

DRAFT

HISTORIC SITE PRESERVATION BOARD
CITY OF PALM SPRINGS, CALIFORNIA
Large Conference Room
3200 East Tahquitz Canyon Way, Palm Springs, California
www.palmspringsca.gov

AGENDA

There will be in-person access to this meeting at the above location and a teleconference (remote) option is available for members of the public.

- View the Historic Site Preservation Board meeting remotely at the following Zoom webinar link: <https://us02web.zoom.us/j/88189275414?pwd=8DIBaHSqTDesGHanDXyDr7hmTuQcxl.1> or call 1-669-900-6833, enter Meeting ID: **881 8927 5414** and Passcode: **869593**
- If you intend to speak on an item via the Zoom webinar link or need additional assistance, please call the Department of Planning Services at 760-323-8245 or email planning@palmspringsca.gov no later than 2:00 p.m. on the day of the meeting to receive instructions on remote participation. You will be asked to provide your first and last name, Item No., and contact information before being unmuted to speak.
- You may also submit your public comment to the Historic Site Preservation Board electronically. Materials may be emailed to: planning@palmspringsca.gov. Transmittal prior to the start of the meeting is required. Any correspondence received during or after the meeting will be distributed to the committee members and retained for the official record.

Tuesday
April 7, 2026



5:30 PM Regular Meeting

Janet Hansen, Chair
Kurt Bachman, Vice Chair
Michael Paonessa
Eric McCready
Jeffrey Herr
Peter Moruzzi
Katherine Maschka Hitchcock

Staff Liaisons:

Anthony Riederer, AICP, Assistant Director of Planning Services
Sarah Yoon, Associate Planner, Historic Preservation Officer

CALL TO ORDER:

ROLL CALL:

REPORT OF POSTING OF AGENDA: Agenda available for public access at the City Hall exterior bulletin board (west side of Council Chamber) by 6:00 P.M on Thursday, April 2, 2026 as required by established policies and procedures.

ACCEPTANCE OF THE AGENDA: The Historic Site Preservation Board will discuss the order of the agenda, may amend the order, note abstentions, and request Consent Calendar items be removed from the consent calendar for discussion.

PUBLIC COMMENT: This time has been set aside for members of the public to address the Historic Site Preservation Board on agenda items and items of general interest within the subject matter jurisdiction of the Board. Although the Historic Site Preservation Board values your comments, pursuant to the Brown Act, it generally cannot take any action on items not listed on the posted agenda. There will be three (3) minutes assigned for each speaker. Testimony for Public Hearings will be taken at the time of the hearing.

1. **CONSENT CALENDAR:**

The following routine matters may be acted upon by one motion. Individual items may be removed by the Commission for separate discussion at this time.

A. **APPROVAL OF MINUTES:** March 3, 2026

RECOMMENDATION: Approval

EXCLUDED CONSENT CALENDAR: Items removed from the Consent Calendar for separate discussion are considered at this time.

2. **PUBLIC HEARINGS:**

A. **AN APPLICATION BY ELCHOLZ SCOTT FAMILY TRUST FOR HISTORIC SITE DESIGNATION OF THE SNYDER RESIDENCE LOCATED AT 271 WEST MERITO PLACE, (APN #505-301-001) CASE: HSPB #176, (SY).**

RECOMMENDATION:

1. Open the public hearing and receive public testimony.
2. Close the public hearing and adopt Resolution HSPB #176, "A RESOLUTION OF THE HISTORIC SITE PRESERVATION BOARD OF THE CITY OF PALM SPRINGS, CALIFORNIA, RECOMMENDING THAT THE CITY COUNCIL DESIGNATE THE SNYDER RESIDENCE A HISTORIC CLASS 1 SITE HSPB # 176 (APN #505-301-001), AND A DETERMINATION PURSUANT TO CEQA THAT THIS ACTION IS NOT A PROJECT."

3. **UNFINISHED BUSINESS:** None

4. **NEW BUSINESS:**

- A. **A REQUEST BY THE CITY OF PALM SPRINGS FOR A CERTIFICATE OF APPROPRIATENESS - MINOR, TO CONSTRUCT NEW SHADE STRUCTURES AT THE PALM SPRINGS INTERNATIONAL AIRPORT LOCATED AT 3400 EAST TAHQUITZ CANYON WAY (APN #677-280-010), CASE: CAMI-2026-0003 (SY).**

RECOMMENDATION: To approve the request with conditions to be verified and approved by staff. Pursuant to CEQA, this action is a project that would qualify for a categorical exemption.

- B. **A REQUEST BY SHAHEEN SADEGHI FOR A CERTIFICATE OF APPROPRIATENESS - MINOR, TO MAKE EXTERIOR CHANGES TO THE EXISTING BUILDING LOCATED AT 457 NORTH PALM CANYON DRIVE (APN #513-082-007), CASE: CAMI-2026-0004 (SY).**

RECOMMENDATION: To approve the request with conditions. Pursuant to CEQA, this action is a project that would qualify for a categorical exemption.

HISTORIC SITE PRESERVATION BOARD MEMBER REPORTS, REQUESTS AND COMMENTS:

Brief general comments and/or other issues of concern from board members.

STAFF COMMENTS: Update the Historic Site Preservation Board on important items.

ADJOURNMENT: The Historic Site Preservation Board will adjourn to its regularly scheduled meeting on Tuesday, May 5, 2026, at 5:30 PM, in the Large Conference Room at City Hall.

It is the intention of the City of Palm Springs to comply with the Americans with Disabilities Act (ADA) in all respects. If, as an attendee or a participant at this meeting, or in meetings on a regular basis, you will need special assistance beyond what is normally provided, the City will attempt to accommodate you in every reasonable manner. Please contact the Office of the City Clerk, (760) 323-8204, at least 48 hours prior to the meeting, to inform us of your particular needs and to determine if accommodation is feasible.

Pursuant to the Government Code Section 54957.5(b)(2) the designated office for inspection of public records in connection with the meeting is the Department of Planning Services, City Hall, 3200 E. Tahquitz Canyon Way. Complete Agenda Packets are available for public inspection at: Office of the City Clerk, City Hall. Agenda and staff reports are available on the City's website: www.palmspringsca.gov. If you would like additional information on any item appearing on this agenda, please contact the Department of Planning Services at (760) 323-8245.

AFFIDAVIT OF POSTING

I, Linda Ponce, Administrative Assistant Department of Planning Services, City of Palm Springs, certify this Agenda was posted at or before 6:00 p.m. on Thursday, April 2, 2026, as required by established policies and procedures.

/s/ Linda Ponce
Linda Ponce, Administrative Assistant
Department of Planning Services

Historic Site
Preservation Board
Meeting

MEETING DATE: 04/07/2026

SUBMITTED BY: PLANNING

SUBJECT: **APPROVAL OF MINUTES:** March 3, 2026

RECOMMENDATION: Approval

SUBJECT:

APPROVAL OF MINUTES: March 3, 2026

RECOMMENDATION: Approval

Attachments

Item 1A

HISTORIC SITE PRESERVATION BOARD
CITY OF PALM SPRINGS, CALIFORNIA
Large Conference Room
3200 East Tahquitz Canyon Way, Palm Springs, California
www.palmspringsca.gov

Minutes

March 3, 2026

CALL TO ORDER:

Chair Hansen called the regular meeting to order at 5:30 p.m.

ROLL CALL:

Present: Hansen, Herr, Paonessa, Maschka Hitchcock
Excused: Bachman, McCready
Staff Present: Assistant Director Planning Services Anthony Riederer and Sarah Yoon, Historic Preservation Officer

REPORT OF POSTING OF AGENDA: Agenda available for public access at the City Hall exterior bulletin board (west side of Council Chamber) by 6:00 P.M on Thursday, February 26, 2026, as required by established policies and procedures.

ACCEPTANCE OF THE AGENDA:

Motion by Member Moruzzi, seconded by Member Maschka Hitchcock to accept the agenda.

AYES: Hansen, Herr, Paonessa, Maschka Hitchcock
NOES: None
EXCUSED: Bachman, McCready

PUBLIC COMMENT:

- Margarita Jerabek (applicant representative) spoke about the extensive research she completed regarding the property at 877 Panorama Road.
- Sheri Bonstelle (applicant representative) spoke in support of the designation application.

1. CONSENT CALENDAR:

A. APPROVAL OF MINUTES: February 3, 2026

Motion by Member Herr, seconded by Member Paonessa to accept the minute.

AYES: Hansen, Herr, Paonessa, Maschka Hitchcock
NOES: None
ABSENT: Bachman, McCready
ABSTAIN: Moruzzi

EXCLUDED CONSENT CALENDAR: None.

2. PUBLIC HEARINGS:

- A. AN APPLICATION BY DEZART PERFORMS FOR HISTORIC SITE DESIGNATION OF THE FIRST CHURCH OF CHRIST SCIENTIST LOCATED AT 605 SOUTH RIVERSIDE DRIVE, (APN: 508-191-030) CASE: HSPB #170, (SY).**

RECOMMENDATION:

1. Open the public hearing and receive public testimony.
2. Close the public hearing and adopt Resolution HSPB #170, "A RESOLUTION OF THE HISTORIC SITE PRESERVATION BOARD OF THE CITY OF PALM SPRINGS, CALIFORNIA, RECOMMENDING THAT THE CITY COUNCIL DESIGNATE THE FIRST CHURCH OF CHRIST SCIENTIST A HISTORIC CLASS 1 SITE, HSPB #170, (APN #508-191-030), AND A DETERMINATION PURSUANT TO CEQA THAT THIS ACTION IS NOT A PROJECT."

Historic Preservation Officer Yoon presented the staff report and answered questions of the board.

Motion by Member Herr, seconded by Member Paonessa to adopt a resolution for HSPB #170, that the City Council designate The First Church of Christ Scientist as a historic Class 1 site. This action is not a project pursuant to CEQA.

AYES: Hansen, Herr, Paonessa, Maschka Hitchcock
NOES: None
ABSENT: Bachman, McCready
ABSTAIN: Moruzzi

3. UNFINISHED BUSINESS: None.

4. NEW BUSINESS:

- A. A REQUEST BY DEVIN HOWARD FOR A MAJOR ALTERATION OF A CLASS 3 SITE LOCATED AT 877 PANORAMA ROAD AND ASSOCIATED REVIEWS FOR POTENTIAL RE-DESIGNATION OF A CLASS 3 SITE TO A CLASS 1 OR CLASS 2 HISTORIC RESOURCE (APN# 504-201-026) CASE: HDEMO 2025-0013 (SY).**

RECOMMENDATION: To stay the request for alteration for a period of 120 days and authorize the processing of a designation application to consider whether the building qualifies for a designation of a Class 1 or Class 2 historic resource. Pursuant to CEQA, this action is not a project

Historic Preservation Officer Yoon presented the staff report and answered questions of the board.

Sheri Bonstelle (applicant representative) explained various modifications that were done previously to property.

Motion by Chair Hansen, seconded by Member Maschka Hitchcock to initiate a stay for alteration for a period of 120 days and authorize the processing of a designation application to consider whether the building qualifies for a designation of a Class 1 or Class 2 historic resource.

AYES: Hansen, Moruzzi, Maschka Hitchcock
NOES: Herr, Paonessa
ABSENT: Bachman, McCready

B. A REQUEST BY JILL LEWIS AND MICHAEL DOYLE FOR DEMOLITION OF A CLASS 4 SITE LOCATED AT 1481 SAN JACINTO WAY AND ASSOCIATED REVIEWS FOR POTENTIAL RE-DESIGNATION OF A CLASS 4 SITE TO A CLASS 1 OR CLASS 2 HISTORIC RESOURCE (APN# 507-246-003) CASE: HDEMO 2026-0002 (SY).

RECOMMENDATION: Take no action, allow the processing of the demolition, and determine pursuant to CEQA that this action is not a project.

Historic Preservation Officer Yoon presented the staff report and answered questions of the board.

Jill Lewis (applicant) offered additional information for board members.

Motion by Member Paonessa, seconded by Member Maschka Hitchcock to take no action, allow the processing of the demolition, and determine pursuant to CEQA that this action is not a project.

AYES: Hansen, Herr, Paonessa, Moruzzi, Maschka Hitchcock
NOES: None
ABSENT: Bachman, McCready

BOARD MEMBER REPORTS, REQUESTS AND COMMENTS:

- Member Paonessa had questions regarding what the process would be like for an applicant who wishes to submit their property to HSPB for different reviews at different times.
- Chair Hansen notified HSPB members that the California Preservation Foundation will be opening up their registration for conference taking place from May 6-11, 2026.

STAFF COMMENTS:

- Assistant Director Anthony Riederer advised the board members that he will provide further clarification on any existing budgets for board member trainings.
- Historic Site Preservation Officer Yoon reminded the Board that the window to reapply for next year's positions within the Board will be closing at the end of April.

ADJOURNMENT:

The Historic Site Preservation Board adjourned at 7:57 p.m. to its regularly scheduled meeting on Tuesday, April 7, 2026, at 5:30 p.m., in the Large Conference Room at City Hall.

Historic Site
Preservation Board
Meeting

MEETING DATE: 04/07/2026

SUBMITTED BY: PLANNING

SUBJECT: **AN APPLICATION BY ELCHOLZ SCOTT FAMILY TRUST FOR HISTORIC SITE DESIGNATION OF THE SNYDER RESIDENCE LOCATED AT 271 WEST MERITO PLACE, (APN #505-301-001) CASE: HSPB #176, (SY).**

RECOMMENDATION:

1. Open the public hearing and receive public testimony.
2. Close the public hearing and adopt Resolution HSPB #176, "A RESOLUTION OF THE HISTORIC SITE PRESERVATION BOARD OF THE CITY OF PALM SPRINGS, CALIFORNIA, RECOMMENDING THAT THE CITY COUNCIL DESIGNATE THE SNYDER RESIDENCE A HISTORIC CLASS 1 SITE HSPB # 176 (APN #505-301-001), AND A DETERMINATION PURSUANT TO CEQA THAT THIS ACTION IS NOT A PROJECT."

SUBJECT:

AN APPLICATION BY ELCHOLZ SCOTT FAMILY TRUST FOR HISTORIC SITE DESIGNATION OF THE SNYDER RESIDENCE LOCATED AT 271 WEST MERITO PLACE, (APN #505-301-001) CASE: HSPB #176, (SY).

RECOMMENDATION:

1. Open the public hearing and receive public testimony.
2. Close the public hearing and adopt Resolution HSPB #176, "A RESOLUTION OF THE HISTORIC SITE PRESERVATION BOARD OF THE CITY OF PALM SPRINGS, CALIFORNIA, RECOMMENDING THAT THE CITY COUNCIL DESIGNATE THE SNYDER RESIDENCE A HISTORIC CLASS 1 SITE HSPB # 176 (APN #505-301-001), AND A DETERMINATION PURSUANT TO CEQA THAT THIS ACTION IS NOT A PROJECT."

Attachments

Item 2A



HISTORIC SITE PRESERVATION BOARD STAFF REPORT

DATE: April 7, 2026

PUBLIC HEARING

SUBJECT: APPLICATION BY ELCHOLZ SCOTT FAMILY TRUST FOR HISTORIC SITE DESIGNATION OF "THE SNYDER RESIDENCE" LOCATED AT 271 WEST MERITO PLACE, (APN 505-301-001) CASE: HSPB #176 (SY)

FROM: Department of Planning Services

SUMMARY

The current homeowners, Robert Eicholz and Steven Scott, are seeking Class 1 historic status for the residential property at 271 W. Merito Place in the Old Las Palmas neighborhood. In 1932, John and Estella Snyder purchased two parcels in the Merito Vista tract and constructed their "permanent winter home". The residence was designed in the Spanish Colonial Revival style by master designer William Charles Tanner. The home, also referred to as "Morado la Estella" has a period of significance from 1932 to 1943, corresponding to the years when the Snyder family owned the property.

If designated as a historic resource, the property would be subject to the regulations outlined in Section 8.05 of the Palm Springs Municipal Code.

RECOMMENDATION:

1. Open the public hearing and receive public testimony.
2. Close the public hearing and adopt Resolution HSPB #176, "A RESOLUTION OF THE HISTORIC SITE PRESERVATION BOARD OF THE CITY OF PALM SPRINGS, CALIFORNIA, RECOMMENDING THAT THE CITY COUNCIL DESIGNATE "THE SNYDER RESIDENCE" LOCATED AT 271 WEST MERITO PLACE, AS A CLASS 1 (LANDMARK) HISTORIC RESOURCE, HSPB #176, SUBJECT TO CONDITIONS (APN #505-301-001)."

BACKGROUND AND SETTING:

According to the findings in the historic resources report, the building footprint of the home was consciously positioned off center and slightly to the northeast portion of the site to maximize garden space. Tanner had great success as a designer because of his knowledge of adobe homes and Spanish haciendas. Utilizing different building materials and decorative details, the Snyder Residence was immediately recognized as an outstanding example of desert living.

AERIAL VIEW OF THE SUBJECT PROPERTY, 2026.



NORTHWEST CORNER OF THE RESIDENCE, 2025.



SOUTH (REAR) ELEVATION OF THE RESIDENCE, 2025.



<i>Related Relevant City Actions by HSPB, Planning, Fire, Building, etc.</i>	
April, 2026	Site inspection by members of the HSPB and City Staff.

<i>Ownership Status</i>	
March, 2020	Purchased by the current owner.

Historic Context Statement “Between the Wars (1919-1941)”

Palm Springs was transitioning into an exclusive winter resort town during this period between the wars. Early pioneers like Pearl McManus and Prescott T. Stevens started to develop the first residential subdivisions and the Hollywood elite and business tycoons flocked to the desert to build their seasonal retreats and estates.¹ Merito Vista was one of the early subdivisions that gained a reputation for quality homes designed in the Spanish Colonial Revival style or other iterations of the California Ranch style.

Context: Single-family Residential Development (1919-1941)

Theme: Single-Family Residential Development (1919-1941)

Sub-theme: Depression-Era SF Residential Development (1930-1941)

Registration Requirements: To be eligible under this theme, a property must:

- Date from the period of significance; and
- Represent important patterns and trends in residential development from this period, including representing 1920s and 1930s development and settlement patterns; an association with an important developer; an association with Palm Springs as an artists’ enclave; an association with tourism in Palm Springs; or
- Represent an excellent, rare, or influential example of an architectural style, property type, or method of construction; or be associated with a

¹ City of Palm Springs Citywide Historic Context Statement “Palm Springs between the Wars (1919-1941)”, 71.

- significant architect or designer; and display most of the character-defining features of the property type or style; and
- Retain the essential aspects of historic integrity

Context: Architectural Styles & Local Practitioners

Theme: Single-family Residential Development between the Wars

Sub-theme: Spanish Colonial Revival

Registration Requirements: To be eligible under this theme as an excellent example of its architectural style, a property must:

- Retain most – though not necessarily all – of the character-defining features of the style, and continue to exhibit its historic appearance
- If important for illustrating a particular architectural style or construction technique, must retain most of the physical features that constitute that style or technique.

ANALYSIS:

The historic resources report (“the report”), site visit, and city documents and forms are the basis of this staff report. The report calls attention to the character-defining features of the property and provides detailed background information regarding the developing cultural trends in the area during the period of significance.

Historic Preservation activities in Palm Springs are regulated under Municipal Code Section 8.05 (“*Historic Preservation*”). The purpose of the Historic Preservation Ordinance is:

“...to stabilize and improve buildings, structures or areas which are considered to be of historical, architectural, archaeological or ecological

value, to foster civic beauty, to strengthen the local economy and to promote the use of historic resources for the education and welfare of the citizens.”

Conditions that apply to Class 1 historic sites or resources:

1. It shall meet the definition of a historic site as outlined in Municipal Code Section 8.05.020.
2. An archival file shall be maintained on the property by the City.
3. It may be qualified as ‘historic’ at the federal, state, and/or county level.
4. A marker explaining the historic nature of the site may be installed in a location viewable from the public way.
5. Compliance with all rules and regulations for Historic Resources and Historic Districts under Chapter 8.05 of the Municipal Code.
6. If designated, the findings in support of designation shall be stated in a resolution of the City Council that shall be recorded with the County Recorders’ office within 90 days of the effective date of the Council’s resolution.

Evaluation of the Application. Pursuant to Municipal Code Section 8.05.070 (C,1,a), the HSPB shall evaluate the application and make findings in conformance with the following criteria:

Criteria for the Designation of Class 1 Historic Resources. A site, structure, building or object may be designated as a Class 1 historic resource, provided both of the following findings (“a” and “b”) are met:

Analysis of Historic Significance. (PSMC 8.05.070 (C,1,a) *The site, structure, building or object exhibits exceptional historic significance and meets one or more of the criteria listed below:*

The Snyder family purchased two parcels in the subdivision and commissioned William C. Tanner to design their winter home in Palm Springs. The home demonstrates a strong association with residential development patterns during this period in between the wars and a connection to a prominent designer with local distinction.

(Criterion i) The resource is associated with events that have made a meaningful contribution to the nation, state or community;

Based on the research provided in the report, no meaningful or significant events that made a contribution to the nation, state or local community occurred at this site, thus, this criterion is not met.

(Criterion ii) The resource is associated with the lives of persons who made a meaningful contribution to national, state or local history;

After searching for a location with a dry climate and low altitude, John and Estella Snyder made Palm Springs their winter home and became the first owners from 1932 to 1943, after which the property transferred to eight subsequent owners. While each owner maintained professional affiliations and contributed to the community in various ways, none individually meets this criterion for historic significance.

(Criterion iii) The resource reflects or exemplifies a particular period of national, state or local history;

During this period between the wars, Palm Springs was going through a transformation from its sanatorium past to a winter luxury resort. Architecturally, the influence of the 1915 Panama-California Exposition in San Diego ignites an interest in Spanish-Mediterranean Revival architecture throughout the region.² This aesthetic was immediately adopted for its adaptability to the desert environment and its exotic appearance. Many seasonal homes were built in this style including the Snyder Residence which was a custom-built home. The homes designed in this style tend to utilize a combination of different materials such as tile, wood, decorative iron features and slump blocks. 271 West Merito Place in

² City of Palm Springs Citywide Historic Context Statement “Palm Springs between the Wars (1919-1941)”, 53.

the Old Las Palmas neighborhood is a one-story home with modest proportions laid out in a u-shape plan. The horizontality of the home stretches across the lot but the gable roof forms give the structure height and articulation. The clay tile roof has a purple hue and the details in the fireplace and exterior fenestration give the home a distinct character. Although modifications have been made to the original design of the home, the overall design of the site reflects the period of significance, thus this criterion is met.

(Criterion iv) The resource embodies the distinctive characteristics of a type, period or method of construction;

Unlike the National Register criterion concerning construction, the Palm Springs evaluation of construction addresses the type (of construction), the period (of construction) and the method (of construction). The structures on the site were constructed using conventional methods of construction and materials that were available during the period. Criterion iv is not met.

(Criterion v) The resource presents the work of a master builder, designer, artist, or architect whose individual genius influenced his age, or that possesses high artistic value;

William Charles Tanner, an accomplished artist and architect, was the man who designed the Snyder Residence at 271 W. Merito Place. His portfolio of work ranges from civic projects to residential estates around Southern California. The report specifies 1910s-1930s as his most prolific years, where he produces incredible art as well as architecture. Perhaps one of his most notable works was the transformation of the Desert Inn Complex (1922-1926) for Nellie Coffman. The architecture was taken from simple wooden bungalows to the fashionable Spanish Colonial Revival and the Snyders resided there before building their winter home at 271 W. Merito Place. Tanner is responsible for other prominent homes such as Invernada (HSPB #56) and the O'Donnell Residence (HSPB #19). 271 S. Merito Place was designed by Tanner during his active years and clearly demonstrates his genius and expert knowledge of the Spanish Colonial Revival style. The report also calls out the builders William Marte and H.L. Hansen as influential developers in Palm Springs during this period. Their quality of work was well known, and they worked with many other prolific architects like John Porter Clark and Albert Frey. Based on the findings in the report, Criterion v is met.

(Criterion vi) The resource represents a significant and distinguishable entity whose components may lack individual distinction, as used in evaluating applications for designation of historic districts, for parcels on which more than one entity exists; or

The resource is not within a historic district and does not qualify under Criterion vi.

(Criterion vii) The resource has yielded or may be likely to yield information important to national, state or local history or prehistory.

No information is available on any pre-historic significance of the site.

Analysis of Integrity. (PSMC 8.05.070 (C,1,b). *The site, structure, building or object retains one or more of the following aspects of integrity, as established in the Secretary of the Interior’s Standards: integrity of design, materials, workmanship, location, setting, feeling, or association.*

The Snyder Residence is evaluated based on the following topics of integrity based on the Secretary of the Interior’s Standards:

Location.

The location of the home is in its original place of construction; therefore, the integrity of location is met.

Design.

The orientation and site placement of the home was designed to maximize open space along the south and west sides of the property. While these areas have since been adapted to accommodate the swimming pool and sports court, the overall sense of openness remains intact. The historic building footprint follows a C-shaped configuration that consists of a central core aligned along an east-west axis and two wings positioned on either side of the main structure. This layout creates an open courtyard/patio area to the rear of the home. While a portion of this space was enclosed, the original spatial relationship is preserved, and the primary fireplace was restored and remains in its original location and appearance. A garage and recreation room were added in the 1980s in a design that is compatible with the existing home. The additions replicate and match key design features and finishes including the roof form. The site plan provided in the report on page 63 identifies the changes in more detail. Overall, the one-story residence, designed by Tanner in the Spanish Colonial Revival style continues to convey the simple massing, low-pitched gable roof forms, and much of the original exterior detailing. The integrity of the design remains largely intact.

Setting.

The Merito Vista tract was developed by Prescott T. Stevens and recorded as a subdivision in 1925, making it one of the oldest residential subdivisions in Palm Springs.³ The layout of the lots in this subdivision deviates from the basic grid pattern by including curving streets and the natural beauty of the landscape and mountains as a backdrop for the homes is a feature that remains evident today. This area remains a low-density residential area with most properties consisting of larger parcels. The integrity of setting remains intact.

Materials.

The building materials used to construct 271 W. Merito Place consists of rough-hewn lintels and wooden rafters and eave brackets, slump stone with an adobe style appearance, and multi-hued barrel tile roof. Wooden French doors and casement windows remain and more recent additions to the home match the surrounding building materials but the wrought-iron detailing at the front entry feature was removed. Although some changes have been made, the overall integrity of the materials remains extant.

³ City of Palm Springs Citywide Historic Context Statement “Palm Springs between the Wars (1919-1941)”, 72.

Workmanship.

Despite being completed during the height of the Great Depression, the home exhibits a high level of craftsmanship which is clearly evident in the slump stone walls, wooden carvings, wooden brackets, primary fireplace, and the wrought-iron hardware. The report includes historic photographs of the home that provide a clear comparison, proving that much of the original craftsmanship remains intact and visible today.

Feeling.

Designed as a winter retreat for the family, the site highlights the natural landscape and left enough open space around the home intended for future expansions of the garden and other amenities. The architectural design of the home remains distinctly intact, and the feeling of the site is true to its original intent. The integrity of feeling remains.

Association.

The design of the home maintains a strong association with the Spanish Colonial Revival style and still displays design characteristics of the designer William C. Tanner. The integrity of association with the period and the designer are intact.

DEFINING HISTORIC CHARACTERISTICS:

When evaluating a property for historic designation, it is important to identify the original elements that contribute to its historic significance from later additions or alterations. While these changes may be sympathetic to the original design, it can create a false sense of historicity. Distinguishing original character-defining features from non-original elements will aid the HSPB when it is tasked with evaluating future alterations to the historic resource.

Character-defining features on page 64 of the historic resources report and the staff analysis of important features are listed as follows:

- Site design and placement of the home on the parcel
- An emphasis on horizontality including low pitched roof
- Multiple gabled roof lines
- Vintage barrel roof tiles
- Blending of indoor and outdoor spaces
- Asymmetrical U-shaped layout
- Concrete block exterior wall treatments intended to imitate adobe brick
- Overhanging eaves
- Covered patio
- The original 1932 residence
- Vintage Gladding, McBean roof tiles
- Wood rafter tails and wooden eave brackets
- Original portion of the covered patio with rustic stone fireplace
- Wood and brick lintels

- Multi-light and single-light casement windows
- Wooden French doors excepting that which fronts the 1985 garage conversion
- Original wood-plank doors
- Original wrought-iron door hardware and shutter dogs
- Wooden shutters
- Sawtooth board siding under roof gables
- Copper hooded box window at master bedroom
- Concrete block perimeter wall

Non-contributing elements:

- 1984 swimming pool and spa
- Swimming pool/spa covered terrace
- 1984 tennis court and surrounding fencing
- Composition roofed patio extension
- Tennis court pavilion
- 1985 garage and recreation room
- Equipment enclosures
- Steel cages on various windows
- Glass panels on patio extension
- Non-original light fixtures
- Non-original front door
- Skylights on roof (8)
- Hardscape
- Landscape including statuary and art pieces

ENVIRONMENTAL ASSESSMENT:

The proposed historic resource designation is not subject to the California Environmental Quality Act (CEQA) pursuant to Sections 15060(c)(2) (the activity will not result in a direct or reasonably foreseeable indirect physical change in the environment) and 15060(c)(3) (the activity is not a project as defined in Section 15378) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, because it has no potential for resulting in physical changes to the environment, directly or indirectly.

NOTIFICATION:

Pursuant to section 8.05.140 of the Municipal Code of Palm Springs, all residents within five hundred (500) feet of the subject property have been notified and notice was published in a newspaper of general circulation.

CONCLUSION:

The Snyder Residence meets the definition of a historic resource based on Criterion 3 and 5 of the Palm Springs Historic Preservation Ordinance and meets the necessary integrity findings to support its historic significance; therefore, staff recommends Class 1 Designation as a historic landmark property.

PREPARED BY:	Sarah Yoon, Associate Planner/Historic Preservation Officer
REVIEWED BY:	Anthony Riederer, Assistant Director of Planning Services

Attachments:

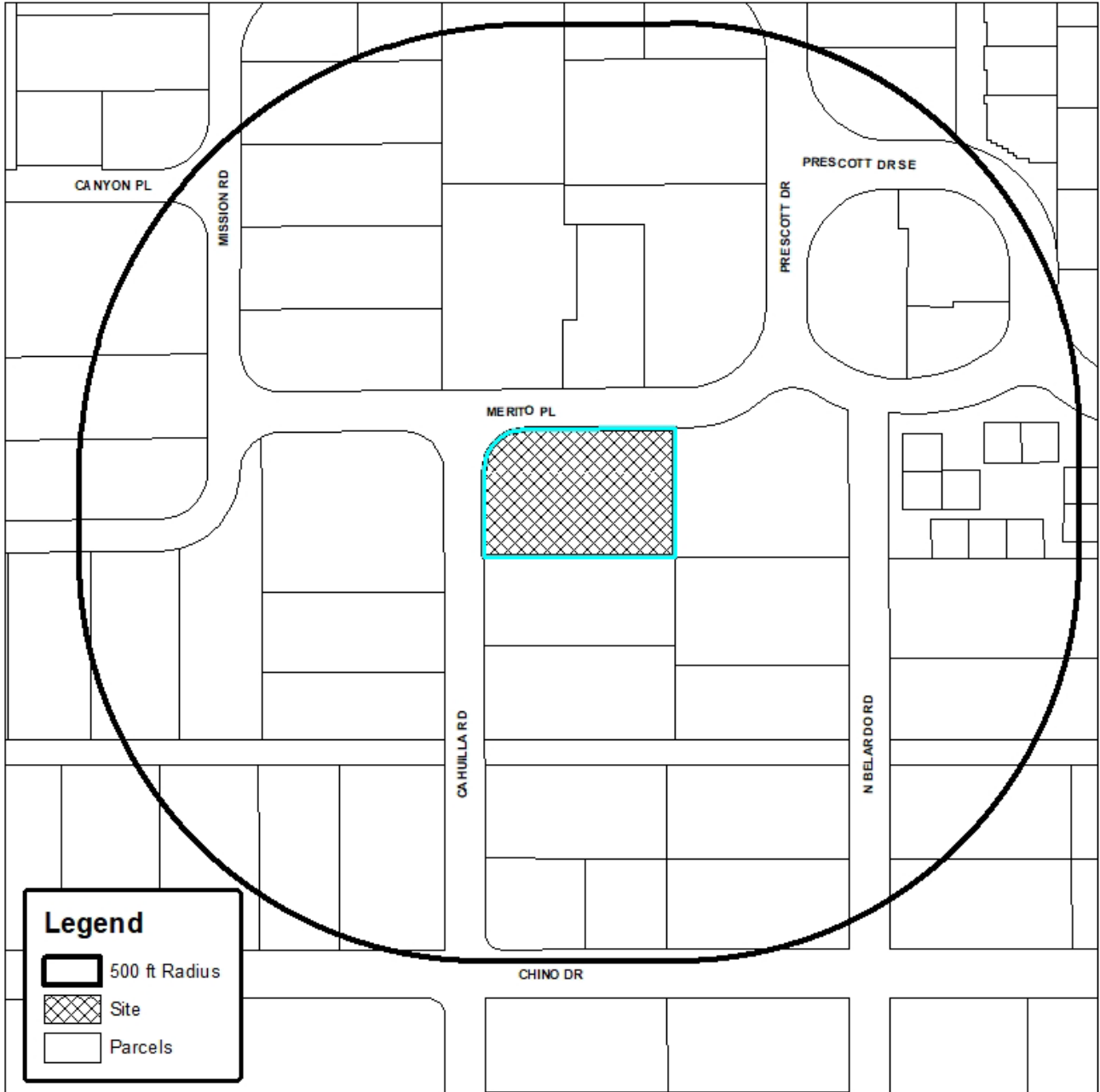
- A. Vicinity Map
- B. Draft Resolution
- C. Application, related background materials, photos
- D. Public Comments

ATTACHMENT A

(Vicinity Map)



Department of Planning Services Vicinity Map



CITY OF PALM SPRINGS
HSPB #176 – The Snyder Residence
271 Merito Place

ATTACHMENT B
(Draft Resolution)

RESOLUTION NO. HSPB #176

A RESOLUTION OF THE HISTORIC SITE PRESERVATION BOARD OF THE CITY OF PALM SPRINGS, CALIFORNIA, RECOMMENDING THAT THE CITY COUNCIL DESIGNATE THE SNYDER RESIDENCE LOCATED AT 271 WEST MERITO PLACE, A CLASS 1 HISTORIC SITE (HSPB #176), APN #505-301-001.

THE HISTORIC SITE PRESERVATION BOARD (“HSPB”) FINDS AND DETERMINES AS FOLLOWS:

- A. WHEREAS, Chapter 8.05 of the Palm Springs Municipal Code allows for the designation of historic sites and districts; and
- B. WHEREAS, The City of Palm Springs filed an application pursuant to Article III, Section 8.05.070 (*Procedure and Criteria for Designation of Historic Resources*) of the Palm Springs Municipal Code requesting historic resources designation for “The Snyder Residence” located at 271 W. Merito Place. The application included a historic resources report (“the report”).
- C. WHEREAS, on April 6, 2026, members of the Historic Site Preservation Board (HSPB) conducted site inspections of the proposed historic resource, accompanied by City staff; and
- D. WHEREAS, on April 7, 2026, a noticed public hearing of the Palm Springs Historic Site Preservation Board (“HSPB”) to consider Case HSPB #176 was held in accordance with applicable law; and
- E. WHEREAS, the HSPB carefully reviewed and considered all of the evidence presented in connection with the hearing on the project, including, but not limited to, the staff report and all written and oral testimony presented.

THE HISTORIC SITE PRESERVATION BOARD OF THE CITY OF PALM SPRINGS RESOLVES:

SECTION 1: FINDINGS – PART “1”, CRITERIA FOR HISTORIC RESOURCES.

Evaluation of the Application. Pursuant to Municipal Code Section 8.05.070 (C,1,a), the HSPB shall evaluate the application and make findings in conformance with the following criteria:

1. *Criteria for the Designation of Class 1 Historic Resources. A site, structure, building or object may be designated as a Class 1 historic resource, provided both of the following findings (“a” and “b”) are met:*

Analysis of Historic Significance. (PSMC 8.05.070 (C,1,a) The site, structure, building or object exhibits exceptional historic significance and meets one or more of the criteria listed below:

The Snyder family purchased two parcels in the subdivision and commissioned William C. Tanner to design their winter home in Palm Springs. The home demonstrates a strong association with residential development patterns during this period in between the wars and a connection to a prominent designer with local distinction.

(Criterion i) The resource is associated with events that have made a meaningful contribution to the nation, state or community;

Based on the research provided in the report, no meaningful or significant events that made a contribution to the nation, state or local community occurred at this site, thus, this criterion is not met.

(Criterion ii) The resource is associated with the lives of persons who made a meaningful contribution to national, state or local history;

After searching for a location with a dry climate and low altitude, John and Estella Snyder made Palm Springs their winter home and became the first owners from 1932 to 1943, after which the property transferred to eight subsequent owners. While each owner maintained professional affiliations and contributed to the community in various ways, none individually meets this criterion for historic significance.

(Criterion iii) The resource reflects or exemplifies a particular period of national, state or local history;

During this period between the wars, Palm Springs was going through a transformation from its sanatorium past to a winter luxury resort. Architecturally, the influence of the 1915 Panama-California Exposition in San Diego ignites an interest in Spanish-Mediterranean Revival architecture throughout the region. This aesthetic was immediately adopted for its adaptability to the desert environment and its exotic appearance. Many seasonal homes were built in this style including the Snyder Residence which was a custom-built home. The homes designed in this style tend to utilize a combination of different materials such as tile, wood, decorative iron features and slump blocks. 271 West Merito Place in the Old Las Palmas neighborhood is a one-story home with modest proportions laid out in a u-shape plan. The horizontality of the home stretches across the lot but the gable roof forms give the structure height and articulation. The clay tile roof has a purple hue and the details in the fireplace and exterior fenestration give the home a distinct character. Although modifications have been made to the original design of the home, the overall design of the site reflects the period of significance, thus this criterion is met.

(Criterion iv) The resource embodies the distinctive characteristics of a type, period or method of construction;

Unlike the National Register criterion concerning construction, the Palm Springs evaluation of construction addresses the type (of construction), the period (of construction) and the method (of construction). The structures on the site were constructed using conventional methods of construction and materials that were available during the period. Criterion iv is not met.

(Criterion v) The resource presents the work of a master builder, designer, artist, or architect whose individual genius influenced his age, or that possesses high artistic value;

William Charles Tanner, an accomplished artist and architect, was the man who designed the Snyder Residence at 271 W. Merito Place. His portfolio of work ranges from civic projects to residential estates around Southern California. The report specifies 1910s-1930s as his most prolific years, where he produces incredible art as well as architecture. Perhaps one of his most notable works was the transformation of the Desert Inn Complex (1922-1926) for Nellie Coffman. The architecture was taken from simple wooden bungalows to the fashionable Spanish Colonial Revival and the Snyders resided there before building their winter home at 271 W. Merito Place. Tanner is responsible for other prominent homes such as Invernada (HSPB #56) and the O'Donnell Residence (HSPB #19). 271 S. Merito Place was designed by Tanner during his active years and clearly demonstrates his genius and expert knowledge of the Spanish Colonial Revival style. The report also calls out the builders William Marte and H.L. Hansen as influential developers in Palm Springs during this period. Their quality of work was well known, and they worked with many other prolific architects like John Porter Clark and Albert Frey. Based on the findings in the report, Criterion v is met.

(Criterion vi) The resource represents a significant and distinguishable entity whose components may lack individual distinction, as used in evaluating applications for designation of historic districts, for parcels on which more than one entity exists; or

The resource is not within a historic district and does not qualify under Criterion vi.

(Criterion vii) The resource has yielded or may be likely to yield information important to national, state or local history or prehistory.

No information is available on any pre-historic significance of the site.

SECTION 2: PART "B" ANALYSIS OF HISTORIC INTEGRITY.

Analysis of Integrity. (PSMC 8.05.070 (C,1,b). The site, structure, building or object retains one or more of the following aspects of integrity, as established in the Secretary of the Interior's Standards: integrity of design, materials, workmanship, location, setting, feeling, or association.

The Snyder Residence is evaluated based on the following topics of integrity based on the Secretary of the Interior's Standards:

Location.

The location of the home is in its original place of construction; therefore, the integrity of location is met.

Design.

The orientation and site placement of the home was designed to maximize open space along the south and west sides of the property. While these areas have since been adapted to accommodate the swimming pool and sports court, the overall sense of openness remains intact. The historic building footprint follows a C-shaped configuration that consists of a central core aligned along an east-west axis and two wings positioned on either side of the main structure. This layout creates an open courtyard/patio area to the rear of the home. While a portion of this space was enclosed, the original spatial relationship is preserved, and the primary fireplace was restored and remains in its original location and appearance. A garage and recreation room were added in the 1980s in a design that is compatible with the existing home. The additions replicate and match key design features and finishes including the roof form. The site plan provided in the report on page 63 identifies the changes in more detail. Overall, the one-story residence, designed by Tanner in the Spanish Colonial Revival style continues to convey the simple massing, low-pitched gable roof forms, and much of the original exterior detailing. The integrity of the design remains largely intact.

Setting.

The Merito Vista tract was developed by Prescott T. Stevens and recorded as a subdivision in 1925, making it one of the oldest residential subdivisions in Palm Springs. The layout of the lots in this subdivision deviates from the basic grid pattern by including curving streets and the natural beauty of the landscape and mountains as a backdrop for the homes is a feature that remains evident today. This area remains a low-density residential area with most properties consisting of larger parcels. The integrity of setting remains intact.

Materials.

The building materials used to construct 271 W. Merito Place consists of rough-hewn lintels and wooden rafters and eave brackets, slump stone with an adobe style appearance, and multi-hued barrel tile roof. Wooden French doors and casement windows remain and more recent additions to the home match the surrounding building materials but the wrought-iron detailing at the front entry feature was removed. Although some changes have been made, the overall integrity of the materials remains extant.

Workmanship.

Despite being completed during the height of the Great Depression, the home exhibits a high level of craftsmanship which is clearly evident in the slump stone walls, wooden carvings, wooden brackets, primary fireplace, and the wrought-iron hardware. The report includes historic photographs of the home that provide a clear comparison, proving that much of the original craftsmanship remains intact and visible today.

Feeling.

Designed as a winter retreat for the family, the site highlights the natural landscape and

left enough open space around the home intended for future expansions of the garden and other amenities. The architectural design of the home remains distinctly intact, and the feeling of the site is true to its original intent. The integrity of feeling remains.

Association.

The design of the home maintains a strong association with the Spanish Colonial Revival style and still displays design characteristics of the designer William C. Tanner. The integrity of association with the period and the designer are intact.

SECTION 3: DEFINING HISTORIC CHARACTERISTICS

When evaluating a property for historic designation, it is important to identify the original elements that contribute to its historic significance from later additions or alterations. While these changes may be sympathetic to the original design, it can create a false sense of historicity. Distinguishing original character-defining features from non-original elements will aid the HSPB when it is tasked with evaluating future alterations to the historic resource.

