

West Real Estate and Management, Inc.



Ramsey, MN

**APPLICATION FOR
SITE PLAN AND
CONDITIONAL USE PERMIT**

October 2, 2012



INTRODUCTION

On behalf of West Real Estate and Management, Inc., Landform is pleased to submit this updated narrative as a supplement to our September 28th letter for site plan and conditional use permit approval to allow construction of a Super America on Lot 5, Block 1, COR TWO. The 1.23-acre site is part of a plat that was approved by the City of Ramsey and given conceptual site plan review as part of those approvals. This site plan is consistent with Development Plan 6.1, which was approved by the Ramsey HRA and scheduled to be incorporated into the Framework update this month.

SITE PLAN

Motor Fuel Sales and Car Wash are a conditional use in the COR-2 District and also requires approval of a site plan, subject to the standards in The COR Design Framework. The COR Design Framework was developed with the acknowledgement that the urban core with the traditional pedestrian oriented streetscape would be focused in COR-1. The COR-2 district was developed to accommodate auto-oriented uses such as this and the design guidelines included the flexibility to allow a wide variety of users in this area.

This parcel is part of the COR TWO subdivision which is uniquely challenged due to existing conditions related to public streets, internal access drives, existing buildings to the south and an approved (but not yet constructed) building to the southwest. We have prepared a site plan that complies with The COR Design Framework while addressing these site constraints.

When the COR TWO subdivision was approved, there was discussion about the fact that this subdivision was created to allow a campus-like setting within The COR and provide a global fix for a number of existing conditions that make development challenging. The buildings within this subdivision are oriented around an internal drive rather than the surrounding public streets. This design was influenced by a number of factors, including the fact that Armstrong Boulevard and Sunwood Drive (on both the north and east sides of this lot) are 4-6 lane roads with limited access. While the City has worked to create an environment that is inviting to automobile drivers, bicyclists and pedestrians, this limited access to primary roads necessitated the development of an internal street. Our building entrance, like any other campus setting, is oriented to this internal drive. Additionally, this internal drive allowed the existing retail/office building on Lot 2 to be part of this campus environment and take advantage of shared parking opportunities with the new Wiser Choice Liquor Store building on Lot 3, thereby, solving an existing parking problem for those businesses.

Due to the need for vehicles to maneuver around the site, the buildings cannot be constructed at the build-to-line. However, the Framework anticipated this type of situation and provided a tool to create a street edge through the use of a stone and decorative aluminum fence as shown on our plans. The Framework states that when this street edge is used, the fencing edge should be 40% of the frontage. Our plans show that the fence edging covers 46.4% of the street frontage. This exceeds ordinance requirements. The fencing will offer

breaks to open views into the site and provide a sidewalk connection to the front door of the building. This will create a strong, yet inviting, street edge.

We have refined the building plans further from the submittal that was included in the Planning Commission packet to address staff's concerns. These revised plans are included with this narrative and show compliance with the intent of the COR-2b Framework standards.

CONDITIONAL USE PERMIT

The COR-2b district allows convenience stores with motor vehicle sales/car wash, subject to the standards outlined in Section 117-118(c)1c. Our project meets these standards for approval of the conditional use permit.

Hours of operation

The City Code allows the City Council to approve hours of operation as part of a conditional use permit. We are requesting approval of 24 hour operation. The building is located at the busiest intersection in The COR and is not adjacent to residential uses. The 24 hour operation is ideally located to provide convenience services to Ramsey residents.

SUMMARY

We respectfully request approval of the Site Plan and Conditional use Permit to allow construction of the Super America on Lot 5, Block 1, COR TWO with 24-hour operation. This project meets the spirit and intent of the COR-2b district within a campus-like setting. We look forward to Planning Commission review on October 4th and City Council action at the special meeting on October 16th.

