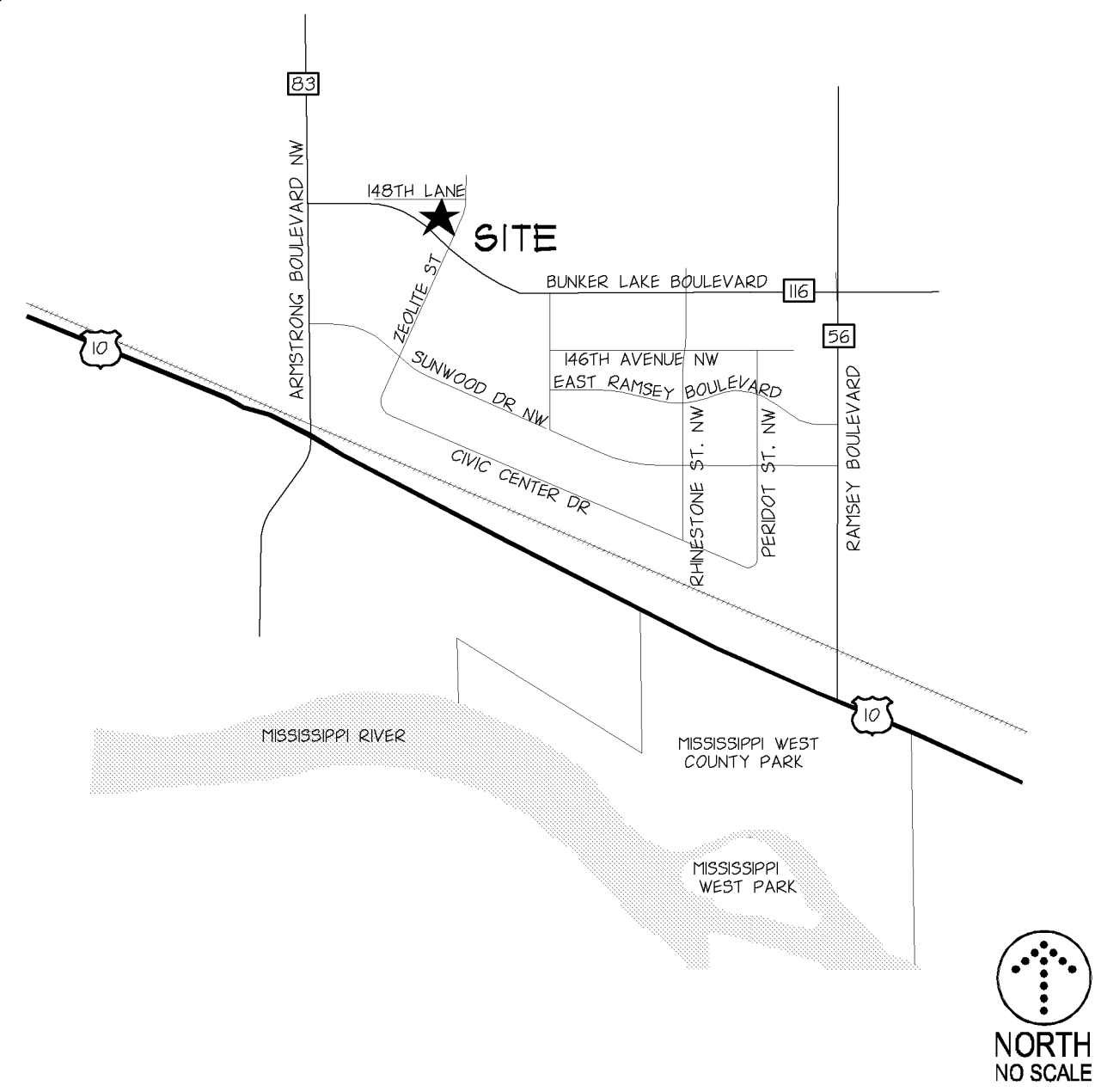


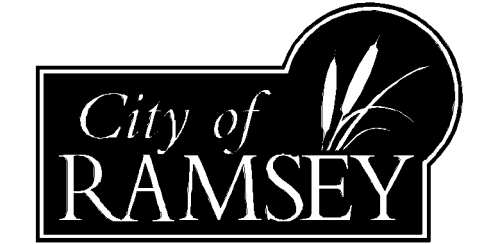
RAMSEY, MN



NORTH COMMONS RAMSEY, MN

DEVELOPER
RAMSEY HRA
7550 SUNWOOD DRIVE
RAMSEY, MN 55303
TEL (763) 427-1410 - FAX (763) 427-5543

MUNICIPALITY



PROJECT

**NORTH COMMONS
RAMSEY, MINNESOTA**

SHEET INDEX

BREF	TITLE
C0.1	CIVIL TITLE SHEET
C1.1	EXISTING CONDITIONS
C1.3	PRELIMINARY PLAT
C3.1	GRADING, DRAINAGE, PAVING & EROSION CONTROL UTILITIES
C4.1	