Character-defining features of the resource are as follows:

- Site design and placement of the home on the parcel
- An emphasis on horizontality including low pitched roof
- Multiple gabled roof lines
- Vintage barrel roof tiles
- Blending of indoor and outdoor spaces
- Asymmetrical U-shaped layout
- Concrete block exterior wall treatments intended to imitate adobe brick
- Overhanging eaves
- Covered patio
- The original 1932 residence
- Vintage Gladding, McBean roof tiles
- Wood rafter tails and wooden eave brackets
- Original portion of the covered patio with rustic stone fireplace
- Wood and brick lintels
- Multi-light and single-light casement windows
- Wooden French doors excepting that which fronts the 1985 garage conversion
- Original wood-plank doors
- Original wrought-iron door hardware and shutter dogs
- Wooden shutters
- Sawtooth board siding under roof gables
- Copper hooded box window at master bedroom
- Concrete block perimeter wall

Non-contributing elements:

- 1984 swimming pool and spa
- Swimming pool/spa covered terrace
- 1984 tennis court and surrounding fencing

- Composition roofed patio extension
- Tennis court pavilion
- 1985 garage and recreation room
- Equipment enclosures
- Steel cages on various windows
- Glass panels on patio extension
- Non-original light fixtures
- Non-original front door
- Skylights on roof (8)
- Hardscape
- Landscape including statuary and art pieces

SECTION 4: ENVIRONMENTAL ASSESSMENT

The proposed historic resource designation is not subject to the California Environmental Quality Act (CEQA) pursuant to Sections 15060(c)(2) (the activity will not result in a direct or reasonably foreseeable indirect physical change in the environment) and 15060(c)(3) (the activity is not a project as defined in Section 15378) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, because it has no potential for resulting in physical changes to the environment, directly or indirectly.

SECTION 5: CONDITIONS THAT APPLY TO CLASS 1 HISTORIC SITES.

According to Section 8.05 of the Municipal Code, the following shall apply to a Class 1 Historic Resource:

1. It shall meet the definition of a Class 1 historic site as outlined in Municipal Code Section 8.05.020.
2. An archival file on the property shall be maintained by the City.
3. It may be qualified as 'historic' at the federal, state, and/or county level.
4. The structure/site may not be modified nor objects removed without following the procedures outlined in Municipal Code Section 8.05.110 "Demolition or Alteration of Class 1 and Class 2 Historic Resources – Certificate of Appropriateness".
5. A marker explaining the historic nature of the site may be installed at the site in a location viewable from the public way.
6. Compliance with all rules and regulations for Historic Sites and Historic Districts under Chapter 8.05 of the Municipal Code shall be required.
7. The site shall not be further subdivided.
8. The City Clerk shall submit the Council Resolution to the County recorder for recordation within 90 days of the effective date of the Council's resolution.

Based upon the foregoing, the Historic Site Preservation Board recommends that the City Council designate The Snyder Residence located at 271 W. Merito Place, a Class 1 Historic Resource (HSPB #176).

ADOPTED THIS SEVENTH DAY OF APRIL 2026.

AYES:
NOES:
ABSENT:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

Christopher Hadwin
Director of Planning Services
City of Palm Springs

DRAFT

ATTACHMENT C
(Application)

MORADA LA ESTRELLA

The John C. and Estella Snyder Residence



**271 West Merito Place
Palm Springs, California 92262**

**William Charles Tanner
1932**

**Nomination Application for City of Palm Springs Class 1 Historic Resource
Prepared by Steve Vaught for the Palm Springs Preservation Foundation
Final: September 1, 2025**

ACKNOWLEDGEMENTS

The author gratefully wishes to thank the following individuals/organizations for their professional expertise and/or editing assistance:

Steve Scott and Bob Eicholz; Barbara Marshall; Ron Marshall; Mary Kummings; Gary Johns; Tracy Conrad; Megan Abbott; Andrea McCarron; Steve Hannegan; Jim Schwietz; Steven Keylon; Melissa Riche; Will Kleindienst; Orange Coast Title Co.; Renee Brown of the Palm Springs Historical Society. And a special thanks to Ron DUBY, copy editor.



Front cover: Morada La Estrella, looking southwest with Inspiration Point and the rugged San Jacintos beyond.
(Courtesy of Mary Kummings and Steve Scott)

Above: Morada La Estrella's original wrought iron fireplace screen likely designed by William Charles Tanner and crafted by ironsmith Frankie Paul.
(Courtesy of the Palm Springs Preservation Foundation)

MORADA LA ESTRELLA

Class 1 Historic Resource Nomination

Table of Contents

INTRODUCTION: PAGE 4

EXECUTIVE SUMMARY: PAGE 5

CLASS 1 HISTORIC RESOURCE DESIGNATION APPLICATION FORM: PAGE 7

STATEMENT OF SIGNIFICANCE: PAGE 11

BACKGROUND/HISTORIC CONTEXT: PAGE 65

EVALUATION FOR CLASS 1 RESOURCE DESIGNATION: PAGE 66

INTEGRITY ANALYSIS: PAGE 68

APPENDICES

I	Owner's Notarized Letter of Support: Page 74
II	Assessor Map: Page 76
III	Chain of Title: Page 77
IV	Building Permits: Page 78
V	Owner Biographies: Page 79
VI	William Charles Tanner Biography: Page 90
VII	Historical Images: Page 94
VIII	Current Imagery/Details: Page 98
IX	Grant Deed: Page 104

INTRODUCTION

The Palm Springs Preservation Foundation (PSPF) is a non-profit organization whose mission is “to educate and promote public awareness of the importance of preserving the historical resources and architecture of the city of Palm Springs and the Coachella Valley area.”

In June 2023, the PSPF board of directors engaged Steve Vaught to prepare Morada La Estrella’s Class 1 Historic Resource nomination.

The Owner’s Letter of Support is at Appendix I.



Estella C. Snyder getting into the spirit of the Palm Springs lifestyle, 1930s.
(Courtesy of Mary Kummings and Steve Scott)

Prepared by Steve Vaught on behalf of:
The Palm Springs Preservation Foundation
1775 East Palm Canyon Drive, Suite 110-195
Palm Springs, CA 92264
760-837-7117
info@pspreservationfoundation.org

EXECUTIVE SUMMARY

SIGNIFICANCE:

Morada La Estrella (roughly translated as either “Dwelling of the” Star or “Home of “Purple”) is one of the most architecturally significant Spanish Colonial Revival style residences within the city of Palm Springs. Located in the historic Merito Vista tract, the home was completed in 1932 for prominent Indiana businessman John Corson Snyder (1866-1941) and his wife, Estella F. Snyder (1871-1958), to serve as a winter retreat for himself and his family. Morada La Estrella is part of a small but exceptional group of finely designed local residences credited to master architectural designer William Charles Tanner (1876-1960). The Los Angeles-based Tanner was active in Palm Springs from the mid-1920s to the mid-1930s. During this time, he was responsible for some of its early landmarks, most notably the transformational Desert Inn complex (1922-1926), the hotel credited with helping to elevate Palm Springs into an internationally-renowned resort destination.

The home’s period of significance is 1932 to 1943, which comprises the time of the home’s ownership by the Snyders. This timeframe places it solidly in “Palm Springs between the Wars (1919-1941),” as defined in the *Citywide Historic Context Statement & Survey Findings* created by Historic Resources Group. This is a period when wealthy and influential people such as the Snyders were building second homes in the growing and increasingly well-known resort village.

DESIGNATION CRITERIA:

Morada La Estrella has been previously evaluated for Class 1 historic resource eligibility as part of the *Citywide Historic Context Statement & Survey Findings* created by Historic Resources Group. A definitive determination on integrity could not be made as the home was not fully visible from the street. However, the survey noted the home may be eligible based on both the significance of its early period of construction (1930s) as well as its Spanish Colonial design by master architectural designer William Charles Tanner.

Criteria for the Designation of a Class 1 Historic Resource: Pursuant to the Palm Springs Municipal Code (PSMC) Section 8.05.070.C.1.: A site, structure, building or object may be designated as a Class 1 historic resource, provided one or more of the criteria in subsections “a” and “b” are met. Refer to the U.S. Department of the Interior National Register Bulletin “How to Apply the National Register Criteria for Evaluation” of potentially historic resources for further information.

Based on the analysis outlined in this Historic Resources Report beginning on page 60, Morada La Estrella meets two of the seven eligibility criteria for designation as a Class 1 Palm Springs Historic Resource. The relevant criteria are outlined in Municipal Code Section 8.05.070.C.1.a: (iii) Exemplifies a particular period in local history; and (v) Presents the work of a master builder, designer, artist, or architect whose individual genius influenced his or her age, or that possesses high artistic value.

Additionally, Morada La Estrella retains a “high degree” of historic integrity as outlined in Municipal Code Section 8.05.070.C.1.b in terms of Design, Materials, Workmanship, Location, Setting, Feeling, and Association (see Section 7, “Integrity Analysis”).



William Charles Tanner (1876-1960)
(Courtesy of Andrea McCarron, Steven Keylon, and Steve Scott)



CITY OF PALM SPRINGS

Department of Planning Services
3200 East Tahquitz Canyon Way, Palm Springs, CA 92262
Phone 760 323 8245

Fax 760 322 8360

Historic Preservation Officer 760 322 8364 x8786

HISTORIC RESOURCE DESIGNATION (HRD)

WHEN TO USE THIS APPLICATION:

Use this application if you are seeking historic designation for a property, parcel or historic district.

For alterations to Class 1, Class 2, or contributing sites in a Historic District, use the CERTIFICATE OF APPROPRIATENESS application. (C of A)

For alterations or demolition of Class 3, Class 4 or non-contributing sites in a Historic District use the MINOR ARCHITECTURAL APPLICATION (MAA).

(Contact the Planning Department if you are unsure of the classification of your property.)

WHO MAY APPLY:

Any individual or organization may apply to the City for consideration of a request for historic designation, however applications must be signed and notarized by the owner(s) of record of the site, structure, building or object for which the designation is sought. For Historic Districts written signatures from at least 51% of the property owners in the proposed district must be included in the application.

PROCEDURE:

1. For proposed historic sites or resources: Refer to Palm Springs Municipal Code ("PSMC") Section 8.05.070 for *Procedures and Criteria for the Designation of Class 1 and Class 2 Historic Resources*. ([www.palmspringsca.gov/government/departments/planning/municipal_code/title_8/section_8.05 "Historic Preservation"](http://www.palmspringsca.gov/government/departments/planning/municipal_code/title_8/section_8.05_Historic_Preservation)).
2. For proposed historic districts: Refer to Municipal Code Section 8.05.090 for *Procedures and Criteria for Designation of Historic Districts*. ([www.palmspringsca.gov/government/departments/planning/municipal_code/title_8/section_8.05 "Historic Preservation"](http://www.palmspringsca.gov/government/departments/planning/municipal_code/title_8/section_8.05_Historic_Preservation)).
3. Complete all parts of the application and include related reports, mailing labels and back up information in support of the application. Denote "NA" for any line item that is "not applicable".
4. Prior to submittal of the application, contact the City's Historic Preservation Officer ("HPO") to review the application for conformance and completeness.
5. Submit the completed application and related materials to the Department of Planning Services. A Planning Department case number will be assigned to the application.
6. Applications for historic site / resource or historic district designation are evaluated by City staff who will prepare the application for consideration by the City's Historic Site Preservation Board ("HSPB") at a noticed public hearing. Applicants should plan on attending the hearing. City staff will schedule site visits for members of the HSPB to become familiar with the site prior to the public hearing. (Exterior review only, interiors are not subject to HSPB review.)
7. At the public hearing, the HSPB will evaluate the application and make a recommendation for City Council action. The City Council will consider the application and the HSPB's recommendation at a second noticed public hearing. The applicant should again attend that hearing.
8. The final action of the City Council to designate will be recorded on the property title with the County Recorder's office.

FOR HISTORIC SITE / RESOURCE APPLICATIONS, SEE PART 1 BELOW.
FOR HISTORIC DISTRICT APPLICATIONS, SEE PART 2 BELOW.

PART 1: REQUIRED MATERIALS FOR HISTORIC SITE / RESOURCE DESIGNATION APPLICATIONS (See PSMC 8.05.070(A.3):

An application for historic site / resource designation must include the following items. After preliminary review of the application by the HPO, provide twelve (12) hard copies and 1 electronic copy on disk or thumb drive of the following materials unless otherwise noted:

		APPLICANT CHECK	CITY STAFF CHECK
1	Original Completed Application (1 copy)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Owner Consent Letter w/ notarized signature, (1 copy)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	Ownership and address history; ("Chain of title") (1 copy.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	A report that describes how the proposed site(s), structures, buildings or objects are eligible and appropriate for designation under PSMC 8.05.070 for historic resources.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	Photographs of the exterior of the proposed sites, structures, buildings or objects.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6	Aerial photo of the site / resource (from Google Maps or equal).	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7	Information about the architect(s), designer(s), planner(s), and/or developers of the proposed sites, structures, buildings or objects, if known.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8	Date and method of construction of any structure, building or object upon the proposed site or within the proposed district (provide copies of building permits where possible).	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9	A detailed assessment of the character-defining features of the site, structure, building or object, (such as materials, architectural details or landscape elements, architectural style, and other relevant descriptors, etc.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10	Evaluation of the site, structure, building, or object relative to the Criteria and Findings for Designation of Class 1 and Class 2 Historic Resources. (PSMC 8.05.070 (C).1	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11	Identify the source of the information provided in the application, such as building permit numbers, date and issue of publications, organizations or individuals.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12	Site Plan (8-1/2" x 11" or 11" x 17")	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13	Any other documentation or research as may be deemed necessary by the HPO to determine the qualifications of the site, structure, building or object for historic designation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14	Public Hearing Labels. The applicant shall submit public hearing mailing labels pursuant to Zoning Code Section 94.09.00.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

¹Applicants are encouraged to review the City's Technical Assistance Bulletin titled "How to Apply the Palm Springs Eligibility Criteria for Historic Designation" available under "Historic Resources" of the Planning Home page of the City website (www.palmspringsca.gov) and the bulletin from the U.S. Department of the Interior National Register Criteria for Evaluation" (National Register Bulletin 15 (<http://www.nps.gov/history/nr/publications/bulletins/nrb15/>)).



(to be completed by Planning staff:)

Date:
Case No.
HSPB No.
Planner:

CITY OF PALM SPRINGS
Department of Planning Services

HISTORIC RESOURCE DESIGNATION (HRD)

TO THE APPLICANT:

Complete all parts of this application. Denote "NA" for lines that are not applicable.
Submit the completed application with attachments to the Department of Planning Services at 3200 E. Tahquitz Canyon Way, Palm Springs, CA 92262 Phone: 760-323-8245 Fax: 760-322-8380

This application is for a proposed: (Check one) Historic Site / Resource Historic District:

Applicant's Name: **Robert L. Eicholz and Steven J. Scott, Trustees for the Eicholz Scott Family Trust**
 Owner Lessee Authorized Agent City Other

Applicant's Address: **271 West Merito Place**
Number and Street Name or P.O. Box
Palm Springs **California** **92262**
City State ZIP

Telephone Nos: **323-810-3216 (Robert Eicholz); 310-694-2040 (Steve Scott)** E-Mail address:
beicholz@pacbell.net (Robert Eicholz); ssdibuy@mac.com (Steve Scott)

Note: For Historic District applications: On a separate page, provide a list all sites / parcels within the proposed historic district boundaries with the following information provided for each parcel / APN.

Site Address: **271 West Merito Place, Palm Springs, CA 92262**

APN **505-301-001** Zone: _____ Section: _____ Gen'l Plan Land Use Desig. _____

Is the project located on the Agua Caliente Band of Cahuilla Indians Reservation? **No** (Refer to the Land Status Map under Tribal Resources on the Planning Department home page.) Construction Date: **1932**

Estimated Actual (denote source, i.e. bldg. permits)

Architect: **William Charles Tanner (architectural designer)**

Builder: **William Marte and H.L. Hansen (Marte-Hansen)**

Present Owner: **Robert L. Eicholz and Steven J. Scott, Trustees for the Eicholz Scott Family Trust**

Present Owner Address: **271 West Merito Place, Palm Springs, California 92262**

Original Owner: John Corson Snyder and Estella Snyder

Other notable past owners: Rod Taylor (1930-2015); Gil Garfield (1933-2011); George I. Rosenthal (1931-)

Other Historic Associations: _____

Common Name of Property: Morada La Estrella; Snyder Residence

Historic Name of Property: Morada La Estrella; Snyder Residence

Attach to this application any information, photos, drawings, newspaper articles, reports, studies, or other materials to fully describe the characteristics or conditions that support this application for historic designation.

Architectural Style: Spanish Colonial Revival

(Refer to the Architectural Styles chapter of the Citywide Historic Context Statement, under Historic Resources on the Planning Home page (www.palmspringsca.gov).

Period of Significance: Palm Springs Between the Wars (1919-1941)

(See the Citywide Historic Context Statement Document.)

Please list any informational reference sources used to complete this application:

PSMC 8.05.070 (C.1): Criteria for the Designation of Class 1 Historic Resources.

A site, structure, building or object may be designated as a Class 1 historic resource or a Contributing Resource in a proposed historic district by the Palm Springs City Council, provided both of the following findings are met.

Provide a written description of how the site qualifies as historic resource under one or more of the following criterion:

FINDING 1: The site, structure, building or object exhibits exceptional historic significance and meets one or more of the criteria listed below:

- i. The resource is associated with events that have made a meaningful contribution to the nation, state or community.²
- ii. The resource is associated with the lives of persons who made a meaningful contribution to national, state or local history.
- iii. The resource reflects or exemplifies a particular period of national, state or local history.
- iv. The resource embodies the distinctive characteristics of a type of construction, a period of construction or a method of construction.³
- v. The resource presents the work of a master builder, designer, artist, or architect whose individual genius influenced his age, or that possesses high artistic value.
- vi. The resource represents a significant and distinguishable entity whose components may lack individual distinction, as used in evaluating applications for designation of historic districts, for parcels on which more than one entity exists.
- vii. The resource has yielded or may be likely to yield information important to national, state or local history or prehistory.

FINDING 2: The site, structure, building or object retains most if not all of the following aspects of Integrity, as established in the Secretary of the Interior's Standards⁴: Design, Materials, Workmanship, Location, Setting, Feeling, Association.

² NOTE: Unlike the National Register criteria, The City's criterion does not consider "patterns of events". For consideration of "patterns of events", use Criterion "iii", reflecting a particular period.

³ Unlike the National Register criteria "type, period of method of construction relates to construction only" For design theme or characteristics use Criterion "iii" (period) or Criterion v (high artistic value).

⁴ Refer to the U.S. Department of the Interior Bulletin for How to Evaluate the Integrity of a Property.

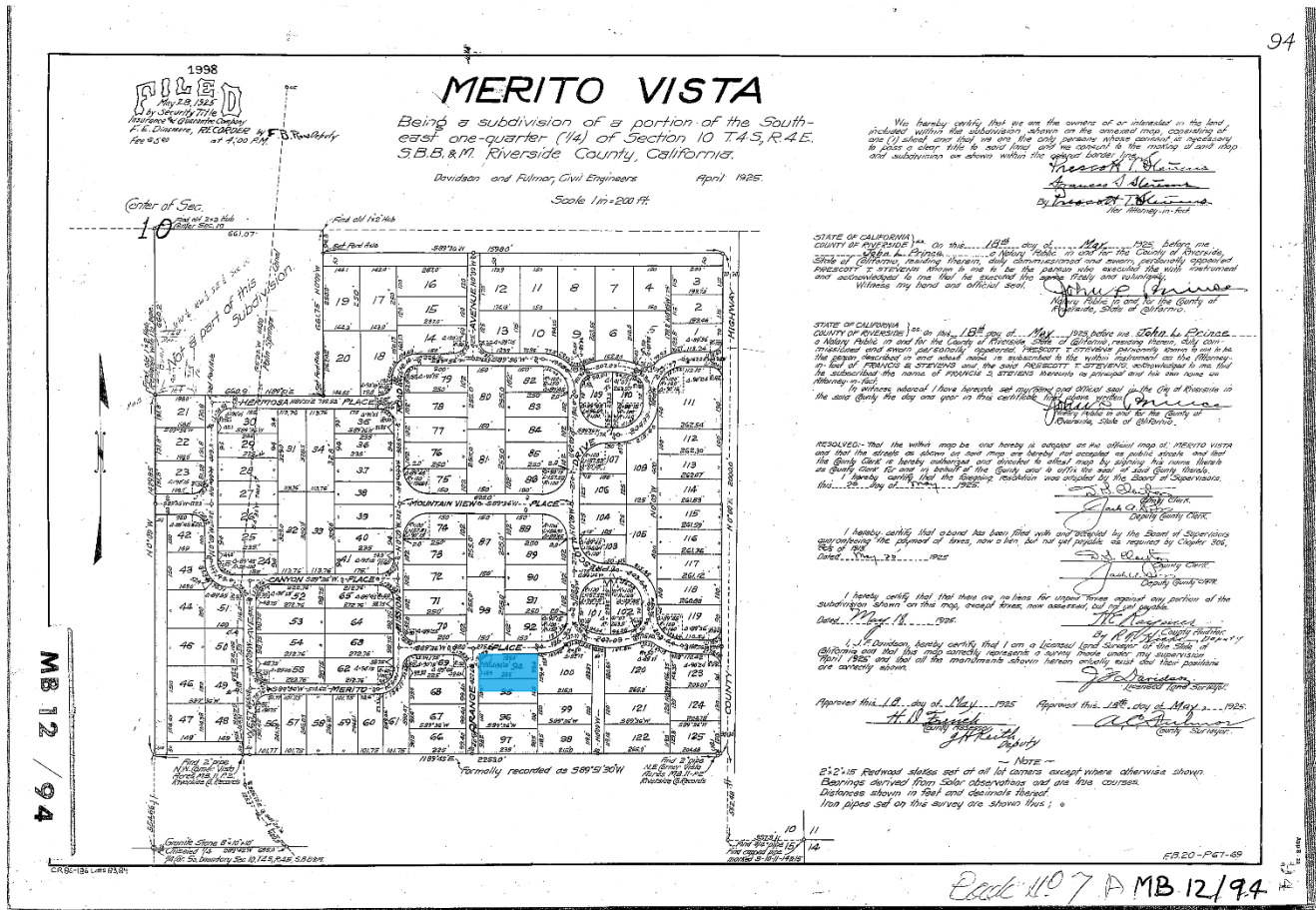
Statement of Significance

Summary

Completed in 1932, Morada La Estrella is located within the historic Merito Vista tract (1925), one of the earliest tracts to be developed in Palm Springs. Today, this tract, along with two adjoining tracts, Vista Acres (1923) and Las Palmas Estates (1926), are commonly known under the umbrella designation of "Old Las Palmas."

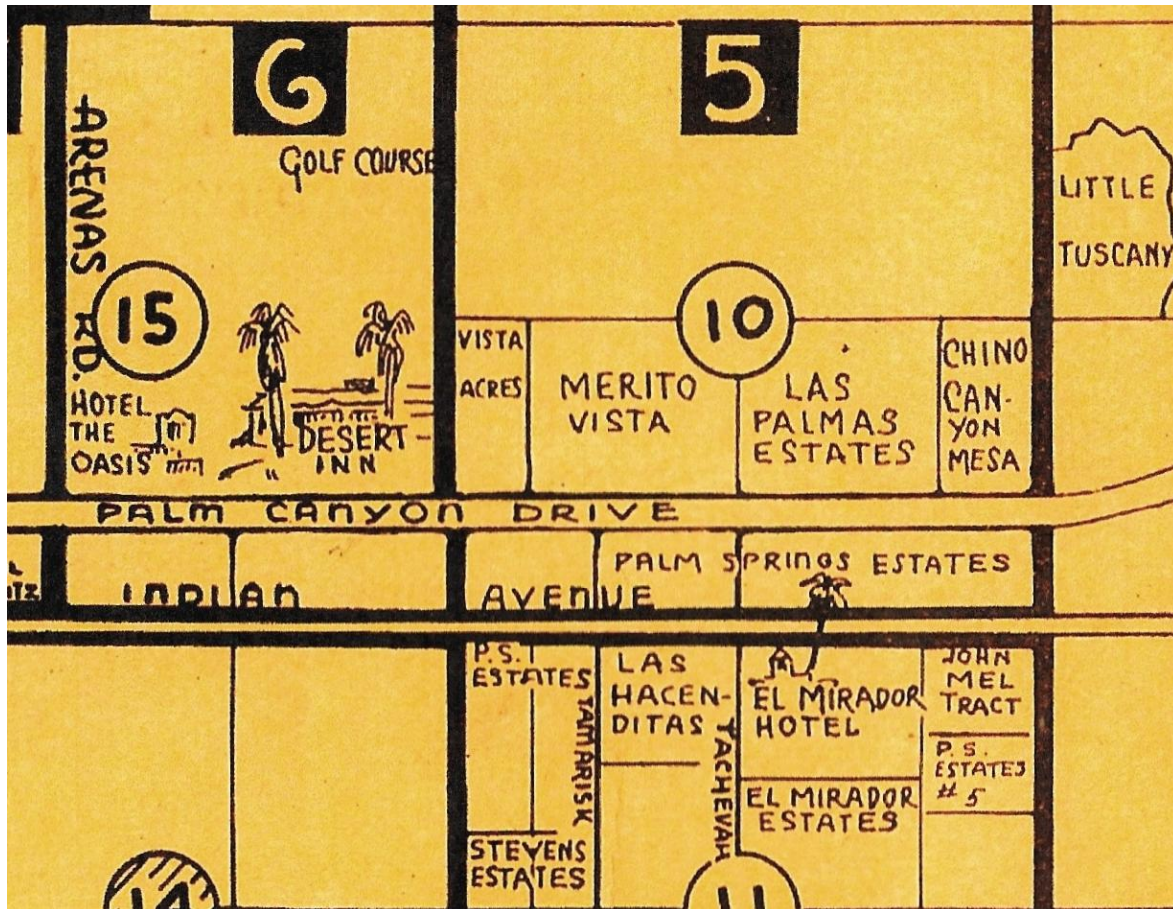
Morada La Estrella is located at 271 West Merito Place, Palm Springs, CA 92262.

The property consists of 2 separate parcels. Parcel 1 consists of Lot 94. Parcel 2 comprises the north 59 1/2 feet of Lot 95. The legal description per the Riverside County Assessor is POR LOT 95 AND LOT 94 MB 012/094 MERITO VISTA.



The tract map for Merito Vista, May 1925.
The future location of Morada La Estrella is shown in in blue.

The Merito Vista Tract



This 1930s map shows Merito Vista's centralized position in the heart of Palm Springs.

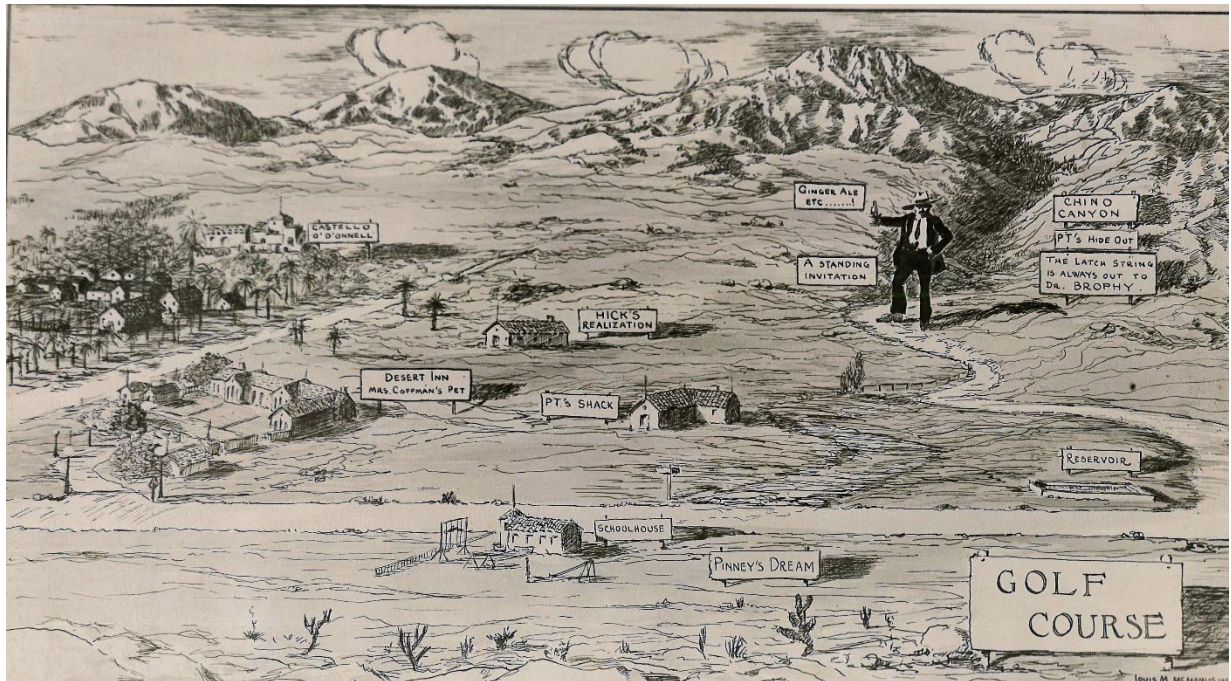
When John and Estella Snyder purchased a homesite in Merito Vista in October 1930, they were purchasing in one of the village's finest residential tracts. It was also one of the most convenient, located just north of the downtown business district and within easy reach of the Desert Inn, Oasis and El Mirador Hotels. If desired, they could walk to the newly-named Palm Canyon Drive (known as Main Street until 1930), which served as the tract's eastern boundary.

First opened for development in 1925, the Merito Vista tract was laid out by pioneering Palm Springs developer Prescott T. ("P.T.") Stevens (1845-1932). A critical figure in the early development of Palm Springs, Stevens was an important influence on the village's residential development, water resources and tourism. He was responsible for a series of important early tracts beginning with Vista Acres (1923); Merito Vista (1925); Las Palmas Estates (1926); and Palm Springs Estates (1927). He was also the driving force behind the El Mirador Hotel (1927), a world-famous hostelry, second in popularity only to the Desert Inn.

Stevens, who had made a fortune as a rancher in Colorado, first came to Palm Springs around 1913 or 1914, staying at Nellie Coffman's modest Desert Inn. He was so taken by the beauty of

the landscape and the healthful climate, he built a cottage near the inn to serve as his family's winter base. He also began buying land and in 1917 he purchased the Ralph Rogers tract, consisting of several hundred acres centered in and around Chino Canyon. By 1920, he had amassed 700 acres just north of the center of the village.

Stevens did not just see the potential in Palm Springs as a perfect winter getaway for himself and his family. He saw it as the perfect getaway for thousands. Stevens had a grand vision of Palm Springs as a major winter resort long before most others could scarcely imagine such a concept. As early as 1916, he floated a plan to build a golf course in the village, a dream that was about a decade ahead of its time. But he would live to see it and several others come to fruition.



**This fanciful map, circa mid-1920s, shows the “domain” of P.T. Stevens including what was to become Merito Vista.
(Courtesy Palm Springs Historical Society)**

Stevens knew that success would require water and lots of it. Early on, he began investing in water rights and, after his purchase of Chino Canyon, he began pumping water from it down into the village. In 1926, his water rights were greatly increased by his purchase of the Palm Valley Water Co. And the following year, Stevens founded the Whitewater Mutual Water Co. (later renamed Palm Springs Water Co.) in partnership with J.J. Kocher, Alvah Hicks, Tom O'Donnell and Warren Pinney. Within a few years, however, Stevens sold the company to his friend and off-time business partner, Alvah Hicks (1884-1944).

One of Stevens' greatest contributions to Palm Springs was encouraging Hicks to move into the village from his homestead near Desert Hot Springs in 1916. Like Stevens, Hicks would become one of Palm Springs' most important and influential early pioneers. At Stevens' behest, Hicks became the village's first and much-needed carpenter. Stevens began using him for his various building projects and before long he was sought after by others, literally helping the village to grow.

When Stevens began subdividing his real estate holdings, Hicks was heavily involved. Just how heavily, however, is not entirely clear. While Stevens is shown as the developer on the various tract maps, it is Hicks who was stated as being owner in multiple newspaper accounts. Some sources go as far to state that Stevens bought his land from Hicks. While the specifics of their arrangements vis-a-vis tract ownership is not known, it is evident they worked closely on developing the various Stevens tracts including Merito Vista.

Merito Vista (sometimes incorrectly spelled “Merita”) was the second tract (of 4) developed by Stevens. It abutted directly on the north of his original tract, Vista Acres, which he subdivided in 1923. Merito Vista, which began as a subdivision two years later, was much larger and more ambitious with 125 individual lots which were advertised as “small estate parcels.”

Aside from the natural beauty of its mountain-base setting, Merito Vista was distinguished by the interesting layout of its streets, which were curved in a manner evocative of country lanes rather than standard city blocks. These were given equally romantic names such as Patencio, Hermosa and Mountain View. And, like so many developers, Stevens could not resist naming a street after himself, with Prescott Drive serving as the main entry into the tract.

As he would do in the other Stevens tracts, Alvah Hicks helped establish the look of success in Merito Vista by building several speculative houses around the tract. Each time he would sell a completed home, Hicks would take the proceeds and use them to build another. The quality of his homes, usually done in a simple yet solid Spanish Colonial Revival style, set the tone for future construction and he was regularly sought out by lot buyers wanting a similar home for themselves. Hicks would leave a significant legacy in Merito Vista, credited with some 20 homes completed as either designer/builder or contractor, during the 1920s and 1930s.

Merito Vista, like other early tracts in Palm Springs, was marketed to those wealthy enough to be able to build a permanent “winter” home in the desert. While an advertising campaign was mounted in such publications as the Los Angeles Times, it is likely most lot buyers came from guests of the Desert Inn, El Mirador, Oasis and other local hotels who fell in love with the setting and made the decision to have a permanent piece of it for themselves.

Contemporary news accounts indicate Merito Vista was a success from the start. As the Riverside Daily Press noted on March 4, 1926:

Passing Merita (sic) Vista on entering the village, one cannot help but be impressed by the attractive lay-out and the beauty of the homes which are being erected. This subdivision has been carefully thought out and the ground plotted into lots of more than half an acre, thus insuring no congestion. At least a dozen homes are being contemplated for immediate erection and half the tract has already been sold.

While lot sales were brisk, actual home building lagged behind with only a dozen homes built by 1929. However, two of these were major estates; the exotically themed El Kantara (1926) and the Florentine inspired Hood estate on Hermosa (1929). Both designed by talented Hollywood architects, these estates immediately became, and remain today, important Merito Vista landmarks.

From the beginning, Merito Vista attracted a cosmopolitan blend of prominent figures from a wide variety of professions such as aviation, art, diplomacy, and business, including the “Millionaire Barber of Milwaukee,” A.W. Starke. And of course, Hollywood. One of the first purchasers in Merito Vista was legendary gossip columnist Hedda Hopper. Although she ultimately did not build, many others did such as comedian Robert Woolsey, William Gargan, Claude Binyon, Richard Arlen, Dinah Shore, and Laurence Harvey, among others.

While it attracted figures of national and international renown, Merito Vista also was home to such critical local pioneers such as Carl Lykken, Zaddie Bunker, Alvah Hicks and Harold Hicks. Today, Merito Vista remains one of the most historic and sought after neighborhoods in Palm Springs.



A mid-1930s view taken from Inspiration Point looking north showing Vista Acres and Merito Vista. Morada La Estrella is seen dead center (red arrow). Note the still largely undeveloped sections of the tracts.

(Courtesy Mary Kummings and Steve Scott)

The Original Builders and Owners of Morada La Estrella – The Snyders



Estella F. and John C. Snyder (right) pose with their daughters Helen and Estella C. (left). 1938.
(Courtesy of Mary Kummings and Steve Scott)

When John and Estella Snyder built Morada La Estrella in 1932 they represented the very type of people who would come to define “Palm Springs between the Wars (1919-1941),” as “a period when wealthy and influential people were building second homes in the growing and increasingly well-known resort village.”

Leading citizens of the midwestern city of Crawfordsville, the “Athens of Indiana,” the Snyders may have first discovered Palm Springs during one of Mr. Snyder’s numerous business trips to the coast during the mid to late 1920s. Snyder’s trips west related to the California lodges of the Tribe of Ben-Hur (hereinafter referred to as “Ben-Hur”). Founded in 1892, Ben-Hur was a national fraternal beneficial (insurance) organization of which Snyder was Chief Scribe. In 1930, the organization was renamed the Ben-Hur Life Association with Snyder going from Chief Scribe to president. The company was a success, managing to not only survive the darkest days of the Great Depression, but to actually grow. As the Monrovia News-Post noted in 1932, Snyder was “considered one of the leading business executives in the fraternal world, and it is due to his financial genius that Ben-Hur Life Association during the depression of 1931 has shown the largest financial gain in its 38-year history.”

Born near Middleton, Ohio in 1866, Snyder moved with his family to Crawfordsville when he was 7. Although he would later move again to different places in his youth, by 1893 he was back in Crawfordsville. He came at the behest of his older brother Frank, one of the founders of Ben-Hur. He wanted Snyder to join him in helping to develop the new organization. Snyder saw it as a great opportunity and enthusiastically signed on. He would remain with Ben-Hur for the rest of his life, rising through the ranks until he was the organization's head. By the mid-1920s, Ben-Hur was a notable success with branches nationwide making Snyder a leading figure in the fraternal insurance association community. In 1927, he was elected to president of the National Fraternal Congress.

The name Ben-Hur was not a random choice. General Lew Wallace, the author of *Ben-Hur: A Tale of the Christ* (Harper & Brothers. 1880), wrote much of what was to become one of the most popular novels of all time under a beech tree on the grounds of his home in Crawfordsville. General Wallace's estate was located at 200 Wallace Avenue while the Snyder's home was at 201.



The Snyder family's longtime Crawfordsville home, a staid and respectable 1900 Foursquare, could hardly be more different than the romantic Morada La Estrella. Yet it acquired presidential magic when former president William Howard Taft dropped in on the Snyder home in 1918. At the time Snyder was president of the Crawfordsville Chamber of Commerce.
(Left image: Courtesy of Mary Kummings and Steve Scott. Right image: via Google Earth)

According to a 1987 video interview with daughter Estella C. Snyder, the path for the Snyders settling in Palm Springs was circuitous. Mrs. Snyder had health issues that required a dry climate and low altitude. Like Goldilocks and the porridge, the family tried different fashionable winter resorts across the country, beginning with the east coast of Florida and progressing westward through San Antonio, Texas, then Scottsdale, Arizona. While each of these places had their

charms, not quite fit the family's needs and desires. Finally, in January of 1929 they arrived in Palm Springs and here the fit was "just right." For the first two seasons the Snyder's stayed at the elegant new El Mirador. But for the 1931-1932 season they switched to the Desert Inn. By this time, the Snyders had become so enamored of Palm Springs they decided to make it their permanent winter home, purchasing land in Merito Vista in October 1930.

The Snyders did what a number of other buyers in Merito Vista had done by purchasing more than just the standard-size lot. They also purchased roughly the northern half of the adjacent lot in order to give them a comfortably large plot upon which to build.

1932 – A Fateful Year to Build

One element that sets Morada La Estrella apart is the year of its completion. While this is not usually so significant, in this case it is of notable importance. The mere fact of its completion year being 1932 puts Morada La Estrella in a unique category – one of only a small number of homes built during the deepest and darkest year of the Great Depression.

In 1932, the United States and the entire world was paralyzed by the global economic collapse which had been triggered by the 1929 crash of the American stock market. Prior to the crash, the U.S. unemployment rate stood at 3.2%. In 1932, it had risen to 24.9%, the highest recorded rate in U.S. history, with virtually every corner of the country affected. Between 1931-1932, more than 3,600 banks collapsed with new home construction ground to a virtual halt. Further, in 1932 alone more than 273,000 people lost their homes. By the end of the year, a thousand mortgages a day were being foreclosed upon.

While Palm Springs fared better than most owing to its continued popularity with the wealthy, tourism had dropped considerably and new building starts were at a standstill. These factors brought great distress to the valley's working classes, which were made up mostly of Native Americans and Hispanics. The Snyders were among a lucky minority able to not only keep afloat but remain prosperous enough to build. The construction of Morada La Estrella, which appears to have run from fall of 1931 to spring 1932 would have brought welcome, possibly even life-saving, employment to both skilled and unskilled local workers badly in need of a job.

Morada La Estrella represents a tangible link to the world's most devastating economic crisis, a small glimmer of hope for a community facing its darkest hour.

The Spanish Colonial Revival Style in Palm Springs



The Reginald Pole Adobe (1916) may have been the first Spanish Colonial Revival structure built in Palm Springs.
(Author Photo. May 2012)

The news that the Snyders had decided to have their home designed in the Spanish Colonial Revival style would hardly have been a surprise to anyone at the time. Spanish architecture had been nearly ubiquitous throughout Southern California since the early 1920s and Palm Springs was no exception.

As architectural historian David Gebhard writes in his 1964 book on architect George Washington Smith:

In the twentieth-century American architectural scene, there has been only one brief period of time and only one restricted geographic area in which there existed anything approaching a unanimity of architectural form. This was the period from approximately 1920 through the 1930s, when the Spanish Colonial or the Mediterranean Revival was virtually the accepted norm in Southern California.

While there were stirrings among a few far-thinking architects at the beginning of the twentieth century, it was the 1915 Panama-California Exposition in San Diego that lit the fuse for the explosion of Spanish-Mediterranean Revival architecture to follow. The fair, which was to celebrate the opening of the Panama Canal and San Diego's role as the first port of call for ships traveling westward through the canal, was a major international event, attended by millions over the course of its two-year run.

Out of all the many exhibits, however, it was the architecture that made the strongest impression. The fair organizers had wanted the buildings to serve as physical representations of the spirit of California and its rich colonial past. As such, they originally planned the exhibition's buildings to be done in the Mission Revival style, which had a brief vogue at the turn of the century, but had now lost popularity. Bertram Grosvenor Goodhue (1869-1924), the exposition's chief architect proposed something different, something new. He suggested the designs go even farther back from the missions and to their inspirations in Mexico and Spain. The result was a dazzling display of the beauty, artistry and variety of the Spanish style from the simple Spanish Colonial Revival to grand Renaissance and Baroque versions, many with extravagant Churrigueresque decorations. The public was awed by the stunning exhibition buildings. And while Spanish quickly began taking hold across the southern United States from Florida westward, its true home was Southern California.

