



September 28, 2012

Chris Anderson  
Associate Planner/Environmental Coordinator  
City of Ramsey  
7550 Sunwood Dr NW  
Ramsey, MN 55303

Re: Response to City Comments for Super America - Armstrong/Sunwood Site

Dear Mr. Anderson,

On behalf of Tom Noble from West Real Estate, we offer the following as a response to your comments dated September 28, 2012. We believe we have addressed all the comments provided by the city with this resubmittal. Our responses are indicated in red.

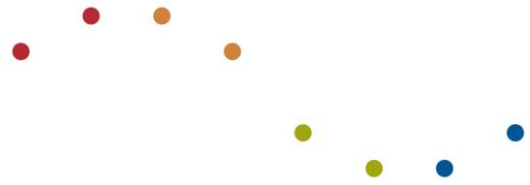
### **CONDITIONAL USE PERMIT**

In the COR-2b Sub-District, convenience stores with motor fuel sales and/or a car wash are identified as conditional uses under certain conditions. The submittal indicates four (4) fueling islands with a total of eight (8) individual dispensers that will be located south of the principal building on under an overhead canopy. Overhead canopies shall not exceed twenty (20) feet in height. Hours of operation for motor fuel sales and accessory car washes are limited to 6:00 AM to 11:00 PM, unless extended by the City Council as part of the conditional use permit. *Please revise the plans to ensure that the maximum height of the overhead canopy does not exceed twenty (20) feet. If hours of operation are proposed beyond what is permitted, that request must be made to the City Council for consideration.*

*The canopy height will be revised to address the maximum 20 ft height. The applicant is requesting that the convenience store, fueling operation and car wash be permitted as a 24hr /7 day a week operation.*

### **SITE PLAN**

**General:** The development proposal consists of a one story, 4,300 square foot retail building and car wash, as well as four (4) fueling islands with a total of eight (8) individual dispensers. The facility will be located on a 1.25 acre parcel, which is located at the southwest corner of Sunwood Dr at the roundabout (Lot 5 Block 1 COR 2). The east/west stretch of Sunwood Dr is identified as a Parkway Street and the north/south stretch of Sunwood Dr is identified as a Destination Street in the Design Framework for The COR. *Please submit updated Preliminary Plat information (sheet C1.2) to reflect this current project as well as an updated Plat configuration (Sheet C1.4). The current submittal does not accurately reflect the configuration of the approved plat and it appears to contain easements other than drainage and utility easements.*



*The preliminary plat and final plat have been updated to reflect the current project. They have been provided with the plan resubmittal.*

**Zoning:** The site is zoned COR-2 Commercial Sub-district. This area is intended to encourage a mix of large and small places accommodating auto-oriented uses. This suggests even greater attention be paid to public realm and streetscape improvements that not only accommodate vehicles, but also invite bicycle and pedestrian traffic. Retail buildings are a permitted use in this district while gas stations and accessory car washes are conditional uses. A conditional use permit is being processed simultaneously with the site plan.

**Building Height:** The COR-2 Sub-District allows for building heights between one (1) and four (4) stories on a Destination Street. The proposed building appears to have one story but has limited roofline articulation. Overhead canopies associated with motor fuel sales shall not be taller than twenty (20) feet. *The height of the overhead canopy must be reduced to no greater than twenty (20) feet in height and an effort should be made to incorporate more roof articulation on the principal building to break up the massing of shingles on the front and rear elevations.*

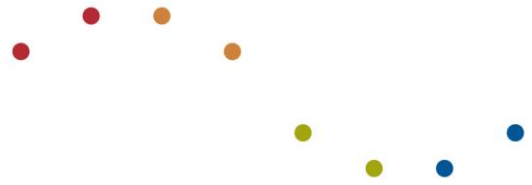
*a. The overhead canopy will be revised to reflect maximum height of 20 ft*

*b. Unfortunately by presenting the building elevations in one dimension we are not effectively demonstrating the variation in roof planes as a result of the irregular floor plan. We will provide additional 3D modeling to further demonstrate the roof line variation which already existing in the design. Considering the low slope profile of the roof ( 4.5/12) we feel incorporating additional roof articulation will be limited in effect. Drawings will be made available prior to the Planning meeting.*

**Maximum Structure Area:**The COR-2 Sub-District does not have maximum building coverage or minimum floor area ratio requirements.