ABBREVIATIONS

D	Angle	JT.	Joint
&	And	L.F.	Lineal Feet
100 YR.	100 Year Flood Elevation	L.P.	Low Post / Liquid Petroleum
A.B.	Anchor Bolt	L.B.	Pound
A.D.	Area Drain	L.G.U.	Local Government Unit
A/C	Ar Conditionng Unit	LONG.	Longitudinal
ADD.	Addendum	LT.	Light / Lighting
ADJ.	Adjacent / Adjust	MAINT.	Maintenance
AHU	Air Handling Unit	MATL.	Material
ALT.	Alternate	MAX.	Maximum
ALUM.	Aluminum	MECH.	Mechanical
ANOD.	Anodized	MED.	Medium
APPROX.	Approximate	MFR.	Manufacturer
ARCH.	Architect / Architectural	M-I	Manhole
AUTO.	Automatic	MN.	Minnesota
AVC.	Average	MNDOT	Minnesota Department of Transportation
B.C.	Back of Curb	MOD.	Module / Modular
B.M.	Benchmark	M.L.	Million
B/W	Bottom of Wall	N.	North
BPE	Basement Floor Elevation	N.C.	Not in Contract
BIT	Bituminous (Asphaltic)	N.	Number
BLDC	Building	NTS	Not to Scale
BSMT.	Basement	NWE	Normal Water Elevation
C.F.	Cubic Feet	O.C.	On Center
C.F.S.	Cubic Feet Per Second	O.D.	Outside Dimension
C.G.	Center of Gravity	O.E.	Overhead Electric
C.I.	Centerline	OH	Ordinary
C.I.U.	Concrete Masonry Unit	OH.W.	Ordinary High Water Level
C.O.	Cleanout	OPNG.	Opening
C.O.E.	U.S. Army Corps Of Engineers	OPN.	Original
C.V.	Catch Basin	P.C.	Point of Curvature
CBM	Catch Basin Manhole	P.I.	Point of Intersection
CEM	Cement	P.I.V.	Post Indicator Valve
CP	Cast Iron Pipe	P.L. OR P/L	Property Line
CNP	Corrugated Metal Pipe	P.O.B.	Pounds of Bequmq
CONC.	Concrete (Portland)	P.S.F.	Pounds Per Square Foot
CONN.	Connection	P.S.I.	Pounds Per Square Inch
CONSTR.	Construction	P.T.	Point of Tangency
CONT.	Continuous	P.V.C.	Point of Vertical Curvature
CONTR.	Contractor	P.V.T.	Point of Vertical Tangency
COP.	Copper	P.E.	Polyethylene
CU.	Curb	PERF.	Perforation of Pedestrian
D.S.	Down Spout	PREP.	Preparation
DEG.	Denotation / Demolish	PROJ.	Proposed
DEPT.	Department	PROP.	Proposed
DET.	Detail	P.V.C.	Poly-Vinyl-Chloride (Pipng)
DIA.	Diameter	P.V.M.	Pavement
DIAG.	Diagram	QTR.	Quarter
DIM.	Dimension	QTY.	Quantity
DIP	Ductile Iron Pipe	R	Radius
DN	Down	RAD.	Radius
DWG.	Drawing	R.D.	Roof Drain
E.	East	R.E.	Remove Existing
E.I.	Expansion Joint	R.O.	Rough Opening
E.O.S.	Emergency Overflow Swale	R.P.	Rough Point
E.W.	Each Way	R.C.P.	Reinforced Concrete Pipe
EA.	Each	R.S.	Rough Slab
EL.	Elevation	RE.	Reinforcing
ELEC.	Electrical	REINF.	Reinforced
ELEV.	Elevation	REQD.	Required
EMER.	Emergency	REV.	Revision / Revised
ENCR.	Enclosure	RGU	Regulatory Government Unit
ENTR.	Entrance	R.O.W. OR R/W	Right of Way
EQU.	Equal	S	Side
EQUIP.	Equipment	S.F.	Square Feet
EQUIV.	Equivalent	SAN.	Sanitary
EXIST.	Existing	S.E.	Side Exit
EXP.	Expansion	SHT.	Side Exit Walk Out
F. & I	Furnish and Install	SHT.	Shower
F.B.O.	Furnished by Others	SHT.	Shower
F.C.	Face of Curb	SHT.	Shower
F.D.	Floor Drain	SHT.	Shower
F.D.C.	Fire Department Connection	SHT.	Shower
F.V.	Field Ventry	SHT.	Shower
FB	Full Basement	SHT.	Shower
FBWO	Full Basement Walk Out	SHT.	Shower
FBLO	Full Basement Look Out	SHT.	Shower
FDN.	Foundation	SHT.	Shower
FES	Flared End Section	SHT.	Shower
FFE	Finished Floor Elevation	SHT.	Shower
FLR.	Floor	SHT.	Shower
FT. OR ()	Foot	SHT.	Shower
FUT.	Future	SHT.	Shower
G.B.	Grade Break	SHT.	Shower
G.C.	General Contractor	SHT.	Shower
GALL.	Gallon	SHT.	Shower
GALV.	Galvanized	SHT.	Shower
GFE	Gross Floor Elevation	SHT.	Shower
CL.	Class	SHT.	Shower
CR.	Class	SHT.	Shower
H.	Height	SHT.	Shower
H.P.	High Point	SHT.	Shower
HDPPEP	High Density Polyethylene Pipe	SHT.	Shower
HGT.	Height	SHT.	Shower
HORIZ.	Horizontal	SHT.	Shower
HVAC	Heating Ventilation, Air Conditioning	SHT.	Shower
HYD	Hydrant	SHT.	Shower
I.	Inside Dimension	SHT.	Shower
I.N. OR ()	Inches	SHT.	Shower
INFO.	Information	SHT.	Shower
IN.	Inlet Elevation	SHT.	Shower
INSUL.	Insulation	SHT.	Shower
INV.	Invert Elevation	SHT.	Shower

SYMBOLS

EXISTING	DESCRIPTION	NEW	DESCRIPTION
	CONTOUR		CONTOUR
	SPOT ELEVATION		SPOT ELEVATION
	BUILDING		BUILDING
	CANOPY / OVERHANG		UNDERGROUND STRUCTURE
	CONCRETE		CONCRETE
	CONCRETE CURB		CONCRETE CURB
	EDGE OF PAVEMENT		EDGE OF PAVEMENT
	FENCING		FENCING
	GUARD RAIL		GUARD RAIL
	CONCRETE RETAINING WALL		CONCRETE RETAINING WALL
	FELDSTONE RETAINING WALL		FELDSTONE RETAINING WALL
	MODULAR RETAINING WALL		MODULAR RETAINING WALL
	SOIL BORING		DOORWAY
	LIGHT POLE		LIGHT STANDARD
	TREES		TREES
	DENOTES TREE LIMITS		SLOPE, DIRECTION OF FLOW
	MANHOLE		BOLLARD
	CATCH BASIN		STORM SEWER
	FIRE HYDRANT		SANITARY SEWER-WASTE
	WATER VALVE		FORCE MAN
	FLARED END SECTION		ROOF DRAIN COLLECTOR
	IRON MONUMENT FOUND		WATER MAN
	IRON PIPE MONUMENT SET		FIRE LINE (IF SEPARATE)
	P.K. NAL		FIRE DEPARTMENT CONNECTION
	POWERPOLE		DOMESTIC WATER SERVICE
	GUARD POST		CULVERT & END SECTION
	UTILITY BOX (TV, TEL, ELEC)		GAS LINE
	TRAFFIC BOX		SOL SUBDRAN
	GAS METER		ELECTRIC-OVERHEAD
	TRAFFIC SIGN		ELECTRIC-UNDERGROUND
	GUY WIRE		TELEPHONE-OVERHEAD
	REGISTRAR OF TITLES		TELEPHONE-UNDERGROUND
	COUNTY RECORDER		UNDERGROUND CABLE/TV
	STORM SEWER LINE		UNDERGROUND CABLE T.V.
	SANITARY SEWER LINE		OVERHEAD CABLE T.V.
	WATER MAN		WELL
	UNDERGROUND GAS		RESTRICTED ACCESS
	OVERHEAD TELEPHONE		NOTE NUMBER
	UNDERGROUND TELEPHONE		DENOTES BITUMINOUS SURFACE
	UNDERGROUND ELECTRIC		
	OVERHEAD ELECTRIC		
	UNDERGROUND CABLE T.V.		
	OVERHEAD CABLE T.V.		
	WELL		
	RESTRICTED ACCESS		
	NOTE NUMBER		
	DENOTES BITUMINOUS SURFACE		