The Spanish Colonial Revival style resonated for numerous reasons. A few of the most important:

- It was wholly appropriate to the region's climate and topography which was similar to that of Southern Spain and the Mediterranean.
- It was historically evocative, a visual connection to Southern California's romantic past.
- It was highly flexible, able to be adapted to every setting from flat parcels to steep hillsides, from the Mediterranean climate of Santa Barbara to the stark desert of Death Valley.
- It worked successfully with any type of structure from a small casita to a grand commercial or civic building.
- It allowed a wide flexibility in the creation of designs that, while sharing many of the same attributes such as courtyards, tile roofs, and stucco walls, remained wholly unique to their individual treatments.
- It offered countless opportunities for connecting residents to the outdoors through loggias, patios, balconies, and terraces, with garden spaces an integral part of each design.
- While it was historically based, it was thoroughly in tune with modern needs and tastes.

Palm Springs, like most communities in Southern California, had started out with no architectural unity, or any real architecture at all for that matter. At the time of the Panama-California Exhibition in 1915, Palm Springs, with the exception of the McCallum Adobe (1885), consisted almost exclusively of basic wood-frame structures, some with stone foundations, making use of locally available materials. Yet, Palm Springs was destined for change and the first stirring came when artist Reginald Pole built a Spanish adobe house in 1916, located on the grounds of today's Casa Cody.

In 1922, local hotel pioneer Nellie Coffman began the complete rebuild of her Desert Inn, taking it from simple wooden bungalows to high-style Spanish Colonial Revival. Completed in 1926, the Desert Inn was hailed as a masterpiece of Spanish design. It would transform Palm Springs not only into a world-class winter resort but would also set the tone for the village's architectural style. And the man she had chosen to design it was William Charles Tanner.

Morada La Estrella's Architectural Designer – William Charles Tanner



Nellie Coffman's Desert Inn, the hotel that put Palm Springs on the map was also William Charles Tanner's masterwork. There are numerous similarities between its design and that of Morada La Estrella.
(Courtesy Mott-Merge Collection. California State Library)

The choice of who would design the Snyder's new winter home appears to have been almost predestined. Having spent their first two winters at the luxurious new El Mirador Hotel, the Snyders ultimately gravitated to the Desert Inn. While both hostelries were excellent examples of the Spanish Colonial Revival style, there was something that set the Desert Inn apart from its friendly rival. That "something" was its proprietress, Nellie Coffman. Known affectionately as "Mother" Coffman, Nellie had built the Desert Inn up from a few tent cottages in 1909 into a world-class resort patronized by millionaires and movie stars. And in doing so, she elevated the modest little village of Palm Springs into a destination of international renown.

With her motto of "be content but never satisfied," Nellie had that rare talent of making her guests feel at home, always anticipating their wants and needs and ever watchful for ways to improve the inn. Nellie could also see the future. She believed that Palm Springs was destined for greatness long before most anyone else. And by the early 1920s, that belief was beginning to come true. She saw the time had come to transform her modest little hotel into a first-class

destination on par with the great winter resorts from Florida to Southern California. To accomplish this lofty goal, Nellie turned not to one of the great architects practicing in Los Angeles and Pasadena, but rather Nellie picked William Charles Tanner (1876-1960), a comparatively obscure figure who was not even a licensed architect. But Nellie knew what she was doing. And so did Tanner. An accomplished artist as well as architectural designer, Tanner had designed a series of beautiful Spanish homes in Hollywood and Riverside, which showed a keen understanding of the nuances of the style and its variants from hacienda to Andalusian.

Over the summers of 1922-1926, the modest old wooden cottages gave way and, in their place, rose a masterpiece of Spanish design. Not one single structure but a series of bungalows, or “lodges,” artfully arranged around the 35 acres of existing gardens. Whitewashed concrete walls gleamed in the desert sun, offset by rough-hewn wooden balconies and ruddy red tile roofs. Arches, patios, babbling fountains, colorful Spanish tiles, the new Desert Inn was a wonderland of Old-World romance yet thoroughly up-to-date in a way guaranteed to please even the most discriminating tastes.



Tanner artfully spread the Desert Inn across 35 acres of gardens set against the rugged backdrop of Mt. San Jacinto.
(Courtesy Mott-Merge Collection. California State Library)

The relaunched Desert Inn proved to be everything Nellie, and Palm Springs, could have hoped for. It was a runaway success, filled during its heyday with guests from around the globe, and playing host to presidents, royalty, movie stars, industrialists, and regular folks as well. The hotel had been the draw, but many were entranced by the setting and decided to make Palm Springs their permanent winter homes. As *Pictorial California* magazine perfectly summed it up in 1928: “A Woman Starts an Inn and Creates a Town.”

By the time of the Snyder's arrival in 1931, the Desert Inn was well into its golden age and at the peak of its charms. Tanner, too, had prospered. Having been hailed for his masterful design of the Desert Inn, he was engaged to design several elegant homes in Palm Springs, most notably Ojo del Desierto, the grand Monterey Spanish estate Tanner designed for Tom O'Donnell in 1925 and Invernada, the Andalusian hacienda Tanner had recently completed for millionaire George Heigho.

Perhaps without even yet knowing Tanner's name, the Snyders were beguiled by the artistry of his design of the Desert Inn, and during their extended stay they were able to get a true sense of what they wanted in a home both in physical appearance and lifestyle. And, inevitably, they sought out the man who had created it to reproduce in their own home.

In attempting to find William Charles Tanner, the Snyders had to look no further than Nellie Coffman. Nellie and Estella Snyder had become good friends over the course of her stay at the inn and there is little doubt that she arranged for a meeting between Tanner and the Snyders.



Nellie Coffman in period costume (left) is seen with a beaming Estella F. Snyder (right) in a screenshot from an early 1930s home movie by the Snyders.

It is highly likely that it was Nellie who introduced William Charles Tanner to the Snyders.

(Courtesy Mary Kummings and Steve Scott)

Steve Scott, the current steward of Morada La Estrella who has conducted extensive investigation and research into Tanner and the home's history, was able to locate through the Snyder family rare home movies from the early 1930s. One showed the Snyders touring Invernada with Tanner himself circa 1931. It was likely he was showing them an example of his most recent work and giving them ideas for their own plans (See William Charles Tanner biography in Appendix VI).



**Tanner himself with his wife Lottie Mae circa 1931 at his recently-completed Invernada estate as seen in a screenshot from a home movie by the Snyders. It is believed he was showing the Snyders an example of his latest work for inspiration.
(Courtesy Mary Kummings and Steve Scott)**



**Another screenshot showing Tanner and Lottie Mae with the dog of Invernada's owner, George Heigho.
(Courtesy Mary Kummings and Steve Scott)**

**Morada La Estrella's Contractor – William Lee Marte and Associate,
H.L. Hansen of Marte-Hansen**



The contractor for the Morada La Estrella project, William Lee Marte (1887-1978) was one of the area's busiest and best-known builders throughout the 1920s and 1930s. The Ohio-born Marte was a pioneer Palm Springs resident, having been in the desert with his wife Henrietta and their children since the 1920s. Marte established a general contracting business in the original Palm Springs Theatre building, working with his longtime associate H.L. Hansen. He would later handle the rebuild of the theater as well as at least two others for Earl Strebe in Lake Arrowhead and Newport Beach.

Over the course of his long career, which spanned more than 60 years, Marte, along with his longtime associate Hans Lauritz (H.L.) Hansen (1883-1969), built dozens of structures throughout Palm Springs and beyond from residences to apartments, hotels, theaters, stores, governmental buildings, and offices. His clients included such important local figures as Carl Lykken, Harold Hicks, H.J. Carpenter, and Rufus J. Chapman, as well as nationally known personages as actor William Powell, and Ambassador Charles Crane. In 1917, Marte built the summer cottage at Moss Point in Laguna Beach for presidential confidante Colonel Henry House, an area landmark gaining fame as a "Western White House," during the time it was occupied by President Woodrow Wilson in 1919. The house still stands at 139 Moss Street.

In addition to Tanner, Marte worked with other major Palm Springs architects of the day, including Charles O. Matcham, Brewster & Benedict, John Porter Clark, and Albert Frey.

During his time in Palm Springs, Marte lived with his family at the Spanish-styled home at 814 North Indian Canyon Drive, a home later occupied by architect Charles O. Matcham. In 1941, he sold the house and relocated to Bloomington where he would remain until his death at 91 on May 29, 1978.

The Design and Construction of Morada La Estrella



The Snyders were so proud of their new desert home they documented its construction in a series of remarkable images. This view looking north shows the rustic stone fireplace and north exterior wall beyond.

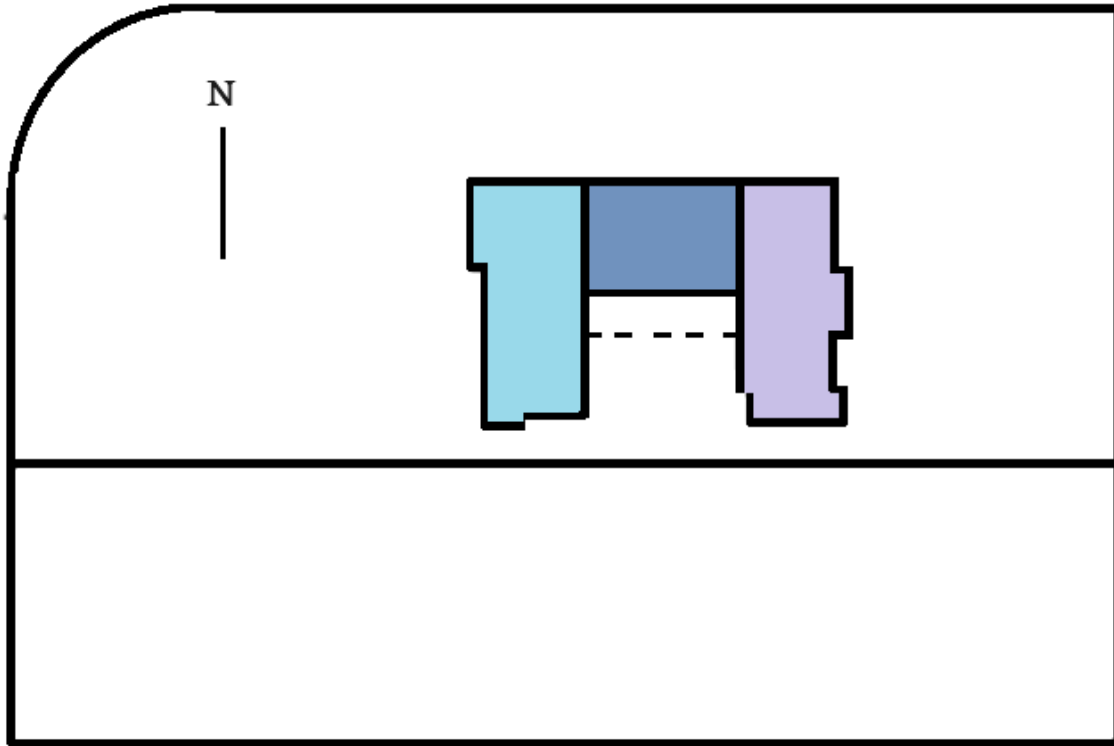
(Courtesy of Mary Kummings and Steve Scott)




In a 1925 article in *California Southland*, Roland E. Coate, one of the great masters of Spanish Colonial Revival in Southern California, posed the question, “Isn’t it possible to recapture some of the romance of the early days of California?” He believed it could be done by creating homes that would “capture some of the romance of the early days without sacrificing modern demands of comfort.” This type of home, which he called the Early California house, was perfectly suited to Southern California both climactically and through heritage. “It lends itself to many sites,” he wrote. “It is new and yet it is old...It combines the formal with the informal, it is quaint but dignified.” It was a description that perfectly fit the future design of Morada La Estrella.

Like Roland E. Coate, William Charles Tanner was thoroughly steeped in the history of the Spanish/Mexican period in Southern California and the unique architecture that it produced. In 1915, while he was resident artist at the Mission Inn, Tanner had been so moved by the Panama-Pacific Exhibition, he began organizing tours for both Mission Inn guests and interested locals to see the exhibition and its dazzling Spanish architecture.

By the time of his design of Morada La Estrella, Tanner had successfully produced a number of Spanish designs from Hollywood to Palm Springs with his masterwork, the Desert Inn, achieving international acclaim.

The underlying sublimity of Morada La Estrella is in the simplicity of Tanner's design. It followed the same forms and principles that made the early Southern California adobes so charming and so livable while producing a house thoroughly up to date for modern living.



-  Central core (living room)
-  Service wing (Kitchen, garage, staff/guest quarters)
-  Family bedrooms

As the above schematic shows, Tanner's straightforward design had clear distinction between functions. The U-shaped massing allowed for the central (living room) mass to unite the two wings adjoining it on either side. It also created a patio space in the center, which was intended to serve as an extension of the living room directly connecting occupants to the outdoors. In designing the wings, Tanner carefully avoided making them symmetrical, giving each its own character. It is of interest to note how carefully Tanner positioned the house on its site, placing it off the center slightly to the northeast, which allowed a maximum amount of garden space on the south and southwest.

Architecturally, Tanner drew heavily from the adobe haciendas of the Spanish and Mexican period. Although he captured the look and feel of those storied dwellings from “the Days of the Dons,” Morada La Estrella was not a direct copy of any known structure. Rather, he incorporated elements from a variety of early designs to give the home its own unique look yet evoke the feeling of the historic past.

Tanner did this with all his period designs and to great success at the Desert Inn. While it is not officially known, it seems clear the Snyders asked Tanner to recreate the same look and feel of the Desert Inn for their own home. Indeed, Morada La Estrella bears striking stylistic similarities to the Desert Inn.



(Courtesy of Steve Scott)

The similarities in design of the Desert Inn and Morada La Estrella could not be more obvious than in this side-by-side comparison between the deluxe suite of the Desert Inn (310L) and the living room at Morada La Estrella. It is likely the Snyders stayed in this suite during their sojourn and were so taken by it they asked Tanner to recreate it for their own home. Note, the wrought-iron gates, which were designed by Tanner and forged by local artisan Frankie Paul.

Tanner had a good working relationship with Estella F. Snyder, endeavoring to incorporate her needs and desires into his plans. Tanner worked well with strong accomplished women throughout his career, most famously with Nellie Coffman and later with pioneering female Hollywood director Dorothy Arzner.



Part of a Desert Inn bungalow with Tanner's Ojo del Desierto presiding from above. Note the overall similarities with Morada La Estrella including the rustic chimney cap and the quartet of windows, a motif he also applied on Morada La Estrella's east façade. Lintels and the wooden porch columns/corbels are also shared attributes.
(Courtesy Mott/Merge Collection. California State Library)

As was an integral part of Spanish Colonial Revival, Tanner's design focused on horizontality with the house hugging low to the ground. The simulated adobe brickwork, which was actually slump stone concrete, gave the feeling of the home rising directly up from the earth itself.

Tanner's greatest success in achieving horizontality without a squashed feeling was in his masterful handling of the roof planes. Tanner used the U-shape of the design to create multiple intersecting roofs, which also defined the spaces beneath. The main mass of the house, which contained the living room and covered patio was given the highest pitch. Side gabled on its east-west ends, the roof was gracefully swept outward by Tanner on the north to form a cover for the entry and on the south to shelter the patio.

Over the east-west sections lower pitched rooflines extending out from the center were used to define the east-west sections of wings. Tanner did not attempt to integrate the roofs of the perpendicular portions of the wings. Rather, he gave them their own separate identity as if the house had been added onto at a later date, one of the common features of the early adobes.



Tanner's use of varying roof pitches added visual interest to the low-slung massing of the house. Note, Inspiration Point on the mountain above.
(Courtesy of Mary Kummings and Steve Scott)

Overall, Tanner's design of Morada La Estrella was exceedingly simple in its plan - a slab over grade concrete block U with a low-pitched tile roof. Yet he was able to take a basic form and enhance it into something wholly unique through various elements. This started with the concrete block walls scored to resemble the rustic look of adobe bricks. The rooflines, as already noted, brought visual interest through the variegated roof pitches and the use of multi-hued Gladding, McBean Co. tile.



A recent (2023) image of the southern façade of Morada La Estrella (looking northeast) shows how Tanner varied roof heights to achieve a more interesting visual effect. Note, the sawtooth board cladding, a Tanner favorite, filling the gable ends.
(Author photo. July 2023)

Another way Tanner enhanced the design of Morada La Estrella is through the manner in which he employed doors and windows. The main goal was to provide views and access to the outdoors, which Tanner accomplished through a series of French doors and windows of varying sizes. Tanner ensured occupants could move between indoors and out with great ease by placing doors both in the central section and out from each wing. The living room had three pairs of French doors (including the original front door) offering direct access to the front garden and covered patio. This not only provided freedom of movement it also ensured a maximum amount of air flow to keep the house cool. Service doors were given their own treatment with heavy vertical boards studded with nails with ornamental iron strap hinges and latches.



A 1930s view of a portion of Morada La Estrella's north (front) façade showing the main entrance flanked by what appear to be French doors on either side. These, however, were actually windows designed to match the look of the front door. Although not easy to see, there are brick lintels over the entry door and windows.

(Courtesy of Steve Scott and Mary Kummings)

Windows, mostly casement of several sizes, were placed throughout. Like the doors, windows were usually framed by louvered shutters and capped by lintels. Tanner's attention to detail is evident by how he chose to mix brick and wood lintels to help avoid monotony. On the wooden lintels, a band of delicate carvings was added to soften the plainness. This effect was not only charming; it harkened back to the original adobes where similar simple handmade detailing helped bring a little artistry to the otherwise unadorned structures.

The most elaborate of the windows Tanner added to Morada La Estrella was a boxed window, which is found in the master bedroom facing south. This is capped by a copper hood and trimmed with turned columns.

It should be noted that today, six of the home's windows are "caged" in steel grilles. While these are a traditional feature on Spanish homes and are compatible to Morada La Estrella's design, they are not original, having been added at a later unknown date.



The boxed window of the master bedroom remains virtually unchanged today.
(Left image: Courtesy of Mary Kummings and Steve Scott. Right image: Author photo. July 2023)



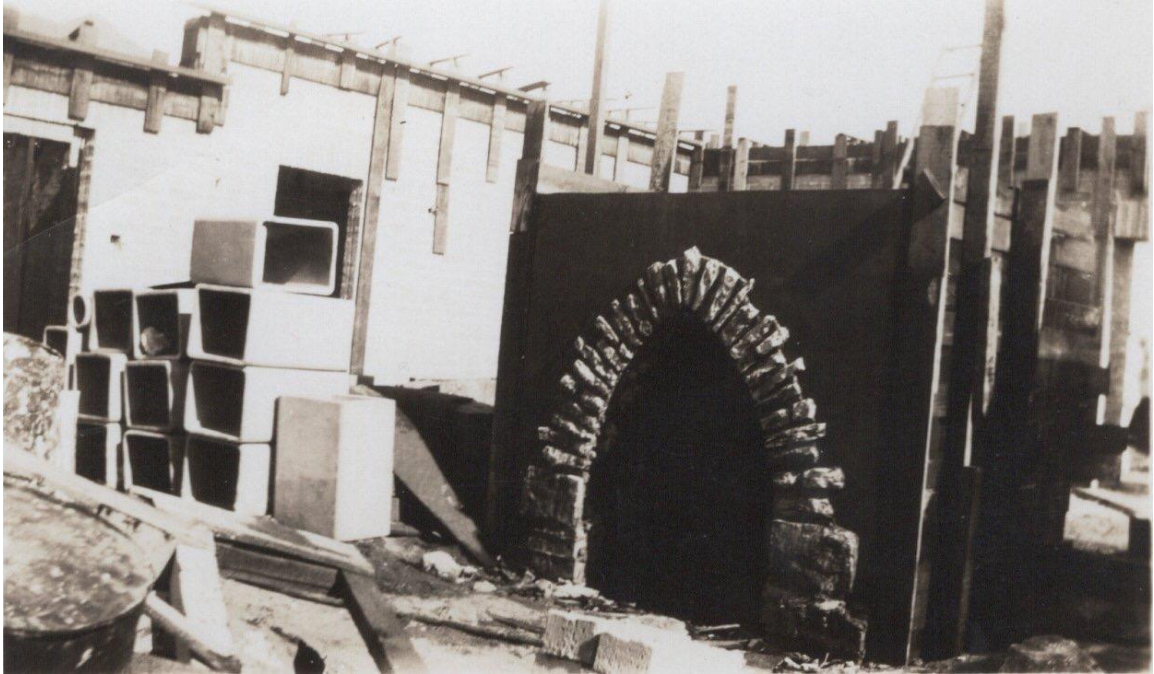
**The steel window grilles, designed in traditional Spanish style,
are not original features but are period appropriate.**
(Author photo. July 2023)

Ironically, the one original window grille appears to have been lost a number of years ago. It was located in the patio on the west inner wall and covered a small window that provided light for the hallway inside. The home's current owners, Steve Scott and Bob Eicholz, excavated the original bricked-up window and installed a period 1920s amber rondel window - a motif Tanner used extensively in other residential projects like the O'Donnell Golf House.



A glimpse of the now-lost decorative grille once found on the west patio wall. Note the bullfighting poster giving a further touch of Spanish flavor.
(Courtesy of Mary Kummings and Steve Scott)

The exterior fireplace was, and remains, one of Morada La Estrella's most notable decorative elements. William Charles Tanner was known for creating unique and eye-catching fireplace designs and his work at Morada La Estrella is no exception. The unusual triangular-shaped opening surrounded by rustic stonework and topped by a stairstep brick chimney is a visual delight and a one-of-a-kind feature. At some point, the stairstep chimney was covered up, but it has recently been restored by the current owners to its original look.



A rare view of the exterior fireplace while under construction. Current homeowner Steve Scott believes its unique triangular shape offers a clue to Tanner's future involvement in another major project nearby – Inspiration Point. While it cannot be conclusive without further documentation, it is a compelling theory that would fit with Tanner's timeline and his work for Tom O'Donnell.

(Upper photo: Courtesy of Mary Kummings and Steve Scott. Lower image: Author photo. November 2018)





The completed fireplace provided a dramatic focal point for the entire structure.
(Courtesy of Mary Kummings and Steve Scott)



While there have been some modifications to the patio, the fireplace retains its preeminent position as the unifying focal point of the home.
(Author photo. July 2023)

Across Mediterranean villages from Spain to Italy, rusticated chimney stacks/caps have been prized for their uniqueness and charm since Medieval times. While performing a useful function, many have risen to the level of art. William Charles Tanner and other architects and designers of the 1920s-1930s, often used artistic chimney stacks/caps, which were inspired by European precedents. Elaborate chimney stacks became a hallmark of Tanner designs with each given its own feel and personality.



The chimney at Morada La Estrella would be right at home in Spain and Italy.
(Author photo. July 2023)



A typical pair of vintage Italian chimneys.
(via outofbounds.com)

One factor that has made Spanish Colonial Revival architecture so enduringly popular is its versatility. The style is so simple at its core that it does not usually clash if a different style is introduced, be it furniture or an architectural element. Throughout the Golden Age of Spanish architecture in Southern California, the master architects all enjoyed intermingling bits from other styles, sometimes in small ways, other times more significantly. Perhaps the most notable example is the Monterey Spanish style, which is a successful combination of both Spanish Colonial and American Colonial.

William Charles Tanner was not afraid to bring in something different if he felt it would enhance a design, which he did at Morada La Estrella. While the majority of the home featured a solidly and typically Spanish Colonial exterior, Tanner threw a curveball in the form of a set of delicate lacy wrought iron lattice columns in a Cherokee Rose pattern, which he used to frame the home's entry. Introducing such an ostensibly incongruous feature reminiscent more of New Orleans than Seville was a bold and risky decision. Tanner, however, knew what he was doing and the columns added an unexpected grace, much like a fine lace tablecloth draped over a rough-hewn Spanish table. It was perhaps the most noteworthy example of William Charles Tanner, the artist, at Morada La Estrella.

And he was not alone. Master architects such as Wallace Neff, Paul R. Williams, Gordon B. Kaufmann, Roland E. Coate, and others all did likewise, using lacy wrought-ironwork on entry columns, balconies, and elsewhere, to achieve the same kind of visual surprise that Tanner achieved at Morada La Estrella.

Unfortunately, this entry is one of the lost elements at Morada La Estrella. (See Changes and Modifications to Morada La Estrella, page 41)



Tanner designed all the wrought-iron work at Morada La Estrella himself, which was then fashioned by talented local craftsman, Frankie Paul.
(Courtesy of Mary Kummings and Steve Scott)



One of the unquestioned masters of Southern California Spanish architecture, Gordon B. Kaufmann, used wrought-iron in a similar fashion as Tanner, regularly including designs otherwise principally Spanish, Norman, Georgian, and English. This is an example from his 1938 Eugene Hill-Smith Residence in Holmby Hills, Los Angeles.
(Via The Architectural Digest, Volume X, No. 3. 1940)



**A 1930s view of the living room of Morada La Estrella facing to the southeast.
Note the mix of styles in the furnishings.
(Courtesy of Mary Kummings and Steve Scott)**

The interior spaces at Morada La Estrella were as well thought out as the exterior. While filled with charm, the home was by no means grand. It was actually a rather modest house, particularly considering the prominence of the Snyders, but it was all they desired. Plus, building a grandiose house in the depths of the Depression was considered crass (although a number were indeed built across the country).

By the time Morada La Estrella was built, the Snyders were empty nesters with their children all grown and with families of their own. As such, the house had only two principal bedrooms, each with ensuite baths, contained in its own wing off the east side of the living room. In the service wing, there were an additional two bedrooms which were likely used by staff although they could also serve for additional guests.

As noted earlier in this nomination, Tanner designed a straightforward floorplan with clear definition of spaces. Both of the wings were arranged in such a way to have equal access to the main living room, the covered patio, and the gardens beyond. With multiple entrances in each wing, privacy could be ensured as desired in spite of the limited proportions.

The living room and its adjoining patio, artfully arranged by Tanner to be the heart of the home's "public" activities, was warm and inviting and perfectly suited for entertaining with a double height ceiling and heavy wooden beams making the space feel larger. Its layout harkened back to the early classic Spanish homes of California in that it was an early incarnation of 'open concept' design featuring both the living room and dining room in one large open space. With French doors on both the north and south side, the living room literally connected to the outdoors. Tanner also subtly but effectively linked the exterior design to the interior, with the same distinct sawtooth boards gracing the upper parts of the east-west walls to match those on the exterior gables. He also used the same style of wooden corbel on the ceiling beams that he used at the exterior on the patio columns. The walls on three sides were sheathed in the same simulated adobe brick as the exterior, but on the fourth, the south wall, Tanner sheathed it entirely in vertical boards, lightly stained to show off the texture of the grain. With the ceiling above stained in the same fashion, it gave the illusion the ceiling was continuing down the wall. The ceiling beams and cabinet work may well have been the work of the talented Robert Lee Miller, who was known to have fashioned similar ceilings in other houses in the area during the same period.

Another visual cue to the exterior, almost so subtle as to be missed, are the simple carvings along the lower edges of the heavy trestle beams. These match those found on the lintels above the doors and windows outside.



The living room in its current form. There have been changes but the original feeling remains.
(Courtesy of the Palm Springs Preservation Foundation)

The centerpiece of the living room, the fireplace, was much more restrained than that directly behind it on the patio, being a simple rectangle framed in brick and wood. However, Tanner gave it an exquisite touch in the form of its wrought-iron screen, which has the home's name, Morada La Estrella, punched through at the bottom in Tanner's signature self-designed font. Above, are three stylistic stars, which may reference the home's name. While there are several ways to interpret it, Morada La Estrella can be translated as "home of the star" or "Purple Star." Purple was used frequently throughout the home's original design, being Estella's favorite color. No matter what the interpretation may be, the effect of the home's name backlit by an inviting fire, is a visual treat. It is also a near-miracle the screen has remained in situ for 91 years, and is one of the home's treasures.



Morada La Estrella's fireplace in the 1930s and today.
(Top image: Courtesy of Mary Kummings and Steve Scott.
Lower image: Courtesy of the Palm Springs Preservation Foundation)

The overall design and construction of Morada La Estrella reflects the very finest in architectural design, quality of materials, and not the least, in those who built it. While we do not know the names of all those involved other than Tanner, ironsmith Frankie Paul, and the contractors William Marte and H.L. Hansen, it is clear the home was created by a talented group, ranging from construction workers to skilled craftspeople. While the Great Depression had a horrible effect on the building industry and those who worked in it, it did offer the opportunity for those who could afford to build to get the very best both in materials and in craftspeople at a bargain price.

Karen E. Hudson, granddaughter of legendary architect Paul R. Williams, wrote of this effect when Williams was doing a mansion in the Hancock Park district of Los Angeles at the same time Morada La Estrella was under construction. Hudson wrote:

Since the residence was built when many skilled craftspeople were unemployed, the artisans who carved the staircase and paneled the library often only received one day's wages for two day's work.

It was a difficult situation across the country in 1931-1932 and may well have been the case at Morada La Estrella. But its construction doubtless helped some to survive.



Skilled woodworkers preparing corbels for the living room beams on site ca. 1931.
(Courtesy of Mary Kummings and Steve Scott)



BEAUTIFUL DESERT HOME

THE BEAUTIFUL EARLY CALIFORNIA TYPE home of Mr. and Mrs. John C. Snyder, of Palm Springs and Crawfordsville, Indiana—located in Merita Vista, and seen here, is outstanding from the standpoint of architectural beauty. The exterior of the home, too, is inspiringly lovely. Planned by Mrs. Snyder, whose architect was Charles W. Tanner, and builder, William Marte, the home is—as its name—a “superior dwelling.” The home’s Spanish name, “Morada la Estrella,” translated means “Superior Dwelling of Estrella” (Mrs. Snyder’s first name). “Morada” also means purple—the outstanding color used externally in the tile roof, and in the interior in the wall’s coloring and rugs.

HOME OF MR. AND MRS. JOHN C. SNYDER IS INSPIRING ABODE

(Ed. Note—This is the first of a series of illustrated articles on the beautiful homes of Palm Springs, whose builders sought beauty and distinction in their homes—an inspiration to all others — and featuring the homes built by local builders, who have attempted to use local supplies and materials.)

One of the most charming of the numerous lovely homes of Palm Springs is the home of Mr. and Mrs. John C. Snyder. Located on Merito Place in Merita Vista, it is of early-California type, definitely Spanish in motif, and bears the influence of the Dons of Spanish California.

High white walls, made from desert brick, protect and surround the home. Lawns inside the walls are surrounded by flowers and shrubs, native of the desert, and plants and trees that lend themselves to the local setting.

The home’s exterior is bone white in color, of desert brick construction (locally made tile) surmounted by a rare and lovely shaded purple tile roof. Recessed, deep windows in the walls, protected by heavy Spanish grill bars, give the idea of sturdiness, and an “attached to the soil” feeling to the home.

Most beautiful is the delicate Spanish grill work surrounding the porch entrance. Its design is the Cherokee Rose—made into a pattern by Charles W. Tanner, the architect — and wrought by Frankie Paul, artistic craftsman.

The interior of the home has the desert’s pur-

ple as a base or main color idea. It reflects the exterior — the desert, the mountains and their colorings — and brings this feeling within the walls into the rooms. A large purple rug establishes one within the large living room. The stained walls reflect the color in the gray purple stained shade of the board walls, that give the idea of the partitions of colonial California homes.

Amethyst, old red, and gold are the relieving color combinations for furnishings used in drapes and furniture. Small

white Moroccan rugs at either end of the room provide highlights to the interior.

The color ideas for one of the two large bedrooms are eggplant (purple), old red and old green (taken from an old Japanese print); for the other (on the north) sunny yellows and browns.

Even the kitchen is beautiful. The walls of V-ship-lapped board, carrying the color of the purple of the concord grape, are seen above the eye level. The lower part of the walls are covered with French oil-cloth, shaded a parchment color and decorated with brightly painted fruit designs.

The large patio in the rear of the home completes an ideal home. An out-of-door covered porch allows one to live indoors as well as “out.” Lawns, blooming yucca, riotously

growing flowers—all blend in a symphony of planned colors, reflecting the same lovely, hazy purple shades of the desert’s mountains.

Changes and Additions to Morada La Estrella

Like all houses of its age, Morada La Estrella has been subject to the inevitability of modifications as new owners pass through its portals bringing with them ideas as to how to make the home their own. Over the course of its nearly 100-year history, the house has been altered in certain ways including a significant addition. However, these alterations/additions have largely been done in a way that does not diminish the home's original integrity.

Entry Alteration –

As noted earlier in this nomination, Morada La Estrella's front entry was originally a covered but open space featuring a set of wrought-iron columns decorated with vines and Cherokee Rose flowers. However, at some point (the date is unknown) the entry was modified. While the original tile roof extension was retained, the front door was drawn forward and the space fully walled to create an indoor space. As such, the wrought-iron columns were replaced by thick solid walls made of the same type of concrete block as the original portion of the house. It is clear that there was a sincere effort to not alter the original character of the house in how the addition was done. It takes the same dimensions as the original, uses the same type of brick and bears a lintel designed to match others on the house. The front door replacement remained as a French door albeit a sturdier version.

While it cannot be verified with absolute certainty owing to the lack of details, this may well have been the "porch addition" referenced in a 1945 building permit taken out by owner Natt McDougall and executed by H.L. Hansen who, along with William Marte, was contractor for the home's original construction. The sensitivity and seamlessness of the addition makes this a credible possibility.



{Left image: Courtesy of Mary Kummings and Steve Scott. Right image: Courtesy of the Palm Springs Preservation Foundation}

Patio Alterations –



A 1930s view of the patio in its original configuration. Outdoor fireplace is just out of frame on the right. A pair of French doors was later added to the wall on the center right.
(Courtesy of Mary Kummings and Steve Scott)

Like the front entry, the central patio has also undergone some alterations at unknown date(s). The most significant has been the enclosure of the original covered but open-air portion, which includes the home's famous stone fireplace. The work included taking the original French doors and bringing them forward to the new wall space, which was filled in between by large nearly floor-to-ceiling windows. Between the windows and the French doors, the new wall is almost entirely glazed.

While it cannot be confirmed through existing documentation if this was done at the same time, the patio roof was extended outwards in order for there to still be an open-air covered space.

Additionally, and again, it cannot be confirmed as to the date, a set of French doors was added on the west wall of the patio, opening into one of the two bedrooms at the end of the west wing. This set of doors is an identical match of the existing French doors and mirrors the already extant set of French doors opening off the opposite side of the patio from the master bedroom. The

current homeowners believe that this set is the original front door, moved here when it was replaced, which would be a likely scenario.



**These images, taken during the time of the previous owner, show the enclosed wall and outdoor patio extension.
(Courtesy of Steve Scott)**



**A current view of the now-enclosed space looking west. The arched doorway had originally been squared and contained one of the pair of French doors relocated to the new patio wall.
(Courtesy of the Palm Springs Preservation Foundation)**

The Rod Taylor Additions/Alterations –



This stylized “T” on a lintel in the front bedroom, is a reminder of the days when Morada La Estrella was owned by film star Rod Taylor.

(Author photo. July 2023)

When William Charles Tanner named the Snyder residence Morada La Estrella or “Home of the Star” in 1932, it became a prophecy of the day when it truly would become the home of a star. That star was Rod Taylor who purchased the home with his wife Carol in 1984.

During their five years of ownership, the Taylors embarked upon the biggest modifications to date of Morada La Estrella. While substantial, the modifications did not diminish the home’s original integrity with the swimming pool and tennis court exterior features and the garage/recreation room a separate structure only superficially attached to the main house. Other than the “T” in the front bedroom, Taylor’s work (if any) in the interior is not known. However, Taylor was known as a talented woodworker who had designed and built much of the cabinetry in his Beverly Hills home. It is likely he crafted some elements of his Palm Springs getaway as well.



(Left) Carol and Rod Taylor enjoying a game of cards in the home's enclosed patio. The artwork behind the couple was all done by Taylor. (Right) The same spot today, with artwork by the home's current owner, Steve Scott. (Courtesy of Diane Tomasik and Steve Scott)

Swimming Pool Addition 1984 -

While today, a backyard swimming pool is a nearly ubiquitous feature of a Palm Springs home, it was not a common amenity until after World War II. It was not until 1984 when a swimming pool and spa were added to Morada La Estrella by Rod and Carol Taylor. The 16' x 36' gunite pool was built by Blue Cascade Pools at a cost of \$15,000.



**The 1984 Rod Taylor pool showing its relationship to the house.
(Author photo. July 2023)**



Two views of the 1984 Rod Taylor pool and spa as seen from the patio.
(Both: Courtesy of Steve Scott)



Tennis Court Addition 1984 -



Contemporaneous with the swimming pool was the addition of a championship sized tennis court placed on former lawn space on the home's western side. The court was designed and built by Pacific Tennis Courts at a cost of \$15,432.

Garage Addition 1985 -

In 1985, the Taylors changed the garage arrangements at Morada La Estrella. As originally built, the one-car garage was an integral part of the house, sharing the same roof and fitting within the original U-shaped massing of the structure. The garage, which was accessed off North Cahuilla Road, was on the home's west side.

The Taylors decided they needed a larger garage and, as a result, they built a new garage with storage/recreation space and partial bath, on former garden space on the home's east side. Only superficially attached to the main house by way of a connecting roof, the new addition is separated by a breezeway. This prevented the original windows on the home's east side from being blocked.

The 22' x 40' garage was designed by Glen W. Bouton (1914-1989), who practiced for more than 40 years as an architect in his native Nebraska before relocating to Palm Springs. The contractor was Robert Boyer. The cost was \$18,000.

Bouton took great care to ensure the new garage would be as seamless as possible, even using the original garage doors from their former location, matching the roofline both in pitch but also in the multicolored tilework, duplicating the rustic carved lintels above the garage doors, even scoring the stucco walls on the front to simulate the brickwork of the rest of the house. However, on the eastern side and rear (south) façade, which encompasses the recreation room/bath, this effort dropped off with little or no attempt to match the original house. Windows are of a different style and even the roof over the recreation room portion is flat composition with no tile.



The 1985 garage and recreation room are connected to the original house not only by a single roof but also architecturally with elements matching the rest of the home. It is, however, a separate structure, divided from the main house by a covered breezeway.

(Author photo. July 2023)



**The 1932 house and 1985 garage were carefully unified by the architect to form a near seamless transition. The breezeway separating the structures is found behind the rustic wooden gate.
(Author photo. July 2023)**



**A view through the breezeway looking north. Original house is on the left.
(Author photo. July 2023)**

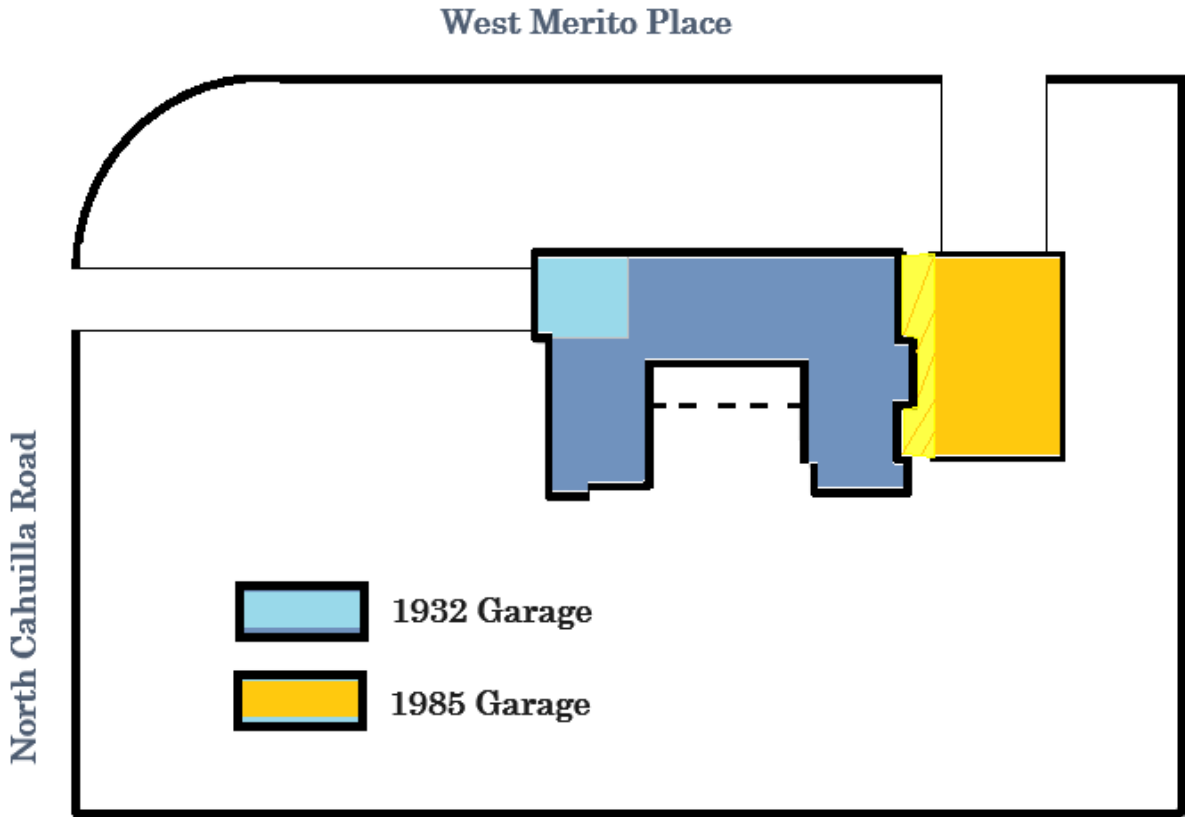


**The stylistic difference between the east and south side of the garage with its north side is somewhat surprising considering the effort made to unify the front with the main house.
(Author photos. July 2023)**



Conversion of the Original Garage –

The new garage and recreation room on the home’s east side replaced the original garage, which was located on the west. Unlike the new garage, which was freestanding, the original garage was integrated into the house itself.



This schematic shows the location of the original 1932 garage and 1985 replacement. The old driveway off Cahuilla has been subsumed beneath the tennis court. The original gateposts remain, hidden behind lush foliage.

The space where the former garage was located was successfully redesigned into a new guest room and bath without altering any of the exterior or interior walls. The former garage door space was changed into French doors with a small patio created under the existing roof overhang.



The former 1932 garage.
(Author photos. July 2023)





The converted garage at the time of the last owner's occupancy. Note the sawtooth cornice.
(Both photos: Courtesy of Steve Scott)



Gilbert Garfield 1996 Alterations -

Based on a set of floor plans located by current owner Steve Scott, the homes 7th owner, Gil Garfield, did an extensive remodel in 1996. This included:

- The west garage-to-guest suite conversion, garage subdivision and reconfiguration, kitchen remodel, guest bathroom remodel, new mechanical/AC room in breezeway and other changes in 1996. His architect was Anderzej W. Weber (AIA) of Indio, CA
- Extensive landscape remodel including removal of the front curved driveway along with Jacuzzi and pergola additions, new pool and spa equipment area, numerous tree & shrub plantings and removals, and exterior landscape lighting. The landscape designer was Ronald Gregory Associates of Palm Desert, CA

These changes did not affect any of the home's historic integrity.