CONTACT INFORMATION

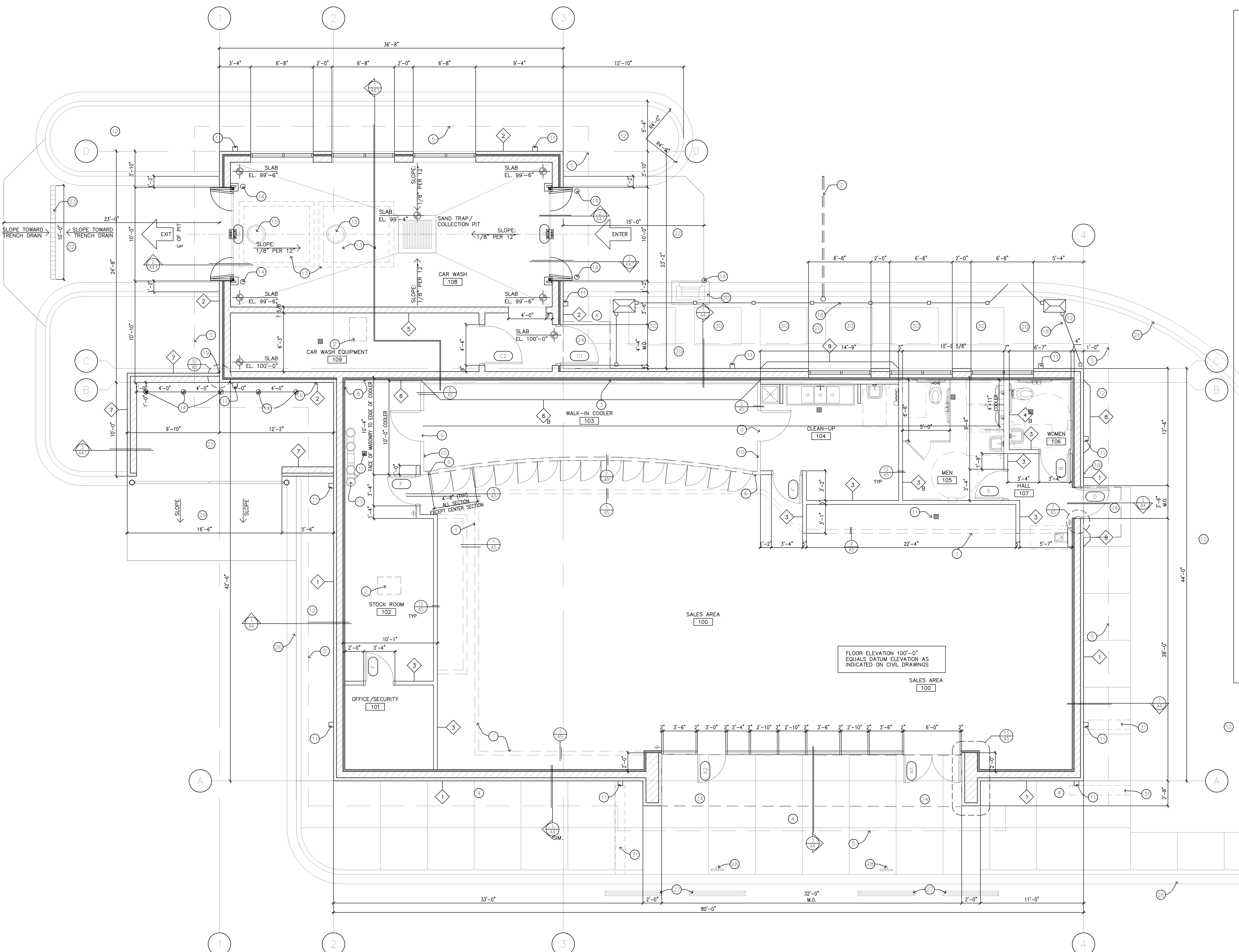
This document was prepared by:

Landform

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Minneapolis, MN 55330

Any additional questions regarding this application can be directed to Steve Sabraski at ssabraski@landform.net or 612.638.0243.



- PLAN NOTES:**
- SEE FOUNDATION PLAN ON S2 FOR INTERIOR CONC SLABS.
 - SEE ROOM AND FLOOR FINISH A2 PLAN FOR INTERIOR FINISHES.
 - ALL INTERIOR DIMENSIONS ARE FINISH DIMENSIONS UNLESS NOTED OTHERWISE.
 - ALL MASONRY OPENINGS MUST BE PLUMB, SQUARE AND LEVEL.
 - DOOR SWINGS TO COMPLY WITH LOCAL CODES.
 - REFERENCE SITE PLAN A0.0 FOR EXTERIOR SITE CONDITIONS.

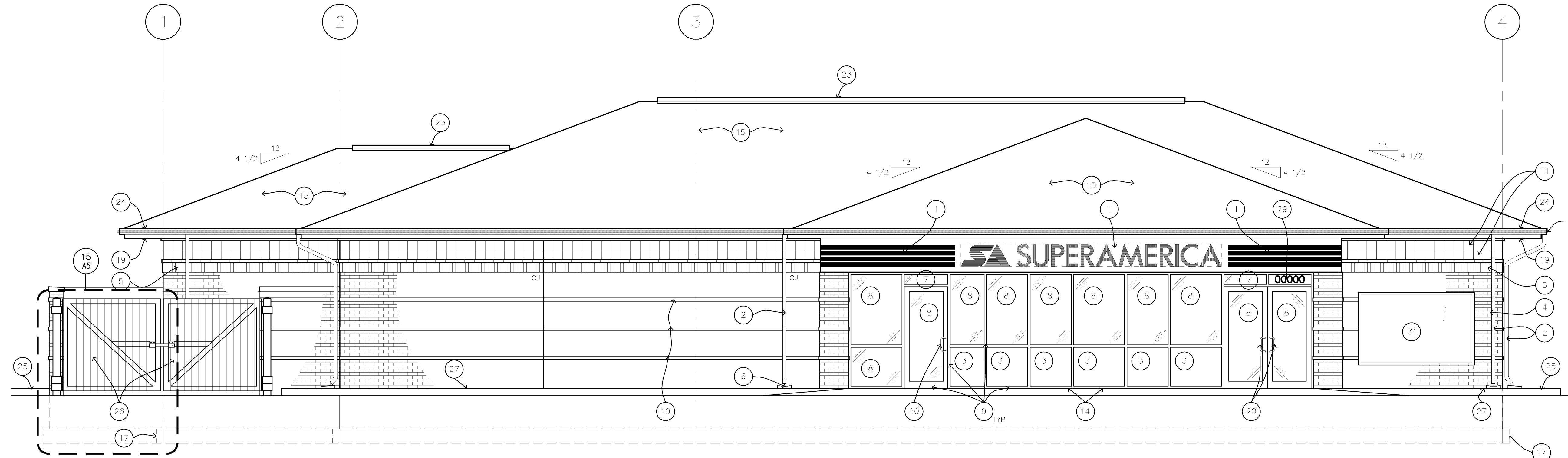
X LETTER DENOTES DOOR TYPE. SEE SCHEDULE ON A5.

