on walls.
Phase V.



Original mirrored shelf in Men's restroom.



Dressing mirror on door on 2nd level (has been painted).



Northeast corner of Vestibule. Historic cabinet (red arrow) and non-historic cabinet (blue arrow).



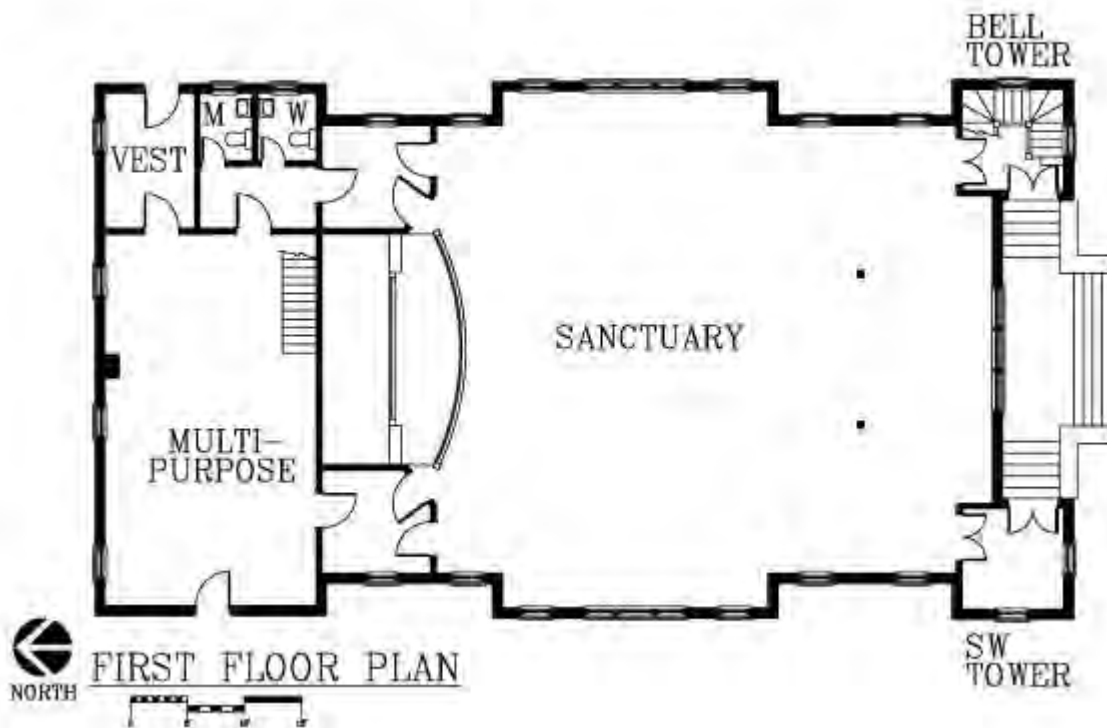
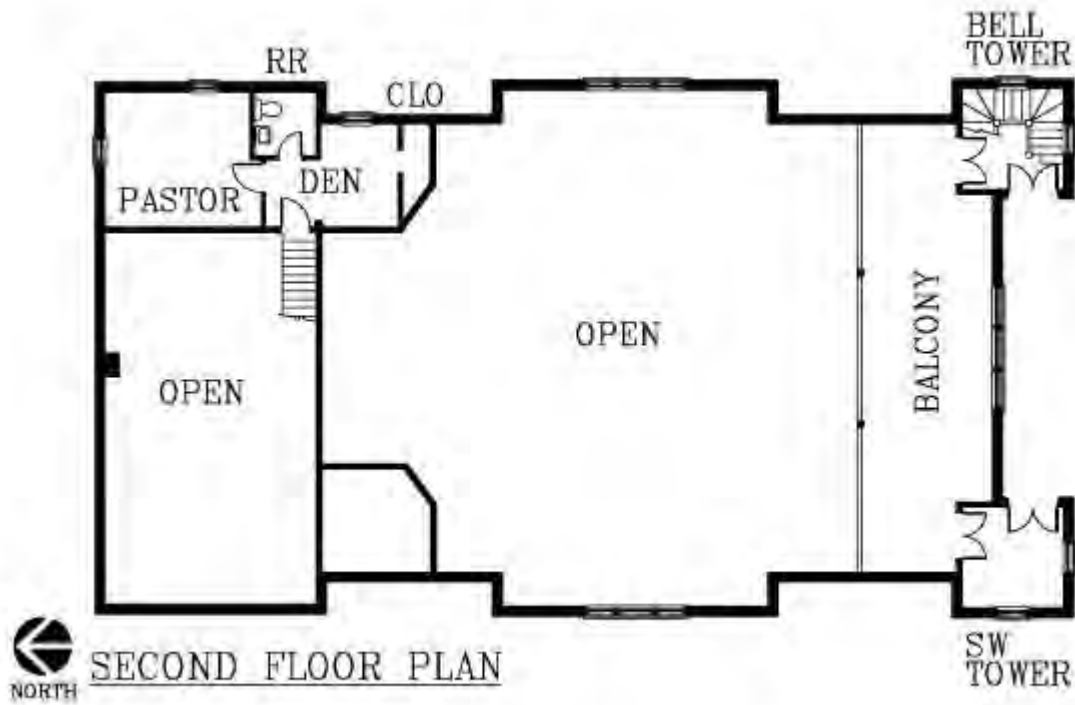
Original curved railing and table.



Ca. 1950's furnishings based on finish.



Base cabinet. Hardware matches the painted upper cabinet in Vestibule, northeast corner.



Original Floor Plans.

Phasing

The following section is included as a general description of how the overall restoration project might be divided into phases. This assumes funding for a comprehensive project is not possible to obtain at one time.

The project will initially require unskilled labor, this may be conducted by volunteers under proper supervision. While the tasks may be quite simple, working in an old building that has been unoccupied can present hazardous conditions.

It is not recommended to remove any inorganic floor material or gypsum board until the building has been tested for hazardous materials such as asbestos. Testing should be as required by the City of Palestine prior to demolition activities in a non-residential building and as conducted by a firm licensed to perform sampling and testing. The handling and removal of hazardous materials is regulated by the State Department of Health.

Phase I

1. Remove loose wood material from crawl space.
2. Treat crawl space for termites.
3. Repair foundation system (piers).
4. Slope grade away from building perimeter walls.
5. Have an environmental investigation conducted.
6. Complete building documentation and second phase of this report.
7. Remove all carpet.
8. Clean out all debris from interior that are not salvage material or objects.
9. Remove all moisture damaged items such as pews, papers, boxes ...etc.
10. Remove non-historic material and objects.
11. Cover and protect objects that need to remain in storage in the building.
12. Remove all debris from crawl space.
13. Remove all gypsum board (provided it is free of hazardous materials).
14. Remove all wood paneling.

Phase II

1. Sanctuary:
 - a. Remove masonry from the east and west façade of the Sanctuary.
 - b. Install restraint system to prevent further outward movement of Sanctuary walls.
 - c. Conduct necessary repairs and reinforcement of wood framing system.
 - d. Reconstruct masonry on east and west Sanctuary walls.
 - e. Replace deteriorated roof framing and decking. Replace roof system.
2. General
 - a. Add ventilation to crawl space.
 - b. Conduct floor survey after over-lay materials are removed.

Phase III

1. Replace electrical infrastructure.
2. Install minimal electrical and mechanical systems.
3. Install smoke alarm system.
4. Install water service.
5. Construct one working rest room.
6. Install dehumidifiers to control interior moisture.
7. Repairs to interior finish substrates.
8. Repoint remainder of exterior masonry.
9. Replace roof system.

Phase IV (Places Sanctuary back into service)

1. Install a fire sprinkler system.
2. Complete remainder of electrical and HVAC systems.
3. Replace plumbing systems.
4. Restore the second floor Pastor's area.
5. Refurbish and service bell located in Bell Tower.
6. Replace deteriorated flooring where necessary.
7. Restore original pews currently located on the Balcony. Install in Sanctuary.
8. Repair exterior woodwork and paint white.
9. Construct accessible ramps at the exterior northeast and northwest doors.
10. Construct accessible parking at north side of building.
11. Additional railings at the south stairs.
12. Install exterior lighting.
13. Repair exterior doors.
14. Restore wood windows.
15. Install roof drainage system.
16. Replace deteriorated ceiling bead board in Sanctuary.

Phase V (Places remainder of building back into service and completes restoration)

1. Install warming kitchen in Multi-purpose room. Renovate to usable condition.
2. Restore remainder of original interior finishes; paint, natural finish wood, and wall/ceiling papers.
3. Install replica wood burning heaters.
4. Install replica pews to complete seating Sanctuary and Balcony.
5. Install replica clocks.
6. Replace exterior doors with replicas of original period.
7. Replace aluminum frame windows with replica wood windows.
8. Restore, repair and finish wood flooring.
9. Restore ceilings with paper finish.

Opinion of Probable Restoration Costs (Fair market value, 2021)

| | |
|-----------|------------|
| Phase I | \$ 34,700 |
| Phase II | \$ 410,500 |
| Phase III | \$ 195,000 |
| Phase IV | \$ 380,600 |
| Phase V | \$ 245,000 |

Total as one project: \$ 1,265,800.

Cost per SF: \$ 1,265,800/ 4,472sf = \$283.05

Estimated additional miscellaneous costs per phase:
13.50%

Appendix

BBSE Structural Report (2016)

Michael L. Marler, PE Report (2014)

Bugh & Brown Structural Engineering, LLC
P.O. Box 8345
Tyler, Texas 75711



July 15, 2016

TBPE Firm No. F-15046

Ms. Tabitha Enge
913 East Calhoun Street
Palestine, Texas 75801

Re: Mount Vernon A.M.E. Church Roof Truss and Wall Framing Observation
Palestine, Texas
BBSE Project No: 16075

Dear Tabitha,

On June 30, 2016, per your request, we conducted a visual observation of the building structure located at 913 East Calhoun Street in Palestine, Texas. The purpose of the site visit was to observe the condition of the existing roof and support structure and to determine the limits of damage as well as providing recommendations for stabilizing the roof structure.

Building Description

The building consists of a two-story, wood framed structure supported on a suspended foundation. The roof consists of hipped and gabled conditions and the entire roof is covered with composition asphaltic shingles. The foundation appears to be a pier and beam system with a crawlspace. The perimeter stem wall consist of continuous multi-whythe brick masonry bearing on an assumed continuous concrete footing below grade. The interior wood load bearing walls and floor framing are supported on eight-inch Concrete Masonry Unit (CMU) plinths at varied spacing. The CMU plinths are founded on precast concrete pads bearing on grade in the crawlspace. The exterior walls of the building are covered with a brick veneer. The site slopes from north to south and there is a moderate change in grade across the property. The building is rectangular in plan and for the purpose of this report, faces south.

Based on the information provided in the 1997 Mount Vernon A.M.E. Church Preservation Plan, submitted by Carter Design Associates from Austin, Texas and Mark A. Thacker, with Mark Thacker, AIA Commercial & Preservation Architecture, the following timeline of construction and repairs associated with the buildings structure was determined:

- According to the buildings cornerstone, the original construction of the building occurred in 1921.
- The building was reroofed between December of 1995 and February of 1996. This included removing all previous layers of roofing material, installing new sheathing and composition asphalt shingles.
- Temporary shoring of the floor faming was required at locations of roof leaking occurred between December of 1995 and February of 1996
- New shoring of the existing roof trusses was installed in the fall of 2015 to prevent further damage to roof and wall framing as well as preventing the potential collapse of the structure.

Observations and Discussions:

Listed below are the observed conditions during the site observation on June 30, 2016. Refer to **Exhibits P1 and P2** for a roof plan with typical truss profiles as well as plan for the locations of photographs referenced below.

- Existing exterior 2x6 wood stud walls along the east and west elevations had minor to moderate termite damage. The existing interior horizontal wood shiplap siding was removed under the windows to due to evidence of termite damage within the shiplap. The damaged studs should be repaired or replaced depending on extent of damage. Due to the age and density of the existing wood framing material, replacing the existing stud framing with new wood framing of similar dimension is not acceptable. New growth wood does not possess the same strength. Repair framing should be designed and detailed by a licensed structural engineer in the state of Texas. **Refer photographs 1 and 2.**
- Two lines of shoring had been placed along the transitions between the horizontal bottom chord section and the sloped bottom chord section of the existing wood scissor roof trusses. The roof trusses have excessive deflection and have been shored to prevent further deflection or potential failure. The shoring consisted of multiple levels of steel scaffolding anchored to the floor. Two layers of 3/4" plywood sheathing had been placed under the scaffolding to provide a uniform distribution of the roof loading to the floor framing. Additional support material had been placed between the floor framing and the soil in the crawlspace to transfer all loading from the shoring. The shoring may be removed once the repair framing has been completed and a licensed structural engineer in the state of Texas has approved all repairs.
- During the installation of the shoring of the roof trusses, a wood stud pony wall had been installed on top of the scaffolding. The pony wall studs were attached to the horizontal bottom chord and sloped top chord of the existing wood scissor trusses. **Refer photographs 3-5.** This framing should not be removed until all framing repairs have been completed and a licensed structural engineer in the state of Texas has approved all repairs.
- The existing roof scissor trusses indicate evidence of failure at the sloped bottom chord to horizontal bottom chord connection. **Refer photograph 6.** This failure is evident at nearly every roof trusses. This failure has been exacerbated by deflection and rotation of the roof trusses. The connections at these locations should be designed and detailed by a licensed structural engineer in the state of Texas.
- At the over-framed gable roof areas that frame perpendicular to the main ridge of the sanctuary, the deflection and connection failures are intensified due to the additional dead loading applied from the wood over-framing. The observed inward lateral rotation in the gabled end walls above the typical truss bearing elevation along the east and west elevations, is evidence that the excessive downward deflection is translating to the over-framed gabled roof areas. The existing roof truss framing and connections should be evaluated and repairs to connections should be provided by a licensed structural engineer in the state of Texas.
- Lateral bracing of the existing roof trusses was not completed during the initial construction. Lateral bracing of the trusses should be installed to brace the trusses as well as the individual truss web members. The lateral truss bracing should be designed and detailed by a licensed structural engineer in the state of Texas.

Conclusions and Recommendations:

Based on the above observations, we make the following structural recommendations:

1. The roof framing and support structure of the building is in **poor condition** and may present a hazard to the public if items noted are not corrected.
2. All previous reports that have been provided for stabilizing and repairing the structure should be used in conjunction with this report.
3. A certified pest control company licensed in the state of Texas should be retained to treat the entire building for termites.
4. All wood framing that has been damaged by termites located on the east and west sides of the sanctuary should be removed and replaced.
5. The roof structure should be leveled and repaired to prevent further lateral displacement of the east and west walls.
6. Installation of multi-strand wire cabling or rods should be installed near the top of the walls along the east and west sides of the sanctuary to prevent further lateral displacement from existing scissors roof trusses.
7. Once the walls and roof trusses have been completely leveled and repaired, new roof truss bracing should be installed in the attic space to brace the trusses laterally as well as the individual truss web members.
8. All repairs noted in this report should be designed and detailed by a structural engineer licensed in the state of Texas.
9. Our opinion of probable cost for repair of the structure is approximately **sixty-thousand dollars (\$60,000)**.

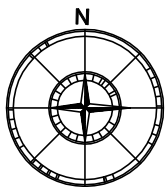
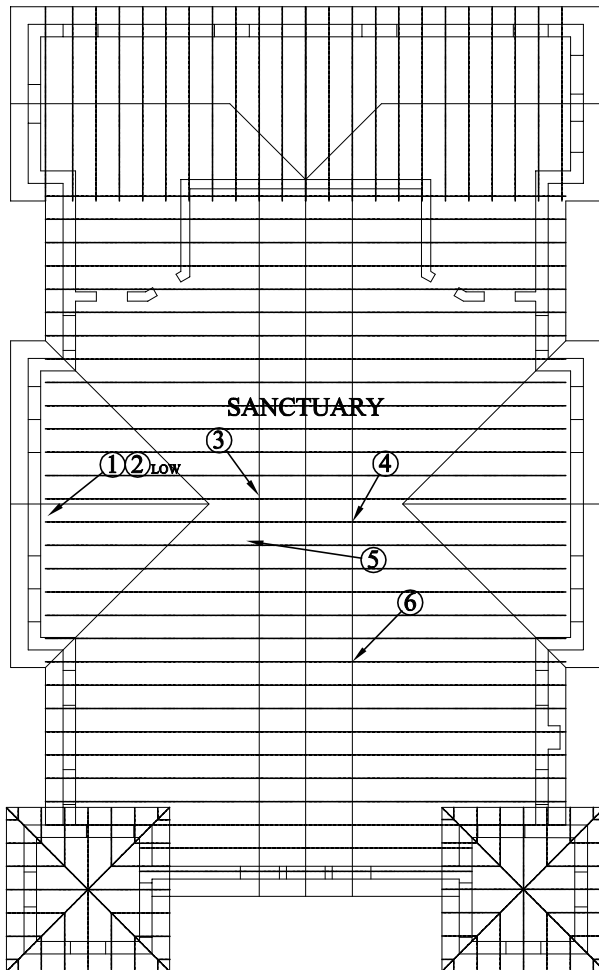
The opinions and comments provided as part of this report are based on field observations as part of our services. Bugh & Brown Structural Engineering, LLC has ascertained to the best of our ability the visually apparent structural defects. However, as field observations were conducted in a building in which portions of the structural framing were concealed by the building finishes, Bugh & Brown Structural Engineering, LLC cannot be responsible for failing to ascertain any structural deficiencies which were not visible due to existing conditions in the building. No warranty, either expressed or implied, regarding the building structure is intended.

