

**City of Ramsey**  
**Agenda**  
**Special City Council**  
**Tuesday October 16, 2012**

**7:00 PM**

**Council Chambers, 7550 Sunwood Drive NW**

- 1. Call to Order**
- 2. Citizen Input**
- 3. Approve Agenda**
- 4. Council Business**
  1. Request for Site Plan and Conditional Use Permit Approval for Motor Fuel Sales and Car Wash for a Super America Located in the COR TWO Subdivision; Case of West Real Estate and Management Inc.
  2. Comparison of final pro-forma and Current Draw Schedule in Regard to the Residence at The COR
  3. Approve Additional Services – Sunwood Drive Construction Administration
  4. Review Utility Building/Historic Town Hall Relocation Project - **Note: Attachments added during the meeting.**
- 5. Mayor/Council/Staff Input**
- 6. Adjournment**

## CC Special Session

4. 1.

**Meeting Date:** 10/16/2012

**By:** Chris Anderson, Community  
Development

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### **Title:**

Request for Site Plan and Conditional Use Permit Approval for Motor Fuel Sales and Car Wash for a Super America Located in the COR TWO Subdivision; Case of West Real Estate and Management Inc.

### **Background:**

The City has received applications for site plan approval and a conditional use permit for a proposed retail convenience store with motor fuel sales and an accessory, commercial car wash. The subject property is zoned COR-2b in which retail uses are permitted and motor fuel sales and accessory car washes are conditional uses.

### **Notification:**

A public hearing is not required for the site plan review. However, in accordance with State Statute and City Code, Staff attempted to notify all property owners within 350 of the Subject Property of the Public Hearing for the conditional use permit via Standard US Mail. A Notice of Public Hearing was also published in the Anoka County Union.

### **Observations:**

The site is approximately 1.25 acres and is located at the southwest corner of where Sunwood Dr turns from east/west to north/south (near the roundabout). The proposal includes four (4) motor fuel islands with a total of eight (8) individual fuel dispensers. The fueling area will be located underneath an overhead canopy that, per City Code, cannot exceed twenty (20) feet in height. The Applicant has requested that the operation be permitted twenty-four (24) hours per day, seven (7) days a week.

The Design Framework for The COR states that buildings should front the street to create a more urban feel. However, the COR-2b Sub-District is more auto-oriented and this standard creates some difficulty in site layout. The proposed building fronts the interior of the lot, as will the future buildings on Lots 3 & 4 and potentially the existing buildings south of the site (due to the realigned Sunwood Dr). Conceptually, Lots 3-5 Block 1 will act as one site even though they are comprised of individual lots. Each of the lots face the interior, creating more of a campus type of layout. While the accesses are all private, they will function much like public roads do and in that sense, the building faces a street. The private accesses will be encumbered by shared access easements.

The Applicant has submitted revised elevations that strive to enhance the street presence on the rear of the building (facing Sunwood Dr) by incorporating additional windows to meet the intent of the Design Framework.

At least forty percent (40%) of the building facade is required to be within the build-to line (thirty [30] feet along the east/west stretch of Sunwood Dr or fifteen [15] feet along the north/south stretch of Sunwood Dr based on the street hierarchy designations). However, the Design Framework allows for landscaping, decorative fencing and other certain features to be used in conjunction with the building facade to meet this standard. The Applicant has submitted additional detail regarding the decorative fencing and shrubbery and has also provided calculations that verify the combination of building facade, decorative fencing and landscaping exceed the forty percent (40%) threshold.

The exterior finish of the building is proposed to consist of face brick, brick accent bands, clear tempered glass and dark bronze metal panels. The columns of the overhead canopy for the fueling station are proposed to also be face brick with brick accent bands. The waste enclosure appears to consist of these same materials but will have a gate that consists of a wood composite material. The revised plans also indicate red LED accent lighting outlining the base of the roof as well as the overhead canopy.

There are twelve (12) proposed parking stalls shown on the site plan, which complies with the minimum and maximum standards outlined in the Design Framework (for retail, a minimum of 2 stalls per 1,000 square feet of building and a maximum of 4 stalls per 1,000 square feet of building space). The Applicant has stated that they do not intend to participate in any shared parking arrangements between Lots 2-4 Block 1 COR TWO.

Maneuverability for passenger vehicles appears to sufficient. A truck maneuvering exhibit has been submitted. Staff noted some concern about the maneuverability of fuel trucks and potential conflicts with passenger vehicles when the fuel truck would back up within the site and has requested feedback from the Applicant regarding site layout and truck maneuverability. The Applicant has since stated that the truck route would be altered so that fuel trucks would enter through the secondary access (the north entrance) and exit through the southeast access. This route would eliminate the need for a fuel truck to back up within the site, which reduces the potential conflict between truck traffic and passenger vehicles.

The grading/drainage and landscaping plans are generally acceptable with requested revisions outlined in the Staff Review File dated October 12, 2012.

The Planning Commission held a public hearing concerning the conditional use permit request for motor fuel sales and an accessory, commercial car wash on October 4, 2012. There were no written or verbal comments submitted regarding this request.

**Recommendation:**

Based on the revised elevations and renderings, the Planning Commission has recommended approving the site plan and the conditional use permit for motor fuel sales and an accessory, commercial car wash contingent upon compliance with the Staff Review File. However, the Planning Commission requested two (2) additions to the Findings of Fact and one (1) amendment to the conditional use permit, based on a request from the Applicant.

The Planning Commission recommended that the Findings of Fact be revised to include the following:

- That the proposed use and layout are acceptable due to the unique design constraints of the lot, the location within The COR, the street designations, and the orientation of the building; and
- That the proposed car wash is acceptable due to recent zoning amendments that identify this area as being more auto-oriented.

The Planning Commission recommended that the Conditional Use Permit be revised to permit a twenty-four (24) hours per day operation, seven (7) days per week.

The first finding and the revision to the Conditional Use Permit have been incorporated into the documents for consideration this evening. The second finding was requested by the Planning Commission to address their concern of recommending approval for this car wash while a previous request (in 2004) for an accessory car wash for the Coborn's site did not receive a favorable recommendation by the Planning Commission. However, after Staff reviewed the 2004 case, it was apparent that the Planning Commission had, in fact, recommended approval of the conditional use permit and that the City Council had approved the conditional use permit; the applicant, for unspecified reasons, had subsequently withdrawn their request for a conditional use permit. Therefore, this finding was not incorporated into the Findings of Fact for consideration this evening.

**Funding Source:**

All cost associated with processing the application are the responsibility of the Applicant.

**Council Action:**

Motion to adopt Findings of Fact favorable to the applicant and to approve the request for a Conditional Use Permit for motor fuel sales and an accessory car wash, contingent upon the completion of certain updates to the Design Framework and compliance with the Staff Review File dated September 28, 2012, revised October 12, 2012.

-and-

Motion to approve the proposed site plan, contingent upon the completion of certain updates to the Design Framework and compliance with the Staff Review File dated September 28, 2012, revised October 12, 2012.

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### Attachments

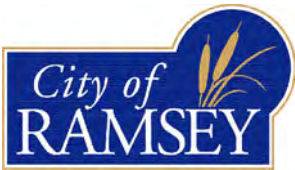
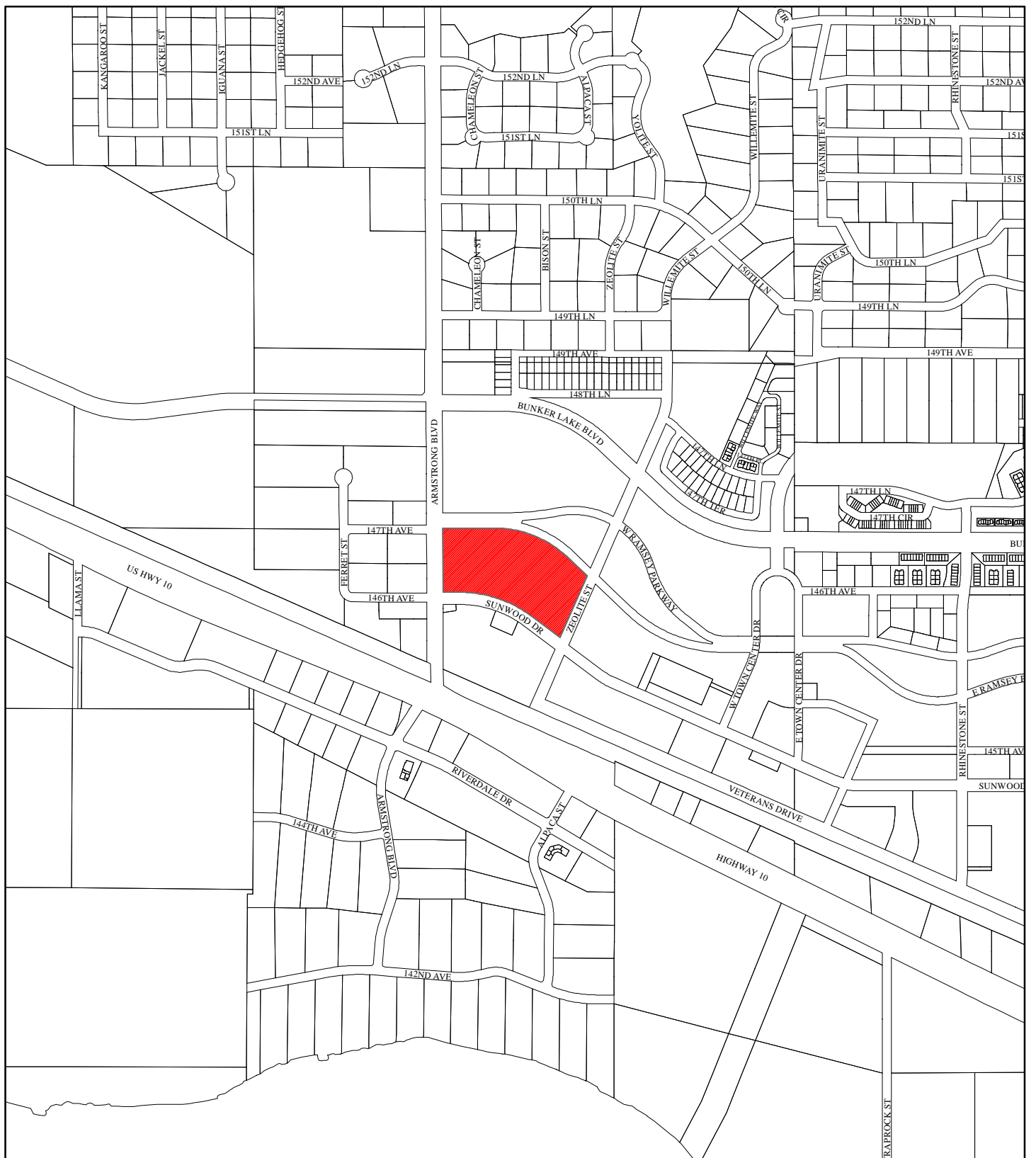
Site Location Map  
Revised Plan Submittal  
Floor Plan  
Revised Color Rendering  
Photo of Proposed Exterior  
Applicant Response to Staff  
Applicant Narrative of Project  
Proposed Findings of Fact  
Proposed CUP  
Development Permit  
Staff Review

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### Form Review

<b>Inbox</b>	<b>Reviewed By</b>	<b>Date</b>
Tim Gladhill	Tim Gladhill	10/11/2012 09:28 AM
Bill Goodrich	Kathy Schmitz	10/11/2012 01:12 PM
Kurt Ulrich	Kurt Ulrich	10/11/2012 02:36 PM
Form Started By: Chris Anderson		Started On: 10/08/2012 12:13 PM

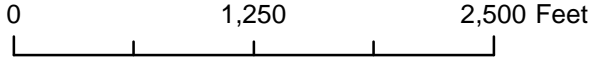
Final Approval Date: 10/11/2012



Super America

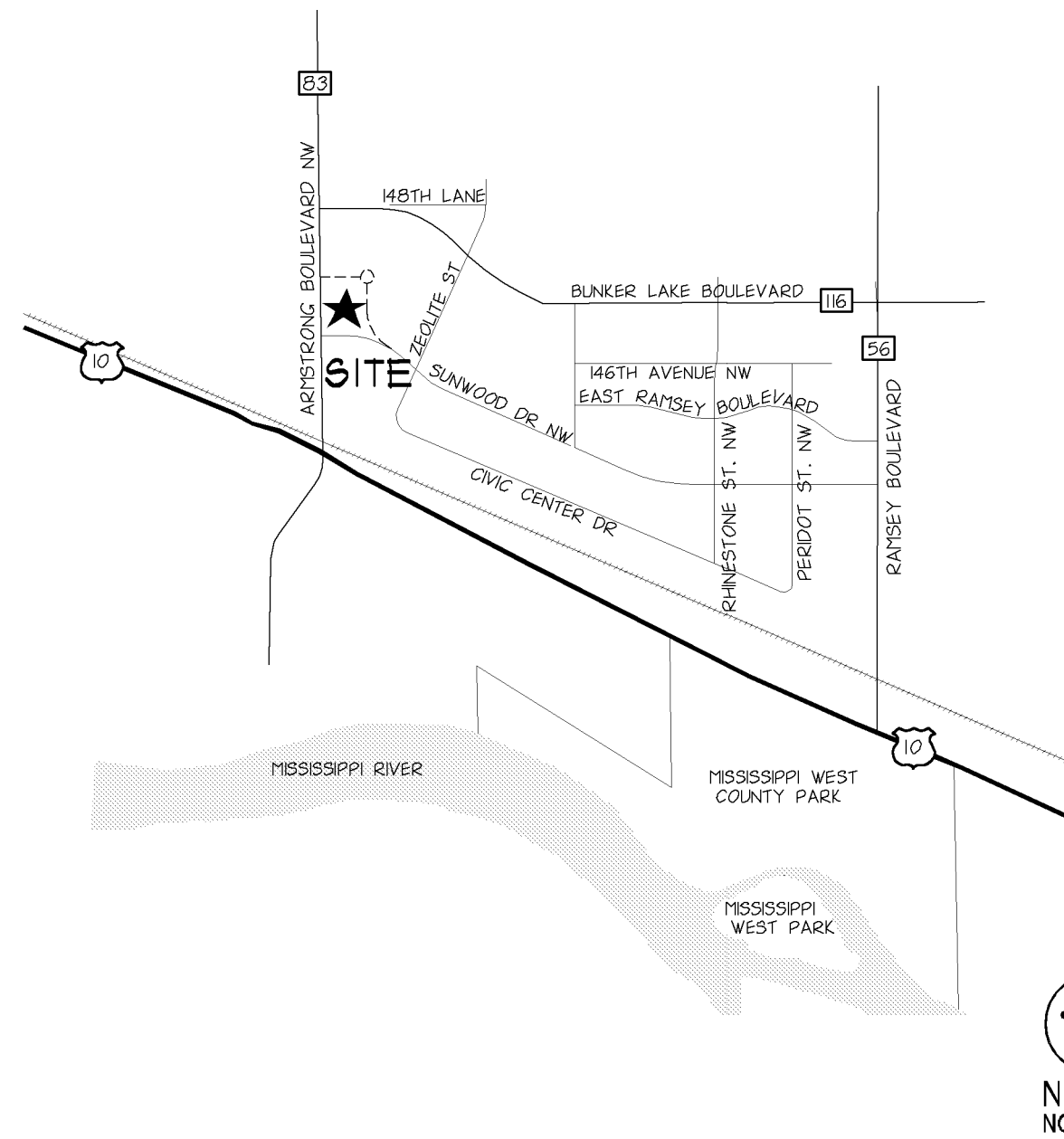
Legend

- Site
- Parcels



RAMSEY, MN

AREA LOCATION MAP

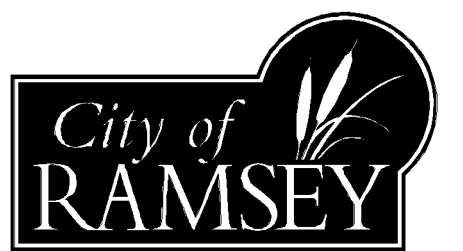


# SUPERAMERICA SUNWOOD RETAIL RAMSEY, MN

DEVELOPER

**RAMSEY HRA**  
7550 SUNWOOD DRIVE  
RAMSEY, MN 55303  
TEL: (763) 427-1410 • FAX: (763) 427-5543

MUNICIPALITY



PROJECT

**SUPERAMERICA  
SUNWOOD RETAIL  
RAMSEY, MINNESOTA**

SHEET INDEX

SHEET	TITLE
C0.1	CIVIL TITLE SHEET
C1.1	EXISTING CONDITIONS
C1.2	PRELIMINARY PLAT
C1.3	FINAL PLAT (SHEET 1 OF 2)
C1.4	FINAL PLAT (SHEET 2 OF 2)
C2.1	PRELIMINARY SITE PLAN
C2.2	GRADING, DRAINAGE, PAVING & EROSION CONTROL
C3.1	UTILITIES
C3.2	CIVIL CONSTRUCTION DETAILS
C7.1	CIVIL CONSTRUCTION DETAILS
L2.1	LANDSCAPE
L2.2	STREETSCAPE PLAN
L2.3	LANDSCAPE DETAILS
L7.1	STREETSCAPE PLAN
E2.1	SITE PHOTOMETRICS

ABBREVIATIONS

D & @	Angle	JT.	Joint
100 YR.	100 Year Flood Elevation	L.F.	Lineal Feet
A.B.	Anchor Bolt	L.P.	Low Point / Liquid Petroleum
A.D.	Area Drain	LQ.	Local Government Unit
A/C	Ar Conditionna Unit	LONC.	Longitudinal
ADD.	Addendum	LT.	Light / Lighting
ADJ.	Adjacent / Adjust	MANT.	Maintenance
AHJ	Authority Having Jurisdiction	MAS.	Masonry
ALT.	Alternate	MATL.	Material
ALLM.	Approved	MAX.	Maximum
ANND.	Approved	MECH.	Mechanical
APPROX.	Approximate	MFR.	Manufacturer
ARCH.	Architect / Architectural	MH.	Manhole
AUTO.	Automatic	MIN.	Minimum / Minute
AVG.	Average	MISC.	Miscellaneous
B.C.	Back of Curb	MNDOT	Minnesota Department Of Transportation
B.M.	Benchmark	MOD.	Module / Modular
B/W	Bottom of Wall	MU.	Mulch
BFE	Base Flood Elevation	N.	North
BLDC	Beamless (Asphaltic)	N.C.	Not In Contract
BSPIT.	Basement	N.	Number
C.F.	Cubic Feet	NO. OR #	None
C.F.S.	Cubic Feet Per Second	NTS	Not To Scale
C.G.	Corner Guard	NWE	Normal Water Elevation
C.I.	Control Joint	NWL	Normal Water Level
C.L.	Centerline	O.C.	On Center
C.M.U.	Concrete Masonry Unit	O.D.	Outside Dimension
C.O.	Cleanout	O.E.	Overhead Electric
C.O.E.	U.S. Army Corps Of Engineers	O.H.W.	Ordinary High Water Level
C.Y.	Cubic Yards	OPNS.	Opening
CB	Catch Basin	ORIG.	Original
CBMH	Catch Basin Manhole	P.C.	Point of Curvature
CEM.	Cement	P.O.B.	Point of Beginning
CHP	Corrugated Metal Pipe	P.S.F.	Pounds Per Square Foot
CONC.	Concrete (Formed)	P.T.	Point of Tangency
CONN.	Connection	P.V.C.	Point of Vertical Curvature
CONST.	Construction	P.V.I.	Point of Vertical Intersection
CONT.	Contractor	P.V.T.	Point of Vertical Tangency
CONTR.	Contractor	PE	Polyethylene
CU.	Copper	PERF.	Perforated
D.S.	Down Spout	PREP.	Preparation
DEG.	Degree	PROP.	Proposed
DEMO.	Demolition / Demolish	PVC	Poly-Vinyl-Chloride (Pipng)
DEPT.	Department	PVTT.	Pavement
DET.	Detail	QTR.	Quarter
DIA.	Diameter	QTY.	Quantity
DIAG.	Diagram	R	Radius
DIM.	Dimension	RAD.	Roof Drain
DIP	Ductile Iron Pipe	R.E.	Rearranging
DN	Down	R.D.	Rough Opening
DWG.	Drawing	R.F.P.	Rough Finish
E.	East	R.C.P.	Reinforced Concrete Pipe
E.O.S.	Emergency Overflow Scape	RE.	Reinforcing
E.W.	Each Way	REIN.	Reinforced
EA.	Elevation	REQD.	Required
ELEC.	Electrical	REV.	Revision / Revised
ELEV.	Elevation	RQU	Regulatory Government Unit
EMER.	Emergency	ROW OR R/W	Right of Way
ENR.	Engineer	S.	Square Feet
EQ.	Equipment	S.F.	Square Feet
EQUIV.	Equivalent	SECT.	Section
EXIST.	Existing	SE	Side Exit
EXP.	Expansion	SEMO	Side Exit Walk Out
F & I	Furnish and Install	SHT.	Sheet
F.B.O.	Furnished by Others	SH.	Similar
F.C.	Face of Curb	SIM.	Similar
F.D.	Floor Drain	SUIT.	Specification
F.D.C.	Fire Department Connection	SPEC.	Specification
F.V.	Field Verify	SQ.	Square
FB	Full Basement	STH	Storm Sewer Manhole
FBWO	Full Basement Walk Out	STD.	Standard
FDN.	Foundation	STRUC.	Structural
FES	Finished End Section	STR.	Structural
FFE	Finished Floor Elevation	THK.	Thickness
FLR	Floor	T/R	Top of Rim
FT. OR (')	Foot	T/W	Top of Wall
FUT.	Future	TEMP.	Temporary
G.B.	Grade Break	TH	Thick / Thickness
G.C.	General Contractor	TNH	Top Nut Hydrant
GAL.	Gallon	TY	Typical
GAL.V.	Galvanized	UNO.	Unless Noted Otherwise
GFE	Garage Floor Elevation	V.B.	Vertical Curve
GL.	Grade	V.C.	Vertical Curve
GR.	Grade	V.F.	Verify in Field
H.	Height	VER.	Vertical
H.P.	High Point	VEST.	Vestibule
HDPPEP	High Density Polyethylene Ppe	W.	Width
HCT.	Height	W.P.	Working Point
HORIZ.	Horizontal	W.W.F.	Welded Wire Fabric
HVAC	Heating, Ventilation, Air Conditioning	W/O	Without
HYD	Hydrant	WG	Walk Out
I.D.	Inside Dimension	WETL.	Wetland
I.N. OR (")	Inches	WP	Waterproof
INFO.	Information	WT.	Weight
INS.	Insulation	YD.	Yard
INSUL.	Insulation	YR.	Year
INV.	Invert Elevation		

SYMBOLS

EXISTING	DESCRIPTION	NEW	DESCRIPTION
	CONTOUR		SPOT ELEVATION
	BUILDING CANOPY / OVERHANG		UNDERGROUND STRUCTURE
	CONCRETE		CONCRETE
	CONCRETE CURB		CONCRETE CURB
	EDGE OF PAVEMENT		EDGE OF PAVEMENT
	FENCING		FENCING
	GUARD RAIL		GUARD RAIL
	CONCRETE RETAINING WALL		CONCRETE RETAINING WALL
	FELDSTONE RETAINING WALL		FELDSTONE RETAINING WALL
	MODULAR RETAINING WALL		MODULAR RETAINING WALL
	SOIL BORING		SOIL BORING
	LIGHT POLE		LIGHT STANDARD
	TREES		POWER POLE
	DENOTES TREE LIMITS		SLOPE, DIRECTION OF FLOW
	MANHOLE		BOLLARD
	CATCH BASIN		STORM SEWER
	FIRE HYDRANT		SANITARY SEWER-WASTE
	WATER VALVE		FORCE MAN
	FLARED END SECTION		ROOF DRAIN COLLECTOR
	IRON MONUMENT FOUND		WATER MAN
	IRON PIPE MONUMENT SET		FIRE LINE (SEPARATE)
	P.K. NAIL		FIRE DEPARTMENT CONNECTION
	POWERPOLE		DOMESTIC WATER SERVICE
	GUARD POST		CULVERT & END SECTION
	UTILITY BOX (TV, TEL, ELEC)		GAS LINE
	TRAFFIC BOX		SOL SUBDRAIN
	GAS METER		ELECTRIC-OVERHEAD
	TRAFFIC SIGN		TELEPHONE-OVERHEAD
	CLAY WIRE		UNDERGROUND ELECTRIC
	REGISTRAR OF TITLES		OVERHEAD ELECTRIC
	COUNTY RECORDER		UNDERGROUND CABLE T.V.
	STORM SEWER LINE		UNDERGROUND CABLE T.V.
	SANITARY SEWER LINE		WELL
	WATER MAN		RESTRICTED ACCESS
	UNDERGROUND GAS		NOTE NUMBER
	UNDERGROUND TELEPHONE		DENOTES BITUMINOUS SURFACE
	UNDERGROUND ELECTRIC		
	OVERHEAD TELEPHONE		
	UNDERGROUND CABLE T.V.		
	OVERHEAD CABLE T.V.		
	WELL		
	RESTRICTED ACCESS		
	NOTE NUMBER		
	DENOTES BITUMINOUS SURFACE		

EROSION CONTROL SYMBOLS

SYMBOL	DESCRIPTION
	SILT FENCE
	CONSTRUCTION LIMITS
	INLET PROTECTION

DRAWING SYMBOLS

SYMBOL	DESCRIPTION
	NOTE REFERENCE
	PARKING STALL COUNT
	LARGE SHEET DETAIL
	COORDINATE POINT
	REVISION - ADDENDUM, BULLETIN, ETC.
	REVISED AREA (THIS ISSUE)

BENCHMARKS

PROJECT BENCHMARKS:  
COR CONTROL POINT: "HYATT"  
CONTROL POINT LOCATED AT S.E. ANGLE POINT OF ZEBULIE STREET & CIVIC CENTER DRIVE  
ELEVATION = 878.61 (NGVD 29)  
TOP NUT OF HYDRANT  
LOCATED ON SOUTH SIDE OF BUNKER LAKE BLVD APPROX. 600 FT FROM ARMSTRONG BLVD  
ELEVATION = 864.96 (NGVD 29)

LEGAL DESCRIPTION

LOT 5, BLOCK 1, COR TWO

CITY NOTES

- SITE GRADING, LANDSCAPING AND UTILITY INSTALLATIONS MUST BE COMPLETED AS SHOWN WITHOUT ALTERATION. DEVIATIONS FROM PLANS MUST BE CHECKED AND APPROVED BY THE ENGINEERING DEPARTMENT AND/OR THE PLANNING COMMISSION PRIOR TO SAD CHANGE.
- REQUIRED EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS AS SHOWN.
- MAN JOB-SITE ENTRANCE MUST BE POSTED WITH THE PROJECT ADDRESS SO THAT IT IS CLEARLY VISIBLE FROM THE STREET. JOB-SITE ADDRESS SIGN MUST BE INSTALLED IN PLACE UNTIL FINAL OCCUPANCY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT, OR OWNER DOES NOT GUARANTEE THAT ALL UTILITIES ARE MAPPED OR IF MAPPED, ARE SHOWN CORRECTLY. CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.

SHEET INDEX

C0.1	CIVIL TITLE SHEET
C1.1	EXISTING CONDITIONS
C1.2	PRELIMINARY PLAT
C1.3	FINAL PLAT (SHEET 1 OF 2)
C1.4	FINAL PLAT (SHEET 2 OF 2)
C2.1	SITE PLAN
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REVISION HISTORY

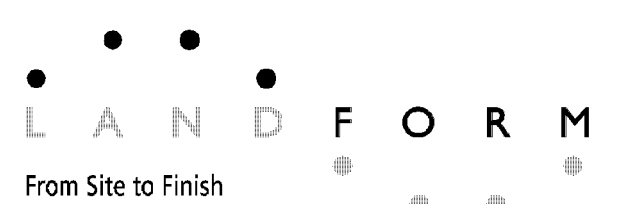
DATE	REVISION	REVIEW
09 SEPT 2012	PRELIMINARY SITE PLAN SUBMITTAL	SES
27 SEPT 2012	RESPONSE TO CITY COMMENTS	SES

PROJECT MANAGER REVIEW

BY: SES DATE: 09/27/12

CERTIFICATION

SITE PLAN SUBMITTAL  
27 SEPTEMBER 2012



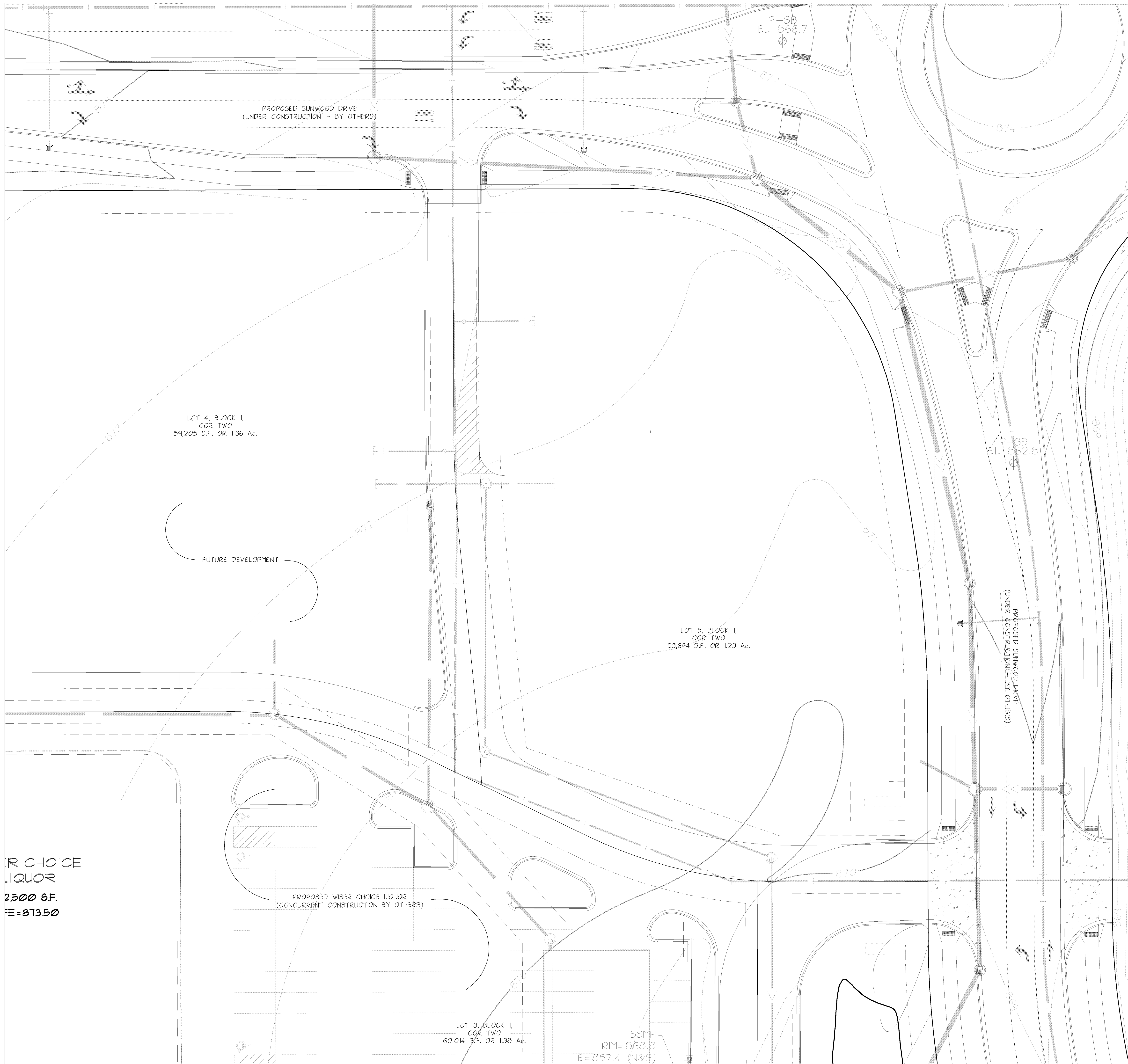
105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME: C001RAM025.DWG

PROJECT NO: KPL12001

CIVIL TITLE SHEET

**C0.1**



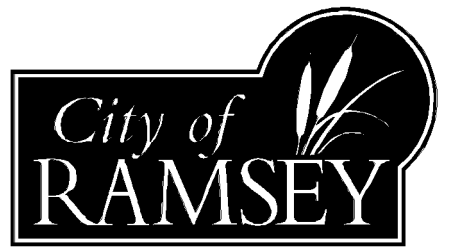
**EXISTING CONDITIONS**

BACKGROUND INFORMATION SHOWN IS FROM SURVEY BY LANDFORM, MINNEAPOLIS, MN, EXPRESSLY FOR THIS PROJECT; CITY OF RAMSEY, MN RECORD DRAWINGS AND UTILITY SERVICE PROVIDERS. LANDFORM OFFERS NO WARRANTY, EXPRESSED OR WRITTEN, FOR INFORMATION PROVIDED BY OTHERS. EXISTING PROJECT CONDITIONS SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ENGINEER.