- KEYNOTES:**
- LIGHT GAUGE STEEL FRAMING ABOVE FOR SOFFIT SUPPORT
 - PROVIDE MIN 22" x 30" ACCESS PANEL IN TRUSSES
 - 1" CLEAR AIR SPACE BETWEEN WALK-IN COOLER AND FURRED CONC BLOCK WALL
 - CONCRETE SIDEWALK. SEE SITE PLAN
 - ROOF/CANOPY ABOVE
 - FRAMING TO ALLOW 5/8" GYP BD TO BE FLUSH WITH COOLER CORNER
 - NOT USED
 - 5/8" THK PLYWOOD FOR MOUNTING OF ELECTRICAL DISTRIBUTION DEVICES. SEE ELECTRICAL PLAN
 - 3-5/8" STL STD FRAMING ABOVE WALK-IN COOLER (BOTH ENDS)
 - 5/8" FROM EDGE OF COOLER (DETAIL 2/A5)
 - 24"x24" ACCESS OPENING IN FRAMING ABOVE COOLER WITH 3/4" PLYWOOD DOOR AT BOTH ENDS OF COOLER 12" FROM FRONT
 - DOWN SPOUT
 - LANDSCAPE AREA. SEE PLOT PLAN
 - PRECAST CONCRETE RECIRCULATION PIT. COORDINATE W/ CAR WASH MFR. PROVIDE STEEL GRATING AND FRAME AT PIT OPENING
 - PIPE BOLLARD (PAINT "SAFETY RED" SW4081) SEE DETAIL 14/A5
 - MANHOLE COVER
 - FROST PROOF HOSE BIBB. MOUNT 20" AFF
 - SPRINKLER RISER & WATER METER
 - 4' DOG EARED STAGGERED SLAT WOOD FENCE (ALT. COMPOSITE SLAT FENCE)
 - CONTROL JOINT
 - ROCK MULCH
 - HEIGHT RESTRICTION BAR
 - CONCRETE APRON WITH IN SLAB SNOW MELT SYSTEM
 - STRIP DRAIN, CONNECT TO STORM SEWER (SEE DETAIL 6/A5.1)
 - CONTINUOUS STRUCTURAL STOOP @ DOORS - SLOPE CONC. AWAY FROM DOOR 1/4" PER FT - HIGH POINT OF STOOP SHALL BE 1/4" BELOW T.O.S. ELEVATION (TYPICAL)
 - TRASH & RECYCLING ENCLOSURE
 - SEE SITE PLAN FOR ALL CURBING, WALKS, & LANDSCAPING
 - WHEEL STOPS BY OWNER
 - ADA PARKING STALL SIGNAGE
 - CONCRETE APRON SLOPE AWAY FROM STRUCTURES
 - CONCRETE SLAB (COORDINATE WITH EQUIPMENT SUPPLIER)
 - DOWN SPOUT/SIDEWALK TRENCH DRAIN
 - NOT USED
 - NOT USED