EROSION CONTROL SYMBOLS

SYMBOL	DESCRIPTION
	SILT FENCE
	CONSTRUCTION LIMITS
	INLET PROTECTION

DRAWING SYMBOLS

SYMBOL	DESCRIPTION
	NOTE REFERENCE
	PARKING STALL COUNT
	LARGE SHEET DETAIL
	COORDINATE POINT
	REVISION - ADDENDUM, BULLETIN, ETC.
	REVISED AREA (THIS ISSUE)

BENCHMARKS

TNH - FIRST HYDRANT EAST OF TOWN CENTER DRIVE WEST ON NORTH SIDE OF SUNWOOD DRIVE NORTHWEST ELEVATION = 872.07
 TNH - 3RD HYDRANT WEST OF PARKING RAMP ON NORTH SIDE OF CIVIC CENTER DRIVE ELEVATION = 870.24

CITY NOTES

- SITE GRADING, LANDSCAPING AND UTILITY INSTALLATIONS MUST BE COMPLETED AS SHOWN WITHOUT ALTERATION. DEVIATIONS FROM PLANS MUST BE CHECKED AND APPROVED BY THE ENGINEERING DEPARTMENT AND/OR THE PLANNING COMMISSION PRIOR TO S&D CHANGE.
- REQUIRED EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS AS SHOWN.
- MAN JOB-SITE ENTRANCE MUST BE POSTED WITH THE PROJECT ADDRESS SO THAT IT IS CLEARLY VISIBLE FROM THE STREET. JOB-SITE ADDRESS SIGN MUST BE INSTALLED IN PLACE UNTIL FINAL OCCUPANCY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT, OR OWNER DOES NOT GUARANTEE THAT ALL UTILITIES ARE WRAPPED OR IF HAPPED, ARE SHOWN CORRECTLY. CONTACT Gopher STATE ONE CALL AT 1800.252.1866 FOR FIELD LOCATING EXISTING UTILITIES. CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.

SHEET INDEX

C0.1	CIVIL TITLE SHEET
C1.1	EXISTING CONDITIONS
C1.3	PRELIMINARY PLAT
C3.1	GRADING, DRAINAGE, PAVING, & EROSION CONTROL UTILITIES
C4.1	