**DEVELOPER**

**RAMSEY HRA**  
7550 SUNWOOD DRIVE  
RAMSEY, MN 55303  
TEL (763) 427-1410 · FAX (763) 427-5543

**MUNICIPALITY**



**PROJECT**

**SUPERAMERICA  
SUNWOOD RETAIL  
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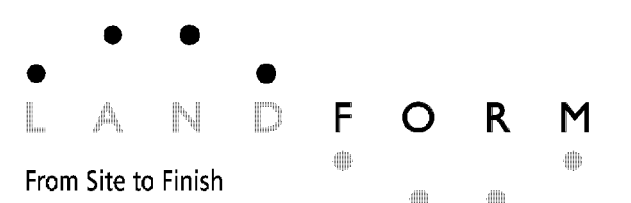
**PROJECT MANAGER REVIEW**

BY SES DATE 09/27/12

**CERTIFICATION**

IF THE SIGNATURE, SEAL OR FOUR LINES CHECKMARK ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED WITHOUT ORIGINAL READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

**SITE PLAN SUBMITTAL**  
27 SEPTEMBER 2012

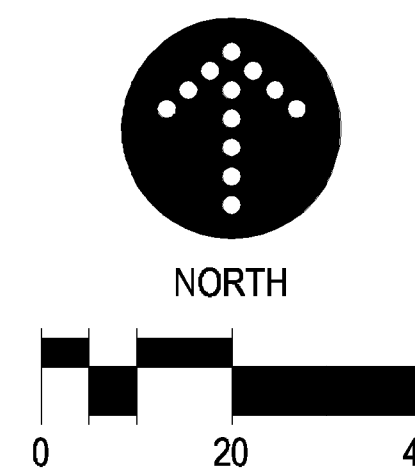


105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME C:\01RAM\KOC.DWG  
PROJECT NO. KPL12001

**EXISTING CONDITIONS**

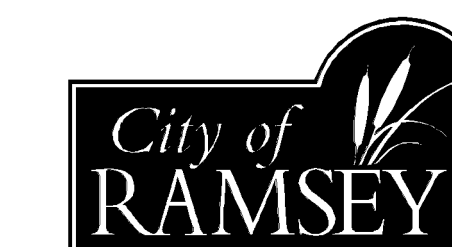
**C1.1**



DEVELOPER

RAMSEY HRA  
7550 SUNWOOD DRIVE  
RAMSEY, MN 55303  
TEL (763) 427-1410 - FAX (763) 427-5543

MUNICIPALITY



PROJECT

SUPERAMERICA  
SUNWOOD RETAIL  
RAMSEY, MINNESOTA

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SHEET	TITLE
C01	CIVIL TITLE SHEET
C11	EXISTING CONDITIONS
C12	PRELIMINARY PLAT
C13	FINAL PLAT (SHEET 1 OF 2)
C14	FINAL PLAT (SHEET 2 OF 2)
C21	PRELIMINARY SITE PLAN
C31	GRADING, DRAINAGE, PAVING & EROSION CONTROL
C41	UTILITIES
C51	CIVIL CONSTRUCTION DETAILS
C71	CIVIL CONSTRUCTION DETAILS
L21	LANDSCAPE
L22	STREETSCAPE PLAN
L31	LANDSCAPE DETAILS
L71	STREETSCAPE PLAN
E21	SITE PHOTOGRAPHS

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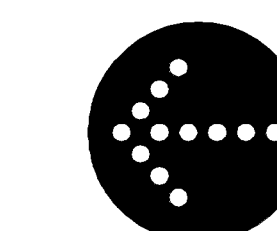
CERTIFICATION

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED IMPROPERLY. READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

SITE PLAN SUBMITTAL  
27 SEPTEMBER 2012



Know what's Below.  
Call before you dig.



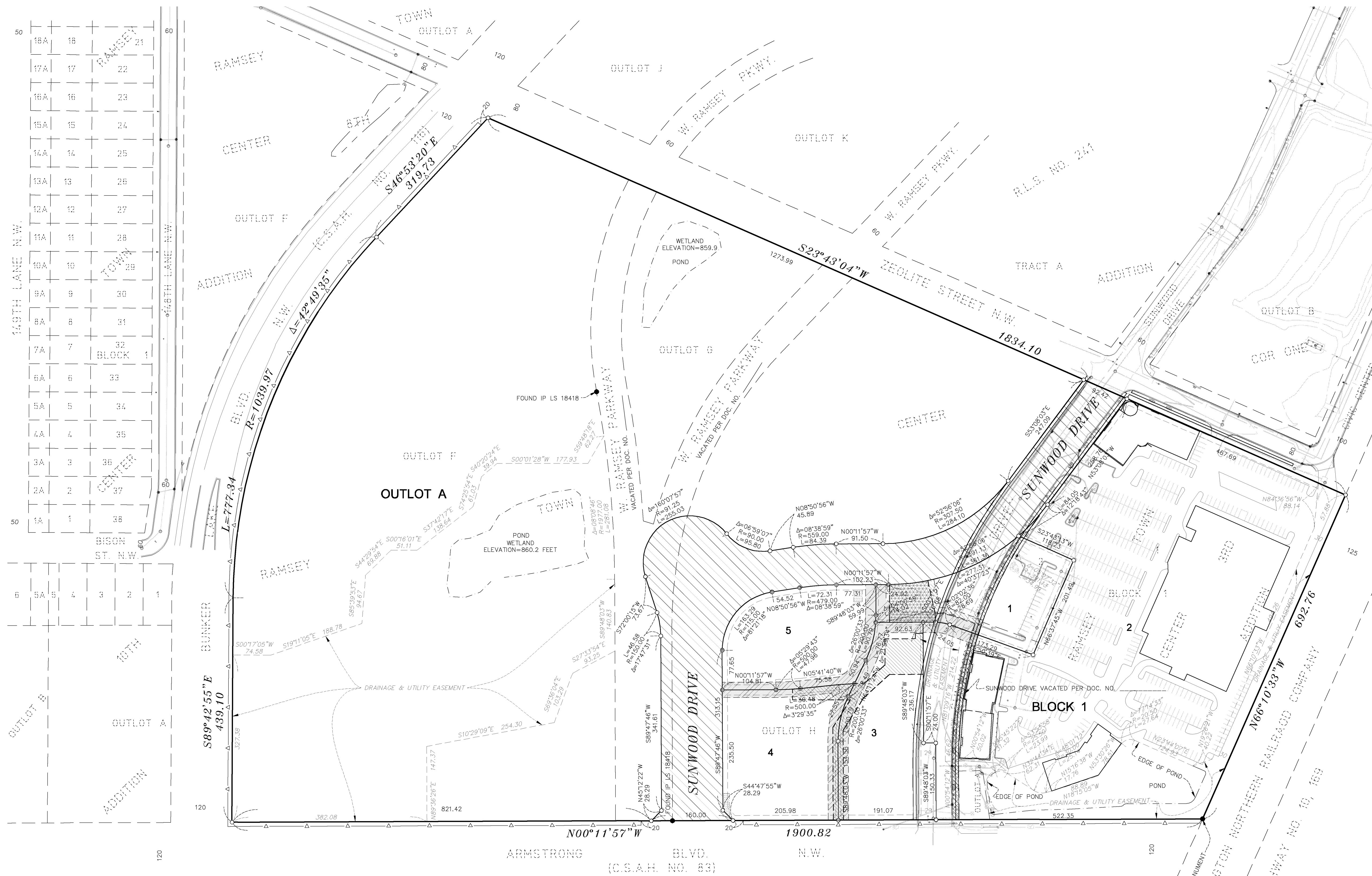
NORTH  
0 100 200

LANDFORM  
From Site to Finish  
105 South Fifth Avenue  
Suite 513  
Minneapolis, MN 55401  
Tel: 612-252-9070  
Fax: 612-252-9077  
Web: landform.net

FILE NAME: plat-RAM020  
PROJECT NO.: KPL12001

PRELIMINARY PLAT  
C1.2

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EXISTING CONDITIONS

BACKGROUND INFORMATION SHOWN IS FROM SURVEY BY LANDFORM, MINNEAPOLIS, MN, ON DATE XXXX, EXPRESSLY FOR THIS PROJECT. CITY OF RAMSEY, MN, RECORD DRAWINGS, AND UTILITY SERVICE PROVIDERS. LANDFORM OFFERS NO WARRANTY, EXPRESSED OR WRITTEN, FOR INFORMATION PROVIDED BY OTHERS. EXISTING PROJECT CONDITIONS SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ENGINEER.

EXISTING LOT AREAS

OUTLET F, RAMSEY TOWN CENTER	=846,384 SQ. FT. OR 19.43 ACRES
OUTLET G, RAMSEY TOWN CENTER	=116,200 SQ. FT. OR 2.67 ACRES
OUTLET H, RAMSEY TOWN CENTER	=528,273 SQ. FT. OR 12.13 ACRES
WEST RAMSEY PARKWAY (TO BE VACATED)	=43,718 SQ. FT. OR 3.30 ACRES
SUNWOOD DRIVE (TO BE VACATED)	=84,003 SQ. FT. OR 1.93 ACRES
LOT 1, BLOCK 1, RAMSEY TOWN CENTER 3RD ADDITION	=388,683 SQ. FT. OR 8.92 ACRES
LOT 2, BLOCK 1, RAMSEY TOWN CENTER 3RD ADDITION	=20,539 SQ. FT. OR 0.47 ACRES
OUTLET A, RAMSEY TOWN CENTER 3RD ADDITION	=5,071 SQ. FT. OR 0.12 ACRES
TOTAL	=2,132,873 SQ. FT. OR 48.96 ACRES

PROPOSED LOT AREAS

LOT 1, BLOCK 1, COR TWO	= 47,291 SQ. FT. OR 1.09 ACRES
LOT 2, BLOCK 1, COR TWO	= 417,287 SQ. FT. OR 9.58 ACRES
LOT 3, BLOCK 1, COR TWO	= 60,013 SQ. FT. OR 1.39 ACRES
LOT 4, BLOCK 1, COR TWO	= 59,205 SQ. FT. OR 1.36 ACRES
LOT 5, BLOCK 1, COR TWO	= 53,694 SQ. FT. OR 1.23 ACRES
OUTLET A, COR TWO	= 134,011 SQ. FT. OR 3.07 ACRES
SUNWOOD DRIVE RIGHT OF WAY	= 54,864 SQ. FT. OR 3.55 ACRES
TOTAL	=2,132,873 SQ. FT. OR 48.96 ACRES

PRELIMINARY PLAT INFORMATION

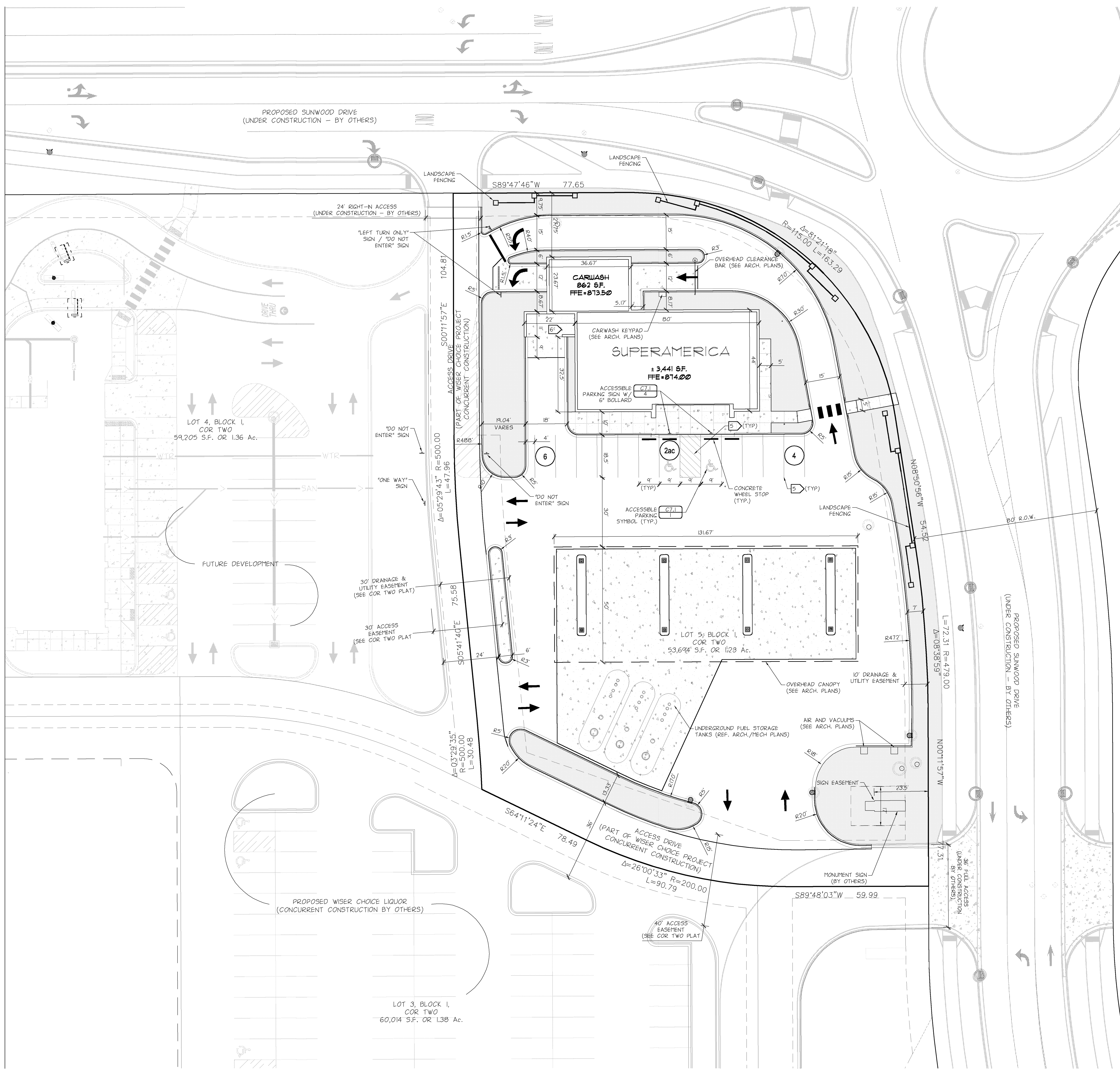
- PROPOSED PLAT NAME: COR TWO
- EXISTING LEGAL DESCRIPTION:  
OUTLET F, G, AND H, RAMSEY TOWN CENTER ADDITION  
LOT 1 AND 2, BLOCK 1, RAMSEY TOWN CENTER 3RD ADDITION  
OUTLET A, RAMSEY TOWN CENTER 3RD ADDITION  
VACATED WEST RAMSEY PARKWAY LYING BETWEEN ARMSTRONG BLVD. AND ZEOLITE STREET N.W.  
VACATED SUNWOOD DRIVE LYING BETWEEN ARMSTRONG BLVD. AND ZEOLITE STREET N.W.
- OWNER/SUBDIVIDER: RAMSEY HRA  
7550 SUNWOOD DRIVE  
RAMSEY, MN 55303
- DESIGNER/SURVEYER: LANDFORM  
105 SOUTH FIFTH AVENUE  
SUITE 513  
MINNEAPOLIS, MN 55401
- AREA SUMMARY: SEE AREA TABLES
- EXISTING ZONING: COR-2A
- PROPOSED ZONING: COR-2

PROPOSED EASEMENTS

- PROPOSED ACCESS EASEMENT
- PROPOSED SUNWOOD DRIVE RIGHT OF WAY EASEMENT
- PROPOSED SIDEWALK EASEMENT
- PROPOSED SIGN EASEMENT
- PROPOSED PRIVATE UTILITY EASEMENT
- PROPOSED PRIVATE DRAINAGE EASEMENT







- ### SITE PLAN NOTES
- OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WITHIN, OR USE OF, PUBLIC RIGHT-OF-WAY.
  - THE DIGITAL FILE, WHICH CAN BE OBTAINED FROM THE ENGINEER, SHALL BE USED FOR STAKING. DISCREPANCIES BETWEEN THE DRAWINGS AND THE DIGITAL FILE SHALL BE REPORTED TO THE ENGINEER. THE BUILDING FOOTPRINT, AS SHOWN ON THESE DRAWINGS, AND THE DIGITAL FILE, SHALL BE COMPARED TO THE STRUCTURAL DRAWINGS PRIOR TO STAKING.
  - BUILDING LAYOUT ANGLES ARE PARALLEL WITH OR PERPENDICULAR TO THE PROPERTY LINE AT THE LOCATION INDICATED.
  - DIMENSIONS SHOWN ARE TO FACE OF CURB AND EXTERIOR FACE OF BUILDING UNLESS NOTED OTHERWISE.
  - DELINEATE PARKING STALLS WITH A 4-INCH WIDE WHITE/YELLOW PAINTED STRIPE. DELINEATE ACCESS AISLES WITH 4-INCH WIDE WHITE/YELLOW PAINTED STRIPES 18 INCHES ON CENTER AND AT 45 DEGREE ANGLE TO DIRECTION OF TRAVEL.
  - TRASH/RECYCLING AREAS: SEE ARCHITECTURAL DRAWINGS.
- GREEN SPACE (LANDSCAPE AREA)

### PARKING SUMMARY

**REQUIRED PARKING LOT 5:**

2 STALLS PER 1,000 SF OF BUILDING  
 4,303 SF TOTAL  
 4,303 SF X 2 = 9 STALLS

TOTAL PARKING STALLS REQUIRED: 9 EA.

**PROVIDED PARKING LOT 5:**

STANDARD STALLS (9'x18.5')	10 EA.
ACCESSIBLE STALLS (9'x18.5')	2 EA.
TOTAL PARKING STALLS PROVIDED	12 EA.

### AREA SUMMARY

**EXISTING LOT 5:**

PERVIOUS	47,657 S.F.	88.8%
IMPERVIOUS	6,037 S.F.	11.2%
TOTAL (1,233 Ac)	53,694 S.F.	100.0%

**PROPOSED LOT 5:**

PERVIOUS	9,325 S.F.	17.4%
IMPERVIOUS	40,066 S.F.	74.6%
CONVENIENCE STORE	3,441 S.F.	6.4%
CAR WASH	862 S.F.	1.6%
TOTAL (1,233 Ac)	53,694 S.F.	100.0%

### ZONING AND PARKING SUMMARY

THE PROPERTY IS ZONED COR-2, COMMERCIAL.

BUILDING SETBACK INFORMATION IS AS FOLLOWS:  
 FRONT YARD = 0-15 FT.  
 REAR = 0 FT.  
 SIDE = 0 FT.

LOT COVERAGE INFORMATION IS AS FOLLOWS:  
 LOT AREA MINIMUM = NONE  
 LOT WIDTH MINIMUM = 80 FT.

**DEVELOPER**

**RAMSEY HRA**  
 7550 SUNWOOD DRIVE  
 RAMSEY, MN 55303  
 TEL: (763) 427-1410 - FAX: (763) 427-5543

**MUNICIPALITY**

**City of RAMSEY**

**PROJECT**

**SUPERAMERICA  
 SUNWOOD RETAIL  
 RAMSEY, MINNESOTA**

### SHEET INDEX

SHEET	TITLE
C0.1	CIVIL TITLE SHEET
C1.1	EXISTING CONDITIONS
C1.2	PRELIMINARY PLAT
C1.3	FINAL PLAT (SHEET 1 OF 2)
C1.4	FINAL PLAT (SHEET 2 OF 2)
C2.1	PRELIMINARY SITE PLAN
C3.1	GRADING, DRAINAGE, PAVING & EROSION CONTROL
C4.1	UTILITIES
C7.1	CIVIL CONSTRUCTION DETAILS
C7.2	CIVIL CONSTRUCTION DETAILS
L2.1	LANDSCAPE
L2.2	STREETSCAPE PLAN
L2.3	LANDSCAPE DETAILS
E2.1	SITE PHOTOGRAPHS

### REVISION HISTORY

CONTACT ENGINEER FOR ANY PROHISTORY

DATE	REVISION	REVIEW
09 SEPT 2012	PRELIMINARY SITE PLAN SUBMITTAL	SES
27 SEPT 2012	RESPONSE TO CITY COMMENTS	SES

**PROJECT MANAGER REVIEW**

BY: [Signature] DATE: 09/27/12

**CERTIFICATION**

**SITE PLAN SUBMITTAL**  
 27 SEPTEMBER 2012

**LANDFORM**

From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070  
 Suite 513 Fax: 612-252-9077  
 Minneapolis, MN 55401 Web: landform.net

FILE NAME: C201RAM\ccc.DWG  
 PROJECT NO.: KPL12001

**PRELIMINARY SITE PLAN**

**C2.1**

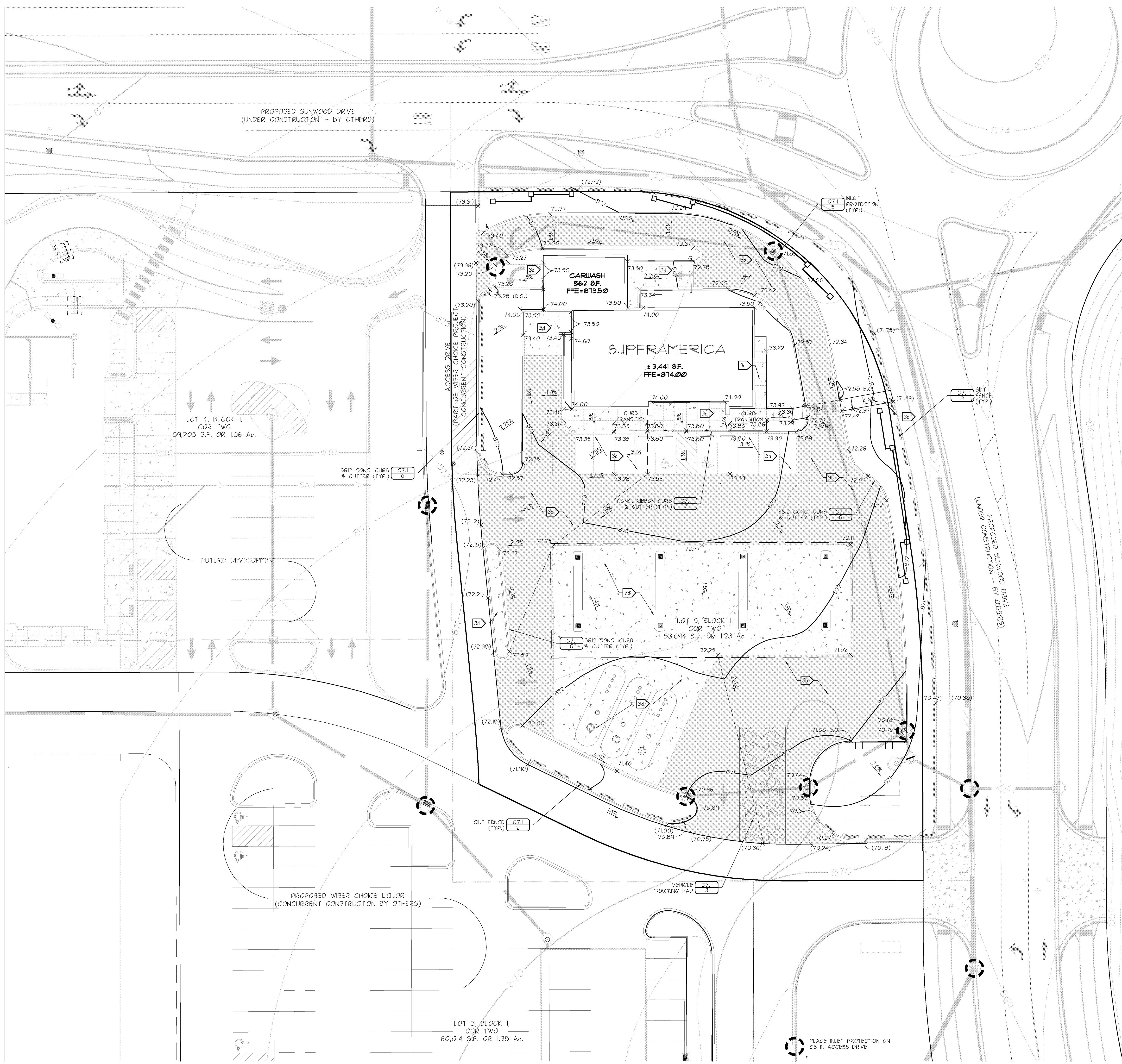
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**811**

Know what's Below.  
 Call before you dig.

**NORTH**

0 20 40



**GRADING NOTES**

- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING GRADING.
- REMOVE TOPSOIL FROM GRADING AREAS AND STOCKPILE SUFFICIENT QUANTITY FOR REUSE.
- REMOVE SURFACE AND GROUND WATER FROM EXCAVATIONS. PROVIDE INITIAL LIFTS OF STABLE FOUNDATION MATERIAL IF EXPOSED SOILS ARE WET AND UNSTABLE.
- REFER TO STRUCTURAL SPECIFICATIONS FOR EARTHWORK REQUIREMENTS FOR BUILDING PADS.
- AN INDEPENDENT TESTING FIRM SHALL VERIFY THE REMOVAL OF ORGANIC AND UNSUITABLE SOILS, SOIL CORRECTION, AND COMPACTION AND PROVIDE PERIODIC REPORTS TO THE OWNER.
- PLACE AND COMPACT FILL USING LIFT THICKNESSES MATCHED TO SOIL TYPE AND COMPACTION EQUIPMENT TO OBTAIN SPECIFIED COMPACTION THROUGHOUT THE LIFT.
- COMPACT MATERIAL IN PAVED AREAS TO 95% OF MAXIMUM DRY DENSITY, STANDARD PROCTOR (ASTM D698) EXCEPT THE TOP 3 FEET WHICH SHALL BE COMPACTED TO 100%. COMPACT TO 98% DENSITY WHERE FILL DEPTH EXCEEDS 10 FEET.

**PAVING NOTES**

- SPOT ELEVATIONS AT CURB LINES INDICATE FLOW LINES UNLESS NOTED OTHERWISE. SEE SHEET C4.1 FOR RIM ELEVATIONS OF CATCH BASINS.
- MEET AND MATCH EXISTING CURB.
- PAVING SECTIONS (PRELIMINARY)
  - BITUMINOUS PAVING (LIGHT DUTY)
    - 1.5-INCH WEAR
    - TACK COAT
    - 1.5-INCH BASE
    - 6-INCH AGGREGATE BASE (MNDOT 313B, CLASS 5)
    - COMPACTED SUBSOIL
  - BITUMINOUS PAVING (HEAVY DUTY)
    - 1.5-INCH WEAR
    - TACK COAT
    - 2.5-INCH BASE
    - 6-INCH AGGREGATE BASE (MNDOT 313B, CLASS 5)
    - COMPACTED SUBSOIL
  - CONCRETE WALKWAYS
    - 4-INCH CONCRETE WALK
    - 4-INCH AGGREGATE BASE (MNDOT 313B, CLASS 5)
    - COMPACTED SUBSOIL
  - CONCRETE DRIVES, APRONS, AND EXTERIOR SLABS
    - 8-INCH CONCRETE
    - 4-INCH AGGREGATE BASE (MNDOT 313B, CLASS 5)
    - COMPACTED SUBSOIL

**EROSION PREVENTION AND SEDIMENT CONTROL NOTES**

- INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO BEGINNING WORK AND MAINTAIN FOR DURATION OF CONSTRUCTION. REMOVE CONTROLS AFTER AREAS CONTRIBUTING RUN OFF ARE PERMANENTLY STABILIZED AND DISPOSE OF OFF SITE.
- LIMIT SOIL DISTURBANCE TO THE GRADING LIMITS SHOWN. SCHEDULE OPERATIONS TO MINIMIZE LENGTH OF EXPOSURE OF DISTURBED AREAS.
- MANAGEMENT PRACTICES SHOWN ARE THE MINIMUM REQUIREMENT. INSTALL AND MAINTAIN ADDITIONAL CONTROLS AS WORK PROCEEDS TO PREVENT EROSION AND CONTROL SEDIMENT CARRIED BY WIND OR WATER.
- EXCAVATE PONDS EARLY IN THE CONSTRUCTION SEQUENCE. REMOVE SEDIMENT FROM PONDS PERIODICALLY AND AFTER AREAS CONTRIBUTING RUN OFF ARE PERMANENTLY STABILIZED.
- RESTORE DISTURBED OPEN AREAS WITH TEMPORARY SEED OR SOD WITHIN 72 HOURS OF COMPLETING GRADING IN EACH AREA.
- SEED, SOD, MULCH AND FERTILIZER SHALL MEET THE FOLLOWING SPECIFICATIONS, AS MODIFIED.
 

ITEM	SPECIFICATION NUMBER
SOD	MNDOT 3876
SEED	MNDOT 3876
	TYPE 50 @ 40 LB/AC
	TYPE 10A @ 60 LB/AC
MULCH (TYPE I DISC ANCHORED)	MNDOT 3882
FERTILIZER	MNDOT 3881
GENERAL PLACEMENT	MNDOT 2575
- SEE LANDSCAPING SHEETS FOR PERMANENT TURF ESTABLISHMENT.
- SWEEP ADJACENT STREETS CLEAN DAILY.
- THE CONTRACTOR SHOULD HAVE A SWEEPER ON SITE OR AVAILABLE WITHIN 3 HOURS. ALL MATERIAL TRACKED ONTO CITY STREETS MUST BE REMOVED IMMEDIATELY UPON DISCOVERY, OR AS DIRECTED BY THE CITY ENGINEER.
- INSTALLATION OF SILT FENCE AND OTHER DOWN GRADIENT SEDIMENT PROTECTION MEASURES SHALL BE COMPLETED AND INSPECTED PRIOR TO COMMENCEMENT OF ANY SITE ACTIVITIES.

**NPDES AREA SUMMARY**

	EXISTING*	PROPOSED	ULTIMATE
PERVIOUS	1.09 ACRES	0.21 ACRES	0.21 ACRES
IMPERVIOUS	0.14 ACRES	1.02 ACRES	1.02 ACRES
TOTAL	1.23 ACRES	1.23 ACRES	1.23 ACRES

\*EXISTING AREA'S ARE BASED ON THE PROPOSED CONDITIONS OF THE SUNWOOD REALIGNMENT AND WISER CHOICE LIQUOR PLANS.

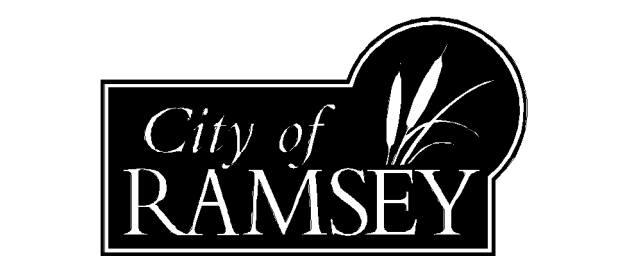
**LEGEND**

- CONSTRUCTION LIMITS
- - - SILT FENCE
- INLET PROTECTION
- - - GRADE BREAK

**DEVELOPER**

**RAMSEY HRA**  
7550 SUNWOOD DRIVE  
RAMSEY, MN 55303  
TEL: (763) 427-1410 · FAX: (763) 427-5543

**MUNICIPALITY**



**PROJECT**

**SUPERAMERICA  
SUNWOOD RETAIL  
RAMSEY, MINNESOTA**

**SHEET INDEX**

SHEET	TITLE
C0.1	CIVIL TITLE SHEET
C1.1	EXISTING CONDITIONS
C1.2	PRELIMINARY PLAN
C1.3	FINAL PLAN (SHEET 1 OF 2)
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C7.2	CIVIL CONSTRUCTION DETAILS
L2.1	LANDSCAPE DETAILS
L2.2	STREETSCAPE PLAN
L2.3	LANDSCAPE DETAILS
L2.4	LANDSCAPE DETAILS
E2.1	SITE PHOTOGRAPHS

**REVISION HISTORY**

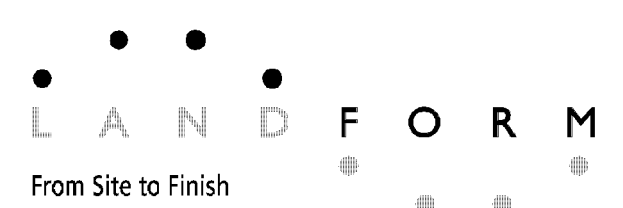
DATE	REVISION	REVIEW
09 SEPT 2012	PRELIMINARY SITE PLAN SUBMITTAL	SES
27 SEPT 2012	RESPONSE TO CITY COMMENTS	SES

**PROJECT MANAGER REVIEW**

BY: [Signature] DATE: 09/27/12

**CERTIFICATION**

**SITE PLAN SUBMITTAL  
27 SEPTEMBER 2012**

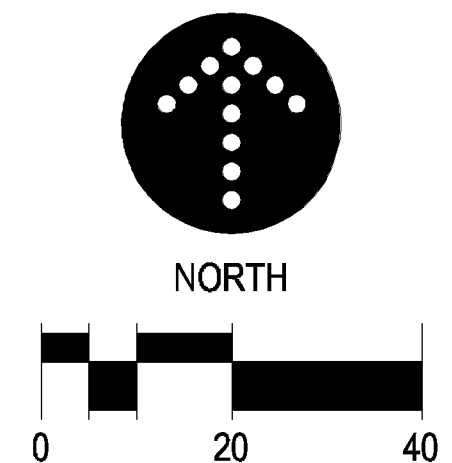


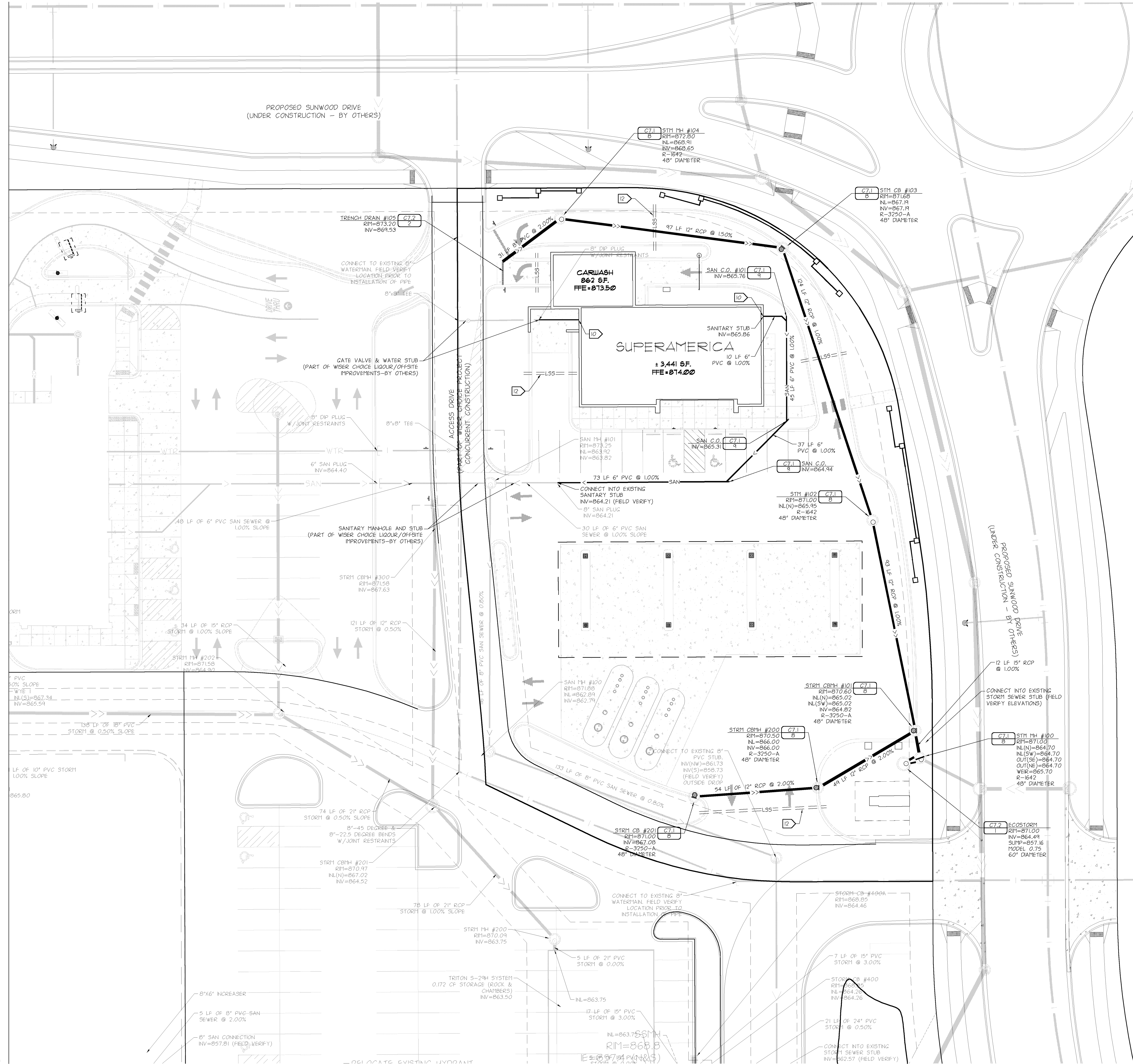
105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME: C301RAM025.DWG  
PROJECT NO.: KPL12001

**GRADING, DRAINAGE, PAVING  
& EROSION CONTROL PLAN**

**C3.1**





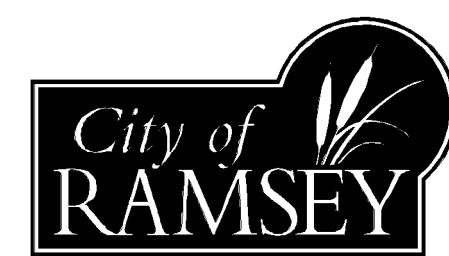
**UTILITY NOTES**

- PIPE MATERIALS:  
 WATER SERVICE: DIP CLASS 52  
 SANITARY SEWER: PVC SDR 35  
 STORM SEWER: RCP CLASS 5  
 PVC SDR 35
- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING.
- COORDINATE WITH PRIVATE UTILITIES TO PROVIDE ELECTRIC, NATURAL GAS, AND COMMUNICATIONS SERVICES TO BUILDING.
- PROVIDE MEANS AND MEASURES TO PROTECT ADJACENT PROPERTY FROM DAMAGE DURING UTILITY INSTALLATION.
- PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE OR END OF END SECTION.
- INSTALL TRACER WIRE WITH UTILITIES WITHIN THE PUBLIC RIGHT-OF-WAY OR EASEMENTS.
- CONNECT TO CITY UTILITIES IN ACCORDANCE WITH CITY OF RAMSEY STANDARDS.
- MAINTAIN 7.5 FEET OF COVER ON WATER.
- CONTACT CITY OF RAMSEY BUILDING DEPARTMENT, FOR FLUSHING AND PRESSURE TEST INSPECTIONS.
- BRING WATER AND SEWER SERVICES INTO BUILDING PER MECHANICAL DRAWINGS.
- IF DEWATERING IS REQUIRED TO COMPLETE ANY WORK, THE CITY NEEDS TO REVIEW EACH PERMIT PRIOR TO IMPLEMENTATION.
- IRRIGATION SLEEVE TO BE 4" SCHEDULE 80 PVC IN DRIVE ASBLES BURIED 24" BELOW GRADE. SLEEVES TO BE LOCATED AS SHOWN ON PLAN. EXTEND SLEEVES 2' BEYOND THE BACK OF CURB. COORDINATE WITH IRRIGATION CONTRACTOR.