1 FLOOR PLAN
1/4" = 1'-0"

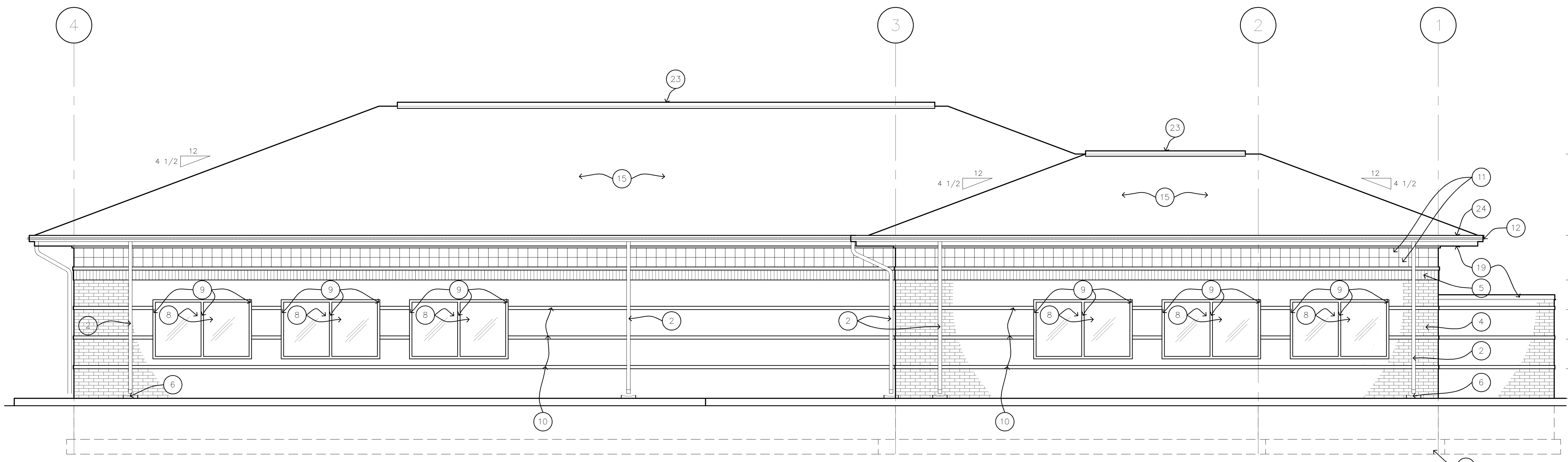


- PRELIMINARY/NOT FOR CONSTRUCTION
- PERMIT/BD SET
- CONSTRUCTION SET
- AS-BUILT SET
- NOT TO SCALE



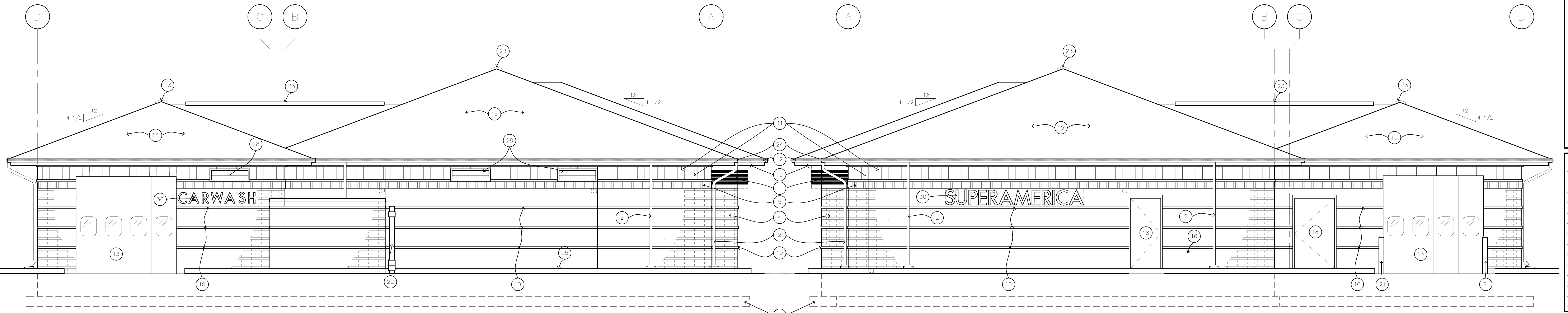
- TOP OF TRUSS 119'-9"
- TOP OF GUTTER 110'-11 1/2"
- BOTTOM OF SOLDIER COURSE 108'-0"
- BOTTOM OF BRICK BANDING 106'-0"
- BOTTOM OF BRICK BANDING 104'-0"
- BOTTOM OF BRICK BANDING 102'-0"
- FINISH FLOOR 100'-0"

1 FRONT ELEVATION
1/4" = 1'-0"



- TOP OF TRUSS 116'-6"
- TOP OF GUTTER 110'-11 1/2"
- BOTTOM OF SOLDIER COURSE 108'-0"
- BOTTOM OF BRICK BANDING 106'-0"
- BOTTOM OF BRICK BANDING 104'-0"
- BOTTOM OF BRICK BANDING 102'-0"
- FINISH FLOOR 100'-0"

2 REAR ELEVATION
1/4" = 1'-0"



3 LEFT ELEVATION
1/4" = 1'-0"

3 RIGHT ELEVATION
1/4" = 1'-0"

- KEYNOTES:**
- 1 WHITE LED ILLUMINATED PRE-FINISHED PANAFLEX FACE PANEL WITH ORACAL BLUE TRANS VINYL LETTERS AND TRANS 3M "REGAL RED" VINYL STRIPES. PANELS WRAP SIDES AND EXTEND TO INSIDE CORNER. SEE SPEC
 - 2 PRE-FINISHED METAL DOWN-SPOUT COLOR: DARK BRONZE PROVIDE HEAT TAPE AT ALL LOCATIONS
 - 3 1" METAL SURFACED INSULATED PANELS BETWEEN EXIT DOORS COLOR: DARK BRONZE
 - 4 FACE BRICK, GENERAL SHALE BRICK, RALEIGH COURT, MODULAR, 36-10-591
 - 5 FACE BRICK SOLDIER COURSE
 - 6 PROVIDE SPLASH BLOCKS IN GREEN AREAS (SEE SITE PLAN FOR GREEN AREAS)
 - 7 1" INSUL CLEAR GLASS
 - 8 1" INSUL CLEAR TEMPERED GLASS (TYP)
 - 9 2" x 4 1/2" PRE-FINISHED DARK BRONZE ANODIZED ALUM. FLUSH GLAZE SYSTEM
 - 10 BRICK ACCENT BAND, INTERSTATE BRICK, TUMBLEWEED, MODULAR
 - 11 8" x 8" INTERSTATE BRICK, TUMBLEWEED, MODULAR. OPTIONAL: USE 8" x 16" SIZE W/ SINGLE SCORE.
 - 12 LED ACCENT LIGHTING
 - 13 BI-FOLD CARWASH DOOR
 - 14 SLOPED ACCESS.
 - 15 COMPOSITE SHINGLES. SEE SPECS
 - 16 FROST PROOF HOSE BIBB. MOUNT 20" AFF
 - 17 OUTLINE OF FOUNDATION. SEE FOUNDATION PLAN
 - 18 EXTERIOR HOLLOW METAL DOORS AND FRAMES TO BE PAINTED COLOR: MATCH BRICK.
 - 19 PRE-FINISH METAL FASCIA & TRIM COLOR: CHARCOAL GREY
 - 20 OFFSET PULL ON OUTSIDE OF DOOR
 - 21 PIPE BOLLARD
 - 22 TRASH ENCLOSURE GATE
 - 23 RIDGE VENT
 - 24 PRE-FINISHED METAL GUTTER TRIM COLOR: RED
 - 25 LANDSCAPE AREA. SEE LANDSCAPE PLAN.
 - 26 COMPOSITE WOOD TRASH ENCLOSURE GATE PICKETS
 - 27 SIDEWALK. SEE SITE PLAN
 - 28 42" x 16" PRE-FINISHED INTAKE AIR GRILLES. COLOR: CHARCOAL GREY
 - 29 REFLECTIVE DIE CUT VINYL 8" HIGH NUMBERS. VERIFY ADDRESS NUMBER WITH OWNERS REP.
 - 30 ILLUMINATED CHANNEL LETTERS
 - 31 ILLUMINATED READER BOARD
 - 32 ILLUMINATED CANOPY LOGO SIGN