REVISION HISTORY

CONTACT ENGINEER FOR ANY PRIOR HISTORY

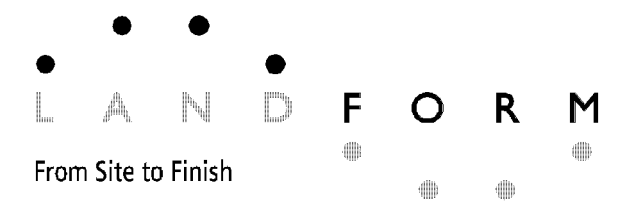
DATE	REVISION	REVIEW

PROJECT MANAGER REVIEW

DATE: 06/06/2012

CERTIFICATION

PRELIMINARY PLAT FOR COR THREE
6 JUNE 2012

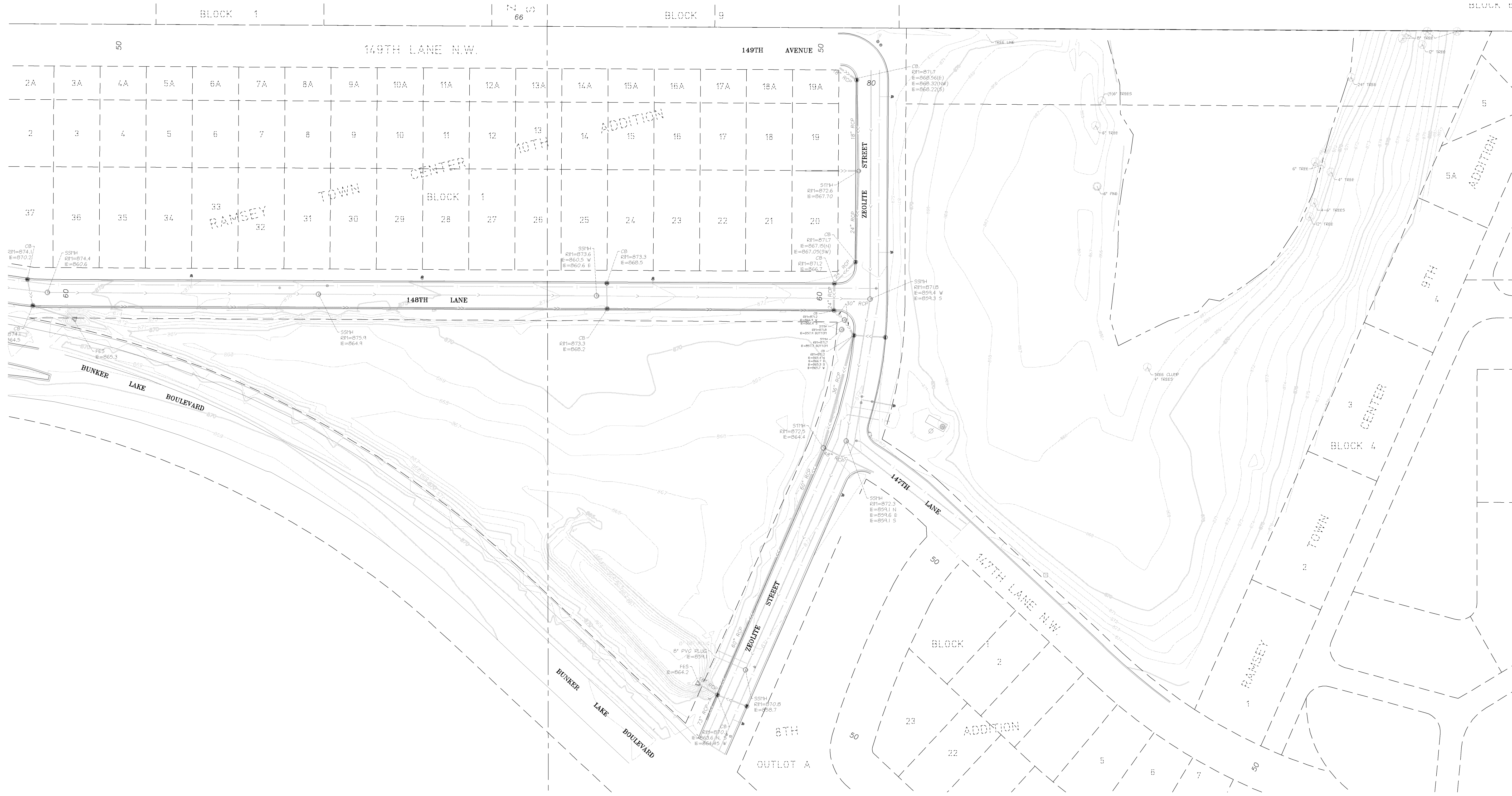


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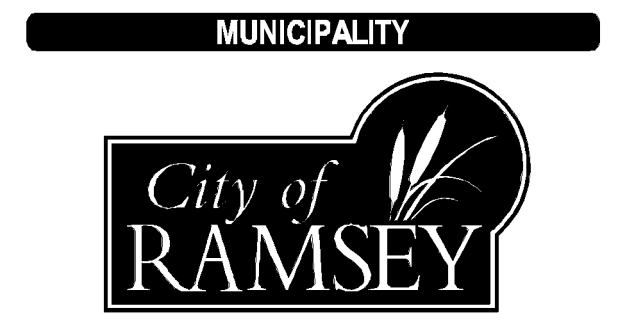
105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME C001RAM021.DWG
PROJECT NO. RAM12021

CIVIL TITLE SHEET
C0.1
SHEET NO. /



DEVELOPER
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 7560 SUNWOOD DRIVE
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PROJECT
NORTH COMMONS
 RAMSEY, MINNESOTA

SHEET INDEX

SHEET	TITLE
C01	CIVIL TITLE SHEET
C11	EXISTING CONDITIONS
C13	PRELIMINARY PLAT
C31	GRADING, DRAINAGE, PAVING & EROSION CONTROL UTILITIES
C41	

REVISION HISTORY
 CONTACT ENGINEER FOR ANY PRIOR HISTORY

DATE	REVISION	REVIEW

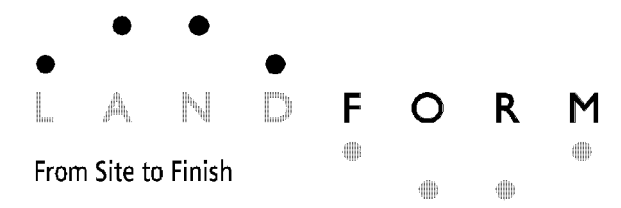
PROJECT MANAGER REVIEW

CERTIFICATION

EXISTING CONDITIONS

1. BACKGROUND INFORMATION SHOWN IS FROM SURVEY BY LANDFORM, MINNEAPOLIS, MN, ON APRIL 14, 2012, EXPRESSLY FOR THIS PROJECT; CITY OF RAMSEY, MN RECORD DRAWINGS, AND UTILITY SERVICE PROVIDERS. LANDFORM OFFERS NO WARRANTY, EXPRESSED OR WRITTEN, FOR INFORMATION PROVIDED BY OTHERS. EXISTING PROJECT CONDITIONS SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ENGINEER.

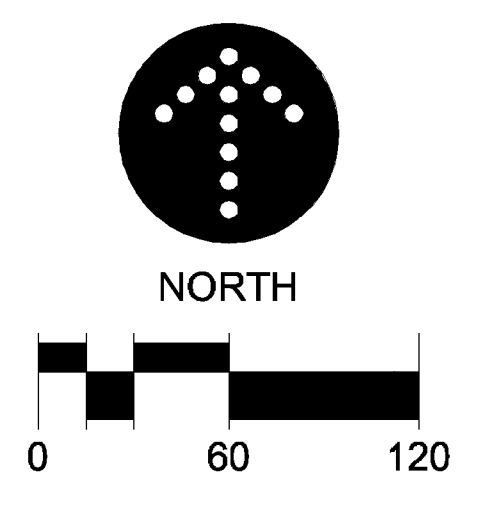
PRELIMINARY PLAT FOR COR THREE
 6 JUNE 2012