If you need additional information, please feel free to contact our office.

Sincerely,

Michael E. Bugh, P.E.
Principal





PLAN NORTH

MOUNT VERNON AME CHURCH
PALESTINE, TEXAS

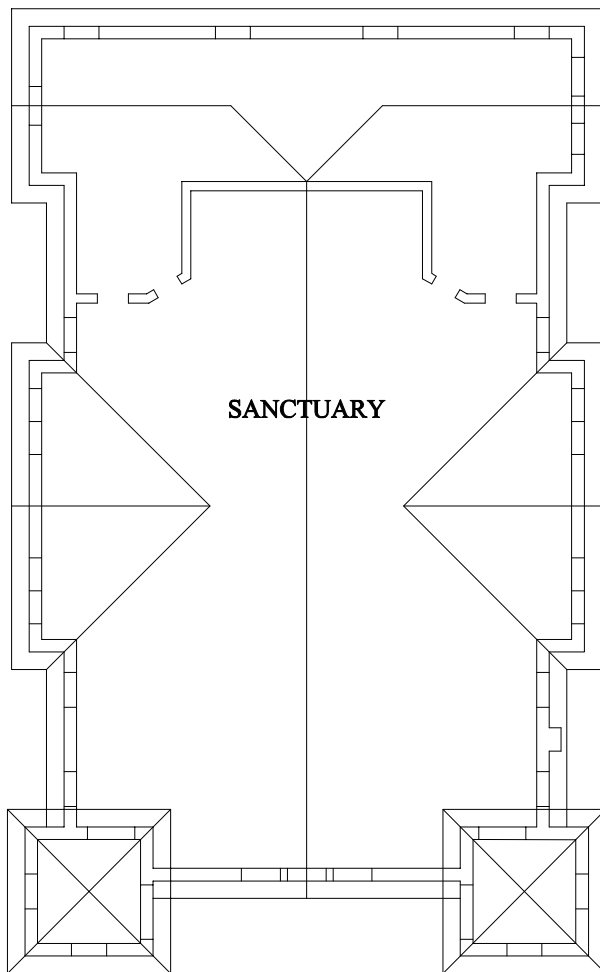
PICTURE PLAN

SCALE: 1/16"=1'-0"

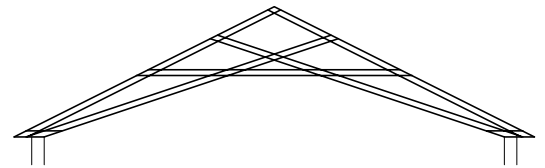
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BBSE

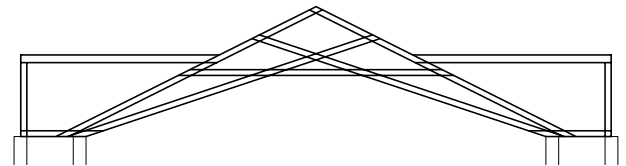
TBPE Firm No. F-15046
Bugh & Brown Structural Engineering, LLC
P.O. Box 8345
Tyler, Texas 75711
903-714-5994



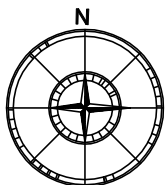
PLAN PROVIDED BY MARK A. THACKER, AIA COMMERCIAL & PRESERVATION ARCHITECTURE



TYPICAL ROOF TRUSS PROFILE



TYPICAL ROOF TRUSS PROFILE AT OVERFRAMING



PLAN NORTH

MOUNT VERNON AME CHURCH
PALESTINE, TEXAS

ROOF PLAN

SCALE: 1/16"=1'-0"

P2

BBSE

TBPE Firm No. F-15046
Bugh & Brown Structural Engineering, LLC
P.O. Box 8345
Tyler, Texas 75711
903-714-5994



Photograph 1 – Typical Termite Damage at Windows along East and West Walls of the Sanctuary.



Photograph 2 – Typical Termite Damage at Windows along East and West Walls of Sanctuary.



Photograph 3 – Typical Horizontal Bottom Chord to Sloped Bottom Chord Transition.



Photograph 4 – Typical Pony Wall Studs Attached to Top and Bottom Chords of Existing Roof Scissor Trusses.



Photograph 5 – Typical Pony Wall Studs Attached to Top and Bottom Chords of Existing Roof Scissor Trusses.



Photograph 6 – Typical Sloped Bottom Chord Connection Failure.

ESC ENGINEERING AND SAFETY CONSULTANTS

P.O. BOX 131452 * TYLER, TEXAS 75713-1452 * (903) 581-5709 * FAX (903) 561 2671

March 11, 2014

Pastor Theresa Y. Hamilton
Ms. Ruth Evans
Mount Vernon AME Church
913 East Calhoun Street
Palestine, TX 75801

Re: Level A-Visual Inspection (Preliminary)
Mount Vernon AME Church
ESC Job No: 14-025-05

Dear Pastor and Ms. Evans:

In accordance with your request, I have conducted a visual inspection of the subject structure. The purpose of this inspection was to evaluate the general overall condition of the foundation with specific emphasis on a large sheetrock crack that has developed behind the altar.

SCOPE

The scope of this inspection and report is limited to a visual inspection of the subject structure. Visual inspections of this nature are limited to observations of areas that are clearly visible and information regarding the past history and performance provided by others. Evaluations of this nature are defined as level A evaluations by Policy Advisory 09-98-A, Texas Board of Professional Engineers. Evaluations at this level do not include review of geotechnical reports (or conducting geotechnical testing), invasive (destructive) inspection, review of original construction documents, testing of construction materials, plumbing tests or determination of foundation elevations. More comprehensive evaluations, that include these or other tests or inspections are available at the Level B and Level C evaluations.

This inspection is also limited to the structural components of the building. Other systems, such as, electrical, HVAC (mechanical), plumbing, roofing, and waterproofing are specifically excluded from this inspection. Companies with individuals qualified in these areas should be contacted for inspections of these areas, if desired. The roof structure was inaccessible during this inspection, so no evaluation of roof framing condition could be made.

Environmental conditions are beyond the scope of this inspection. For inspection or testing for lead paint, asbestos, radon, or other environmental, biological, or chemical conditions, a qualified specialist should be contacted. If observations made during the course of this inspection indicate any of these conditions may be present in the structure or on site, this will be brought to the attention of the individual or company ordering the inspection, so that appropriate evaluations may be made by others.

what is level B
level C

BACKGROUND:

The subject structure was constructed in 1921, according to the cornerstone. There does not appear to have been any major structural modifications or additions. Foundation repairs are evident, however, the date of this work is not known.

FINDINGS:

General:

The structure in question is a complete church structure with sanctuary, bell tower, choir loft, and fellowship rooms at the rear. The primary structure is wood frame supported on what is commonly referred to as a pier-and-beam foundation system. The exterior is of brick veneer. The roof is a conventional composition shingle system.

The following sections are a description of findings. More detailed descriptions of findings are included in the photograph section.

Drainage:

Areas around the foundation exhibit marginal to poor drainage characteristics. I understand that attempts have been made, over the years, to improve the drainage but areas needing more attention still remain.

For the purposes of this report, marginal drainage is defined as an area where some accumulation of run off can occur during and immediately following a rain event, with the water running off slowly. Poor drainage is defined as an area where water will accumulate during and following the rain event, with the water either soaking into the soil or evaporating. Good drainage is an area where positive run off, away from the foundation is found.

Soil Conditions:

No testing of soil conditions was authorized or conducted. Numerous areas of damaged brick are noted. These are areas of missing mortar, cracking, lateral displacement and vertical cracking. These conditions are consistent with the settlement visible, and may be due to the action of expansive soils, as well.

Floor Topography:

A formal elevation survey was not conducted as a part of this visual inspection. There are

areas of the floor that are clearly out of level. Floors are solid to walk on in most areas. There are some that have a certain "spring" when you walk on them. *Repair*

Crawl Space and Floor Framing:

This crawl space has generally adequate clearance from framing to soil, in accordance with code requirements. Ventilation is inadequate. Code requires 1 square foot of ventilation for each 150 square feet of crawl space, with one vent required 3' from each corner in both directions to allow for cross ventilation.

CONCLUSIONS AND RECOMMENDATIONS:

In the areas of poor drainage, grading can be undertaken to route run off away from the foundation. There is adequate fall to the street to allow this grading to provide positive drainage away from the structure. This will limit the moisture fluctuations that may be causing some of the settlement (movement) in footing at the sanctuary wall. *note*

The floor structural framing is considered adequate for the intended usage. Materials are full dimension lumber as was normal for the time period. Added concrete block piers are substantial and appear to be in good condition. Without the benefit of a soils evaluation to provide bearing capacity, it is not possible to do calculations as to the adequacy of the footings relative to settlement or movement limitations. The exterior foundation walls are as originally constructed, and examination would require destructive testing that is beyond the scope of this preliminary evaluation. The indications are that the exterior foundation around the structure and predominately at the sanctuary are moving. The movement is likely due to the presence of expansive soils that will shrink (settle) when dried and swell (heave) when wetted. This type of movement results in damage to the structure such as that seen in this structure. Over time, this type of movement will result in a net downward movement when in an area of heavy loading such as the tall exterior walls of this structure.

The leaning of the sanctuary walls is the most critical condition observed. This is most likely due to settlement in the foundation walls at that location and has caused a vertical settlement in the primary roof structure. This results in additional lateral forces applied to the exterior of the structure at eave height. If these forces are allowed to continue to act on the structure, over time, "system creep" can cause additional lateral displacement of the walls that may eventually result in roof and wall failure.

The movement and mortar erosion damage, noted in the brick veneer results in a weakened system. This also allows moisture into the system that may cause further deterioration

of the brick veneer and "dry rot" of the wood framing superstructure. The veneer requires significant repairs to prevent conditions from worsening. *Mason*

SUMMARY:

In order to provide a complete evaluation of this structure it would be necessary to do the evaluation in accordance with SEI/ASCE 11-99, Guideline for Structural Condition Assessment of Existing Buildings, as promulgated by the American Society of Civil Engineers. This standard would require extensive testing, both destructive and non-destructive to determine the actual condition of the vertical and roof framing, soils, foundation design ("as built"), ability to withstand wind loading. This full and comprehensive evaluation would be very expensive to the church.

Another approach would be to do a visual inspection of the roof structural framing to ensure reasonable condition (this was not done in this initial, preliminary inspection), ~~do the~~ foundation repairs to the exterior walls (at least at the sanctuary), and then the extensive masonry repairs can be done. When these items are done, the structure can be used and be monitored for future vertical and horizontal movement. If no movement occurs, then nothing further should be necessary for a few years (approximately 5), at which time, there should be another review done by qualified professionals. During the interim, there should be an inspection done every 6 months or so to ensure that there is no ongoing movement or distress visible. Visible movement would be defined as distress such as cracking of the newly repaired sheetrock in the interior and exterior brick veneer. These interim inspections can be done by a competent contractor, real estate inspector, or mason. If future movement does occur, then a more comprehensive evaluation must be undertaken at that time.

LIMITATIONS:

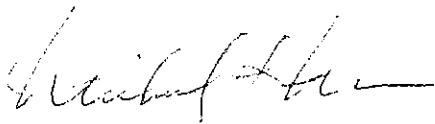
As discussed in the Scope section of this report, it must be understood by this and any subsequent readers that opinions expressed and conclusions reached in this report are based solely on my visual inspection on this date. Visual inspections of this nature rely on the conditions visible at the time of the inspection and any historical information provided by others. No testing of construction materials or soil conditions has been authorized or conducted. No destructive (invasive) inspection or review/analysis of original or subsequent construction documents has been performed. Inspections of crawl space foundations are for general condition, design and visible deficiencies, and are not to be considered an inventory of the condition of each framing member. It must be further understood that foundations of this nature are subject to changes due to seasonal changes in soil moisture content, changes to adjacent or

nearby structures, changes to area drainage characteristics, plumbing problems and nearby vegetation, and that **no guarantees or warranties are either expressed or implied, by this engineer, as to future foundation conditions or performance.**

Please advise if you have any questions regarding the contents of this report or if I can be of any further assistance in this matter.

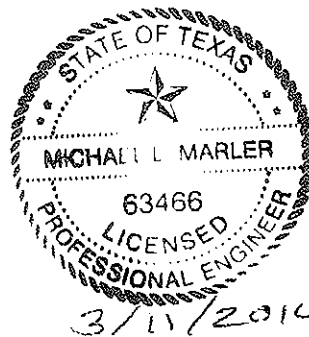
Sincerely,

ENGINEERING AND SAFETY CONSULTANTS
Engineering Firm Registration Number: F-403



Michael L. Marler PE
MLM/s

Attachments: CV of Michael L. Marler PE
Photographs



QUALIFICATIONS OF
MICHAEL L. MARLER PE

CURRICULUM VITAE

MICHAEL L. MARLER PE
CONSULTING ENGINEER

EDUCATION

Bachelor of Science, Civil Engineering
South Dakota School of Mines and Technology

CERTIFICATIONS

P.E. - Professional Engineer, Texas #63466
CSR - Certified Field Safety Representative,
State of Texas, State Board of Insurance #02064
CSI - Certified Safety Instructor, United States Department
of Labor, (Occupational Safety and Health Administration)
(Past)
- Certified in General Industry, OSHA Voluntary Compliance
General Industry (29 CFR 1910), US Department of Labor,
Occupational Safety and Health Administration

PROFESSIONAL SOCIETIES & MEMBERSHIPS

NSPE National Society of Professional Engineers
TSPE Texas Society of Professional Engineers
ASCE American Society of Civil Engineers
ICC International Code Council (International Building Code)
SBCCI Southern Building Code International
AISC American Institute of Steel Construction

ADDITIONAL EDUCATION, TRAINING & CONTINUING EDUCATION:

Stormwater Quality Management - Contech
Geotechnology: Cartography, Mapping and Map Serving - Wiley
Geotechnology: GIS - Wiley
Concrete 1: Evaluation and Causes of Damage - Wiley
Concrete 2: Repair Planning and Preparation - Wiley
Concrete 3: Methods, Materials, and Maintenance - Wiley
Retaining Wall Design, Part 1 - Red Vector
Retaining Wall Design, Part 2 - Red Vector
Building Pathology, Introduction - Red Vector
Building Pathology, Columns and Walls - Red Vector
Building Pathology, Foundations - Red Vector
Building Pathology, Site Drainage Problems - Red Vector
Culvert Design 1, Red Vector
Bridge Inspection, Failure & Damage Analysis
Stability Analysis of Concrete Structures-Failure/Damage Analysis, Inc

Michael L. Marler PE

Evaluation and repair of concrete structures, Failure & Damage Analysis
Traffic Accident Analysis and Reconstruction - George Washington University
Parking Lots - Surface Lot Functional Design - Wiley
Powder Actuated Fastening Systems - Hilti, Ramset
OSHA Voluntary Compliance Outreach Instruction Certification, US Department of Labor, Occupational Safety and Health Administration, National Training Institute, University of Texas at Tyler
OSHA A Guide to Voluntary Compliance Certification, General Industry, US Department of Labor, Occupational Safety and Health Administration
AGC OSHA (29 CFR 1926) Voluntary Compliance Training
Onsite Wastewater Treatment-Recirculating Sand Filters - Wiley
Wetland Primer, Advanced: Field Evaluation & Permitting Considerations - Wiley
Constructed Wetlands - Introduction & Basic Concepts - Wiley
Heavy Equipment Basics - Lifting - Wiley

QUALIFICATIONS AND EXPERIENCE

Experience in Failure Analysis, Claim Development, General Building Construction, Earthmoving, Steel Erection, Structural Evaluations, Foundation and Structural Design and Evaluation, Erosion Control, Hazardous Material Remediation, Safety Plan Development (including confined space, haz-mat, etc.), Equipment Operation and Safety, Investigation of Accidents, Engineering Surveying, Railroad/Highway Grade Crossing Evaluation, Workman's Compensation, FELA Accidents and Traffic Studies, Authorized Reviewer for Dynamic QC program for U.S. Navy. Site drainage and development plans, including site structures.