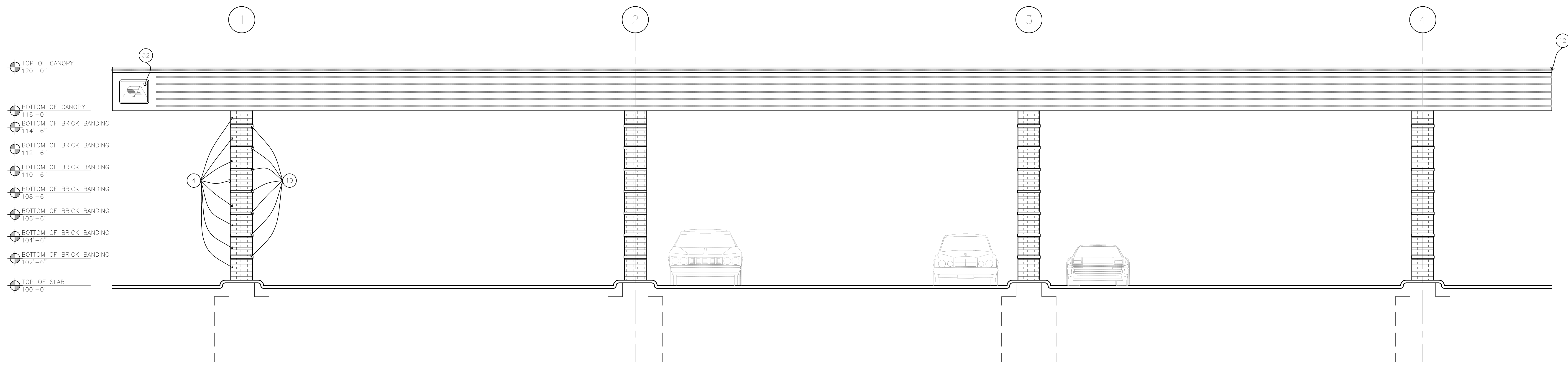
REVISIONS

City Submittal	9.5.2012
City Submittal Comments	10.2.12

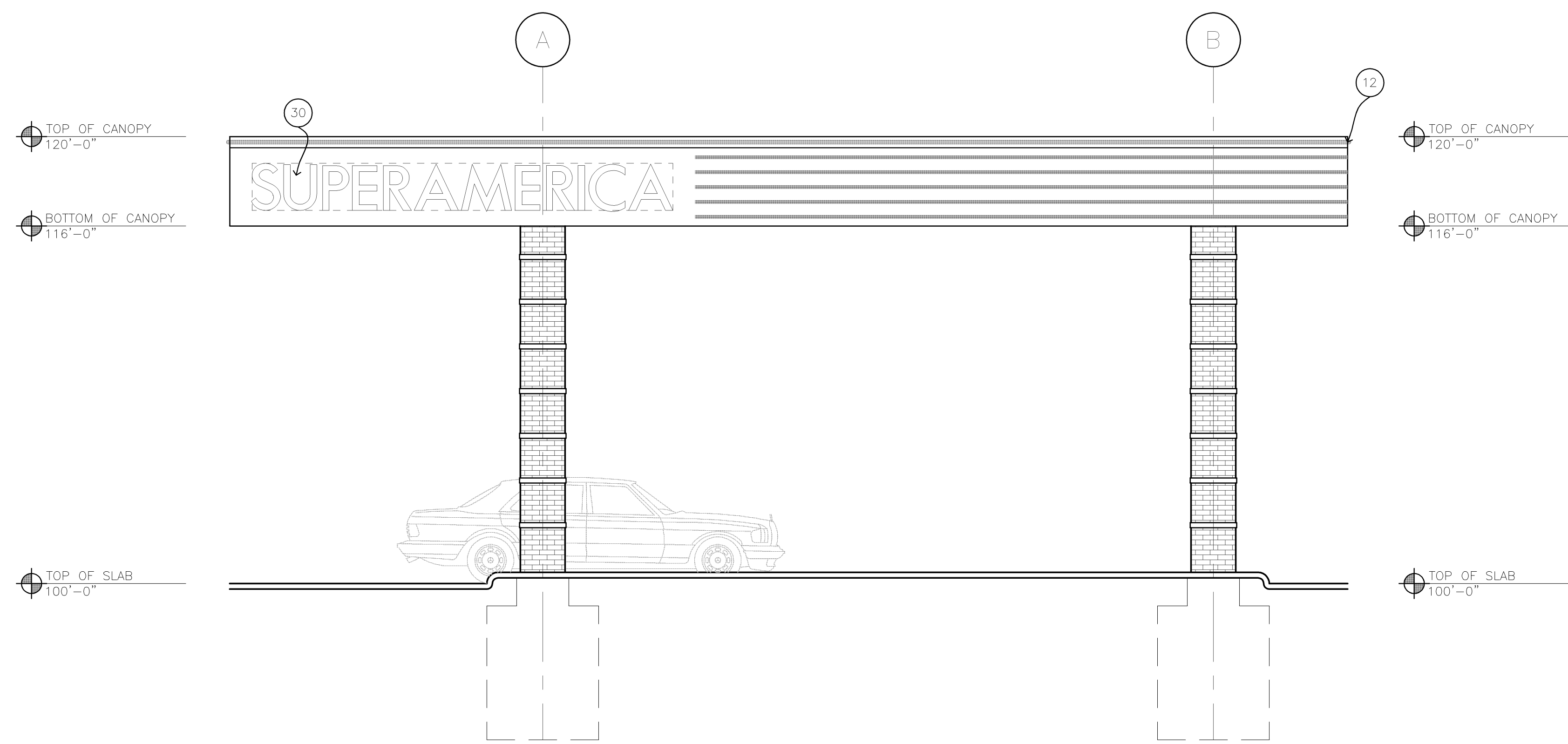
BUILDING ELEVATIONS

DATE
9.05.2012
A3