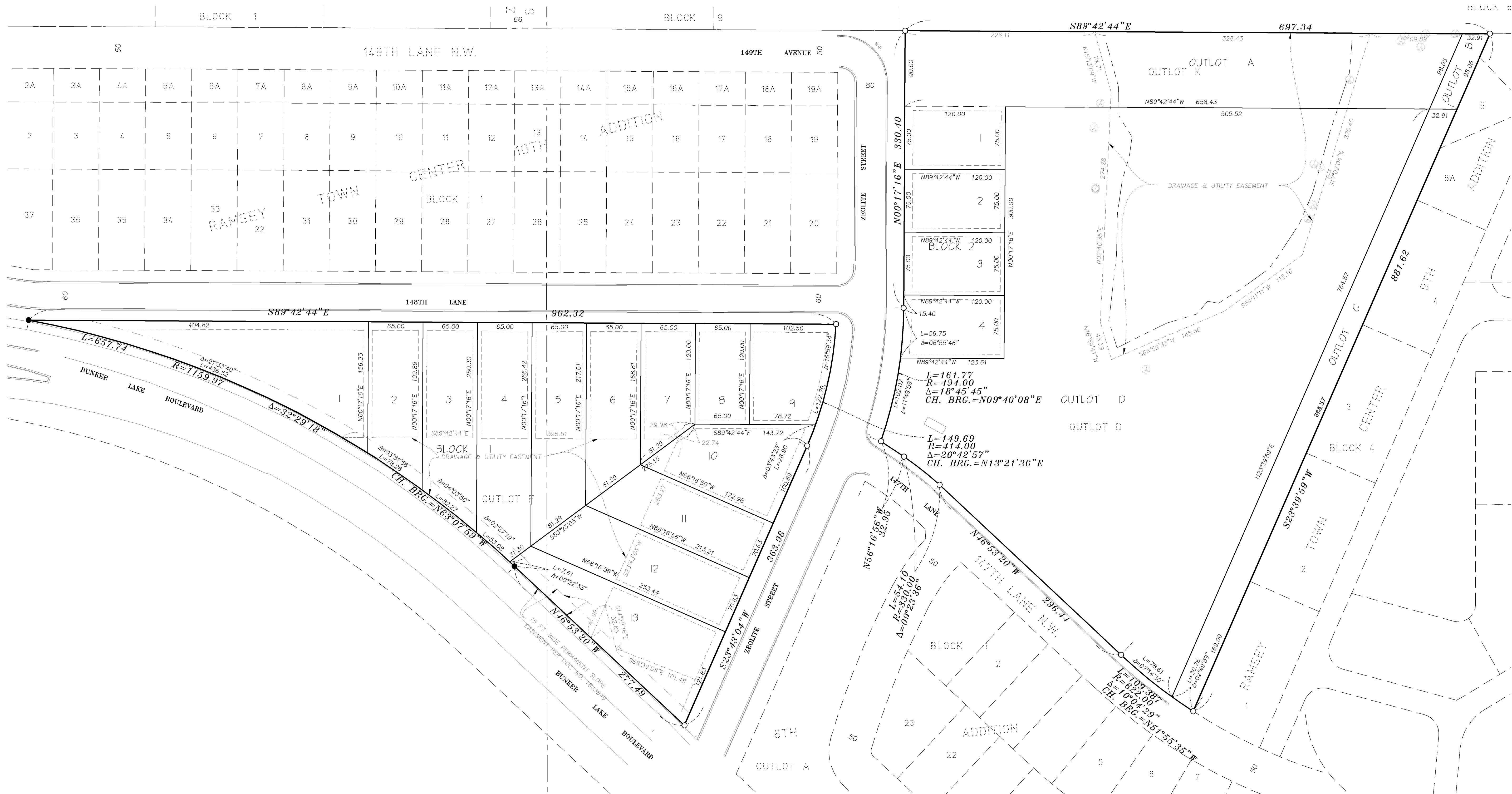


105 South Fifth Avenue Tel: 612-252-9070
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FILE NAME C101RAM021.DWG
 PROJECT NO. RAM12021

EXISTING CONDITIONS
C1.1
 SHEET NO.





DEVELOPER

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MUNICIPALITY



PROJECT

**NORTH COMMONS
RAMSEY, MINNESOTA**

SHEET INDEX

SHEET	TITLE
C0.1	CIVIL TITLE SHEET
C1.1	EXISTING CONDITIONS
C1.3	PRELIMINARY PLAT
C3.1	GRADING, DRAINAGE, PAVING & EROSION CONTROL UTILITIES

REVISION HISTORY

DATE	REVISION	REVIEW

PROJECT MANAGER REVIEW

BY/CHK	DATE	REVIEW

CERTIFICATION

EXISTING CONDITIONS

BACKGROUND INFORMATION SHOWN IS FROM SURVEY BY LANDFORM, MINNEAPOLIS, MN, ON APRIL 19, 2012, EXPRESSLY FOR THIS PROJECT. CITY OF RAMSEY, MN RECORD DRAWINGS, AND UTILITY SERVICE PROVIDERS. LANDFORM OFFERS NO WARRANTY, EXPRESSED OR WRITTEN, FOR INFORMATION PROVIDED BY OTHERS. EXISTING PROJECT CONDITIONS SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ENGINEER.

EXISTING LOT AREAS

OUTLOT D, RAMSEY TOWN CENTER, EIGHTH ADDITION— 31,651 SQ. FT. OR 7.15 ACRES
OUTLOT F, RAMSEY TOWN CENTER, EIGHTH ADDITION— 19,707 SQ. FT. OR 4.38 ACRES
OUTLOT K, RAMSEY TOWN CENTER, EIGHTH ADDITION— 61,010 SQ. FT. OR 1.40 ACRES
TOTAL — 563,368 SQ. FT. OR 12.93 ACRES

PROPOSED LOT AREAS

LOT 1, BLOCK 1, COR THREE	— 25,709 SQ. FT.
LOT 2, BLOCK 1, COR THREE	— 11,943 SQ. FT.
LOT 3, BLOCK 1, COR THREE	— 14,541 SQ. FT.
LOT 4, BLOCK 1, COR THREE	— 17,249 SQ. FT.
LOT 5, BLOCK 1, COR THREE	— 15,731 SQ. FT.
LOT 6, BLOCK 1, COR THREE	— 12,554 SQ. FT.
LOT 7, BLOCK 1, COR THREE	— 9,386 SQ. FT.
LOT 8, BLOCK 1, COR THREE	— 7,500 SQ. FT.
LOT 9, BLOCK 1, COR THREE	— 11,244 SQ. FT.
LOT 10, BLOCK 1, COR THREE	— 14,606 SQ. FT.
LOT 11, BLOCK 1, COR THREE	— 13,639 SQ. FT.
LOT 12, BLOCK 1, COR THREE	— 16,480 SQ. FT.
LOT 13, BLOCK 1, COR THREE	— 19,826 SQ. FT.
LOT 1, BLOCK 2, COR THREE	— 9,000 SQ. FT.
LOT 2, BLOCK 2, COR THREE	— 9,000 SQ. FT.
LOT 3, BLOCK 2, COR THREE	— 9,000 SQ. FT.
LOT 4, BLOCK 2, COR THREE	— 9,072 SQ. FT.
OUTLOT A, COR THREE	— 58,048 SQ. FT.
OUTLOT B, COR THREE	— 2,462 SQ. FT.
OUTLOT C, COR THREE	— 19,369 SQ. FT.
OUTLOT D, COR THREE	— 257,210 SQ. FT.
TOTAL	— 563,368 SQ. FT.

PRELIMINARY PLAT INFORMATION

- PROPOSED PLAT NAME: COR THREE
- EXISTING LEGAL DESCRIPTION:
OUTLOT D RAMSEY TOWN CENTER EIGHTH ADDITION
OUTLOT F RAMSEY TOWN CENTER EIGHTH ADDITION
OUTLOT K RAMSEY TOWN CENTER EIGHTH ADDITION
- OWNER/SUBDIVIDER: RAMSEY HRA
7550 SUNWOOD DRIVE
RAMSEY, MN 55303
- DESIGNER/SURVEYER: LANDFORM
105 SOUTH FIFTH AVENUE
SUITE 513
MINNEAPOLIS, MN 55401
- AREA SUMMARY: SEE AREA TABLES
- EXISTING ZONING: COR-4 AND COR-5
- PROPOSED ZONING: COR-4
- RESIDENTIAL INFORMATION
AS TO BLOCK 1: PROPOSED SINGLE FAMILY RESIDENTIAL WITH 13 LOTS.
APPROXIMATE GROSS DENSITY 14.670 D.U./A.
APPROXIMATE NET DENSITY 9.953 D.U./A.
AS TO BLOCK 2: PROPOSED SINGLE FAMILY RESIDENTIAL WITH 4 LOTS.
APPROXIMATE GROSS DENSITY 4.018 D.U./A.
APPROXIMATE NET DENSITY 4.018 D.U./A.