EMPLOYMENT HISTORY

| | |
|--------------|---|
| 1991-Present | Consulting Engineer, Engineering and Safety Consultants |
| 1990-1991 | Consulting Engineer, Conlan Engineering Co., Inc. |
| 1989-1990: | Consulting Engineer, SEAL Corporation |
| 1988-1989: | Project Manager, Lone Star General Contractors, Inc. |
| 1985-1988: | Project Manager, Denson Construction, Inc. |
| 1980-1985: | President, Tyler Crane and Rigging Company, Inc. |
| 1978-1980: | Vice President, Gordon Campbell and Associates |
| 1971-1978: | Project Engineer, Allen M. Campbell Co. Inc. |

PHOTOGRAPHS

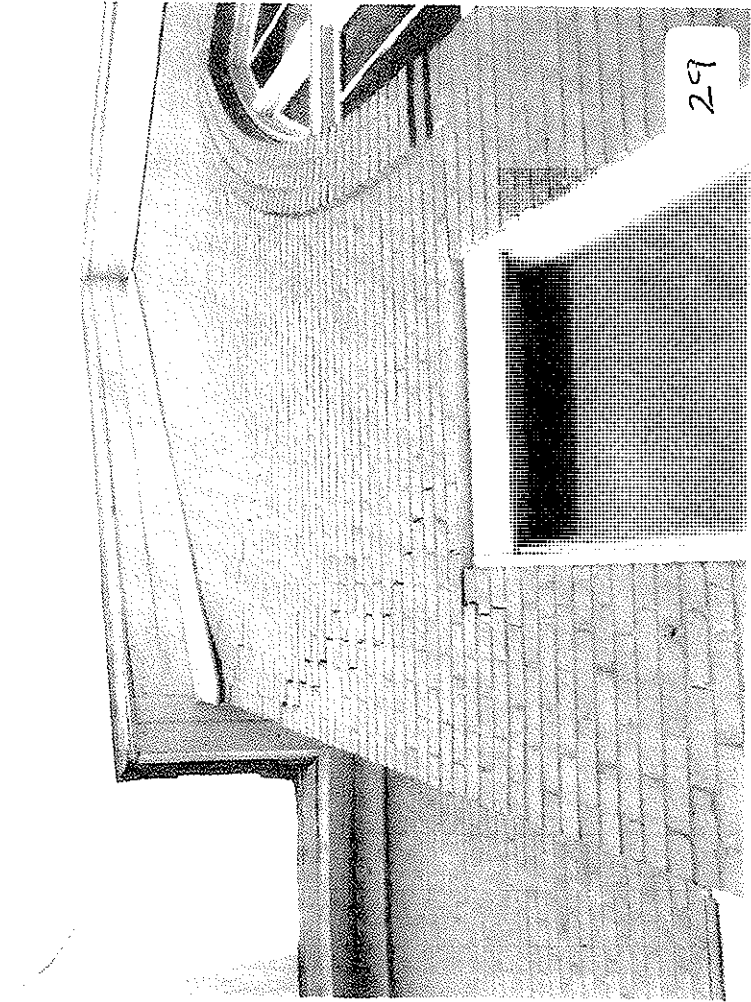
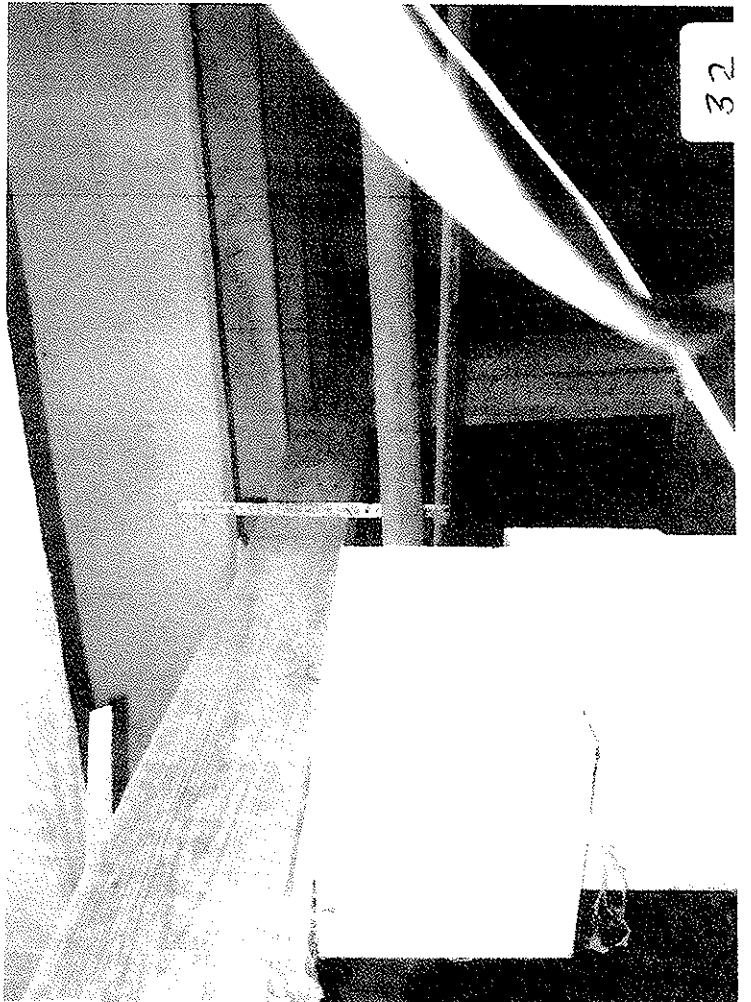
| NUMBER | DESCRIPTION |
|--------|---|
| 1. | Large crack in the sheetrock wall behind the altar. |
| 2. | Same crack noted in 1, different angle. |
| 3. | Same cracking noted in 1 and 2. |
| 4. | Same cracking noted in 1, 2, and 3. |
| 5. | Distortion in paneling behind altar. |
| 6. | Cracking in wall under wall paper. |
| 7. | Damage to wall behind altar. |
| 8. | Damaged wall behind altar. |
| 9. | Same as 6, different angle. |
| 10. | Cracking at exterior wall at balcony. |
| 11. | Same as 10, closer photograph. |
| 12. | Balcony separating from exterior wall. |
| 13. | Cracking due to settlement and structural movement. This area has been repaired in the past and has re-cracked. |
| 14. | Cracking in veneer above window. |
| 15. | Deteriorated mortar at window. Repairs have been made in the past and are needed again. |
| 16. | Area of mortar erosion. Past repairs are evident. |
| 17. | Significant cracking in offset in wall that is "leaning" outward. |
| 18. | Significant cracking and lateral displacement in tower veneer and structure. |
| 19. | Cracking in veneer. |
| 20. | Cracks in veneer at low roof to high section. |
| 21. | Mortar erosion that has been repaired in the past and continues to erode. |
| 22. | Cracking at the window due to foundation movement and erosion of mortar due to aging. |
| 23. | Cornerstone that indicated construction in 1921. |
| 24. | Cracking and separation at exterior. |
| 25. | Severe lateral displacement at offset in exterior wall. |
| 26. | Same as 25, different location. |
| 27. | Area of damage to what appears to be another cornerstone. |
| 28. | Movement cracking under window. |
| 29. | Cracking over window at roof change. |
| 30. | Shows significant leaning of middle section of wall at sanctuary. |
| 31. | Shows leaning at middle section, same as 30, different angle. |
| 32. | Typical foundation repair in interior portion. |
| 33. | Shows clearance, framing and original and repair piers. |
| 34. | Area of crawl space, indicated good condition of framing. |
| 35. | Shows added CMU piers. |

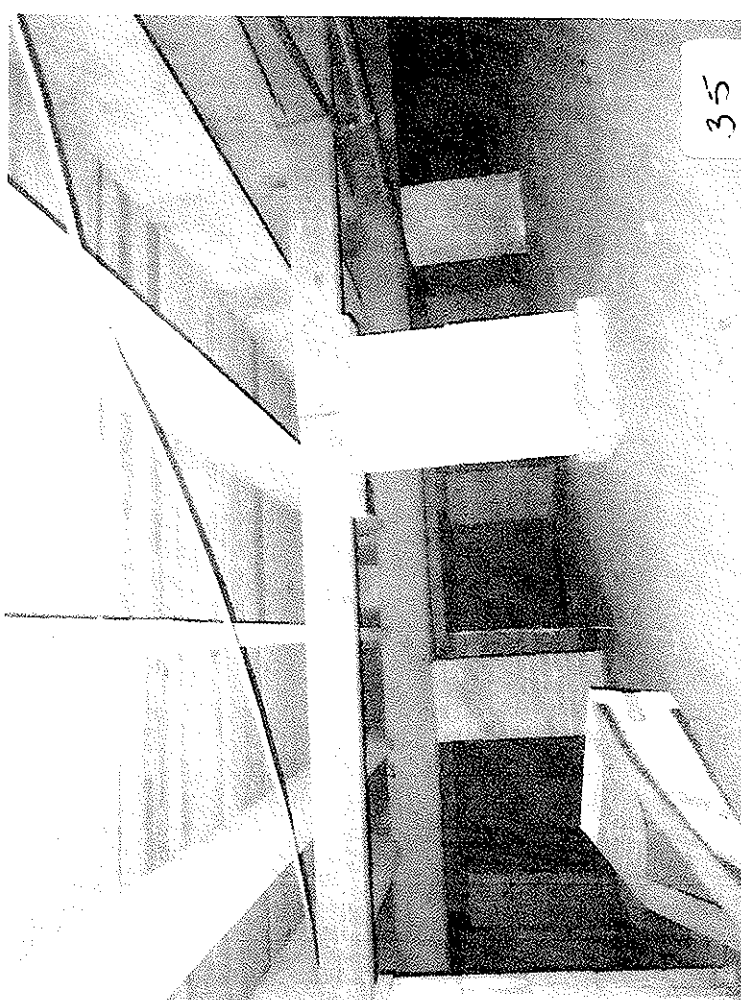
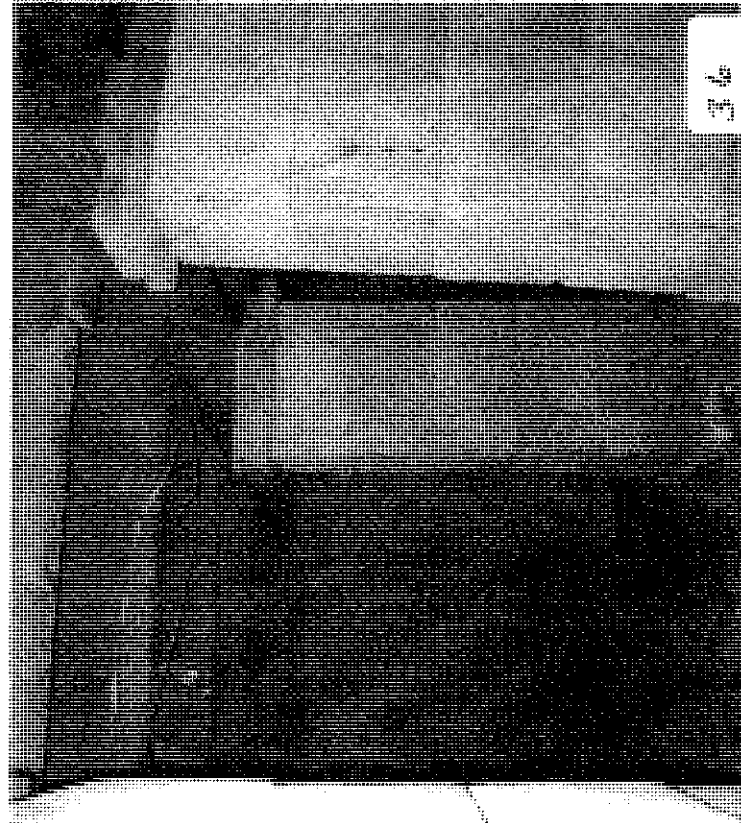
PHOTOGRAPHS

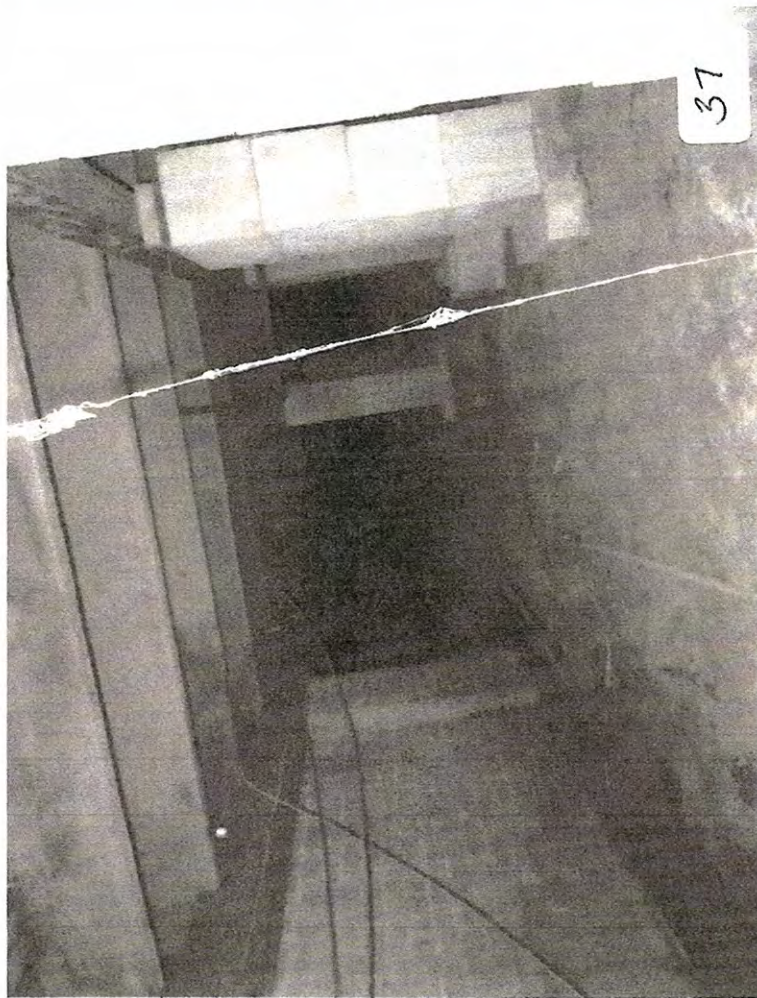
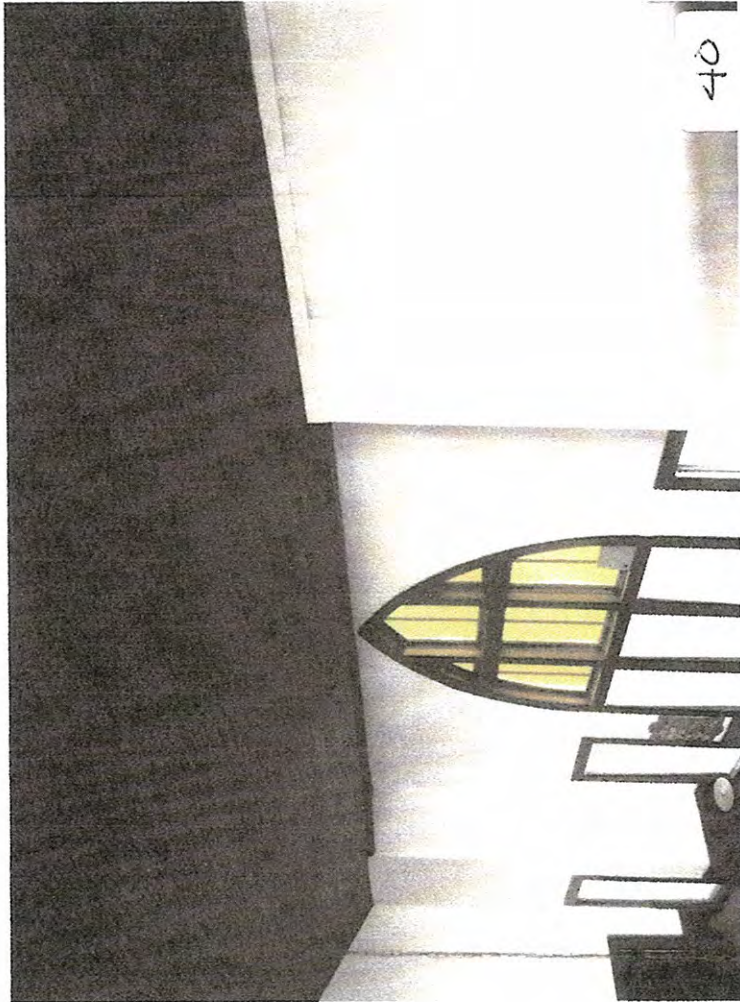
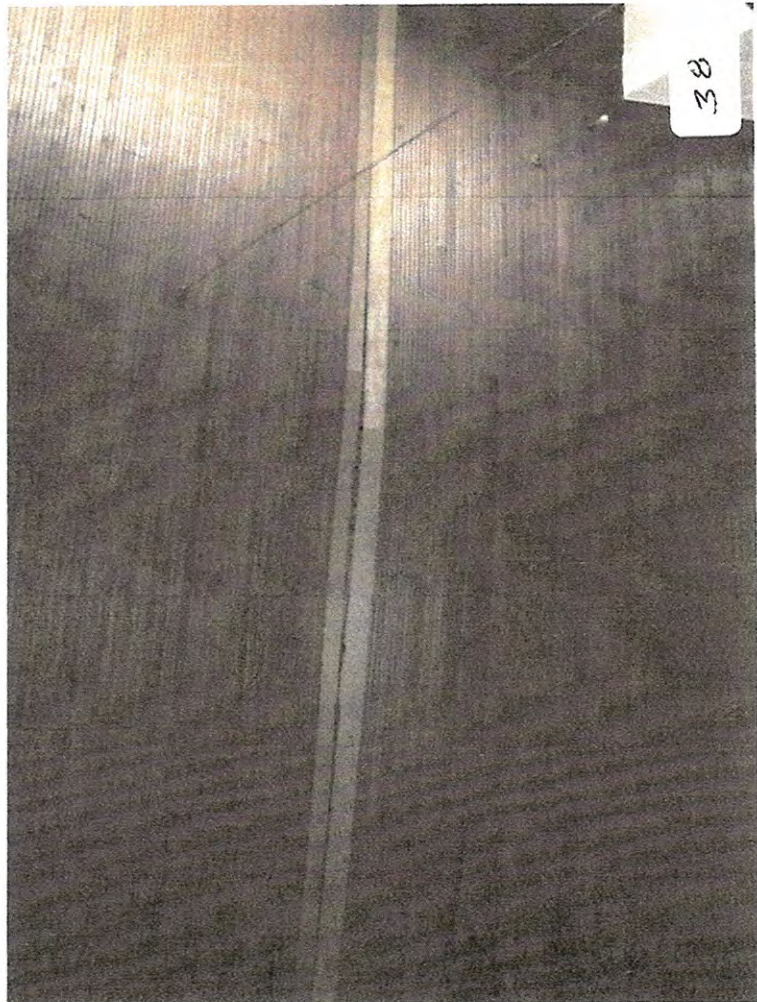
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| 37. | Shows sections of interior piers and exterior foundation wall. Foundation walls are |