PROJECT NO.
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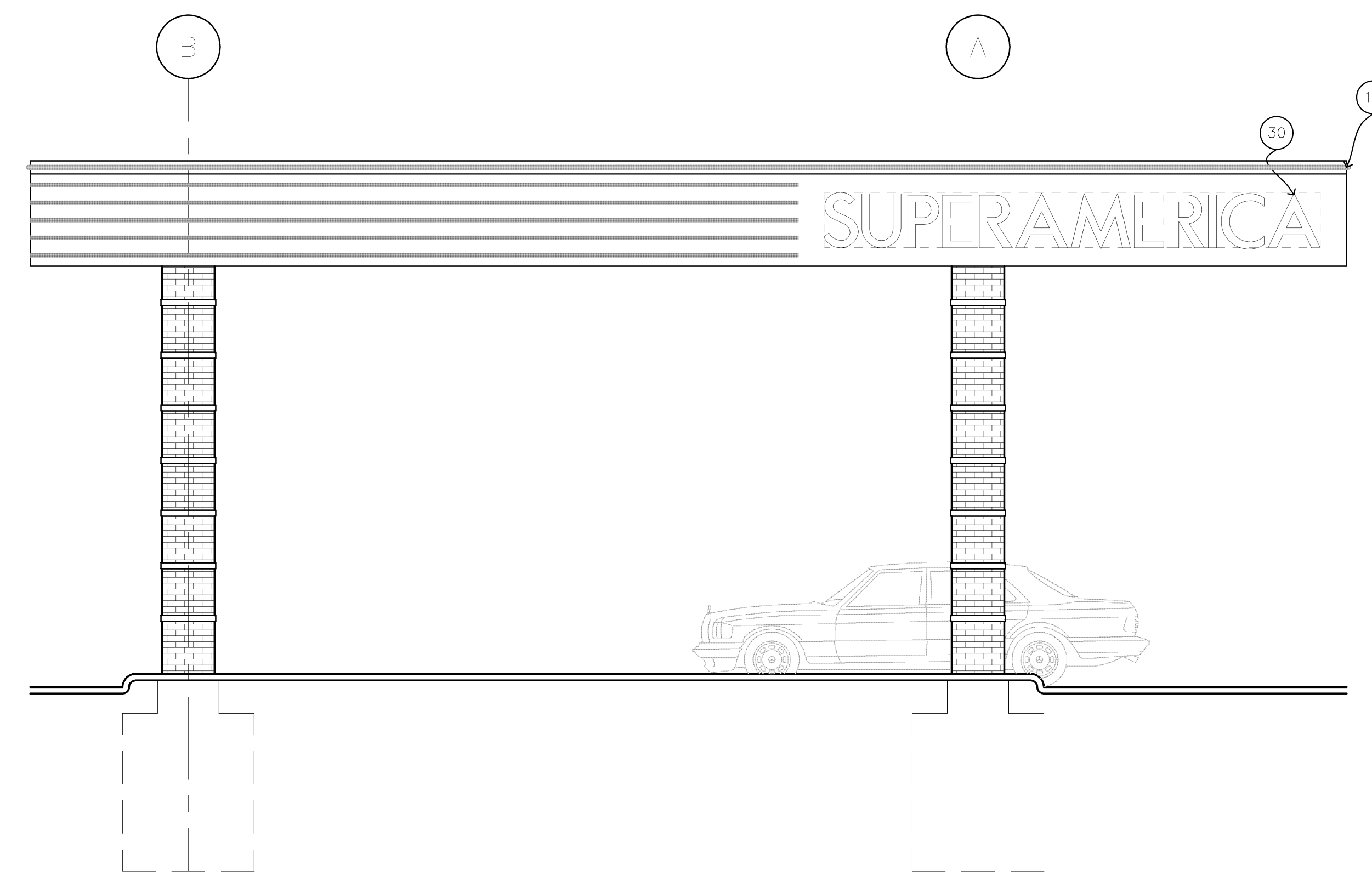
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1 GAS ISLAND CANOPY
CA1
1/4" = 1'-0"