**Building Orientation:** Building orientation is subject to the Design Framework of The COR, which is incorporated by reference as part of the Zoning Code. The principal building, as well as the main entrance, should front Sunwood Dr. As proposed, it appears that the rear elevation of the building fronts Sunwood Dr with the main entrance facing the interior of the lot. *Please revise the orientation of the building and main entrance to comply with Design Framework of The COR. An alternative may be to enhance the street presence of the rear and right elevations of the building with the use of greater roof articulation and pitches, additional windows, awnings etc., to meet the intent of the Design Framework. Color renderings of each of the four (4) elevations should be submitted to provide a better conceptual image of the building from the street.*

*Applicant will provide additional 3D modeling to further demonstrate the architecture along the rear and right elevations and will study additional architectural features to further enhance the design along Sunwood Dr. New design drawings will be made available prior to the Planning meeting. A photo of an existing SA Store delineating the brick detailing will also be provided for further definition of color and texture of the wall*



*surface. In addition, consideration should be given to the context of the building in relationship to the enhanced boulevard plantings & landscape features proposed along Sunwood Dr.*

**Setbacks:** The COR-2 Sub-District requires build-to lines as provided below.

The COR-2 Sub-District specifies build-to distances of fifteen (15) feet from Destination Streets and thirty (30) feet from Parkway Streets, both of which are measured from the building front to the right-of-way. A minimum of forty percent (40%) of the building front should be within the build-to area. While the site plan indicates that the attached car wash will be twenty-seven and a half (27.5) feet from the northern property boundary, that measurement is from the rear wall of the building. The proposed building location is generally consistent with Development Plan 6.1, which the City's Housing and Redevelopment Authority has approved; however, that version has not yet been adopted by the City and the building orientation and layout do not appear consistent with the current development plan (6.0).

*A subsequent narrative will be provided additional explanation pertaining to this comment.*

The Design Framework does allow for the use of fencing, decorative walls, and/or landscaping with a minimum height of three (3) feet and a maximum height of four and a half (4.5) feet to satisfy the forty percent (40%) street frontage requirement. A combination of decorative fencing (Ameristar Echelon Series four [4] feet tall) and shrubs are proposed in linear groupings along Sunwood Dr presumably to satisfy the street frontage requirement. Please provide the following information:

- *Calculations of lineal feet of landscaping along Sunwood Dr and overall lineal feet of frontage along Sunwood Dr to determine if this meets the forty percent (40%) threshold, and consider extending the landscaping edge along the east/west stretch of Sunwood Dr.*

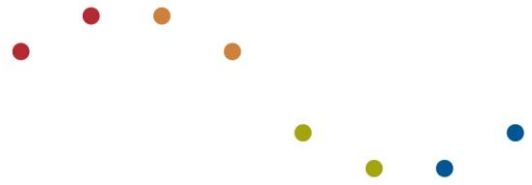
*The total lineal feet of landscaping along Sunwood Dr is 46.4%. Elevation views from Sunwood Dr and associated calculations have been added to sheet L2.2.*

- *Details/specifications for the decorative fencing.*

*Details of the decorative fencing have been added to sheet L7.1*

**Exterior Materials:** The application includes one (1) sheet of architectural elevations. The exterior finish of the building appears to consist of face brick, brick accent bands, clear tempered glass and dark bronze metal panels. The exterior finish of the columns supporting the overhead canopy for the fueling islands appear to match that of the principal building, including face brick and brick accent bands.

**Waste Storage:** The waste storage area is proposed to be contained in an enclosure near the northwest corner of the building. Exterior materials should be complimentary and consistent with the proposed building. The exterior materials appear to be consistent with the exterior of the building and include a wood



composite gate for access. It does appear though that the western two (2) parking stalls will block access to the waste enclosure. *Should vehicles be parked here, how will the waste enclosure be accessed?*

*The two western parking stalls will be coned off during scheduled waste removal pickups.*

**Off-Street Parking - Spaces Required:** The COR-2 Sub-District sets a minimum parking space standard of two (2) spaces per 1,000 square feet and a maximum of four (4) spaces per 1,000 square feet for retail uses. The site plan proposes twelve (12) off-street parking spaces. It is City Staff's understanding that there may be shared parking for Lots 3-5 of Block 1. *If it is the intent to utilize shared parking, please submit a shared parking easement for review prior to the City releasing the Building Permit. Also, the parking summary on Sheet C2.1 must be updated to reflect the current project.*

*The parking summary has been updated on sheet C2.1. This site will not utilize shared parking.*

**Signs:** Please note that all signs for the proposed building must be approved through a separate sign permit process. Sign regulations can be found within the Design Framework as well as in City Code Chapter 117, Article II, Division 8. The developer is encouraged to review these sign regulations early in the process to avoid any unnecessary delays due to potential needs for special permits. *No dimensions are provided for any of the proposed signs and thus, only general feedback is possible at this time, which includes the following:*

- *Dynamic display signs are limited to no more than thirty-five percent (35%) of the proposed signage.*

*Applicant will comply with city of Ramsey signage criteria.*

- *Changeable reader boards (shown on the color rendering) are not permitted.*

*This reader board will be removed.*

- *On Sheet C2.1, the proposed monument sign appears to be located within a drainage and utility easement. The monument sign location must be modified to avoid encroachment in the drainage and utility easement.*

*The proposed monument sign has been relocated to outside of the drainage and utility easement.*

### **Landscape Review**

**Landscaping Plan:** The submittal included a landscaping plan, prepared by Landform and dated September 5, 2012, that includes landscaping interior to the site. The streetscape landscaping is being completed as part of the Sunwood Dr realignment project. *Please revise the landscaping plan to include the following:*