- settling at exteriors of sanctuary, allowing walls to lean outward.
- 38. Section of roof ceiling that is separation.
 - 39. Same as 38, different angle.
 - 40. Section of leaning sanctuary wall leaning outward, as seen from inside.
 - 41. Shows leaning walls at sanctuary. This occurs on both sides.

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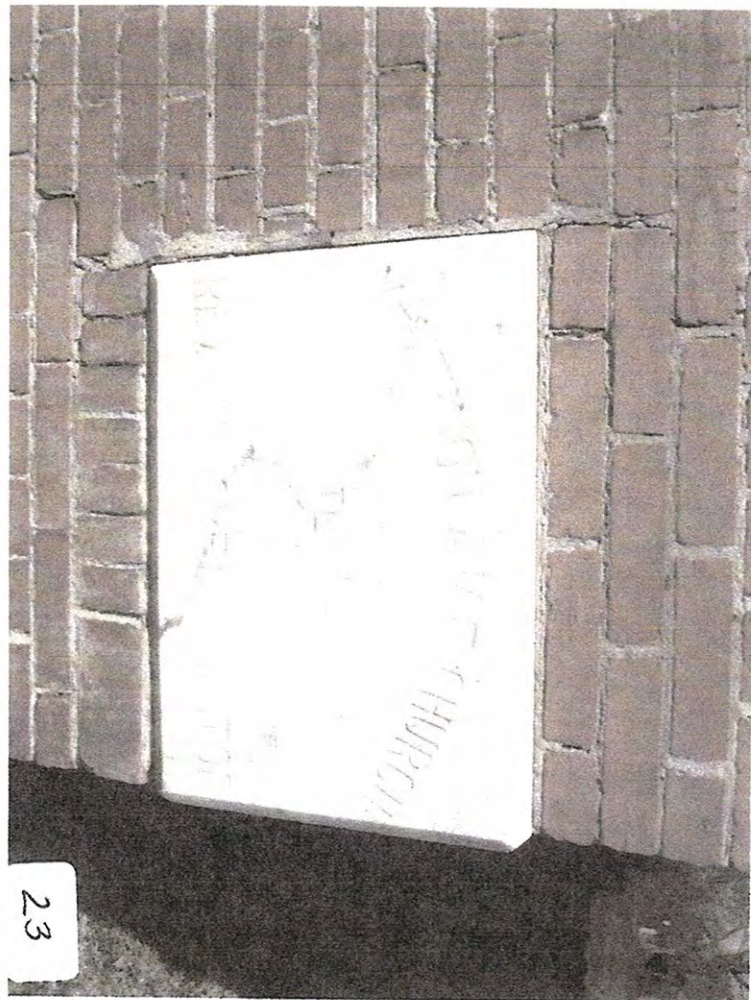


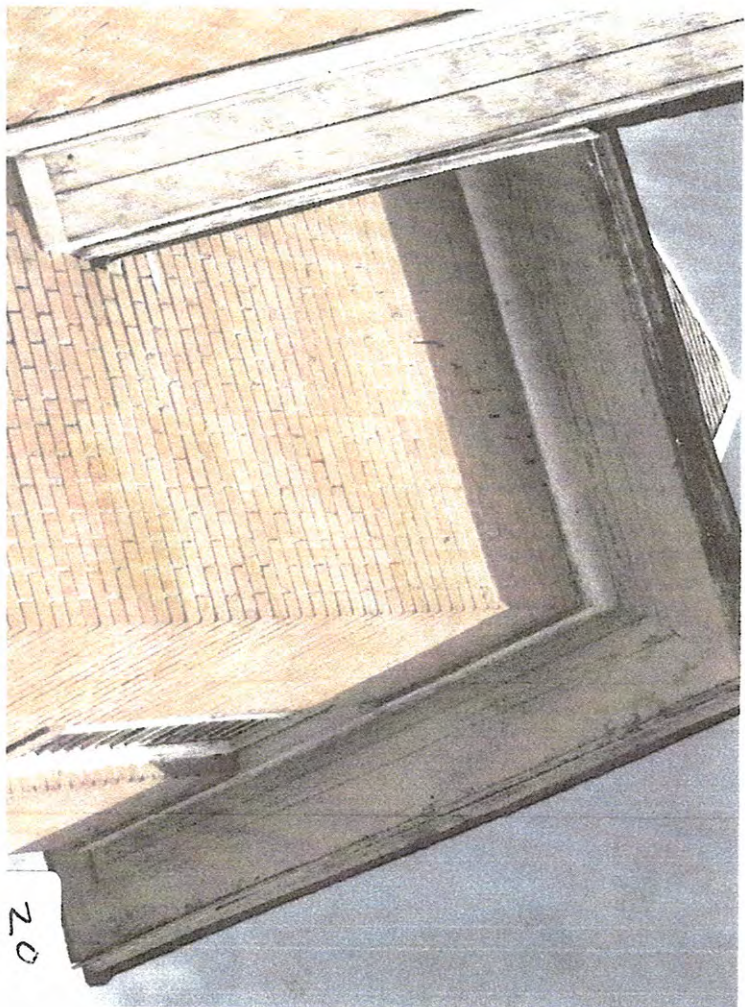


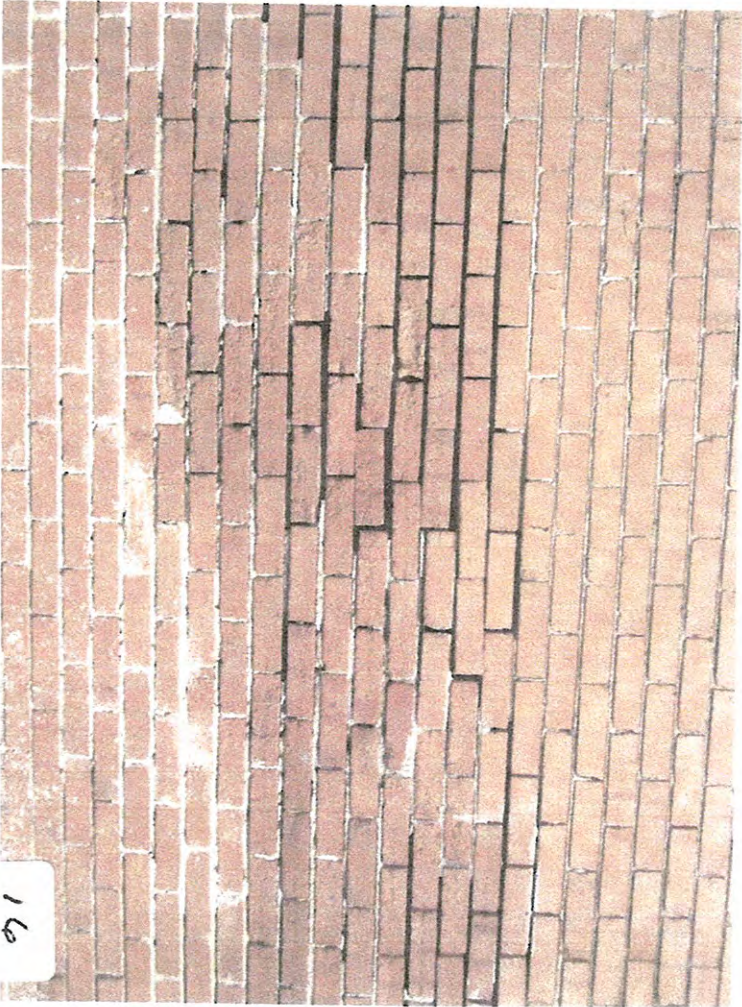
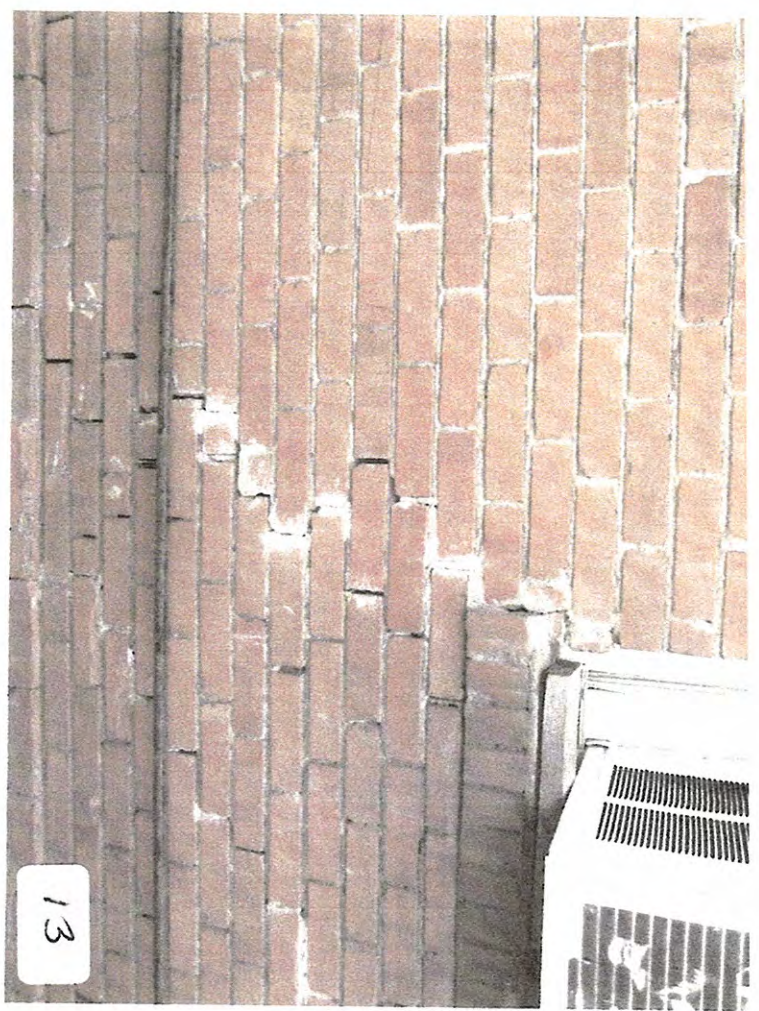