Landscaping and Hardscaping



(Courtesy of Mary Kummings and Steve Scott)

While the garden spaces surrounding Morada La Estrella provide a beautiful parklike setting, they have undergone numerous changes through the years. Initially, the front (north) and back (south) yards were originally planted with grass while the east and west side yards remained more natural.

Over time, different trees, shrubs and ornamental plants were introduced as well as grass. Today, there are a number of mature trees surrounding Morada La Estrella which may date back to its earliest years. The hardscape, however, is mostly lost with the exception of the wall that surrounds the entire property. It is made from the same slump stone concrete blocks used for the home's construction. Vintage photos provided by the Snyder family show that the walls originally extended into the lot in at least two places creating separate garden spaces. These walls, however, were removed at an unknown date and the lot fully opened.



**These images show how the spaces surrounding Morada La Estrella were originally divided by concrete walls of a style matching the house.
(Both images Courtesy of Mary Kummings and Steve Scott)**

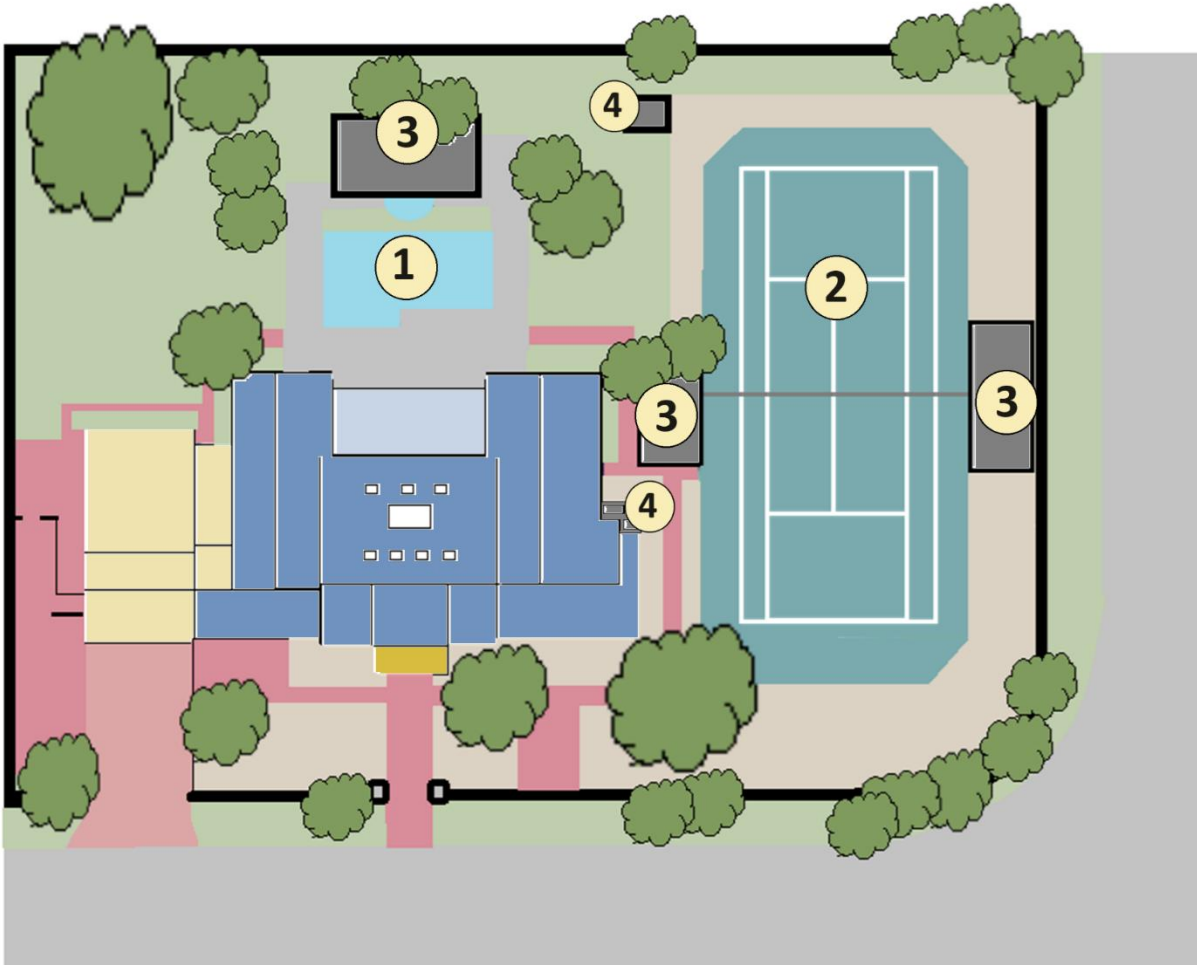
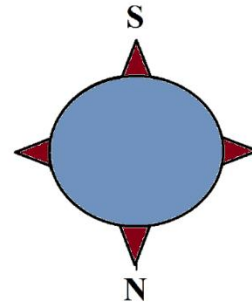


Site Plan
Morada La Estrella

The John & Estella Snyder Residence

William Charles Tanner
Architectural Designer

1932



- | | | |
|---|---|--|
|  | 1932 - Original Structure | 1. 1984 Swimming Pool/Spa (Non-contributing) |
|  | 1985 - Garage/Recreation Room Addition (Non-contributing) | 2. 1984 Tennis Court (Non-contributing) |
|  | Unknown date - Entry Alteration (Non-contributing) | 3. Covered patio/gazebo (Non-contributing) |
|  | Ancillary Non-contributing Structures | 4. Equipment (Non-contributing) |

Character Defining Features of Morada La Estrella

Morada La Estrella is an exceptional example of Spanish Colonial Revival architecture. Its character defining features include:

- An emphasis on horizontality including low pitched roof
- Multiple gabled roof lines
- Vintage barrel roof tiles
- Blending of indoor and outdoor spaces
- Asymmetrical U-shaped layout
- Concrete block exterior wall treatments intended to imitate adobe brick
- Overhanging eaves
- Covered patio

Contributing Elements

- The original 1932 residence
- Vintage Gladding, McBean roof tiles
- Wood rafter tails and wooden eave brackets
- Original portion of the covered patio with rustic stone fireplace
- Wood and brick lintels
- Multi-light and single-light casement windows
- Wooden French doors excepting that which fronts the 1985 garage conversion
- Original wood-plank doors
- Original wrought-iron door hardware and shutter dogs
- Wooden shutters
- Sawtooth board siding under roof gables
- Copper hooded box window at master bedroom
- Concrete block perimeter wall

Non-Contributing Elements

- 1984 swimming pool and spa
- Swimming pool/spa covered terrace
- 1984 tennis court and surrounding fencing
- Composition roofed patio extension
- Tennis court pavilion
- 1985 garage and recreation room
- Equipment enclosures
- Steel cages on various windows
- Glass panels on patio extension
- Non-original light fixtures
- Non-original front door
- Skylights on roof (8)
- Hardscape
- Landscape including statuary and art pieces

BACKGROUND / HISTORIC CONTEXT

The relatively short history of Palm Springs can be organized into several distinct periods, as defined by the Historic Resources Group's *Citywide Historic Context Statement & Survey Findings*. These include the following:

- Native American Settlement to 1969
- Early Development (1884-1918)
- Palm Springs Between the Wars (1919-1941)
- Palm Springs During World War II (1939-1945)
- Post-World War II Palm Springs (1945-1969)

It is within the context of the period "Palm Springs Between the Wars" that Morada La Estrella will be evaluated. The following context statement is extracted from Historic Resource Group's *Citywide Historic Context Statement & Survey Findings: Palm Springs Between the Wars (1919-1941)*:

This context explores the transformation of Palm Springs from a modest spa town into a luxury winter resort in the years between the First and Second World Wars. By 1918 Nellie Coffman and her sons, George Roberson and Earl Coffman, understood the town's potential, not as a health spa for asthmatics and consumptives, but as an exclusive winter resort for the well-to-do, and set about transforming their sanatorium into the luxurious Desert Inn, one of the most renowned hostleries in the country. Their success inspired the development of two equally spectacular hotels in the 1920s and cemented the town's growing reputation as one of the country's premier luxury winter resorts. The Oasis Hotel, designed by Frank Lloyd Wright, Jr. (known as Lloyd Wright) opened in 1925 by Pearl McCallum McManus; and the grand Hotel El Mirador, designed by Walker and Eisen in a sumptuous Spanish Colonial Revival style and opened in 1927.

Automobile tourism played an early and important part of the success and growth of Palm Springs as a destination. In 1914, highway bonds were passed in Riverside County for extensive road improvements and construction of new routes. As part of these efforts, the highway connecting Los Angeles and Palm Springs was completed in October 1916. Pavement of the highway through to Indio was completed in 1924, allowing travelers to drive all the way from Los Angeles to Palm Springs in less than four hours, all on paved roads.

The first residential subdivisions were recorded in the early 1920s on tracts largely concentrated on land immediately surrounding the existing village and the resorts. Several tracts were subdivided by Prescott T. Stevens, along with other prominent early Palm Springs settlers including Pearl McManus, Raymond Cree, and Harriet Cody.

In the 1920s, business tycoons, industrialists, and other wealthy businessmen, along with the Hollywood elite discovered the desert and began to transform Palm Springs into an international resort. While the movie stars primarily stayed at the resort hotels when visiting Palm Springs, other wealthy residents and seasonal visitors started building architect-designed estates and drawing increased attention to the growing resort town.

The 1930s saw Palm Springs blossom, as more and more celebrities made it their winter weekend getaway, and more development sprang up to house and entertain them. By the start of World War II, Palm Springs had so long been thought of as a movie star's playground that some of the

neighborhoods were described as "Beverly Hills in the desert." One section was so filled with film notables, the neighborhood was ultimately dubbed the "Movie Colony."

In the 1930s important figures in finance and business continued to flock to the desert in the winter, helping to cement the village's reputation as one of the nation's top winter resort destinations.

Architecturally, the Spanish and Mediterranean-Revival styles were the town's dominant architectural expression during this period. In addition, there are examples of simplified Ranch houses featuring rustic details and board-and-batten exterior walls. Beginning in the 1930s, prominent modernist architects began making significant contributions to the architectural landscape in Palm Springs.

EVALUATION:

Criterion 1: Significant Events. *The resource is associated with events that have made a meaningful contribution to the nation, state or community: Morada La Estrella is not affiliated with significant events and does not qualify as a Class 1 Historic Resource under Criterion 1.*

Criterion 2: Significant Persons. *Criterion 2 recognizes properties associated with the lives of persons who made meaningful contributions to the national, state or local history: Morada La Estrella was built by prominent Indiana businessman John Corson Snyder (1866-1941) and his wife, Estella F. Snyder (1871-1958) to serve as a winter retreat for themselves and their family. While the Snyders were both prominent figures within their community and professional associations, they do not rise to a level that meets the criteria of persons who had influence in local and national history. One later owner, film star Rod Taylor (1930-2015) would have possibly qualified owing to his level of importance in motion pictures. However, Taylor's ownership of Morada La Estrella came late in his career after his popularity had waned. Therefore, Morada La Estrella does not qualify for listing as a Class 1 Historic Resource under Criterion 2.*

ARCHITECTURE (Criteria 3 – 6)

Criterion 3: *The resource reflects or exemplifies a particular period of national, state or local history:* Completed in 1932, Morada La Estrella exhibits many stylistic markers which place it directly in the historic context of the "Palm Springs Between the Wars (1919-1941)" period. The custom-designed and built structure represents a fine example of significant Spanish Colonial Revival architecture for which Palm Springs first became known. Morada La Estrella is part of the group of structures, the majority done by Tanner himself, which established Spanish Colonial Revival as Palm Springs' dominant architectural style. And it was during this period, 1920s-1930s, that Palm Springs rose to prominence as a world class resort. Spanish Colonial Revival would remain Palm Springs' principal architectural style all the way up to the end of World War II when Desert Modernism began its ascent. As such, Morada La Estrella is viewed as an essential component of the historical trends that have come to define Palm Springs' image as a world-class resort, i.e., a historical movement that exemplifies a particular period of the national, state or local history. **Therefore, Morada La Estrella qualifies for listing as a Class 1 Historic Resource under Criterion 3.**

Criterion 4: The resource embodies the distinctive characteristics of a type, period or method of construction: Morada La Estrella was built using simple materials and conventional construction methods. As such, the residence is not noteworthy for its type or construction method and does not qualify for listing as a Class 1 Historic Resource under Criterion 4. **Morada La Estrella does not qualify for listing as a Class 1 Historic Resource under Criterion 4.**

Criterion 5: (That (a): represents the work of a master builder, designer, artist, or architect whose individual genius influenced his age; or (b): that possesses high artistic value):

5a: Work of a Master: Morada La Estrella was the work of William Charles Tanner (1876-1960), an architectural designer responsible for popularizing the Spanish Colonial Revival style in Palm Springs. Tanner's design work, especially on the Desert Inn (1922-1926) changed the very look of Palm Springs, transforming it from an undistinguished jumble of frame structures into a stylish Spanish style resort. In addition to Morada La Estrella, Tanner's residential work includes a number of fine homes across the region. His most famous are the Dorothy Arzner/Marion Morgan house in Los Angeles (1930) and Ojo del Desierto (1926), the Tom O'Donnell estate in Palm Springs. Additionally, the home's builders, William Marte and H.L. Hansen, were among the busiest contractors practicing in Palm Springs during the 1930s. They were known for their very high-quality construction for high-profile people during this period. **Therefore, Morada La Estrella can certainly be described as the work of masters in view of Tanner's history of architectural excellence and Marte-Hansen's record of quality construction.**

5b: Properties possessing high artistic values: High artistic values may be expressed in many ways, including areas as diverse as community design or planning, engineering, and sculpture. Morada La Estrella was a showcase of Spanish Colonial Revival style architecture that represented the very ideals of what has made the style so enduringly popular such as its emphasis on indoor-outdoor living and a relaxed, casual atmosphere.

Morada La Estrella certainly articulates the best of what made Spanish Colonial Revival style architecture so popular to a level of excellence that, in total, could easily be considered an aesthetic ideal. **Therefore, for its distinctive characteristics representing the Spanish Colonial Revival style, as the work of a master architectural designer and its high artistic values, Morada La Estrella qualifies as a Class 1 Historic Resource under Criterion 5.**

Criterion 6: (That represents a significant and distinguishable entity whose components may lack individual distinction). This Criterion was created to address the resources contained within a potential historic district and as such it does not apply to this nomination. **Hence, Morada La Estrella does not qualify as a Class 1 Historic Resource under Criterion 6.**

Criterion 7: (That has yielded or may be likely to yield information important to the national, state or local history or prehistory.) Morada La Estrella is not likely to yield information important to the national, state or local history or prehistory. **Hence, Morada La Estrella does not qualify as a Class 1 Historic Resource under Criterion 7.**

SUMMARY: This evaluation finds Morada La Estrella eligible for listing as a Palm Springs Historic Resource under 8.05.070 C.1. a., paragraphs iii, and v of the local ordinance's seven criteria.

INTEGRITY ANALYSIS

Integrity is the ability of a property to convey its significance. To be listed in the local registry, a property must not only be shown to be significant under the criteria, but it also must have integrity. The evaluation of integrity is sometimes a subjective judgment, but it must always be grounded in an understanding of a property's physical features and how they relate to its significance. Historic properties either retain integrity (that is, convey their significance) or they do not. The definition of integrity includes seven aspects or qualities. To retain historic integrity a property will always possess several, and usually most, of the aspects. The retention of specific aspects of integrity is paramount for a property to convey its significance. Determining which of these aspects are most important to a particular property requires knowing why, where, and when the property is significant. The following sections define the seven aspects and explain how they combine to produce integrity.

LOCATION

Location is the place where an historic property was constructed or the place where an historic event occurred. The relationship between the property and its location is often important to understanding why the property was created or why something happened. The actual location of a historic property, complemented by its setting, is particularly important in recapturing the sense of historic events and persons. Except in rare cases, the relationship between a property and its historic associations is destroyed if the property is moved. ***Morada La Estrella remains in its original location and therefore qualifies under this aspect.***

DESIGN

Design is the combination of elements that create the form, plan, space, structure, and style of a property. It results from conscious decisions made during the original conception and planning of a property and applies to activities as diverse as community planning, engineering, architecture, and landscape architecture. Design includes such elements as organization of space, proportion, scale, technology, ornamentation, and materials. A property's design reflects historic functions and technologies as well as aesthetics. It includes such considerations as the structural system; massing; arrangement of spaces; pattern of fenestration; textures and colors of surface materials; type, amount, and style of ornamental detailing. ***Morada La Estrella's essential characteristics of form, plan, space, structure, and style have survived largely intact. Similarly, the structural system; massing; arrangement of spaces; pattern of fenestration; and the type, amount, and style of detailing have survived almost entirely intact. A 1985 garage and recreation room, which was designed to match the home's original style, is a separate structure, only superficially attached to the original house by a shared tile roof. An undated alteration to the front entry, enclosed what had been a covered porch. However, the changes retained the original footprint with cement block construction identical to the original house and other original details either retained or faithfully copied. One further change, the enclosure of the formerly open-air covered patio, combined two original pairs of French doors with floor-to-ceiling length glazing. As such, the home still reflects the same Spanish Colonial Revival style architecture, design elements such as simulated adobe walls, barrel tile roofing, casement windows, French doors, etc., first introduced by master architectural designer William Charles Tanner in 1932.***

SETTING

Setting is the physical environment of a historic property. Whereas location refers to the specific place where a property was built or an event occurred, setting refers to the *character* of the place in which the property played its historical role. It involves *how*, not just *where*, the property is situated and its relationship to surrounding features and open space. Setting often reflects the basic physical conditions under which a property was built and the functions it was intended to serve. In addition, the way in which a property is positioned in its environment can reflect the designer's concept of nature and aesthetic preferences. ***Morada La Estrella was built on a prominent spot in the high-end Merito Vista tract, one of the oldest residential tracts in Palm Springs in 1932. The low-slung house was, and continues to be, surrounded by a high concrete block wall scored to resemble adobe bricks just the same way as the walls of the house itself. The original lot has never been subdivided and the house retains the same space as when built. And it enjoys the same views it did when first built, with no taller structures blocking it off. The setting of the Morada La Estrella continues to reflect the architectural designer's original design relationship of site and structure.***

MATERIALS

Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property. The choice and combination of materials reveals the preferences of those who created the property and indicate the availability of particular types of materials and technologies. ***Morada La Estrella's exterior surface materials, which consist primarily of slump stone concrete block scored to mimic adobe, multi-hued barrel tile roof, rough-hewn lintels, wood rafter tails and eave brackets, wooden shutters, wooden French doors and windows, have remained essentially intact and continue to express the physical elements as designed during the building's period of significance; the pattern and configuration that today forms the residence survives intact.***

WORKMANSHIP

Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory. It is the evidence of artisans' labor and skill in constructing or altering a building, structure, object, or site. Workmanship can apply to the property as a whole or to its individual components. It can be expressed in vernacular methods of construction and plain finishes or in highly sophisticated configurations and ornamental detailing. It can be based on common traditions or innovative period techniques. Workmanship is important because it can furnish evidence of the technology of a craft, illustrate the aesthetic principles of a historic or prehistoric period, and reveal individual, local, regional, or national applications of both technological practices and aesthetic principles. Examples of workmanship in historic buildings include tooling, carving, painting, graining, turning, and joinery. ***The fine workmanship of Morada La Estrella is evidenced in different ways such as how the slump stone concrete blocks were produced to give the effect of ancient adobe; the delicate, simple carvings along the wooden lintels; the graceful curves of the wrought-iron shutter dogs, and the artistry of the patio fireplace, a bravura performance by the architectural designer in two types of rustic stone, plaster, brick, and tile. Thanks to the rare opportunity to compare images of the home when it was first constructed and how it appears today, it is clear Morada La Estrella continues to express a high degree of contemporary period workmanship.***

FEELING

Feeling is a property's expression of the aesthetic or historic sense of a particular period of time. It results from the presence of physical features that, taken together, convey the property's historic character. For example, a rural historic district retaining original design, materials, workmanship, and setting will relate the feeling of agricultural life in the 19th century. ***When it was completed in 1932, Morada La Estrella was intended to provide a comfortable desert home that allowed its occupants to not only connect meaningfully with the natural environment which surrounded it, but also to visually transport them through its historically evocative architecture, to the days of Southern California's romantic Spanish/Mexican past. More than 90 years later, Morada La Estrella continues to reflect that exact same aesthetic. Accordingly, the residence retains its original integrity of feeling.***

ASSOCIATION

Association is the direct link between an important historic event or person and a historic property. A property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer. Like feeling, association requires the presence of physical features that convey a property's historic character. For example, a Revolutionary War battlefield whose natural and man-made elements have remained intact since the 18th century will retain its quality of association with the battle. Because feeling and association depend on individual perceptions, their retention alone is never sufficient to support eligibility of a property for the National Register. ***Morada La Estrella is an important example of a custom-designed 1930s Spanish Colonial Revival style house. It, along with a number of other structures built during the same period (mid-1920s to mid-1930s) set the architectural tone for Palm Springs, helping to transform its look from a disjointed mix of frame structures into a stylish Spanish resort. As its integrity has remained intact, Morada La Estrella offers a powerful visual callback of that period when Palm Springs was a haven for historic Spanish Colonial Revival architecture well before it was diluted by newer styles. Accordingly, it continues its association with a pattern of events that have made a meaningful contribution to the community.***

INTEGRITY SUMMARY: Morada La Estrella appears to be in excellent condition partially due to the use of construction materials suitable for the harsh desert environment. This integrity analysis confirms that the building and site of Morada La Estrella still possesses all seven aspects of integrity. ***As noted, Morada La Estrella retains a remarkable amount of original detail. In summary, Morada La Estrella still possesses a high degree of integrity sufficient to qualify for designation as a Class 1 Historic Resource.***

Bibliography

Attached is a list of books, articles, and other sources cited or consulted in preparing this application and other documentation that may be relevant.

Books

Appleton, Mark, Bret Parsons and Steve Vaught. *Master Architects of Southern California 1920-1940: Gordon B. Kaufmann*.
Santa Barbara, CA; Tailwater Press, 2016.

Ibid. *Master Architects of Southern California 1920-1940: Roland E. Coate*.
Santa Barbara, CA; Tailwater Press, 2018.

Bogert, Mayor Frank M. *Palm Springs First Hundred Years*. Rev. ed.
Palm Springs, CA; Palm Springs Public Library, 2003.

Conrad, Tracy, Ed. *Palm Springs Brief History and Architectural Guide*.
Palm Springs, CA; City of Palm Springs Historic Site Preservation Board, Undated.

Gebhard, David. *George Washington Smith 1876-1930: The Spanish Colonial Revival in Southern California*.
Santa Barbara, CA; University of California, 1964.

Harris, Cyril M., Ed. *Illustrated History of Historic Architecture*.
New York, NY; Dover Publications, Inc., 1983.

Hudson, Karen E. *Paul R. Williams: A Legacy of Style*.
New York, NY; Rizzoli, 1999.

Klotz, Esther. *The Mission Inn: Its History and Artifacts*.
Corona, CA; UBS Printing Group, 1993.

McAlester, Virginia & Lee. *A Field Guide to American Houses*. New York, NY; Alfred A. Knopf, 1998.

McGrew, Patrick. *Desert Spanish: The Early Architecture of Palm Springs*.
Palm Springs, CA; Palm Springs Preservation Foundation, 2012.

Merchell, Anthony A. and Tracy Conrad. *Ojo del Desierto: The Thomas O'Donnell House, Palm Springs*. Palm Springs, CA; The Willows Historic Palm Springs Inn, 2009.

Newcomb, Rexford. *Spanish Colonial Architecture in the United States*.
New York, NY; Dover Publications, Inc., 1990.

Palm Springs City Directory. Long Beach, CA; Western Directory Co., Various dates.

Vaught, Steve and Tracy Conrad. *Einstein Dreamt Here: The Willows Historic Palm Springs Inn*. Palm Springs, CA; The Willows Historic Palm Springs Inn, 2015.

White, Melba. *The History of Palm Springs, The Palm Springs Story*. Palm Springs, CA; Palm Springs Chamber of Commerce, 1955.

Magazines

The Architectural Digest
California Arts & Architecture

Newspapers

Various issues of:

Chicago Tribune
Desert Sun
Hollywood Reporter
Indianapolis Star
Indianapolis Times
Los Angeles Business Journal
Los Angeles Times
Monrovia News-Post
New York Times
Palm Springs Limelight News
Vancouver Sun

Internet Resources

Accessingthepast.org
Ancestry.com
Ben-hur.com
Calisphere
Encyclopedia.com
Findagrave.com
IMDB.com
Newspapers.com
Nilssonschmilsson.com
Pspreservationfoundation.org
Raleighenterprises.com
Realtor.com
TCM.com

Interviews

Steve Scott

Other Sources Consulted

Palm Springs Historical Society

City of Palm Springs (Planning and Building Departments)

Historic Resources Group. *City of Palm Springs Citywide Historic Context Statement; Survey Findings*. Pasadena, 2015 (Final Draft, December 2018).

Riverside County Assessor's Office

APPENDIX I

Owner's Notarized Letter of Support

October 11, 2023

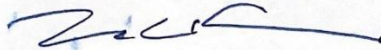
City of Palm Springs
Historic Site Preservation Board
3200 Tahquitz Canyon Way
Palm Springs, CA 92262

Dear Honorable Board,

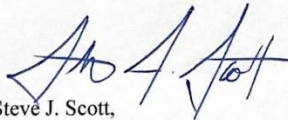
As trustees of the Eicholz Scott Family Trust, owners of the residence located at 271 West Merito Place in Palm Springs, California, we enthusiastically support the Class 1 Historic Resource designation of our property by the city of Palm Springs. We have asked the Palm Springs Preservation Foundation to assist us in the preparation of the required nomination paperwork.

If you have any questions, please contact us at beicholz@pacbell.net & ssdi@mac.com

Sincerely,

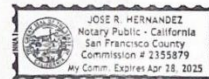


Robert L. Eicholz,
Trustee



Steve J. Scott,
Trustee

* October 11th 2023
See A Handled To History
By J. & R. Hernandez





A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

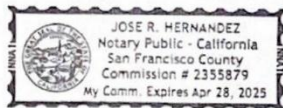
State of California

County of San Francisco

Subscribed and sworn to (or affirmed) before me on this 11th day of October, 2023, by
Date Month Year

(1) Robert L. Eicholz

(and (2) Steve J. Scott),
Name(s) of Signer(s)



Place Notary Seal and/or Stamp Above

proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.

Signature [Handwritten Signature]
Signature of Notary Public

OPTIONAL

Completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: _____

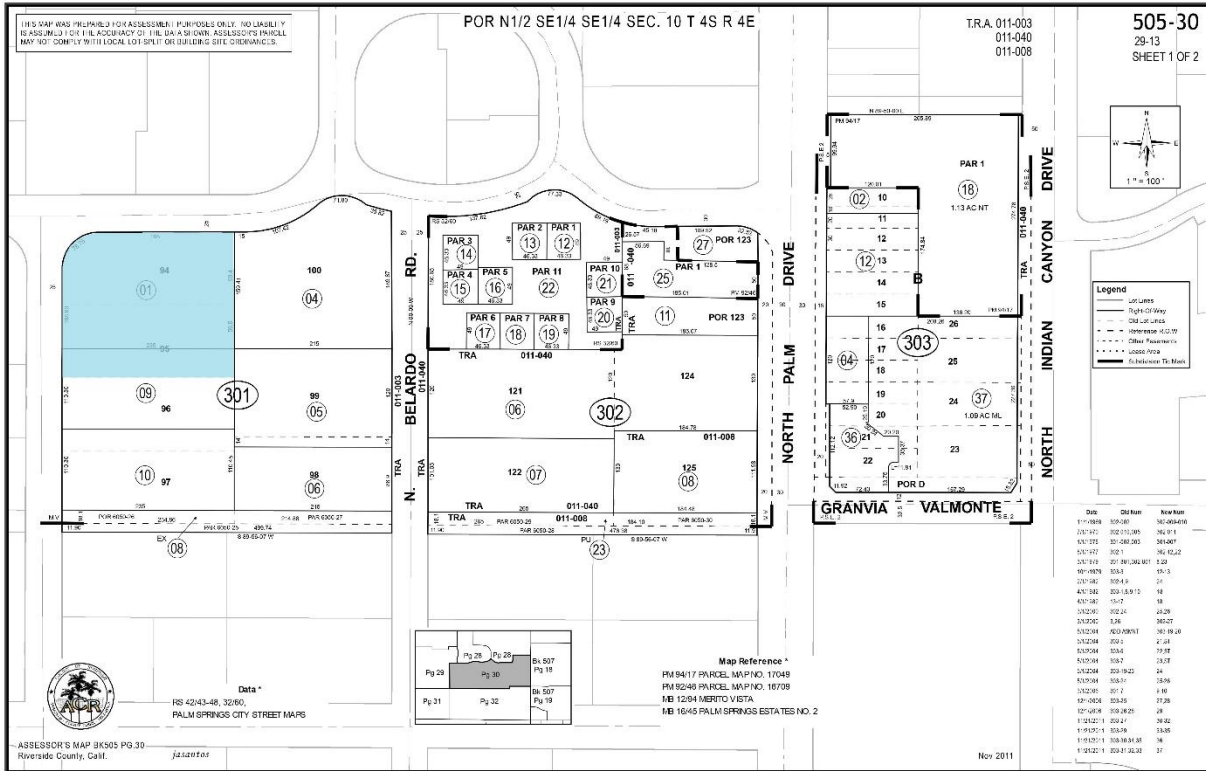
Document Date: _____ Number of Pages: _____

Signer(s) Other Than Named Above: _____



APPENDIX II

Assessor Map



APPENDIX III

Chain of Title

The subject of the following documentary transfers is the real property in the City of Palm Springs (from 1938 forward), County of Riverside, State of California, described as Lot 94 and the north 59.5 feet of Lot 95 of the Merito Vista Tract, as per map recorded in Book 12, Page 94 of Maps, in the office of the Riverside County Recorder, otherwise known as 271 West Merito Place.

10-30-1930	Bank of America of California to Estella F. Snyder , a married woman.
2-14-1943	Estella F. Snyder , a widow, to Natt Mc Dougall Company .
12-17-1943	Natt Mc Dougall Company to Natt Mc Dougall .
11-28-1945	Natt Mc Dougall and Christena Kennedy Mc Dougall , husband and wife, to Lee Frank , a married man.
9-27-1948	Merwyn Evans Frank and Walter Frank , Executors of the Estate of Lee Frank, Deceased, to Merwyn Evans Frank and Walter Frank , trustees under the Last Will and Testament of Lee Frank, Deceased.
9-30-1948	Merwyn Evans Frank and Walter Frank , trustees under the Last Will and Testament of Lee Frank, Deceased, to Merwyn Evans Frank , a widow.
5-9-1983	Estate of Merwyn E. Frank to Richard E. Evans, Sr.
5-2-1984	Richard E. Evans Sr. to Rod Taylor and Carol Y. Taylor , husband and wife, as joint tenants.
8-30-1989	Rod Taylor and Carol Y. Taylor , husband and wife, as joint tenants, to George I. Rosenthal , Trustee of the George I. Rosenthal Trust of May 16, 1983.
12-16-1992	George I. Rosenthal , Trustee of the George I. Rosenthal Trust of May 16, 1983 to Bernard L. Warner and Southpac Trust International, Inc. , Co-Trustees of the George I. Rosenthal Trust of May 16, 1983.
12-16-1992	Bernard L. Warner and Southpac Trust International, Inc. as co-trustees of the George I. Rosenthal Trust of May 16, 1983 to George I. Rosenthal , trustee of the Ruth Rosenthal Trust, a 77.4% undivided interest, and to Bernard L. Warner and Southpac Trust International, Inc. , as co-trustees of the George I. Rosenthal Trust of May 16, 1983, a 22.6% undivided interest, with all as tenants in common.
3-19-1996	George I. Rosenthal , trustee of the Ruth Rosenthal Trust, and Bernard L. Warner, Southpac Trust International, Inc. , as co-trustees of the George I. Rosenthal Trust of May 16, 1983, to Gilbert Garfield , a single man.
4-3-1996	Gilbert Garfield , a single man, to Gilbert I. Garfield , as trustee of the Garfield Family Trust Agreement dated December 20, 1993.
5-16-2011	Steven J. Weissman as Successor Trustee of the Garfield Family Trust Agreement dated December 20, 1993, to William Katzin , trustee of Gemini Trust (Mike and Megan Abbott).
2-13-2020	William Katzin , trustee of the Gemini Trust, to Robert L. Eicholz and Steven Scott of the Eicholz Scott Family Trust.

APPENDIX IV

Building Permits

The following is a summary of building permits provided by the Palm Springs Department of Building and Safety in response to a public records request in June 2023. However, a subsequent search of the Desert Sun newspaper database revealed three more permit references. These are the first three noted below:

1943 Unspecified Remodeling \$100	Owner: Natt McDougall	
1944 Unspecified repairs \$30	Owner: Natt McDougall	
6-5-1944 Addition \$200	Owner: Natt McDougall	
7-2-1945 Porch addition	Owner: Natt McDougall	Contractor: H.L. Hansen
8-17-1961 Air conditioning	Owner: Mrs. Lee Frank	Contractor: Utility Heat and Cooling
6-25-1962 Sewer inspection	Owner: Mrs. Lee Frank	Contractor: Palm Springs Sewer Service
10-23-1968 Sprinkler system	Owner: Mrs. Lee Frank	Contractor: Leo Wilkes Plumbing
5-4-1972 Awning	Owner: Mrs. Lee Frank	Contractor: Admiral Awning
4-30-1976 Air conditioning	Owner: Lee Frank	Contractor: Lake Air Conditioning
6-25-1984 Swimming pool	Owner: Rod Taylor	Contractor: Blue Cascade Pools
6-28-1984 Tennis court	Owner: Rod Taylor	Contractor: Pacific Tennis Courts
6-21-1985 Garage	Owner: Rod Taylor	Architect: Glen Bouton Contractor: Robert Boyer

APPENDIX V

Owner Biographies

1932-1943 – First Owners – John Corson Snyder and Estella F. Snyder



The Snyder family, 1938. From left to right: Daughters Helen and Estella C., John and Estella F.
(Courtesy of Mry Kummings and Steve Scott)

John Corson Snyder (1866-1941) and his wife Estella F. Courtwright Snyder (1871-1958) were leading citizens in the Midwestern town of Crawfordsville, Indiana with John being the president of the Ben-Hur Life Association, a nationwide insurance carrier. The Snyders wintered in Palm Springs for several seasons prior to making the decision to purchase a lot and build a winter base for themselves, their family and friends. Between 1932 and John's death in 1941, the Snyders divided their time between Crawfordsville and Palm Springs.

Born on a farm near Middleton, Ohio in 1866, Snyder moved with his family to Crawfordsville when he was seven. At 15, the family moved to another farm in southwestern Missouri where he briefly taught school after his high school education. At 21, he moved to Kansas City to attend business college. He tried several ventures such as real estate and zinc mining before returning to Crawfordsville and embarking upon his lifelong career with The Tribe of Ben-Hur (later Ben-Hur Life Association), which his brother Frank had helped establish in 1893. Snyder would steadily rise in the organization until in 1923 he became its head, a position he would hold for the remainder of his life. While Ben-Hur took up the majority of his time, he managed to serve concurrently as president of the Elston Bank and Trust Co. of Crawfordsville from 1923-1941.

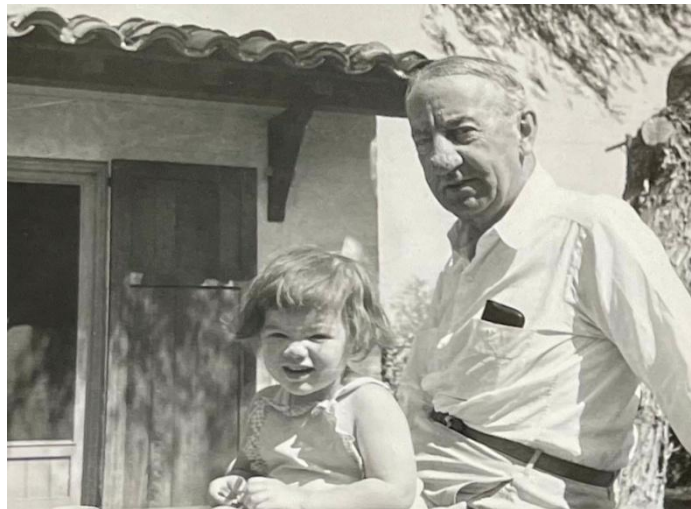
Snyder was also extremely active in civic affairs, heavily involved in the American Red Cross, YWCA and Liberty Bond drives during World War I. He also became a leading figure in the

Chamber of Commerce on a local, statewide and national scale, serving not only as president of the Crawfordsville Chamber but also the Indiana State Chamber of Commerce between 1919-1920. Snyder was such a well-known and highly regarded figure, he was put in nomination by the Democratic Party of Montgomery County for the United States Senate. Although it was only a "Favorite Son" nomination, it nonetheless showed the esteem by which he was held in his hometown county.

Snyder married Estella F. Courtwright in May 1889, a relationship that would produce three daughters: Helen (b. 1892), Marion (b. 1903) and Estella C. (b. 1905). The couple's marriage was a happy and enduring one lasting the duration of their lives. Estella, like her husband, was socially and civically minded. On occasion, she would open up their homes in Crawfordsville and Palm Springs, to host charity events. Both were active at St. Johns Episcopal Church in Crawfordsville and St. Paul's in Palm Springs.

John Snyder died at age 75 in 1941. His death was noted not only in his home places of Crawfordsville and Palm Springs, but nationwide as well, even earning an obituary in the New York Times. Estella outlived her husband by nearly 20 years, dying in Crawfordsville at age 87 in 1958.

1943-1945 – Second Owners – Natt McDougall



Natt McDougall and his granddaughter Joanne Herron Hanson on the patio at Morada La Estrella.
(Courtesy of Natt McDougall, Jr.)

At the time of his purchase of Morada La Estrella, Nathan "Natt" McDougall (1879-1954), was the president of a major construction company in Portland, Oregon. Still in business today, the Natt McDougall Company is a civil engineering and general contracting firm operating principally in the states of Oregon and Washington. The company has remained in family hands since its founding 1932 and its current president in 2023 is Natt Anthony McDougall, Jr.

McDougall and his wife Christena's time at Morada La Estrella was brief, but they continued coming to Palm Springs, often staying at the Desert Inn. Their son, Natt, Jr., and his wife Ann, would later become prominent residents of Palm Desert.

1945-1983 – Third Owners – Lee Frank and Merwyn Evans Frank



To date, the Frank family represents the longest stewardship of Morada La Estrella. Lee Frank (1880-1947) was a successful financier from Chicago, long associated with the National Bond and Investment Company. In 1941, he was elected Chairman of the Board of the firm, a position he would hold until the company was liquidated a few years later. Even while he was still a vice president of the firm, Frank was included on the annual list of the nation's highest paid executives.

Frank and his wife, Merwyn Evans Frank (1897-1982), lived at the prestigious Aquitania Apartments at 5000 North Marine Drive, overlooking Lake Michigan. According to Mrs. Frank, the couple discovered the pleasures of Palm Springs in 1935 and began making it a regular winter destination. In 1945, they purchased Morada La Estrella from Natt and Christena McDougall as their permanent winter home.



IN THE STARLITE ROOM at the Chi Chi and having a splendid time enjoying the food and entertainment are, left to right: Mrs. Travis Rogers, Miss Dorothy Gray, exponent of foremost styles for women in the desert; Mrs. Alexander Marcuse, Mrs. Lee Frank and Miss Rose Mints, Villager.

Lee Frank (second from right) enjoying a night out at the Chi Chi with friends, 1951.
(Via the Desert Sun 3-9-1951)

Even after Lee Frank's death at 67 in 1947, Morada La Estrella remained an unofficial headquarters for winter residents from Chicago. Merwyn Frank was very active socially and civically with her name appearing regularly in Hildy Crawford's "Around Town" column in the Desert Sun. Merwyn was famous for the many parties she threw at Morada La Estrella including her annual New Year's Eve buffet and card party and her Tuesday night card and cocktails parties. One of her most memorable events was the 1958 Lincoln's Birthday soiree she hosted at Morada La Estrella for the Chicago contingent. The elegant event, catered by master Palm Springs caterer Santos de Jesus, featured a red and white theme. "Red and white flowers flanked on either side by tapered candles made an attractive centerpiece for the dinner table covered in an imported white dinner cloth," reported the Desert Sun.

Merwyn Frank was also heavily involved with such organizations as the Palm Springs Art Museum, the Women's Auxiliary of the Desert Hospital, and the Heart Fund. A longtime member of the Palm Springs Garden Club, Merwyn regularly opened up Morada La Estrella for meetings, which usually included a speaker. As the Desert Sun noted on the February 1957 gathering:

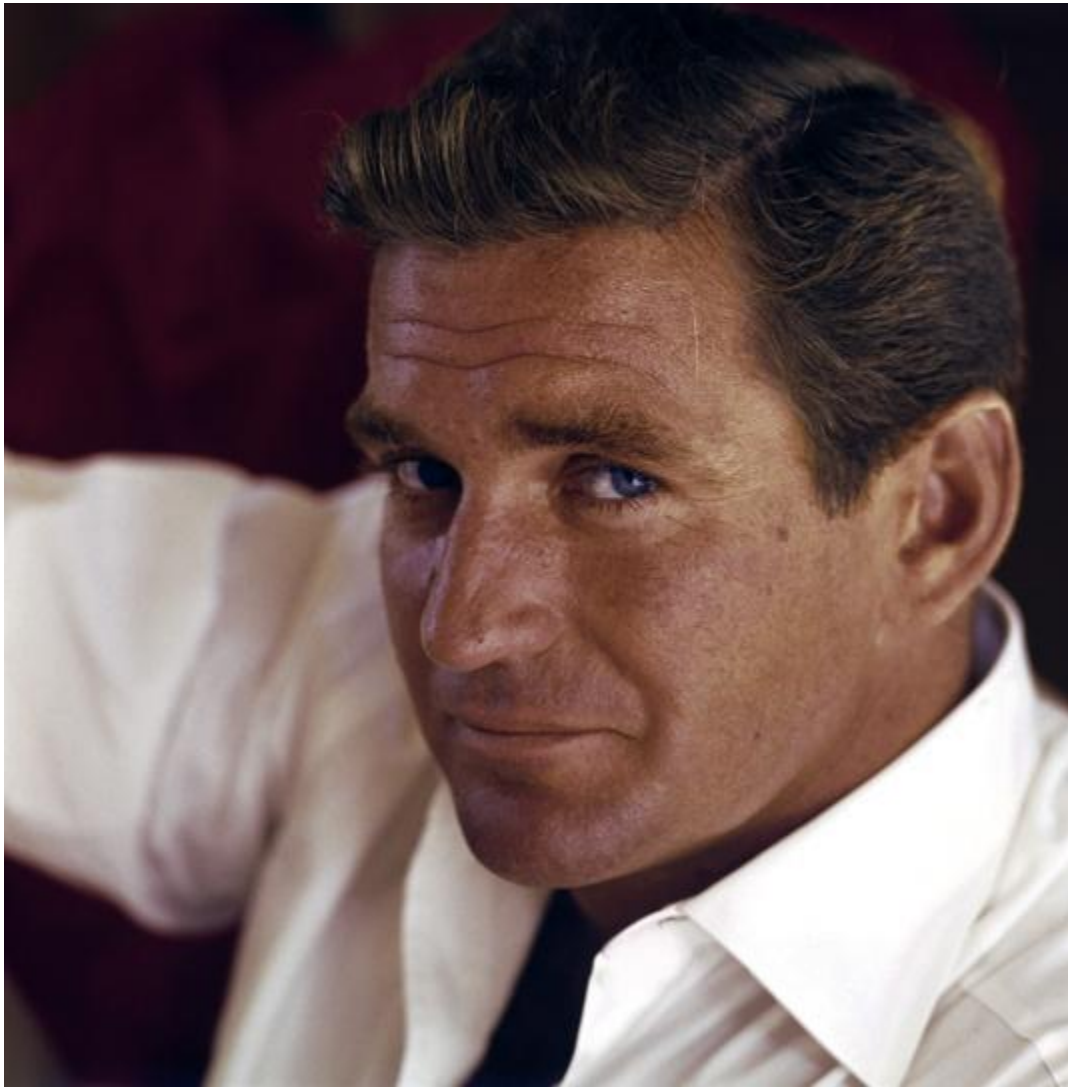
Members of the Palm Springs Garden Club gathered on Saturday at the Merito Place home of Mrs. Merwyn Frank for dessert and the February meeting...Members, according to custom, wore flowers grown in their own gardens, and answered roll call by giving the name of the flower worn. A wide variety of dozens of flowers was represented.