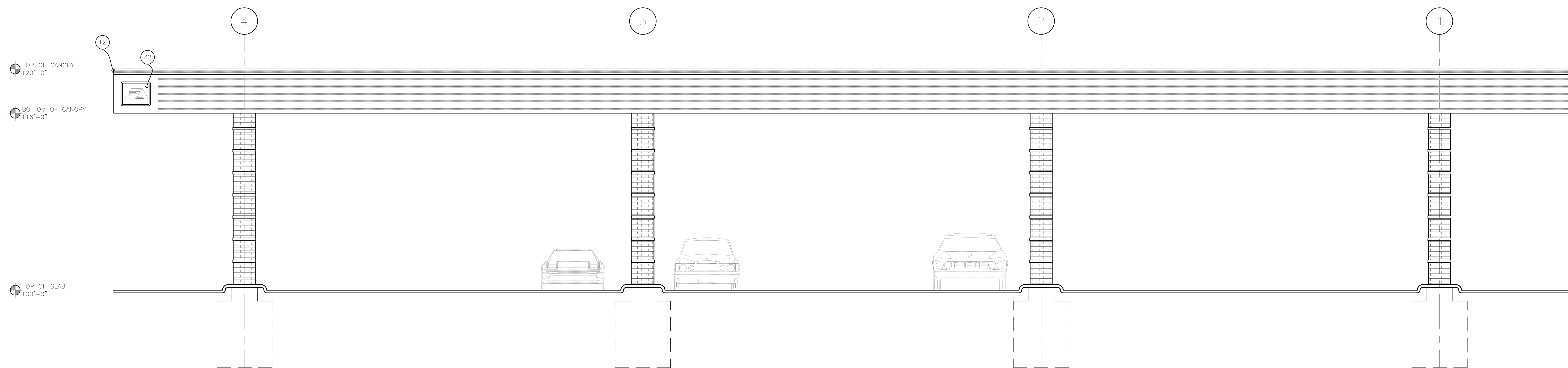
2 GAS ISLAND CANOPY
CA1
1/4" = 1'-0"



3 GAS ISLAND CANOPY
CA1
1/4" = 1'-0"

- KEYNOTES:**
- 4 FACE BRICK, GENERAL SHALE BRICK, RALEIGH COURT, MODULAR, 36-10-591
 - 10 BRICK ACCENT BAND, INTERSTATE BRICK, TUMBLEWEED, MODULAR
 - 12 LED ACCENT LIGHTING
 - 30 ILLUMINATED CHANNEL LETTERS
 - 32 ILLUMINATED CANOPY LOGO SIGN

SEE CANOPY AND STRUCTURAL PLANS FOR FURTHER INFORMATION



4 GAS ISLAND CANOPY
CA1
1/4" = 1'-0"

REVISIONS

▲	City Submittal	9.5.2012
▲	City Submittal	Comments 10.2.12
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CANOPY ELEVATIONS

DATE	9.05.2012
CA1	
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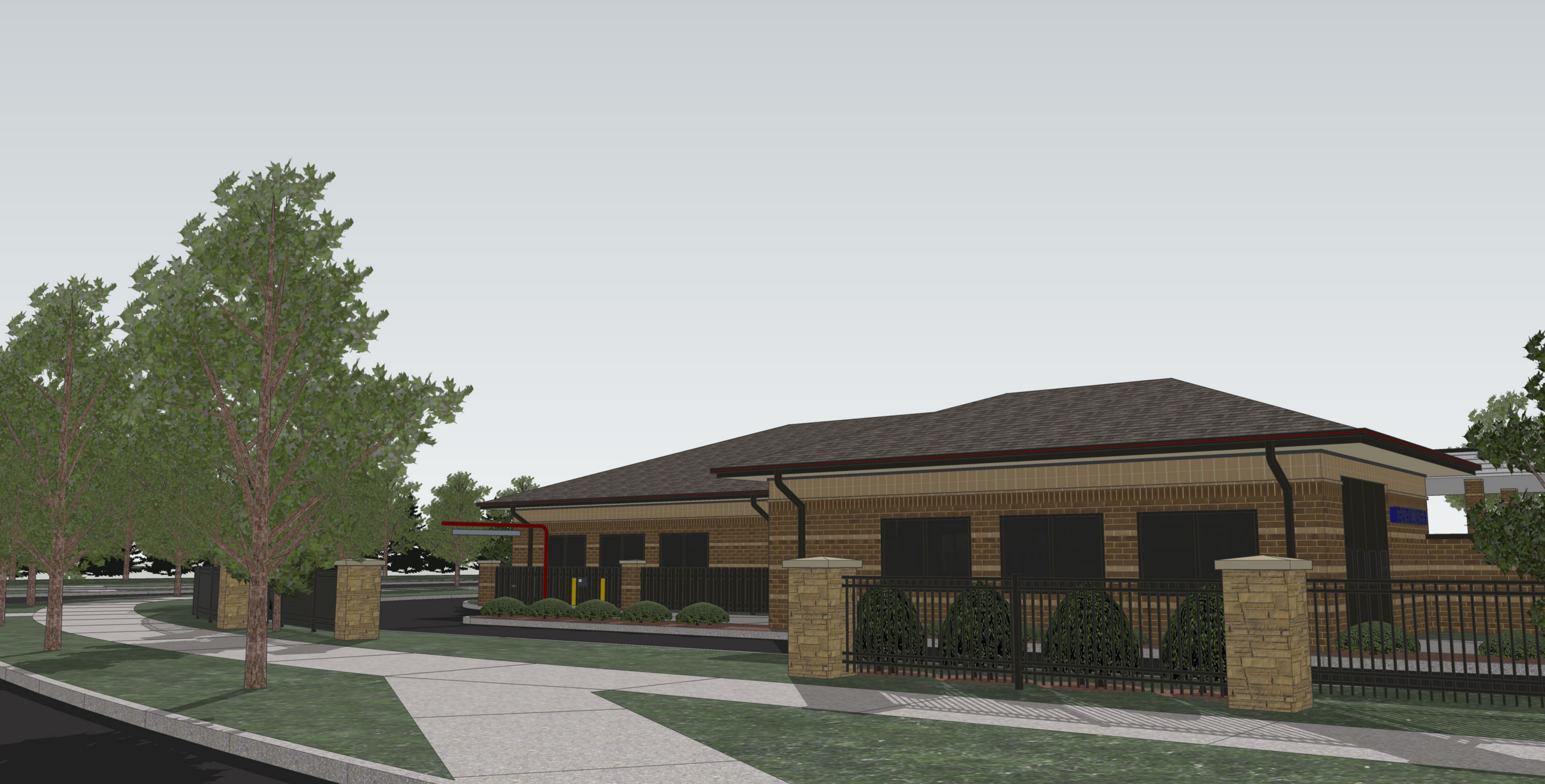