**DEVELOPER**

**RAMSEY HRA**  
 7560 SUNWOOD DRIVE  
 RAMSEY, MN 55303  
 TEL: (763) 427-4110 • FAX: (763) 427-5543

**MUNICIPALITY**



**PROJECT**

**SUPERAMERICA  
 SUNWOOD RETAIL  
 RAMSEY, MINNESOTA**

**SHEET INDEX**

SHEET	TITLE
C4.1	CIVIL TITLE SHEET
C1.1	EXISTING CONDITIONS
C1.2	PRELIMINARY PLAN
C1.3	FINAL PLAN (SHEET 1 OF 2)
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C2.1	PRELIMINARY SITE PLAN
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C7.1	CIVIL CONSTRUCTION DETAILS
C7.2	CIVIL CONSTRUCTION DETAILS
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L3.1	LANDSCAPE DETAILS
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DATE	REVISION	REVIEW
09 SEPT 2012	PRELIMINARY SITE PLAN SUBMITTAL	SES
27 SEPT 2012	RESPONSE TO CITY COMMENTS	SES

**PROJECT MANAGER REVIEW**

BY: SES DATE: 09/27/12

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**SITE PLAN SUBMITTAL  
 27 SEPTEMBER 2012**

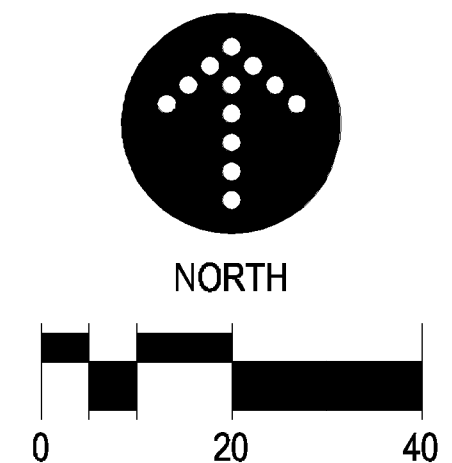
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 From Site to Finish

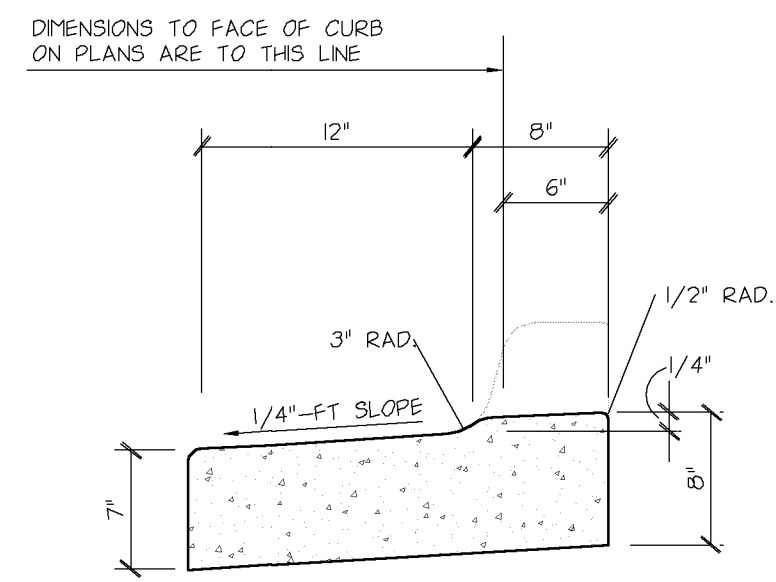
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 Suite 513 Fax: 612-252-9077  
 Minneapolis, MN 55401 Web: landform.net

FILE NAME: C401RAM0XX.DWG  
 PROJECT NO: KPL12001

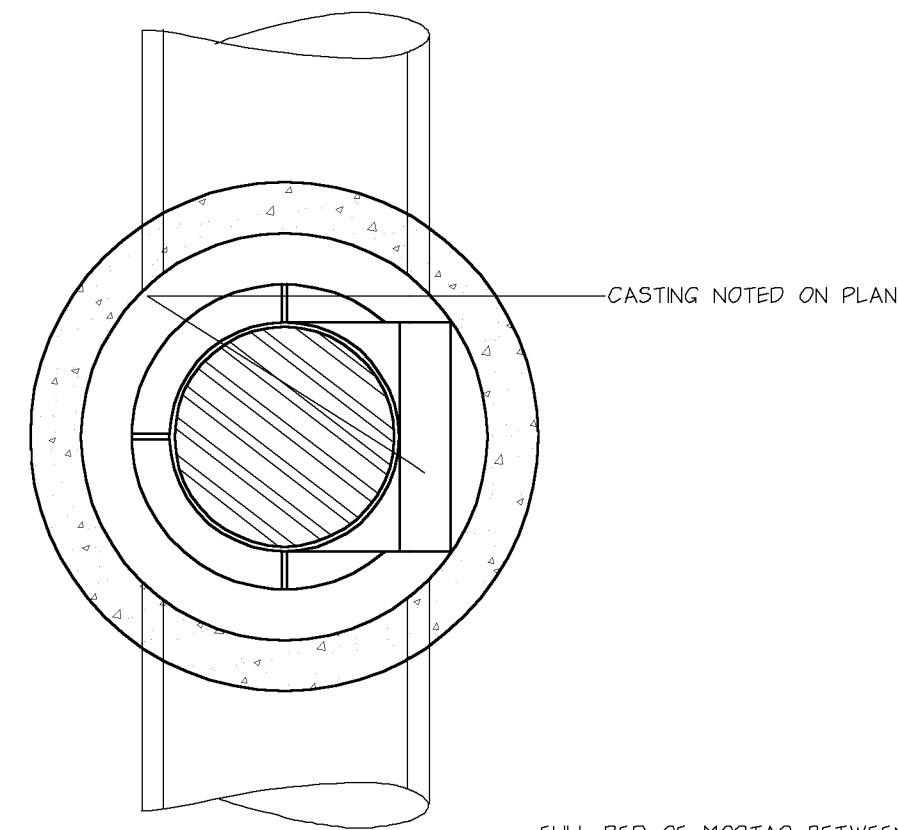
**UTILITIES**

**C4.1**

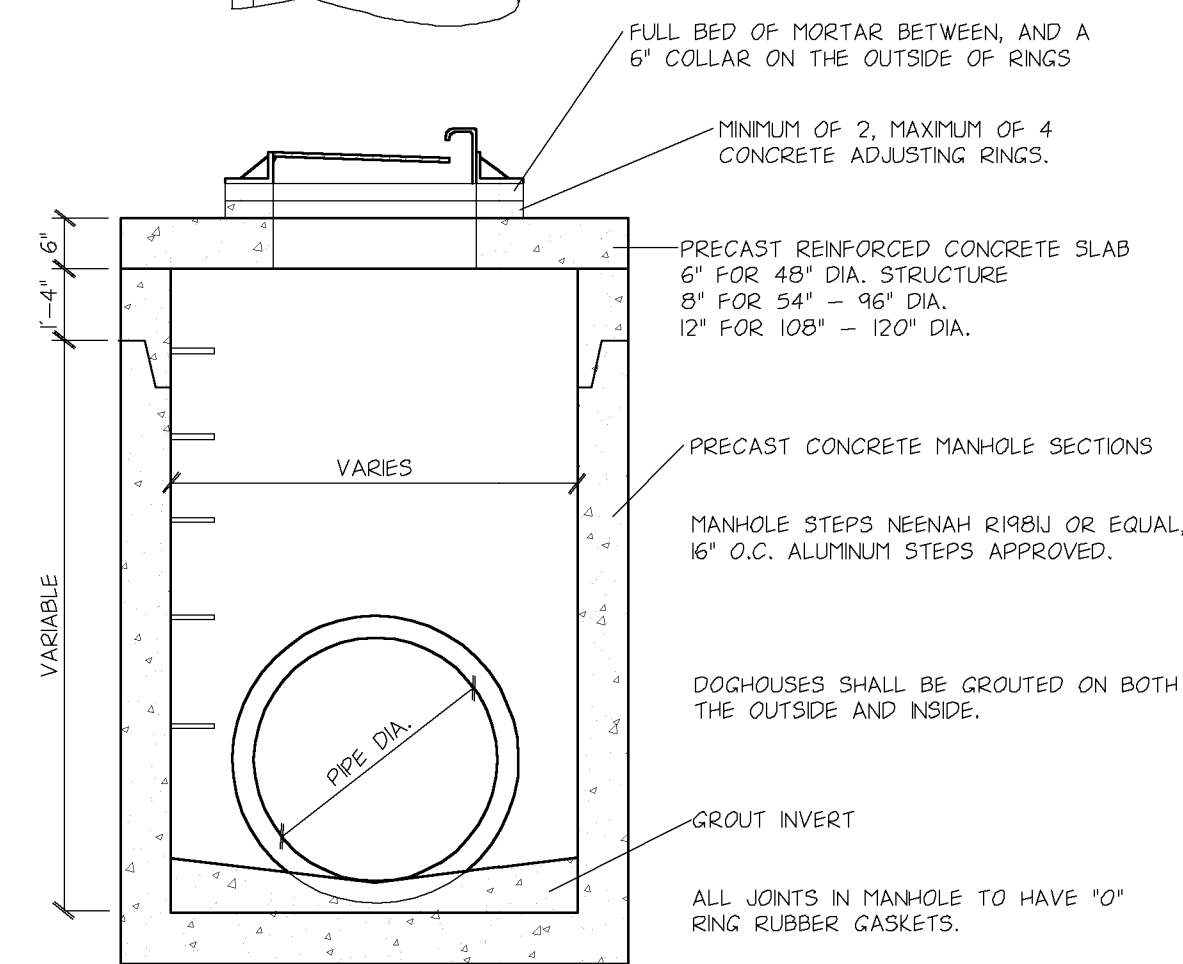




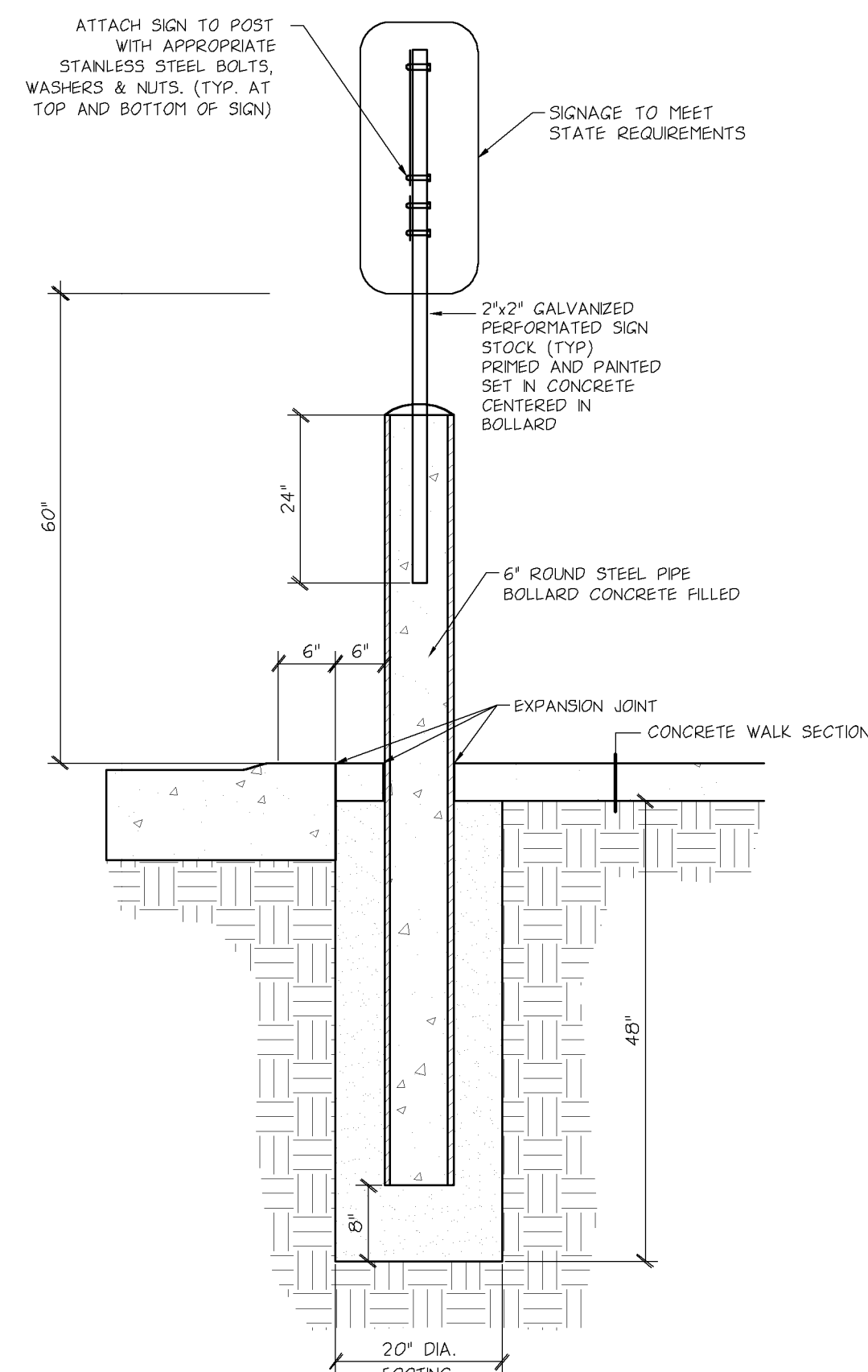
**7 CONCRETE RIBBON CURB** NO SCALE



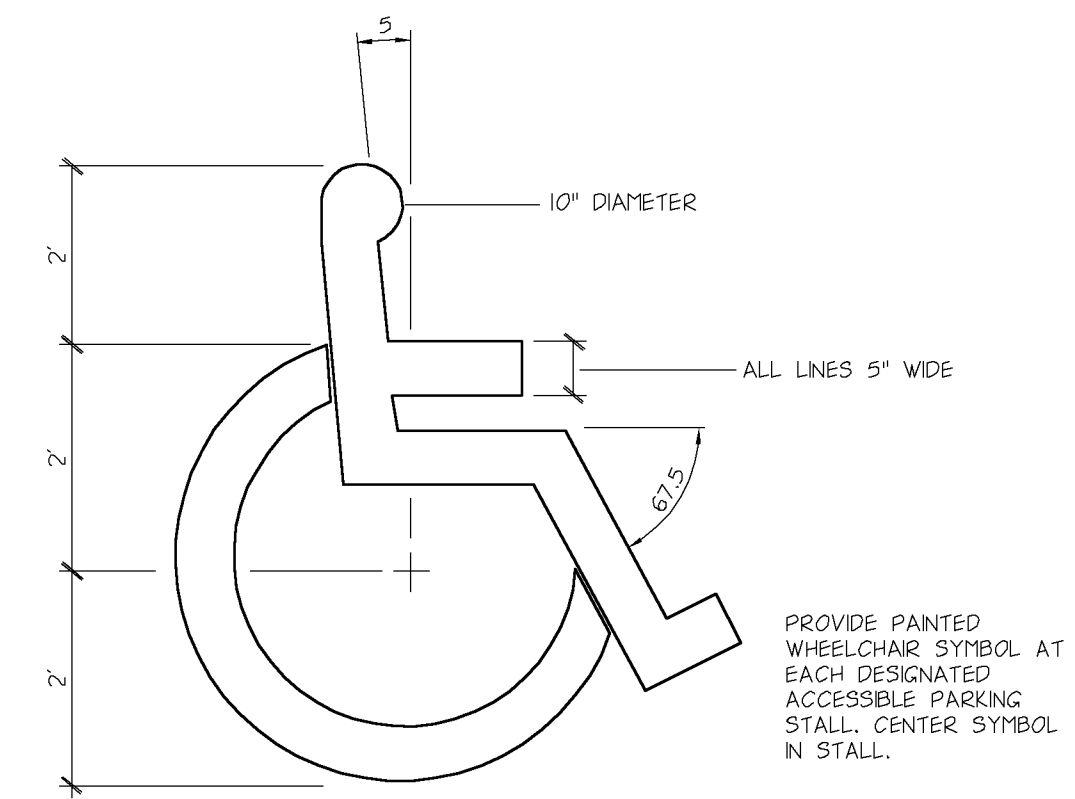
**4 ROUND BOLLARD W/ ACCESSIBLE SIGNAGE** NO SCALE



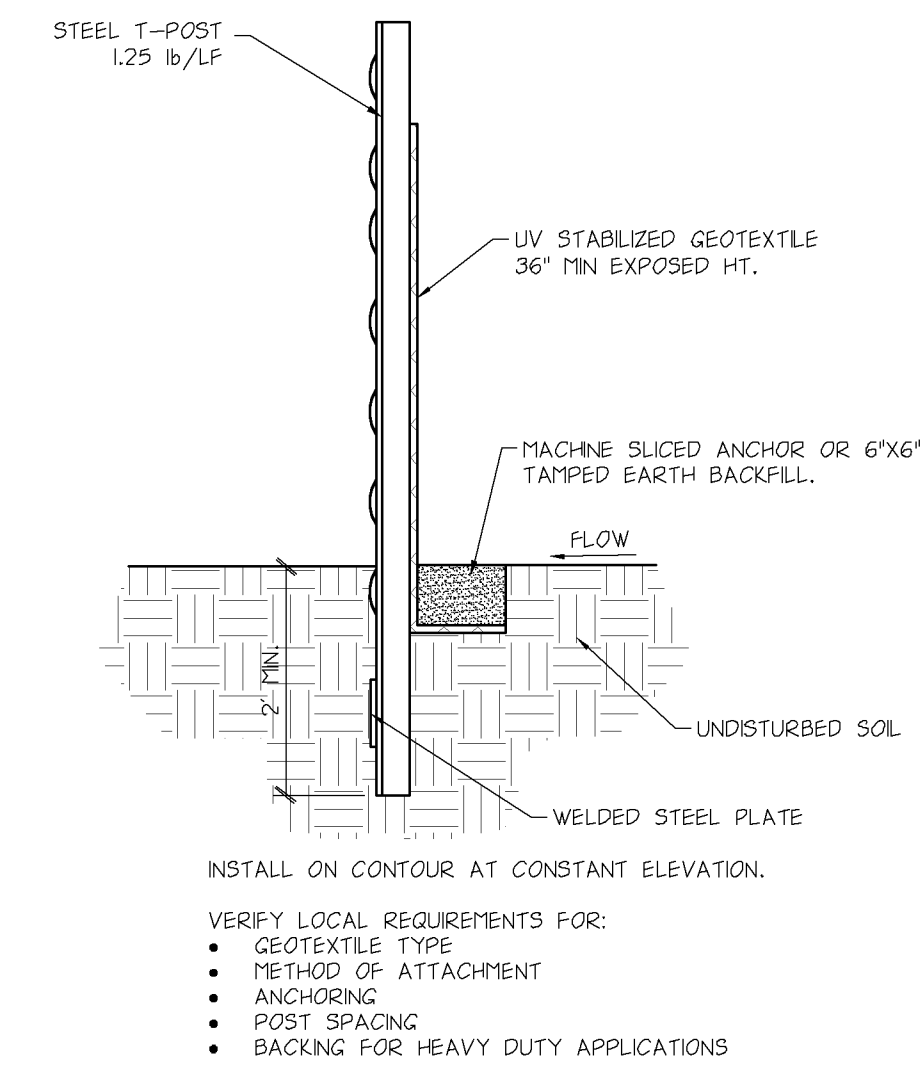
**8 STORM SEWER CATCH BASIN MANHOLE** NO SCALE



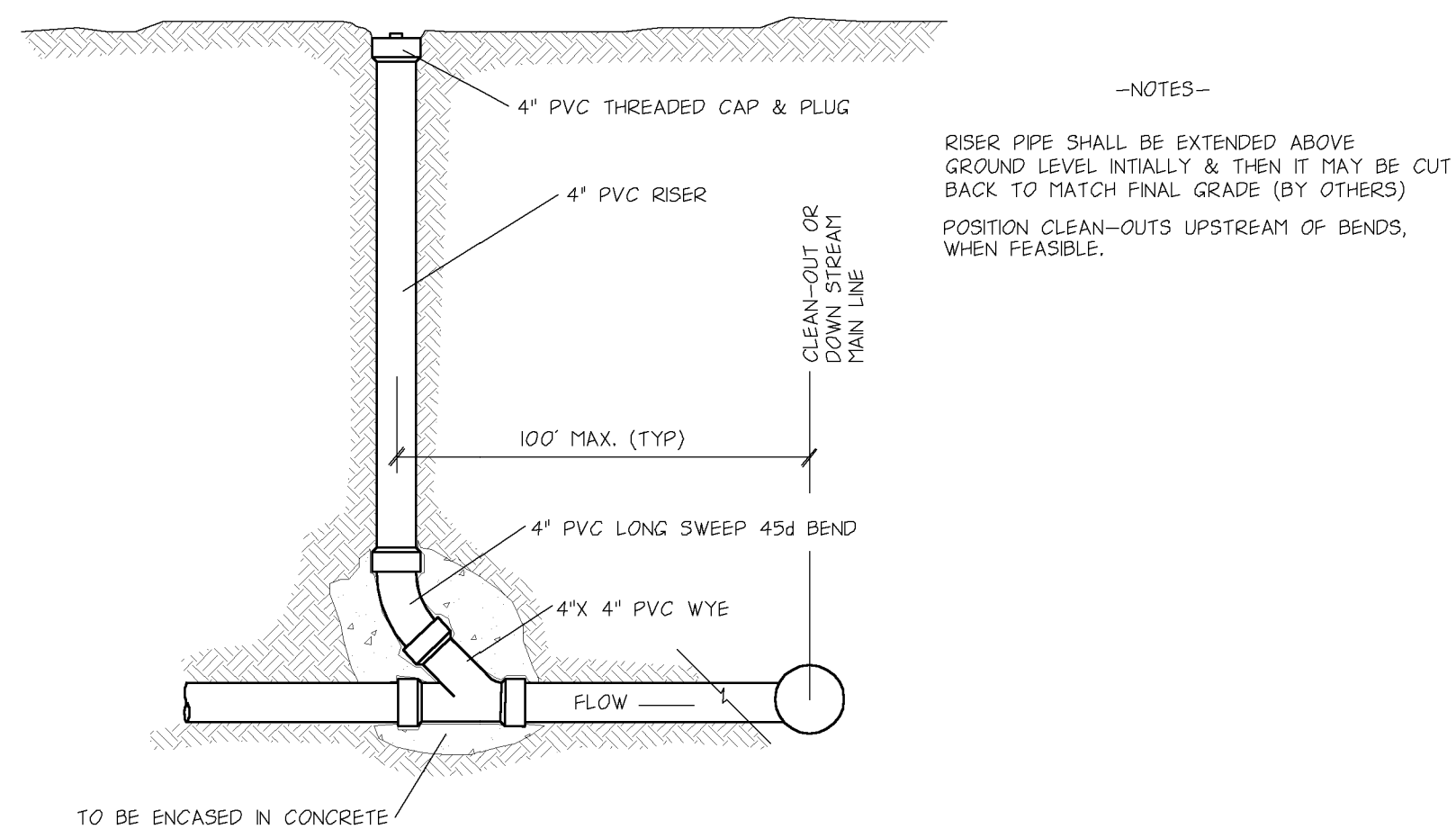
**5 INLET PROTECTION** NO SCALE



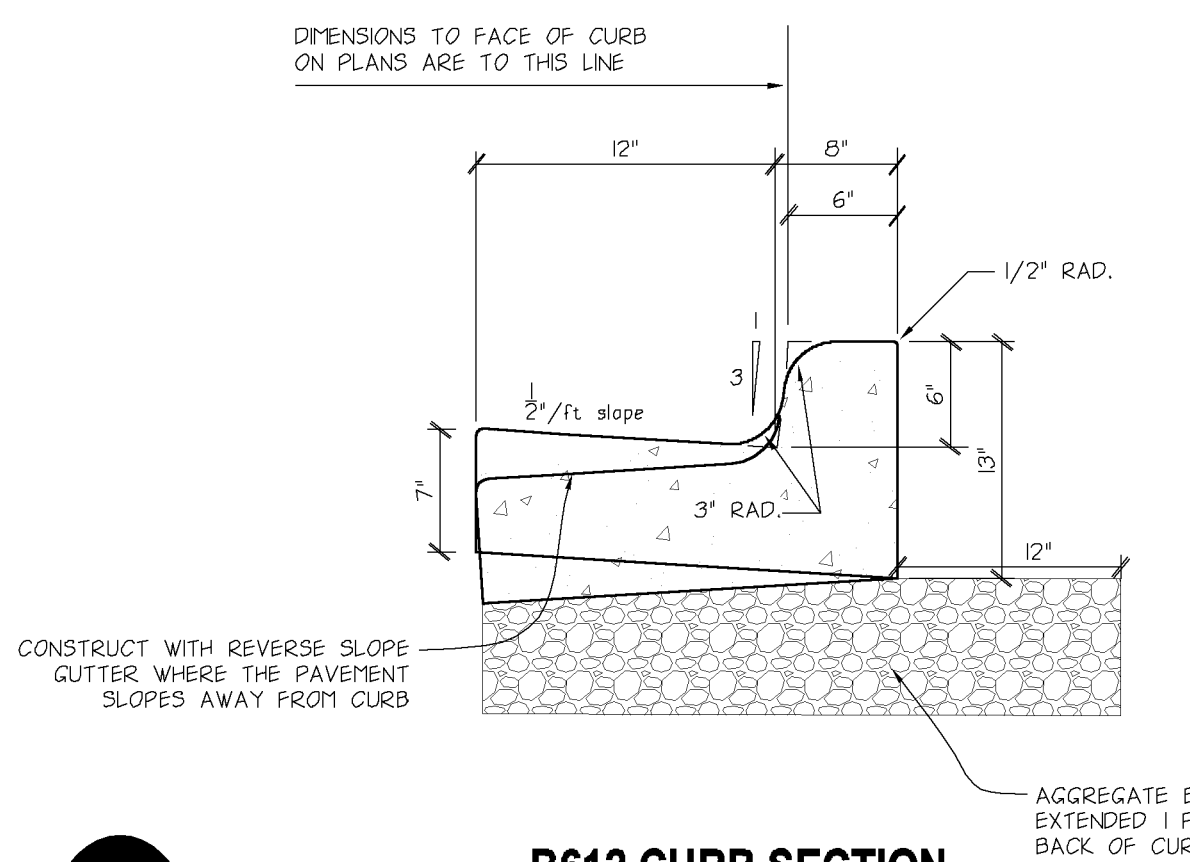
**1 ACCESSIBLE SYMBOL** NO SCALE



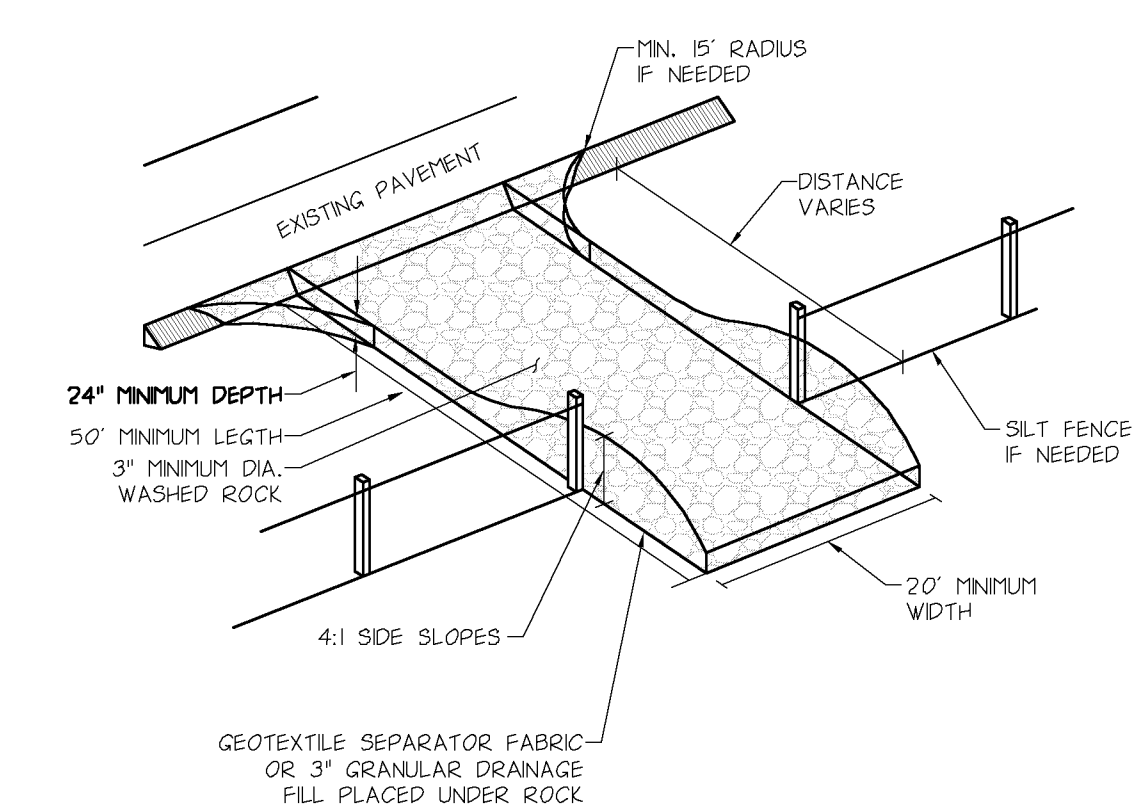
**2 SILT FENCE** NO SCALE



**9 CLEAN-OUT STRUCTURE** NO SCALE



**6 B612 CURB SECTION** NO SCALE

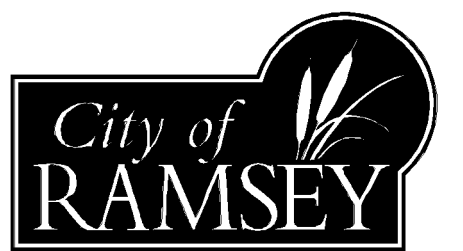


**3 VEHICLE TRACKING PAD** NO SCALE

DEVELOPER

**RAMSEY HRA**  
7550 SUNWOOD DRIVE  
RAMSEY, MN 55303  
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MUNICIPALITY



PROJECT

**SUPERAMERICA  
SUNWOOD RETAIL  
RAMSEY, MINNESOTA**

SHEET INDEX

SHEET	TITLE
C01	CIVIL TITLE SHEET
C11	EXISTING CONDITIONS
C12	PRELIMINARY PLAN
C13	FINAL PLAN (SHEET 1 OF 7)
C14	FINAL PLAN (SHEET 2 OF 7)
C21	PRELIMINARY SITE PLAN
C31	GRADING, DRAINAGE, PAVING & EROSION CONTROL
C41	UTILITIES
C71	CIVIL CONSTRUCTION DETAILS
C72	CIVIL CONSTRUCTION DETAILS
L21	LANDSCAPE
L22	STREETSCAPE PLAN
L23	LANDSCAPE DETAILS
L71	STREETSCAPE PLAN
E21	SITE PHOTOGRAPHS

REVISION HISTORY

DATE	REVISION	REVIEW
09 SEPT 2012	PRELIMINARY SITE PLAN SUBMITTAL	SES
27 SEPT 2012	RESPONSE TO CITY COMMENTS	SES

PROJECT MANAGER REVIEW

BY: SES DATE: 09/27/12

CERTIFICATION

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**SITE PLAN SUBMITTAL**  
27 SEPTEMBER 2012