Although her social activities gradually decreased as she grew older, Merwyn Frank continued enjoying Morada La Estrella, hosting friends and family, until her death at 85 in 1982.

1983-1984 – Fourth Owner – Richard E. Evans, Sr.

Richard E. Evans, Sr. inherited Morada La Estrella from Merywn Evans Frank. His relationship to her is unclear but he appears to be a relative based on the shared Evans name. He also appears to have not planned on keeping the property, selling it within a year after the inheritance.

1984-1989 – Fifth Owners – Rod Taylor and Carol Yates Taylor



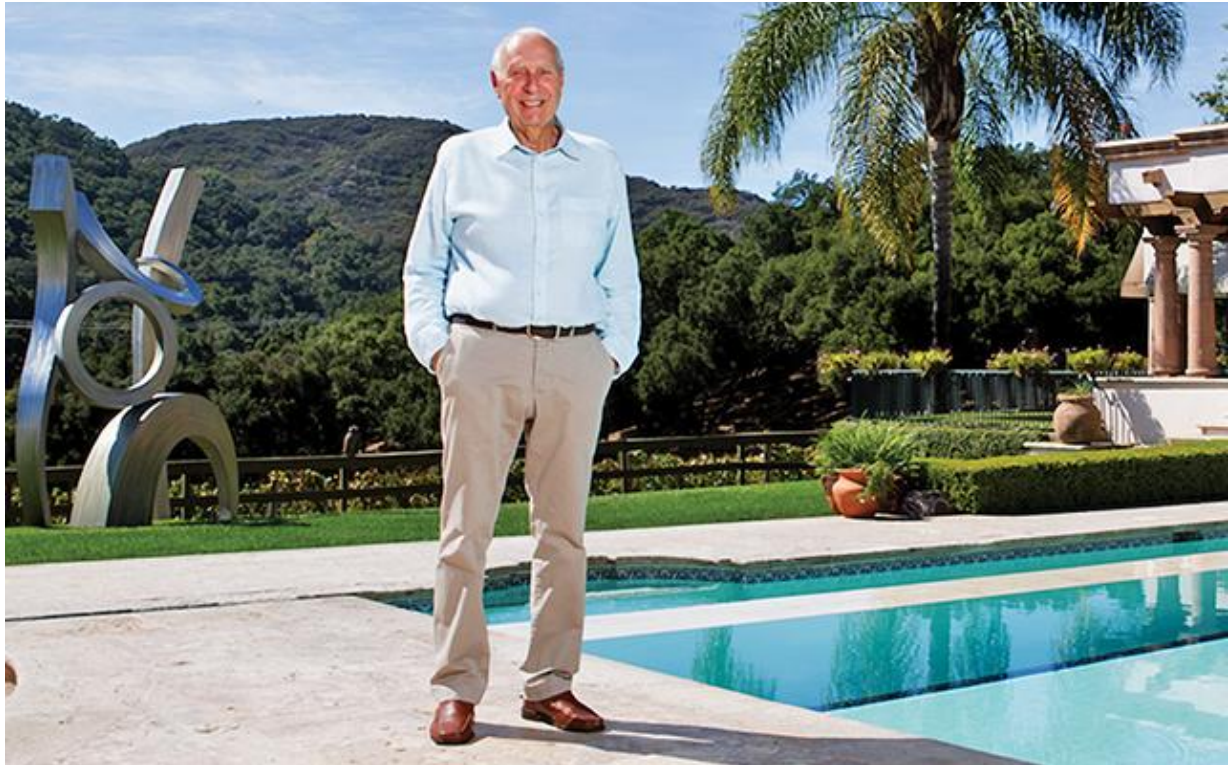
Rod Taylor at the height of his fame in the 1960s.
(via IMDB. © 1978 Gene Trindl/mptvimages.com)

Morada La Estrella was picked up by famous Hollywood film star Rod Taylor (1930-2015) and his wife, former actress and artist Carol Kikumura (Yates). Best known for *The Time Machine* (1960) and Alfred Hitchcock's *The Birds* (1963), Taylor was one of the biggest stars of the 1960s. He had an extensive career that would last from the 1950s through 2009 with his last role being that of Sir Winston Churchill in Quentin Tarantino's *Inglorious Bastards* (2009).

The following is a brief biographical sketch of Taylor taken from his page at Turner Classic Movies (TCM.com)

With a career spanning six decades, Australian actor Rod Taylor had many opportunities to prove his abilities as a performer in film, TV, theater and radio. Born in the suburban town of Lidcombe in New South Wales, Australia, Taylor had early exposure to the creative arts from his mother, a writer of more than a hundred children's stories, and his father, a construction contractor who also worked as a commercial artist. Taylor picked up his father's knack for visual design, working at Mark Foy's department store painting window displays as he studied graphic arts at East Sydney Technical and Fine Arts College. Undeniably, however, Taylor also loved acting. In his spare time he would take drama classes and participate in small-scale theatrical productions like "Julius Caesar" at the Independent Theatre in 1950 and "The Vigil" at John Alden Co. in 1951. Taylor got married around this time to a woman named Peggy Williams, though he would later remark that they were far too young at the time to create a healthy marriage. He wavered between his two crafts until he had a formative experience watching a performance of "Richard III" by none other than Sir Laurence Olivier and his touring Old Vic theatre troupe. Taylor was so inspired by the production that he made up his mind to pursue acting full time. He would continue to act on stage, but Taylor found still more success acting in radio dramas, which soon became his full time occupation. He starred in such popular radio shows as "The Dambusters," "Tarzan," "Blue Hills," "Such Men are Dangerous," "No Lullaby for Lise," and many more, before he won the Rola award for his performance on "O'Sullivan's Bay" in 1954. Recently divorced from Williams, Taylor parlayed his win into a trip to Hollywood, where he set to work breaking into the mainstream film industry. He found many outlets early on, appearing on shows like "Studio 57" (DuMont, 1954-58) and in films like "World Without End" (1956) and "The Catered Affair" (1956) before his big break came in 1960, with a starring role in George Pal's adaptation of "The Time Machine" (1960). The film's success skyrocketed Taylor's fame to a new level, and he would appear in several more prominent movies from that period, including "The Birds" (1963). The iconic Hitchcock thriller would come on the heels of Taylor's second marriage to Mary Hilem, with whom he would give birth to a daughter, Felicia, in 1964. While this marriage would also end in divorce, in 1969, Taylor's career remained successful, with roles in landmark films and TV shows like "Zabriskie Point" (1970), and the series "Bearcats!" (CBS, 1971). He would be married again in 1980 to Carol Kikumura, a woman Taylor had dated back in the early '60s before she relocated to Las Vegas. After rekindling their relationship, he and Kikumura's union would last for the rest of his life. Meanwhile, Taylor found ongoing success throughout the '80s on the shows "Masquerade" (ABC, 1983-84) and "Falcon Crest" (CBS, 1981-89). The '90s found Taylor acting in movies like "Open Season" (1995) and on shows like "Walker, Texas Ranger" (CBS, 1993-2001) and "Murder, She Wrote" (CBS, 1984-1995). His last appearance on screen was as the great Winston Churchill in the explosively popular Quentin Tarantino film "Inglorious Basterds" (2009). Taylor died in Los Angeles on January 7, 2015. He was 84 years old.

1989-1996 – Sixth Owner – George I. Rosenthal



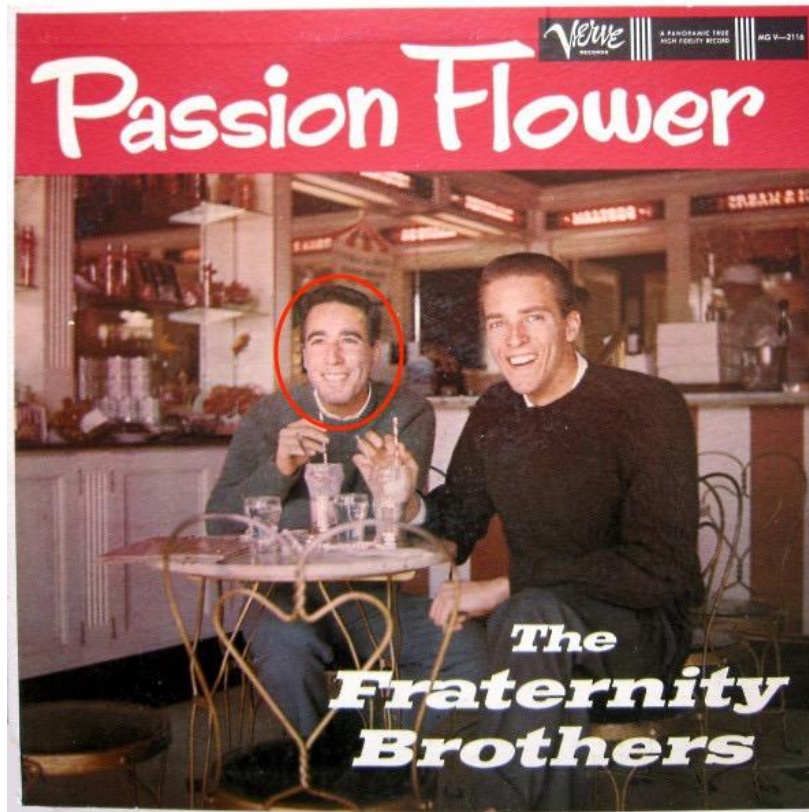
In response to a phone question by Morada La Estrella's current owner Steve Scott, well-known Southern California entrepreneur George Rosenthal (1931-) never spent a single night there during the entirety of his 7-year ownership of the house. "Although we did own the home on Merito," he told Scott, "we never spent one night in it, nor did we do any improvements whatsoever. We basically bought it to use the tennis court because the other home we owned in the neighborhood didn't have one"

Rosenthal is the founder of Raleigh Enterprises, which he started in 1955 as a general contracting and development company. The firm became involved in real estate, selling homes in Orange County before moving on to commercial projects. A major break came in 1963 when Raleigh partnered with Playboy Enterprises to develop the Playboy Building and Playboy Club on Sunset Boulevard in West Hollywood. That same year they began their first hotel venture with the Sunset Marquis. Other hotels in the Raleigh portfolio have included the Westwood Marquis; the Stephen F. Austin Hotel in Austin, Texas; Hotel Jerome in Aspen, Colorado and the Ritz-Carlton in Georgetown, Washington D.C.

In 1974, Raleigh branched out in the record-keeping business with the creation of File Keepers, and in 1979, Raleigh purchased the historic Producer's Studio on Melrose Avenue in Hollywood. Rosenthal resurrected and expanded the fading studio and rebranded it as Raleigh Studios.

Today, Rosenthal may best be known for the 235-acre Malibu winery, Rosenthal – The Malibu Estate.

1996-2011 – Seventh Owner – Gilbert Garfield



Gil Garfield (left) and Perry Botkin, Jr. (Right) had several popular hits while performing as “The Fraternity Brothers.”

Gilbert “Gil” Garfield (1933-2011) was a successful singer, songwriter and music producer who lived at Morada La Estrella with his longtime partner, publicist Mike Hiles. The Los Angeles-born Garfield began his musical career singing in local L.A. nightclubs before partnering with Sue Allen and Bert Convy to form “The Cheers.” In 1955, the group had a Top-10 chart topper with Leiber & Stoller’s “Black Denim Trousers and Motorcycle Boots.” This was followed by another Leiber & Stoller tune – “Bazoom! I Need Your Lovin’,” which also made the Billboard charts.

After the group disbanded, Garfield formed a new association, teaming with his childhood friend Perry Botkin, Jr. to create “The Fraternity Brothers,” which had several hits including “Wonderful Summer.” Later, he would later team up with Johnny Cole to form “Gil and Johnny.”

As his music career began to decline, Garfield was quick to seek out other opportunities. Even while still writing songs, he took on a second career as a contractor, working with his father’s real estate development firm Desser-Garfield Developments. And he joined with his sister Suzanne to create a children’s apparel line marketed under the name “Ivan Joy.” They were also creators of the “Pan-T-Boot,” shoes with panty hose built in. This was not a success.

In his later years, the multi-talented Garfield became an accomplished artist and art collector and was known for his generous philanthropy to numerous worthy causes.

2011-2020 – Eighth Owners – Mike and Megan Abbott



Mike and Megan Abbott entertaining members of the Palm Springs Historical Society at Morada La Estrella.
(Courtesy Palm Springs Historical Society)

The Abbotts purchased Morada La Estrella under the name of the Gemini Trust and it was to be their winter home “during the rainy Vancouver winters.” The Abbotts were much beloved Vancouverites who would transfer their charm and love of life to Palm Springs where they made many friends. Mike Abbott (1938-2019) was, according to his obituary in the Vancouver Sun, someone who “always marched to the tune of his own drummer.” He was involved with many business ventures in his life but is perhaps best remembered for being the founder of Buy&Sell in Vancouver in 1971, said to be the first free classified ad newspaper in the world. It was a phenomenal success and led to the format being copied around the world. He also founded Vancouver’s popular Havana restaurant, among other ventures.

The Abbotts found particular solace in their “small Spanish house in Palm Springs,” which, according to his obituary, “brought out [Mike’s] truly happy and tanned side.”

2020-Present – Ninth Owners – Steve Scott and Robert Eicholz



Bob Eicholz & Steve Scott are married and have been together since 1979. They've resided in Houston, the Hollywood Hills, Catalina Island and currently in both Palm Springs and San Francisco with their two whippets – Ward & Taylor.

When Bob and Steve purchased the home at 271 West Merito Place, neither they nor the previous owners they had any knowledge of its history. They only knew that they loved the home's beauty and historic charms. Steve was so intrigued by the house that it set him on an obsessive quest to uncover and celebrate the surprising life of the architect, Mr. William Charles Tanner, a true renaissance man. Over time he was able locate family members of the home's original owners, the Snyders, who provided photographs, home movies & priceless memories. He even discovered that the home had been given a name by Tanner – Morada La Estrella. He has subsequently given many lectures about Mr. Tanner, each revealing some new discovery, and has furthered the scholarship on William Charles Tanner and his contributions to Palm Springs architecture.

Bob Eicholz has served as Chief Technology Officer for Technicolor's Production Services companies and Senior Vice President at Deluxe Entertainment Services Group. He has led the strategic technology direction for Production Services worldwide, and across Deluxe business units globally. Mr. Eicholz is known as one of the pioneers in transitioning the film industry from the analog photochemical world to the digital age. He holds an MBA with Honors in Finance / Technology from UCLA's Andersen School of Management. Mr. Eicholz is also an avid instrument-rated pilot and aircraft owner, with a passion for applying technology to aviation training through immersive experiences.

Steve Scott has lived and worked in both Hollywood and Palm Springs and has served Senior Colorist and V.P. of Theatrical Imaging for Technicolor as well as major Hollywood studios.

He began his career in the entertainment industry singing & dancing with the likes of Bing Crosby, Fred Astaire & Bob Hope. He went on to perform in San Francisco's long-running 'Beach Blanket Babylon' for its initial 2 years and has had the showbiz bug ever since.

He studied painting & architectural rendering, eventually taking up illustration full time. He later entered the Visual Effects field in an effort to combine his love of movies & painting.

His movie credits include Apollo 13, Titanic, The Lion King, Children of Men, Tree of Life and Hairspray as well as Academy-Award-winning films such as Roma, Gravity, Birdman, The Help, The Revenant & Star Wars. He's worked on 20 Marvel pictures including The Avengers Endgame, Iron Man & the Guardians of the Galaxy franchises. His TV work includes The Mandalorian, Angels in America, Star Trek TNG, The X-Files, The Simpsons, and That 70s Show.

Steve served as Governor of the Special Visual Effects Peer Group for the Television Academy and is a member of The Academy of Motion Picture Arts and Sciences. He won an Emmy for his visual effects work and 9 HPA Awards for his feature film work.

Both Steve and Bob are dedicated to preserving Morada La Estrella and are active supporters of the efforts to dedicate it as a Class 1 Historic Resource.

APPENDIX VI

William Charles Tanner (1876-1960):



**(William Charles Tanner with his wife Lottie Mae and daughter Margaret "Peggy" Tanner Dowell at their La Hacienda apartment, 257 South Palm Canyon Drive, in 1938)
(Courtesy of Andrea McCarron and Steven Keylon)**

William Charles Tanner: Artist, Architect, Visionary

Biography by Steven J. Scott

A true Renaissance man, William Charles Tanner devoted the better part of his long life to the pursuit of beauty in all its forms. Renowned for his portraits of prominent citizens, sweeping historical murals, magazine illustrations, and clever “Puzzle Pictures” syndicated in newspapers across the country, the Canadian-born Tanner was a familiar figure in the American art world from the dawn of the 20th century through the outbreak of World War II. Yet his most enduring legacy may not rest on canvas, but rather in concrete, stucco, and tile.

Tanner was also an accomplished journalist, contributing art criticism and opinion pieces to *The Desert Sun* in Palm Springs. As a young man, he famously wrote to many of the great literary figures of his day, inviting them to send birthday messages to Leo Tolstoy in celebration of the Russian author’s seventy-ninth birthday. Tanner personally delivered the tributes from the likes of William J. Bryan, Clarence S. Darrow, William Lloyd Garrison and others to Count Tolstoy in Russia in 1907 – an extraordinary gesture that garnered national press coverage.

For over a decade, Tanner served as curator of the Spanish Gallery at the Mission Inn in Riverside, California, where he delivered numerous lectures on art and architecture to enthusiastic patrons. To Tanner, there was no boundary between the two disciplines. During his most prolific years—from the 1910s through the 1930s—he moved seamlessly between easel and drafting board, producing a remarkable portfolio of architectural designs across Palm Springs and Southern California. He approached every building with a painter’s sensibility, elevating his structures beyond functionality into the realm of “architecture as art.”

How Tanner became so adept at architecture remains something of a mystery. What is known is that he spent five years as a draftsman for a prominent architectural firm while attending the Art Institute of Chicago. Though the firm’s name has been lost to history, the quality of Tanner’s training is unmistakable in the confidence and sophistication of his later work.

Tanner’s earliest known architectural commission in Palm Springs was also among his finest: the Spanish Colonial-style Desert Inn complex (1922–1926), hailed nationwide for its elegance and artistry. This masterwork was followed by a series of distinguished desert homes, including *Ojo del Desierto* for oil magnate Thomas O’Donnell, *Invernada* for financier George Heigho, and *Morada La Estrella*, the Las Palmas residence of Indiana businessman John C. Snyder. At the same time, he was designing a collection of equally refined homes in the Los Feliz hills of Los Angeles.

While Spanish Colonial Revival was his primary idiom, Tanner was never confined to a single style. For pioneering film director Dorothy Arzner, he designed a striking Hollywood residence in 1930 that fused Greek and Art Deco elements. In 1935, he completed the First Community Church of Palm Springs in an imaginative “Gothic Deco” style—now recognized as a transitional work that bridged early desert architecture with the mid-century modernism that would soon define the region.

Despite the breadth and brilliance of his contributions, Tanner has received surprisingly little scholarly attention. Much remains to be uncovered about this visionary artist and designer. But even without a complete record, the enduring beauty he left behind speaks volumes—and ensures that his legacy will continue to inspire.

Partial List of Architectural Designs by William Charles Tanner

Civic and Public Works

- **1916** – Concrete bridge plan over the Santa Ana River, Santa Ana, CA
- **1916** – Pergola structure connecting downtown Riverside to the train station along both sides of 7th Street
- **1917 / 1927?** – Mission Inn float design for the National Orange Show & Tournament of Roses parade
- **1928** – Concept sketches for Old Rubidoux Bridge over the Santa Ana River, 4700 Scout Ln, Riverside, CA
- **1934–1935 (Speculative)** – Inspiration Point, Palm Springs
- **1935** – First Community Church of Palm Springs, 284 S Cahuilla Rd (Gothic-Deco style)
- **1936** – Palm Springs Field Club, later used by the California Angels for spring training

Commercial & Institutional

- **1920–1921** – Southern Sierras Power Co. expansion, Eighth Street (now University Ave), Riverside, CA
- **1922** – Riverside Community Hospital, 14th & Magnolia Ave – Construction supervised by Tanner on behalf of architect Myron Hunt
- **1922** – Balboa Yacht House (now Balboa Yacht Club), Newport Beach
- **1933** – O'Donnell Golf Shop and restroom facilities, Palm Springs
- **1933** – Briargate Lodge (Health Haven), home and resort of Dr. George Starr White, 344 W Indian School Ln, Banning, CA

Resorts & Recreational

- **1922–1927** – Desert Inn Reconstruction, Palm Springs
- **1926** – Idyllwild Golf Club / Dining Hall (Extant – Tudor / Adirondack style). 26855 Saunders Meadow Rd, Idyllwild, CA
- **1934** – *Dragon Room* cocktail lounge at the Desert Inn, Palm Springs (Mayan motif)
- **1936 (Speculative)** – Casa Cody Hotel: Winter's House Bungalow, possibly designed in conjunction with Myron Hunt

Residential (Riverside & Surroundings)

- **1921** – Residence, 6150 Hawarden Dr., Riverside, CA (First known residence designed by W. C. Tanner. Extant)
- **1921** – Donald Fullerton Residence, 3637 Mt. Rubidoux Dr., Riverside, CA
- **1922** – Residence (referred to as 'Mansion') at St. Lawrence Ave. & Old Elsinore Rd., Victoria District, Riverside
- **1922** – Residence at 169 Elmwood Court, Riverside, CA
- **1922** – Irving Residence, 6150 Hawarden Dr., Riverside

Residential (Palm Springs)

- **1922** – Mrs. Carrie Humphrey Birge Estate (widow of George K. Birge), Palm Springs, CA
- **1925** – *Ojo del Desierto* ("Eye of the Desert"), 447 W Alejo Rd – for oilman Thomas O'Donnell & Dr. Winifred Jenny
- **1925** – Carriage House / Chauffeur's Apartment for Ojo del Desierto
- **1926–1936** – O'Donnell Golf Course and properties, Palm Springs
- **1926** – O'Donnell Caretaker's Residence / Gate House / Committee of Twenty-Five. 21 W Alejo Rd
- **1930** – *Invernada*, 657 N Via Miraleste – residence of George Heigho
- **1932** – *Morada La Estrella*, 271 W Merito Pl – for John C. & Estrella Snyder (built by Alvah Hicks and likely Robert Lee Miller)
- **1934** – Charles Farrell Guest House, 796 N Via Miraleste
- **1936** – Thomas O'Donnell Golf House, 301 N Belardo Rd, Palm Springs (original entrance at 447 W Alejo Rd)
- **1936** – Dr. Winifred O'Donnell's physiotherapy office (part of O'Donnell Golf Course complex)

Residential (Los Angeles – Los Feliz)

- **1923** – Milton H. Berry Residence, 2308 Nottingham Ave. (with Wyckoff)
- **1924** – John & Evelyn Saint Residence, 2441 Glendower Ave. (with Wyckoff)
- **1924** – George Roberson Residence (later Le Vallauris Restaurant), 385 W Tahquitz Canyon Way, Palm Springs
- **1924** – William H. Peck Residence, 2580 Nottingham Ave.
- **1925** – Jordan Residence, 2243 E. Live Oak Dr.
- **1926** – William N. Elwell Residence, 2324 Nottingham Ave.
- **1926** – *Corona di Collini*, 2208 W Live Oak Dr. – 13,000 sf residence later owned by Jane Withers and Geena Davis
- **1926** – Residence at 2414 Chislehurst Dr., Spanish Colonial Revival
- **1930** – *Arzner-Morgan Villa*, 2249 Mountain Oak Dr. – designed for film director Dorothy Arzner

Other Projects

- **1919–1922** – Worker cottages for Rush Creek Hydroelectric System, June Lake, Mono County, CA
- **1927** – Rose Parade float design for the Mission Inn

APPENDIX VII

Historical Images

This selection of rare 1930s images of Morada La Estrella are all courtesy of Mary Kummings and Steve Scott.



Construction photos ca. late 1931. Top view looking northeast.
Bottom shows east façade. Note, quartet of windows.







APPENDIX VIII

Current Imagery/Details



**Looking north from front entrance.
(Author Photo. July 2023)**



**View southwest showing non original but period appropriate light fixture and window box.
(Author Photo. July 2023)**



View looking north westward from garden
(Author Photo. July 2023)



Detail of studded service door. Note carvings on lintel.
(Author Photo. July 2023)



**Tennis court pavilion, a non-contributing structure.
(Author Photo. July 2023)**



**Detail of west perimeter wall showing original gate post of original 1932 driveway.
(Author Photo. July 2023)**



View facing east showing an eave brace and French doors to master bedroom.
(Author Photo. July 2023)



View west showing variegated roofs with sawtooth board cladding.
(Author Photo. July 2023)



Wrought-iron shutter dog.
(Author Photo. July 2023)



View to the north west.
(Author Photo. July 2023)



View north to 1985 recreation room.
(Author Photo. July 2023)



View of south towards former garage through mature landscaping.
(Author Photo. July 2023)

APPENDIX IX

Grant Deed

271 Closing

DOC # 2020-0114301
03/11/2020 05:00 PM Fees: \$30.00
Page 1 of 3
Recorded in Official Records
County of Riverside
Peter Aldana
Assessor-County Clerk-Recorder

PLEASE COMPLETE THIS INFORMATION
RECORDING REQUESTED BY:

FIRST AMERICAN TITLE

AND WHEN RECORDED MAIL TO:
AND MAIL TAX STATEMENTS TO:

Robert L Eicholz and Steven J Scott, Trustees
271 W Merito Place
Palm Springs CA 92262

**This document was electronically submitted
to the County of Riverside for recording**
Receipted by: MARIA VICTORIA #411

Space above this line for recorder's use only

GRANT DEED

Title of Document

TRA: 011-003

DTT: \$3,157.00

Exemption reason declared pursuant to Government Code 27388.1

- This document is a transfer that is subject to the imposition of documentary transfer tax.
- This is a document recorded in connection with a transfer that is subject to the imposition of documentary transfer tax.
Document reference: RECORDED CONCURRENT
- This document is a transfer of real property that is a residential dwelling to an owner-occupier.
- This is a document recorded in connection with a transfer of real property that is a residential dwelling to an owner-occupier.
Document reference: _____

THIS PAGE ADDED TO PROVIDE ADEQUATE SPACE FOR RECORDING INFORMATION
(\$3.00 Additional Recording Fee Applies)

First American Title Company

RECORDING REQUESTED BY:
The Escrow Connection

AND WHEN RECORDED MAIL TO:

Robert L. Eicholz and Steven J. Scott,
Trustees of The Eicholz Scott Family Trust
271 W. Merito Place
Palm Springs, CA 92262

Order No. 0625-6147358
Escrow No. 43363-KK
Parcel No. 505-301-001

Tat 11003

SPACE ABOVE THIS LINE FOR RECORDER'S USE

GRANT DEED

THE UNDERSIGNED GRANTOR(S) DECLARE(S) THAT DOCUMENTARY TRANSFER TAX IS \$3,157.00

- computed on full value of property conveyed, or
- computed on full value less liens or encumbrances remaining at the time of sale.
- unincorporated area: City of Palm Springs, and

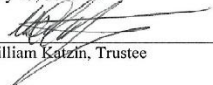
FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,
William Katzin, Trustee of Gemini Trust dated February 15, 2010

Hereby grants to Robert L. Eicholz and Steven Scott, Trustees of The Eicholz Scott Family Trust
dated 1/07/2012
the following described real property in the County of Riverside, State of California:

LOT 94 AND THE NORTHERLY 59 1/2 FEET OF LOT 95 OF MERITO VISTA, AS SHOWN BY MAP ON FILE IN BOOK
12 PASGE 94 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

Date February 13, 2020

William Katzin, Trustee of Gemini Trust dated
February 15, 2010


By: William Katzin, Trustee

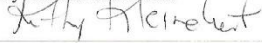
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

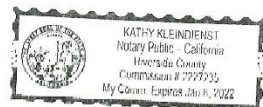
STATE OF CALIFORNIA }
COUNTY OF Riverside } s.s.

On March 9, 2020, before me, Kathy Kleindienst, notary public,
Personally appeared William Katzin, who
proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and
acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s)
on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature  (Seal)



Mail Tax Statement to: SAME AS ABOVE or Address Noted Below

PLEASE COMPLETE THIS INFORMATION
RECORDING REQUESTED BY:

FIRST AMERICAN TITLE

AND WHEN RECORDED MAIL TO:
AND MAIL TAX STATEMENTS TO:

Robert L. Elgholz and Steven J Scott, Trustees
271 W Merito Place
Palm Springs CA 92262

Space above this line for recorder's use only

GRANT DEED

Title of Document

TRA: 011-003

DTT: \$3,167.00

Exemption reason declared pursuant to Government Code 27388.1

- This document is a transfer that is subject to the imposition of documentary transfer tax.
- This is a document recorded in connection with a transfer that is subject to the imposition of documentary transfer tax.
Document reference: RECORDED CONCURRENT
- This document is a transfer of real property that is a residential dwelling to an owner-occupier.
- This is a document recorded in connection with a transfer of real property that is a residential dwelling to an owner-occupier.
Document reference: _____

THIS PAGE ADDED TO PROVIDE ADEQUATE SPACE FOR RECORDING INFORMATION
(\$3.00 Additional Recording Fee Applies)

GOVERNMENT CODE 27361.7

I CERTIFY UNDER PENALTY OF PERJURY THAT THIS MATERIAL IS A TRUE COPY OF THE ORIGINAL MATERIAL CONTAINED IN THE DOCUMENT:

ATTACHED FOR CLARITY:

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of CALIFORNIA
County of RIVERSIDE

On MARCH 9, 2020 before me, KATHY KLEINDIENST , Notary Public personally appeared WILLIAM KATZIN, who proved to me the basis of satisfactory evidence) to be the person (s) whose name (s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her their authorized capacity (ies), and that by his/her/their signature (s) on the instrument the person (s), or the entity upon behalf of which the person (s) acted, executed the instrument.

I certify under penalty of perjury under the laws of the state of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

(seal)

Signature _____

ePN AS AGENT:

DATE: 3 / 11 / 20

MO
Signature MONIQUE ORTEGA
Executed: RIVERSIDE, CA



**An unknown photographer unsuccessfully, but delightfully, attempting to keep out of frame while photographing the master bath at Morada La Estrella. 1930s (See page 97 for original).
(Courtesy of Mary Kummings and Steve Scott)**

ATTACHMENT D

(Public Comments)

From: [Alex Marx](#)
To: [Planning](#)
Subject: The Snyder Residence' (APN# 505-301-001)
Date: Wednesday, April 1, 2026 9:46:59 AM

NOTICE: This message originated outside of The City of Palm Springs -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.

To whom it may concern,

I am a resident of Palm Springs and a keen enthusiast of historic architecture and particularly its preservation.

I have had the enormous pleasure of visiting The Synder Residence, and was enormously impressed with the beauty of the building and its stunning gardens. It is my strong belief that the home should be preserved for future generations.

Palm Springs is a unique architectural Mecca - and the stories of the city's residents, and their homes, brings enormous value to the community - and the economy!

Best wishes,

Alex Marx

Actor / Writer / Director / Producer

www.IMDB.me/AlexMarx

www.mysticdawn.media

Pronouns: He / Him / His

From: [Diana Pike](#)
To: [Planning](#)
Subject: The Snyder Residence - APN# 505-301-001
Date: Wednesday, April 1, 2026 10:12:28 AM

NOTICE: This message originated outside of The City of Palm Springs -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.

Please accept these comments in support of the Snyder residence, La Morada Estrella. Steve Scott and Robert Eicholz have been remarkable stewards of this beautiful property. They have spared no expense to maintain, and improve upon, this beautiful home and gardens while maintaining the historical integrity of the home. I had the opportunity to visit this amazing place last year and it is so beautiful. This beautiful property should definitely be added to the Historical Registry of Palm Springs and preserved as an historical site.

Thank you so much for this consideration.

Sincerely,
Diana Pike
623-363-8714

From: [john DiQuattro Jr](#)
To: [Planning](#)
Subject: The Snyder Residence - APN# 505-301-001
Date: Wednesday, April 1, 2026 8:59:19 AM

NOTICE: This message originated outside of The City of Palm Springs -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.

I am writing to support the Historical application of this magnificent Charles Tanner home in Vista Las Palmas. I have known Bob Eicholz and Steve Scott for many decades and I have admired their dedication to the preservation of this property and enhancing its beauty paying close attention to its history. Their attention to detail is unmatched including the exterior details and beautiful gardens. Bob And Steve have generously opened their home to the public during Modernism week for the last two years.

As a Palm Springs resident I am lucky to know the custodians of this property.

Kind regards,

John DiQuattro Jr

Sent from my iPad

From: [Cassandra Stillman](#)
To: [Planning](#)
Cc: [Steve Scott](#)
Subject: The Snyder Residence - APN# 505-301-001"
Date: Wednesday, April 1, 2026 8:13:54 AM

NOTICE: This message originated outside of The City of Palm Springs -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.

Dear to whom it may concern,

We are neighbors to Morado La Estrella and we love this historic property. It has been a pleasure to be able to tour this home and see how Steve Scott & Bob Eicholz have taken such good care. The home has so much history and when you walk into the living room you can see the similarities from the O Donnell club house that was also built by Tanner. Steve and Bob have studied and brought back some of the original windows and the fireplace that was in photos that they found to the exact same condition as the original owner had them.

Please contact me if you need any more information.
Sincerely,

Cass & Andy Stillman
650 N Cahuilla Road
Palm Spring,
CA 92262

From: [Terry Campbell](#)
To: [Planning](#)
Subject: The Snyder Residence - APN# 505-301-001
Date: Wednesday, April 1, 2026 8:06:25 AM

NOTICE: This message originated outside of The City of Palm Springs -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.

I am writing to express my strong support for the Historic Designation of Morada La Estrella with the National Register of Historic Places. This site represents a cultural and historical legacy, reflecting the architecture and community identity that have shaped Palm Springs for generations. Preserving Morada La Estrella will not only honor its historical significance but also ensure that future generations can learn from and appreciate its unique heritage. Its designation would recognize the site's value as a cultural landmark and safeguard it against loss, contributing meaningfully to the broader preservation of our shared history.

Thank you
Terry Campbell

From: [Tom Ellicott](#)
To: [Planning](#); [Tom Ellicott](#)
Subject: The Snyder Residence - APN# 505-301-001
Date: Tuesday, March 31, 2026 7:52:59 PM

NOTICE: This message originated outside of The City of Palm Springs -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.

Hello.

As a nearby Old Las Palmas neighbor living near this historic property, I would like to add my unqualified support for this nomination.

The Snyder Residence is one of the most unique, beautiful and among the oldest and important structures in Old Las Palmas.

As you know, its architect, William Charles Tanner, was also the architect for the O'Donnell House and the O'Donnell Golf Club, both of which are designated national historic structures.

I must add that the current owners are remarkably responsible and devoted stewards for this property and they have been working toward its conservation since they purchased it. They have also been incredibly generous in sharing it with the community through public events such as Modernism Week and many other public tours. Everyone who has the opportunity to visit this home (and property) is transported to the pre-war era in Palm Springs, to a time when a relaxed Spanish Colonial Revival /Mission style was the ultimate Palm Springs lifestyle.

In short, very few properties of this age and architectural pedigree remain so original and undisturbed.

Please don't hesitate to protect and designate this property.

Thank you!

Tom Ellicott
701 N Patencio Rd, Palm Springs, CA 92262

From: [Alex Capecelatro](#)
To: [Planning](#)
Cc: [Brian Stevens](#)
Subject: The Snyder Residence - APN# 505-301-001
Date: Tuesday, March 31, 2026 7:20:02 PM

NOTICE: This message originated outside of The City of Palm Springs -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.

Dear Palm Springs Historic Site Preservation Board,

We are writing as a nearby resident at 300 W. Merito Place in strong support of the proposed historic designation of the Snyder Residence (Morada La Estrella).

This home represents an important part of Palm Springs' architectural and cultural history. Its preservation helps maintain the character and identity that make this neighborhood and the broader community so special. Recognizing and protecting properties like this ensures that future generations can appreciate the stories, design, and legacy that have shaped Palm Springs over time.

We appreciate the effort that has gone into documenting the home's history and encourage the Board to approve its designation.

Sincerely,

Alex Capecelatro & Brian Stevens
300 W. Merito Place
Palm Springs, CA



Alex Capecelatro
Pronouns: he/him/his
CEO | [845.216.4836](tel:845.216.4836)

From: [Anita Fields](#)
To: [Sarah Yoon](#); [Linda Ponce](#)
Subject: FW: The Snyder Residence - APN# 505-301-001
Date: Wednesday, April 1, 2026 2:31:42 PM

From: Colleen <colleencostello56@gmail.com>
Sent: Wednesday, April 1, 2026 1:36 PM
To: Planning <Planning@palmspringsca.gov>
Subject: The Snyder Residence - APN# 505-301-001

NOTICE: This message originated outside of The City of Palm Springs -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.

Dear Members of the Palm Springs Historic Site Preservation Board,

I am writing to express my strong support for the historic designation and preservation of Morada La Estrella, also known as The Snyder Residence (APN# 505-301-001), located at 271 W Merito Place in Palm Springs.

This remarkable property represents an important piece of the city's architectural and cultural heritage. Thanks to the dedicated stewardship of its current owners, Robert Eicholz and Steven Scott, the home has been meticulously preserved in a way that honors its historical integrity while ensuring its continued vitality as a living residence. Their commitment extends beyond structural care to thoughtful attention to the home's decorative character and surrounding landscape.

Equally meaningful is their generosity in sharing the home and its rich history with family, friends, and the broader Palm Springs community. Through their efforts, Morada La Estrella continues to serve not only as a private residence, but as a living testament to the legacy of its past owners and the unique story it contributes to the city.

For these reasons, I respectfully urge the Board to support the designation and preservation of this exceptional property.

Thank you for your time and consideration.

Sincerely,
Colleen M. Peña

From: [Anita Fields](#)
To: [Sarah Yoon](#); [Linda Ponce](#)
Subject: FW: The Snyder Residence - APN# 505-301-001
Date: Wednesday, April 1, 2026 3:26:16 PM

-----Original Message-----

From: Mike Hiles <mikehiles@icloud.com>
Sent: Wednesday, April 1, 2026 3:08 PM
To: Planning <Planning@palmspringsca.gov>
Subject: The Snyder Residence - APN# 505-301-001

NOTICE: This message originated outside of The City of Palm Springs -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.

Dear Members of the Historic Site Preservation Board,

I am writing in strong support of the historic designation and preservation of the Synder Residence (APN# 505-301-001).

I had the privilege of living in this home from 2001 to 2011, and it remains one of the most meaningful places I have ever known. It is not simply a house—it is a truly special home whose character, design, and presence leave a lasting impression that words can scarcely convey.

Over the years, this residence has been more than a structure; it has been a place of memory, continuity, and quiet significance for those who have lived there and experienced it. Preserving it honors not only its architectural and historical value, but also the many lives and stories connected to it.

I respectfully urge the Board to support its designation and preservation for the benefit of future generations and the broader Palm Springs community.

Thank you for your consideration.

Sincerely,

Mike Hiles
424.333.1075

Historic Site
Preservation Board
Meeting

MEETING DATE: 04/07/2026

SUBMITTED BY: PLANNING

SUBJECT: **A REQUEST BY THE CITY OF PALM SPRINGS FOR A CERTIFICATE OF APPROPRIATENESS - MINOR, TO CONSTRUCT NEW SHADE STRUCTURES AT THE PALM SPRINGS INTERNATIONAL AIRPORT LOCATED AT 3400 EAST TAHQUITZ CANYON WAY (APN #677-280-010), CASE: CAMI-2026-0003 (SY).**

RECOMMENDATION: To approve the request with conditions to be verified and approved by staff. Pursuant to CEQA, this action is a project that would qualify for a categorical exemption.

SUBJECT:

A REQUEST BY THE CITY OF PALM SPRINGS FOR A CERTIFICATE OF APPROPRIATENESS - MINOR, TO CONSTRUCT NEW SHADE STRUCTURES AT THE PALM SPRINGS INTERNATIONAL AIRPORT LOCATED AT 3400 EAST TAHQUITZ CANYON WAY (APN #677-280-010), CASE: CAMI-2026-0003 (SY).

RECOMMENDATION: To approve the request with conditions to be verified and approved by staff. Pursuant to CEQA, this action is a project that would qualify for a categorical exemption.

Attachments

Item 4A



HISTORIC SITE PRESERVATION BOARD STAFF REPORT

DATE: April 7, 2026

NEW BUSINESS

SUBJECT: APPLICATION BY THE CITY OF PALM SPRINGS FOR THE APPROVAL OF A CERTIFICATE OF APPROPRIATENESS – MINOR TO INSTALL NEW SHADE STRUCTURES AT THE PALM SPRINGS INTERNATIONAL AIRPORT, A CLASS 1 SITE LOCATED AT 3400 EAST TAHQUITZ CANYON WAY, HSPB #70 / CASE CAMI 2026-0003 (SY).