- *Landscaping notes should be amended to state that four (4) inches of MnDOT Premium Topsoil Borrow shall be applied to all areas not otherwise improved with buildings and impervious surfaces.*

*This note has been added to the Landscape Notes on sheet L2.1.*

- *All landscaped areas shall be irrigated and the irrigation system shall include rain sensors and a backflow preventer device.*

*The City of Ramsey standard irrigation notes have been added to sheet L2.1 which includes rain sensors. Backflow preventer device not has also been added.*

- *Tree planting detail must be submitted that clearly states that planting depth shall be such that the first set of primary roots (root flare) are at final grade when installed; that only broken, deformed or dead branches shall be pruned at time of planting; and that the top portion of the wire basket and burlap shall be removed after the tree is set in planting hole.*

*This note has been added to sheet L7.1.*

**Tree Preservation:** This site is devoid of any significant tree cover and therefore, no tree preservation plan is necessary.

### **Civil Engineering Review**

**Grading and Drainage:** The following comments are offered regarding the September 5, 2012 Grading and Utility Plans prepared by Landform:

- The B612 concrete curb detail should be amended to include base material extending to 1' beyond the back of curb.

*The B612 concrete curb detail has been modified on sheet C7.1 to include base material 1' beyond the back of curb.*

- The drainage from the west half of the site flows into the common access drive along the west edge of the site. Additional catch basins must be added at the western entrances to capture runoff before it leaves the site. All catch basins must be depressed to capture runoff before it leaves the site.

*In an effort to meet the City and LRRWMO requirements in an efficient manner, Block 1, Lots, 1-5 COR TWO utilize common drainage facilities. Private drainage easements will be provided to serve these sites.*



- Details for the Ecostorm device must be submitted.

*Ecostorm details have been added to sheet C7.2.*

- A maintenance agreement for the Ecostorm Device must be submitted.

*A maintenance agreement will be provided.*

- A turning template was provided for the fuel trucks. The owner should weigh in on the site layout as it pertains to fuel tanker access to the site.

*A truck maneuvering exhibit has been provided to the team for comment. The team needs further time to study the impact of the proposed fuel tanker access maneuver and will respond with any revisions to the plan prior to the planning commission meeting.*

The project will require a permit from the Lower Rum River Water Management Organization (LRRWMO). Please copy the City on the submittal. The application deadline is the first Thursday of the month for the meeting on the third Thursday of the month. The LRRWMO requirements include infiltration of 1 inch of runoff from the site.

*We received approval from the LRRWMO on 9/20/2012.*

The following notes should be added or amended on the plan set:

- The contractor should have a sweeper on site or available within 3 hours. All material tracked onto City streets must be removed immediately upon discovery, or as directed by the City Engineer.

*This note has been added to sheet C3.1.*

- Installation of silt fence and other down gradient sediment protection measures shall be completed and inspected prior to commencement of any site activities.

*This note has been added to sheet C3.1*

**Street and Building Access:** Three accesses to the common access drive are proposed for Lot 5, Block 1 COR TWO.

**Permits:** The applicant is responsible to secure all required permits for this project; including but not limited to, a MPCA NPDES construction permit, a Lower Rum River Watershed Organization permit. Additionally, the contractor performing the work will be required to obtain a City license.



*Noted.*

**Lighting:** The City has received a lighting plan for review. City standards require that the luminaire (light source) must not be visible from beyond the property line. Any lighting used to illuminate an off-street parking area, sign, or structure shall be arranged to deflect away from Sunwood Drive. The Applicant is responsible for the installation, and three (3) years of operations and maintenance, of all boulevard lighting. *Please submit shop drawings of each type of exterior light fixture that will be used.*

*Boulevard lighting will be constructed as part of the Sunwood Dr project. The applicant is not responsible for the installation of these lights. Cut sheets for the each onsite light fixture have been provided as part of this resubmittal.*

**REU Number:** This property will be subject to a storm water utility charge based upon the amount of impervious surface on the site. The quarterly charge is dependent upon the number of Residential Equivalent Units (REU) calculated for this property. The site is proposed as 81.7% impervious. This leads to an REU of  $(1.23 \times 3.95) 4.869$  and a quarterly stormwater fee of \$185.99.

#### **GENERAL INFORMATION**

**Next Steps:** *Following review by the Planning Commission, the request will be forwarded to the City Council for final action. The City Council is tentatively scheduled to review the request at their October 23, 2012 meeting. Staff will follow up in writing at that time.*

*A special meeting has been requested on October 16, 2012. We request to be on that meeting agenda.*

*All comments contained within this letter shall be included in the final set of plans submitted with the appropriate permits. The Applicant shall be responsible for all required permits including, but not limited to, the MPCA NPDES Permit and Lower Rum River Water Management Organization (LRRWMO) Permits.*

*Noted.*

Sincerely,  
Landform

A handwritten signature in black ink that reads "Steven Sabraski".

Steven Sabraski, P.E.  
Project Designer