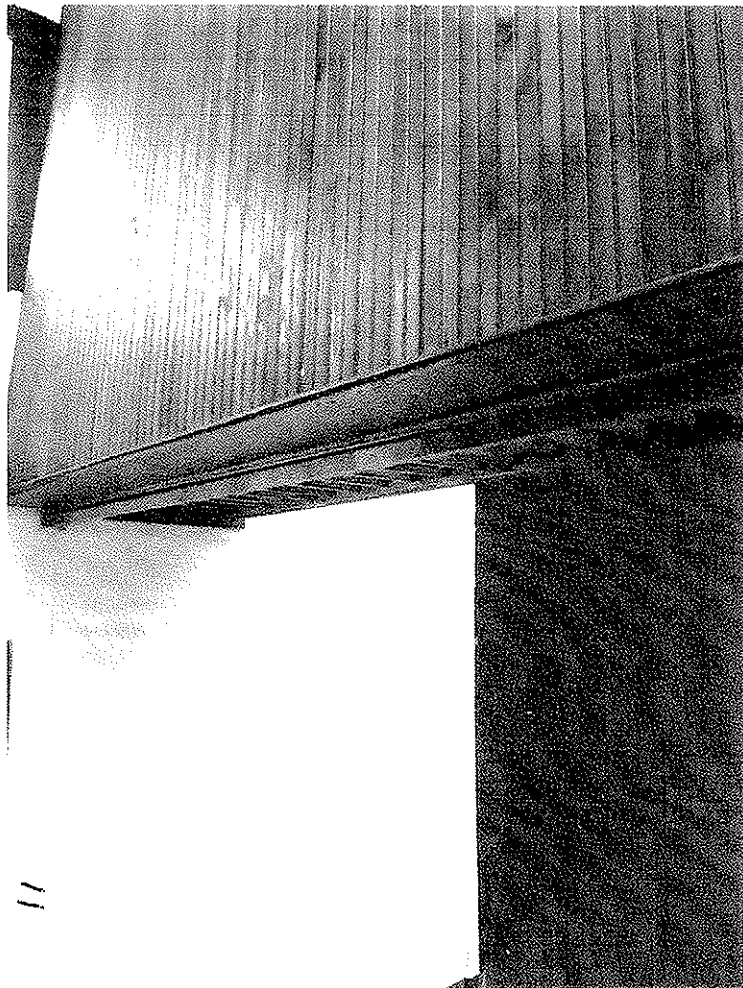








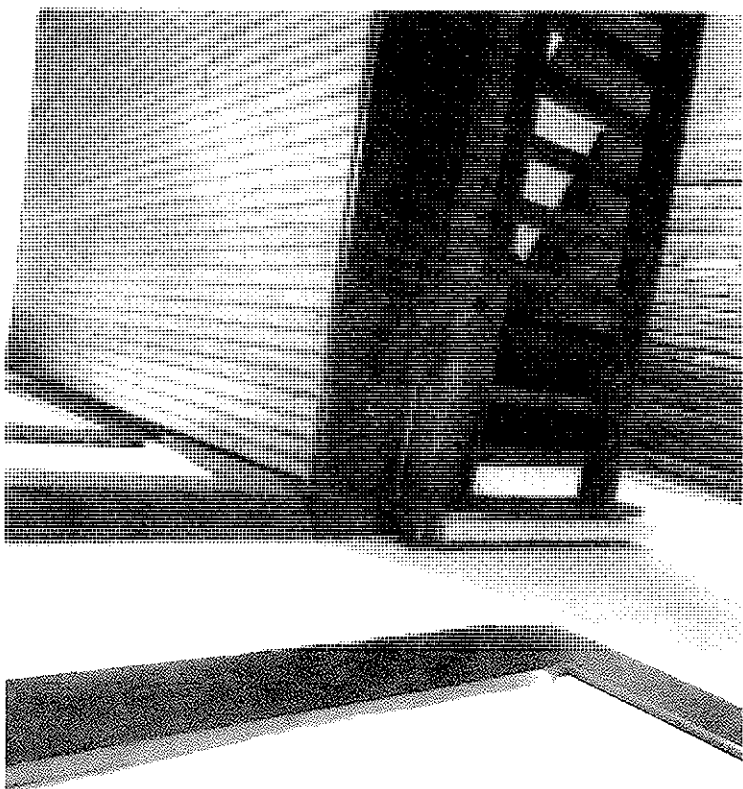




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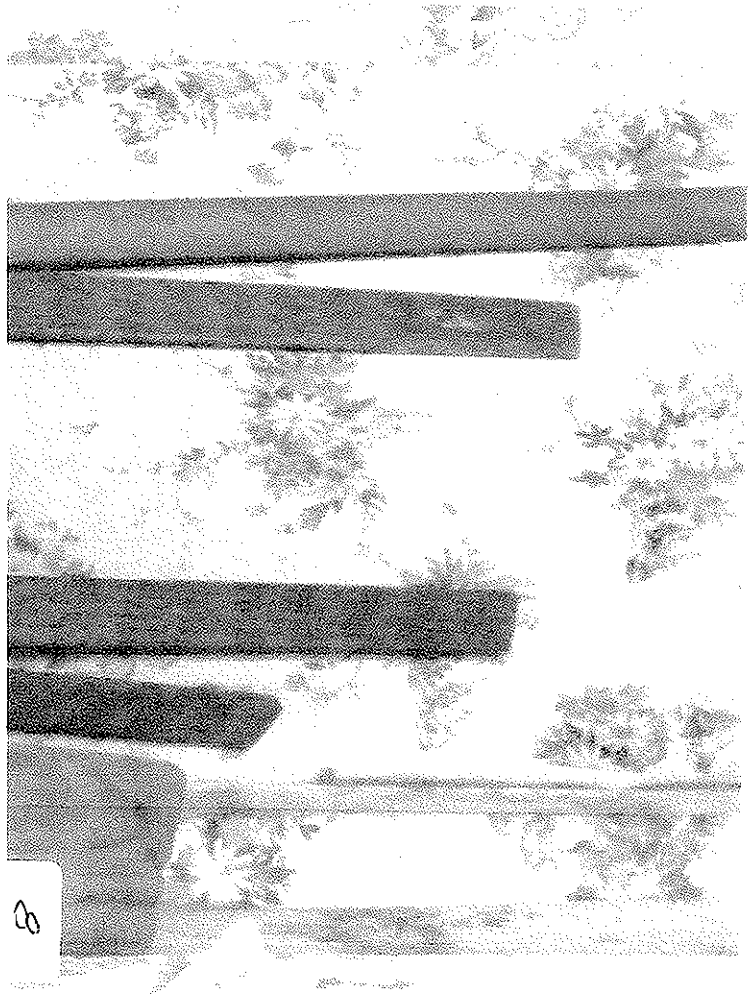
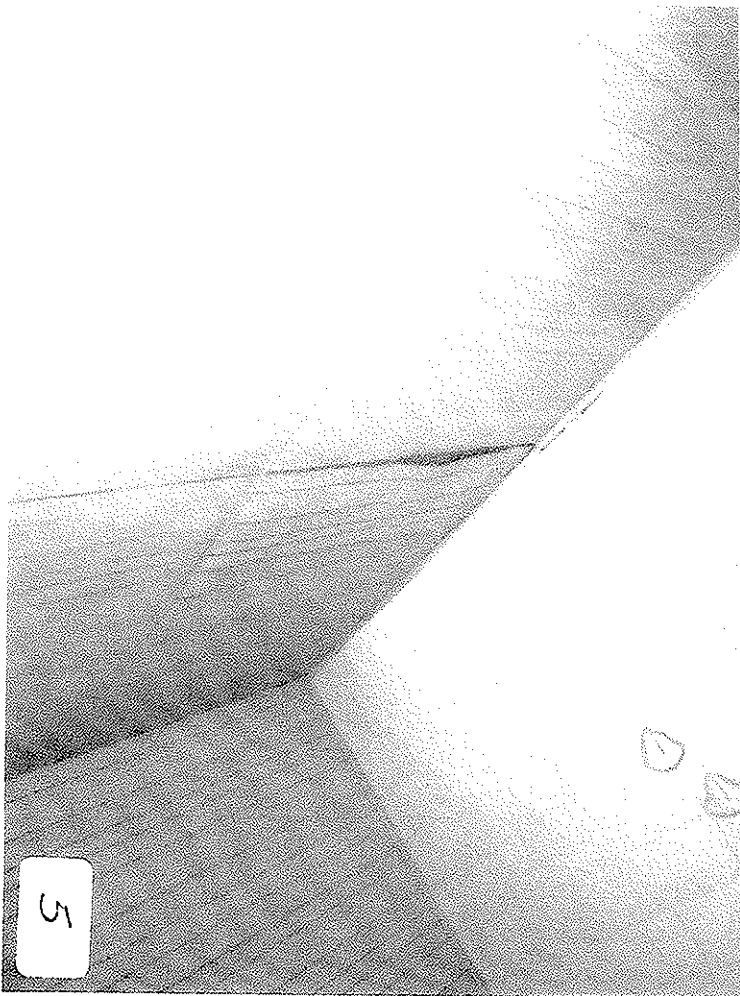
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10





Agenda Date: 08/17/2021
To: Tourism Advisory Board
From: Mary Raum, Tourism Marketing Manager
Agenda Item: Review and consider submissions for Mural RFP 2021-005
Date Submitted: 08/11/2021

SUMMARY:

The City of Palestine published Mural RFP 2021-005 for service to design and paint a large mural on the Palestine Herald Press Footing Wall located at 519 Elm Street running along Cedar Street. Submissions were completed through the RFP process and the tourism Advisory Board will review and select the design and artist that will be awarded the project.

RECOMMENDED ACTION:

Review, consider and recommend one of the submissions for Mural RFP 2021-005 to be awarded.

CITY MANAGER APPROVAL:

Fiscal Impact

Fiscal Year: 2020/21
Budgeted Y/N: Y
Account #: 150-5-740-3350
Amount Requested: \$15,000.00

Attachments

Seth Blood Mural Submission 2021-005
Dace Kidd Mural RFP 2021-005
Mural RFP Deanna Frye 2021-005
Frye Rendering
Frye Rendering 2
Frye Color Pallet
Frye Mural Example



Mural Sign / Artistic Mural Review Form

Development Services, City of Palestine

Contact Information:

Name: Seth Blood
 Address: 315 W Main St. Palestine, TX.
 Phone #: 903-574-4172
 E-mail: sethblood13@gmail.com

Mural Location Information:

Property Address: Cream Coffee Wells Creek Crossing
 Is the artist the owner of this property? Yes/No No
 If no, proof of owner consent must be provided.
 Is this property located in a Historic District? Yes/No Yes
 If yes, what material is the surface to be painted? (Raw masonry cannot be painted)
 Surface to be painted: Select one – Wood – Metal – Brick – Stucco – Other _____
 Description of mural location: (i.e. top half of north wall) _____

Design Description:

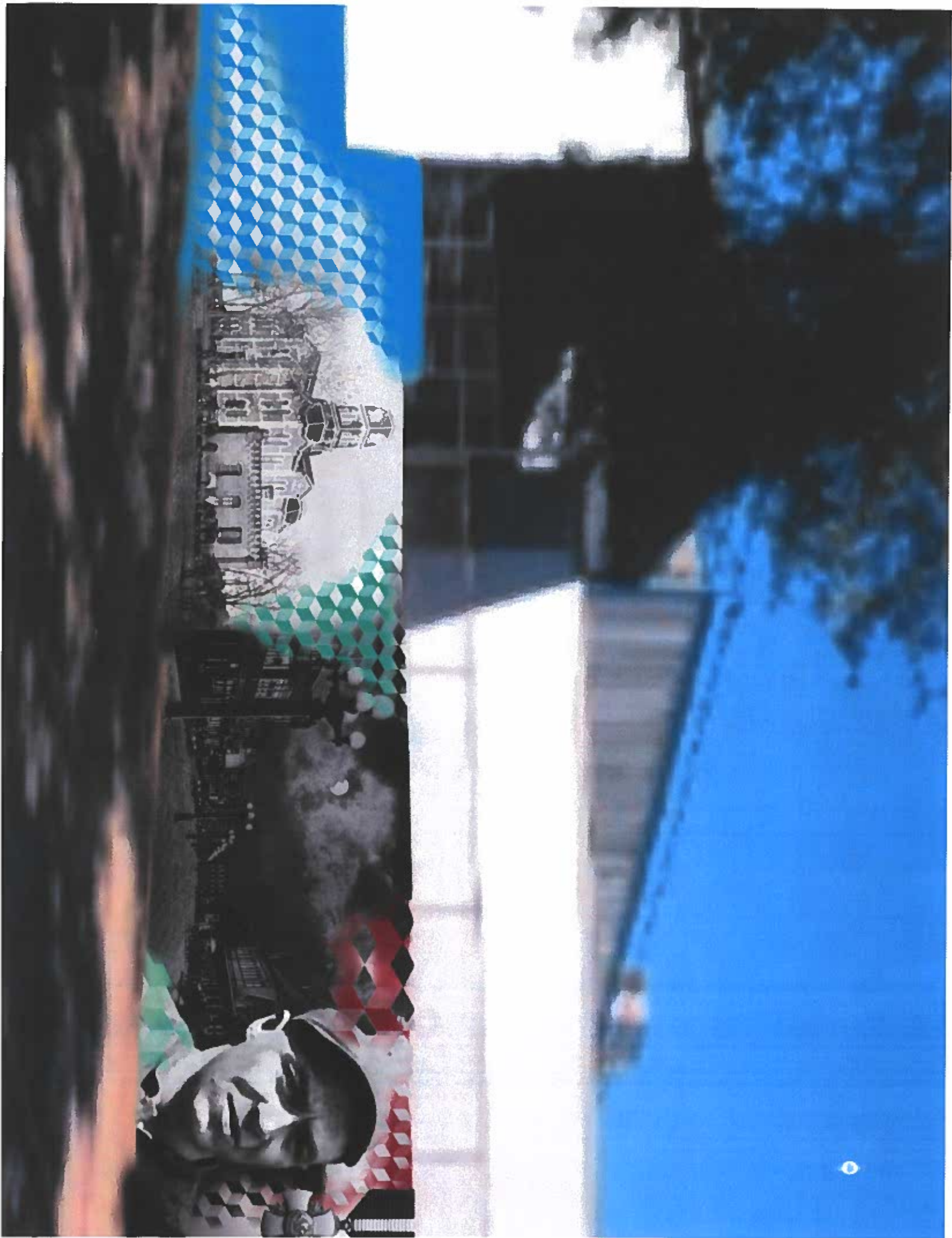
Is this mural an advertisement or promotion for a business or organization? Yes/No _____
 Will the mural contain a logo? Yes/No _____
 What is the size/dimension of the mural area? _____
 If wording or text is to be incorporated in the mural, please provide here: _____

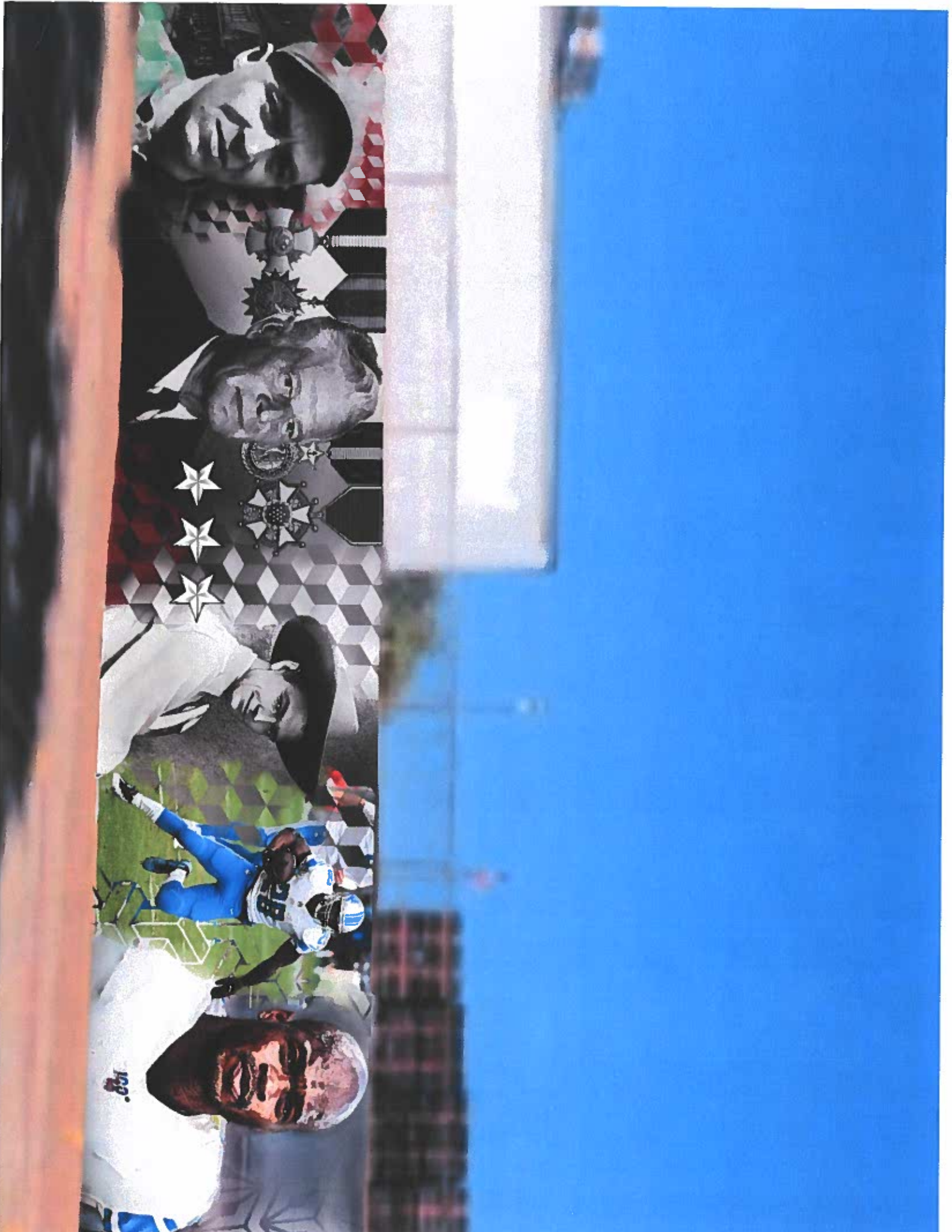
Please provide a sample sketch or drawing of the proposed mural on a separate page or provide a digital rendering.

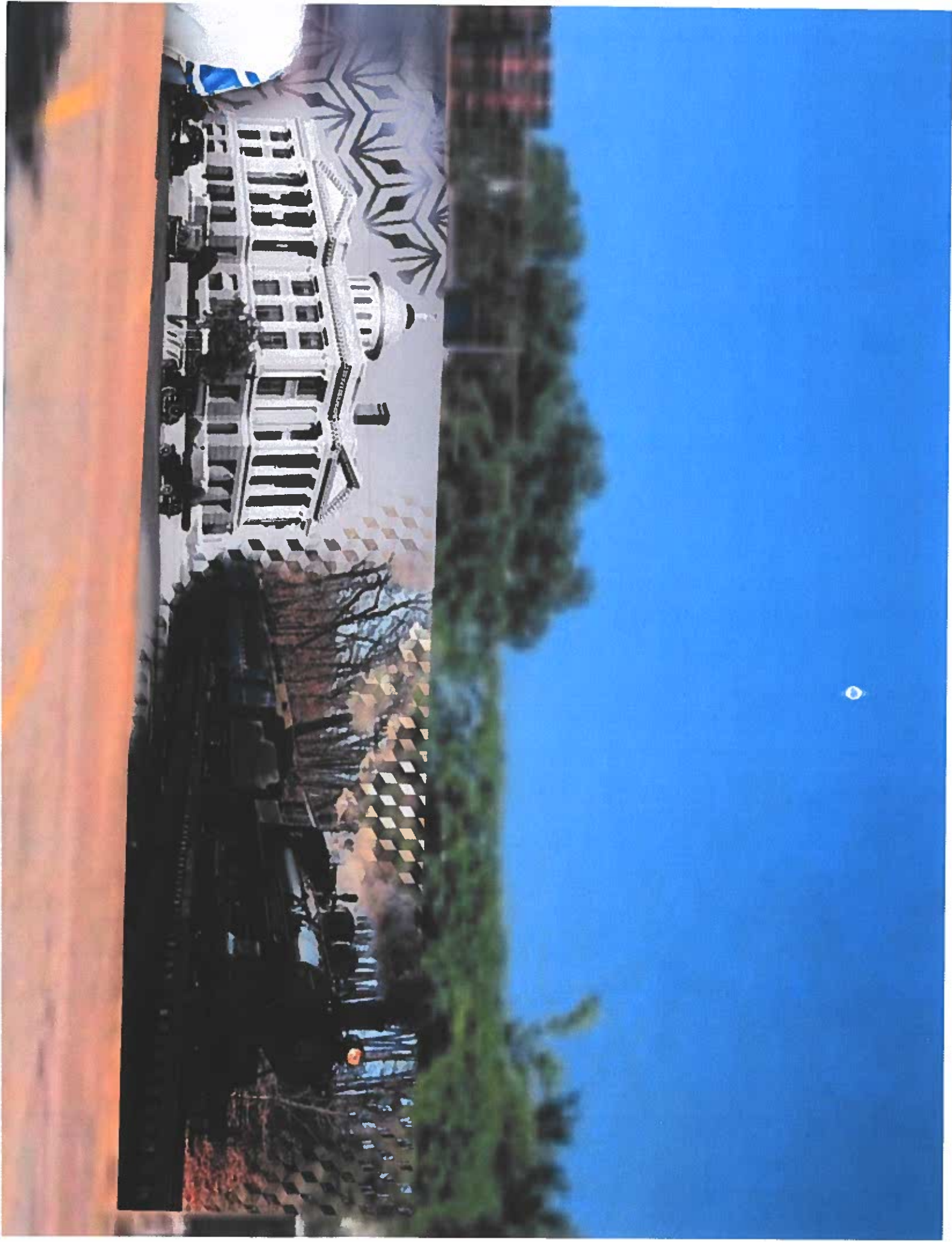
Date: 8-9-21

Signature: [Signature]