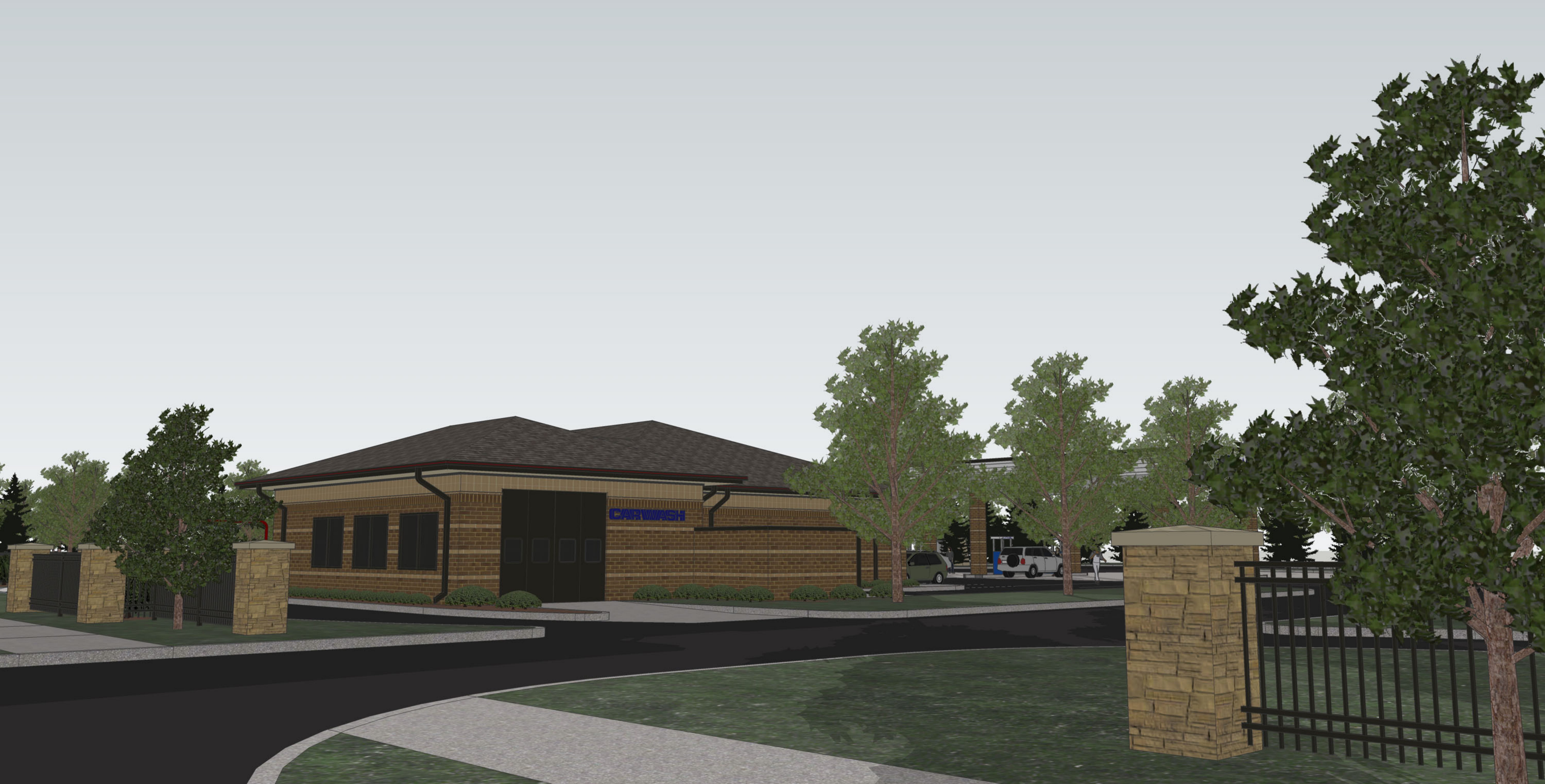
SUPERAMERICA



SUPERAMERICA

SUPERAMERICA







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T16