**LANDFORM**  
From Site to Finish

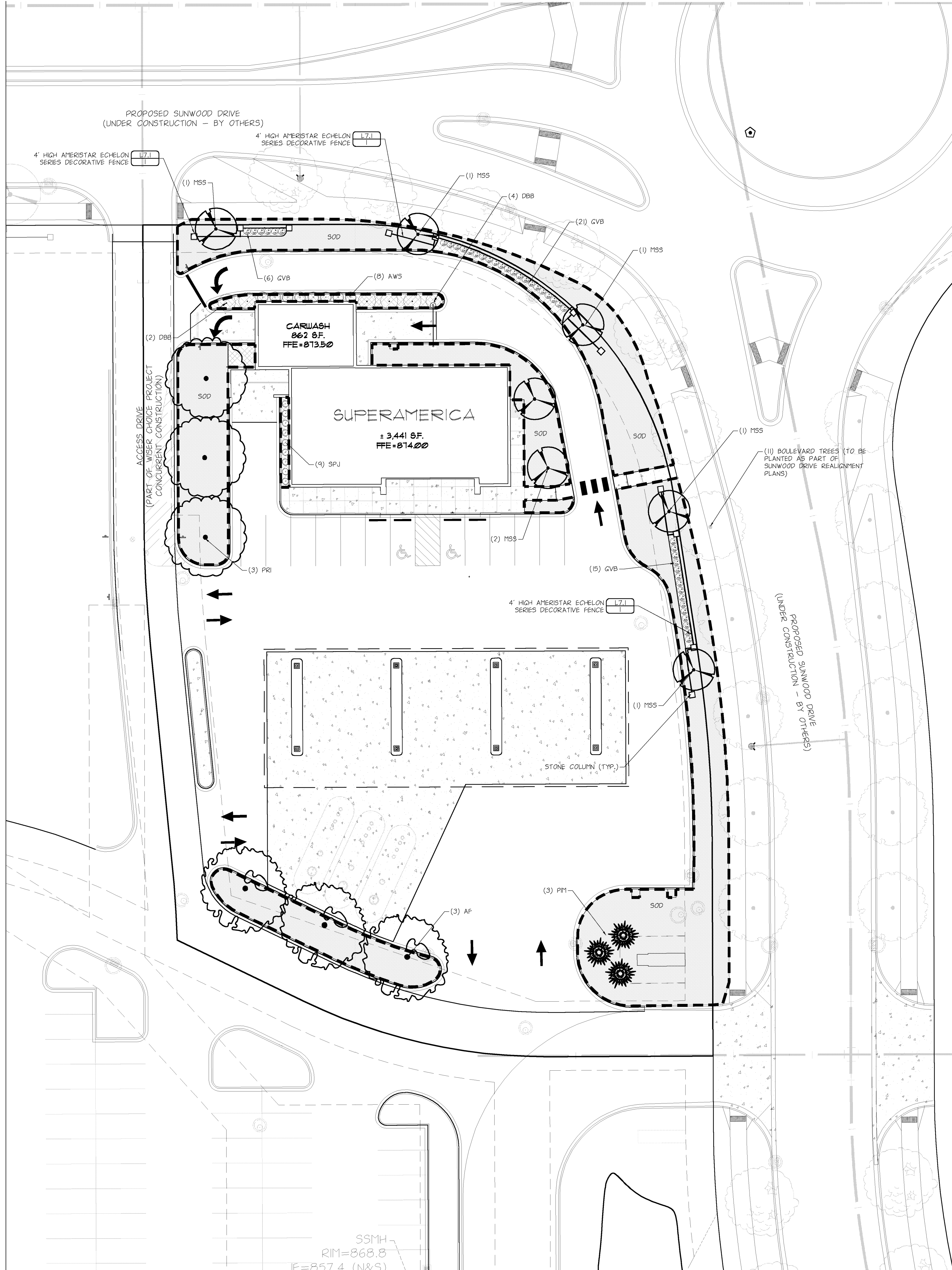
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Minneapolis, MN 55401 Web: landform.net

FILE NAME: C701RAM\ccc.DWG  
PROJECT NO.: KPL12001

CIVIL CONSTRUCTION  
DETAILS

**C7.1**





- ### IRRIGATION NOTES
- REVIEW AND COORDINATE WITH EXISTING SUNWOOD IRRIGATION SYSTEM. PRIMARY SYSTEM IMPROVEMENTS INCLUDE 2" IRRIGATION MAINLINE AND ZONE WIRES ALONG NORTH SIDE OF SUNWOOD DRIVE. SYSTEM HAS TWO WATER CONNECTIONS THAT SUPPLY THE IRRIGATION MAINLINE AND ARE INTERCONNECTED. TWO CONTROLLERS ON EACH END CONTROL THE WEST AND EAST HALF, RESPECTIVELY. THE CONTROLLER ON THE WEST END IS TO BE RELOCATED TO THE LOCATION SHOWN ON THE PLAN. WIRES ALONG MAINLINE ARE 48-ZONE AND 2 COMMON. THEY ARE TO BE CUT AT THE LOCATIONS SHOWN ON THE PLAN AND RECONNECTED TO THE RELOCATED CONTROLLER OR THE NEW CONTROLLER AS INDICATED ON THE PLAN.
  - RCT REMOTE CONTROL TO BE REMOTE CONTROL TECHNOLOGY. PROVIDE 1-TRC CONTROLLER TRANSMITTER (WITH CASE), MODEL #01035 (035H CASE). PROVIDE 2-PERMANENT RECEIVER CARDS FOR EACH ESP MC (FOR 40 STATION) MODEL #01060. INSTALL PERMANENT RECEIVER CARDS INTO EXISTING RAIN BIRD ESP-MC CONTROLLERS.
  - RAN BIRD ROOT WATERING SYSTEM IS TO BE INSTALLED NEAR THE ROOTBALL OF THE TREE. THE ROOT WATERING SYSTEM IS TO INCLUDE THE BASIC ROOT WATERING SYSTEM WITH 1/2" SWING ARM, GRATE, SAND SOCK, AND MODIFICATION OF THE BUBBLER TO DRIP. MODIFICATION OF BUBBLER INCLUDES: REMOVING BUBBLER, RETROFIT A DRIP CONNECTION, MICRO VALVES (CONTROL WATER), MICRO TUBING, AND DRIP EMITTERS. DRIP EMITTERS TO WATER ROOTBALL OF TREE. PLACE THREE DRIP EMITTERS IN TRIANGULAR SPACING. DRIP EMITTER FLOW TO BE GREATER THAN DOPLINE AND IDENTIFIED AND APPROVED IN THE FIELD. INTENT OF SYSTEM IS TO PROVIDE WATER CONTROL OF THE TREE SEPARATE FROM THE DOPLINE, WITH THE ABILITY TO SHUT OFF TREE EMITTERS WITHOUT IMPACTING DOPLINE OPERATION. THE BASIC ROOT WATERING SYSTEM AND GRATE IS TO SERVE AS AN AIR RELIEF PIPE, THAT WILL ALLOW OBSERVATION OF THE WATER TABLE WITHIN THE PLANTING BED.
  - PROVIDE AND INSTALL OPERATION INDICATOR AT END OF ZONE, TO ILLUSTRATE IF ZONE IS OPERATIONAL. DEVICE TO BE A POP-UP MODEL FOR DRIP ZONES, APPROVED BY IRRIGATION DESIGNER, AND SHALL NOT EJECT WATER. LOCATE WITHIN PLANTING BEDS TO MINIMIZE VISIBILITY.
  - IRRIGATION SYSTEM IS DIAGRAMMATIC, CONTRACTOR TO VERIFY AND DESIGN PER ACTUAL PRESSURE, PER LOCAL CODES, AND PER SITE REQUIREMENTS. FIELD VERIFY LOCATION OF COMPONENTS WITH ACTUAL CONDITIONS PRIOR TO INSTALLATION. ADJUST AS NEEDED FOR COMPLETE COVERAGE. SYSTEM TO INCLUDE ALL PLUMBING AND ELECTRICAL, INCLUDING CONDUIT, SLEEVING, AND WEATHER-PROOF ENCLOSURES. SYSTEM SHALL BE COMPLETE. CONTRACTOR TO PROVIDE SHOP DRAWINGS, DESIGN PRESSURE DESIGN CALCULATIONS, AND RELATED PRODUCT SHEETS FOR OWNER OR LANDSCAPE ARCHITECT APPROVAL. CONTRACTOR TO PROVIDE TWO 'AS-BUILT' DRAWINGS OF IRRIGATION SYSTEM AT THE COMPLETION OF THE PROJECT. IRRIGATION PER PLANS ARE PART OF A LARGER SYSTEM, SEE PLANS FOR FURTHER INFORMATION. COORDINATE AND VERIFY IRRIGATION AS NEEDED TO INTEGRATE INTO PRIMARY SYSTEM.
  - ALL PIPE 1/2" OR GREATER SHALL BE SDR 26 CLASS 200 FOR MAINLINE AND CLASS 160 FOR LATERAL LINE PVC PIPE (DO NOT EXCEED 35 GPM FOR 1/2" AND 50 GPM FOR 3/4"). ALL PIPE 1/2" OR 3/4" SHALL BE 100 POLY PIPE AS INDICATED (DO NOT EXCEED 13 GPM FOR 1/2" AND 22 GPM FOR 3/4"). PIPE SIZE TO BE IDENTIFIED BY CONTRACTOR PER ZONE REQUIREMENTS. LOCATE IRRIGATION AWAY FROM PLANT MATERIAL.
  - ALL WRING, BACKFLOW PREVENTOR, AND PLUMBING AS PER LOCAL CODE. WATER CONNECTION BY MECHANICAL AND UTILITY CONTRACTOR. VERIFY AND ADD BOOSTER PUMP AS REQUIRED.
  - ALL VALVES AND QUICK COUPLERS SHALL BE LOCATED IN VALVE BOXES SIZED FOR NORMAL MAINTENANCE, FLUSH WITH FINAL GRADE. PROVIDE (2) QUICK COUPLER KEYS AND HOSE SWIVELS.
  - THE IRRIGATION SYSTEM SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATION.
  - FIRST YEAR WINTERIZATION AND SPRING START UP OF SYSTEM SHALL BE PERFORMED BY IRRIGATION CONTRACTOR.
  - MINIMUM 4" PVC SCHEDULE 40 SLEEVING SHALL BE REQUIRED UNDER ALL WALKS AND ROADWAYS. PROVIDE 12" LENGTH OF #3 REBAR AT EACH TEMPORARILY SEALED END FOR FUTURE LOCATION. EXTEND SLEEVING AT LEAST 2 FEET BEYOND EDGE OF PAVEMENT. PROVIDE PVC STAND PIPE FOR LOCATING ENDS OF SLEEVING. PROVIDE TWO SIZES LARGER THAN PIPE SIZE. PROVIDE ADDITIONAL SLEEVING FOR WRING, AS NEEDED.
  - BIDDING CONTRACTORS SHOULD BECOME THOROUGHLY FAMILIAR WITH ALL FACETS OF THE PROPOSED IRRIGATION SYSTEM. FAILURE TO CLARIFY MISUNDERSTANDINGS, OR INTENT OF THESE DRAWINGS AND SPECIFICATIONS BEFORE SUBMITTAL OF BID SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - THE IRRIGATION CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES AND SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE OR DISTURB UTILITIES OR EXISTING CONDITIONS. CONTRACTOR SHALL REPAIR/RESTORE ANY DAMAGE INVOLVING IRRIGATION INSTALLATION.

- ### IRRIGATION NOTES
- INSTALL RAIN SENSOR(S) ON EXTERIOR WEATHER EXPOSED VERTICAL SURFACE(S). COORDINATE WITH OWNER'S AUTHORIZED REPRESENTATIVE AS TO FINAL LOCATION.
  - ALL LANDSCAPED AREAS SHALL BE IRRIGATED AND THE IRRIGATION SYSTEM SHALL INCLUDE RAIN SENSORS AND A BACKFLOW PREVENTER DEVICE.
  - CONTROL WIRE WILL BE SOLID COPPER WIRE ULL. APPROVED FOR DIRECT BURIAL IN GROUND. MINIMUM GAUGE: MINIMUM #14 ULL. COMMON GROUND WIRE SHALL BE MINIMUM #12 GAUGE WHITE. PROVIDE TWO EXTRA CIRCUIT WIRES AND ONE EXTRA COMMON GROUND WIRE FOR ENTIRE MAINLINE LENGTH, MARK AS APPROPRIATE. PROVIDE ONE YELLOW #16 GAUGE TRACER WIRE FOR ALL LATERAL LINES, WIRE IS TO BE CONTINUOUS AND SPLICED ONLY IN VALVE BOXES.
  - 24 VAC WIRE SPLICING MATERIAL WILL BE DIRECT BURIAL SPLICE KIT AS MANUFACTURED BY 3M.
  - SOME AREAS MAY REQUIRE RISER EXTENSIONS FOR SPRINKLERS OR A FIXED RISER WITH A SHRUB HEAD OR SHRUB ADAPTOR TO OBTAIN PROPER COVERAGE. LARGE ROTOR NOZZLES = #4-FULL, #3-3/4, #2-1/2, #1-1/4. SMALL ROTOR NOZZLES = #3-FULL, #2-3/4, #1-1/2, #0.75-1/4. ADJUST AS NEEDED. SPRAY HEADS IN TURF AREAS TO BE 6" POP-UPS AND IN LANDSCAPE BEDS TO BE 12" POP-UPS.
  - FINAL LOCATION OF WATER SOURCE SET UP TO BE APPROVED BY OWNER'S REPRESENTATIVE.
  - COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH OTHER IMPROVEMENTS.
  - ALL DRIP VALVES, FILTERS, AND PRESSURE REGULATORS SHALL BE IN A VALVE BOX. DRIP LINE SHALL BE LOOPED WITH CROSS CONNECTORS (25" MAXIMUM SPACING), NO DEAD ENDS. LOCATE PER PLANT MATERIAL. PLACE EMITTERS AT EACH PLANT AND ON HIGH SIDE IN SLOPED CONDITIONS. USE BLANK TUBING IN SLEEVES OR IN AREAS WHERE THERE IS NO PLANT MATERIAL. PLACE AIR RELIEF VALVES AT HIGH POINT AND FLUSH VALVES AT ENDS OF ZONE. PROVIDE 3/4" VALVE FOR DRIP ZONES OF 13 GPM OR LESS. USE 1" VALVE FOR DRIP ZONES GREATER THAN 13 GPM. EACH DRIP ZONE SHALL HAVE AN OPERATION INDICATOR, LOCATED WITHIN THE PLANT MATERIAL FOR FILTERED VISIBILITY. VERIFY LOCATION WITH OWNER.
  - PROVIDE 1" VALVES FOR SPRAY AND ROTAR ZONES FOR 25 GPM OR LESS, AND 1.5" VALVE FOR ZONES GREATER THAN 26 GPM.
  - CONTRACTOR TO SCHEDULE AND PROGRAM CONTROLLER AND VALVES FOR APPROPRIATE LANDSCAPE WATER REQUIREMENTS. VERIFY WITH OWNER AS TO TIME AND SPECIFIC REQUIREMENTS.

- ### LANDSCAPE NOTES
- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING.
  - COORDINATE INSTALLATION WITH CONTRACTORS PERFORMING RELATED WORK.
  - PLANT MATERIAL SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND BE OF HARDY STOCK, FREE FROM DISEASE, INFESTATION, DAMAGE, AND DEFORMATION. FOR DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE SCHEDULE AND THE NUMBER SHOWN ON THE DRAWING, THE DRAWING SHALL GOVERN.
  - PLANTING SOIL SHALL CONSIST OF 4 PARTS TOPSOIL TO 1 PART PEAT HUMUS, WITH 3 POUNDS OF COMMERCIAL FERTILIZER ADDED PER CUBIC YARD.
  - SPREAD A MINIMUM OF 6 INCHES OF TOPSOIL AND SOD ALL TURF AREAS DISTURBED BY CONSTRUCTION.
  - 4 INCHES OF #200 PREMIUM TOPSOIL BORROW SHALL BE APPLIED TO ALL AREAS NOT OTHERWISE IMPROVED WITH BUILDINGS AND IMPERVIOUS SURFACES.
  - EDGE SHRUB BEDS WITH 6-INCH BLACK VINYL EDGING (BLACK DIAMOND OR APPROVED EQUAL).
  - PLACE PLANTS ACCORDING TO LAYOUT WITH PROPER NOMINAL SPACING.
  - SEE DETAILS FOR DEPTH OF PLANTING SOIL.
  - INSTALL 4 INCH DEPTH OF SHREDDED HARDWOOD BARK MULCH IN SHRUB BED AREAS.
  - INSTALL A 4-FOOT DIAMETER SHREDDED HARDWOOD BARK MULCH DISH AROUND TREES NOT PLACED WITHIN A SHRUB OR PERENNIAL PLANTING BED, UNLESS NOTED OTHERWISE.

### PRELIMINARY PLANT SCHEDULE

SYMBOL	QUANTITY	KEY	COMMON NAME	SCIENTIFIC NAME	PLANTING SIZE	ROOT COND.	MATURE SIZE
<b>DECIDUOUS TREES</b>							
	3	PRI	PRINCETON ELM	ULMUS AMERICANA 'PRINCETON'	2.5" CAL.	B&B	80'H X 60'W
	3	AF	AUTUMN BLAZE MAPLE	ACER X FREMANII 'JEFFERSON'	2.5" CAL.	B&B	50'H X 40'W
	7	MSS	SPRING SNOW CRABAPPLE	MALUS 'SPRING SNOW'	2.0" CAL.	B&B	20'H X 12'W
<b>CONIFEROUS TREES</b>							
	3	PM	BLACK SPRUCE	PICEA MARIANA	6' HT.	B&B	50'H X 20'W
<b>DECIDUOUS SHRUBS</b>							
	6	DBB	DWARF BURNING BUSH	EUONYMUS ALTUS 'COMPACTUS'	5 CAL.	POT	6'H X 8'W
	8	AWS	ANTHONY WALTERER SPIREA	SPARGANX BUNALDA 'TROBELLI'	5 CAL.	POT	4'H X 5'W
	42	GVB	CHICAGO LAND BOXWOOD	BUXUS 'GLENGOE'	5 CAL.	POT	4'H X 5'W
	9	SPJ	LITTLE PRINCESS SPIREA	SPARGANX JAPONICA 'LITTLE PRINCESS'	5 CAL.	POT	2'H X 3'W



DEVELOPER  
**RAMSEY HRA**  
 7550 SUNWOOD DRIVE  
 RAMSEY, MN 55303  
 TEL (763) 427-1410 • FAX (763) 427-5643

MUNICIPALITY

PROJECT  
**SUPERAMERICA  
 SUNWOOD RETAIL  
 RAMSEY, MINNESOTA**

SHEET INDEX

SHEET	TITLE
C01	CIVIL TITLE SHEET
C11	EXISTING CONDITIONS
C12	PRELIMINARY PLAN
C13	FINAL PLAN (SHEET 1 OF 2)
C14	FINAL PLAN (SHEET 2 OF 2)
C21	PRELIMINARY SITE PLAN
C22	GRADING, DRAINAGE, PAVING & EROSION CONTROL
C31	UTILITIES
C71	CIVIL CONSTRUCTION DETAILS
C72	CIVIL CONSTRUCTION DETAILS
L21	LANDSCAPE
L22	STREETSCAPE PLAN
L23	LANDSCAPE DETAILS
E21	SITE PHOTOGRAPHS

### REVISION HISTORY

DATE	REVISION	REVIEW
09 SEPT 2012	PRELIMINARY SITE PLAN SUBMITTAL	SES
27 SEPT 2012	RESPONSE TO CITY COMMENTS	SES

PROJECT MANAGER REVIEW  
 BY SES DATE 09/27/12

CERTIFICATION

IF THE SIGNATURE, SEAL OR FOUR LINES CHECKLY ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED WITHOUT REVISION. READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

**SITE PLAN SUBMITTAL**  
 27 SEPTEMBER 2012

LANDFORM

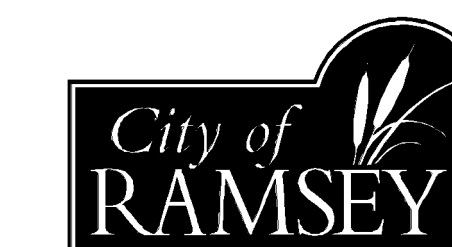
From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070  
 Suite 513 Fax: 612-252-9077  
 Minneapolis, MN 55401 Web: landform.net

FILE NAME L201KPL001.DWG  
 PROJECT NO. KPL12001

LANDSCAPE PLAN

**L2.1**



SHEET	TITLE
C0.1	CIVIL TITLE SHEET
C1.1	EXISTING CONDITIONS
C1.2	PRELIMINARY PLAN
C1.3	FINAL PLAN (SHEET 1 OF 2)
C1.4	FINAL PLAN (SHEET 2 OF 2)
C2.1	PRELIMINARY SITE PLAN
C3.1	GRADING, DRAINAGE, PAVING & EROSION CONTROL
C4.1	UTILITIES
C7.1	CIVIL CONSTRUCTION DETAILS
C7.2	CIVIL CONSTRUCTION DETAILS
L2.1	LANDSCAPE
L2.2	STREETSCAPE PLAN
L3.1	LANDSCAPE DETAILS
E2.1	SITE PHOTOGRAPHS

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PROJECT MANAGER REVIEW

BY SES DATE 09/27/12

CERTIFICATION

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**SITE PLAN SUBMITTAL**  
27 SEPTEMBER 2012

**LANDFORM**  
From Site to Finish

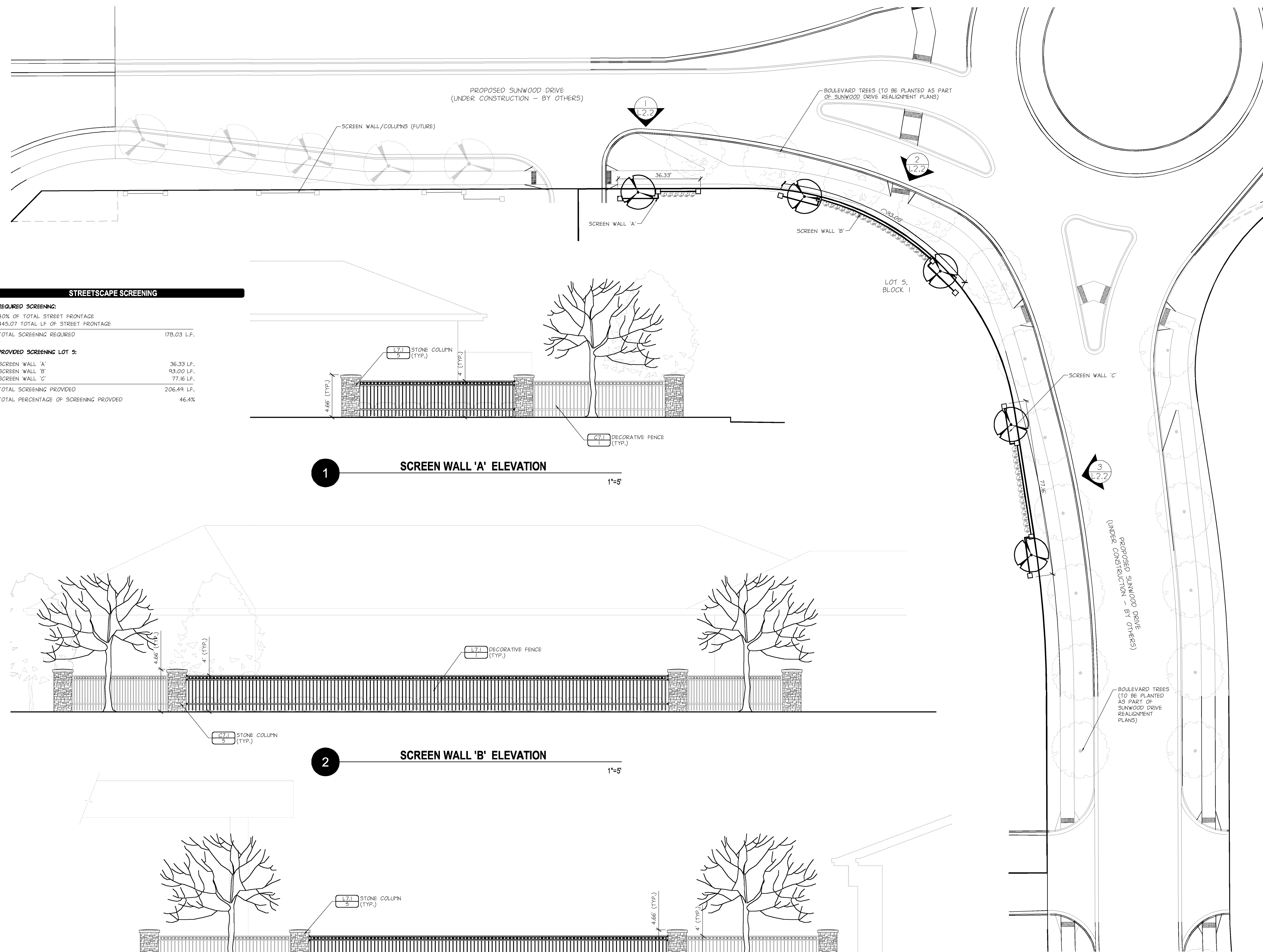
105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME L202KPL001.DWG

PROJECT NO. KPL12001

STREETSCAPE PLAN

**L2.2**



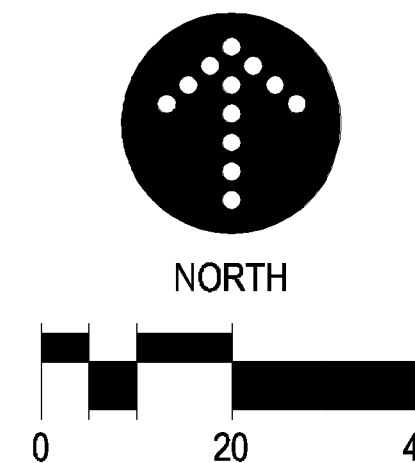
**STREETSCAPE SCREENING**

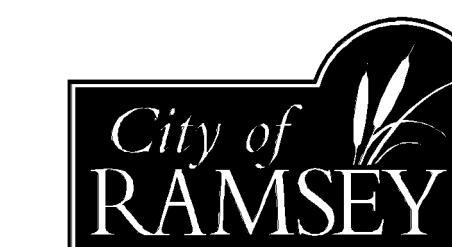
REQUIRED SCREENING:	
40% OF TOTAL STREET FRONTAGE	
449.07 TOTAL LF OF STREET FRONTAGE	
TOTAL SCREENING REQUIRED	178.03 L.F.
PROVIDED SCREENING LOT 5:	
SCREEN WALL 'A'	36.33 L.F.
SCREEN WALL 'B'	93.00 L.F.
SCREEN WALL 'C'	77.16 L.F.
TOTAL SCREENING PROVIDED	206.49 L.F.
TOTAL PERCENTAGE OF SCREENING PROVIDED	46.4%

**1 SCREEN WALL 'A' ELEVATION**  
1"=5'

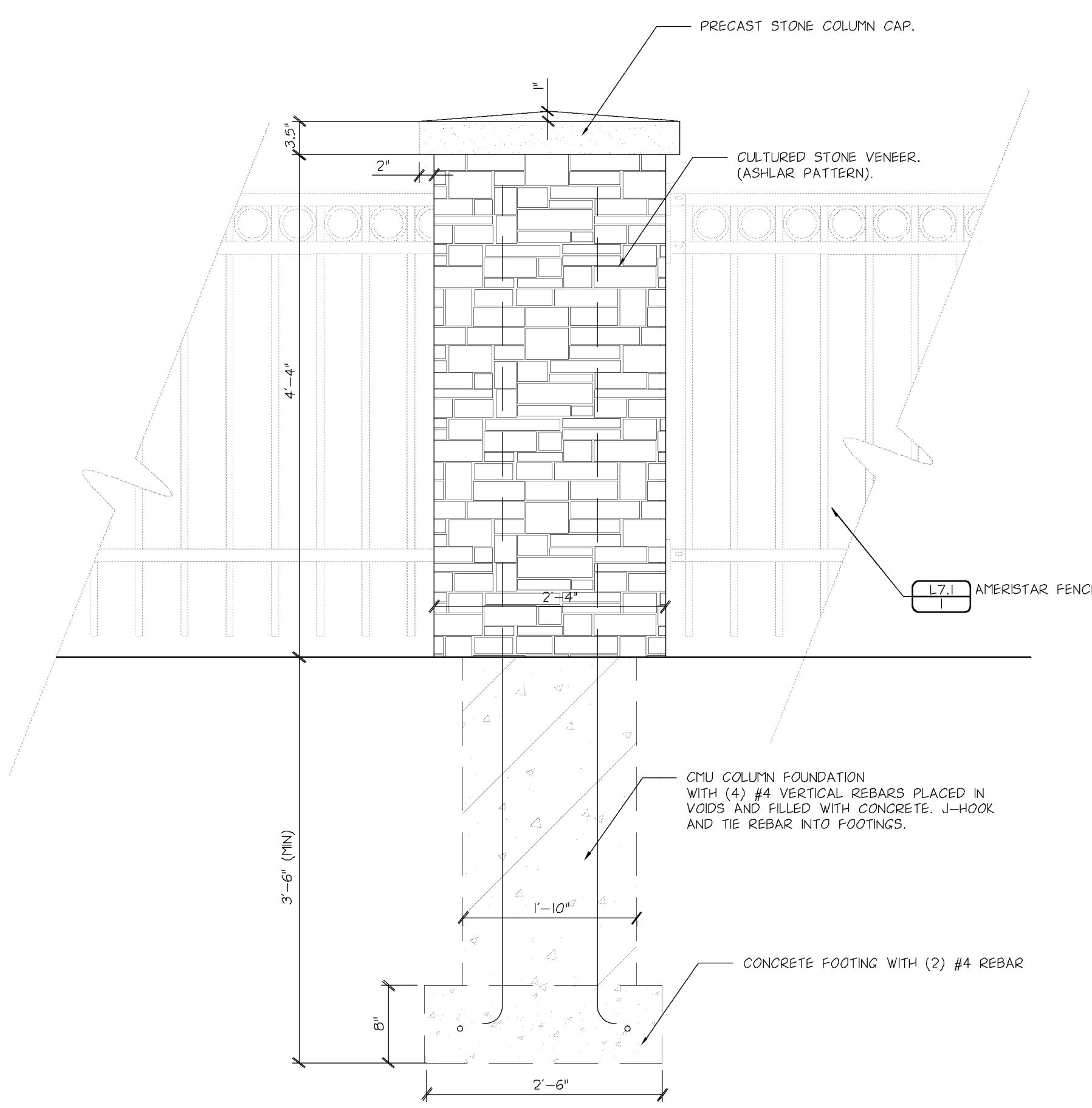
**2 SCREEN WALL 'B' ELEVATION**  
1"=5'

**3 SCREEN WALL 'C' ELEVATION**  
1"=5'





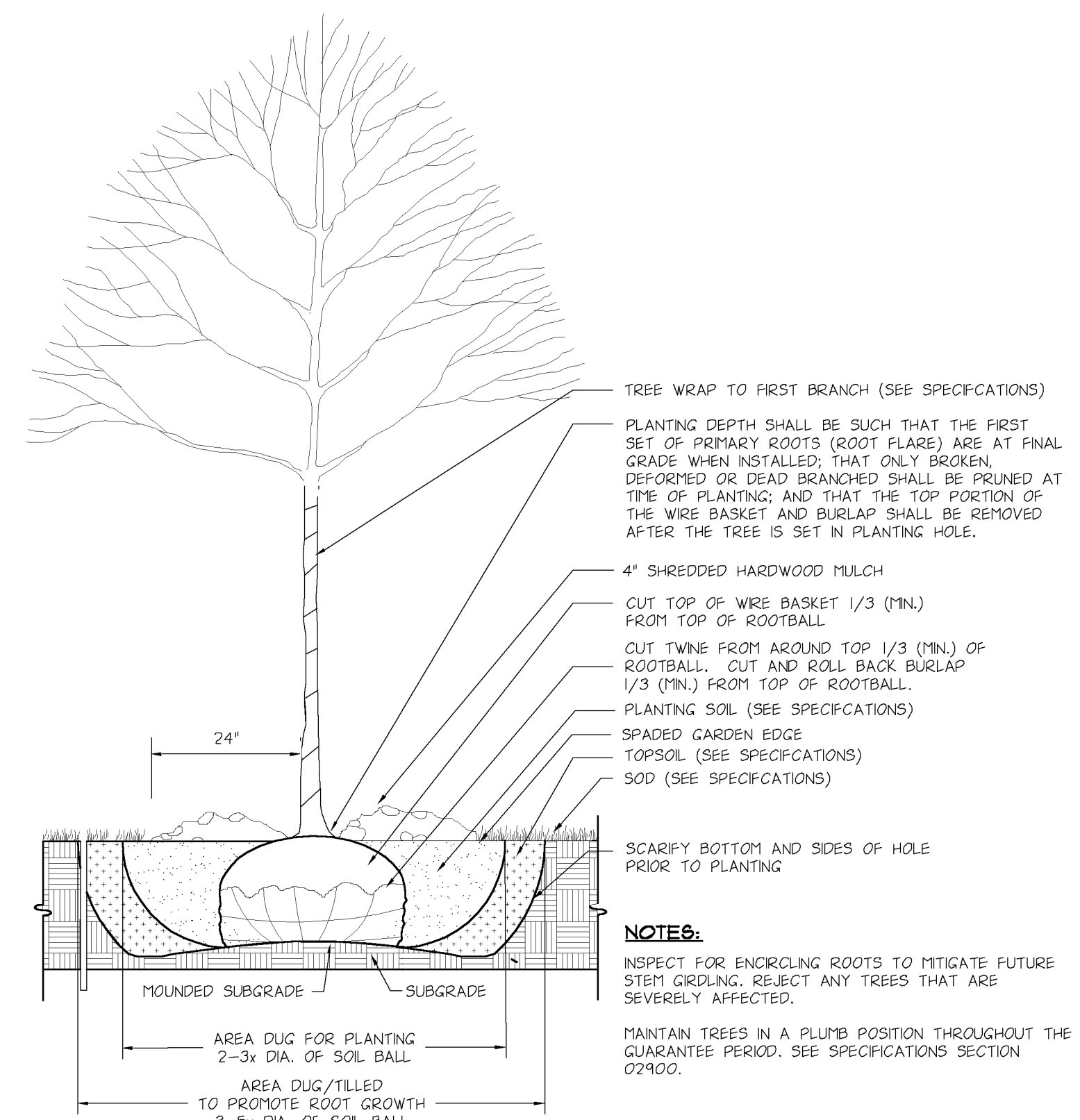
SHEET	TITLE
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C7.2	CIVIL CONSTRUCTION DETAILS
L2.1	LANDSCAPE DETAILS
L2.2	STREETSCAPE PLAN
L2.3	LANDSCAPE DETAILS
E2.1	SITE PHOTOGRAPHS