PRELIMINARY PLAT FOR COR THREE

6 JUNE 2012

LANDFORM
From Site to Finish

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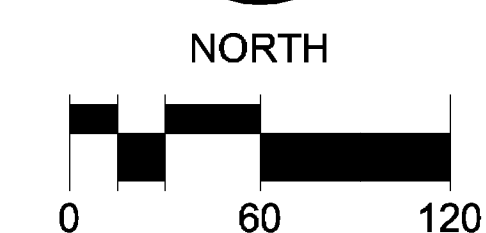
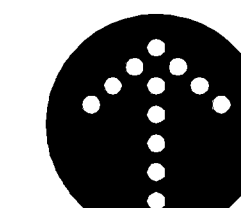
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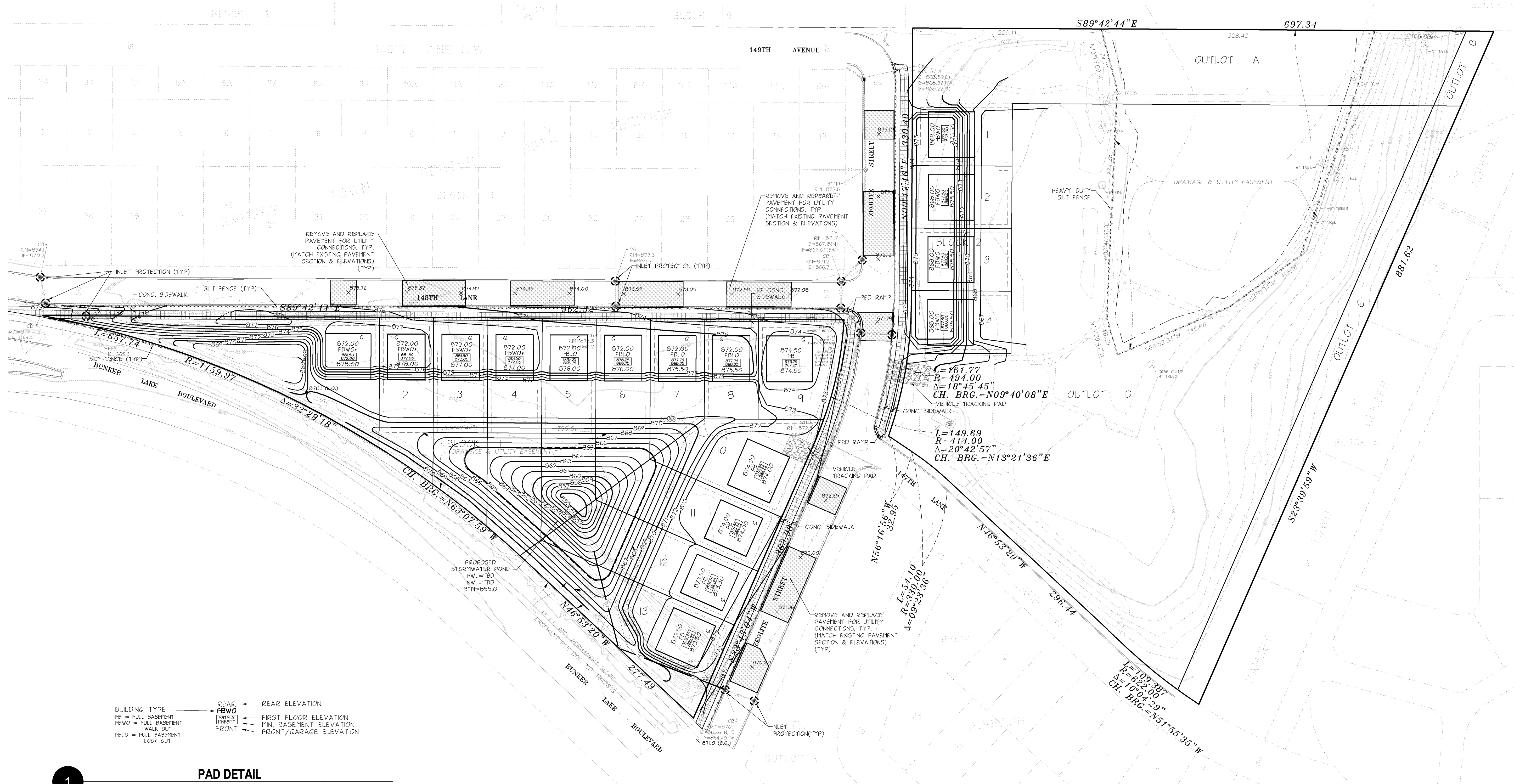
PROJECT NO. RAM12021

PRELIMINARY PLAT

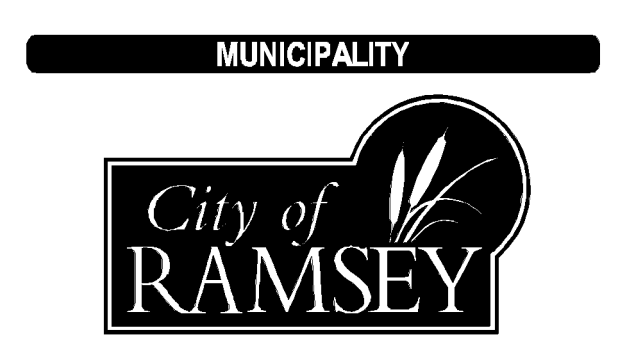
C1.3

SHEET NO.





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PROJECT
NORTH COMMONS
 RAMSEY, MINNESOTA

SHEET INDEX

SHEET	TITLE
C01	CIVIL TITLE SHEET
C11	EXISTING CONDITIONS
C13	PRELIMINARY PLAN
C31	GRADING, DRAINAGE, PAVING & EROSION CONTROL
C41	UTILITIES

REVISION HISTORY

DATE	REVISION	REVIEW

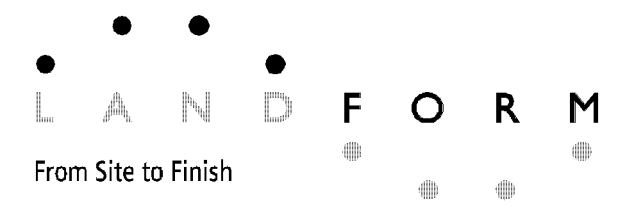
PROJECT MANAGER REVIEW

DATE: 06/06/12

CERTIFICATION

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED WITHOUT ACCURACY. READABILITY AND IS NOT CONSIDERED A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

PRELIMINARY PLAT FOR COR THREE
 6 JUNE 2012



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FILE NAME: CXXXRAM021.DWG
 PROJECT NO.: RAM12021