FROM: Department of Planning Services

SUMMARY

The applicant is seeking approval to install four (4) shade structures along the pedestrian walkway on Kirk Douglas Way to provide shade for passengers awaiting ground transportation. Each structure is proposed to be approximately 13 feet in height, 14 feet width, and 22 feet in length. The structures would be located at the southern end of the terminal, near the ticketing area.

RECOMMENDATION:

Approve the project with the following conditions:

1. Revise the design of the shade structure to be in-kind with existing shade structures on the secured side of the airport along the pedestrian walkway leading to the Agua Caliente Concourse.
2. Final design should be reviewed and approved by staff for design compatibility.

BACKGROUND AND SETTING:

The Palm Spring Municipal Airport was designed by architect Donald Wexler in 1966. The original layout of the airport terminal consists of a building with a central core and four wings built using steel post-and-beam construction. The expansive glass fenestration and rock walls are character-defining features of the original terminal building. Since its completion, the site has continued to expand in response to operational demands.

The National Register Nomination focuses on the Wexler Terminal, the landscaped central axis leading to the main fountain and the two parking areas in front of the terminal building as significant. The traffic medians along Kurk Douglas Way outside of the central axis are not identified as character-defining areas. Additionally, the Sonny Bono

Concourse and the Agua Caliente Concourse were later additions identified as non-contributing elements.

<i>Relevant and Recent Past Actions</i>	
1966	City commissions architect Donald Wexler to design the airport terminal building.
May 13, 2009	City Council designates the west façade of the Wexler Terminal as a Class 1 historic site (Resolution 22480).
November 24, 2021	Palm Springs International Airport is listed on the National Register of Historic Places.

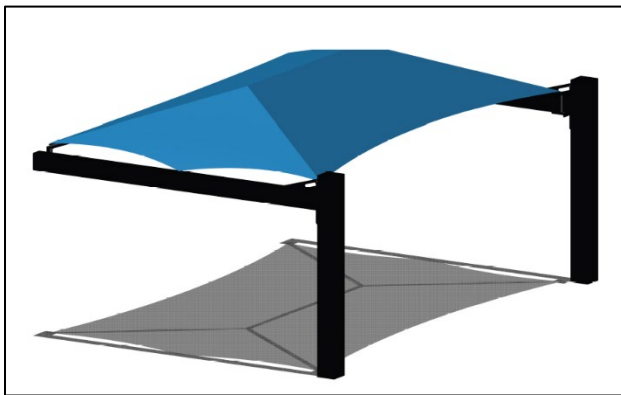
AERIAL VIEW OF THE SUBJECT PARCEL WITH AREA FOR SHADE STRUCTURES IN RED



DETAIL OF PROPOSED LOCATIONS FOR SHADE STRUCTURES



PROPOSED SHADE STRUCTURE DESIGN



EXISTING SHADE STRUCTURES



ANALYSIS:

Pursuant to Municipal Code Section 8.05.110 (Alterations of Class 1 and Class 2 Historic Resources – Certificate of Appropriateness), HSPB shall evaluate the proposal for compatibility and mitigate any adverse impacts to character-defining features of the historic resource by reviewing it for compliance with the four criteria:

Certificates of Appropriateness (“C of A’s”) are processed pursuant to Municipal Code Section 8.05.110 as follows:

Criteria and Findings for alterations to Class 1 sites:

The HSPB shall approve the C of A's if the following findings can be met

1. *That the proposed alteration does not significantly impact or materially impair the character-defining features of the historic resource as listed in the resolution for historic designation, or, where a character-defining feature may be impacted, the proposed alteration minimizes that impact as much as possible.*

The provision of adequate shade is an important amenity for pedestrians waiting for transportation, and the proposed location on the site for the shade structures minimizes both physical and visual impacts to the historic resource to the greatest extent possible by locating them away from the central axis of the Wexler Terminal. The proposed alteration does not materially impair any character-defining features of the historic resource.

Staff finds the proposal meets this criterion for alteration.

2. *That the proposed alteration will assist in restoring the historic resource to its original appearance where applicable, or will substantially aid its preservation or enhancement as a historic resource;*

The proposed alteration introduces new accessory structures to the site; therefore, it is not considered a restoration project, but the new structures have the potential to enhance the overall user experience by providing needed shade during peak hours. As proposed, the design of the shade structures does not reflect any architectural elements or historic features of the Wexler Terminal. It is important that the design of the shade structures relates to the historic resource to provide design continuity.

Staff finds the proposal could meet this criterion if the design of the shade structures is revised as conditioned to better relate to the character-defining features of the site.

3. *That any additions to the historic resource are consistent with the massing, proportions, materials, and finishes of the existing historic resource, and: (i) can be distinguished from the existing historic resource as may be appropriate; or (ii) are indistinguishable from the historic resource as may be appropriate, and where such alterations are clearly documented in the City's archival file for the historic resource as being non-original to the historic resource;*

Over time, the airport's functional demands have grown, leading to the construction of new structures to meet these needs. The design of the Wexler Terminal incorporates deep overhangs that help regulate solar gain inside, while also creating shaded areas outdoors. The post-and-beam design and the simple roofline demonstrate the power of restrained geometry. Several shade structure designs are seen throughout the airport,

but the ones located along the pedestrian pathway toward the Agua Caliente Concourse feature a simple form that more closely aligns with Donald Wexler’s design of the terminal. In contrast, the proposed shade structure design introduces a heavier post-and-beam system with a pyramidal canopy that does not relate to the historic resource. Were these structures to be installed, a new design element that is inconsistent with the established mass and proportions would be added to the site. To meet this criterion, staff recommends redesigning the shade structures to match the existing on-site example previously described to achieve better design compatibility. The shade structures would be distinguished from the existing historic resource but fully documented in the archival files.

4. *That, in cases where Federal funds are to be utilized in financing the proposed alterations, the alterations are consistent with the Standards for the Treatment of Historic Properties, as put forth by the U.S. Secretary of the Interior.*

Measure J funds are being used in part to support this project; however, no federal funding is involved. This criterion is not applicable to this project.

ENVIRONMENTAL ASSESSMENT:

The proposed alteration is considered a project pursuant to the guidelines of the California Environmental Quality Act (“CEQA”). Staff, as the lead agency, has evaluated the proposal relative to the CEQA Guidelines and determined the project is Categorically Exempt from further evaluation under CEQA as a Class 31 because the project proposes rehabilitation of the site that is consistent with the Secretary of the Interior Standards. The proposed scope of work, as conditioned, will not radically change, obscure or destroy character-defining features of the buildings or the surrounding landscape.

CONCLUSION:

The proposed location of the four shade structures will not diminish or significantly alter character-defining features of the airport; however, the shade structures must be redesigned to better relate to the overall design of the Wexler Terminal. Staff recommends approval with conditions as stated above.

PREPARED BY:	Sarah Yoon, Associate Planner/Historic Preservation Officer
REVIEWED BY:	Anthony Riederer, Assistant Director of Planning Services

Attachments:

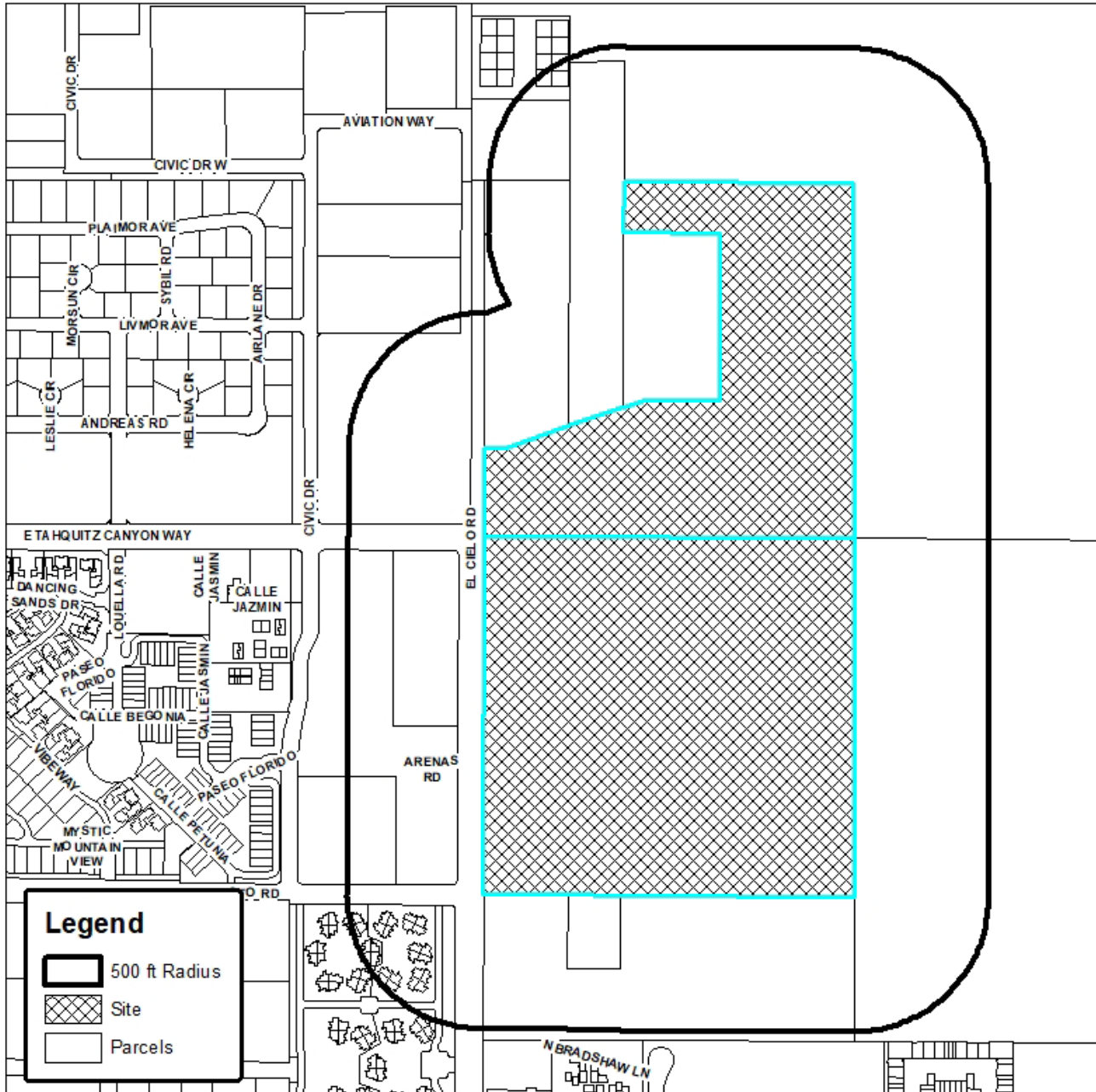
- A. Vicinity Map.
- B. Application.
- C. City Council Resolution for Designation.

ATTACHMENT A

(Vicinity Map)



Department of Planning Services Vicinity Map



CITY OF PALM SPRINGS
3400 East Tahquitz Canyon Way

ATTACHMENT B

(Application)



A Department of the City of Palm Springs

Palm Springs International Airport
3400 E. Tahquitz Canyon Way, Suite 1
Palm Springs, CA 92262-6966

flypsp.com
T: (760) 318-3800

February 23, 2026

City of Palm Springs
Development Services Department
3200 E. Tahquitz Canyon Way
Palm Springs, CA 92262

Re: **Justification Letter** – Transportation Network Company (TNC – Uber/Lyft) Shade Structure at the Palm Springs International Airport (PSP) at 3400 E. Tahquitz Canyon Way, Suite 1 (APN: 677-280-010)

Palm Springs International Airport has experienced significant growth in passenger activity in recent years, resulting in the need to expand and upgrade airport services and infrastructure. To maintain a high level of customer service, the proposed shade structure will provide a designated, comfortable waiting area for guests awaiting pick-up.

Transportation Network Company (TNC) services account for approximately 80% of the airport's ground transportation ridership, totaling an estimated 409,000 rides in 2024. The primary function of these structures is to provide shade during peak hours between 10:30 a.m. and 1:30 p.m. for guests queuing for TNC services. The installation of the shade structures will enhance the overall customer experience by providing additional shaded seating and improved comfort for passengers while they wait for their ride.

Location: The proposed shade structures will be installed along the pedestrian walkway island within the commercial lane on Kirk Douglas Way. The existing 15-foot-wide island includes benches, palm trees, and light posts, and the four (4) freestanding shade structures will be strategically placed within the available open areas between these elements to maintain the existing layout and pedestrian circulation. **(Exhibit A)**

Dimensions/Specification: Each TNC shade structure features two posts on one side, allowing ample space for the pedestrian pathway.

The TNC shade dimensions are as follows **(Exhibit B):**

Overall height: approx. 13 feet and 6 inches

Overall width: approx. 14 feet

Overall length: approx. 22 feet
Shade post connection: 10 feet

The proposed covered/shaded area space from the shade structure combined is approximately 1,220 square feet.

Shade Material & Color: The shade material utilized for the TNC shade will be Shadesure Fabric manufactured by USAShade. **(Exhibit C)** It offers up to high-density polyethylene mesh which can block out up to 97% of the sun's harmful UV-A & UV-B rays. The durability and stability of the fabric is achieved through the knit pattern backed by a full 10-year warranty against UV degradation.

The selected color will be **Desert Sand**, chosen to complement and blend harmoniously with the surrounding environment.

Other Items: Structural components, including seismic and wind load calculations for the proposed TNC shade structures, will be completed prior to submitting the permit application. The TNC shade structures will undergo plan check review and receive approval prior to installation.



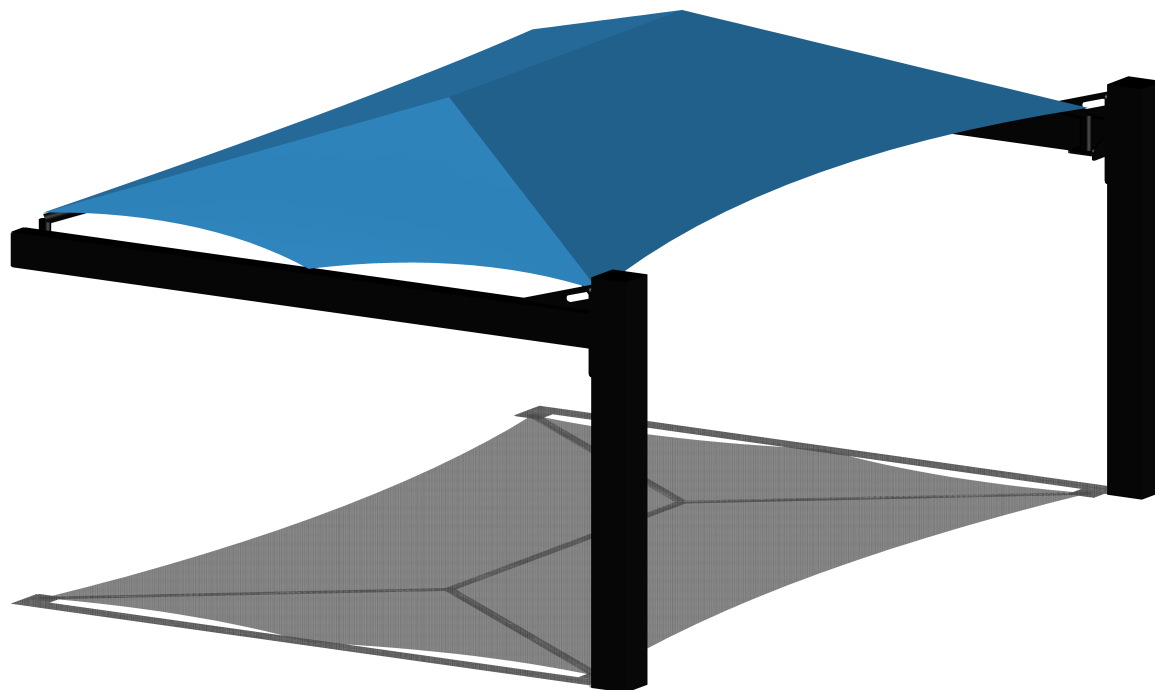
EXHIBIT A



CUSTOMER NAME:
PROJECT NAME:
LOCATION:
CONFIGURATION #:

City of Palm Springs
Palm Springs Airport
Palm Springs CA
Q-117076

EXHIBIT B



Dakota Shelton
USA Shade & Fabric Structures
2580 Esters Blvd Suite 100
DFW Airport, TX 75261
dakota.shelton@usa-shade.com

Fabric Color Desert Sand 200000CDS



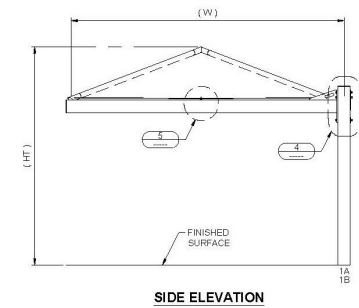
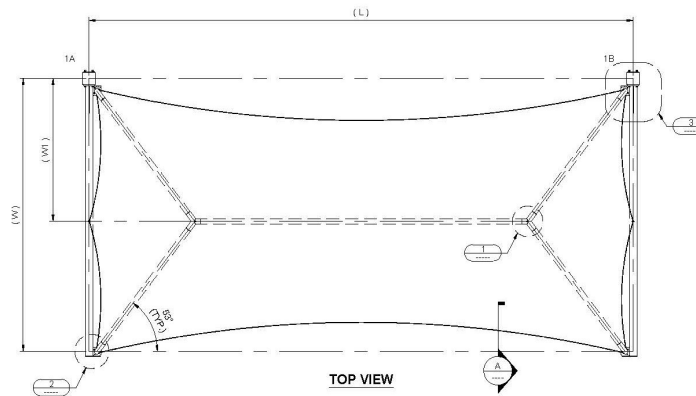
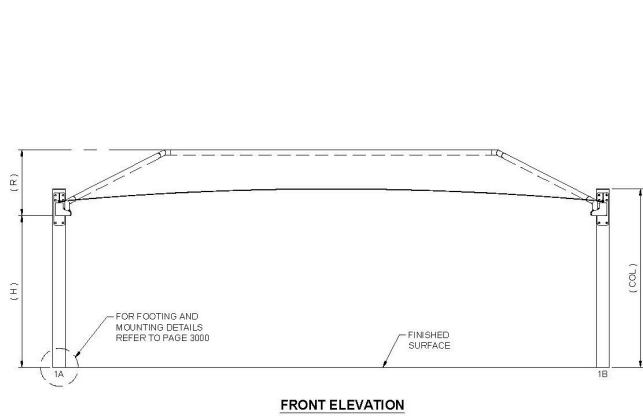
CORPORATE HEADQUARTERS
2580 Esters Blvd, Ste 100
DFW Airport, TX 75261
800-966-5005

- NOT TO SCALE
- NOT FOR CONSTRUCTION OR PERMITS
- DUE TO REPRODUCTION, ACTUAL COLORS MAY
DIFFER FROM REPRESENTATION

These plans and specifications are the property of USA Shade and Fabric Structures and shall not be reproduced without their written permission.

CUSTOMER NAME:
PROJECT NAME:
LOCATION:
CONFIGURATION #:

City of Palm Springs
Palm Springs Airport
Palm Springs CA
Q-117076



GENERAL NOTES

DESIGN LOADS

BUILDING CODE CALIFORNIA BUILDING CODE 2022
(BASED ON IBC 2021)
LIVE LOADS 5 PSF
SNOW LOAD 5 PSF
WIND LOADS 115 MPH*
3-Sec. Gust, RISK CATEGORY II & EXPOSURE C

*115 MPH ACCORDING TO THE BASIC WIND SPEED MAPS OF ASCE 7-16 IS EQUIVALENT TO THE ALLOWABLE STRESS DESIGN WIND SPEED OF 90 MPH ACCORDING TO ASCE 7-05 AND IBC 2021 EQ 16-17.

ESTIMATED STEEL WEIGHT

Total Structure Weight	2211.27 lbs
Single Column Weight	538.7 lbs
Total Upper Frame Weight	1133.9 lbs
Steel Sizes	HSS 10.00 x 10.00 x 0.250

TABLE OF DIMENSIONS

L	W	H	R	HT	D	RL	EL
22' 0"	14' 0"	10' 0"	3' 6"	13' 6"	26' 1"	10' 3"	7' 8"



CORPORATE HEADQUARTERS
2580 Esters Blvd, Ste 100
DFW Airport, TX 75261
800-966-5005

- NOT TO SCALE
- NOT FOR CONSTRUCTION OR PERMITS
- DUE TO REPRODUCTION, ACTUAL COLORS MAY DIFFER FROM REPRESENTATION

These plans and specifications are the property of USA Shade and Fabric Structures and shall not be reproduced without their written permission.

CUSTOMER NAME:
PROJECT NAME:
LOCATION:
CONFIGURATION #:

City of Palm Springs
Palm Springs Airport
Palm Springs CA
Q-117076

REINFORCED CONCRETE NOTES

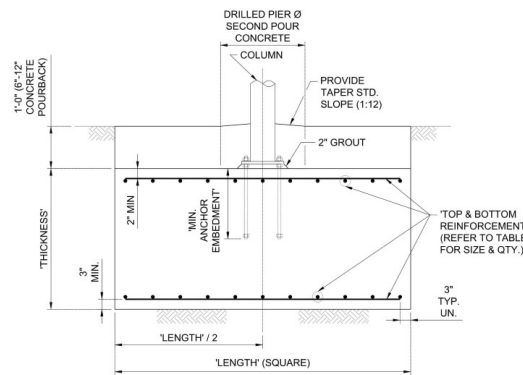
- CONCRETE WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN CONCRETE INSTITUTE SPECIFICATION FOR STRUCTURAL CONCRETE ACI 301 AND BUILDING CODE ACI 318. CONCRETE SPECIFICATIONS SHALL BE AS FOLLOWS:
 - 28 DAY STRENGTH: 2500 PSI
 - SLUMP: 3-5
 - PORTLAND CEMENT SHALL CONFORM TO C-150
 - AGGREGATE SHALL CONFORM TO ASTM C-33
- ALL REINFORCEMENT STEEL SHALL CONFORM TO ASTM A-615 GRADE 60; AND SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH THE LATEST ACI SPECIFICATION FOR STRUCTURAL CONCRETE ACI 301, ACI DETAILING MANUAL AND CRSI MANUAL OF STANDARD PRACTICE.
- ALL ANCHOR BOLTS SET IN NEW CONCRETE (WHEN APPLICABLE) SHALL COMPLY WITH ASTM F-1554 GRADE 55 (GALVANIZED).
- ALL NON-SHRINK GROUT SHALL HAVE A MINIMUM 28 DAYS COMPRESSIVE STRENGTH OF 5000 PSI, AND SHALL COMPLY THE REQUIREMENTS OF ASTM C109, ASTM C939, ASTM C1090, ASTM C1107, WHEN APPLICABLE.
- SOIL PARAMETERS FOR FOOTING ANALYSIS; TABLE 1806.2, CLASS : 5 - 1500(PSF)
- FOR SPREAD FOOTING, EDGE OF COLUMN OR ANCHOR BOLTS MUST BE SET AT LEAST 12" FROM THE EDGE OF SPREAD FOOTING EDGE.
- SPREAD FOOTING ALLOWED TO BE ROTATED AS REQUIRED.
- ANCHOR ROD Sets, 1-1/4"x36" F1554 GR55, Qty 8

TABLE FOR NON-CONSTRAINED DRILLED PIER FOOTING								
DIAMETER	DEPTH	VERTICAL REBAR		TIES			MIN. COLUMN EMBEDMENT (EMBED)	MIN. ANCHOR EMBEDMENT (RECESS. & SURFACE)
		QTY.	SIZE	QTY.	Ø LOOP (FT)	SIZE		
(FT)	(FT)						(IN)	(IN)
2.50	8.00	9.00	#8	13	2.00	#4	36	30

TABLE FOR SPREAD FOOTING							
LENGTH	THICKNESS	TOP AND BOTTOM REINFORCEMENT			MIN. COLUMN EMBEDMENT (EMBED)	MIN. ANCHOR EMBEDMENT (RECESS. & SURFACE)	
		QTY.	SIZE	SPACING (IN)			
(FT)	(FT)				(IN)	(IN)	
6.00	3.00	9.00	#5 @	8.00 O.C.E.W.	33	30	

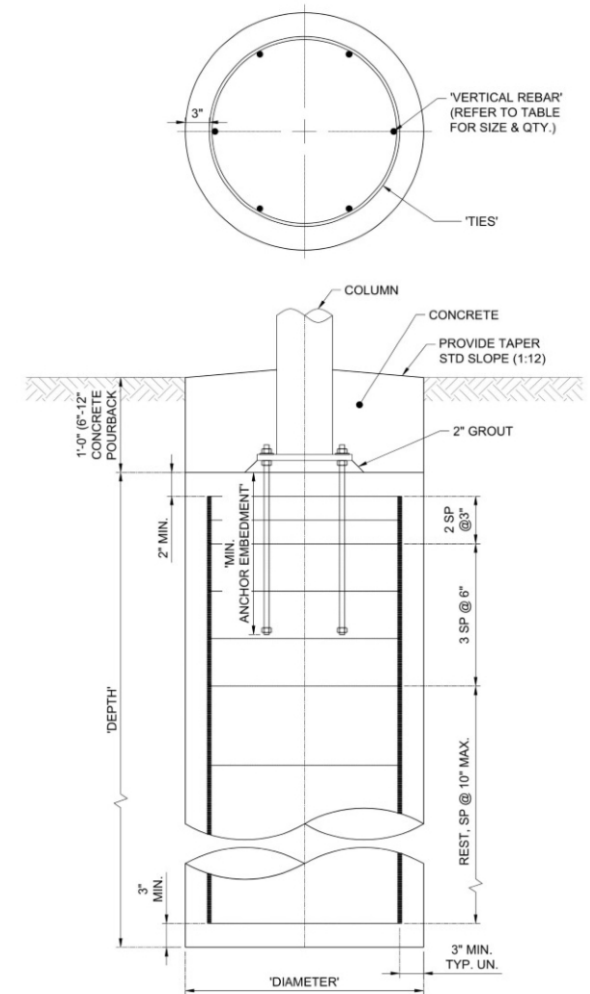
NOT FOR CONSTRUCTION OR PERMITS

NOTE: ADDITIONAL INSTALLATION COSTS FOR SPREAD FOOTING



SPREAD FOOTING TYPE

RECESSED BASE PLATE
SCHEMATIC VIEW ONLY
REFER TO TABLE FOR VARIABLE DIMENSIONS



DRILLED PIER FOOTING TYPE

RECESSED BASE PLATE
SCHEMATIC VIEW ONLY
REFER TO TABLE FOR VARIABLE DIMENSIONS & QTY.



CORPORATE HEADQUARTERS
2580 Esters Blvd, Ste 100
DFW Airport, TX 75261
800-966-5005

- NOT TO SCALE
- NOT FOR CONSTRUCTION OR PERMITS
- DUE TO REPRODUCTION, ACTUAL COLORS MAY DIFFER FROM REPRESENTATION

These plans and specifications are the property of USA Shade and Fabric Structures and shall not be reproduced without their written permission.

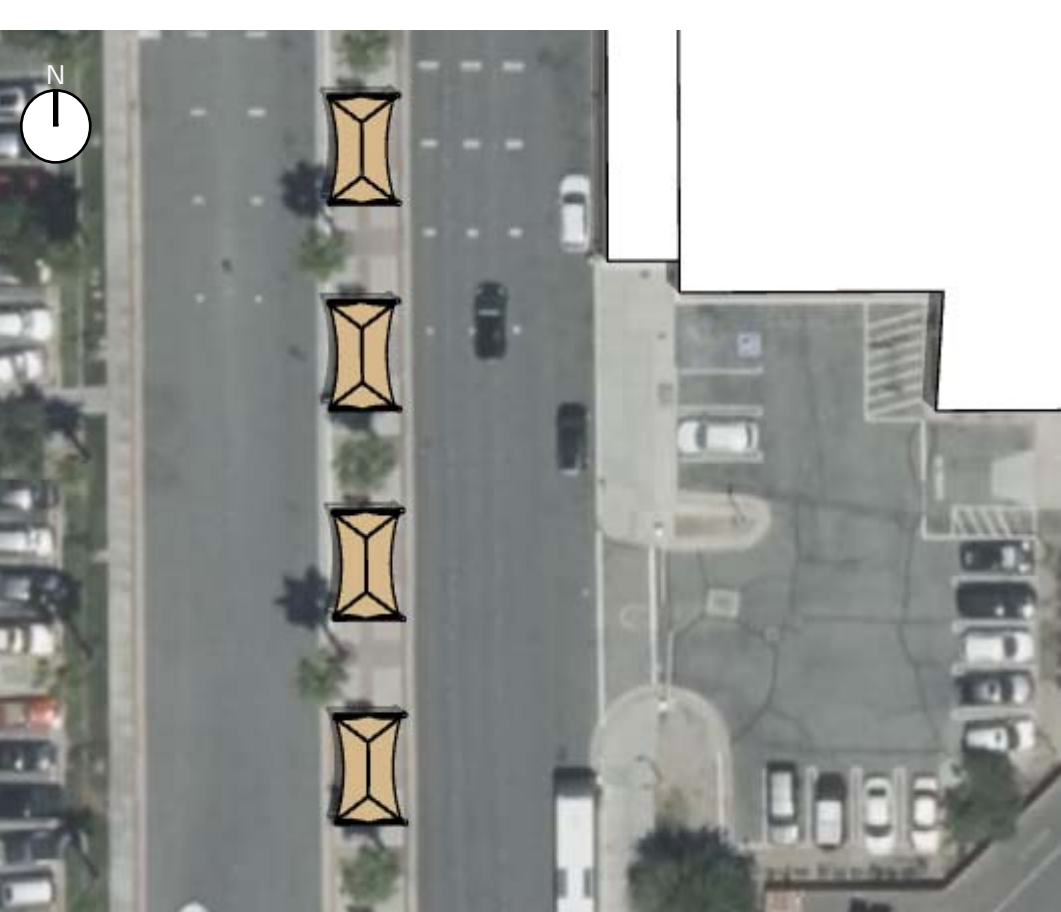
EXHIBIT C



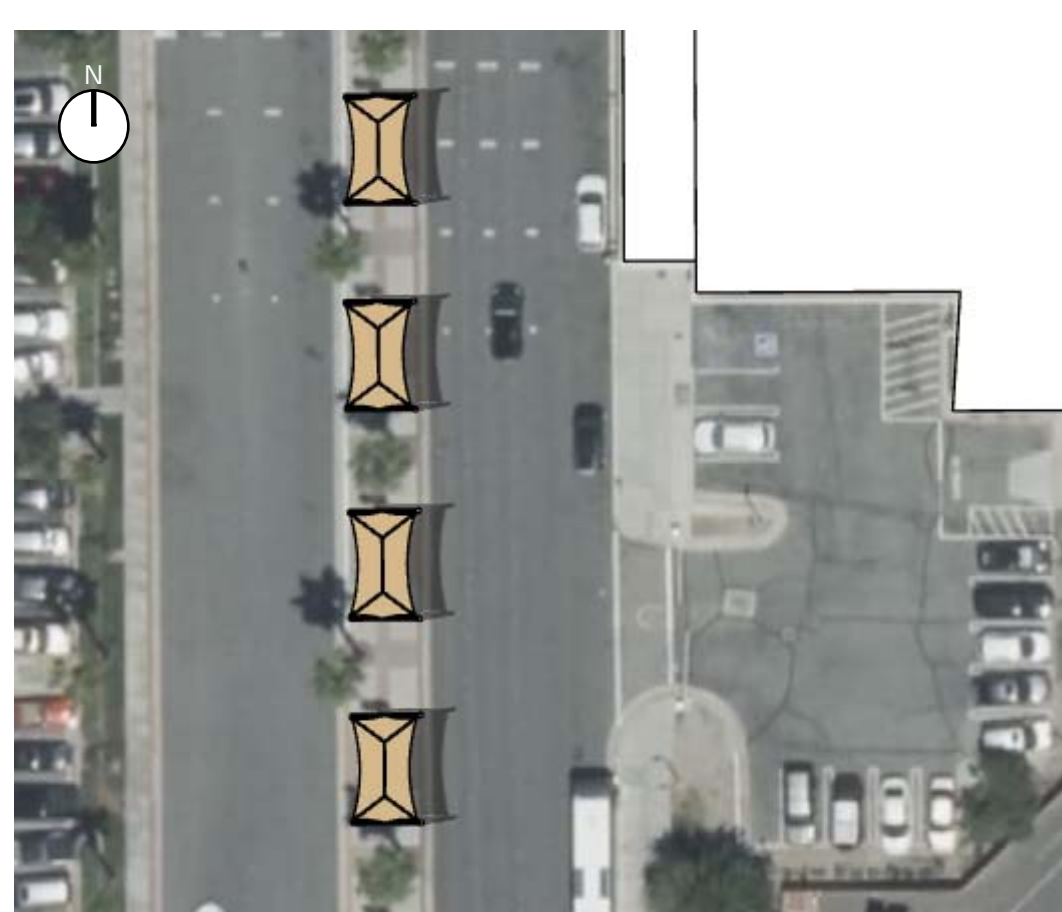
Desert Sand

Shade Factor: 80%

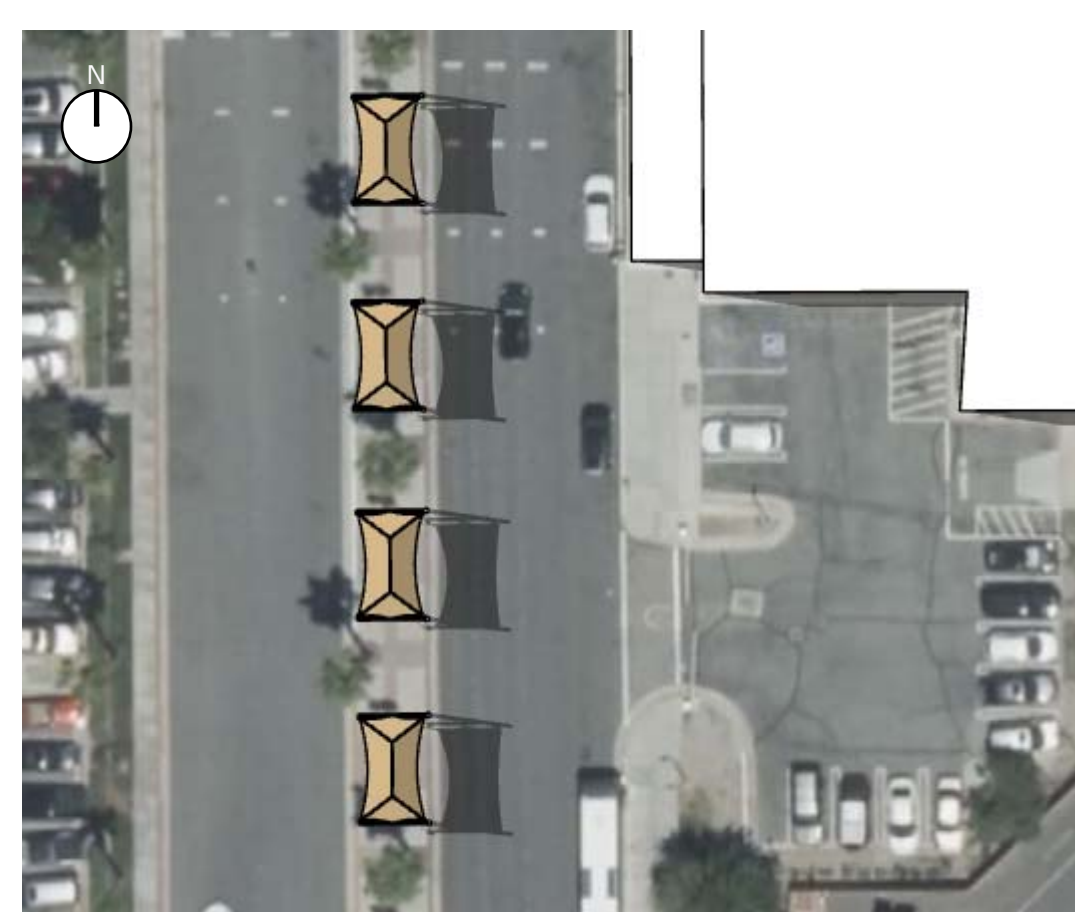
UV Blocking: 92%



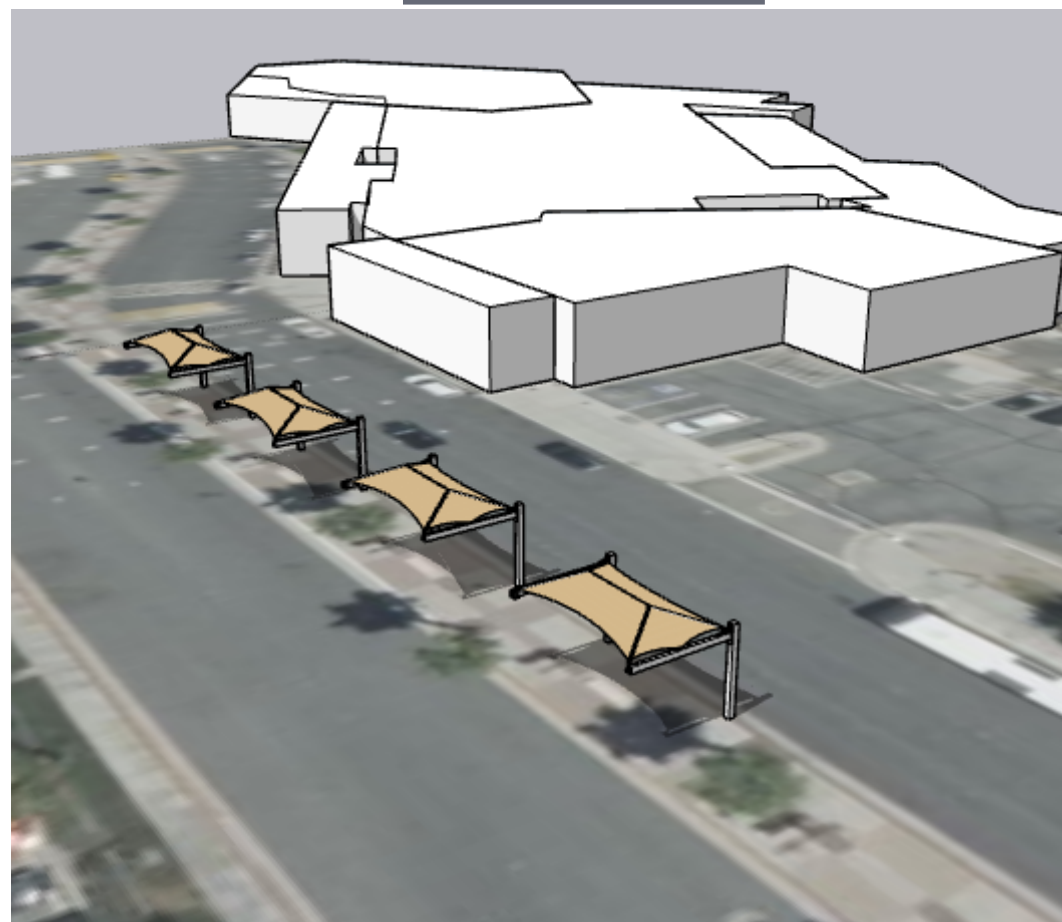
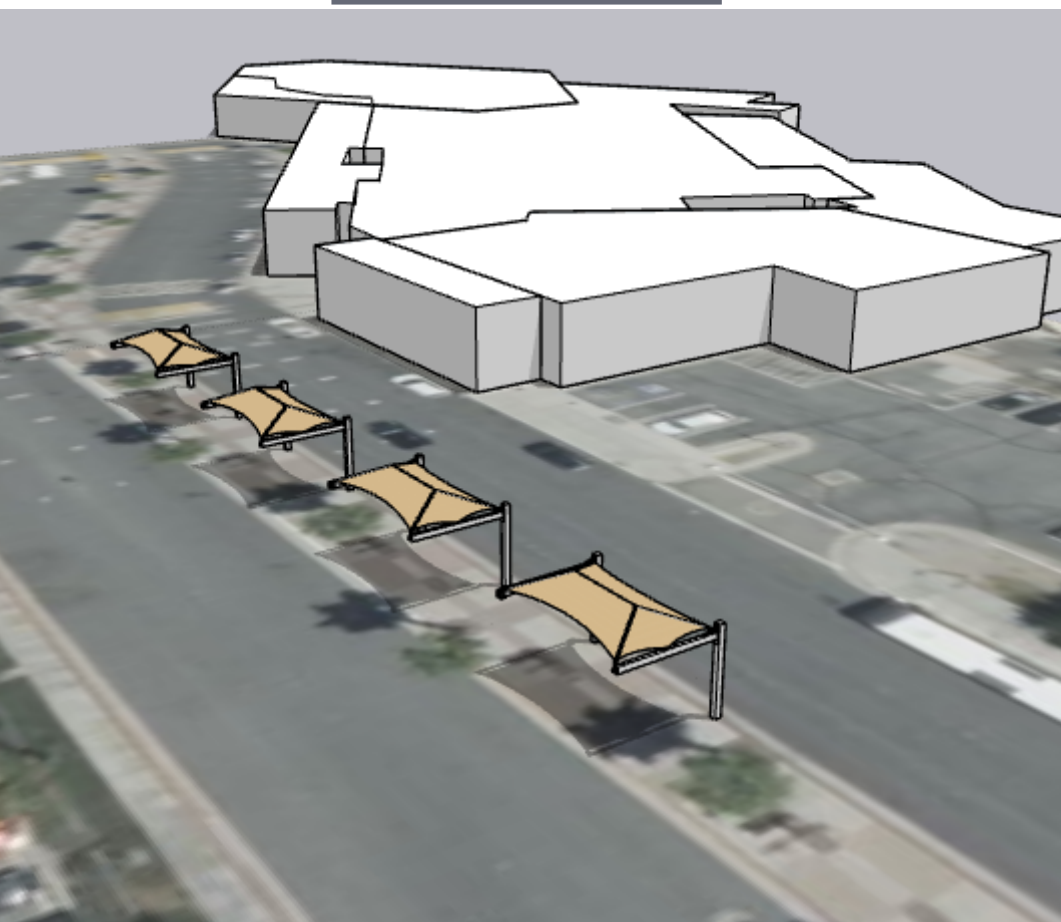
06/15 - 11:00 am