From Wikipedia, the free encyclopedia

He rose to the **flag rank** and commanded **Bureau of Naval Personnel** and **Carrier Division 4**. Guinn completed his career as Deputy Chief of Naval Operations (Manpower and Naval Reserve) and Chief of Naval Personnel.^{[2][3]}

- 1 **Early career and World War II**
- 2 **Postwar service**
- 3 **Vietnam War**
- 4 **Retirement**
- 5 **Decorations**
- 6 **See also**
- 7 **References**

On July 24, 1945, Guinn led his division of eight [Hellcats](#) during the [Attacks on Japanese Naval Anchorage, Kure, Honshu](#). He skillfully piloted his aircraft in a determined attack against [Japanese cruiser Aoba](#) docked in the harbor and despite heavy anti-aircraft fire from enemy warships and ground installations, he scored a direct hit on the fantail of the ship with 2,000 lb bomb, which contributed to the sinking of that vessel. For this act of valor, Guinn was decorated with [Navy Cross](#), the [United States](#) military's second-highest [decoration](#) awarded for [valor](#) in combat.^{[1][2][4]}

A black and white portrait of a man in a military uniform, likely a general. He is wearing a dark suit jacket over a white shirt and a dark tie. On his left chest, there is a name tag that reads "HARRIS" and several medals. The background is dark and out of focus.

| | |
|---------------------------------------|---|
| Born | March 27, 1918 Palestine, Texas, U.S. |
| Died | August 26, 1980 (aged 62) Pensacola, Florida, U.S. |
| Buried | Barrancas National Cemetery |
| Allegiance |  United States |
| Service/branch |  United States Navy |
| Years of service | 1941–1972 |
| Rank |  Vice admiral |
| Service number | 0-100304 |
| Commands held | Chief of Naval Personnel Carrier Division 4 USS <i>Forrestal</i> USS <i>Rigel</i> Carrier Air Group 6 Composite Squadron 3 |
| Battles/wars | World War II <ul style="list-style-type: none">Battle of the AtlanticBattle of OkinawaAttacks on Kure Korean War |
| Awards | Navy Cross Distinguished Service Medal Legion of Merit Air Medal (2) |

Adrian Peterson



Peterson with the [Washington Redskins](#) in 2018

Free agent

Position: [Running back](#)

Personal information

Born: March 21, 1985
(age 36)
[Palestine, Texas](#)

Adrian Lewis Peterson (born March 21, 1985) is an [American football running back](#) who is a free agent. He played [college football](#) at [Oklahoma](#), where he set the freshman rushing record with 1,925 yards during the [2004 season](#). Named a [unanimous All-American](#) that year, he became the first freshman to finish as a runner-up in the [Heisman Trophy](#) balloting. Peterson finished his college football career as the Sooners' third all-time leading rusher. He is widely considered to be one of the greatest running backs in football history.



OSCAR DUGEY
2nd B.—Philadelphia Nat'l
58

Second baseman

Born: October 25, 1887
Palestine, Texas

Died: January 1, 1966 (aged 78)

Batted: Right **Threw:** Right

MLB debut

September 13, 1913, for the [Boston Brave](#)

Last MLB appearance

August 25, 1920, for the [Boston Braves](#)

MLB statistics

Batting average .194

Hits 1

Stolen bases 20

Teams

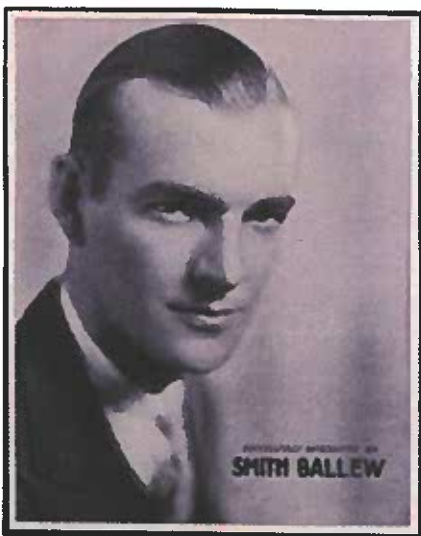
- [Boston Braves](#) (1913–14, 1920)
- [Philadelphia Phillies](#) (1915–17)

Oscar Joseph Dugey (October 25, 1887 – January 1, 1966) was a [Major League Baseball](#) player. He played all or part of six seasons in the majors, between 1913 and 1920, for the [Boston Braves](#) and [Philadelphia Phillies](#). He played mostly at second base, but also appeared in 20 games at third base. He was a member of the Braves team during the [1914 Boston Braves season](#), which saw the "Miracle Braves" win the [World Series](#) after being in last place in July. Following his playing career, Dugey was a coach for the Braves and [Chicago Cubs](#).

Oscar Dugey

Sykes "Smith" Ballew (January 21, 1902 – May 2, 1984) was an American actor, sophisticated singer, **orchestra** leader, and a western singing star. He also was billed as **Buddy Blue**, **Charles Roberts**, and **Billy Smith**.^[1]

Smith Ballew



Smith Ballew on a 1931 sheet music cover.

| | |
|----------------------|---|
| Birth name | Sykes Ballew |
| Born | January 21, 1902 Palestine, Texas, U.S. |
| Died | May 2, 1984 (aged 82) Longview, Texas, U.S. |
| Genres | Popular music, Jazz, Country music, Western movies |
| Occupation(s) | Vocalist, musician, orchestra leader, film actor |
| Instruments | Vocals |
| Years active | 1930s–50s |

REQUEST FOR PROPOSALS RFP 2021-005

PROJECT: PALESTINE HERALD PRESS PARKING LOT FOOTING WALL

BY

DACE KIDD

WWW.MURALARTISTTX.COM

dacekidd@gmail.com

903.258.7274

4500 Gretna Green Lane

Tyler, TX 75703

I am very excited to have an opportunity to create a proposal for a mural that will be located in Palestine's Old Town area. I am an artist from Latvia, a small country in North-East Europe, where downtown is the city's heart and a destination for culture. I have resided in Tyler, TX for over ten years, where I have created many of my major public art projects which contribute to Tyler's art scene: "Eyes of Tyler," "Wings of Tyler," "Hello! I Love You, Tyler!", "777 Historic Azalea District," to name a few (I am still surprised how quickly these murals have become Tyler landmarks). I enjoy collaborating with and including the local community near my mural installations. My most recent project for the City of Longview are "Unity mural" and "Flower Power mural" which is the biggest mural in East Texas. During this project many children, who were participating in a summer camp sponsored by the Longview Museum of Fine Arts, painted along side me for multiple days.

I started studying art when I was seven years old. From an early age, I decided to become a classically trained painter. In the Art Academy of Latvia, I was introduced to the discipline of monumental art like mosaic and fresco while also studying figure drawing and painting. Continuing my education at the Accademia di Belle Arti Palermo on the island of Sicily, I had the opportunity to learn master's techniques within the discipline of mural painting and conservation. When I moved to the United States ten years ago, I was very excited to apply my skills and knowledge to studio painting and commission-based projects while also designing and executing site-specific mural installations. Receiving my United States citizenship four years ago motivated me to create work that will connect the community, improve the quality of life, and encourage us to reflect on what matters most. I have even started a separate business – Mural Artist TX.

Please forgive me if one of my words in English is not perfect. English is my fifth language, and I am still learning the Texan version.

I have included with the project proposal: idea sketches which I am willing to modify and collaborate with you, my resume, references, examples of past projects, and a proof of liability insurance of \$1.000.000. I always create a time-lapse video of the mural painting that I share with my client and upload it on my You-Tube channel Mural Artist TX.

Thank you for your time and consideration.

Sincerely,
Dace Kidd

Project Description:

First stage: Site inspection for safety issues; we are looking for overhead power-lines or slippery surfaces, etc. Inspect the wall to determine the necessary prep-work to ensure the paint’s best adhesion. Decide if any repairs are required.

Second stage: When the wall is cleaned by the City of Palestine, it will be primed with the appropriate primer coat. One or two coats of primer, depending on coverage. I highly recommend using Extreme Bond Primer by Sherwin Williams that is designed to adhere to uneven and previously exposed to the elements or slick surfaces and provides excellent binding with Resilience Exterior Latex paint by Sherwin Williams that has UV protective properties and a limited lifetime warranty, along with superior moisture resistance (you can even paint with this paint during mild rain). I have used both of these products for over seven years, in many different environments, and they stand the test of time without having an extra protective coating applied.

Third stage: The design of the mural is projected and traced on the wall after sunset. This ensures an exact representation of the desired perspective by creating detailed parameters I can work within.

Fourth stage: The mural painting begins along with custom mixing and blending colors to achieve the look of the design. Multiple coats of Resilience will be used to achieve the desired color density.

Fifth stage: If you insist, an anti-graffiti coating is applied to the mural after it’s dried.

Material list:

Projecting supplies: We shall need a power source (110V), extension cords, computer, projector, ladders, drawing tools, kneeling pads.

Painting and priming supplies: We will need roller poles, rollers, roller covers, brushes, painter’s tape, primer (7 gallons to cover ~ 1278 sq ft of the mural), paint (20 gallons to do at least two coats and mix many different custom shades), ladders, step-stool, scaffolding, kneeling pads, tarps.

Video recording supplies: Camera, stand.

Artist Fee & Material Breakdown:

Materials Cost (tax included):

| Material | Cost |
|--|-----------|
| Painting supplies for painting the mural on community painting, except for paint and primer | \$2500 |
| Extreme Bond Primer 7 gal (1 gallon - \$71.45 including sales tax) | \$500.15 |
| Resilience Exterior Latex different colors 20 gallons (1 gallon - \$79.02 including sales tax) | \$1580.4 |
| Vandl-Guard anti-graffiti coating 12 gal (1 gallon - 62 including sales tax)* | \$744 |
| Design labor \$50 per hour | \$300 |
| Artist labor, assistant fee (\$50 per hour - projecting 160 h of labor) or ~\$7 per square foot. | \$9375.45 |
| Total | \$15,000 |

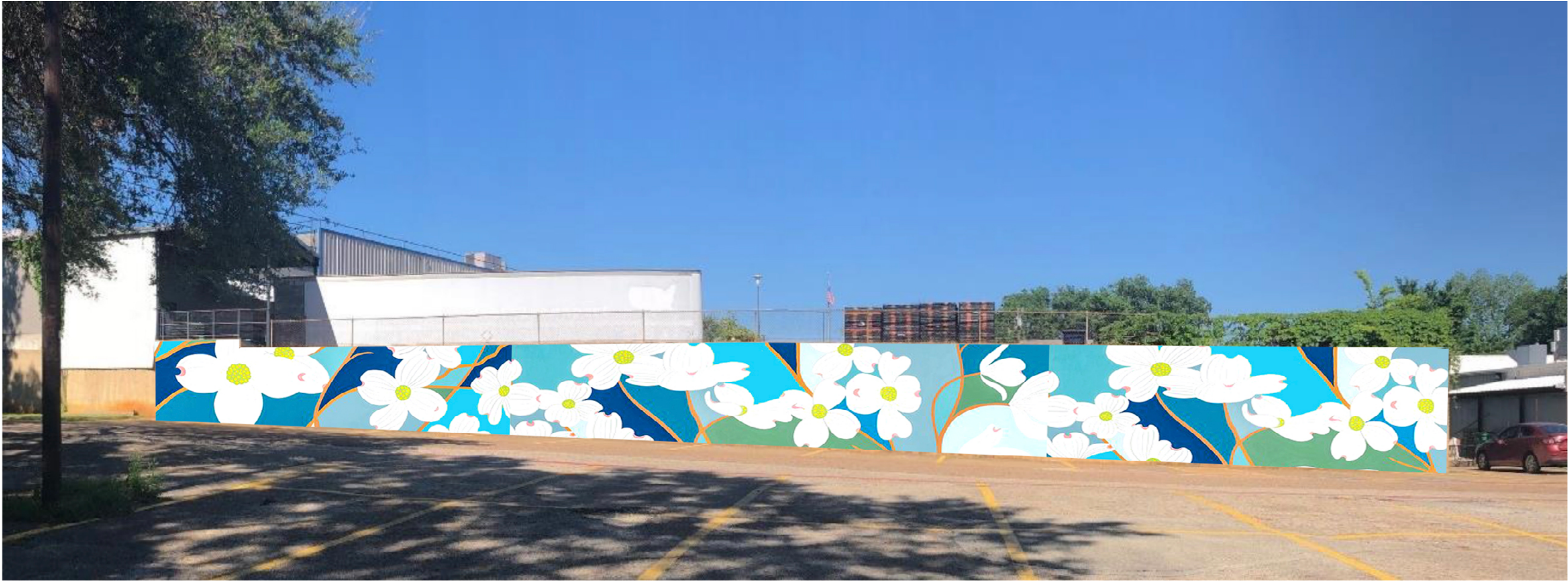
*Vandl-Guard anti-graffiti coating:

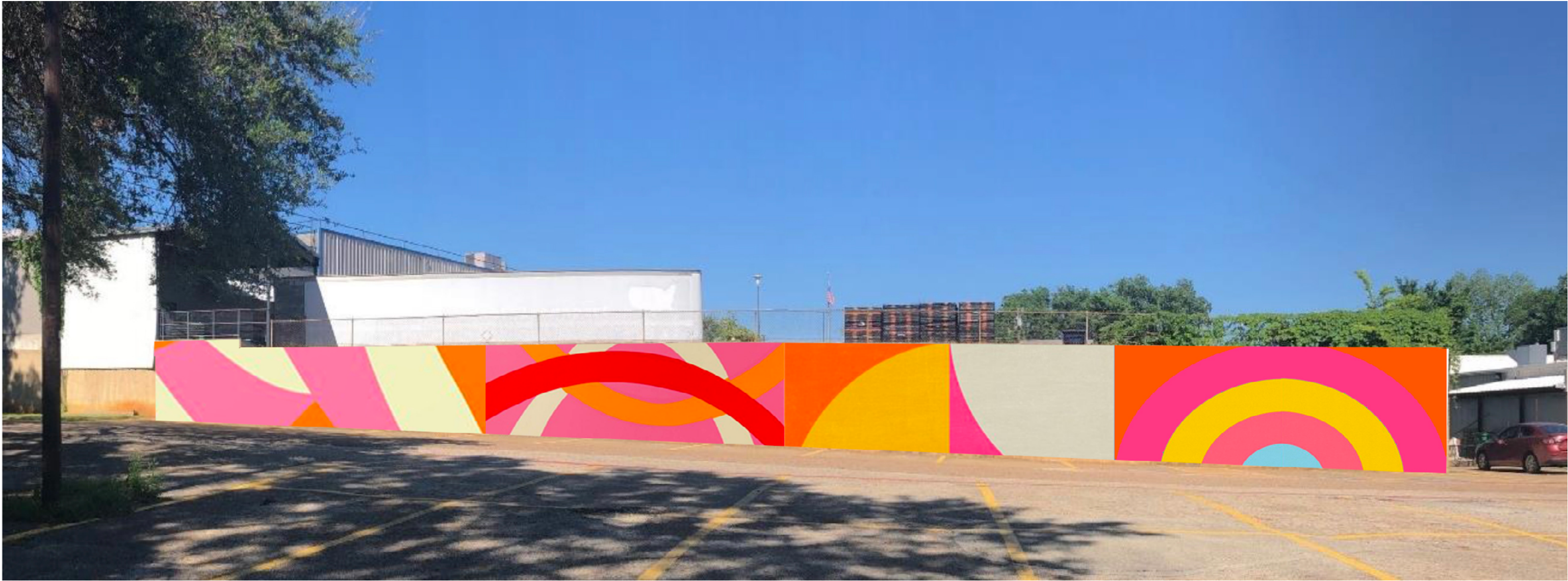
In my experience painting murals in Texas (primarily Tyler, Longview and Dallas/Fort Worth metroplex) for the last five years, I have never experienced a positive return on investment from using the anti-graffiti coating. One coat provides a 1-year material and labor warranty. To ensure five years of warranty, two coats must be applied. Five gallons of Vandl-Guard (industry-standard anti-graffiti coating) covers 1250 sq ft (the mural wall is ~ 1278 sq ft). 1 gallon cost \$62. Because I use Resilience Exterior Latex paint and retain a color and mixing list of the paints used for the project, I will agree to repair the mural if damaged or vandalized at no additional cost to you. In my six years of local experience painting large outdoor murals, I have yet to encounter a situation where anti-graffiti coatings would have been a good investment.