**STONE COLUMN**

5

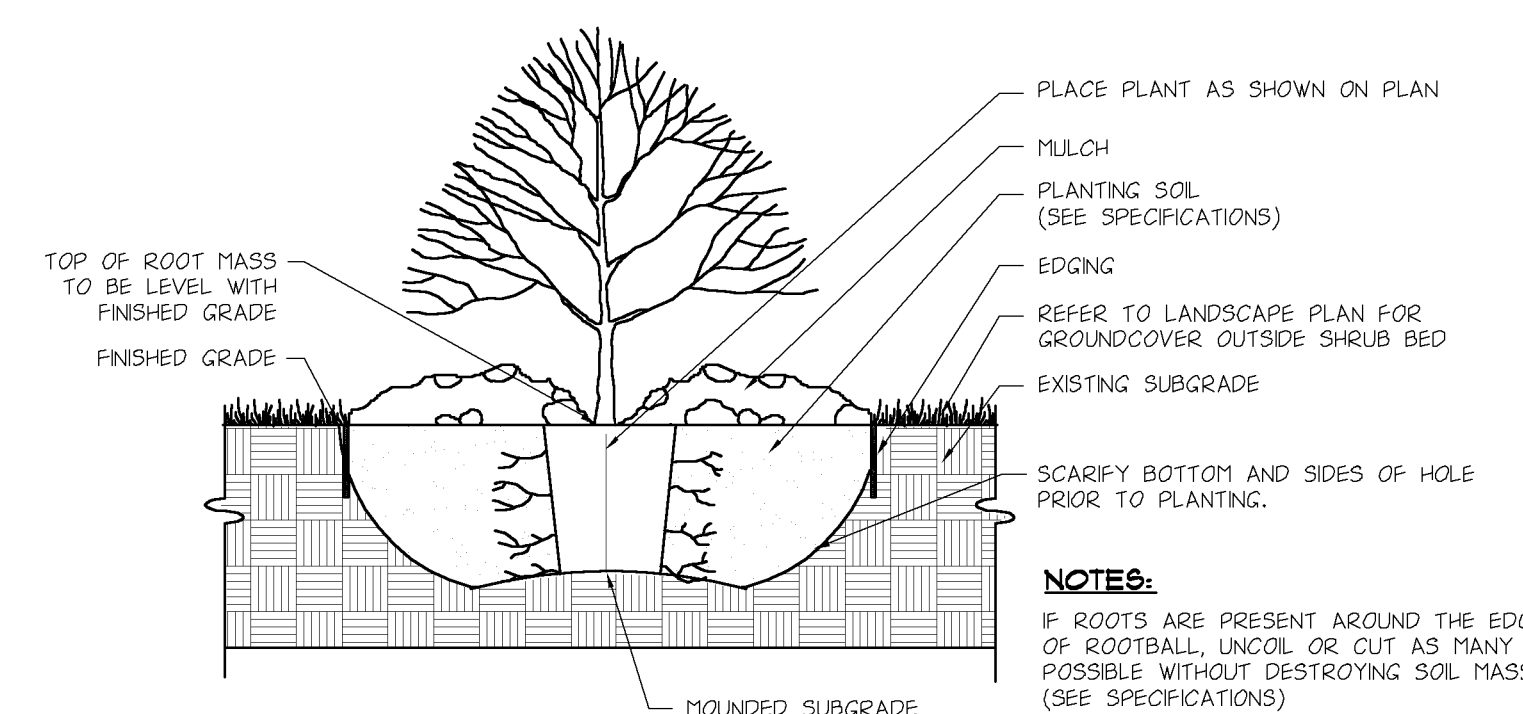
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**DECIDUOUS TREE PLANTING**

3

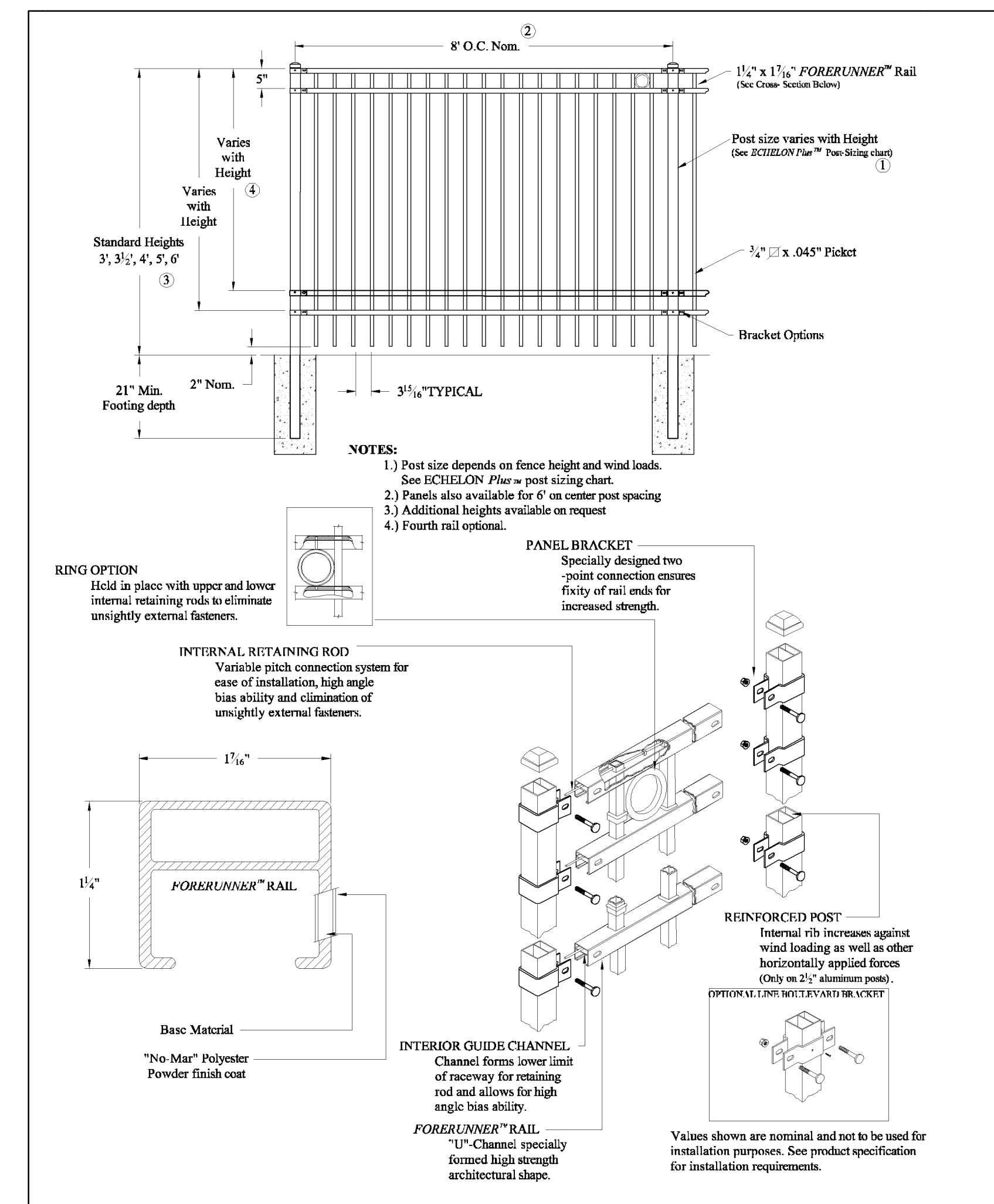
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**SHRUB PLANTING**

4

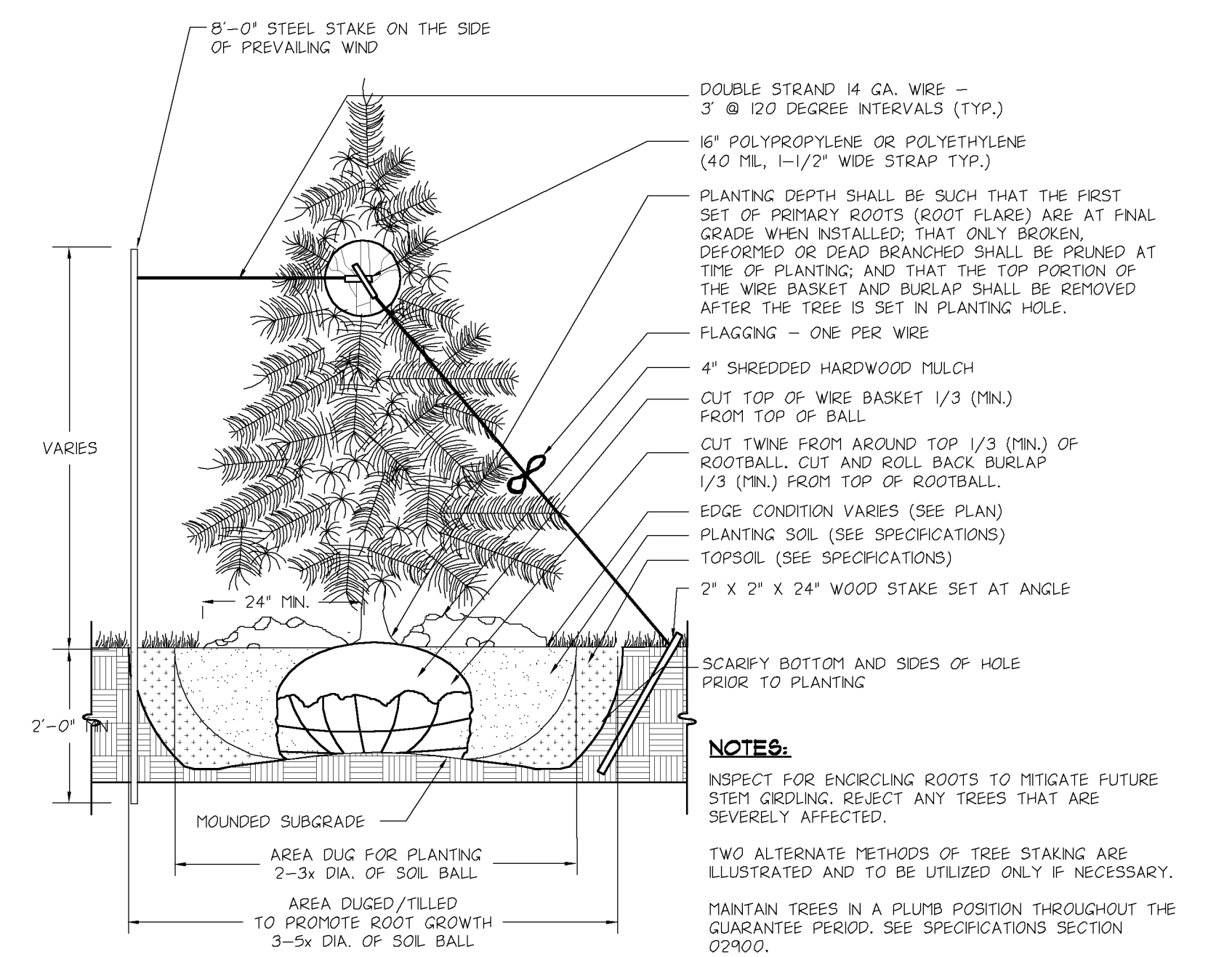
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**LANDSCAPE FENCING**

1

NO SCALE



**CONIFEROUS TREE PLANTING**

2

NO SCALE

**COMMERCIAL STRENGTH ALUMINUM**

THE ECHELON PLUS MAJESTIC 3/4-RAIL WRING OPTION  
DR: JAS SH .1of1 SCALE: DO NOT SCALE  
CK: BS Date 05/02/12 REV: e

1555 N. Mingo Tulsa, OK 74116  
1-888-333-3422  
www.ameristarfence.com

AMESO

**REVISION HISTORY**

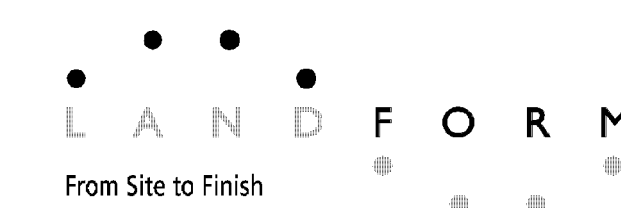
DATE	REVISION	REVIEW
09 SEPT 2012	PRELIMINARY SITE PLAN SUBMITTAL	SES
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**PROJECT MANAGER REVIEW**

BY	DATE

**CERTIFICATION**

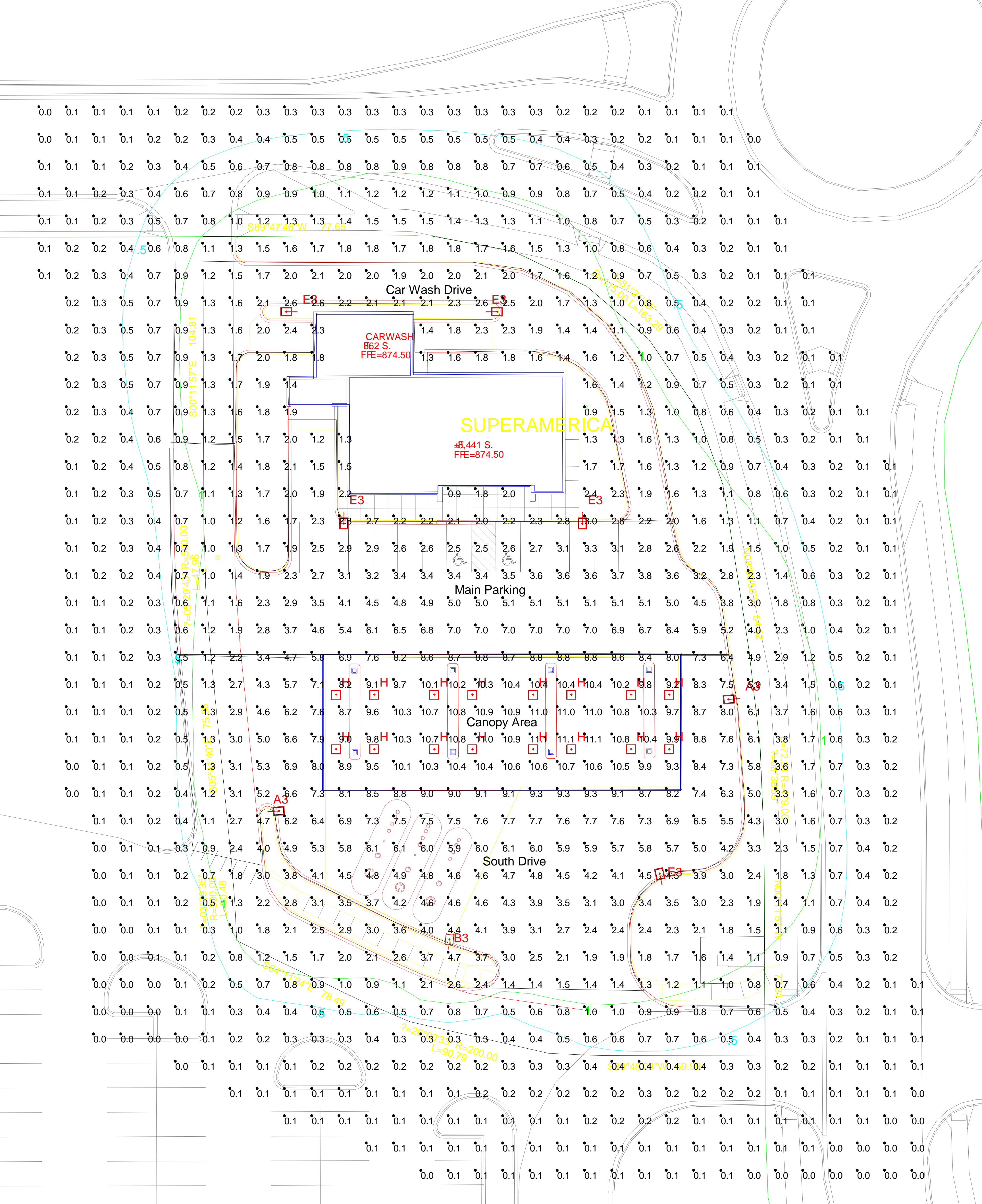
**SITE PLAN SUBMITTAL**  
27 SEPTEMBER 2012



105 South Fifth Avenue Suite 513 Minneapolis, MN 55401  
Tel: 612-252-9070 Fax: 612-252-9077 Web: landform.net

FILE NAME: L701KPL001.DWG  
PROJECT NO: KPL12001

**LANDSCAPE DETAILS**  
**L7.1**



Luminaire Location Summary					
LumNo	Label	X	Y	Z	Orient
26	H	447900.6	173524.6	20	90
30	H	447900.6	173544.6	20	90
31	H	447914.6	173524.6	20	90
32	H	447914.6	173544.6	20	90
33	H	447936.6	173524.6	20	90
34	H	447936.6	173544.6	20	90
35	H	447950.6	173524.6	20	90
36	H	447950.6	173544.6	20	90
37	H	447972.8	173524.6	20	90
38	H	447972.8	173544.6	20	90
39	H	447986.8	173524.6	20	90
40	H	447986.8	173544.6	20	90
41	H	448008.7	173524.6	20	90
42	H	448008.7	173544.6	20	90
43	H	448022.7	173524.6	20	90
44	H	448022.7	173544.6	20	90
45	E3	447886.3	173685.1	23	180
46	E3	447955.6	173685.1	23	0
47	E3	447990.8	173611.5	23	270
48	E3	447903.5	173611.5	23	270
49	A3	447875.6	173501.7	23	3.532
50	B3	447941.7	173450.8	23	83.548
51	A3	448048.6	173543.2	23	184.268
52	E3	448020.1	173475	23	102.184

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
Site	Illuminance	Fc	2.10	11.1	0.0	N.A.	N.A.	
Canopy Area	Illuminance	Fc	9.97	11.1	8.1	1.23	1.37	Horiz FC at grade under canopy
Car Wash Drive	Illuminance	Fc	1.72	2.6	0.9	1.91	2.89	Horiz FC at grade in car wash drive area
Main Parking	Illuminance	Fc	4.07	8.8	0.6	6.78	14.67	Horiz FC at grade in main parking area
South Drive	Illuminance	Fc	4.90	8.8	0.9	5.44	9.78	Horiz FC at grade in south drive area

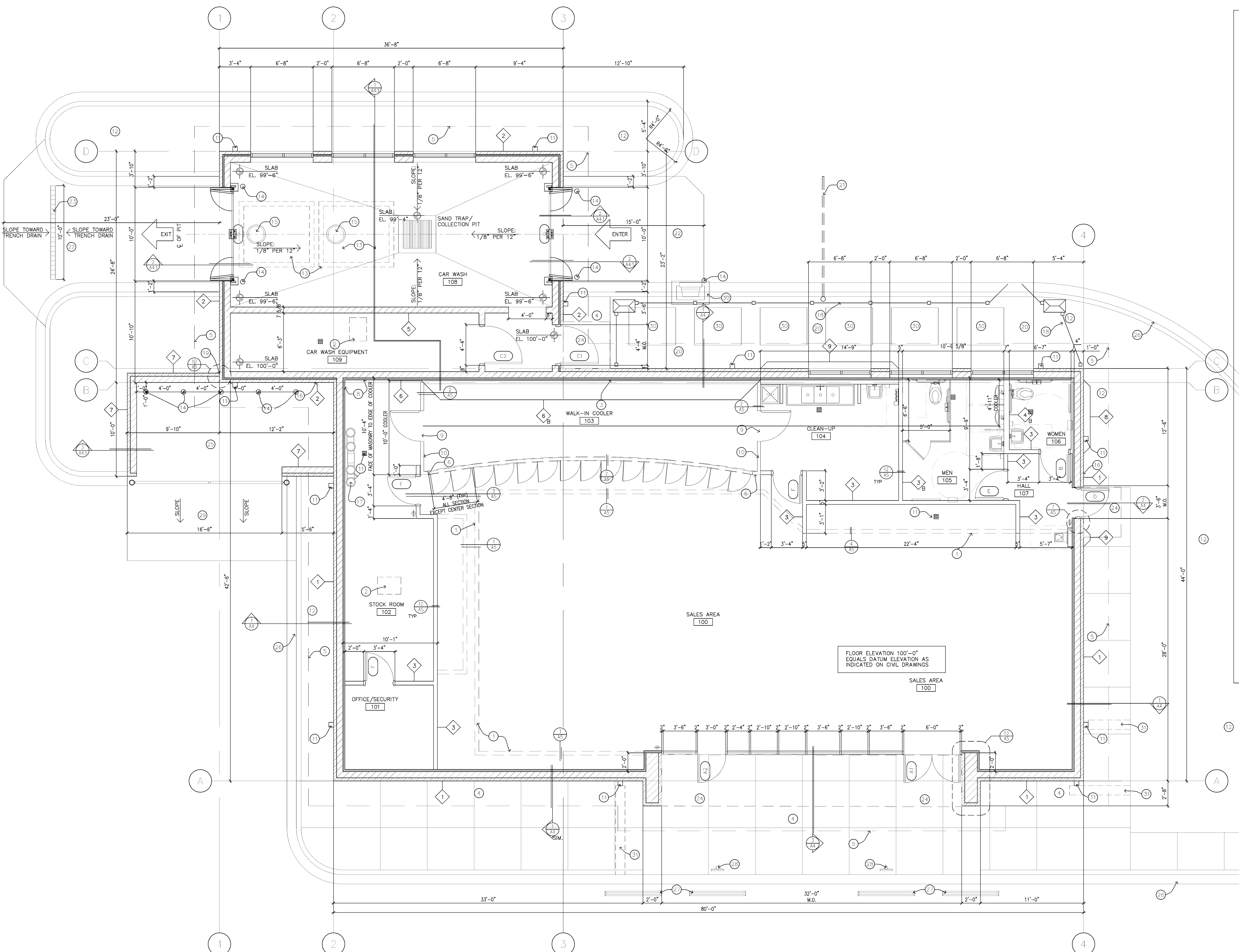
Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	2	A3	SINGLE	N.A.	0.800	McGraw Edison Ventus VTS-B09-LED-E1-T3 9-bar LED Type III
	1	B3	SINGLE	N.A.	0.800	McGraw Edison Ventus VTS-B09-LED-E1-T4 9-bar LED Type IV
	5	E3	SINGLE	N.A.	0.800	McGraw Edison Ventus VTS-B09-LED-E1-5WQ 9-bar LED Type V
	16	H	SINGLE	N.A.	0.800	McGraw Edison CNC-B04-LED-E1-CQ 4-bar LED concentrated square

# SA at COR TWO

Arch D-Size  
1" = 20'-0"



6130 Blue Circle Dr. Minnetonka, MN 55343  
Ph 952-217-0400 Fax 952-890-1632  
www.pulseproducts.com  
Contact: Steve Eggert  
Date: Sep. 3, 2012



- PLAN NOTES:**
- SEE FOUNDATION PLAN ON S2 FOR INTERIOR CONC SLABS.
  - SEE ROOM AND FLOOR FINISH A2 PLAN FOR INTERIOR FINISHES.
  - ALL INTERIOR DIMENSIONS ARE FINISH DIMENSIONS UNLESS NOTED OTHERWISE.
  - ALL MASONRY OPENINGS MUST BE PLUMB, SQUARE AND LEVEL.
  - DOOR SWINGS TO COMPLY WITH LOCAL CODES.
  - REFERENCE SITE PLAN A0.0 FOR EXTERIOR SITE CONDITIONS.

X LETTER DENOTES DOOR TYPE. SEE SCHEDULE ON A5.

- KEYNOTES:**
- LIGHT GAUGE STEEL FRAMING ABOVE FOR SOFFIT SUPPORT
  - PROVIDE MIN 22" x 30" ACCESS PANEL IN TRUSSES
  - 1" CLEAR AIR SPACE BETWEEN WALK-IN COOLER AND FURRED CONC BLOCK WALL
  - CONCRETE SIDEWALK. SEE SITE PLAN
  - ROOF/CANOPY ABOVE
  - FRAMING TO ALLOW 5/8" GYP BD TO BE FLUSH WITH COOLER CORNER
  - NOT USED
  - 5/8" THK PLYWOOD FOR MOUNTING OF ELECTRICAL DISTRIBUTION DEVICES. SEE ELECTRICAL PLAN
  - 3-5/8" STL STD FRAMING ABOVE WALK-IN COOLER (BOTH ENDS)
  - 5/8" FROM EDGE OF COOLER (DETAIL 2/A5)
  - 24"x24" ACCESS OPENING IN FRAMING ABOVE COOLER WITH 3/4" PLYWOOD DOOR AT BOTH ENDS OF COOLER 12" FROM FRONT
  - DOWN SPOUT
  - LANDSCAPE AREA. SEE PLOT PLAN
  - PRECAST CONCRETE RECIRCULATION PIT. COORDINATE W/ CAR WASH MFR. PROVIDE STEEL GRATING AND FRAME AT PIT OPENING
  - PIPE BOLLARD (PAINT "SAFETY RED" SW40B1) SEE DETAIL 14/A5
  - MANHOLE COVER
  - FROST PROOF HOSE BIBB. MOUNT 20" AFF
  - SPRINKLER RISER & WATER METER
  - 4' DOG EARED STAGGERED SLAT WOOD FENCE (ALT. COMPOSITE SLAT FENCE)
  - CONTROL JOINT
  - ROCK MULCH
  - HEIGHT RESTRICTION BAR
  - CONCRETE APRON WITH IN SLAB SNOW MELT SYSTEM
  - STRIP DRAIN, CONNECT TO STORM SEWER (SEE DETAIL 6/A5.1)
  - CONTINUOUS STRUCTURAL STOOP @ DOORS - SLOPE CONC. AWAY FROM DOOR 1/4" PER FT - HIGH POINT OF STOOP SHALL BE 1/4" BELOW F.O.S. ELEVATION (TYPICAL)
  - TRASH & RECYCLING ENCLOSURE
  - SEE SITE PLAN FOR ALL CURBING, WALKS, & LANDSCAPING
  - WHEEL STOPS BY OWNER
  - ADA PARKING STALL SIGNAGE
  - CONCRETE APRON SLOPE AWAY FROM STRUCTURES
  - CONCRETE SLAB (COORDINATE WITH EQUIPMENT SUPPLIER)
  - DOWN SPOUT/SIDEWALK TRENCH DRAIN
  - NOT USED
  - NOT USED

1 A1 FLOOR PLAN 1/4" = 1'-0"



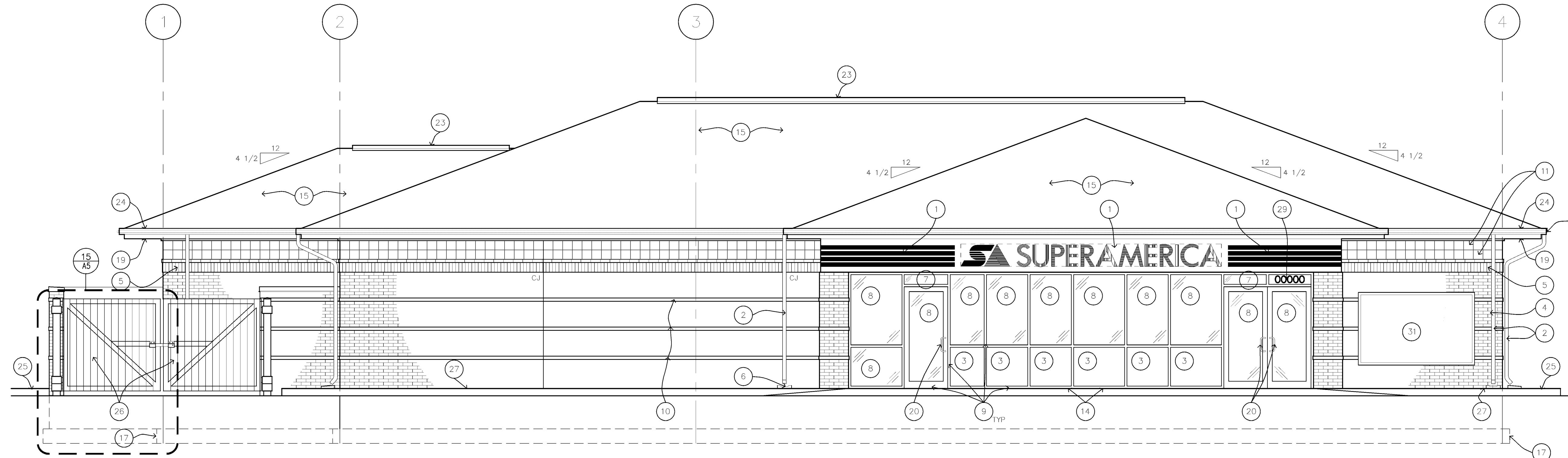
**REVISIONS**

▲	City Submittal	8.5.2012
▲	City Submittal Comments	10.2.12

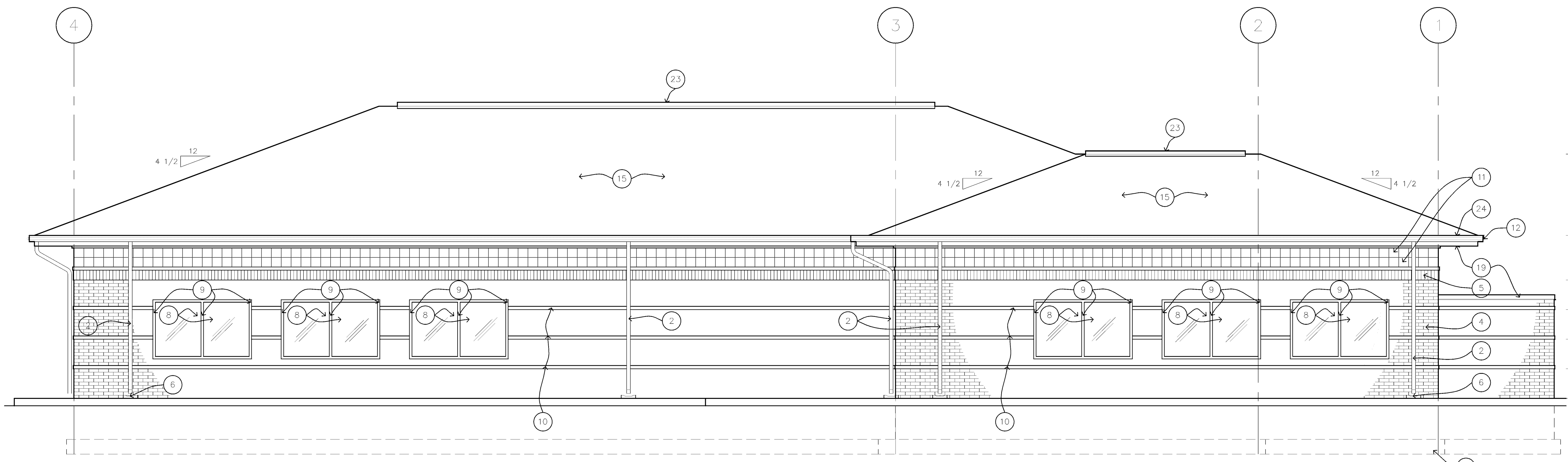
**FLOOR PLAN**

DATE	8.29.2012
<b>A1</b>	
PROJECT NO.	00000

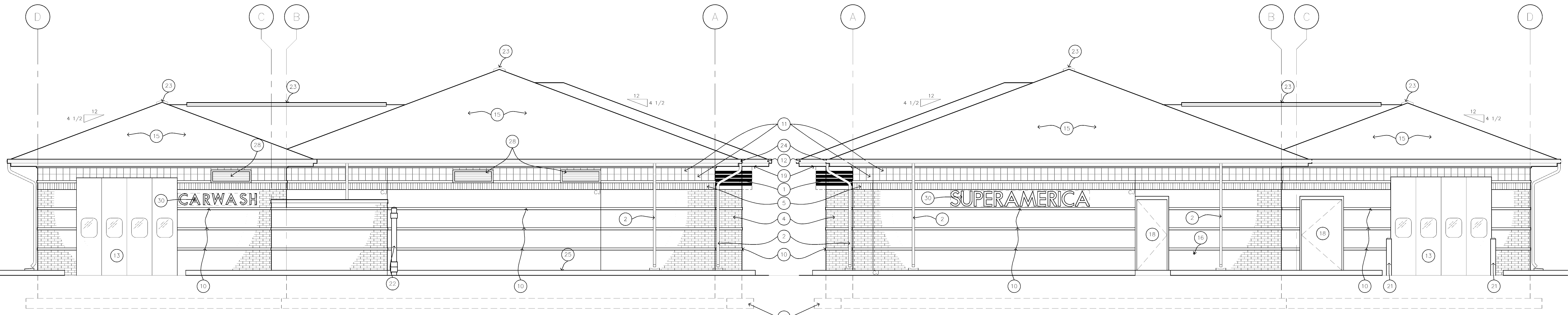
- PRELIMINARY/NOT FOR CONSTRUCTION
- PERMIT/BD SET
- CONSTRUCTION SET
- AS-BUILT SET
- NOT TO SCALE



1 FRONT ELEVATION  
1/4" = 1'-0"



2 REAR ELEVATION  
1/4" = 1'-0"



3 LEFT ELEVATION  
1/4" = 1'-0"

3 RIGHT ELEVATION  
1/4" = 1'-0"

- KEYNOTES:**
- 1 WHITE LED ILLUMINATED PRE-FINISHED PANAFLEX FACE PANEL WITH ORICAL BLUE TRANS VINYL LETTERS AND TRANS 3M "REGAL RED" VINYL STRIPES. PANELS WRAP SIDES AND EXTEND TO INSIDE CORNER. SEE SPEC
  - 2 PRE-FINISHED METAL DOWN-SPOUT COLOR: DARK BRONZE PROVIDE HEAT TAPE AT ALL LOCATIONS
  - 3 1" METAL SURFACED INSULATED PANELS BETWEEN EXIT DOORS COLOR: DARK BRONZE
  - 4 FACE BRICK, GENERAL SHALE BRICK, RALEIGH COURT, MODULAR, 36-10-591
  - 5 FACE BRICK SOLDIER COURSE
  - 6 PROVIDE SPLASH BLOCKS IN GREEN AREAS (SEE SITE PLAN FOR GREEN AREAS)
  - 7 1" INSUL CLEAR GLASS
  - 8 1" INSUL CLEAR TEMPERED GLASS (TYP)
  - 9 2" x 4 1/2" PRE-FINISHED DARK BRONZE ANODIZED ALUM. FLUSH GLAZE SYSTEM
  - 10 BRICK ACCENT BAND, INTERSTATE BRICK, TUMBLEWEED, MODULAR
  - 11 8" x 8" INTERSTATE BRICK, TUMBLEWEED, MODULAR, OPTIONAL: USE 8" x 16" SIZE W/ SINGLE SCORE.
  - 12 LED ACCENT LIGHTING
  - 13 BI-FOLD CARWASH DOOR
  - 14 SLOPED ACCESS.
  - 15 COMPOSITE SHINGLES. SEE SPECS
  - 16 FROST PROOF HOSE BIBB. MOUNT 20" AFF
  - 17 OUTLINE OF FOUNDATION. SEE FOUNDATION PLAN
  - 18 EXTERIOR HOLLOW METAL DOORS AND FRAMES TO BE PAINTED COLOR: MATCH BRICK.
  - 19 PRE-FINISH METAL FASCIA & TRIM COLOR: CHARCOAL GREY
  - 20 OFFSET PULL ON OUTSIDE OF DOOR
  - 21 PIPE BOLLARD
  - 22 TRASH ENCLOSURE GATE
  - 23 RIDGE VENT
  - 24 PRE-FINISHED METAL CUTTER TRIM COLOR: RED
  - 25 LANDSCAPE AREA. SEE LANDSCAPE PLAN.
  - 26 COMPOSITE WOOD TRASH ENCLOSURE GATE PICKETS
  - 27 SIDEWALK. SEE SITE PLAN
  - 28 42" x 16" PRE-FINISHED INTAKE AIR GRILLES. COLOR: CHARCOAL GREY
  - 29 REFLECTIVE DIE CUT VINYL 8" HIGH NUMBERS. VERIFY ADDRESS NUMBER WITH OWNERS REP.
  - 30 ILLUMINATED CHANNEL LETTERS
  - 31 ILLUMINATED READER BOARD
  - 32 ILLUMINATED CANOPY LOGO SIGN

- PRELIMINARY/NOT FOR CONSTRUCTION
- PERMIT/BD SET
- CONSTRUCTION SET
- AS-BUILT SET
- NOT TO SCALE





SUPERAMERICA



SUPERAMERICA

SUPERAMERICA

SUPERAMERICA







2E31  
116



September 28, 2012

Chris Anderson  
Associate Planner/Environmental Coordinator  
City of Ramsey  
7550 Sunwood Dr NW  
Ramsey, MN 55303

Re: Response to City Comments for Super America - Armstrong/Sunwood Site

Dear Mr. Anderson,

On behalf of Tom Noble from West Real Estate, we offer the following as a response to your comments dated September 28, 2012. We believe we have addressed all the comments provided by the city with this resubmittal. Our responses are indicated in red.