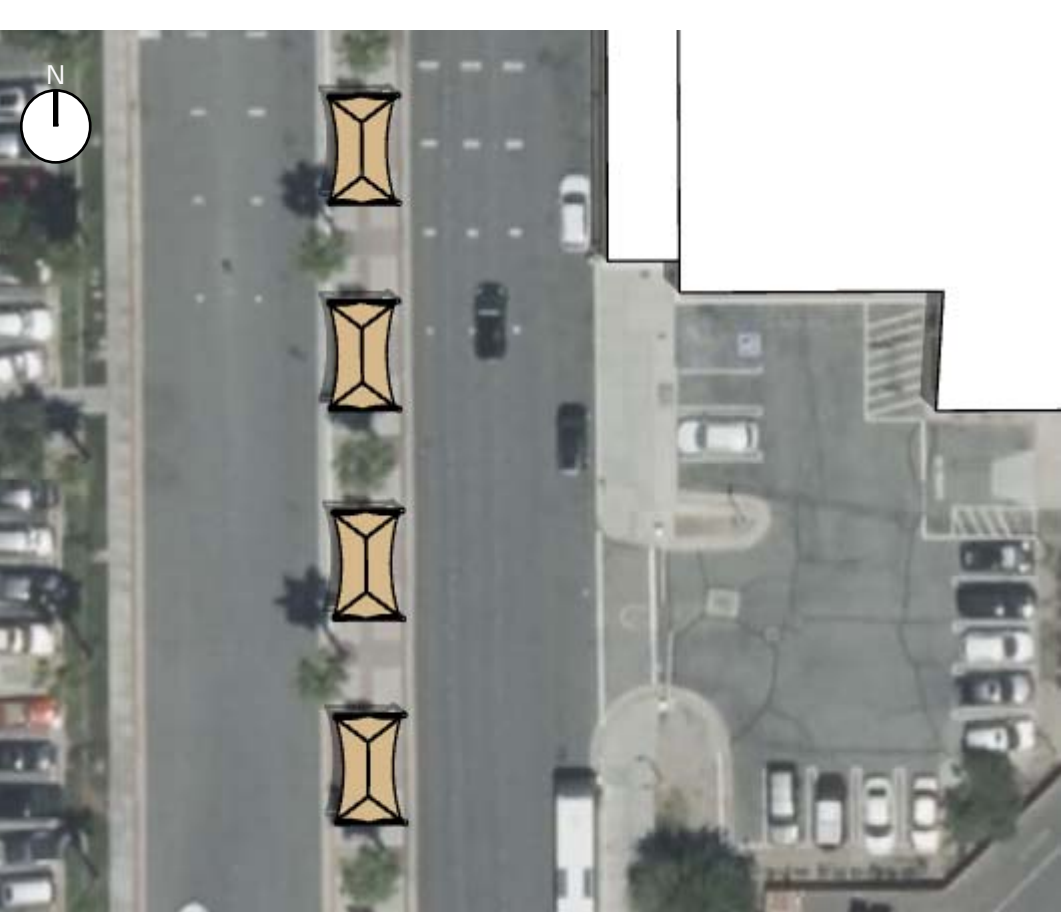


06/15 - 2:00 pm

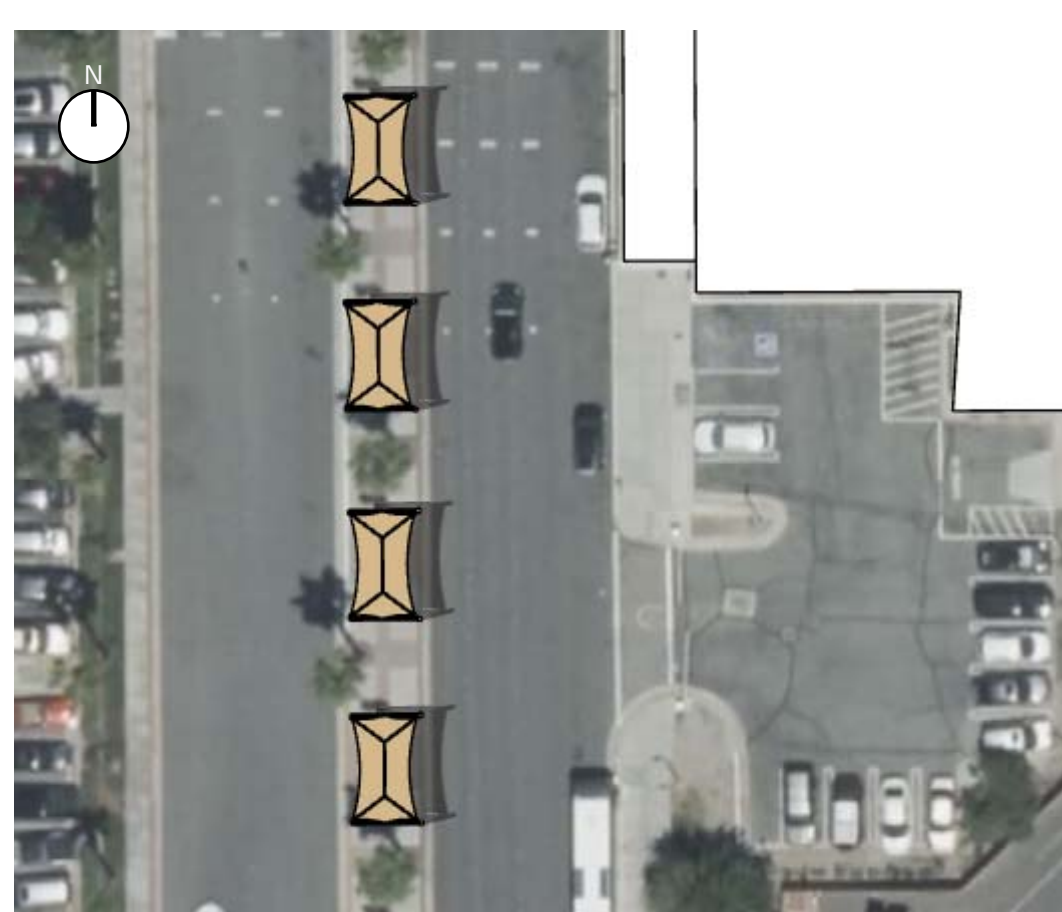


06/15 - 4:00 pm

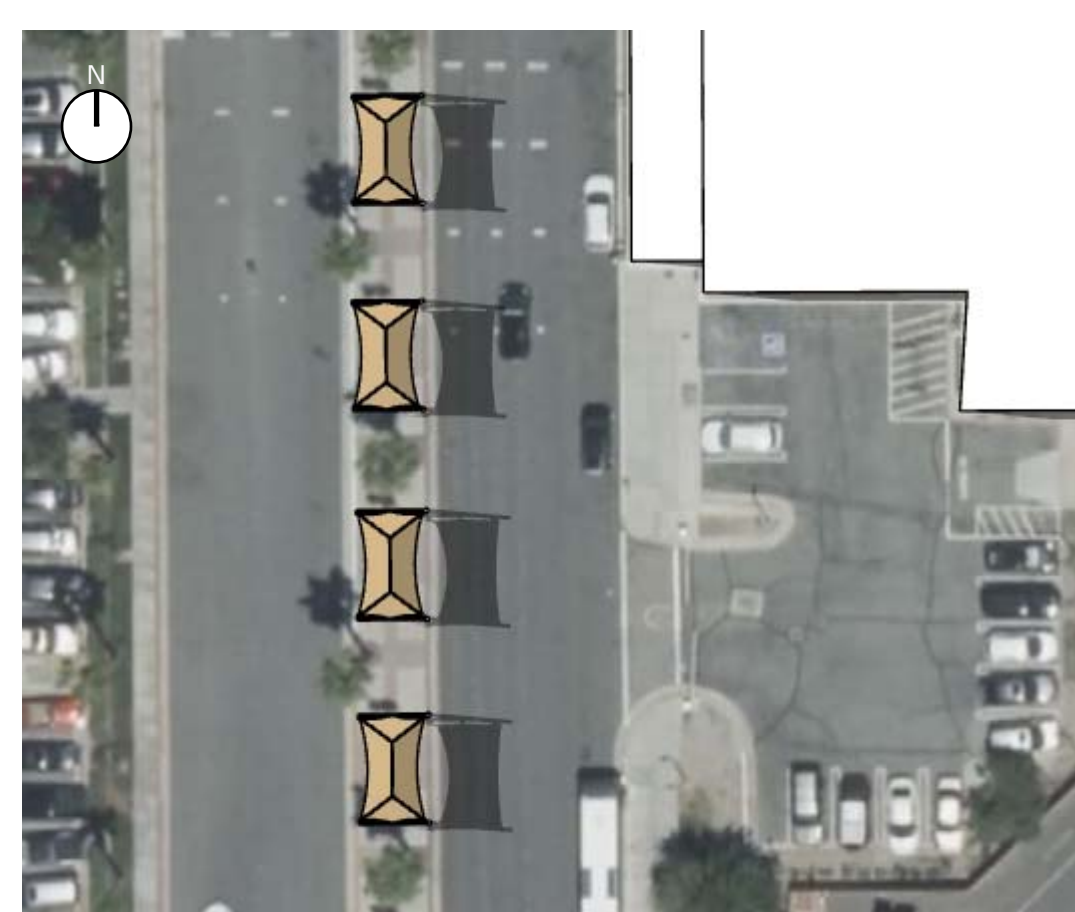




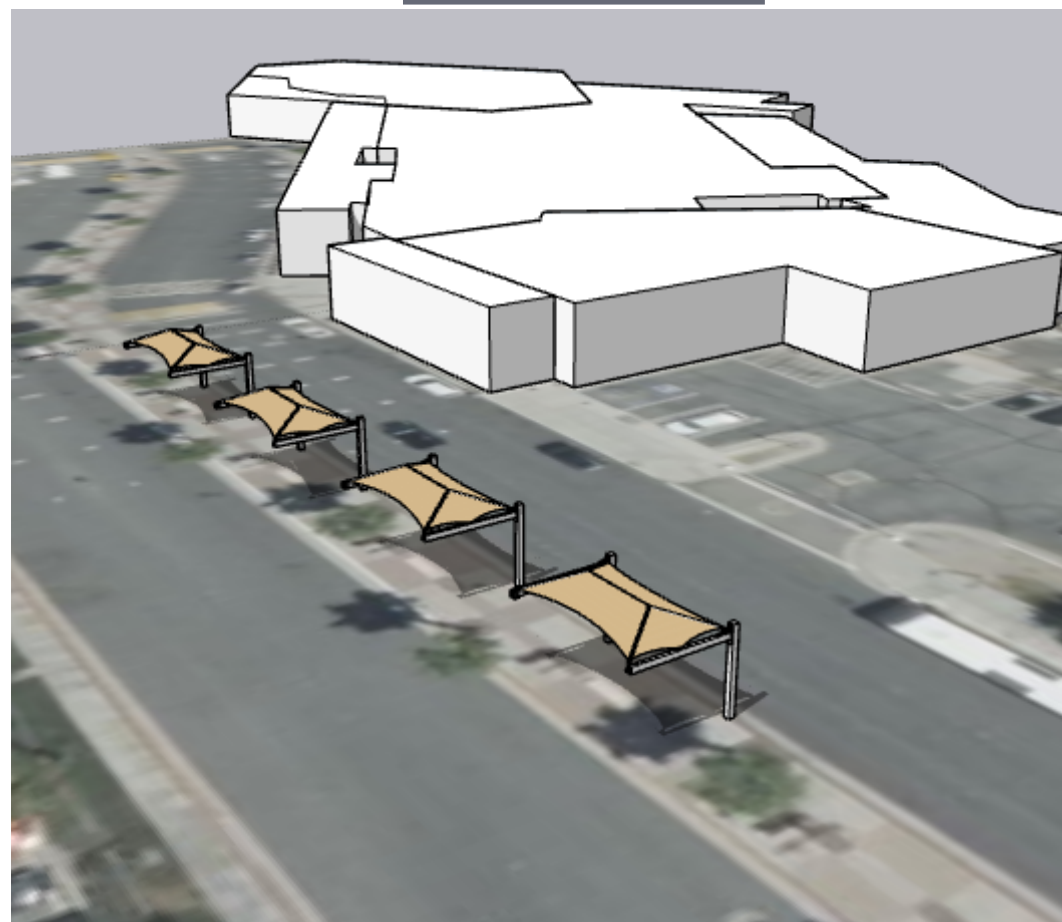
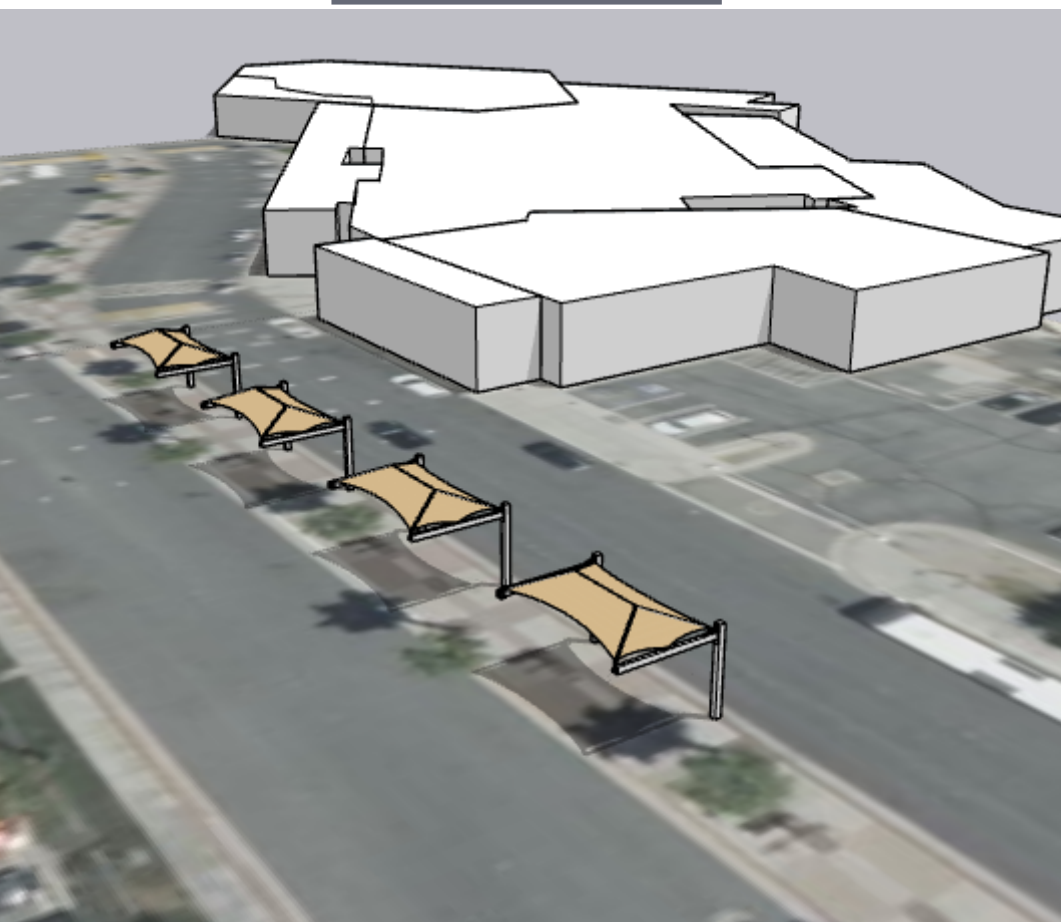
07/15 - 11:00 am

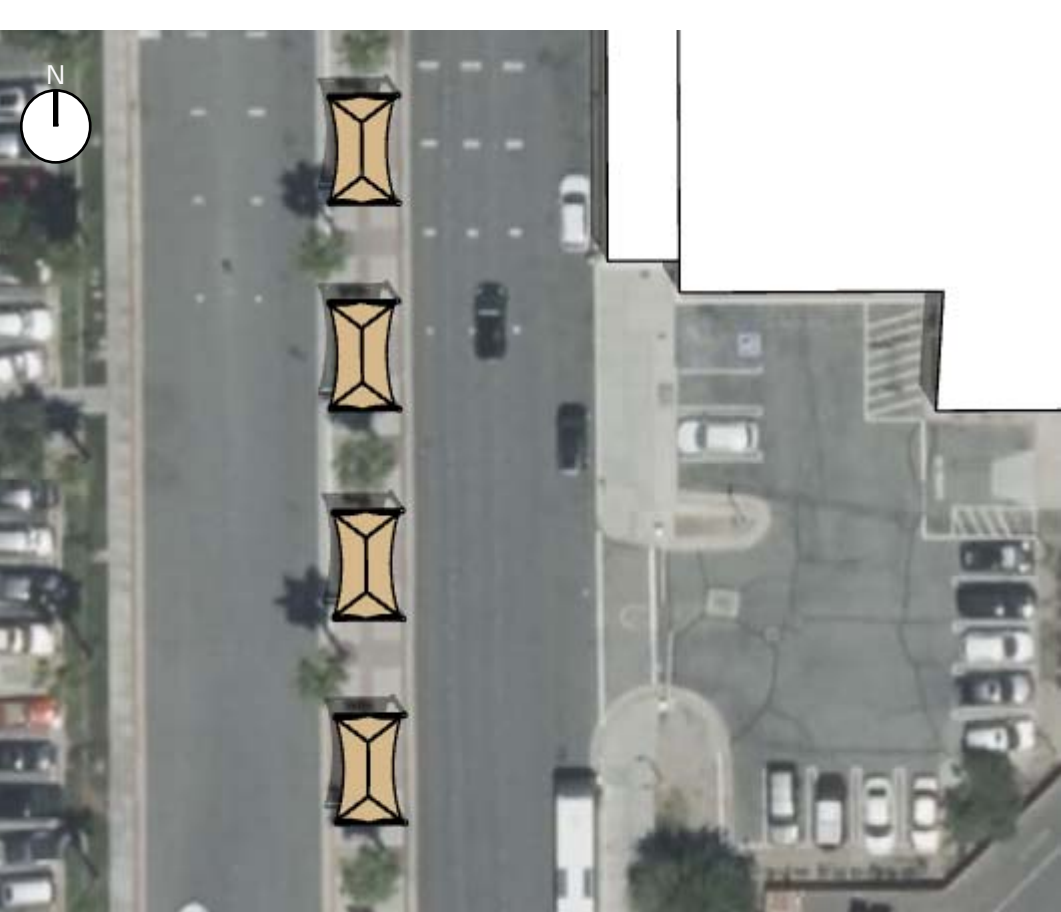


07/15 - 2:00 pm

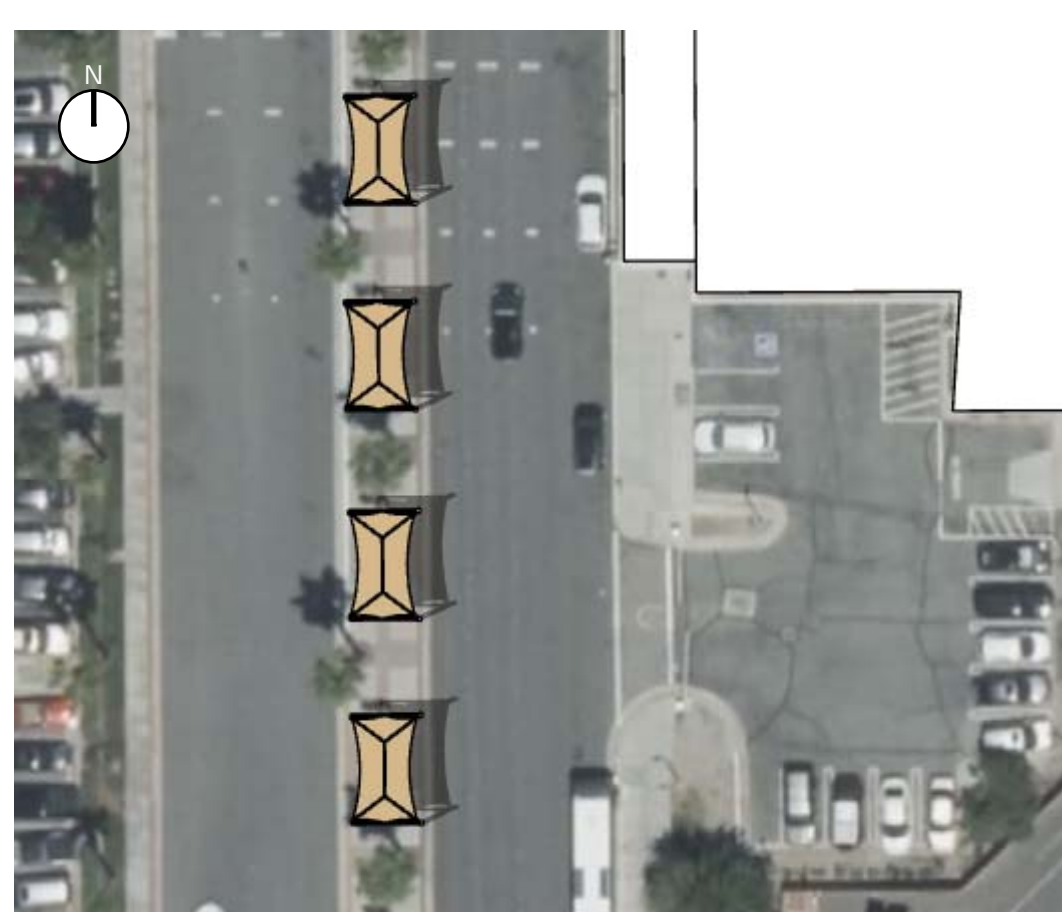


07/15 - 4:00 pm

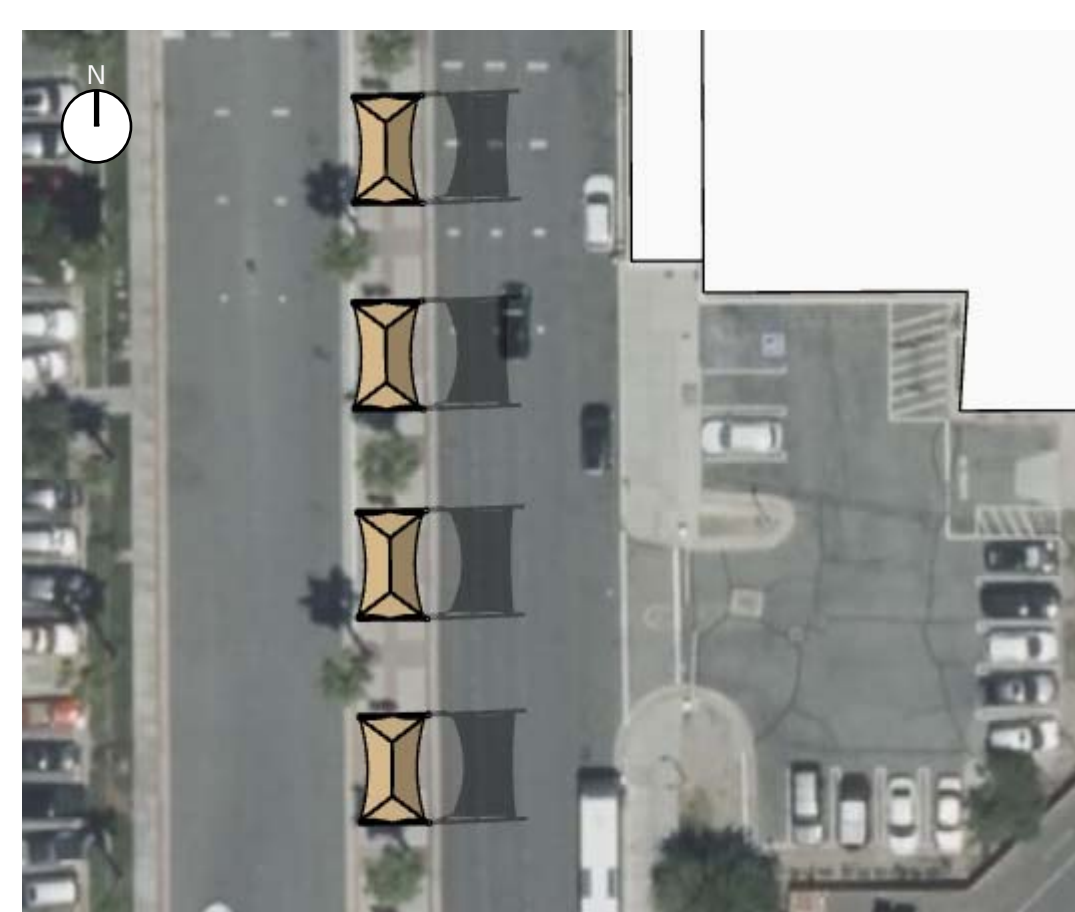




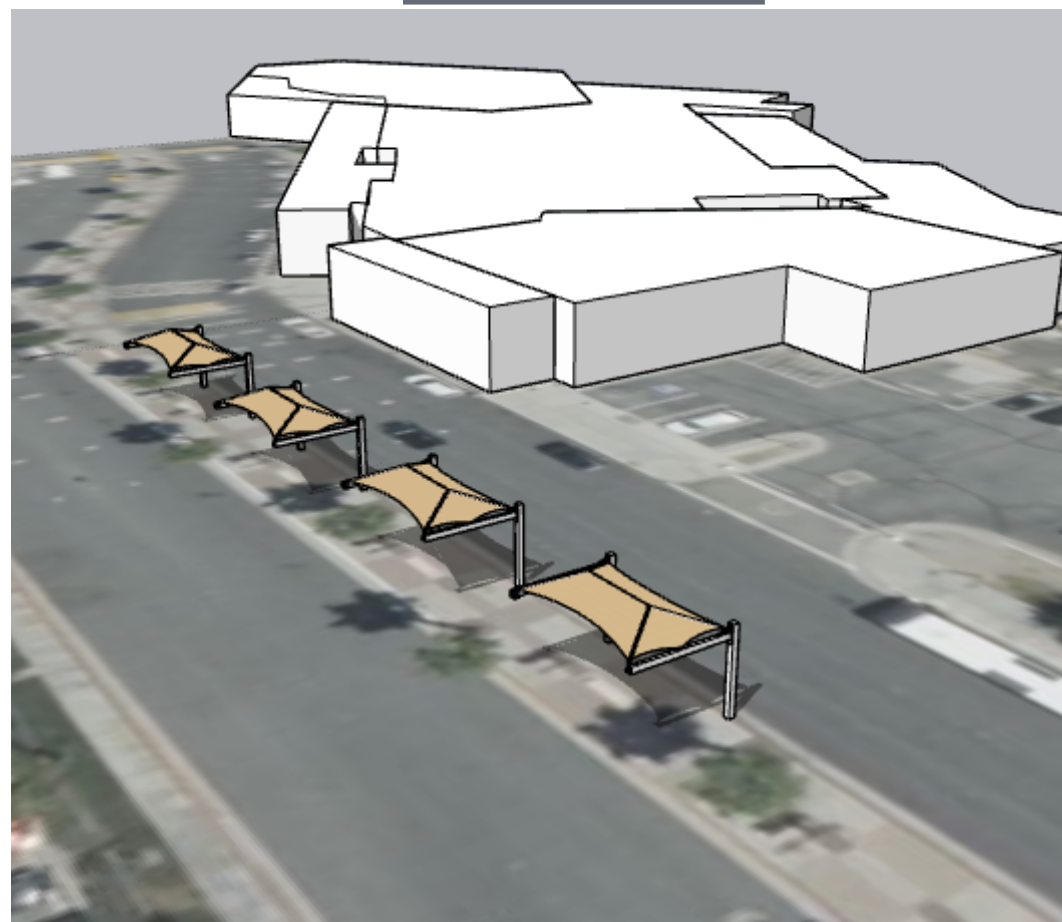
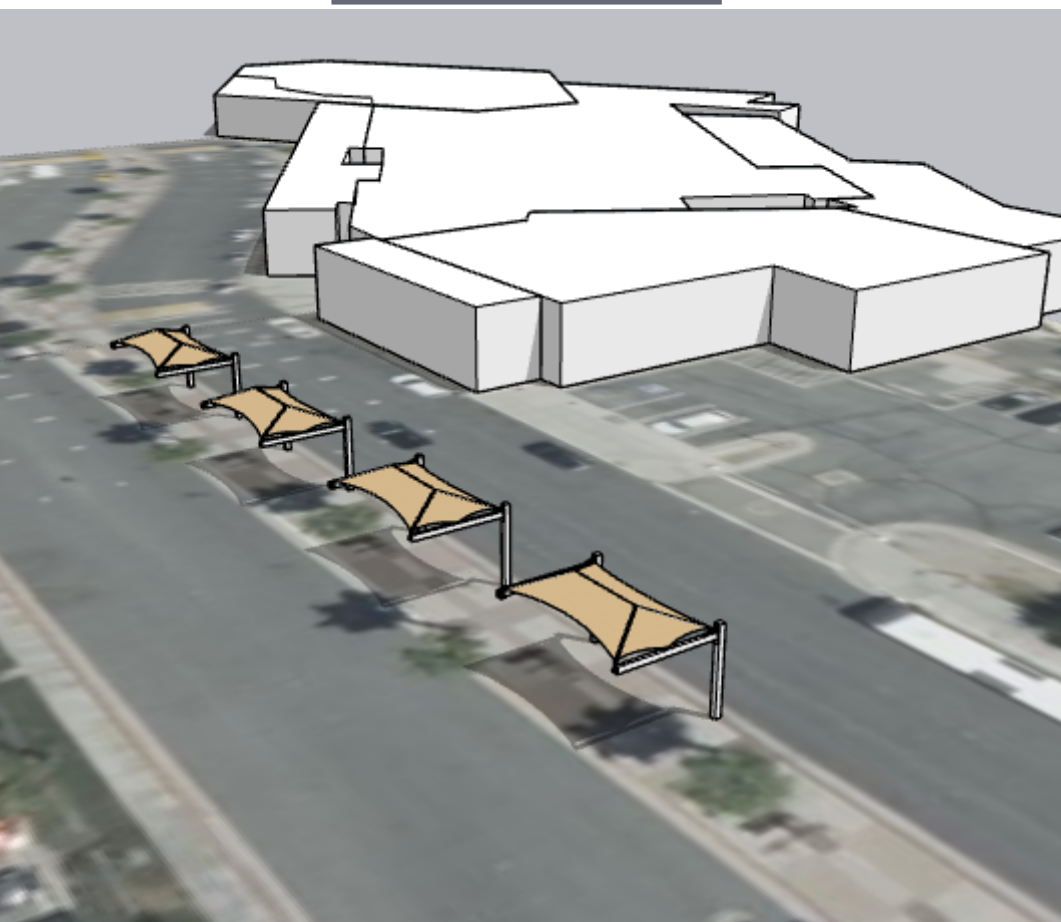
08/15 - 11:00 am



08/15 - 2:00 pm



08/15 - 4:00 pm



ATTACHMENT C
(City Council Resolution)

RESOLUTION NO. 22480

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PALM SPRINGS, CALIFORNIA DESIGNATING THE WEST FAÇADE OF THE PALM SPRINGS INTERNATIONAL AIRPORT LOCATED AT 3400 EAST TAHQUITZ CANYON WAY, AS A CLASS 1 HISTORIC SITE.

WHEREAS, Chapter 8.05 of the Palm Springs Municipal Code allows for the designation of historic sites; and

WHEREAS, on October 14, 2008, the Historic Site Preservation Board initiated an application for historic site designation of the west façade of the Palm Springs International Airport located at 3400 East Tahquitz Canyon Way; and

WHEREAS, notice of a public hearing of the Historic Site Preservation Board of the City of Palm Springs to consider designation of the west façade of the Palm Springs International Airport located at 3400 East Tahquitz Canyon Way as a Class 1 historic site was issued in accordance with applicable law; and

WHEREAS, on March 10, 2009, the Historic Site Preservation Board conducted a public hearing in accordance with applicable law to consider designation of the west façade of the Palm Springs International Airport located at 3400 East Tahquitz Canyon Way as a Class 1 historic site; and

WHEREAS, at said hearing, the HSPB adopted Resolution #70 to recommend to City Council designation of the west façade of the Palm Springs International Airport located at 3400 East Tahquitz Canyon Way as a Class 1 historic site; and

WHEREAS, notice of a public hearing of the City Council of the City of Palm Springs to consider designation of the west façade of the Palm Springs International Airport located at 3400 East Tahquitz Canyon Way, as a Class 1 historic site was issued in accordance with applicable law; and

WHEREAS, on April 15, 2009 the City Council conducted a public hearing in accordance with applicable law to consider designation of the west façade of the Palm Springs International Airport located at 3400 East Tahquitz Canyon Way as a Class 1 historic site; and

WHEREAS, the designation of the west façade of the Palm Springs International Airport located at 3400 East Tahquitz Canyon Way shall further the purpose and intent of Chapter 8.05; and

WHEREAS, the designation of the west façade of the Palm Springs International Airport located at 3400 East Tahquitz Canyon Way promotes the sensitive preservation of said site; and

WHEREAS, in accordance with the California Environmental Quality Act (CEQA), the designation of a historic site is categorically exempt from environmental review pursuant to Section 15331 for the preservation of historical resources; and

WHEREAS, the City Council has carefully reviewed and considered all of the evidence in connection with the designation, including but not limited to the staff report, application and historical research, all written and oral testimony presented and notes the following:

1. In 1966, the City of Palm Springs commissioned architect Donald Wexler to design the terminal building of the Palm Springs International Airport located at 3400 East Tahquitz Canyon Way in Palm Springs.
2. The defining historic characteristics of these buildings are the main terminal building and the radiating x-shaped wing concourse buildings which are recognized as a mid-century design with desert focus.

THE CITY COUNCIL OF THE CITY OF PALM SPRINGS DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1: Pursuant to CEQA, the City Council finds that the designation of the western façade of the Palm Springs International Airport located at 3400 East Tahquitz Canyon Way as a Class 1 historic site is categorically exempt from environmental review pursuant to Section 15331 whereby this designation is for the preservation of a historical resource.

SECTION 2: Pursuant to Section 8.05.020.a.4 and 5 of the Palm Springs Municipal Code, the City Council does hereby make the following findings;

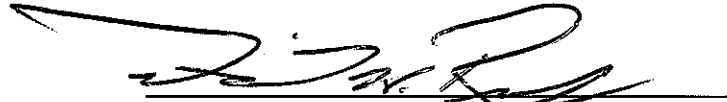
4. That the western façade of the Palm Springs International Airport embodies the distinctive characteristics of a type, period or method of construction, because the main terminal of the airport buildings resembles that of other mid-century modern designs of the desert region in that era. Further, the original airport terminal building and x-shaped concourse buildings were constructed with modules, using steel frame construction, and expansive use of glass, flat cantilevered roofs, thin sleek structural supports, and were laid as to be pedestrian friendly. The design uses a combination of materials and architectural elements which are unique to the original airport terminal building and radiating x-shaped concourse structures. The buildings and the layout of the buildings were considered creative and innovative in their design and were a model of efficiency for small hub airports.

5. That the western façade of the Palm Springs International Airport presents the work of a master builder, designer, artist, or architect whose individual genius influenced his age; or that possesses high artistic value, because the Palm Springs Airport terminal building and concourse buildings was designed by Donald Wexler, one of Palm Springs' (and the Coachella Valley's) most prolific and accomplished architects. Further, the west façade reflects a sophisticated approach to modern design, an attention to detail, the innovative use of materials, a careful response to the harsh desert environment through the use of long overhanging roof structures to shelter glass areas from the heat of the sun, the careful orientation of the buildings to maximize the view of the San Jacinto Mountains, the balanced proportion and scale of the building, and the pedestrian friendly design of the exterior and interior spaces.

SECTION 3: Based upon the foregoing, the City Council does hereby designate the west façade of the Palm Springs International Airport located at 3400 East Tahquitz Canyon Way, Palm Springs, California as a Class 1 Historic Site subject to the following conditions;

1. The City may demark the west facade as a historic site with a marker of the City's choosing. The historic marker shall be placed in a location visible from the public right-of-way. The City shall maintain the marker in the location installed and pay for the replacement cost if the marker is lost, stolen, or otherwise removed from the property.
2. All future exterior modifications to the west façade, including any appurtenant structures attached thereto, shall require Historic Site Preservation Board review pursuant to Municipal Code Ordinance 8.05, in addition to any other review required by law.
3. No permit for the alteration of the exterior of the west facade, including signage and any of the defining elements and characteristics of the west façade, shall be issued except in compliance with Section 8.05 of the Municipal Code, including review by the Historic Site Preservation Board, as required.
4. That the City Clerk submits the Council Resolution to the County recorder for recordation within 90 days of the effective date of this resolution.
5. All existing or previously approved alterations shall be considered acceptable.
6. Any mandated changes by any federal agencies, such as the FAA or TSA, may be reviewed by staff for potential exclusion from HSPB review

ADOPTED THIS 13th day of May, 2009.


David H. Ready, City Manager

ATTEST:

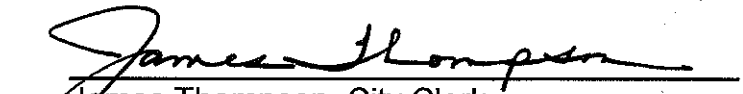

James Thompson, City Clerk

CERTIFICATION

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF PALM SPRINGS)

I, JAMES THOMPSON, City Clerk of the City of Palm Springs, hereby certify that Resolution No. 22480 is a full, true and correct copy, and was duly adopted at a regular meeting of the City Council of the City of Palm Springs on the 13th day of May, 2009, by the following vote:

AYES: Councilmember Foat, Councilmember Hutcheson, Councilmember Weigel, Mayor Pro Tem Mills, and Mayor Pougnet.
NOES: None.
ABSENT: None.
ABSTAIN: None.


James Thompson, City Clerk
City of Palm Springs, California 05/26/2009

Historic Site
Preservation Board
Meeting

MEETING DATE: 04/07/2026

SUBMITTED BY: PLANNING

SUBJECT: **A REQUEST BY SHAHEEN SADEGHI FOR A CERTIFICATE OF APPROPRIATENESS - MINOR, TO MAKE EXTERIOR CHANGES TO THE EXISTING BUILDING LOCATED AT 457 NORTH PALM CANYON DRIVE (APN #513-082-007), CASE: CAMI-2026-0004 (SY).**

RECOMMENDATION: To approve the request with conditions. Pursuant to CEQA, this action is a project that would qualify for a categorical exemption.

SUBJECT:

A REQUEST BY SHAHEEN SADEGHI FOR A CERTIFICATE OF APPROPRIATENESS - MINOR, TO MAKE EXTERIOR CHANGES TO THE EXISTING BUILDING LOCATED AT 457 NORTH PALM CANYON DRIVE (APN #513-082-007), CASE: CAMI-2026-0004 (SY).

RECOMMENDATION: To approve the request with conditions. Pursuant to CEQA, this action is a project that would qualify for a categorical exemption.

Attachments

Item 4B



HISTORIC SITE PRESERVATION BOARD STAFF REPORT

DATE: April 7, 2026

NEW BUSINESS

SUBJECT: APPLICATION BY OWNER SHAHEEN SADEGHI FOR THE APPROVAL OF A CERTIFICATE OF APPROPRIATENESS – MINOR TO MAKE EXTERIOR CHANGES TO THE RUBIN BUILDING, A CLASS 1 SITE LOCATED AT 457 NORTH PALM CANYON DRIVE, HSPB #167 / CASE CAMI 2026-0004 (SY).

FROM: Department of Planning Services

SUMMARY

The owner of the Rubin Building at 457 N. Palm Canyon Drive is seeking approval to rehabilitate the designated landmark through exterior modifications, including the installation of new exterior light fixtures, application of exterior paint, and the creation of a semi-enclosed outdoor space at the front of the building to accommodate future dining and other commercial uses. The mixed-use building has commercial space on the ground level and residential units on the second floor. The building was designed by Albert Raymond Walker in 1946 and retains many of its original features with the most important character-defining features identified as the arcade of storefronts that pass through the center of the building. The owner also plans to undertake maintenance and restoration work that includes removing wall-mounted HVAC units and repairing existing windows.

ISSUES:

1. During the designation process, the exterior of the storefronts in the arcade and the trim on the front façade were painted in colors that were not consistent with the minor architectural review approval that was granted.
2. During the designation process, new light fixtures were installed in the arcade without approval. These new fixtures do not appear to be period appropriate.

RECOMMENDATION:

Approve the proposed exterior modifications with the following conditions to be reviewed and approved at the staff level:

1. Provide a detailed design of the semi-enclosed outdoor space in front of the building with plantings that are low and will not obscure the visibility of the building. No permanent awnings/covers to be attached to the front façade of the structure.

2. Restore projecting display windows on the front elevation with exposed metal trim when this feature is to be repaired and/or reconstructed.
3. Replace new wall-mounted light fixtures with simple fixtures that are more period appropriate.
4. Species of proposed trees in the front of the building should be drought-tolerant, single-stem, fruitless shade trees.

BACKGROUND AND SETTING:

After the property was purchased by the new owner in March of 2025, the site was designated a historic Class 1 landmark by City Council in November of that same year. A Land Use Permit (LUP) has been granted for a café on the ground floor with outdoor dining in front of the building. The owner intends to restore and repair historic features of the building using the historic resource report as a guide for this work.

<i>Relevant and Recent Past Actions</i>	
1946	The Rubin Building completed construction.
October 7, 2025	HSPB recommended Class 1 status to City Council.
November 12, 2025	City Council designated the Rubin Building a Class 1 landmark.

EAST (FRONT) ELEVATION FROM NORTH PALM CANYON, 2026.



**ARCADE OF STOREFRONTS PRIOR TO REPAINT
AND NEW LIGHT FIXTURES, 2025.**



**CLOSEUP PHOTO OF PAINTED SURFACE OF
THE PROJECTING FRONT DISPLAY WINDOW**



ANALYSIS:

Pursuant to Municipal Code Section 8.05.110 (Alterations of Class 1 and Class 2 Historic Resources – Certificate of Appropriateness), HSPB shall evaluate the proposal for compatibility and mitigate any adverse impacts to character-defining features of the historic resource by reviewing it for compliance with the four criteria:

Certificates of Appropriateness (“C of A’s”) are processed pursuant to Municipal Code Section 8.05.110 as follows:

Criteria and Findings for alterations to Class 1 sites:

The HSPB shall approve the C of A’s if the following findings can be met

1. *That the proposed alteration does not significantly impact or materially impair the character-defining features of the historic resource as listed in the resolution for historic designation, or, where a character-defining feature may be impacted, the proposed alteration minimizes that impact as much as possible.*

The original paint scheme for the storefronts inside the arcade was not found, and the four proposed paint colors are darker than a typical desert neutral color scheme. In addition, the exterior trim and the projecting display window on the front façade of the building was painted a metallic bronze. The new color of the building façade is consistent with the minor architectural approval that was granted prior to the designation of the site. While the color scheme for the arcade is not a typical color palette, due to its reduced visibility from the street, staff finds the darker color palette does not detract or materially impair character-defining features of the historic resource. The metal trim on the

projecting storefront windows appears to have been previously painted a silver color that was failing in several areas. Based on these findings staff recommends approval of the proposed paint scheme with the condition that a future restoration of the projecting storefront windows will remain a metal finish to match historic documentation of the feature.

The newly installed light fixtures are bronze with vertical detailing that emulate gothic revival styling which is not consistent with the Regency Revival style of the building. Staff recommends selecting an alternative light fixture design that is simple and aligns with other fixtures found on the building for better design compatibility.