Palestine Colors



Dogwood Blooms





Modern Palestine - Dogwood, Rails, History, Future



Palestine BLOOM!



Old Town Blooms! Black and White Blooms



Old Town Palestine Vibes



Sincerely, Hospitality! White and Pink



Sincerely, Hospitality! White and Blue



Sincerely, Hospitality! Blue and Colors



Dogwood and Wing



Dogwoods and Wings



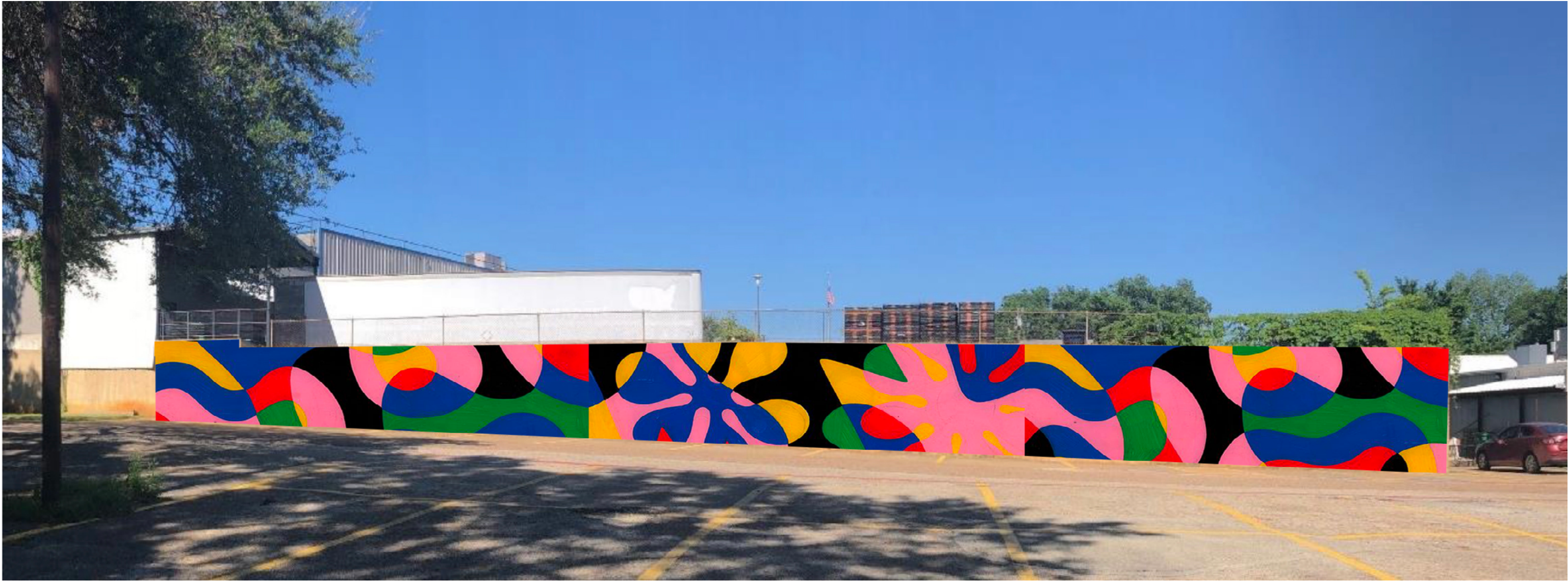
Old Town Blooms in Blue



Have Fun Be Happy Old Town Palestine



Blooms and Rails



Welcome to Palestine!



Welcome to Palestine in Blues



Examples:
Flower Power, Longview, TX



Examples:
Flower Power, Longview, TX



Examples:
Wings of Tyler, Tyler, TX



Examples:
Todo Con Amor, Tyler, TX



Examples:
Eyes of Tyler, Tyler, TX



Examples:
One McKinney, Dallas, TX



Examples:
Never Give Up and I Still Believe, Tyler, TX



DACE KIDD
Born 1987 in Riga, Latvia. Lives and works in Tyler, Texas.

EDUCATION
2011 B.F.A., Latvian Art Academy, Riga, Latvia
2008-2009 Accademia di Belle Arti Palermo, Italy

AWARDS
2016 International Emerging Artist Award, Dubai, UAE

PUBLIC ART

2021 Flower Power, Longview, Tx
Unity Mural, Longview, Tx
2020 777 Azalea District, Tyler, Tx
Keep Tyler Beautiful, Tyler, Tx
2019 Wings of Tyler, Tyler Tx
Tower Plaza Garden Mural Project, Tyler, Tx
McKinney One, Dallas, Tx
Hillside Park Art Wall, Tyler, Tx
Hello from Tyler, Tyler, Tx
Cedars Union Owl, Dallas, Tx
2018 I Still Believe, Never Give Up, Tyler, Tx
Ride Bike and Recharge, Legacy One, Plano, Tx
2017 Eyes of Tyler, Tyler, Tx

SOLO EXHIBITIONS

2015 Americana, Arcadia Theater, Tyler, TX
2014 TXLV, Arcadia Theater, Tyler, TX
2011 Some luck involved, gallery Carousell, Riga, Latvia
2010 Spinninghead, gallery Carousell, Riga, Latvia

SELECTED GROUP EXHIBITIONS

2019 Color, Maddrey PLLC, Dallas, TX

2018 46th International Exhibition, Brownsville Museum of Fine Art, Brownsville, TX
Evening in The Stars, Maddrey PLLC, Dallas, TX
Texas Vignette, Women’s Museum, Dallas, TX

2016 Art of Peace, Tyler Museum of Art, Tyler, TX
CAC Annual Juried Show, Mary Tomas Gallery, Dallas, TX
International Emerging Artist Award Art Show, TAG BXL gallery, Brussels, Belgium [catalog]
Amateras Mini Paper Art Exhibition, gallery Art Alley, Sofia, Bulgaria [catalog]

2015 4th International Emerging Artist Award, Dubai, United Arab Emirates
Weatherproof, MAC, Dallas, TX
Klassische Moderne Reinszeniert, Speckstrasse 85-87, Hamburg, Germany [Octopus Art Projects]
2nd Annual Juried Exhibition, Artspace111, Fort Worth, TX
Genesis, Jurmala City Museum, Jurmala, Latvia

2014 Take Me Out, Galleria Huuto, Helsinki, Finland [Octopus Art Projects]
Something Old Something New Something Blue and Something Funky, McKinney Avenue Contemporary, Dallas, TX
Hungry for Peace, Tyler Museum of Art, Tyler, TX
Diversity, Gallery Main Street, Tyler, TX.
Fridge Art Fair NYC, The Ice Cream Sundae Project, New York

2013 Forms and Structures, Gallery Onetwentyeight, New York
Amateras Collection: Jubilee traveling exhibition, Bulgarian Culture Institution, Warsaw, Poland
Amateras Mini Paper Art Exhibition, gallery Art Allery, Sofia, Bulgaria

| | | | |
|------|---|------|---|
| 2012 | Holiday Group Show II, Gallery Onetwentyeight, New York Karš Krieg War Karas Guerra, Riga, Latvia [Octopus Art Projects] Bibloss, gallery Carousell, Riga, Latvia | 2017 | Lifestyles Magazine. "Singular Vision. One to watch. Dace Lucia Kidd." Inspire Tyler Morning Telegraph (December 3, 2017): D1 [ill.] [online] Mogle, Danny. "One to watch Tyler artist Dace Lucia Kidd." Lifestyles Magazine (November/December 2017): 86 [ill.] Harris, Byron. "A Blank Slate: Arts District bistro lives up to its location." WFAA8abc [ill.] [online] Mogle, Danny. "Arcadia Art Show features works by up-and-coming artists." Inspire Tyler Morning Telegraph (September 24, 2017): D1, D2 [online] Marlin, Robert. "The Travel Project." Tyler Today (August/September 2017): 40-41 [ill.] Mogle, Danny. "Modern & More." IN Magazine (July/August 2017): 48-49 [ill.] |
| 2011 | Heart on the Street, Kunstarkaden, Munich, Germany [Octopus Art Projects] Playful Eight, Gallery Onethwentyeight, New York The Nightwatch, Stockholm, Sweden and Utrecht, Netherlands [Bubble projects] | | |
| 2010 | Kurosawa. Impacts, Sofia, Bulgaria [curated project of AMATERAS Foundation for 23rd Japanese Cultural Days in Bulgaria on the occasion of the birth centenary of Akira Kurosawa] Berliner Liste, gallery Elephant, Berlin, Germany 5th International Student's Triennial, Istanbul, Turkey Senza Titolo, Venice, Italy | 2016 | Miller, Sarah A. "Painting Cheer." Tyler Morning Telegraph (November 29, 2016): 2 [ill.] [online] |

SELECTED BOOKS & GROUP EXHIBITION CATALOGUES

| | |
|------|---|
| 2016 | The Best of 2016 International Emerging Artist Award (exh. cat.) Nakid Publishing. Nakid Magazine. Mini issue IV, San Diego, CA Transformation in paper. Sofia Paper Art Fest 2016, Sofia, Bulgaria (exh. cat.) |
|------|---|

SELECTED BIBLIOGRAPHY

| | | | |
|------|---|------|--|
| 2020 | Robert Martin "The artists being the Wings of Tyler." Tyler Today Magazine (October/November 2020): 56-59 [ill.] [online] | 2015 | Mogle, Danny. "Artist Kidd to show art at Arcadia building." Tyler Morning Telegraph (October 2, 2015): A [online] Simmons, Addi. "Brilliant Minds: The Lives of Young Entrepreneurs." BSCENE Magazine (August 2015): 70 [ill.] [online] |
| 2018 | Darby Good "Follow the Rose." Tyler Today Magazine (August/September 2018): 26 [ill.] Chelsea Purgahn "Willie Lee Glass portrait unveiled at namesake rec center." Tyler Morning Telegraph (May 19, 2018): 6A [ill.] [online] Derrick White "Art Inside the Artist's Studio: Gallery Main Street Elephant in the Room." EGuide Magazine (April 2018): 22 [online] | 2014 | Harper, Faith. "Getting in the holiday spirit." Tyler Morning Telegraph (November 26, 2014): A, 8A [ill.] [online] Gooch, Kelly. "Downtown Tyler Wine Swirl stated for Saturday." Tyler Morning Telegraph (June 24, 2014): 3A [ill.] Slaughter, A.C. "A Sense of Newness: More New, Odd Spaces for Art to Become a Part of Your Daily Life." EGuide Magazine (January 6, 2014): 22 [ill.] [online] |

Reference Letters:



Katrina M. Torrey
Marketing Coordinator
Gaedeke Group, LLC.
3710 Rawlins St. #1100
Dallas, TX 75219
ktorrey@gaeke.com

05/08/2018

To Whom It May Concern:

I am writing in reference to Dace Lucia Kidd who I first met this past March. Dace did a wonderful job creating a mural for one of our Plano buildings, One Legacy West. It was very well received by not only management, but by the tenants in the building.

We have asked Dace to create another mural in the same building later this month and will continue to use her excellent artistry skills in the future.

I highly recommend using Dace for the public art proposal for the City of Fort Worth.

If you require any additional information please contact me via email or by phone 214-273-3307.

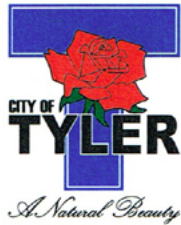
Yours truly,

Katrina M. Torrey

GAEDEKE GROUP, LLC
CORPORATE
3710 RAWLINS STREET
SUITE 1100, LB 24
DALLAS, TX 75219
TEL 214.528.8883
FAX 214.528.6142
WWW.GAEDEKE.COM

ARIZONA FLORIDA TENNESSEE TEXAS WASHINGTON D.C.

Martin Heines
Mayor



The City of Tyler
Office of the Mayor
P.O. Box 2039
Tyler, Texas 75710-2039
Phone: (903) 531-1253
Fax: (903) 531-1166
www.cityoftyler.org

May 16, 2018

To whom it may concern:

The city of Tyler, Texas, working through the Tyler Main Street Program whose projects include architectural design assistance, historic preservation, a façade grant program, business consultation, and developing the arts in historic downtown Tyler had the distinct pleasure of working with Dace Lucia Kidd to complete a mural project for downtown Tyler.

The City of Tyler Main Street Program has the mission of creating a vibrant downtown culture and economy. Dace, who designed and executed, "The Eyes of Tyler" and volunteers regularly to support our Main Street Gallery and other Main Street programs was a joy to work with, and we would highly recommend her, not only for her obvious artistic abilities but also due to her consummate professionalism.

We look forward to working with her in the future.

Please feel free to contact my office if further references are required.

Best Regards,

Martin Heines
Mayor
Tyler, Texas

CC: Dace Lucia Kidd

Reference Letters:



Al Thead
Belle Chanson LLC
Vice President, Real Estate
Invest In Tyler & DFW Division

RE: Dace Lucia Kidd

To Whom It May Concern:

In 2017 we worked with Dace Lucia Kidd through a public mural contest launched in partnership with our Mainstreet group. We offered a stipend and to cover the cost of materials for an artist with the winning submission.

We received 10-12 submissions and of those narrowed it down to 2 or 3. We really liked Dace’s submission and we also chose her because of her ability to execute on promises. When Dace commits to a project you know it is going to happen.

I would not hesitate to hire her again and if further references or details are required you are welcome to contact me anytime.

Thank you,

A handwritten signature in blue ink, appearing to read 'Al Thead', with a stylized flourish at the end.

Al Thead
(409) 730-3268



Liability Insurance for \$1,000,000



Excess and Surplus Lines Division
TAPCO Underwriters, Inc.
3060 S. Church Street
P.O. Box 286
Burlington, NC 27216-0286

Commercial Lines Phone: (866) 682-7726

Binder Summary Sheet

| | |
|----------------------------|---|
| Insured: | Producer: |
| Dace Kidd With Kin'n | 3800001 |
| 4500 Gretna Green Ln | Northeast Brokerage Agencies, Inc. |
| Tyler, TX 75703 | 8209 IBM Dr., Bldg 102 |
| | Suite 100 |
| | Charlotte, NC 28262 |
| | Producing Agent: Leslie Oches |
| Insurer: | Effective/Expiration Date: 3/1/2021 to 3/1/2022 |
| Nautilus Insurance Company | Term: Twelve Months |
| Binder ID: RPIPY-Q | State: TX |
| | Percent Earned: 25% |

In accordance with your instructions, we have bound the following General Liability coverage; provided we receive a properly completed application and a premium payment within 12 days of the effective date shown above.

Comments: For policies with effective dates on or after 01/01/21, the Texas surplus line stamping fee will decrease from .15% to .075%.

Premium quoted includes charge for additional insured.

\$10,000/\$25,000 Lost Key Coverage included (separate \$500 deductible applies).

CG2107 - Exclusion Access or Disclosure of Confidential or Personal Information and Data-Related Liability-Limited Bodily Injury Exception Not Included will apply.

Insured must provide a sample copy of the contract used with their subs. Contracts must be used with all subcontractors, contain a hold harmless in favor of the insured, require the subs maintain GL including Products/Completed Operations with limits at least = to the insureds, require the insured be shown as an AI on sub's policy and requires the sub(s) to provide COI, and is kept on file with the sub's signature of acceptance.

L369 Exclusion – Communicable Or Infectious Disease will apply.

General Liability:

| | | |
|---|-----------|---|
| \$ | 2,000,000 | General Aggregate |
| \$ | 1,000,000 | Products/Completed Operations Aggregate |
| \$ | 1,000,000 | Personal Injury/Advertising Injury |
| \$ | 1,000,000 | Each Occurrence Limit |
| \$ | 100,000 | Damage to Premises Rented to You |
| \$ | 5,000 | Medical Payments |
| \$ | **1000 | BI/PD Deductible Per Claimant |
| 98304 - Painting exterior buildings or structures three stories or less in height | | |
| Number of owners 1 (20,000 payroll) | | |
| 49950 - Additional Insured | | |
| Units 1 | | |

* Excludes Professional, Nuclear Energy, War, Asbestos, Silica, Lead, Toxic Substances, Total Pollution, Radon

Deanna Pickett Frye

Proposal-RFP 2021-005

8-1-2021

1. Preliminary concept and drawing

The overall goal of this project is to bring life to an unrecognized area of Palestine, TX. A mural will bring value to this public space by adding vibrant color and design for viewers to enjoy.