GRADING, DRAINAGE, PAVING & EROSION CONTROL

C3.1

SHEET NO. /

BUILDING TYPE
 FB = FULL BASEMENT
 FBWO = FULL BASEMENT WALK OUT
 FLO = FULL BASEMENT LOOK OUT

REAR ELEVATION
 FBWO (FIRST FLOOR)
 FBWO (MIN. BASEMENT)
 FRONT
 FRONT/GARAGE ELEVATION

1 PAD DETAIL
 NO SCALE

GRADING NOTES

- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING GRADING.
- REMOVE TOPSOIL FROM GRADING AREAS AND STOCKPILE SUFFICIENT QUANTITY FOR REUSE. MATERIALS MAY BE FINED FROM LANDSCAPE AREAS FOR USE ON SITE AND REPLACED WITH EXCESS ORGANIC MATERIAL WITH PRIOR CITY APPROVAL.
- REMOVE SURFACE AND GROUND WATER FROM EXCAVATIONS. PROVIDE INITIAL LIFTS OF STABLE FOUNDATION MATERIAL IF EXPOSED SOILS ARE WET AND UNSTABLE.
- ROUGH GRADE BUILDING PAD TO ELEVATIONS LISTED ON PLANS.
- AN INDEPENDENT TESTING FIRM SHALL VERIFY THE REMOVAL OF ORGANIC AND UNSUITABLE SOILS, SOIL CORRECTION, AND COMPACTION AND PROVIDE PERIODIC REPORTS TO THE OWNER.
- PLACE AND COMPACT FILL USING LIFT THICKNESSES MATCHED TO SOIL TYPE AND COMPACTION EQUIPMENT TO OBTAIN SPECIFIED COMPACTION THROUGHOUT THE LIFT.
- COMPACT MATERIAL IN PAVED AREAS TO 95% OF MAXIMUM DRY DENSITY, STANDARD PROCTOR (ASTM D698) EXCEPT THE TOP 3 FEET WHICH SHALL BE COMPACTED TO 100%. COMPACT TO 98% DENSITY WHERE FILL DEPTH EXCEEDS 10 FEET.

PAVING NOTES

- SPOT ELEVATIONS AT CURBLINES INDICATE FLOWLINES UNLESS NOTED OTHERWISE. SEE SHEET C41 FOR RIM ELEVATIONS OF CATCH BASINS.
- MEET AND MATCH EXISTING CURB. PROVIDE 2 FOOT TRANSITION.
- PAVING SECTIONS
 - BITUMINOUS PAVING (LIGHT DUTY)
 - 1.5-INCH WEAR TACK COAT
 - 1.5-INCH BASE
 - 6-INCH AGGREGATE BASE (MNDOT 313B, CLASS 5)
 - 12-INCH GRANULAR SUB-BASE (MNDOT 314A.2B2)
 - GEOPAPRIC COMPACTED SUBSOL
 - CONCRETE WALKWAYS
 - 4-INCH CONCRETE WALK W/6X6 INCH #10 W/M
 - 4-INCH AGGREGATE BASE (MNDOT 313B, CLASS 5)
 - GEOPAPRIC COMPACTED SUBSOL

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

- INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO BEGINNING WORK AND MAINTAIN FOR DURATION OF CONSTRUCTION. REMOVE CONTROLS AFTER AREAS CONTRIBUTING RUN OFF ARE PERMANENTLY STABILIZED AND DISPOSE OF OFF SITE.
- LIMIT SOIL DISTURBANCE TO THE GRADING LIMITS SHOWN. SCHEDULE OPERATIONS TO MINIMIZE LENGTH OF EXPOSURE OF DISTURBED AREAS.
- MANAGEMENT PRACTICES SHOWN ARE THE MINIMUM REQUIREMENT. INSTALL AND MAINTAIN ADDITIONAL CONTROLS AS WORK PROCEEDS TO PREVENT EROSION AND CONTROL SEDIMENT CARRIED BY WIND OR WATER.
- EXCAVATE PONDS EARLY IN THE CONSTRUCTION SEQUENCE. REMOVE SEDIMENT FROM PONDS PERIODICALLY AND AFTER AREAS CONTRIBUTING RUN OFF ARE PERMANENTLY STABILIZED.
- RESTORE DISTURBED OPEN AREAS WITH TEMPORARY SEED OR SOD WITHIN 72 HOURS OF COMPLETING GRADING IN EACH AREA.
- SEED, SOD, MULCH AND FERTILIZER SHALL MEET THE FOLLOWING SPECIFICATIONS, AS MODIFIED.

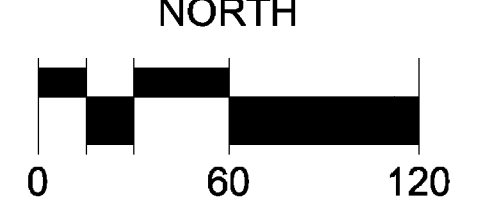
ITEM	SPECIFICATION NUMBER
SOD	MNDOT 3879
SEED	MNDOT 3876
TYPE 50 @ 40 LB/AC	
TYPE 10A @ 60 LB/AC	
MULCH (TYPE I DISC ANCHORED)	MNDOT 3882
FERTILIZER	MNDOT 3881
GENERAL PLACEMENT	MNDOT 2575
- SEE LANDSCAPING SHEETS FOR PERMANENT TURF ESTABLISHMENT. (NOT INCLUDED IN PRELIMINARY SET)
- SCRAPE ADJACENT STREETS CLEAN DAILY AND SWEEP CLEAN WEEKLY.