Lastly, the proposal to create a semi-enclosed outdoor space in front of the building is supported but more details are required. Planting materials in front of the building are shown in the historic rendering and postcard but to use them to define a boundary between public and private space may present some challenges as it relates to long-term maintenance and the potential risk or obscuring or damaging character-defining features over time. Staff recommends working out these details further and reviewing the final design with staff for approval.

Staff finds the proposal for exterior modifications would meet this criterion with the proposed conditions.

2. *That the proposed alteration will assist in restoring the historic resource to its original appearance where applicable, or will substantially aid its preservation or enhancement as a historic resource;*

The applicant is preparing a long-term plan in conjunction with the Mills Act to repair and restore historic features like the exterior fenestration, but the proposed exterior improvements are intended to rehabilitate the resource and enhance its functionality. The project will activate the site and contribute to the vitality of the commercial area.

Staff finds that this criterion is met because reinvigorating the site will enhance the viable use of the historic resource.

3. *That any additions to the historic resource are consistent with the massing, proportions, materials, and finishes of the existing historic resource, and: (i) can be distinguished from the existing historic resource as may be appropriate; or (ii) are indistinguishable from the historic resource as may be appropriate, and where such alterations are clearly documented in the City's archival file for the historic resource as being non-original to the historic resource;*

No new additions are being proposed currently. This criterion is met. If the revised design for the semi-enclosed outdoor space calls for more permanent features like fences or patios, these features will need to be evaluated by staff for design consistency and clearly documented in the case file for future reference.

4. *That, in cases where Federal funds are to be utilized in financing the proposed alterations, the alterations are consistent with the Standards for the Treatment of Historic Properties, as put forth by the U.S. Secretary of the Interior.*

This criterion is not applicable since the project does not involve any federal funding.

ENVIRONMENTAL ASSESSMENT:

The proposed alteration is considered a project pursuant to the guidelines of the California Environmental Quality Act (“CEQA”). Staff, as the lead agency, have evaluated the proposal relative to the CEQA Guidelines and determined the project is Categorically Exempt from further evaluation under CEQA as a Class 31 because the project proposes rehabilitation of the site that is consistent with the Secretary of the Interior Standards. The proposed scope of work as conditioned does not radically change, obscure or destroy character-defining features of the buildings or the surrounding landscape.

CONCLUSION:

The proposed exterior modifications to the recently designated mixed-use building are steps to rehabilitation the resource. Although repainting the exterior and installing new light fixtures are actions that could ultimately be reversed, it is important to make sure it does not damage or diminish the overall character of the site. Staff recommends approval with the list of conditions as stated above.

PREPARED BY:	Sarah Yoon, Associate Planner/Historic Preservation Officer
REVIEWED BY:	Anthony Riederer, Assistant Director of Planning Services

Attachments:

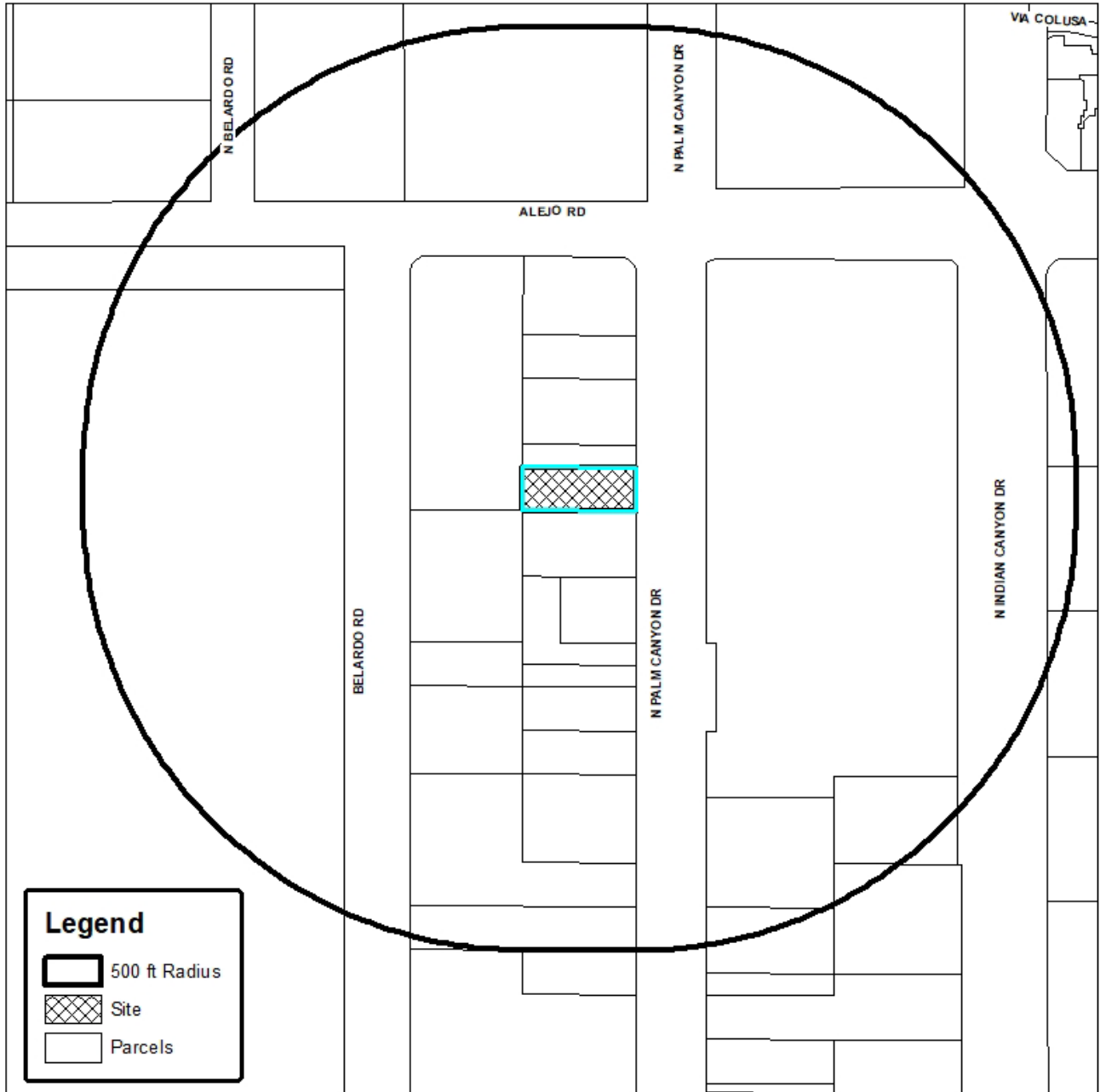
- A. Vicinity Map.
- B. Application.
- C. City Council Resolution for Designation.

ATTACHMENT A

(Vicinity Map)



Department of Planning Services Vicinity Map



CITY OF PALM SPRINGS
HSPB #167 – The Rubin Building
457 N. Palm Canyon Drive

ATTACHMENT B

(Application)

457 N. Palm Canyon Dr.

justification letter

Thank you for considering our proposed modifications at this address. Following is a justification for our request:

We have selected a more appropriate color palette for the storefronts inside the arcade of this building. . The previous colors were mixed in the arcade including red, yellow, black, white and brown details. These colors were not original so selected a simpler historic color palette to repaint these.. Color names included in submittal.

It is unclear what original lighting was for the arcade. There are some fluorescent lights which were just coming into use in the 40s. not clear if what was there was original but leaving these in place. The arcade is too dark and needs additional lights. Selected a brass light fixture to line the arcade that takes inspiration from an old light shown on exterior in a postcard.

Lastly, we are planning on adding some landscape back into the front setback. The original architectural sketches and the historic postcard show some planting here. This has been removed and is all concrete now.

In response to review items, see below...

1 That the proposed alteration does not significantly impact or materially impair the character-defining features of the historic resource as listed in the resolution for historic designation, or, where a character defining feature may be impacted, the proposed alteration minimizes that impact as much as possible; [arcade storefronts are paint modification only and proposed colors are more historically appropriate](#). [Lighting is needed in arcade for safety](#). [Have selected a historic looking fixture we felt was appropriate](#). [Building originally had landscaping in front setback which was removed at some point](#). [Restoring some of this front landscaping](#).

2 That the proposed alteration will assist in restoring the historic resource to its original appearance where applicable, or will substantially aid its preservation or enhancement as a historic resource; [while there is not original information on arcade colors, the proposed changes are more appropriate than what currently exists](#). [Lighting is new in arcade](#). [Landscaping is restoring a previous condition](#).

3 That any additions to the historic resource are consistent with the massing, proportions, materials, and finishes of the existing historic resource, and: (i) can be distinguished from the existing historic resource as may be appropriate; or (ii) are indistinguishable from the historic resource as may be appropriate, and where such alterations are clearly documented in the City's archival file for the historic resource as being non-original to the historic resource; [no new structural elements added](#).

That, in cases where Federal funds are to be utilized in financing the proposed alterations, the alterations are consistent with the Standards for the Treatment of Historic Properties, as put forth by the U.S. Secretary of the Interior [no federal funds used](#).

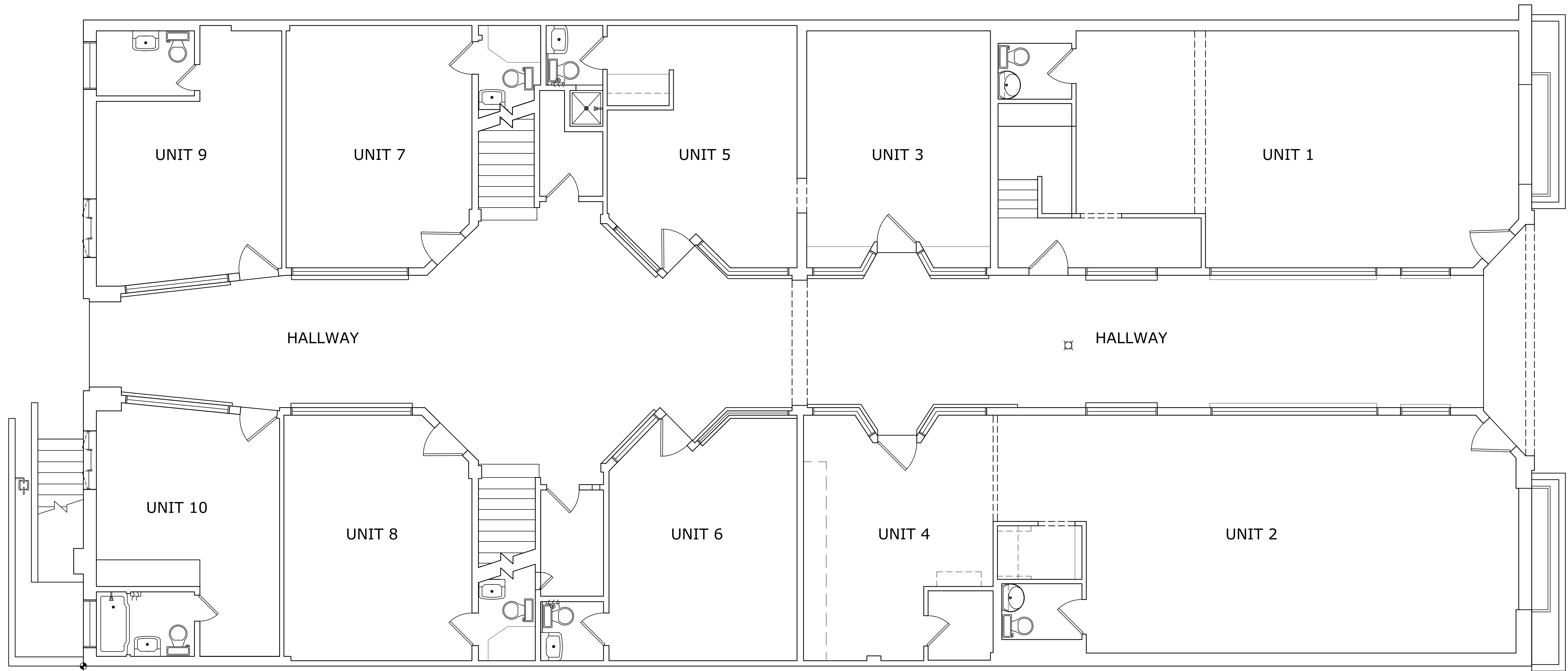
Thank you for your consideration,

Shaheen Sadeghi

owner

457 N. Palm Canyon Drive.

LEGEND			
LOW CASEWORK	REF	TWH	PV
UPPER CASEWORK	OV	WH	EP
FULL HEIGHT CASEWORK	W/D	WS	EH
W/D	DW	FD	DP
W	TC	GM	CLG
D	FUR	EM	HH
RR	REF	WH	EP
OV	OV	WS	FD
W/D	DW	FD	DP
W	TC	GM	CLG
D	FUR	EM	HH



1ST FLOOR

1ST FLOOR = 5477 SQ FT
 2ND FLOOR = 4011 SQ FT
 TOTAL SQ FT = 9488 SQ FT



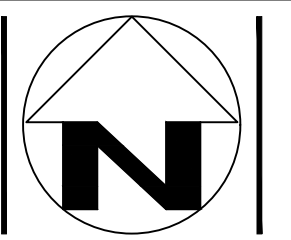
PREPARED FOR
CHRIS BENNETT

PROJECT NAME
457 N PALM CANYON DRIVE PROJECT
 PALM SPRINGS, CA

PLAN TYPE
FLOOR PLAN

ALL SITE PLANS CREATED BY PRECISION PROPERTY MEASUREMENTS LTD "PPM" ARE MADE EXCLUSIVELY FOR LANDSCAPING PURPOSES (CAL. BUS. & PROF. CODE §8727), & DO NOT INVOLVE THE DETERMINATION OF ANY PROPERTY LINE, & AS SUCH DO NOT CONSTITUTE LAND SURVEYING (CAL. BUS. & PROF. CODE §§8726-8727). IN ADDITION, PPM SERVICES & PLANS DO NOT CONSTITUTE CIVIL ENGINEERING (CAL. BUS. & PROF. CODE §§6702-6704), & THUS SHOULD NOT BE USED FOR ANY STUDIES OR ACTIVITIES DEFINED AS CIVIL ENGINEERING (CAL. BUS. & PROF. CODE §6731). ALL FLOOR PLANS CREATED BY PPM ARE INTENDED TO BE USED AS A REFERENCE FOR DESIGN & CONSTRUCTION & SHOULD NOT BE CONSIDERED A SUBSTITUTE FOR THE SERVICES OF A LICENSED STRUCTURAL ENGINEER OR LICENSED ARCHITECT. PPM MAKES EVERY REASONABLE EFFORT TO ENSURE THE ACCURACY OF THE INFORMATION FOUND IN OUR PLANS. HOWEVER, EVERY AS-BUILT DRAWING INHERENTLY CONTAINS ERRORS TO SOME DEGREE. IT IS THE DUTY OF THE ARCHITECT, CONTRACTOR, DESIGNER OR OTHER LICENSED PROFESSIONAL, AS A CONSULTANT TO THE PROPERTY OWNER, TO DETERMINE THE SUITABILITY OF THE AS-BUILT PLANS PRIOR TO CONSTRUCTION. MEASUREMENTS SHOULD BE FIELD CONFIRMED BEFORE COMMENCING CONSTRUCTION.

PROJECT NUMBER
9433_SW
 DATE
08/05/2025



SCALE
1/4" = 1'-0"

SHEET
2
 OF
3



review items

457 N. Palm Canyon





arcade paint

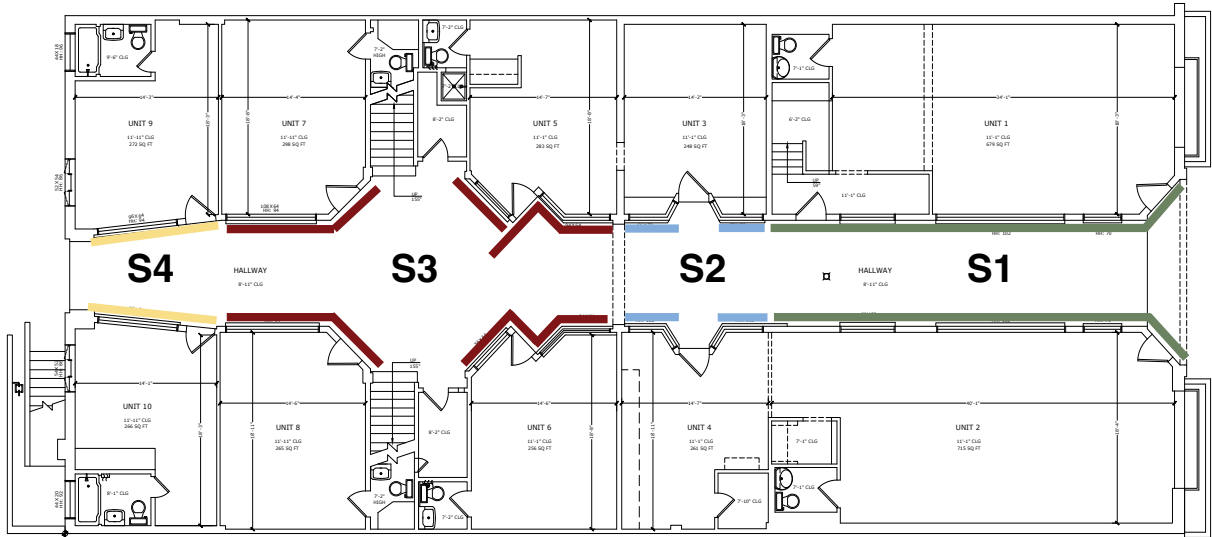
Arcade storefront painting existing

upon purchase, doors were painted a mix of colors throughout arcade (black, white, yellow, brown and red).

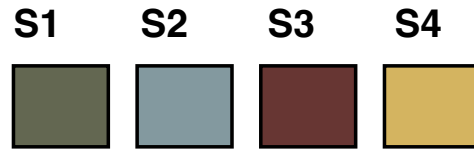


Arcade storefront painting modified

to simplify arcade a more traditional paint palette was chosen and trim and doors painted same color



S1	botanical garden DET518	dunn edwards erlotshield
S2	whit pool SW 9135	sherwin Williams- emerald urethane
S3	rockwood red SW2002	sherwin Williams- emerald urethane
S4	sundberg yellow	farrow ball high gloss-



- walls- honied white
- doors and window trim different on each store

storefront paint



arcade lighting

Arcade lighting existing

upon purchase, arcade had flourescent ceiling lights and this one wall sconce. unsure if either were original. flourescents were starting to be used in mid 1940s so possible. sconce did not look original but was used as inspriation for sconces selected.



Arcade lighting modified

fluorescents to remain. new brass sconce added down arcade. City commented on clear glass. Recommend frosting glass to hide light bulb.



• brass light sconce.

7.09 "Lx29.53 "H

lights

The floor plan shows a long arcade with ten units (UNIT 1 to UNIT 10) and two hallways. Red dots are placed along the arcade walls to indicate the locations of the new brass light sconces. The sconces are shown in three photographs: two side-by-side on the left and one on the right. The sconce is a decorative, vertical, brass fixture with a clear glass enclosure. The word 'lights' is written in a cursive font in the bottom right corner of the plan area.



only reference to exterior lights is from this historic postcard. appears to be a decorative french style sconce.



front landscape

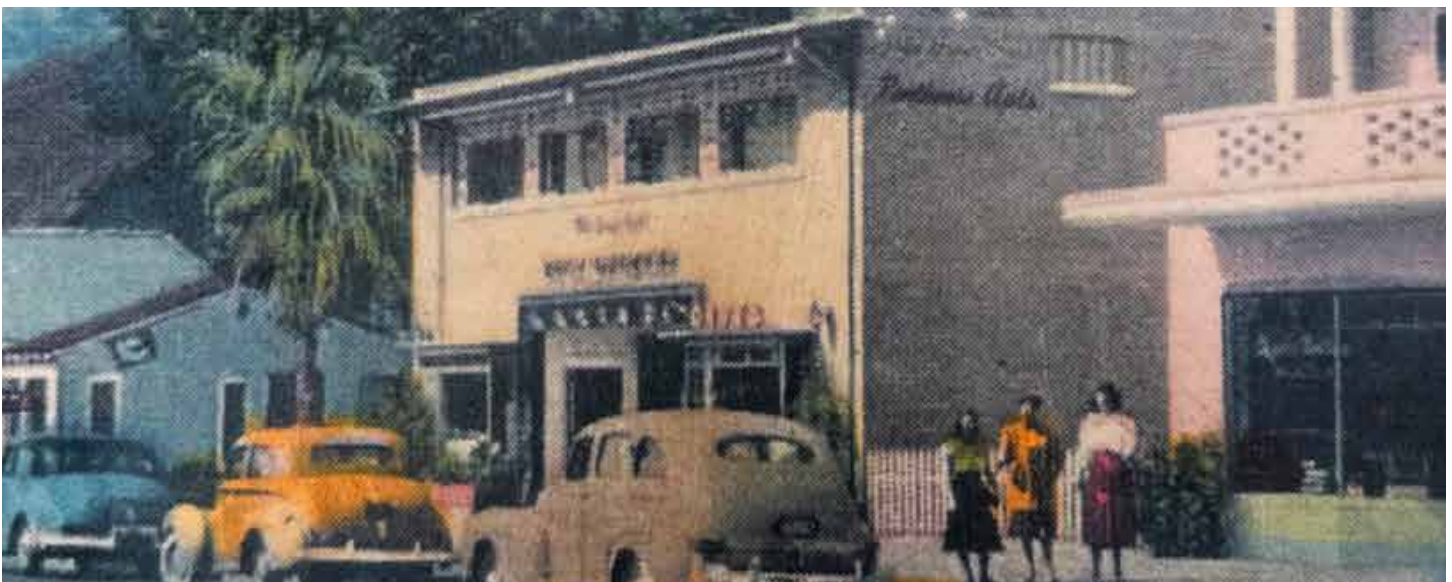
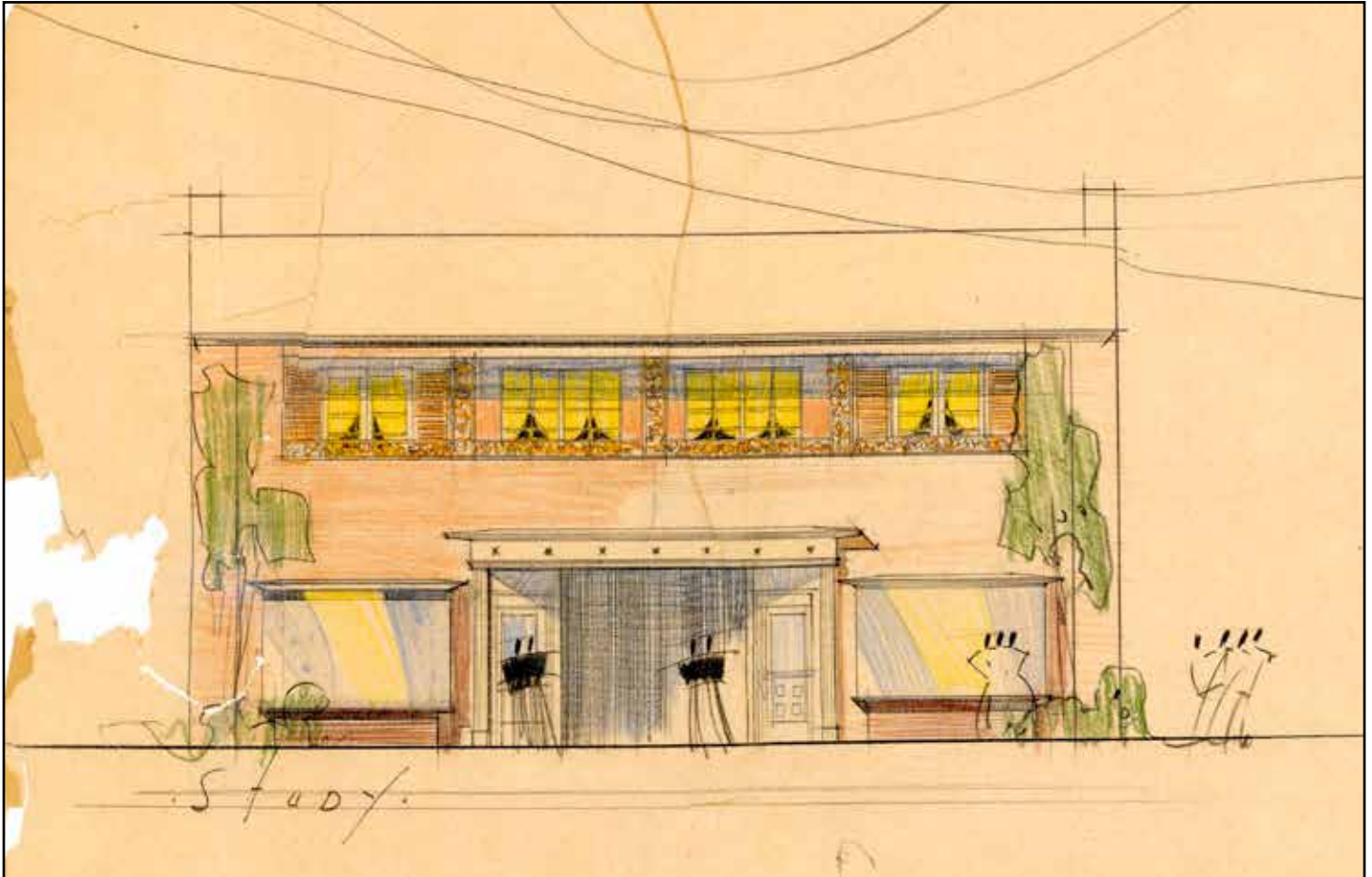
Front landscaping existing

existing landscape includes original planter under front storefronts.



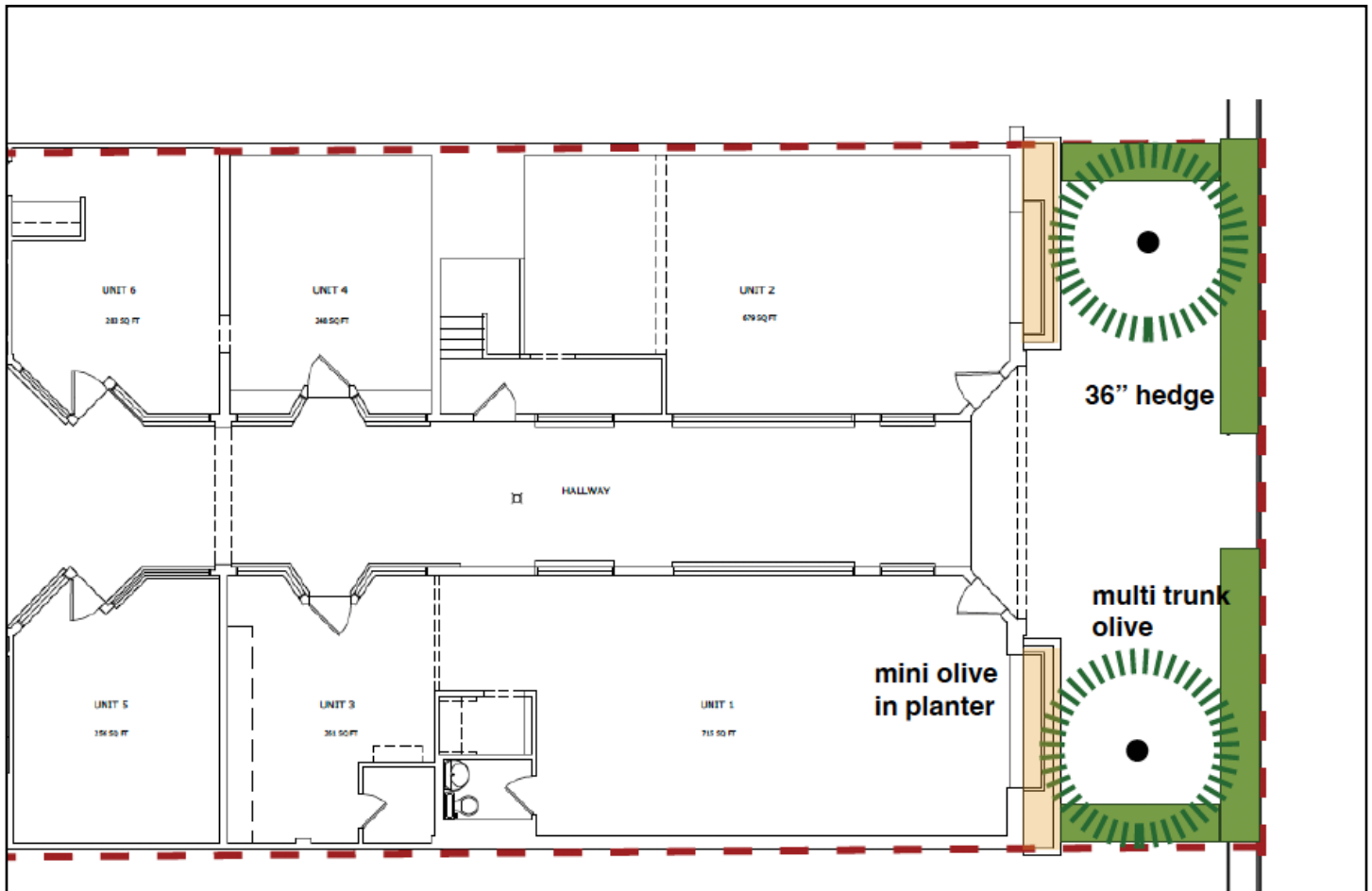
Front landscaping historic

original design intent was to have two trees in patio with ground planting. Not clear if this was originally installed. The historic postcard shows some ground planting and a single palm tree on left side of yard.



Front landscaping modified

goal is to plant two trees and hedge in ground similar to original sketch.



ATTACHMENT C
(City Council Resolution)

RESOLUTION NO. 25360

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PALM SPRINGS, CALIFORNIA, DESIGNATING THE RUBIN BUILDING, LOCATED AT 457 NORTH PALM CANYON DRIVE, AS A CLASS 1 (LANDMARK) HISTORIC RESOURCE HSPB #167, SUBJECT TO CONDITIONS (APN 513-082-007).

THE CITY COUNCIL FINDS AND DETERMINES AS FOLLOWS:

- A. WHEREAS, Chapter 8.05 of the Palm Springs Municipal Code allows for the designation of historic sites and districts; and
- B. WHEREAS, Rest Area LLC submitted an application seeking historic site designation of The Rubin Building located at 457 N. Palm Canyon Drive; and
- C. WHEREAS, on October 6, 2025, members of the Historic Site Preservation Board (HSPB) and City staff conducted site inspections of the proposed historic resource; and
- D. WHEREAS, on October 7, 2025, a noticed public hearing of the Palm Springs Historic Site Preservation Board to consider Case HSPB #167 was held in accordance with applicable law; and
- E. WHEREAS, at said hearing, the HSPB carefully reviewed and considered all the evidence presented in connection with the hearing on the project, including, but not limited to, the staff report and all written and oral testimony and voted unanimously to recommend that the Council designate The Rubin Building a Class 1 (Landmark) historic resource; and
- F. WHEREAS, on November 12, 2025, a noticed public hearing of the Palm Springs City Council to consider Case HSPB #167 was held in accordance with applicable law; and
- G. WHEREAS, at the said hearing, the City Council carefully reviewed and considered all the evidence presented in connection with the hearing on the project, including, but not limited to the staff report and all written and oral testimony.

THE CITY COUNCIL OF THE CITY OF PALM SPRINGS RESOLVES:

SECTION 1: FINDINGS – PART "A", CRITERIA FOR HISTORIC RESOURCES.

Evaluation of the Application. Pursuant to Municipal Code Section 8.05.070 (C,1,a), the City Council shall evaluate the application and make findings in conformance with the following criteria:

Criteria for the Designation of Class 1 Historic Resources. A site, structure, building

or object may be designated as a Class 1 historic resource, provided both of the following findings ("a" and "b") are met:

a. *The site, structure, building, or object exhibits exceptional historic significance and meets one or more of the criteria listed below:*

457 N. Palm Canyon is a two-story mixed-use building set back from the property line with a prominent storefront viewable from the street. The exterior appearance of the building is largely unchanged from the original design. The following is an analysis of the criterion and integrity findings for historic designation.

(Criterion i) The resource is associated with events that have made a meaningful contribution to the nation, state, or community;

No meaningful event is associated with this site, thus does not qualify under Criterion i.

(Criterion ii) The resource is associated with the lives of persons who made a meaningful contribution to national, state or local history;

The building was originally constructed for the Beverly Hills furrier, Isador Rubin. Although he was a successful and prominent businessman in the Southern California region, he does not meet the threshold for significance under this criterion.

(Criterion iii) The resource reflects or exemplifies a particular period of national, state, or local history;

The postwar period in Palm Springs was a time of growth, transition, and expression. Architectural experimentation became an identity, and mixed-use buildings became a solution for the diverse needs of a growing city. Mixed-use properties such as the La Plaza Center, the Kocher-Samson Building and the Pacific Building are some examples of this building typology that became increasingly important to the development of Palm Springs. The Rubin Building, also a mixed-use building, is designed in the Regency Revival style that utilizes a shopping arcade that survives with no major alterations. The design intent behind the arcade was to create the feeling of "a row of shops". The building's scale and delicate architectural detailing reflect the transition of architectural styles and uses specific to the period. This criterion is met.

(Criterion iv) The resource embodies the distinctive characteristics of a type, period, or method of construction;

Unlike the National Register criterion concerning construction, the Palm Springs evaluation of construction addresses the type (of construction), the period (of construction) and the method (of construction). The building was constructed with steel frames and concrete masonry units. While not a commonly used method of construction for residential homes or small commercial buildings, this method of

construction was not distinctive or uncommon. Criterion iv is not met.

(Criterion v) The resource presents the work of a master builder, designer, artist, or architect whose individual genius influenced his age, or that possesses high artistic value;

Albert R. Walker is a renowned architect attributed to designing numerous landmark structures in Los Angeles, including the Beverly Wilshire Hotel, the United Artist Theater, and the Oviatt Building. Albert Walker and Percy Eisen also designed the original El Mirador Hotel in Palm Springs which opened in 1927.¹ From 1941 to 1954, Walker formed a partnership with Kalionzes and Zerbe and designed the Rubin Building in 1946. The report findings conclude that 457 N. Palm Canyon Drive is a rare and exceptional example of a Regency Revival design by this office with nearly 95% of the original design intact. Matching the scale of the surrounding area, this mixed-use building is a good representation of the firm's work and accurately reflects the needs of the period. Criterion v for historic significance is met.

(Criterion vi) The resource represents a significant and distinguishable entity whose components may lack individual distinction, as used in evaluating applications for designation of historic districts, for parcels on which more than one entity exists; or

The resource is not within a historic district and does not qualify under Criterion vi.

(Criterion vii) The resource has yielded or may be likely to yield information important to national, state or local history or prehistory.

No information has been provided on any pre-historic significance of the site.

SECTION 2: PART "B" ANALYSIS OF HISTORIC INTEGRITY.

Analysis of Integrity. (PSMC 8.05.070 (C,1,b). The site, structure, building, or object retains one or more of the following aspects of integrity, as established in the Secretary of the Interior's Standards: integrity of design, materials, workmanship, location, setting, feeling, or association.

The report provides an evaluation of the site relative to the seven aspects or qualities of historic integrity, as recognized by the National Register of Historic Places. The seven aspects or qualities include location, design, setting, materials, workmanship, feeling, and association. The report concludes that the site retains a high degree of integrity and is further analyzed below:

1. Location:

The building is in its original location on the lot; therefore, the integrity of location is

¹ City of Palm Springs Citywide Historic Context Statement "Palm Springs Between the Wars (1919-1941)", 49.

met.

2. Design:

The two-story mixed-use building evokes a sense of retail shopping seen in areas like Hollywood or Beverly Hills in the 1940s and 1950s. The front elevation is composed of two simple display windows that project outward, each set above a masonry planter and topped with a thin metal roof. The massing of the building feels solid with limited ornamentation but the ground floor entrance, projecting storefront windows, and the second-floor balcony create articulation to the front façade. The center arcade divides the commercial/retail spaces symmetrically, and the front two suites use Doric columns and decorative wood paneled doors to emphasize the Regency Revival style for the building. The open-air atrium provides natural light into the arcade space, and the stairs lead up to the residential units above. The railings and other decorative motifs found throughout the building help contribute to the architectural style of the building. The original drawings show little change to the design and layout of the building. City Council finds the existing condition exhibits a high level of design integrity.

3. Setting:

On an internalized lot, the building was situated in a retail and commercial corridor that was expanding in response to the economic boom experienced in Palm Springs after the wars. The integrity of setting remains unchanged.

4. Materials:

Based on the original drawings, the material and architectural detailing down to the wooden doors and iron railing remains extant. Minor changes like the green granite veneer and the security gate in front of the arcade were made but most of the original materials are still in place or replaced in kind. The overall integrity of material is met.

5. Workmanship:

The workmanship of the building is apparent in the architectural details that remain intact. The windows, storefronts, wooden doors and stone veneer are in good condition and demonstrate a high level of workmanship. City Council finds the integrity of workmanship is met.

6. Feeling:

The repeating storefronts and regency style continue to be the unifying aesthetic throughout the building. The integrity of feeling is met.

7. Association:

The property is associated with the Regency Revival style of architecture and

exemplifies the economic vitality experienced in Palm Springs after the wars. The design of the building also remains consistent with the original design, therefore, maintains its association with the architect Walker and his firm. The integrity of association remains.

SECTION 3: DEFINING HISTORIC CHARACTERISTICS

In considering a recommendation for historic resource designation it is important to distinguish those physical elements that are original or from the period of significance that contribute to the resource's historic significance from alterations, additions or features that were added at a later time that may be sympathetic to the original character, but which may create a false sense of historicity. Distinguishing original character-defining features from non-original elements aids the HSPB when it is tasked with evaluating future alterations to the historic resource.

The following is a list of character-defining features identified by the City Council:

Character-defining features of the resource are as follows:

- Mixed-use commercial arcade typology
- Commercial shopping arcade that extends the entire length of the building
- Symmetry of design with storefronts on either side of the arcade
 - Recessed and angled doors of the storefronts. (Reference original drawings for exact design dimensions.)
- Octagonal lightwell feature
- Open space between the residential units on the second floor
- Low pitch side-gabled rooflines over residential units
- Second floor chimneys (fireplace)
- Wood siding on the second-floor exterior walls of the residential units
- Wide overhanging eaves, including the front façade display windows
- Vertically set wood paneling and cornice trim restored
- Concrete masonry brick construction
- Flat front façade with upper balcony created by opening rectangular space in the front elevation
- Painted, cast metal tracery used on staircases, upper balcony and wall cresting
- Flagstone veneer bulkhead window units and trim
- Projecting front display windows with metal trim
- Display windows in arcade with stainless steel and wood framing
- Large, fixed, single panels of glass used for each arcade unit and front display windows
- Front planters with butt-end flagstone veneer finish
- Wood doors and their surrounds
- Transom openings above the doors inside the arcade
- Steel framed casement windows and bay windows inside the residential units

- Shutters on the windows for the second-floor apartments
- Fluorescent light fixtures in the arcade
- Extruded canned light fixtures on the front elevation under the eaves
- Angled wooden doors for the commercial units
- Small rectangular window opening on the north elevation of the residential unit visible from the street
- Flowerpot holders/indentations built into the residential balcony
- Flagstone pavers inside the arcade and exterior stairs

Non-contributing elements:

- Green granite around the entrance to the ground floor arcade on the front façade
- Lettering "Galleria" on the front façade
- Front entrance gate (replaced a shorter metal gate from 2014-2016)
- Security gates used at the ground level of the penthouse stairwells
- Rear gate (date unknown)
- Rooftop mechanical equipment
- Two free-standing lion sculptures at the front of the property
- Enclosed storefront door inside the arcade

SECTION 4: ENVIRONMENTAL ASSESSMENT

The proposed historic resource designation is not subject to the California Environmental Quality Act (CEQA) pursuant to Sections 15060(c)(2) (the activity will not result in a direct or reasonably foreseeable indirect physical change in the environment) and 15060(c)(3) (the activity is not a project as defined in Section 15378) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, because it has no potential for resulting in physical changes to the environment, directly or indirectly.

SECTION 5: CONDITIONS THAT APPLY TO HISTORIC SITES:

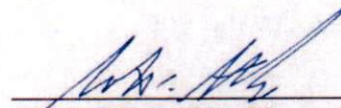
According to Section 8.05 of the Municipal Code, the following shall apply to a Class 1 Historic Resource:

1. It shall meet the definition of a Class 1 historic site as outlined in Municipal Code Section 8.05.020.
2. An archival file on the property shall be maintained by the City.
3. It may be qualified as 'historic' at the federal, state, and/or county level.
4. The structure/site may not be modified, nor objects removed without following the procedures outlined in Municipal Code Section 8.05.110 "Demolition or Alteration of Class 1 and Class 2 Historic Resources – Certificate of Appropriateness".
5. A marker explaining the historic nature of the site may be installed at the site in a location viewable from the public way.

6. Compliance with all rules and regulations for Historic Sites and Historic Districts under Chapter 8.05 of the Municipal Code shall be required.
7. The site shall not be further subdivided.
8. The City Clerk shall submit the Council Resolution to the County recorder for recordation within 90 days of the effective date of the Council's resolution.

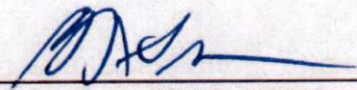
Based upon the foregoing, the City Council hereby designates The Rubin Building located at 457 North Palm Canyon Drive, a Class 1 (Landmark) Historic Resource (Case HSPB #167).

ADOPTED THIS 12TH DAY OF NOVEMBER 2025.




Scott Stiles, City Manager
CITY OF PALM SPRINGS

ATTEST:



Brenda Pree, MMC, CERA
City Clerk
CITY OF PALM SPRINGS

CERTIFIED COPY
I certify that this is a true and correct copy of the document on file in the official records of the City of Palm Springs.


Deputy City Clerk
This certification must appear in blue with an original signature.

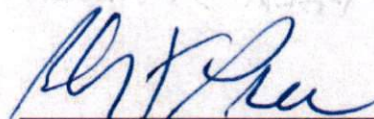
CERTIFICATION

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF PALM SPRINGS)

I, BRENDA PREE, City Clerk of the City of Palm Springs, hereby certify that Resolution No. 25360 is a full, true and correct copy, and was duly adopted at a regular meeting of the City Council of the City of Palm Springs on this 12th day of November, by the following vote:

AYES: Councilmembers Ready, Garner, Bernstein, Mayor Pro Tem Soto, and Mayor deHarte
NOES: None
ABSENT: None
ABSTAIN: None

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Palm Springs, California, this 20th day of November 2025.



Brenda Pree, City Clerk
City of Palm Springs, California