Public art is viewed through multiple lenses. Visitors to the site will view the mural from a variety of perspectives such as historical, cultural, social, and environmental. Regardless of perception, the site should be visited because it's bold and inviting! This is what I intend to create for this space.

Included in this proposal are digital and printed images. The flash drive includes the following:

1. 3 overall designs as preliminary sketches
2. 1 completed design via illustrator
3. Photoshopped illustration onto the wall
4. Color palette

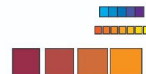
Proposers may choose the design and discuss any changes. Upon agreement, the design will be redrawn precisely, to scale, via Adobe Illustrator, if not already completed. However minor changes may need to be made once projected onto the actual wall. The artist has final "artistic license" to make minor changes to color placement, scale and symbols.

***Images in this proposal are owned by the artist and may not be duplicated or shared with other artists.**

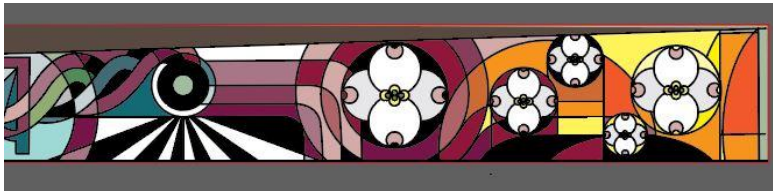
Option #1 (preliminary sketch) Each section blends organically by color, shape, and line. Mural reads as a prism of slowly changing colors without a defined line to separate each theme.



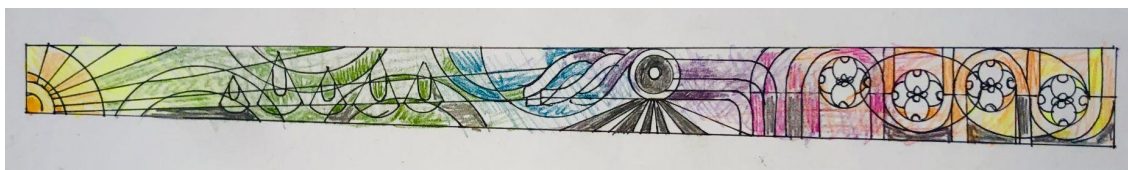
Option #1 created in Illustrator:



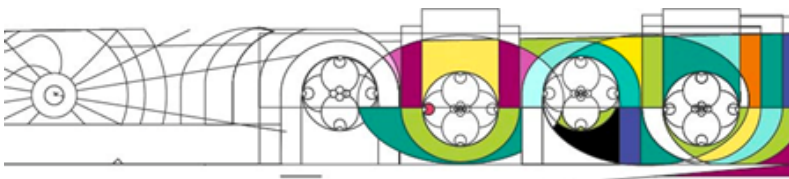
Detail of Dogwood design in Illustrator



Option #2 (preliminary sketch) Option #2 is much like the first with a progression of color. The biggest difference is the Dogwood design. See illustrator view below: (shown with random colors)

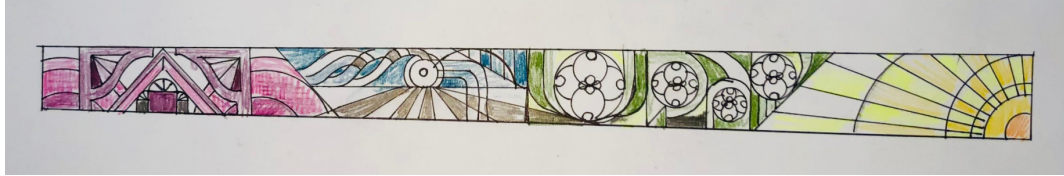


Detail of Dogwood design in Illustrator:



Option #3 (preliminary sketch)

Themes are rearranged and the Dogwood segment is different. The segments are broken apart into sections with each having its own color theme.



Option #1 created in illustrator, to scale with color



Color Palette:



2. Narrative/Artist statement

I've always been drawn to environments that are enticing and bold, often relating to mid-century design and or forms found in nature. My art often focuses on patterns and repetition. Like much of my studio work, the design will attract the viewer from afar and invite them closer to explore smaller details. This mural design is bold and colorful, reminiscent of mid-century design in a textile pattern. Since a minimum of four designs were requested, I explored ways of composing panels on a long horizontal workspace. The individual themes work together by using similar colors, shapes, and spatial relationships. These individual compositions are meant to be viewed cohesively, while having separate themes for viewers to explore.

My goal for this mural is to create a conceptual "quilt" that visually represents four aspects of the heritage of Palestine, TX. The four themes explored in my overall designs are **community, architecture, industry, and landscape**. These four concepts are abstracted and composed so the viewer can draw their own conclusions of symbolism and meaning. However, I obviously have my own defined meaning for each symbol used on the wall; the trees and Dogwoods symbolize **landscape**, sun rays represent **community**, the corbels and pediment serve as the connection to Palestine's historical **architecture**, and finally the train equates directly to Palestine's **industry** and history. These designs do not need to be realistic since there will be a timeline mural just around the corner. Included in this proposal are 3 different designs with various "panels". Overall, each design is fresh and trendy to attract viewers of all ages!

Finally, quilt making has historically been a collaborative event, much like the process of painting this mural. Persons who wish to participate will essentially be creating a shape that will be "stitched" together into a larger composition. My goal as the facilitator and artist, is to let the community feel a sense of ownership in this painting. I've designed the space so assistants can easily paint basic shapes without blending or sophisticated painting techniques. Once the public has contributed, the edges will be outlined and/or be sharpened by me.

Time Lapse video will be recorded of all painting processes and be included in the final video. See timelapse examples in Sample Documents.

3. Community Event

As an art instructor for 20 years, I've had extensive experience in organizing events, facilitating art projects, and teaching various techniques. The scale of the wall is large, but is perfect for breaking down into smaller pieces allowing the community to contribute without being too crowded.

Community Event Plan:

- The wall design will be drawn onto the wall with paint and/or tape to guide assistants.
- Numbers will be painted, in the specific color, to mark each color block.
- Event will be held on a Saturday in September (weather permitting) from 7:00am-2:00pm. An early start will help with heat. The area is shaded until roughly 11:00am. After that the wall heats up quite a bit because it's in direct sunlight.
- I will give the first 15 volunteers an "Art is Happening in Palestine" t-shirt. Great photo opportunity!
- Pop up tent
 - Participants will sign a waiver.
 - Paint and supplies will be distributed with instructions.
 - The tent will also offer shade and bottled water.
 - Cleanup station.
- Rollers will be provided for larger spaces. Brushes will be provided for smaller areas.
- Volunteers are allowed to stay as long as they want to help.
- A few ladders and 1 or 2 scaffolds will be provided by the artist.
- Volunteers under 12 should be accompanied by an adult.
- Timelapse video will be recorded of the event.
- The event will be professionally photographed and drone video will be used for the final video.

- Optional:
 - Collaborate with the Snowy Bus and have snow cones for kids.
 - Allow DAC to sell “Art is Happening in Palestine” t-shirts.
 - Have the newspaper cover the event.

4. Timetable for completion

August 18-20 sign contract and negotiate any changes to the mural.

August 19-August-27th: Remove signs and clean the wall. Artist’s 60 days completion timetable will begin after the wall is cleaned.

August 28-Sept 4: Prime the wall

September 5-18: Transfer design onto wall via projector/grid method

September 25: Community event

September 26-Oct 16: Finish shapes, clean lines, outline, and apply sealant.

October 16: Send video to the city. Video includes timelapse videos, photography of community event, and drone video after completion.

*Dates are contingent on wall cleaning and weather. However, I’m local which allows me to paint when weather permits.

5. Cost Breakdown

| Time | Estimated time | Materials (1300 sq ft) | Est. Material cost |
|--------------------------|----------------|--|--------------------|
| Preliminary work | 40 | Primer | \$300.00 |
| priming/prep | 10 | rollers | \$200.00 |
| layout design | 20 | tape | \$200.00 |
| community/collaboration | 10 | plastic/tarps | \$200.00 |
| correction | 30 | brushes: mine | \$200.00 |
| sealing | 10 | brushes and rollers: public | \$300.00 |
| time lapse video editing | 5 | paint | \$1,425.00 |
| | | sealer | \$700.00 |
| | | scaffolding | \$400.00 |
| | | side labor (transferring design, photography, drone video, video production) | \$1,500.00 |
| | 125 | bottled water misc community event | \$200.00 |
| @Hourly rate of 75.00 | \$9,375.00 | Materials (1300 sq ft) | \$5,625.00 |

Note* The price for the graffiti protector is for one coat. Sometimes more coats are recommended for optimal effectiveness. If more than one coat is desired, the bid will increase, or I can fix the mural if graffiti becomes a problem.

6. Sample Documents

I've included 5 examples of large scale work in the digital files.

Image 06: 2016 Abstract Female approx size 8x20' (timelapse: shorturl.at/dCE12)



Image 07: 2017 Abstract Untitled approx size 12x12' (timelapse: shorturl.at/kIFMS)



Image 08: 2008 Welcome to Wildcat Stadium spans both sides of the stadium



Image 09: 2020 Wall of Wildflowers approx size 8x12" (timelapse: shorturl.at/ioHO0)



Image 10: 2017 Window painting approx size 6x6



7. Contact Information and Curriculum Vitae

Curriculum Vitae

Artist: Deanna Pickett Frye
Address: 392 ACR 422, Palestine, TX 75803
Office Phone: 903-724-1671
Email: deannapfrye@yahoo.com

Education

2015 MAAE, New Hampshire Institute of Art, Manchester, NH
Concentration: Art Education with a studio emphasis in Painting
2000 BFA, Painting and Drawing/Art Education, University of North Texas, Denton, TX
1997 AA, Studio Art, Tyler Junior College, Tyler, TX

Teaching Experience

2020 Spring Adjunct Professor, Tyler Junior College, Tyler, TX
2018 Fall Full Time Professor, Trinity Valley Community College, Palestine, TX
2018 Spring Adjunct Professor, Trinity Valley Community College, Palestine, TX
2003–2017 Full-time Fine Arts teacher, Cayuga MS-HS, Cayuga, TX
2001–2003 Full-time Fine Arts teacher, Washington 6th Grade Center, Palestine, TX

Exhibitions

2019-Present Redlands Gallery
2020 Bloom-Group Exhibition, The R. W. Norton Art Gallery, Shreveport, LA
2019 Private on-site commission, Celle Sul Rigo, Italy
2019 Group Exhibition, UT College of Pharmacy, UT Tyler, TX
2019 Group Exhibition, Beauty of Art and Medicine, TJC, Tyler, TX
2018 Gallery exhibition, until February 2020, Valerosa Gallery, Tyler, TX
2017 Solo Exhibition, Wine Swirl event, Palestine, TX
2017 Heavy Metal Group Exhibition Gallery Main Street, Tyler, TX
2017 AASH Vol2 Martin Walker Gallery, International Show, Tyler TX
2016 Glassy and Glossy Group Exhibition at Gallery Main Street, Tyler, TX
2016 Natural to Abstract Group Exhibition at Gallery Main Street, Tyler, TX
2015 Solo Exhibition, Wine Swirl, Fringe Salon
2015 exhibit until 2017, Valerosa Gallery, Tyler, TX
2015 Group Exhibition, Thesis Exhibition, Manchester, New Hampshire
2015 Group Exhibition, Remixed, Gallery Main Street, Tyler, TX
2014 Group Exhibition, Movements of the Mind, Gallery Main Street, Tyler, TX
2014 Solo Exhibit, Fringe Salon, Palestine, TX
2014 Group exhibition, MAAE-Recent Works, Eye Gallery, Manchester, NH
2013 Group exhibition, Pop up gallery, Palestine, TX
2012 12x12 Scholarship Fundraiser, Cole Arts Center, Nacogdoches, TX
2012 National Art/Media Teacher Appreciation Show, The Art Institute of Dallas
2011 12x12 Scholarship Fundraiser, Cole Arts Center, Nacogdoches, TX
2010 Solo Exhibition, The Gallery, Palestine, TX
2010 12x12 Scholarship Fundraiser, Cole Arts Center, Nacogdoches, TX

2009 My Very Own Book Event, McKinney Avenue Contemporary Gallery (MAC)
 2007 Solo Exhibition, ASG Gallery, Palestine, TX
 2006 TAEA Electronic Gallery, Judges Choice in Color Pencil and Mixed Media
 2006 Three Person Show, Museum for East Texas Culture
 2004 TAEA Fall Conference Electronic Gallery
 2003 Group exhibition, Faces of Woman Exhibit, Las Vegas, New Mexico
 2002 Juried Art Show, Museum for East Texas Culture, Palestine, TX
 2001 Angel Tree Gallery, Palestine, TX
 2000 Open Show, 500x Gallery, Dallas, TX
 2000 Senior Exhibition, Cora Stafford Gallery, Denton, TX

Select Commissions

2018 Fringe Salon
 2019 Fringe Salon in the Redlands Building
 2016 City of Palestine, Public Art
 2010 Private Art Commission, Palestine ISD
 2008 Private Art Commission, Stretford Condominiums, Tyler, TX

Lectures, Presentations, Workshops,

2010 Workshop Presenter, "Implementing Creativity in the Classroom", Cayuga ISD, Cayuga, TX August, 14, 2010
 2009 Workshop Presenter, Region VII Service Center, Kilgore, TX, 2009
 2008 Guest Lecture, "Importance of Advanced Art In Small Schools", SFA University, Nacogdoches, TX, November 2008

Artist Residencies

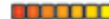
2105 New Hampshire Institute of Art, Manchester, NH (July 6-August 1)
 2014 New Hampshire Institute of Art, Manchester, NH (July 5–August 2)

Professional Service and Memberships

2020-2021 Dogwood Arts Council Member
 2004-2017 TAEA Member
 2006-09 Region VII Service Center, Fine Arts Panel Member, Kilgore, TX
 2007–08 Board Member, Anderson County Council on the Arts
 2006-07 Participant, Embrace the Arts, with ASG Gallery

Travel and Leadership Abroad

2013 Group Leader, Student Travel, Italy
 2011 Group Leader, Student Travel, London
 2010 Group Leader, Student Travel, France and Spain
 2017 Group Leader, Student Travel for European Tour











Agenda Date: 08/17/2021
To: Tourism Advisory Board
From: Mary Raum, Tourism Marketing Manager
Agenda Item: Review and consider RFP 2021-006 - Farmers Market/Visitor Center
Date Submitted: 08/13/2021

SUMMARY:

Review and consider submissions for Mural RFP 2021-006.

RECOMMENDED ACTION:

Review and consider submissions for Mural RFP 2021-006.

CITY MANAGER APPROVAL:

Fiscal Impact

Fiscal Year: 2020/21
Budgeted Y/N: Y
Account #: 150-5-740-5050
Amount Requested: \$1000.00

Attachments

Lisa Power Mural RFP 2021-006

August 9, 2021

Project:

Mural Art for Palestine Texas Visitor Center / Farmers Market Public Restroom

1. Concept Drawing Enclosed physically and on CD.
2. Timetable for completion of this project estimated to be approximately three to four weeks. Total hours estimated to complete the work will be about 60 hours. Work will be performed during weekday daylight hours, weather permitting.
3. Cost breakdown: Large Mural - \$675.00 (9' x 5' = 45 sq. feet at \$15 per sq. foot). Enhancement / improvement of existing small 'Rest Stop' art and completing bathroom art estimated to add approximately six sq. feet. - \$90 (\$15 per sq. foot x 6 square feet). TOTAL FOR ENTIRE PROJECT - \$765.00 (Includes all materials).
4. Contact Information – Lisa Power, 440 An County Road 152, Palestine, TX 75801 Home 903-288-9851, Fax 903-723-6544, email: themonarchbutterfly@yahoo.com
5. I have worked for most of my career in print media, graphic design and production. I graduated from Cal Poly Pomona with a BA in Graphic Design and then worked at Lambesis Advertising in San Diego, CA. Later I became senior partner / designer at Design Safari also located in San Diego, CA. The graphic design field has given me the right mix of practical and professional skills to bring to the table for this project. Before retiring to Texas in 2014 to be closer to my family, I co-owned a specialty aquatic plant nursery business. Some of my personal interests include painting, writing, botany, typography, gardening, horseback riding and dabbling in a variety of art medias with my 13 yr. old daughter Katy. The two of us have also been vendors at the Palestine Farmers Market since 2015 with our gourd birdhouses and the Paint-Your-Own-Gourd activity. We also teach gourd art classes locally with many repeat students.
6. I will complete the work single-handedly (without an assistant) and supply the required video of the entire process. Materials used will be Behr brand paints and graffiti sealant.

Please contact me if you have any questions or need additional information. Thank you for the opportunity to paint this mural for my beloved town of Palestine, Texas!

Sincerely,



Lisa Power



← ENHANCE EXISTING DESIGN, ADD PALE GREY BACKGROUND IMAGE OF DOGWOOD BLOOM.