### **CONDITIONAL USE PERMIT**

In the COR-2b Sub-District, convenience stores with motor fuel sales and/or a car wash are identified as conditional uses under certain conditions. The submittal indicates four (4) fueling islands with a total of eight (8) individual dispensers that will be located south of the principal building on under an overhead canopy. Overhead canopies shall not exceed twenty (20) feet in height. Hours of operation for motor fuel sales and accessory car washes are limited to 6:00 AM to 11:00 PM, unless extended by the City Council as part of the conditional use permit. *Please revise the plans to ensure that the maximum height of the overhead canopy does not exceed twenty (20) feet. If hours of operation are proposed beyond what is permitted, that request must be made to the City Council for consideration.*

*The canopy height will be revised to address the maximum 20 ft height. The applicant is requesting that the convenience store, fueling operation and car wash be permitted as a 24hr /7 day a week operation.*

### **SITE PLAN**

**General:** The development proposal consists of a one story, 4,300 square foot retail building and car wash, as well as four (4) fueling islands with a total of eight (8) individual dispensers. The facility will be located on a 1.25 acre parcel, which is located at the southwest corner of Sunwood Dr at the roundabout (Lot 5 Block 1 COR 2). The east/west stretch of Sunwood Dr is identified as a Parkway Street and the north/south stretch of Sunwood Dr is identified as a Destination Street in the Design Framework for The COR. *Please submit updated Preliminary Plat information (sheet C1.2) to reflect this current project as well as an updated Plat configuration (Sheet C1.4). The current submittal does not accurately reflect the configuration of the approved plat and it appears to contain easements other than drainage and utility easements.*



*The preliminary plat and final plat have been updated to reflect the current project. They have been provided with the plan resubmittal.*

**Zoning:** The site is zoned COR-2 Commercial Sub-district. This area is intended to encourage a mix of large and small places accommodating auto-oriented uses. This suggests even greater attention be paid to public realm and streetscape improvements that not only accommodate vehicles, but also invite bicycle and pedestrian traffic. Retail buildings are a permitted use in this district while gas stations and accessory car washes are conditional uses. A conditional use permit is being processed simultaneously with the site plan.

**Building Height:** The COR-2 Sub-District allows for building heights between one (1) and four (4) stories on a Destination Street. The proposed building appears to have one story but has limited roofline articulation. Overhead canopies associated with motor fuel sales shall not be taller than twenty (20) feet. *The height of the overhead canopy must be reduced to no greater than twenty (20) feet in height and an effort should be made to incorporate more roof articulation on the principal building to break up the massing of shingles on the front and rear elevations.*

*a. The overhead canopy will be revised to reflect maximum height of 20 ft*

*b. Unfortunately by presenting the building elevations in one dimension we are not effectively demonstrating the variation in roof planes as a result of the irregular floor plan. We will provide additional 3D modeling to further demonstrate the roof line variation which already existing in the design. Considering the low slope profile of the roof ( 4.5/12) we feel incorporating additional roof articulation will be limited in effect. Drawings will be made available prior to the Planning meeting.*

**Maximum Structure Area:**The COR-2 Sub-District does not have maximum building coverage or minimum floor area ratio requirements.

**Building Orientation:** Building orientation is subject to the Design Framework of The COR, which is incorporated by reference as part of the Zoning Code. The principal building, as well as the main entrance, should front Sunwood Dr. As proposed, it appears that the rear elevation of the building fronts Sunwood Dr with the main entrance facing the interior of the lot. *Please revise the orientation of the building and main entrance to comply with Design Framework of The COR. An alternative may be to enhance the street presence of the rear and right elevations of the building with the use of greater roof articulation and pitches, additional windows, awnings etc., to meet the intent of the Design Framework. Color renderings of each of the four (4) elevations should be submitted to provide a better conceptual image of the building from the street.*

*Applicant will provide additional 3D modeling to further demonstrate the architecture along the rear and right elevations and will study additional architectural features to further enhance the design along Sunwood Dr. New design drawings will be made available prior to the Planning meeting. A photo of an existing SA Store delineating the brick detailing will also be provided for further definition of color and texture of the wall*



*surface. In addition, consideration should be given to the context of the building in relationship to the enhanced boulevard plantings & landscape features proposed along Sunwood Dr.*

**Setbacks:** The COR-2 Sub-District requires build-to lines as provided below.

The COR-2 Sub-District specifies build-to distances of fifteen (15) feet from Destination Streets and thirty (30) feet from Parkway Streets, both of which are measured from the building front to the right-of-way. A minimum of forty percent (40%) of the building front should be within the build-to area. While the site plan indicates that the attached car wash will be twenty-seven and a half (27.5) feet from the northern property boundary, that measurement is from the rear wall of the building. The proposed building location is generally consistent with Development Plan 6.1, which the City's Housing and Redevelopment Authority has approved; however, that version has not yet been adopted by the City and the building orientation and layout do not appear consistent with the current development plan (6.0).

*A subsequent narrative will be provided additional explanation pertaining to this comment.*

The Design Framework does allow for the use of fencing, decorative walls, and/or landscaping with a minimum height of three (3) feet and a maximum height of four and a half (4.5) feet to satisfy the forty percent (40%) street frontage requirement. A combination of decorative fencing (Ameristar Echelon Series four [4] feet tall) and shrubs are proposed in linear groupings along Sunwood Dr presumably to satisfy the street frontage requirement. Please provide the following information:

- *Calculations of lineal feet of landscaping along Sunwood Dr and overall lineal feet of frontage along Sunwood Dr to determine if this meets the forty percent (40%) threshold, and consider extending the landscaping edge along the east/west stretch of Sunwood Dr.*

*The total lineal feet of landscaping along Sunwood Dr is 46.4%. Elevation views from Sunwood Dr and associated calculations have been added to sheet L2.2.*

- *Details/specifications for the decorative fencing.*

*Details of the decorative fencing have been added to sheet L7.1*

**Exterior Materials:** The application includes one (1) sheet of architectural elevations. The exterior finish of the building appears to consist of face brick, brick accent bands, clear tempered glass and dark bronze metal panels. The exterior finish of the columns supporting the overhead canopy for the fueling islands appear to match that of the principal building, including face brick and brick accent bands.

**Waste Storage:** The waste storage area is proposed to be contained in an enclosure near the northwest corner of the building. Exterior materials should be complimentary and consistent with the proposed building. The exterior materials appear to be consistent with the exterior of the building and include a wood



composite gate for access. It does appear though that the western two (2) parking stalls will block access to the waste enclosure. *Should vehicles be parked here, how will the waste enclosure be accessed?*

*The two western parking stalls will be coned off during scheduled waste removal pickups.*

**Off-Street Parking - Spaces Required:** The COR-2 Sub-District sets a minimum parking space standard of two (2) spaces per 1,000 square feet and a maximum of four (4) spaces per 1,000 square feet for retail uses. The site plan proposes twelve (12) off-street parking spaces. It is City Staff's understanding that there may be shared parking for Lots 3-5 of Block 1. *If it is the intent to utilize shared parking, please submit a shared parking easement for review prior to the City releasing the Building Permit. Also, the parking summary on Sheet C2.1 must be updated to reflect the current project.*

*The parking summary has been updated on sheet C2.1. This site will not utilize shared parking.*

**Signs:** Please note that all signs for the proposed building must be approved through a separate sign permit process. Sign regulations can be found within the Design Framework as well as in City Code Chapter 117, Article II, Division 8. The developer is encouraged to review these sign regulations early in the process to avoid any unnecessary delays due to potential needs for special permits. *No dimensions are provided for any of the proposed signs and thus, only general feedback is possible at this time, which includes the following:*

- *Dynamic display signs are limited to no more than thirty-five percent (35%) of the proposed signage.*

*Applicant will comply with city of Ramsey signage criteria.*

- *Changeable reader boards (shown on the color rendering) are not permitted.*

*This reader board will be removed.*

- *On Sheet C2.1, the proposed monument sign appears to be located within a drainage and utility easement. The monument sign location must be modified to avoid encroachment in the drainage and utility easement.*

*The proposed monument sign has been relocated to outside of the drainage and utility easement.*

### **Landscape Review**

**Landscaping Plan:** The submittal included a landscaping plan, prepared by Landform and dated September 5, 2012, that includes landscaping interior to the site. The streetscape landscaping is being completed as part of the Sunwood Dr realignment project. *Please revise the landscaping plan to include the following:*



- *Landscaping notes should be amended to state that four (4) inches of MnDOT Premium Topsoil Borrow shall be applied to all areas not otherwise improved with buildings and impervious surfaces.*

*This note has been added to the Landscape Notes on sheet L2.1.*

- *All landscaped areas shall be irrigated and the irrigation system shall include rain sensors and a backflow preventer device.*

*The City of Ramsey standard irrigation notes have been added to sheet L2.1 which includes rain sensors. Backflow preventer device not has also been added.*

- *Tree planting detail must be submitted that clearly states that planting depth shall be such that the first set of primary roots (root flare) are at final grade when installed; that only broken, deformed or dead branches shall be pruned at time of planting; and that the top portion of the wire basket and burlap shall be removed after the tree is set in planting hole.*

*This note has been added to sheet L7.1.*

**Tree Preservation:** This site is devoid of any significant tree cover and therefore, no tree preservation plan is necessary.

### **Civil Engineering Review**

**Grading and Drainage:** The following comments are offered regarding the September 5, 2012 Grading and Utility Plans prepared by Landform:

- The B612 concrete curb detail should be amended to include base material extending to 1' beyond the back of curb.

*The B612 concrete curb detail has been modified on sheet C7.1 to include base material 1' beyond the back of curb.*

- The drainage from the west half of the site flows into the common access drive along the west edge of the site. Additional catch basins must be added at the western entrances to capture runoff before it leaves the site. All catch basins must be depressed to capture runoff before it leaves the site.

*In an effort to meet the City and LRRWMO requirements in an efficient manner, Block 1, Lots, 1-5 COR TWO utilize common drainage facilities. Private drainage easements will be provided to serve these sites.*



- Details for the Ecostorm device must be submitted.

*Ecostorm details have been added to sheet C7.2.*

- A maintenance agreement for the Ecostorm Device must be submitted.

*A maintenance agreement will be provided.*

- A turning template was provided for the fuel trucks. The owner should weigh in on the site layout as it pertains to fuel tanker access to the site.

*A truck maneuvering exhibit has been provided to the team for comment. The team needs further time to study the impact of the proposed fuel tanker access maneuver and will respond with any revisions to the plan prior to the planning commission meeting.*

The project will require a permit from the Lower Rum River Water Management Organization (LRRWMO). Please copy the City on the submittal. The application deadline is the first Thursday of the month for the meeting on the third Thursday of the month. The LRRWMO requirements include infiltration of 1 inch of runoff from the site.

*We received approval from the LRRWMO on 9/20/2012.*

The following notes should be added or amended on the plan set:

- The contractor should have a sweeper on site or available within 3 hours. All material tracked onto City streets must be removed immediately upon discovery, or as directed by the City Engineer.

*This note has been added to sheet C3.1.*

- Installation of silt fence and other down gradient sediment protection measures shall be completed and inspected prior to commencement of any site activities.

*This note has been added to sheet C3.1*

**Street and Building Access:** Three accesses to the common access drive are proposed for Lot 5, Block 1 COR TWO.

**Permits:** The applicant is responsible to secure all required permits for this project; including but not limited to, a MPCA NPDES construction permit, a Lower Rum River Watershed Organization permit. Additionally, the contractor performing the work will be required to obtain a City license.



*Noted.*

**Lighting:** The City has received a lighting plan for review. City standards require that the luminaire (light source) must not be visible from beyond the property line. Any lighting used to illuminate an off-street parking area, sign, or structure shall be arranged to deflect away from Sunwood Drive. The Applicant is responsible for the installation, and three (3) years of operations and maintenance, of all boulevard lighting. *Please submit shop drawings of each type of exterior light fixture that will be used.*

*Boulevard lighting will be constructed as part of the Sunwood Dr project. The applicant is not responsible for the installation of these lights. Cut sheets for the each onsite light fixture have been provided as part of this resubmittal.*

**REU Number:** This property will be subject to a storm water utility charge based upon the amount of impervious surface on the site. The quarterly charge is dependent upon the number of Residential Equivalent Units (REU) calculated for this property. The site is proposed as 81.7% impervious. This leads to an REU of  $(1.23 \times 3.95) 4.869$  and a quarterly stormwater fee of \$185.99.

#### **GENERAL INFORMATION**

**Next Steps:** *Following review by the Planning Commission, the request will be forwarded to the City Council for final action. The City Council is tentatively scheduled to review the request at their October 23, 2012 meeting. Staff will follow up in writing at that time.*

*A special meeting has been requested on October 16, 2012. We request to be on that meeting agenda.*

*All comments contained within this letter shall be included in the final set of plans submitted with the appropriate permits. The Applicant shall be responsible for all required permits including, but not limited to, the MPCA NPDES Permit and Lower Rum River Water Management Organization (LRRWMO) Permits.*

*Noted.*

Sincerely,  
Landform

A handwritten signature in black ink that reads "Steven Sabraski".

Steven Sabraski, P.E.  
Project Designer

**West Real Estate and Management, Inc.**



**Ramsey, MN**

**APPLICATION FOR  
SITE PLAN AND  
CONDITIONAL USE PERMIT**

**October 2, 2012**



## **INTRODUCTION**

On behalf of West Real Estate and Management, Inc., Landform is pleased to submit this updated narrative as a supplement to our September 28<sup>th</sup> letter for site plan and conditional use permit approval to allow construction of a Super America on Lot 5, Block 1, COR TWO. The 1.23-acre site is part of a plat that was approved by the City of Ramsey and given conceptual site plan review as part of those approvals. This site plan is consistent with Development Plan 6.1, which was approved by the Ramsey HRA and scheduled to be incorporated into the Framework update this month.

## **SITE PLAN**

Motor Fuel Sales and Car Wash are a conditional use in the COR-2 District and also requires approval of a site plan, subject to the standards in The COR Design Framework. The COR Design Framework was developed with the acknowledgement that the urban core with the traditional pedestrian oriented streetscape would be focused in COR-1. The COR-2 district was developed to accommodate auto-oriented uses such as this and the design guidelines included the flexibility to allow a wide variety of users in this area.

This parcel is part of the COR TWO subdivision which is uniquely challenged due to existing conditions related to public streets, internal access drives, existing buildings to the south and an approved (but not yet constructed) building to the southwest. We have prepared a site plan that complies with The COR Design Framework while addressing these site constraints.

When the COR TWO subdivision was approved, there was discussion about the fact that this subdivision was created to allow a campus-like setting within The COR and provide a global fix for a number of existing conditions that make development challenging. The buildings within this subdivision are oriented around an internal drive rather than the surrounding public streets. This design was influenced by a number of factors, including the fact that Armstrong Boulevard and Sunwood Drive (on both the north and east sides of this lot) are 4-6 lane roads with limited access. While the City has worked to create an environment that is inviting to automobile drivers, bicyclists and pedestrians, this limited access to primary roads necessitated the development of an internal street. Our building entrance, like any other campus setting, is oriented to this internal drive. Additionally, this internal drive allowed the existing retail/office building on Lot 2 to be part of this campus environment and take advantage of shared parking opportunities with the new Wiser Choice Liquor Store building on Lot 3, thereby, solving an existing parking problem for those businesses.

Due to the need for vehicles to maneuver around the site, the buildings cannot be constructed at the build-to-line. However, the Framework anticipated this type of situation and provided a tool to create a street edge through the use of a stone and decorative aluminum fence as shown on our plans. The Framework states that when this street edge is used, the fencing edge should be 40% of the frontage. Our plans show that the fence edging covers 46.4% of the street frontage. This exceeds ordinance requirements. The fencing will offer

breaks to open views into the site and provide a sidewalk connection to the front door of the building. This will create a strong, yet inviting, street edge.

We have refined the building plans further from the submittal that was included in the Planning Commission packet to address staff's concerns. These revised plans are included with this narrative and show compliance with the intent of the COR-2b Framework standards.

### **CONDITIONAL USE PERMIT**

The COR-2b district allows convenience stores with motor vehicle sales/car wash, subject to the standards outlined in Section 117-118(c)1c. Our project meets these standards for approval of the conditional use permit.

#### *Hours of operation*

The City Code allows the City Council to approve hours of operation as part of a conditional use permit. We are requesting approval of 24 hour operation. The building is located at the busiest intersection in The COR and is not adjacent to residential uses. The 24 hour operation is ideally located to provide convenience services to Ramsey residents.

### **SUMMARY**

We respectfully request approval of the Site Plan and Conditional use Permit to allow construction of the Super America on Lot 5, Block 1, COR TWO with 24-hour operation. This project meets the spirit and intent of the COR-2b district within a campus-like setting. We look forward to Planning Commission review on October 4<sup>th</sup> and City Council action at the special meeting on October 16<sup>th</sup>.

### **CONTACT INFORMATION**

This document was prepared by:

Landform

105 South Fifth Street, Suite 513

Minneapolis, MN 55330

Any additional questions regarding this application can be directed to Steve Sabraski at [ssabraski@landform.net](mailto:ssabraski@landform.net) or 612.638.0243.

Councilmember \_\_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #12-10-\_\_\_\_\_**

**A RESOLUTION ADOPTING FINDINGS OF FACT # \_\_\_\_\_ RELATING TO A REQUEST FOR A CONDITIONAL USE PERMIT TO CONSTRUCT AND OPERATE A COMMERCIAL GAS STATION AND ACCESSORY CAR WASH ASSOCIATED WITH A CONVENIENCE RETAIL BUSINESS IN THE COR-2b ZONING DISTRICT**

**WHEREAS**, West Real Estate and Management Inc., hereinafter referred to as the “Applicant,” has properly applied for a Conditional Use Permit to allow for the construction and operation of a commercial gas station and accessory car wash on the property legally described as follows:

Lot 5, Block 1, COR TWO Addition, Anoka County, Minnesota

(“Subject Property”)

**NOW THEREFORE, BE IT RESOLVED BY THIS CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA that the findings of fact relating to the request are determined to be as follows:**

1. That the Applicant appeared before the Planning Commission for a public hearing pursuant to Ramsey City Code on October 4, 2012, and that said public hearing was properly advertised and that the minutes of said public hearing are hereby incorporated by reference.
2. That the Applicant has submitted a site plan to construct an approximately 4,300 square-foot retail convenience store that includes motor fuel sales and an accessory car wash within The COR development.
3. That the submitted site plan indicates a single, 862 square-foot commercial car wash attached to the northern wall of the retail convenience store and motor fuel dispensers located south of the retail convenience store.
4. That the submitted site plan indicates four (4) fueling islands with a total of eight (8) fuel dispensers.
5. That the COR-2b Zoning District states that gas stations and accessory car washes are only permitted as a conditional use within the District.
6. That the height of the overhead canopy over the fuel dispensers shall not exceed twenty (20) feet.
7. That the Subject Property is approximately 1.23 acres in size.
8. That the Subject Property is zoned COR-2b and is located inside the urban service area. (MUSA).

9. That the fuel dispensers are at least thirty (30) feet from any property line.
10. That the proposed accessory car wash is located on the northern side of the retail convenience building facing Sunwood Dr.
11. That the City has reviewed the accessory car wash and finds that the use will provide for proper and safe traffic circulation and provides for at least three (3) car wash stacking spaces for waiting vehicles.
12. That the proposed use and layout are acceptable due to the unique design constraints of the lot, the location within The COR, the street designations, and the orientation of the building.
13. That the proposed use will not adversely impact traffic in the area.
14. That the proposed use will not be unduly dangerous or otherwise detrimental to persons residing or working in the vicinity of the use or to the public welfare.
15. That the proposed use will not substantially adversely impair the use, enjoyment, or market value of any surrounding property.
16. That the proposed use will not be hazardous or disturbing to existing or future neighboring uses.
17. That the proposed use will be served adequately by public facilities and services such as highways and streets.
18. That the proposed use will not create excessive additional requirements at public cost for public facilities and services, and it will not be detrimental to the economic welfare of the community.
19. That the proposed use will not involve activities and uses that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke fumes, glare or odors.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 16<sup>th</sup> day of October, 2012.

---

Mayor

**ATTEST:**

---

City Clerk

Councilmember \_\_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #12-10-\_\_\_\_\_**

**A RESOLUTION APPROVING THE ISSUANCE OF A CONDITIONAL USE PERMIT TO WEST REAL ESTATE AND MANAGEMENT INC TO CONSTRUCT AND OPERATE A GAS STATION AND AN ACCESSORY CAR WASH IN THE COR-2b ZONING DISTRICT AND DECLARING TERMS OF SAME**

**WHEREAS**, West Real Estate and Management Inc, hereinafter referred to as the “Permittee” has properly applied to the City of Ramsey (the “City”) for a Conditional Use Permit (the “Permit”) to construct and operate a gas station and accessory commercial car wash associated with a retail convenience building in the COR-2b Zoning District on property legally described as follows:

Lot 5, Block 1, COR TWO Addition, Anoka County, Minnesota

(“Subject Property”)

**WHEREAS**, the Planning Commission met on October 4, 2012, conducted a public hearing and recommended City Council approval of the request.

**NOW THEREFORE, BE IT RESOLVED BY THIS CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:**

The **Permit** to construct and operate a gas station and accessory commercial car wash associated with a retail convenience building on the **Subject Property** is hereby granted to the **Permittee**.

1. Based on Findings of Fact #\_\_\_\_\_, the **Permittee** is hereby permitted to construct and operate a gas station and accessory commercial car wash on the **Subject Property**.
2. That the **Permit** only applies to a gas station and accessory commercial car wash constructed and operated on the **Subject Property**.
3. That the **Permit** allows for an 862 square-foot attached, accessory commercial car wash to be constructed as well as four (4) fueling islands with a maximum of eight (8) fuel dispensers.
4. That the fueling islands and accessory commercial car wash shall only be located as shown on Sheet C2.1, prepared by Landform Professional Services, dated September 5, 2012 and revised on September 27, 2012, of the proposed site plan. Any relocation of the either the fueling islands or the accessory commercial car wash shall be reviewed and approved by the City Council.
5. That the area utilized for fueling services and the accessory commercial car wash shall be properly constructed and maintained in accordance with all applicable Staff Review letters, approved site plans, City Code, and Minnesota State Building Code.

6. That the hours of operation of the motor fuel sales and accessory commercial car wash may be twenty-four (24) hours a day, seven (7) days per week.
7. That this **Permit** shall be perpetual in duration as long as the terms are herein complied with.
8. That the **Permittee** shall be responsible for all **City** costs incurred in administering and enforcing this **Permit**.
9. That the City Administrator, or his/her designee, shall have the right to inspect the premises for compliance and safety purposes annually or at any time, upon reasonable request.
10. That this **Permit** shall automatically expire if the use is not initiated by October 16, 2013, and issuance of the building permit shall constitute initiation.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 16<sup>th</sup> day of October, 2012.

West Real Estate and Management Inc., hereby acknowledges receipt of this **Permit** and that they have reviewed the conditions of this **Permit** and have agreed that they will cause compliance with the terms of this **Permit**.

WEST REAL ESTATE AND MANAGEMENT INC.

By: \_\_\_\_\_

Its: \_\_\_\_\_

STATE OF MINNESOTA )  
 ) ss.  
COUNTY OF ANOKA )

The foregoing was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2012 by \_\_\_\_\_, the \_\_\_\_\_ of West Real Estate and Management Inc., a Domestic Business Corporation under the laws of the State of Minnesota, on behalf of the corporation.

\_\_\_\_\_  
Notary Public

CITY OF RAMSEY:

ATTEST:

By: \_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

STATE OF MINNESOTA )  
 ) ss.  
COUNTY OF ANOKA )

On this \_\_\_\_\_ day of \_\_\_\_\_, 2012, before me a Notary Public personally appeared Bob Ramsey and Jo Ann M. Thieling, to me personally known, who, being each by me duly sworn did say that they are respectively the Mayor and City Clerk of the City of Ramsey, the municipal corporation named in the foregoing instrument, and seal affixed to said instrument is the corporate seal of said municipal corporation, and the said instrument was signed and sealed on behalf of said municipal corporation by authority of its City Council and said Bob Ramsey and Jo Ann M. Thieling acknowledge said instrument to be the free act and deed of said municipal corporation.

\_\_\_\_\_  
Notary Public

This document drafted by:  
The City of Ramsey  
7550 Sunwood Dr NW  
Ramsey, MN 55303

This document reviewed by:  
Randall and Goodrich  
2140 Fourth Avenue  
Anoka, MN 55303

**SUPER AMERICA  
DEVELOPMENT PERMIT  
CITY OF RAMSEY, ANOKA COUNTY, MINNESOTA**

**THIS AGREEMENT**, made and entered into by and between the **CITY OF RAMSEY**, a municipal corporation under the laws of the State of Minnesota (the "**CITY**"), and **WEST REAL ESTATE AND MANAGEMENT INC.**, a domestic business corporation under the laws of the State of Minnesota, whose address is 405 South 8<sup>th</sup> Street, Minneapolis, Minnesota 55404 (the "**PERMITTEE**").

**WITNESSETH:**

**WHEREAS**, the **Permittee** is the fee owner of the following described property situated in the **CITY OF RAMSEY**, County of Anoka, State of Minnesota, and legally described as follows:

Lot 5, Block 1, COR TWO, Anoka County, Minnesota

(the "**Subject Property**"); and

**WHEREAS**, on October 16, 2012 the **CITY** approved the final site plan for Super America on the Subject Property; and

**WHEREAS**, on October 16, 2012 the **CITY** approved a conditional use permit for motor fuel sales and an accessory car wash on the Subject Property.

**WHEREAS**, the **PERMITTEE** intends to cause the Required Improvements to the Subject Property to be constructed without financial participation by the **CITY**.

**NOW, THEREFORE**, the **CITY** and **PERMITTEE** agree as follows:

**SECTION I  
REQUIRED IMPROVEMENTS AND FINANCIAL RESPONSIBILITIES**

1. **City Code Compliance.** The **CITY** approves the Site Plan conditioned on the **PERMITTEE** developing the Subject Property in accordance with the applicable provisions of City Code.
2. **Conformance with Plan.** The Site Plan shall be developed pursuant to the plans prepared by Landform Professional Services, dated September 5, 2012, revised September 27, 2012, and by Pulse, dated September 3, 2012.
3. **Incorporation of All City Code Requirements.** That the recitals above and the applicable provisions of the City Charter, Subdivision Code, Zoning Code and Public Improvement Code of the **CITY**, as amended to date hereof, are incorporated herein by reference.
4. **State Building Code Compliance.** The Structures shall be constructed in accordance with the requirements of the Building Code.
5. **Fire Lanes.** Fire lanes shall be maintained on the Site. The exact locations of these items on the Site shall be as directed by the Fire Chief. The **PERMITTEE** herein agrees to post "No Parking" signs along private streets in accordance with City Code requirements and in conjunction with the instructions of the Fire Chief.

6. **Building Façade.** The **PERMITTEE** agrees to construct the building in accordance with the site plan and architectural elevations prepared by Landform Professional Services dated September 5, 2012, revised September 27, 2012, and approved by the City Council on October 16, 2012.
7. **Required Improvements.** The **PERMITTEE** shall construct and install the following site improvements on the Subject Property in accordance with the specifications and location as shown on the Site Plan. The Required Improvements are as follows:
  - a. Site grading in accordance with the Grading Plan prepared by Landform Professional Services dated September 5, 2012, revised September 27, 2012.
  - b. Private storm sewer and appurtenances.
  - c. Private sanitary sewer system
  - d. Private watermains and appurtenances
  - e. Private trunk and lateral storm drainage facilities
  - f. Bituminous driveways, parking lots, and maneuvering areas, including access to Sunwood Drive.
  - g. Continuous, B6/12 concrete curbing and gutter around the perimeter of all bituminous surfaces.
  - h. Installation of Landscaping in accordance with the Landscape Plan prepared by Landform Professional Services, dated September 5, 2012, revised September 27, 2012.
  - i. Irrigation metering and backflow devices shall be approved as part of the Utility Plan, and installed accordingly.
  - j. Irrigation rain sensors shall be installed and appropriately placed throughout the development.
  - k. Establishment of turf in areas disturbed during construction and in accordance with the Site Plan.
  - l. Temporary and permanent erosion control.

("Required Improvements").

The **PERMITTEE** agrees to construct the Required Improvements according to the terms and conditions of this agreement and in accordance with **PERMITTEE's** plans submitted to the **CITY**.

8. **Required Improvements Completion Date.** The Required Improvements shall be completed on or before October 16, 2013.
9. **Required Improvements Financial Guarantee.** In order to ensure the installation of the Required Improvements in accordance with **CITY** specifications and in a timely manner, the **PERMITTEE** shall be required to deposit with the **CITY** a cash escrow or letter of credit, approved as to form by the **CITY**, in the amount of \_\_\_\_\_ Dollars and No Cents. (\$ \_\_\_\_\_ .00), which is 150% of the **CITY's** estimated cost of the Required Improvements. Prior to the issuance of the building permit, all financial guarantees must be provided as required herein.

Upon completion of the construction of the Required Improvements, the financial guarantee shall be returned to the **PERMITTEE** and the **PERMITTEE** shall be required to provide the landscaping maintenance guarantee described in Item #14 of this Development Agreement. The determination of completion of the construction of the Required Improvements shall be made by the City Council after consultation with the City Engineer. In the event the **PERMITTEE** fails to construct and install the Required Improvements as required herein, the City Council may order the completion of the Required Improvements with **CITY** day labor and/or by letting contracts for said completion and

draw upon the escrow for payment. Only the City Council shall have the authority to direct completion of the Required Improvements and withdraw from the escrow account. The **PERMITTEE** hereby grants permission and a license to the **CITY** and/or its contractors and assigns to enter upon the Subject Property for the purpose of completing the construction and installation of the Required Improvements in the event of the **PERMITTEE's** default.

10. **Inspection Fees.** The **PERMITTEE** shall be responsible for all inspection costs incurred by the **CITY** related to the installation of Required Improvements. The **PERMITTEE** shall make a cash deposit into the appropriate escrow account at the **CITY** and the **CITY** shall have the authority to draw upon these funds for the purpose of compensating for inspection services. The amount of the deposit shall be equal to five percent (5%) of the estimated cost of the Required Improvements, which equates to \_\_\_\_\_ Dollars and No Cents (\$\_\_\_\_\_.00) (5% x \$\_\_\_\_\_.00). Upon completion of the Improvements to the satisfaction of the City, any surplus balance remaining in the **CITY's** escrow account shall be refunded to the **PERMITTEE**.

## SECTION II PERMITS AND OCCUPANCY

11. **Requirements for Building Permits.** No building permit for any lot in the Plat shall be issued until: (a) a Class 5 driving surface is installed to within 300 feet of the structure; (b) site plan approval is granted by the **CITY** and any expense incurred in giving site plan approval has been reimbursed to the **CITY**; (c) the Building Official has been provided with a copy of the approved site plan, signed by a registered architect or surveyor, showing all dimensions to scale; (d) the Plat has been recorded at Anoka County Property Records, (e) a Lower Rum River Watershed Management Organization Permit has been obtained. The **CITY** reserves the right to suspend all building activities upon the **CITY** being notified by an outside agency that the appropriate permit(s) was not obtained from the applicable agency. Approval of the building foundation requires a certificate of elevation signed by a licensed (State of Minnesota), professional land surveyor, verifying that the elevation with the approved grading plan for the Plat. Foundation approvals will require a certificate of elevation verifying that the actual elevation is in compliance with the approved grading and drainage plan. The lowest floor elevation shall be at least 2 feet above the 100 year elevation.

No occupancy permit for any lot in the Plat shall be issued until: (a) vehicular access to the lot is provided including the installation of at least one layer of bituminous surfacing; (b) all utilities are in place, operational and accepted by the **CITY**; (c) for lots that have a slope of less than 2%, a certificate of grading, prepared by a licensed (State of Minnesota), professional land surveyor, must be provided to the **CITY** documenting that the flattest grade on this lot is 1% or greater will require certificates of grading.

## SECTION IV LANDSCAPING

12. **Maintenance Guarantee for Landscaping.** It is herein agreed that the **PERMITTEE** shall provide a maintenance guarantee to ensure the survival of the plantings. Said maintenance guarantee shall consist of cash or a letter of credit, approved as to form by the **CITY**, in the amount of Two Thousand Nine Hundred and Three Dollars and No Cents (**\$2,903.00**) [# plantings (16 trees, 65 shrubs) x cost/planting (\$300/tree, \$75/shrub) x 30% average non-survival rate], which shall be in effect for a two-year period commencing on the date of the **CITY's** acceptance of said plantings as part of the Required Improvements.