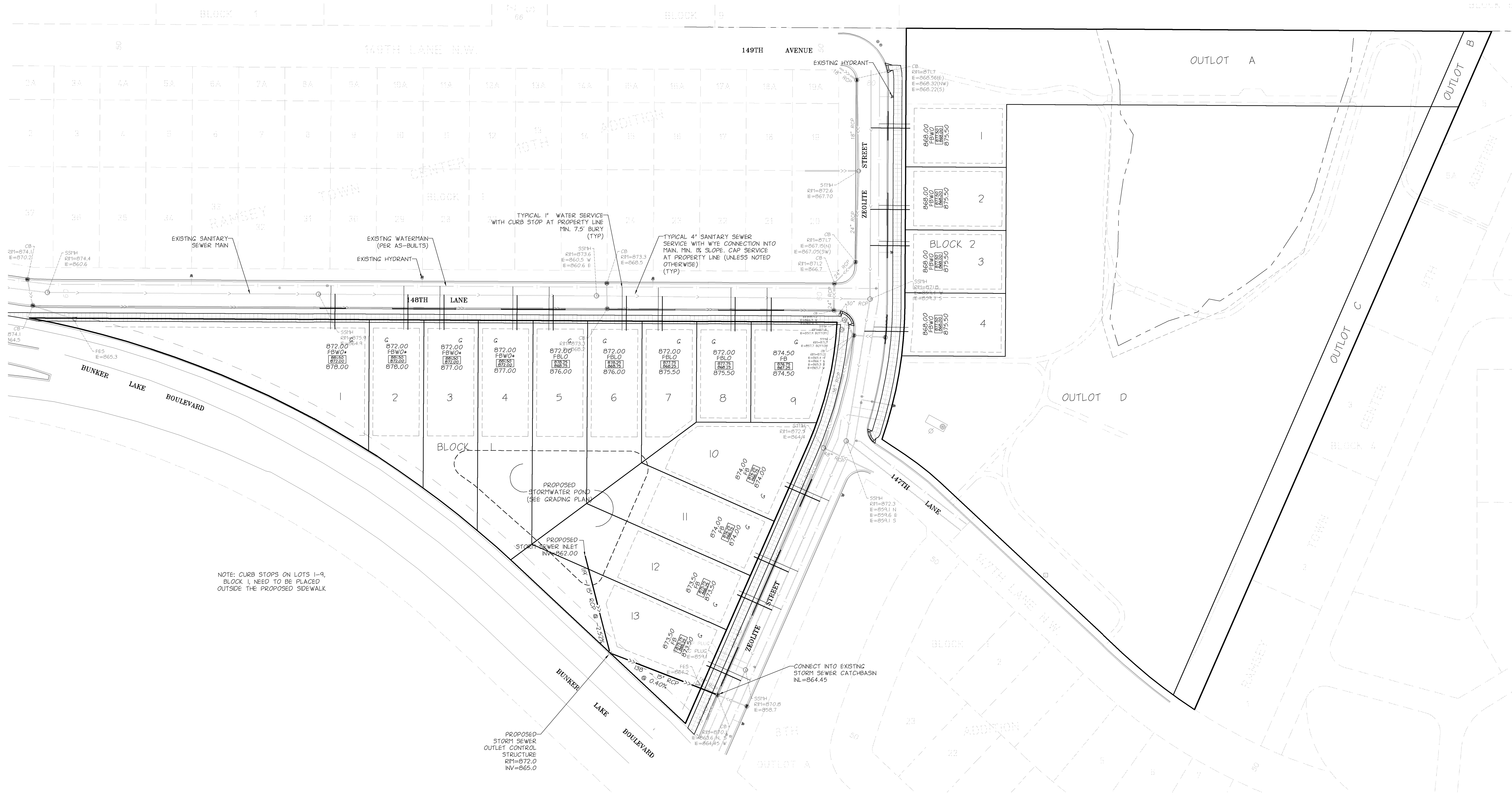
NPDES AREA SUMMARY

	EXISTING	PROPOSED	ULTIMATE
PERVIOUS	12.93 ACRES	12.86 ACRES	12.86 ACRES
IMPERVIOUS	0.00 ACRES	0.07 ACRES	0.07 ACRES
TOTAL	12.93 ACRES	12.93 ACRES	12.93 ACRES

LEGEND

- SILT FENCE
- INLET PROTECTION



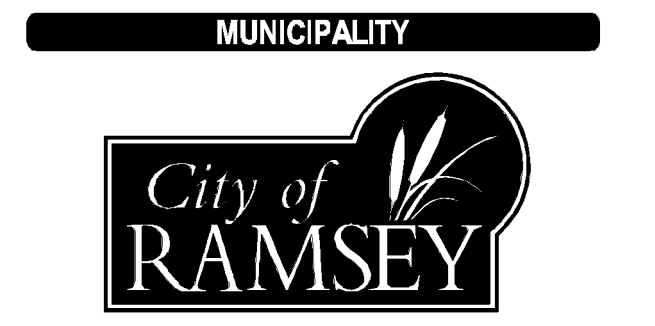


NOTE: CURB STOPS ON LOTS 1-9, BLOCK 1, NEED TO BE PLACED OUTSIDE THE PROPOSED SIDEWALK

UTILITY NOTES

- PIPE MATERIALS:
 WATER SERVICE: TYPE K COPPER
 SANITARY SERVICE: PVC SDR 26
 STORM SEWER: RCP CLASS 5
- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING.
- COORDINATE WITH PRIVATE UTILITIES TO PROVIDE ELECTRIC, NATURAL GAS, AND COMMUNICATIONS SERVICES.
- PROVIDE MEANS AND MEASURES TO PROTECT ADJACENT PROPERTY FROM DAMAGE DURING UTILITY INSTALLATION.
- PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE OR END OF END SECTION.
- ADJUST STRUCTURES TO FINAL GRADE WHERE DISTURBED. COMPLY WITH REQUIREMENTS OF UTILITY. FEET REQUIREMENTS FOR TRAFFIC LOADING IN PAVED AREAS.
- INSTALL TRACER WIRE WITH UTILITIES WITHIN THE PUBLIC RIGHT-OF-WAY OR EASEMENTS.
- CONNECT TO CITY UTILITIES IN ACCORDANCE WITH CITY OF RAMSEY STANDARDS.
- CONTACT CITY OF RAMSEY FOR WET TAP INSPECTION.
- MAINTAIN 7.5 FEET OF COVER ON WATER.
- DEFLECT WATER TO MAINTAIN 18-INCH MINIMUM OUTSIDE SEPARATION AT SEWER CROSSINGS. CENTER PIPE LENGTHS TO PROVIDE GREATEST SEPARATION BETWEEN JOINTS.
- CONTACT CITY OF RAMSEY BUILDING DEPARTMENT FOR FLUSHING AND PRESSURE TEST INSPECTIONS.
- THE CONTRACTOR IS REQUIRED TO OBTAIN THE APPROPRIATE PERMIT FOR THE MN DNR IF DEWATERING IS REQUIRED TO COMPLETE ANY WORK. THE CITY NEEDS TO REVIEW EACH PERMIT PRIOR TO IMPLEMENTATION.
- SANITARY AND WATER SERVICES NEED TO EXTEND INTO THE LOT A MIN. OF 10' BEYOND THE PROPOSED SIDEWALK LOCATION.

DEVELOPER
RAMSEY HRA
 7560 SUNWOOD DRIVE
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PROJECT
NORTH COMMONS
RAMSEY, MINNESOTA

SHEET INDEX

SHEET	TITLE
C01	CIVIL TITLE SHEET
C11	EXISTING CONDITIONS
C13	PRELIMINARY PLAT
C31	GRADING, DRAINAGE, PAVING & EROSION CONTROL UTILITIES
C41	

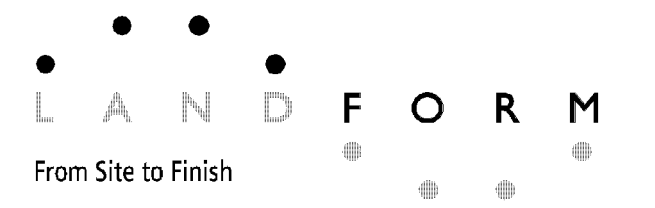
REVISION HISTORY

DATE	REVISION	REVIEW

PROJECT MANAGER REVIEW

CERTIFICATION

PRELIMINARY PLAT FOR COR THREE
 6 JUNE 2012



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FILE NAME: C401RAM021.DWG
 PROJECT NO.: RAM12021

UTILITIES
C4.1
 SHEET NO. /