At the end of the two-year period, the maintenance guarantee shall be returned to the **PERMITTEE**. The determination that all plantings that have been planted in accordance with the Site Plan have either survived or have been replaced shall be made by the Community Development Department. In the event the **PERMITTEE** fails to maintain the required plantings for a two-year period, the City Council may order the replacement of plantings with **CITY** day labor and/or by letting contracts and draw upon the escrow for payment. Only the City Council shall have the authority to direct replacement of the plantings and withdraw from the escrow account. The **PERMITTEE** hereby grants permission and a license to the **CITY** and/or its contractors and assigns to enter upon the Subject Property for the purpose of replacing plantings in the event of the **PERMITTEE** default.

**SECTION V  
GENERAL**

13. **Boulevard and Area Restoration.** The **PERMITTEE** shall be responsible for restoring all areas disturbed by the development grading operation in accordance with the approved erosion and sediment control plan. The **PERMITTEE** shall also be responsible for the cost of cleaning any soil, earth or debris from the wetlands within and adjacent to this Site Plan resulting from grading performed in the development of the land.
14. **Construction Site Maintenance.** The **PERMITTEE** shall adhere to all **CITY** ordinances relating to, but not limited to, dumping of garbage, site development, construction debris, open burning, etc.
15. **Estimated Cost.** It is understood and agreed that cost amounts set forth in this Agreement as Required Improvements, unless specified as fixed amounts, are estimated. The **PERMITTEE** agrees to pay the entire cost of said improvements including interest, engineering and legal charges.
16. **Site Plan Approval Expenses.** The **PERMITTEE** agrees that it will pay to the **CITY** all **CITY** expenses incurred in the approval of the Site Plan, including, but not limited to administration expenses, engineering and legal fees. Said expenses shall be paid within fifteen (15) days of billing by the **CITY** and outstanding billings shall be paid prior to issuance of the building permit. Any expenses incurred after the release of the building permit shall also be paid within said fifteen (15) day billing period. Failure to pay the **CITY's** expenses within the fifteen (15) day billing period will permit the **CITY** to draw upon any of the escrows required by this contract for payment.
17. **Reimbursement to the City.** The **PERMITTEE** agrees to reimburse the **CITY** for all costs incurred by the **CITY** in defense or enforcement of this Agreement, or any portion thereof, including court costs and reasonable engineering and attorney's fees.
18. **Invalidity of Any Section.** If any portion, section, subsection, sentence, clause, paragraph or phase of this Agreement is for any reason held to be invalid by a court of competent jurisdiction, such decision shall not effect or void any of the other provisions of this Agreement.
19. **Proof of Authority.** When the **PERMITTEE** is a corporation, the **CITY** requires proof of authority by the corporation to execute this Agreement. This proof of authority may be satisfied by providing the **CITY** with a certified copy of minutes of the corporate Board of Directors granting such authority.
20. **Violation of This Permit.** If the **PERMITTEE** fails to perform any of the terms of this Permit in the manner required by the **CITY**, the **CITY** shall be entitled to recover, from the **PERMITTEE** or the issuer of **PERMITTEE** financial guarantee, the full amount of any and all financial guarantees. Breach of any of the terms of this Development Permit by the **PERMITTEE** shall also be grounds for denial of Building Permit or issuance of Certificate of Occupancy.
21. **Agreement Binding On Successors and Assigns.** The **PERMITTEE** agrees that this Development Permit shall be binding upon its successors and assigns.

IN WITNESS THEREOF, the parties have hereunto set their hands and seals, this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

**WEST REAL ESTATE AND MANAGEMENT INC. CITY OF RAMSEY**

By: \_\_\_\_\_ By: \_\_\_\_\_  
Its: Mayor

Its: \_\_\_\_\_ **ATTEST**  
By: \_\_\_\_\_  
Its: City Clerk

STATE OF MINNESOTA )  
 )  
COUNTY OF ANOKA ) ss.

On this \_\_\_\_\_ day of \_\_\_\_\_, 2012, before me a Notary Public personally appeared Bob Ramsey and Jo Thieling, to me personally known, being each by me duly sworn did say that they are respectively the Mayor and City Clerk of the City of Ramsey, the municipal corporation named in the foregoing instrument, and seal affixed to said instrument is the corporate seal of said municipal corporation, and the said instrument was signed and sealed on behalf of said municipal corporation by authority of its City Council and said Bob Ramsey and Jo Thieling acknowledge said instrument to be the free act and deed of said municipal corporation.

\_\_\_\_\_  
Notary Public

STATE OF MINNESOTA )  
 )  
COUNTY OF ) ss.

The foregoing was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2012, by \_\_\_\_\_, the \_\_\_\_\_ of the West Real Estate and Management Inc., a domestic business corporation under the laws of the State of Minnesota, on behalf of the corporation.

\_\_\_\_\_  
Notary Public

**THIS INSTRUMENT WAS DRAFTED BY:**  
City of Ramsey  
7550 Sunwood Dr NW  
Ramsey, MN 55303

**REVIEWED BY:**  
Randall & Goodrich  
2140 Fourth Avenue  
Anoka, MN 55303

October 12, 2012

West Real Estate and Management Inc.  
Attn: Thomas Noble  
1660 South Highway 100, Ste 105  
St. Louis Park, MN 55416

**Re: Site Plan and Conditional Use Permit Review  
Super America**

Dear Mr. Noble:

The City of Ramsey has received your application for Site Plan and Conditional Use Permit Review to construct an approximately 4,300 square foot retail/convenience building, gas station and car wash on approximately 1.25 acres. At the October 4, 2012 Planning Commission meeting, the Planning Commission *recommended* approval of the request contingent upon the following:

- Required amendments as outlined in the attached Staff Review File dated September 28, 2012

***Please note: this is only a recommendation that is subject to final action by the City Council.*** We have received revised plans, prepared by Landform Professional Services and dated September 27, 2012 and Amcon, dated October 2, 2012. An updated Review File and Staff Report are attached (please note that the civil engineering is still under review and thus, these comments have been carried over from the Staff Report dated September 28, 2012). The City Council will review the requests at a special City Council meeting on **Tuesday, October 16<sup>th</sup>, beginning at approximately 6:15 p.m. (immediately following the Public Works Committee meeting)** at the Ramsey Municipal Center in the Lake Itasca Room. You, or a representative of the development, are highly encouraged to attend this meeting. Please contact me at your earliest convenience prior to the meeting to verify if you will be attending. Also, please note that an ordinance amendment related to The COR Design Framework, including the COR-2 Sub-District which your project is located in, is being processed concurrently and will be introduced at the October 23, 2012 City Council meeting.

Please let me know if you have any questions or concerns. I can be reached at (763) 433-9905 or by email at [canderson@ci.ramsey.mn.us](mailto:canderson@ci.ramsey.mn.us).

Sincerely,

CITY OF RAMSEY

Chris Anderson  
Associate Planner/Environmental Coordinator

*Review File: Super America*  
*Site Plan Review*  
*September 28, 2012*  
*Revised October 12, 2012*  
*Page 2 of 7*

Enclosures

Cc: Darren Lazan, Landform Professional Services, 105 S. Fifth Avenue, Minneapolis, MN 55401  
Steve Sabraski, Landform Professional Services, 105 S. Fifth Avenue, Minneapolis, MN 55401  
Kurt Ulrich, HRA Executive Director

**CITY OF RAMSEY PLANNING DIVISION**  
**REVIEW FILE**

<b>DATE</b>	10/12/2012	<b>PROJECT ADDRESS</b>	TBD
<b>PROJECT TITLE</b>	SUPER AMERICA		
<b>REVIEW FILE #</b>			
<b>APPLICANT:</b>	West Real Estate and Management Inc. (Thomas Noble)		
<b>PRIMARY REVIEWER:</b>	Chris Anderson – Associate Planner/Environmental Coordinator Phone: (763) 433-9905 Fax: 763-433-9848 e-mail: <a href="mailto:canderson@ci.ramsey.mn.us">canderson@ci.ramsey.mn.us</a>		

We are in receipt of the proposed Site Plan for Super America. The submittal consists of the following sheets:

- Sheets C0.1, C1.1, C1.2, C1.3, C1.4, C2.1, C3.1, C4.1, C7.1, C7.2, L2.1, L2.2, and L7.1 prepared by Landform and dated September 5, 2012, revised September 27, 2012.
- Sheets A1, A3, CA1 and color renderings prepared by Amcon and dated 9/5/2012, revised October 2, 2012.
- Photometrics prepared by Pulse and dated 9/3/2012.

(the “Plans”)

We offer the following comments regarding your conditional use permit and site plan:

**CONDITIONAL USE PERMIT**

***Planning and Zoning***

***Reviewer: Chris Anderson, Associate Planner/Environmental Coordinator***

***[canderson@ci.ramsey.mn.us](mailto:canderson@ci.ramsey.mn.us)***

***(763) 433-9905***

In the COR-2b Sub-District, convenience stores with motor fuel sales and/or a car wash are identified as conditional uses under certain conditions. The submittal indicates four (4) fueling islands with a total of eight (8) individual dispensers that will be located south of the principal building on under an overhead canopy. Overhead canopies shall not exceed twenty (20) feet in height. Hours of operation for motor fuel sales and accessory car washes are limited to 6:00 AM to 11:00 PM, unless extended by the City Council as part of the conditional use permit. The proposed conditional use permit has been amended to specify permitted hours of operation to be twenty-four (24) hours per day, seven (7) days per week, subject to final approval by City Council.

## **SITE PLAN**

### ***Planning and Zoning***

***Reviewer: Chris Anderson, Associate Planner/Environmental Coordinator  
[canderson@ci.ramsey.mn.us](mailto:canderson@ci.ramsey.mn.us)  
(763) 433-9905***

**General:** The development proposal consists of a one story, 4,300 square foot retail building and car wash, as well as four (4) fueling islands with a total of eight (8) individual dispensers. The facility will be located on a 1.23 acre parcel, which is located at the southwest corner of Sunwood Dr at the roundabout (Lot 5 Block 1 COR 2). The east/west stretch of Sunwood Dr is identified as a Parkway Street and the north/south stretch of Sunwood Dr is identified as a Destination Street in the Design Framework for The COR.

**Zoning:** The site is zoned COR-2 Commercial Sub-district. An ordinance amendment will be introduced at the October 23, 2012 City Council meeting adjusting the Sub-District boundaries such that this site is located in the COR-2b Commercial Sub-District. The COR-2 Commercial Sub-District is intended to encourage a mix of large and small places accommodating auto-oriented uses. Retail buildings are a permitted use in this district while gas stations and accessory car washes are conditional uses. A conditional use permit is being processed simultaneously with the site plan for the proposed motor fuel sales and accessory car wash.

**Building Height:** The COR-2 Commercial Sub-District allows for building heights between one (1) and four (4) stories on both Destination and Parkway Street as outlined in the Design Framework. The proposed building appears to consist of a single story. Overhead canopies associated with motor fuel sales shall not be taller than twenty (20) feet.

**Maximum Structure Area.** The COR-2 Commercial Sub-District does not have maximum building coverage or minimum floor area ratio requirements.

**Building Orientation:** Building orientation is subject to the Design Framework of The COR, which is incorporated by reference as part of the Zoning Code. The principal building, as well as the main entrance, should front Sunwood Dr. As proposed, it appears that the rear elevation of the building fronts Sunwood Drive with the main entrance facing the interior of the lot. However, the proposed orientation of the building may be appropriate when considering the curvature of the site edge, which is a result of the realignment of Sunwood Drive, and in conjunction with the internal circulation pattern of the private street. The revised plans incorporate additional windows along the north wall of the building (facing Sunwood Drive), providing an enhanced street presence as depicted in the color renderings.

**Setbacks:** The COR-2 Sub-District requires build-to lines as provided below.

The COR-2 Sub-District specifies build-to distances of fifteen (15) feet from Destination Streets and thirty (30) feet from Parkway Streets, both of which are measured from the building front to the right-of-way. A minimum of forty percent (40%) of the building front should be within the build-to area. The Design Framework incorporates some flexibility with the build-to requirement if a project includes a street edge consisting of fencing, decorative wall and/or landscaping with a minimum height of three (3)

feet and a maximum height of four and a half (4.5) feet to meet the forty percent (40%) threshold. The revised plans indicate that the attached car wash will be twenty-seven and a half (27.5) feet from the northern property boundary (Parkway street designation). The site will also include a combination of decorative fencing (Ameristar Echelon Series four [4] feet tall) and shrubs to create the required street edge. Calculations were provided that verify the combination of decorative fencing and shrubbery exceeds the required forty percent (40%) street frontage threshold. The proposed building location is generally consistent with Development Plan 6.1, which the City's Housing and Redevelopment Authority has approved and will be considered by the City Council as part of the Design Framework ordinance amendment on October 23, 2012.

**Exterior Materials.** The application includes two (2) sheets of architectural elevations, Sheet A3 (building elevations) and Sheet CA1 (canopy elevations). The exterior finish of the building appears to consist of face brick, brick accent bands, clear tempered glass and dark bronze metal panels. The exterior finish of the columns supporting the overhead canopy for the fueling islands appear to match that of the principal building including face brick and brick accent bands.

**Waste Storage:** The waste storage area is proposed to be contained in an enclosure near the northwest corner of the building. Exterior materials should be complimentary and consistent with the proposed building. The exterior materials appear to be consistent with the exterior of the building and include a wood composite gate for access. It appears that the western two (2) parking stalls may block access to the waste enclosure; however, based on the September 28, 2012 responses to the Staff Review Letter, to ensure access to the waste enclosure, these two (2) stalls will be 'coned off' during scheduled waste removal pick-ups.

**Off-Street Parking - Spaces Required:** The COR-2 Commercial Sub-District sets a minimum parking space standard of two (2) spaces per 1,000 square feet and a maximum of four (4) spaces per 1,000 square feet for retail uses. The site plan proposes twelve (12) off-street parking spaces, which complies with the parking standards within the Design Framework.

**Signs:** Please note that all signs for the proposed building must be approved through a separate sign permit process. Sign regulations can be found within the Design Framework as well as in City Code Chapter 117, Article II, Division 8. The developer is encouraged to review these sign regulations early in the process to avoid any unnecessary delays due to potential needs for special permits. *No dimensions are provided for any of the proposed signs and thus, only general feedback is possible at this time, which includes the following:*

- *Dynamic display signs are limited to no more than thirty-five percent (35%) of the proposed signage. However, the City is considering an amendment to this specific provision. Your feedback is appreciated on a size of dynamic display that is desirable for your needs.*
- *Additional information must be provided regarding the LED accent lighting. Any bulb emitting greater than 3,000 lumens (150) watts must be directed such that the bulb is not visible from off the property where such light source is located.*

*Review File: Super America  
Site Plan Review  
September 28, 2012  
Revised October 12, 2012  
Page 6 of 7*

***Landscape Review***

***Reviewer: Chris Anderson***  
[\*canderson@ci.ramsey.mn.us\*](mailto:canderson@ci.ramsey.mn.us)  
***763-433-9905***

**Landscaping Plan:** The proposed landscaping of the site interior is generally acceptable. The streetscape landscaping is being completed as part of the Sunwood Dr realignment project. *Please note that copies of the topsoil load tickets will be required to verify the source of the material (there are 'pre-approved' suppliers that have provided testing to verify material meets specification). If amending onsite topsoil, or if using a supplier other than one that is 'pre-approved', documentation must be supplied to the City to verify that the amended material meets Mn/DOT's Premium Topsoil Borrow specification.*

**Tree Preservation:** This site is devoid of any significant tree cover and therefore, no tree preservation plan is necessary.

***Civil Engineering Review***

***Reviewer: Leonard Linton, Civil Engineer II***  
[\*llinton@ci.ramsey.mn.us\*](mailto:llinton@ci.ramsey.mn.us)  
***763-433-9834***

**Grading and Drainage:** The following comments are offered regarding the September 5, 2012 Grading and Utility Plans prepared by Landform:

- The B612 concrete curb detail should be amended to include base material extending to 1' beyond the back of curb.
- The drainage from the west half of the site flows into the common access drive along the west edge of the site. Additional catch basins must be added at the western entrances to capture runoff before it leaves the site. All catch basins must be depressed to capture runoff before it leaves the site.
- Details for the Ecostorm device must be submitted.
- A maintenance agreement for the Ecostorm Device must be submitted.
- A turning template was provided for the fuel trucks. The owner should weigh in on the site layout as it pertains to fuel tanker access to the site.

The project will require a permit from the Lower Rum River Water Management Organization (LRRWMO). The LRRWMO requirements include infiltration of 1 inch of runoff from the site.

The following notes should be added or amended on the plan set:

- The contractor should have a sweeper on site or available within 3 hours. All material tracked onto City streets must be removed immediately upon discovery, or as directed by the City Engineer.
- Installation of silt fence and other down gradient sediment protection measures shall be completed and inspected prior to commencement of any site activities.

**Street and Building Access:** Three accesses to the common access drive are proposed for Lot 5, Block 1 COR TWO.

*Review File: Super America  
Site Plan Review  
September 28, 2012  
Revised October 12, 2012  
Page 7 of 7*

**Permits:** The applicant is responsible to secure all required permits for this project; including but not limited to, a MPCA NPDES construction permit, a Lower Rum River Watershed Organization permit. Additionally, the contractor performing the work will be required to obtain a City license.

**Lighting:** The City has received a lighting plan for review. City standards require that the luminaire (light source) must not be visible from beyond the property line. Any lighting used to illuminate an off-street parking area, sign, or structure shall be arranged to deflect away from Sunwood Drive. The Applicant is responsible for the installation, and three (3) years of operations and maintenance, of all boulevard lighting (this obligation may have been satisfied with approval of the plat entitled COR TWO, subject to final execution). *Please submit shop drawings of each type of exterior light fixture that will be used.*

**REU Number:** This property will be subject to a storm water utility charge based upon the amount of impervious surface on the site. The quarterly charge is dependent upon the number of Residential Equivalent Units (REU) calculated for this property. The site is proposed as 81.7% impervious. This leads to an REU of  $(1.23 \times 3.95) 4.869$  and a quarterly stormwater fee of \$185.99.

#### **GENERAL INFORMATION**

**Next Steps.** *Following review by the Planning Commission, the request will be forwarded to the City Council for final action. The City Council is scheduled to review the request at a special meeting on October 16, 2012 meeting. Staff will follow up in writing at that time.*

*All comments contained within this letter shall be included in the final set of plans submitted with the appropriate permits. The Applicant shall be responsible for all required permits including, but not limited to, the MPCA NPDES Permit and Lower Rum River Water Management Organization (LRRWMO) Permits.*

*-end of report-*

**CC Special Session**

**Meeting Date:** 10/16/2012

**By:** Diana Lund, Finance

---

**Title:**

Comparison of final pro-forma and Current Draw Schedule in Regard to the Residence at The COR

**Background:**

Councilmember Elvig has raised concerns in relation to the amount of developer/builder overhead/contingencies stated on the current draw schedules for the Residence at The COR project in comparison to what was shown on the final proforma document.

Councilmember Elving's concerns stemmed from the \$500,0000 prepayment request from F&C. It was at this time that he begin to ask questions in regard to developer fees on the draw versus the proforma that F&C had originally submitted.

Currently, the finance director is the staff person designated to oversee the draw requests and submit bond payments after the bank and title companies have signed off with their approvals.

To bring all members - staff, council and F&C ion the same page, a brief overview and understanding of the two documents (proforma and draw schedule budget) is needed.

**Observations:**

Attached are the draw schedule and sources/uses that was used at time of bonding from Ehlers.

Councilmbmers Elvig’s question is related to the items high-lighted in yellow on both sheets and the amount of overhead and contingencies listed on the draw schedule happening to equal a little over \$3M-which happens to be the amount of equity F&C is supposed to put into the project, thus their equity would really be funded with bond proceeds.

A brief comparison of the two sheets:

The total amount that shows on the draw schedule is \$33,625,980. This amount was achieved as such:

\$29,600,000 Project costs listed below

\$2,374,000 city development fees (this is listed as uses & sources under draw schedule so nets itself out)

\$1,440,000 Additional Land costs (this also nets itself out as land is shown as \$2,190,000 use and \$1,440,000,000 source to arrive at land proceeds city received of \$750,000)

\$211,000 municipal financing fees (this is the \$91,000 in closing costs that they paid back and the \$120,000 paid back on the TIF loan of \$1,420,000)

Total \$33,625,000

Cross-referenced the Draw schedule of the \$33,625,000 and the Proforma shows differences (outside of the \$211,000 listed above) is the \$1,349,905 of developer fee listed below(in yellow) which consists of \$149,905 in travel and \$1,200,000 in Dev OH on the draw schedule.

**Funding Source:**

Bond proceeds

**Council Action:**

Review of final proforma and the draw request budget submitted for the Residence at the COR project.

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**Attachments**

Proforma

Draw Schedule Budget

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**Form Review**

**Inbox**

Kurt Ulrich

Form Started By: Diana Lund

**Reviewed By**

Kurt Ulrich

**Date**

10/11/2012 02:51 PM

Started On: 10/11/2012 08:36 AM

Final Approval Date: 10/11/2012

**SOURCES**

	<u>% OF TOTAL</u>	<u>% OF FINANCE</u>	<u>TOTALS</u>
DEVELOPER FINANCING SERIES A - PNC	69.17%	72.35%	20,475,000
DEVELOPER FINANCING SERIES B - TIF Bond	23.06%	24.12%	6,825,000
DEVELOPER FINANCING SERIES D - Tax Credit Equity	0.00%	0.00%	0
<b>DEVELOPER EQUITY</b>	<b>3.38%</b>	<b>3.53%</b>	<b>1,000,000</b>
<b>AMOUNT FINANCED</b>	<b>95.61%</b>		<b>28,300,000</b>
City TIF (Up Front)		1,300,000	
Deferred Developer Fee		0	
0.00%			
	4.39%		1,300,000
<b>TOTAL SOURCES</b>	<b>100.00%</b>		<b>29,600,000</b>

**USES**

	<u>Per Unit</u>	<u>% OF TOTAL</u>	<u>SUBTOTAL</u>	<u>TOTALS</u>
<b>ACQUISITION COSTS</b>				
Land	\$3,261	2.53%	750,000	750,000
Building/Land Improvements		0.00%	0	
<b>CONSTRUCTION COSTS</b>	<b>\$103,247</b>			
Building/Land Improvements		80.23%	22,649,322	23,746,802
Contingency (3%)		3.00%	679,480	
TI For Retail		0.00%	0	
Bond/Park Dedication/SAC/WAC - \$2,375,901		0.00%	0	
Insurance		0.51%	150,000	
FF&E		0.91%	268,000	
<b>SOFT COSTS</b>				
<b>PROFESSIONAL SERVICES</b>				<b>1,168,438</b>
Architectural, Engineering & Professional Fees		3.37%	998,438	
Market Study			0	
Lender Due Dilligence Fee			0	
Third Party Reports		0.05%	15,000	
Legal		0.52%	155,000	
Survey			0	
Phase I & Energy Audit			0	
Building Permit			0	
Appraisal			0	
Soft Cost Contingency			0	
<b>MARKETING - TRAVEL</b>		0.17%	50,000	50,000
<b>CITY FEES</b>			0	0
<b>BORROWER'S COUNSEL</b>			0	0
<b>SERIES B - TIF &amp; SUB DEBT BONDS</b>				<b>75,000</b>
Origination Fee			0	
Construction Interest			0	
Title and Recording		0.25%	75,000	
LOC Fee - TIF			0	
LOC Fee - Sub Debt			0	
COI and Legal			0	
<b>TAX CREDIT FEES</b>			0	0
<b>REAL ESTATE TAXES</b>		0.34%	100,000	100,000
<b>COST OF ISSUANCE</b>				<b>2,036,849</b>
GP Counsel			0	
LP Counsel			0	
Underwriter's Counsel			0	
Financing Fees (.75% of Loan)		0.75%	153,563	

Financing Fee F & C (.25%)	0.00%	0	
Organizational		0	
Other Tax Credit Fees		0	
Underwriter's Discount		0	
Rating Agency		0	
Bond Reserve/Parking Costs - 3 Mo Interest		0	
Capitalized Interest	6.36%	1,883,286	
Bridge Loan		0	
Bond Costs/Enhancement Costs		0	
Bond Interst Reserve		0	
<b>ACCRUED INTEREST ON EQUITY</b>		0	<b>0</b>
<b>LETTERS OF CREDIT</b>		0	
<b>CLOSING COSTS</b>		0	<b>0</b>
<b>PROJECT MANAGEMENT</b>			<b>1,349,905</b>
Contractor Fee		0	
<b>Developer Fee</b>	<b>4.56%</b>	<b>1,349,905</b>	
<b>CASH ACCOUNTS</b>			<b>323,006</b>
Marketing/Lease Up	0.23%	69,000	
Debt Service Reserve		0	
Replacement Reserve		0	
Working Capital	0.81%	240,641	
Commercial Leasing	0.05%	13,365	
<b>Total Soft Costs</b>	<b>17.24%</b>	<b>5,103,198</b>	
<b>TOTAL USES</b>	<b>100.00%</b>		<b>29,600,000</b>

SECTION 13.08  
DRAW SCHEDULE - STANDARD AIA G703 DRAW

Ramsey

The Residence at The COR  
APPLICATION FOR LOAN DISBURSEMENT  
September 18, 2012

A ITEM NO.	B DESCRIPTION OF WORK	C SCHEDULED VALUE		D WORK COMPLETED		E THIS PERIOD		G TOTAL COMPLETED STORED TO DATE (D+E+F)		H BALANCE TO FINISH (R-G)	I RETAINAGE (IF VARIABLE RATE)	J BUDGET ADJUSTMENTS	K REVISED BUDGET
		FROM PREVIOUS APPLICATION (D+E)	THIS PERIOD	FROM PREVIOUS PERIOD	THIS PERIOD	(D+E+F)	(D+E+F)	(D+E+F)	(D+E+F)				
	Land	2,190,000.00	0.00	2,190,000.00	0.00	0.00	0.00	2,190,000.00	0.00%	0.00	0.00	0.00	2,190,000.00
	Buyer Credit/Debits	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00
	Other	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00
	<b>Land Subtotal</b>	<b>2,190,000.00</b>	<b>0.00</b>	<b>2,190,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>2,190,000.00</b>	<b>0.00%</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>2,190,000.00</b>
1-00	General Conditions	1,145,500.00	256,746.55	256,746.55	23,250.49	23,250.49	23,250.49	284,997.44	24.88%	860,502.56	0.00	0.00	1,145,500.00
2-00	Site Work	1,070,900.00	469,620.67	469,620.67	100,600.84	100,600.84	100,600.84	570,221.51	55.85%	450,678.49	49,899.33	0.00	1,070,900.00
3-00	Concrete	1,419,721.00	593,580.10	593,580.10	108,771.00	108,771.00	108,771.00	702,351.10	49.47%	717,369.90	20,506.11	0.00	1,419,721.00
4-00	Masonry	555,000.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00%	555,000.00	0.00	0.00	555,000.00
5-00	Metals	761,769.00	73,584.00	73,584.00	165,972.33	165,972.33	165,972.33	339,556.33	31.45%	522,212.67	21,409.70	0.00	761,769.00
6-00	Carpentry	4,891,476.00	77,216.88	77,216.88	492,293.65	492,293.65	492,293.65	569,510.53	11.64%	4,321,962.47	14,543.57	0.00	4,891,476.00
7-00	Mechanical	970,000.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00%	970,000.00	0.00	0.00	970,000.00
8-00	Windows	592,000.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00%	592,000.00	0.00	0.00	592,000.00
9-00	Finishes	2,585,000.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00%	2,585,000.00	0.00	0.00	2,585,000.00
10-00	Specialties	349,000.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00%	349,000.00	0.00	0.00	349,000.00
11-00	Equipment	799,379.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00%	799,379.00	0.00	0.00	799,379.00
12-00	Furnishings	92,000.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00%	92,000.00	0.00	0.00	92,000.00
13-00	Mechanical	3,373,044.00	332,624.56	332,624.56	126,286.38	126,286.38	126,286.38	458,910.74	13.47%	2,948,520.76	42,400.00	0.00	3,373,044.00
14-00	Electrical	1,760,174.00	34,387.50	34,387.50	52,000.00	52,000.00	52,000.00	86,387.50	4.81%	1,708,174.00	5,200.00	0.00	1,760,174.00
15-00	Conveying	246,000.00	0.00	0.00	59,750.00	59,750.00	59,750.00	59,750.00	24.29%	186,250.00	5,975.00	0.00	246,000.00
20-01	Clubhouse/amenity	80,000.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00%	80,000.00	0.00	0.00	80,000.00
20-02	Parking garage/mail kiosk	30,000.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00%	30,000.00	0.00	0.00	30,000.00
13-00	Special Construction	185,000.00	0.00	0.00	77,350.00	77,350.00	77,350.00	77,350.00	41.81%	107,650.00	7,735.00	0.00	185,000.00
13-00	Contingency	339,387.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00%	339,387.00	0.00	0.00	339,387.00
20-01	Clubhouse/amenity	50,000.00	0.00	0.00	137,478.64	137,478.64	137,478.64	137,478.64	100.00%	0.00	0.00	0.00	50,000.00
20-01	Permits	0.00	0.00	0.00	0.00	0.00	0.00	0.00	#DIV/0!	0.00	0.00	0.00	0.00
20-01	Builder's Overhead	401,135.00	34,417.59	34,417.59	20,959.25	20,959.25	20,959.25	55,396.64	13.80%	345,776.36	5,355.66	0.00	401,135.00
20-01	Builder's Profit	1,002,837.00	86,043.41	86,043.41	52,348.09	52,348.09	52,348.09	138,391.50	13.80%	864,445.50	13,839.16	0.00	1,002,837.00
20-01	Retainage	0.00	(113,444.68)	(113,444.68)	(73,997.35)	(73,997.35)	(73,997.35)	(187,444.03)	#DIV/0!	187,444.03	0.00	0.00	0.00
20-01	Construction Subtotal	<b>22,649,372.00</b>	<b>1,982,263.22</b>	<b>1,982,263.22</b>	<b>1,210,564.68</b>	<b>1,210,564.68</b>	<b>1,210,564.68</b>	<b>3,192,817.90</b>	<b>14.10%</b>	<b>19,456,554.10</b>	<b>187,444.03</b>	<b>0.00</b>	<b>22,649,372.00</b>
40-000	Architectural and Engineering Fees	848,438.00	712,591.11	712,591.11	41,379.37	41,379.37	41,379.37	754,280.48	88.50%	94,157.52	0.00	0.00	848,438.00
40-005	Architect -	150,000.00	100,000.00	100,000.00	10,000.00	10,000.00	10,000.00	110,000.00	73.33%	40,000.00	0.00	0.00	150,000.00
40-125	A&E Services Fee	0.00	0.00	0.00	0.00	0.00	0.00	0.00	#DIV/0!	0.00	0.00	0.00	0.00
40-130	Other	0.00	0.00	0.00	0.00	0.00	0.00	0.00	#DIV/0!	0.00	0.00	0.00	0.00
40-130	Architectural & Engineering Subtotal	<b>998,438.00</b>	<b>812,591.11</b>	<b>812,591.11</b>	<b>51,379.37</b>	<b>51,379.37</b>	<b>51,379.37</b>	<b>864,280.48</b>	<b>86.56%</b>	<b>134,157.52</b>	<b>0.00</b>	<b>0.00</b>	<b>998,438.00</b>

A ITEM NO.	B DESCRIPTION OF WORK	C SCHEDULED VALUE	D WORK COMPLETED		E THIS PERIOD	F TOTAL COMPLETED STORED TO DATE (D+E+F)	G % (G/C)	H BALANCE TO FINISH (K-G)	I RETAINAGE (IF VARIABLE RATE)	J BUDGET ADJUSTMENTS	K REVISED BUDGET
			FROM PREVIOUS APPLICATION (D+E)	THIS PERIOD							
41-000	Construction Period Interest - Construction Loan	1,883,286.00	0.00	0.00	0.00	0.00%	1,883,286.00	0.00	0.00	1,883,286.00	
	Origination Fee Senior Debt-073	153,562.50	153,562.50	0.00	153,562.50	100.00%	0.00	0.00	0.00	153,562.50	
	Construction Period Costs	65,000.00	65,000.00	0.00	65,000.00	100.00%	0.00	0.00	0.00	65,000.00	
44-005	Real Estate Attorney	211,000.00	211,000.00	0.00	211,000.00	100.00%	0.00	0.00	0.00	211,000.00	
	Municipal Financing Fees	35,000.00	35,000.00	0.00	35,000.00	100.00%	0.00	0.00	0.00	35,000.00	
44-015	Construction Loan Legal	50,000.00	50,000.00	0.00	50,000.00	100.00%	0.00	0.00	0.00	50,000.00	
	Lenders Legal - Construction Loan	30,000.00	30,000.00	0.00	30,000.00	100.00%	0.00	0.00	0.00	30,000.00	
46-005	Title & Recording	25,000.00	8,815.00	1,700.00	10,515.00	42.06%	5,937.11	0.00	0.00	50,000.00	
	Lender Inspections	5,000.00	1,385.00	0.00	1,385.00	27.70%	14,485.00	0.00	0.00	25,000.00	
46-010	Organizations - Partnership	268,000.00	213.75	1,603.30	213.75	0.08%	267,786.25	0.00	0.00	268,000.00	
47-000	Furniture, Fixtures & Equipment	149,905.00	44,091.10	1,603.30	45,694.40	30.48%	104,210.60	0.00	0.00	149,905.00	
48-090	Travel Expense	15,000.00	8,800.00	0.00	8,800.00	58.67%	6,200.00	0.00	0.00	15,000.00	
49-010	Appraisal - Third Party Reports	150,000.00	129,082.00	0.00	129,082.00	86.05%	20,918.00	0.00	0.00	150,000.00	
50-005	Builder's Risk Insurance	100,000.00	47,438.98	0.00	47,438.98	47.44%	52,561.02	0.00	0.00	100,000.00	
51-005	Real Estate Taxes	150,000.00	0.00	1,034.31	1,034.31	0.69%	148,965.69	0.00	0.00	150,000.00	
53-005	Working Capital	50,000.00	4,786.27	1,080.90	5,867.17	11.69%	44,132.83	0.00	0.00	50,000.00	
53-010	Marketing/Promotions	2,374,980.00	0.00	0.00	0.00	0.00%	2,374,980.00	0.00	0.00	2,374,980.00	
	Municipality Fees	69,000.00	0.00	0.00	0.00	0.00%	69,000.00	0.00	0.00	69,000.00	
	Leasing Incentive Fee	13,365.00	0.00	0.00	0.00	0.00%	13,365.00	0.00	0.00	13,365.00	
	Commercial Leasing Commission-6.74%	90,641.00	0.00	0.00	0.00	0.00%	90,641.00	0.00	0.00	90,641.00	
55-005	Lease-up Operating Deficit	1,200,000.00	525,000.00	0.00	525,000.00	43.75%	675,000.00	0.00	0.00	1,200,000.00	
56-005	Developer Overhead	679,480.00	476.49	0.00	476.49	0.07%	679,003.51	0.00	0.00	679,480.00	
56-010	City Commission and License Fees	7,788,220.00	0.00	5,388.41	5,388.41	#DIV/0!	7,782,831.59	0.00	0.00	7,788,220.00	
	Development and Financing Subtotal		1,328,733.98		1,334,122.39	17.13%	6,454,097.61	0.00	0.00	7,788,220.00	
	USE OF FUNDS:										
	Land	2,190,000.00	2,190,000.00	0.00	2,190,000.00	0.00%	0.00	0.00	0.00	2,190,000.00	
	Construction Budget	22,649,322.00	1,982,253.22	1,210,564.68	3,192,817.90	14.10%	19,456,504.10	187,444.03	0.00	22,649,322.00	
	Architectural & Engineering	998,438.00	812,901.11	51,379.37	864,280.48	86.56%	134,157.52	0.00	0.00	998,438.00	
	Development and Financing Budget	7,788,220.00	1,328,733.98	5,388.41	1,334,122.39	17.13%	6,454,097.61	0.00	0.00	7,788,220.00	
	TOTAL PROJECT BUDGET	33,625,980.00	6,313,888.31	1,267,332.46	7,581,220.77	22.55%	26,044,759.23	187,444.03	0.00	33,625,980.00	
	SOURCES OF FUNDS:										
	City Loan #2	6,916,000.00	2,453,888.31	1,267,332.46	3,721,220.77	53.81%	3,194,779.23	187,444.03	0.00	6,916,000.00	
	City Loan #1	1,420,000.00	1,420,000.00	0.00	1,420,000.00	100.00%	0.00	0.00	0.00	1,420,000.00	
	Developer Contributions Cash	1,000,000.00	1,000,000.00	0.00	1,000,000.00	100.00%	0.00	0.00	0.00	1,000,000.00	
	Discounted Impact Fees	2,374,980.00	0.00	0.00	0.00	0.00%	2,374,980.00	0.00	0.00	2,374,980.00	
	Land Contribution	1,440,000.00	1,440,000.00	0.00	1,440,000.00	100.00%	0.00	0.00	0.00	1,440,000.00	
	Construction Loan	20,475,000.00	0.00	0.00	0.00	0.00%	20,475,000.00	0.00	0.00	20,475,000.00	
	TOTAL SOURCES OF FUNDS	33,625,980.00	6,313,888.31	1,267,332.46	7,581,220.77	22.55%	26,044,759.23	187,444.03	0.00	33,625,980.00	

**CC Special Session**

4.3.

**Meeting Date:** 10/16/2012

**By:** Darren Lazan, Housing &  
Redevelopment Authority

**Title:**

Approve Additional Services – Sunwood Drive Construction Administration

**Background:**

On July 3rd, 2012, based on direction from the City Council, Landform issued a work order for Construction Administration Services.

The scope of this project was to provide Professional Services during the construction of Sunwood Drive including the grading of the Sunwood Retail area and the new Coborn's entrance. This work included project engineering for revisions to the design during construction, shop drawing review, attendance at weekly meetings, plan revisions, and contract administration.

**Notification:**

**Observations:**

As the Sunwood Drive project has progressed, it has proven to be a challenge for all involved. The City elected to manage the project with existing city staff, have construction staking provided by WSB, and have Landform and WSB provide project engineering for their respective portions of the project.

There have been a significant number of project coordination issues that have resulted in considerably more time and expense in the management of this project. These include plan revisions, additional coordination time, additional design time exploring solutions to field modifications, and more time on-site by all parties involved.

As a result, it is becoming apparent that the project will likely not be completed this fall as expected, and the scope of construction administration services will extend into the spring of 2013.

The existing contract for these services is on an hourly basis, and the estimate prepared by former city engineer at the commencement of construction was \$15,000.

**Funding Source:**

Sunwood Drive project funds

**Council Action:**

Approve the modification to Landform's contract number RAM12019 revising the maximum fee from \$15,000 to \$30,000 to cover projected efforts through completion of the project.

**Attachments**

Revised Work Order

**Form Review**

**Inbox**  
Hakanson Anderson Engineering  
Kurt Ulrich

**Reviewed By**  
Shane Nelson  
Kurt Ulrich

**Date**  
10/11/2012 10:31 AM  
10/11/2012 11:03 AM

Hakanson Anderson Engineering

Shane Nelson

10/11/2012 04:00 PM

Form Started By: Darren Lazan

Started On: 10/11/2012 09:35 AM

Final Approval Date: 10/11/2012



105 South Fifth Avenue  
Suite 513  
Minneapolis, MN 55401

Tel: 612-252-9070  
Fax: 612-252-9077  
www.landform.net

# WORK ORDER-REVISED

<b>DATE</b>	July 3, 2012 Revised as of October 16, 2012	<b>CONTRACT NO.</b>	RAM12019
<b>CLIENT INFORMATION</b>		<b>BILLING INFORMATION</b> (IF DIFFERENT FROM CLIENT)	
<b>COMPANY NAME</b>	City of Ramsey	<b>COMPANY NAME</b>	
<b>CLIENT CONTACT</b>	Shane Nelson	<b>CONTACT</b>	
<b>ADDRESS</b>	7550 Sunwood Dr.	<b>ADDRESS</b>	
<b>CITY, STATE, ZIP</b>	Ramsey MN 55303	<b>CITY, STATE, ZIP</b>	
<b>PHONE/FAX</b>	763.433.9825	<b>PHONE/FAX</b>	
<b>PROJECT INFORMATION</b>			
<b>PROJECT NAME</b>	Sunwood Construction Administration	<b>PRINCIPAL</b>	Darren Lazan
<b>PROJECT DESCRIPTION</b>	Professional services during the construction of Sunwood Drive including the grading of the Sunwood Retail Area and the new Coborn's entrance. The work includes project engineering, shop drawing review, attendance at weekly meetings, plan revisions and contract administration.	<b>STUDIO/DEPT</b>	RCD
<b>PROPERTY LOCATION</b>	The COR	<b>EST. START DATE</b>	Immediately
<b>CITY, STATE, ZIP</b>	Ramsey MN 55303	<b>EST. COMPLETE DATE</b>	November 2012
<b>PIN:</b>		<b>PROJECT MANAGER</b>	Bob Schunicht
		<b>PHASE MANAGER</b>	Bob Schunicht

**SCOPE OF SERVICES** LANDFORM AGREES TO PERFORM PROFESSIONAL SERVICES FOR THE CLIENT AS FOLLOWS:

PHASE	DESCRIPTION	TASK	ESTIMATED AMOUNT
	Construction Administration	<b>1. Construction Administration-</b> Professional services during the construction of Sun wood Drive including the grading of the Sunwood Retail Area and the new Coborn's entrance. The work includes project engineering, shop drawing review, attendance at weekly meetings, plan revisions and contract administration.	\$15,000 REVISED TO \$30,000

Reimbursable Expenses, including but not limited to Mileage, Plotting, Printing, Scanning, and Subconsultants are not included in the fees below and will be billed as a reimbursable expense at 1.15 times cost.

**FEES** (RATE SCHEDULE IS AVAILABLE UPON REQUEST FOR HOURLY CONTRACTS)

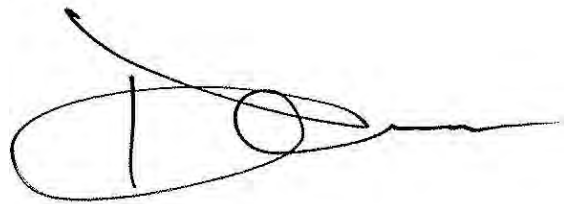
<input type="checkbox"/>	<b>FIXED FEE</b>	<b>FIXED FEE AMOUNT:</b>	Plus Typical Reimbursable
			<b>RATES</b>
			2012
			LANDFORM
			<b>RATES</b>
	<b>HOURLY WITH AN ESTIMATE</b>	<b>ESTIMATE FEE:</b>	
			\$15,000 REVISED TO
<input checked="" type="checkbox"/>	<b>HOURLY TO A MAXIMUM</b>	<b>MAXIMUM FEE:</b>	<b>RATES</b>
			\$30,000

IN WITNESS WHEREOF, the parties have accepted, made and executed this agreement upon the terms, conditions and provisions stated above and on the attached General Conditions including, but not limited to, provisions relating to limitations on liability of Consultant.

**Accepted By:**

**Landform**

**City of Ramsey**



\_\_\_\_\_  
**Date:**

Darren Lazan  
President

**Date:** 10/12/2012

Landform Federal Tax ID: 27-1199905

## General Conditions

1. All required services outside SCOPE OF WORK outline will be provided upon the CLIENT'S request and will be billed at the rates quoted on the CURRENT FEE SCHEDULE. A copy of the CURRENT FEE SCHEDULE has been made available to CLIENT or is attached hereto. Rates and multiples for Additional Services and other services as set forth in the fee schedule shall be adjusted annually in accordance with normal salary review practices of Consultant.
2. Fees outlined in this contract will be adhered to subject to site conditions and criteria set forth by the CLIENT and requirements of all applicable governmental agencies, utility companies, etc., in effect on the date of the CONSULTANT'S signing of this contract. No work by the CONSULTANT will commence until fully dimensioned and client-approved plans have been received from CLIENT. Subsequent changes to the plans, which require additional work by the CONSULTANT, will result in extra charges at the rates quoted on the CURRENT FEE SCHEDULE.
3. Field staking will be performed one time only for the fees quoted. Any restaking due to the loss of stakes beyond the CONSULTANT'S control will be billed at the rate on the CURRENT FEE SCHEDULE. In addition, fees outlined for field survey and construction staking are subject to the CONSULTANT being able to perform each item without delays beyond its control. The CLIENT shall request construction-staking items a minimum of two (2) working days in advance of when desired.
4. In the event that a question or claim may arise as to an error or omission in the CONSULTANT'S work or plans, the CONSULTANT will assume no liability for errors or omissions unless notified within 48 hours of the client's discovery of such. If notified within 48 hours, the CONSULTANT will have the right to remedy any such errors or omissions within a reasonable and agreed upon time thereafter, at no additional cost to the CLIENT. The CONSULTANT will assume no liability for construction staking unless all stakes are maintained intact and verified as to their origin.
5. The CLIENT shall give separate authorization to the CONSULTANT to commence each item of work as outlined in the SCOPE OF WORK.
6. CLIENT will be billed monthly, based upon percentage of work completed and/or hourly charges and reimbursable costs. Invoices are due and payable upon presentation. Objections to invoices not made in writing within thirty (30) days of the billing date are waived. A FINANCE CHARGE of one and one half percent (1.5) per month (18% ANNUAL PERCENTAGE RATE) will be added to portions of accounts over 30 days past due. FINANCE CHARGES may be compounded. CLIENT'S failure to make timely payments is justification for suspension of all services and withholding of all deliverables until payment is received or other written agreements made. CONSULTANT shall be entitled to recover all costs, expenses and fees incurred by CONSULTANT (including litigation and arbitration fees and costs, reasonable attorneys' fees, and CONSULTANT'S internal labor at the rates quoted on the CURRENT FEE SCHEDULE) due to CLIENT'S failure to make timely payments.
7. This Agreement may be terminated by either party upon seven (7) days' written notice. In the event of any termination, the CONSULTANT will be paid for all services rendered to the date of termination plus unpaid reimbursable expenses. Such termination shall not affect the parties' accrued rights and liabilities as of the date of termination. Without limiting the generality of the foregoing, paragraphs 4, 6, 9, 10, 11, 12, 14, 15, and 16 of these General Conditions shall survive any cancellation, expiration, or termination of this Agreement.
8. The CONSULTANT will not be responsible for the cost of permits, title company charges, governmental review fees, soil reports, printing, photographic charges, etc. as applicable, except those printing charges necessary for the CONSULTANT to do it's work. The CONSULTANT will be reimbursed for such charges paid by it for the CLIENT at the rates quoted on the CURRENT FEE SCHEDULE.
9. The CONSULTANT will not be responsible or liable for the following:(a) Any use of plans, surveys, specifications, etc. not signed and sealed by the CONSULTANT and approved by the appropriate governmental agencies; (b) Inaccuracy of data, plans, legal descriptions or any other information supplied by the CLIENT or others; (c) Site soil, hydrologic, or geologic conditions; (d) Changes to the plans and specifications made by the CLIENT or others; (e) Job site conditions; or (f)The performance of work on this project by any construction contractor or third party.
10. All original work will be property of the CONSULTANT. The CLIENT at its request will be furnished with reproducible copies as a reimbursable expense. All documents furnished by the CONSULTANT are instruments of its service. They are not suitable for reuse or extensions of this project or any other project. CONSULTANT is the author of these documents and retains all common law, statutory and/or reserved rights, including copyright. Any reuse without specific written approval by the CONSULTANT in each case will be at the sole risk of the user and without liability or legal exposure to the CONSULTANT.
11. Neither the CLIENT nor the CONSULTANT shall assign, sublet or transfer any rights under or interest in the contract without the written consent of the other. Nothing herein shall be construed to give any rights or benefits hereunder to anyone other than the CLIENT or CONSULTANT.
12. The CONSULTANT makes no representation concerning any cost estimate figures made in connection with maps, plans, specifications or drawings other than that all cost figures are estimates only and the CONSULTANT shall not be responsible for fluctuations in costs or quality figures.
13. The CLIENT agrees to cooperate in every way requested by the CONSULTANT to expedite the completion of the work set forth in the contract. The CLIENT agrees to provide the CONSULTANT access to the property involved and to make available any records, documents, deeds, legal descriptions or other items requested by the CONSULTANT for the reasonable pursuit of the completion of the work.
14. The CONSULTANT makes no warranty, either expressed or implied, as to its services. Services will be performed in accordance with generally accepted engineering and/or surveying practices.
15. Any claim, dispute or other matter in question arising out of or relating to this Agreement or breach thereof ("Claim") in which the aggregate amount in controversy exclusive of interest, attorneys' fees and costs, is less than or equal to \$100,000 shall be decided by binding arbitration in Minneapolis in accordance with the Construction Industry Rules of the American Arbitration Association. Judgment on any award by the arbitrator(s) shall be enforceable in any court having jurisdiction. Any Claim in which the aggregate amount in controversy, exclusive of interest, attorneys' fees and costs, is greater than \$100,000 shall be resolved by litigation in the State or Federal Court located within Hennepin County, Minnesota. Consultant and Client expressly consent to the exclusive personal jurisdiction and venue of the Minnesota courts for all purposes relating to this Proposal. The parties waive trial by jury. This Agreement shall be governed by Minnesota law, without regard to conflicts of law principles.
16. CONSULTANT'S TOTAL LIABILITY TO CLIENT FOR ANY LOSS, CLAIM OR DAMAGE ARISING OUT OF THE NEGLIGENCE OR OTHER LEGAL FAULT OF CONSULTANT IN PERFORMING ITS SERVICES SHALL BE LIMITED TO THE GREATER OF (I) THE AMOUNT STATED IN THIS PROPOSAL AS COMPENSATION FOR CONSULTANT'S BASIC SERVICES, OR (II) THE LIMITS OF ANY INSURANCE ACTUALLY AVAILABLE TO THE CONSULTANT. AT ANY TIME PRIOR TO COMMENCEMENT OF SERVICES. CLIENT MAY, BY PAYING A 20% PREMIUM IN ADDITION TO CONSULTANT'S FEE, ELIMINATE THIS LIMITATION ON LIABILITY. In no event shall CONSULTANT be liable for loss of profits, loss of use, loss of revenue, or any or special, indirect or consequential damages of any kind.
17. **NOTICE OF LIEN RIGHTS (MINNESOTA): (a) Any person or company supplying labor or materials for this improvement to your property may file a lien against your property if that person or company is not paid for the contributions. (B) UNDER MINNESOTA LAW, YOU HAVE THE RIGHT TO PAY PERSONS WHO SUPPLIED LABOR OR MATERIALS FOR THIS IMPROVEMENT DIRECTLY AND DEDUCT THIS AMOUNT FROM OUR CONTRACT PRICE, OR WITHHOLD THE AMOUNTS DUE THEM FROM US UNTIL 120 DAYS AFTER COMPLETION OF THE IMPROVEMENT UNLESS WE GIVE YOU A LIEN WAIVER SIGNED BY PERSONS WHO SUPPLIED ANY LABOR OR MATERIAL FOR THE IMPROVEMENT AND WHO GAVE YOU TIMELY NOTICE.**
18. There are no understandings or agreements except as herein expressly stated.

**CC Special Session**

**4. 4.**

**Meeting Date:** 10/16/2012

**Submitted For:** Kurt Ulrich

**By:** Kathy Schmitz, Administrative Services

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**Title:**

Review Utility Building/Historic Town Hall Relocation Project - **Note: Attachments added during the meeting.**

**Background:**

The project engineer for Kimley-Horn has contacted the City indicating that there are some significant problems with the project in regard to cost of construction which impact feasibility and building location. He is preparing a report that will be forwarded to the Council prior to the meeting, when it is available. He would like to review and discuss with the Council.

**Funding Source:**

To be determined.

**Council Action:**

To be determined.

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**Attachments**

Email from P Danielson

Boiler Room Utility North

Boiler Room Utility South

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**Form Review**

**Inbox**  
Kurt Ulrich

**Reviewed By**  
Kurt Ulrich

**Date**  
10/11/2012 11:04 AM  
Started On: 10/11/2012 11:00 AM

Form Started By: Kathy Schmitz

Final Approval Date: 10/11/2012

## Kathy Schmitz

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**Subject:** FW: Ramsey Station - Snow Melt Boiler Building  
**Attachments:** Ramsey\_Boiler Building Utilities\_North 20121012.pdf; ATT00001.htm; Ramsey\_Boiler Building Utilities\_South 20121012.pdf; ATT00002.htm

Begin forwarded message:

**From:** <[paul.danielson@kimley-horn.com](mailto:paul.danielson@kimley-horn.com)>  
**Date:** October 12, 2012, 11:29:47 AM MST  
**To:** <[tim.yantos@co.anoka.mn.us](mailto:tim.yantos@co.anoka.mn.us)>, <[kulrich@ci.ramsey.mn.us](mailto:kulrich@ci.ramsey.mn.us)>, <[Mark.Leemon@metrotransit.org](mailto:Mark.Leemon@metrotransit.org)>  
**Cc:** <[chris.leverett@kimley-horn.com](mailto:chris.leverett@kimley-horn.com)>, <[lisa.rasmussen@kimley-horn.com](mailto:lisa.rasmussen@kimley-horn.com)>  
**Subject:** RE: Ramsey Station - Snow Melt Boiler Building

Attached are a few exhibits that provide a better idea of the issues that we are facing on the north side of the tracks. The other PDF show where the building would be located on the south side.

Kurt, if you need any additional information, please let me know. Thanks.

---

**From:** Danielson, Paul  
**Sent:** Thursday, October 11, 2012 8:28 PM  
**To:** [tim.yantos@co.anoka.mn.us](mailto:tim.yantos@co.anoka.mn.us); Kurt Ulrich ([kulrich@ci.ramsey.mn.us](mailto:kulrich@ci.ramsey.mn.us)); Leemon, Mark ([Mark.Leemon@metrotransit.org](mailto:Mark.Leemon@metrotransit.org))  
**Cc:** Leverett, Chris ([chris.leverett@kimley-horn.com](mailto:chris.leverett@kimley-horn.com)); Rasmussen, Lisa ([lisa.rasmussen@kimley-horn.com](mailto:lisa.rasmussen@kimley-horn.com))  
**Subject:** Ramsey Station - Snow Melt Boiler Building

Tim/Kurt/Mark,

We have been diligently pursuing the design of the snow melt system and working on the design of a vault on the north side of the tracks (Ramsey City Hall side). We have met with the moving company to make sure that our design does not preclude the ability to move the old Ramsey Town Hall Building at a later date. In addition, we have met with the contractor to talk about how to construct and to get an order of magnitude cost on the building.

The status of our efforts is this: we do not believe that we can make this location work for a reasonable cost. Our contractor believes that the cost to locate this building and associated piping will definitely exceed \$500,000. The reasons are as follows;

- To allow for proper vertical clearance for the boilers and allowance for future installation of a building on top is driving the vault deeper than anticipated. We are now down 12-14 feet and will need to dewater in order to construct the vault.
- Due to the depth of the vault, we will need to drive sheet pile on the north side to keep Veteran's Drive in place. In addition, we are getting close to a storm sewer line on the north side and an underground power line on the south side that will require sheet pile on that side as well.
- Due to the depth of the vault and the water table at the site, we will need to install waterproofing under the bottom slab in addition to waterproofing in the walls. This waterproofing will required the construction of a "mud mat" (i.e. concrete mat) under the vault before starting construction of the vault.
- In order to provide the supply and return lines to the junction box on the platform, the hot water lines will virtually need to "snake" through electrical, communications, storm sewer lines as well as avoid the footing of the skyway pier and miss the existing bus shelter platform and concrete slab while not getting too close to Veteran's Drive. This alignment is further complicated in that it is the area where the contractor is performing most of his last minute work and is the "front door" to the station. If this is not completed by opening, we will have a major mess for the public.
- All of this work would need to be performed using winter conditions. This is further driving up the cost and the complexity of the project.

Our proposal is to locate the building on the south side of the tracks in an area that has minimal current construction and provide an above-ground building that only needs to meet the needs of the snow melt system. This includes:

- A smaller building footprint (likely 20 feet x 20 feet in lieu of 20 feet by 25 feet). This will keep the project costs down.

- Architectural design that could be consistent with the station. The contractor suggests a brick building with a metal roof shaped like the shelter could be done fairly inexpensively.
- A foundation system that only needs to go down 4-5 feet to provide a base for the building.
- The building could be accessed off the maintenance road that the City has for their existing storm water pond.
- Water and sanitary sewer are readily available.
- The only conflict that the supply/return lines for the boiler system would have is a single shallow storm sewer line. This excavation could be done now and be quite simple.
- Winter conditions for this work is still in play but much easier to control than underground features.
- No need for a “cellar access” door that was making the design more complicated.
- Gas service was originally identified to need to cross under the tracks, however there is a 4” gas line on the north side of TH 10 that could be used to provide the gas service required for the building – eliminating the need for an additional casing pipe under the railroad.

The Contractor is confident that he can complete this construction below \$500,000. We will work with him to continue to refine this cost and try to get it more in line with the budget of \$350,000.

I have talked to Tim Yantos and Kurt Ulrich so far. Kurt needs to take this to his City Council and is prepared to meet with his Council next Tuesday (October 16).

Other things to consider.

- The contractor believes that the cost of the vault will be higher than the cost of the aboveground building on the south side AND a shallow foundation on the north side for the future Old Ramsey Town Hall Building.
- We have not precluded the construction of the Old Ramsey Town Hall Building. It will however, require the relocation of the new electrical service that was put in for the station. This is a relatively low cost fix, and could be done any time if needed.
- The building located on the south could work within the context of the City architectural guidelines but needs to be considered part of the station for setback issues, etc.
- Water service would need to come off the fire hydrant line on the south side of the building. We need City concurrence that this acceptable.

We are preparing a few exhibits that I should be able to provide to you tomorrow. I don't have all of the PMT contacts, so please forward on to others within the PMT and your organizations.

We recommend that our design team shift gears and proceed immediately (after Tuesday's Ramsey City Council meeting) on the south side location. Let me know if you have any questions or concerns. Thanks.

## Paul

**Paul B. Danielson, PE**

### **Kimley-Horn and Associates, Inc.**

2550 University Ave West, Suite 238N

St. Paul, MN 55114

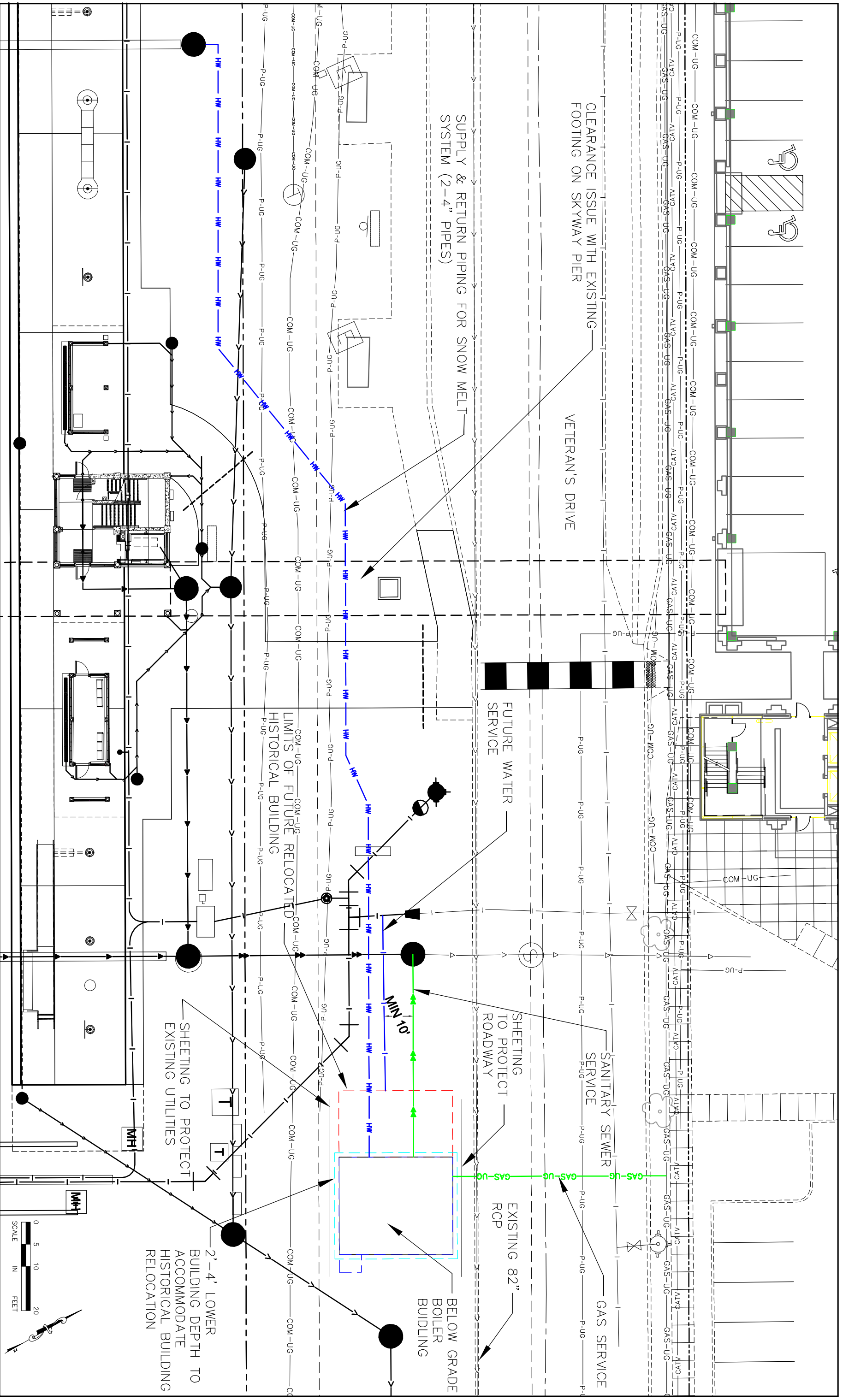
Ph: 651-643-0407 Cell: 612-750-3170 Fax: 651-645-5116

[paul.danielson@kimley-horn.com](mailto:paul.danielson@kimley-horn.com)

The electronic data files ("Files") furnished by Kimley-Horn and Associates, Inc. to the intended receiver of the Files ("Receiving Party") are provided only for the convenience of Receiving Party and only for its sole use.

Receiving Party agrees that by opening the attachment(s) containing the files Receiving Party shall be bound by and subject to the terms of this notice.

In the case of any defects in the Files or any discrepancies between the Files and the hardcopy of the Files prepared by Kimley-Horn, the hardcopy shall govern. Only printed copies of documents conveyed by Kimley-Horn may be relied upon. Any use of the information obtained or derived from these electronic files will be at the Receiving Party's sole risk. Because data stored in electronic media format can deteriorate or be modified inadvertently or otherwise without authorization of the data's creator, the Receiving Party agrees that it has 60 days to perform acceptance tests, after which it shall be deemed to have accepted the data transferred. Receiving Party accepts the Files on an "as is" basis with all faults. There are no express warranties made by Kimley-Horn with respect to the Files, and any implied warranties are excluded.



SUPPLY & RETURN PIPING FOR SNOW MELT SYSTEM (2-4" PIPES)

CLEARANCE ISSUE WITH EXISTING FOOTING ON SKYWAY PIER

VETERAN'S DRIVE

FUTURE WATER SERVICE

LIMITS OF FUTURE RELOCATED HISTORICAL BUILDING

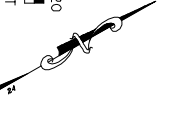
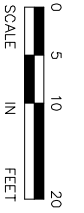
SHEETING TO PROTECT TO ROADWAY

EXISTING 82" RCP

BELOW GRADE BOILER BUILDING

SHEETING TO PROTECT EXISTING UTILITIES

2'-4' LOWER BUILDING DEPTH TO ACCOMMODATE HISTORICAL BUILDING RELOCATION

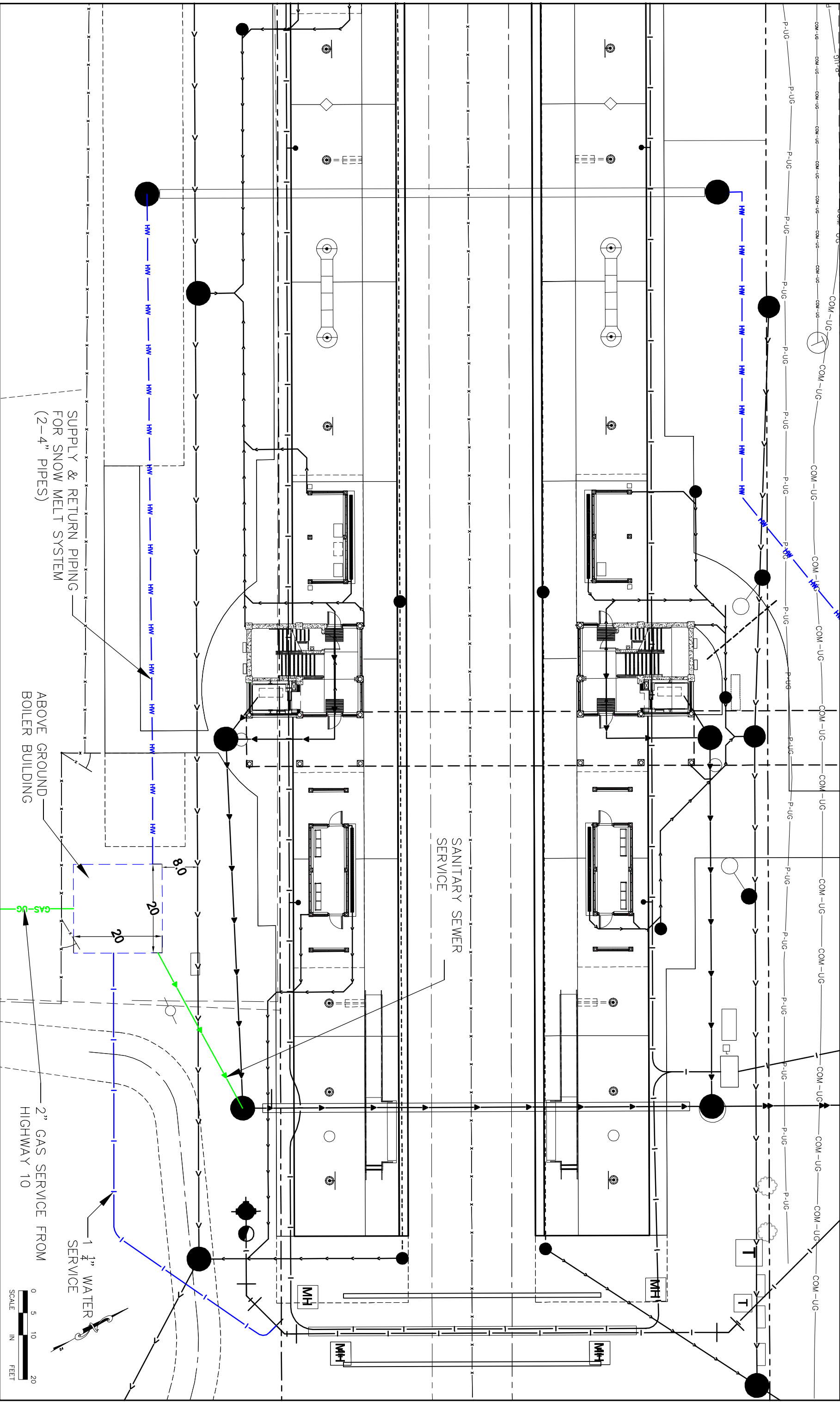


DRAWING NAME	North Side
DESIGNED BY:	LMR
DRAWN BY:	CJB
CHECKED BY:	LMR
DATE:	10/11/12
PROJECT NO.	16058001.3.200



ANOKA COUNTY REGIONAL RAIL AUTHORITY  
 NORTHSTAR CORRIDOR COMMUTER RAIL  
 RAMSEY STATION  
 RAMSEY, MINNESOTA  
 BOILER BUILDING CONCEPT PLAN  
 NORTH OPTION

STATION	
SHEET NO.	1A



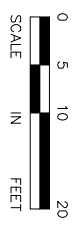
SUPPLY & RETURN PIPING  
FOR SNOW MELT SYSTEM  
(2-4" PIPES)

ABOVE GROUND  
BOILER BUILDING

SANITARY SEWER  
SERVICE

2" GAS SERVICE FROM  
HIGHWAY 10

1 1/4" WATER  
SERVICE



DRAWING NAME	
South Side	
DESIGNED BY:	LMR
DRAWN BY:	CJB
CHECKED BY:	LMR
DATE:	10/11/12
PROJECT NO.	16058001.3.200



ANOKA COUNTY REGIONAL RAIL AUTHORITY  
NORTHSTAR CORRIDOR COMMUTER RAIL  
RAMSEY STATION  
RAMSEY, MINNESOTA  
BOILER BUILDING CONCEPT PLAN  
SOUTH OPTION

STATION	
SHEET NO.	1B