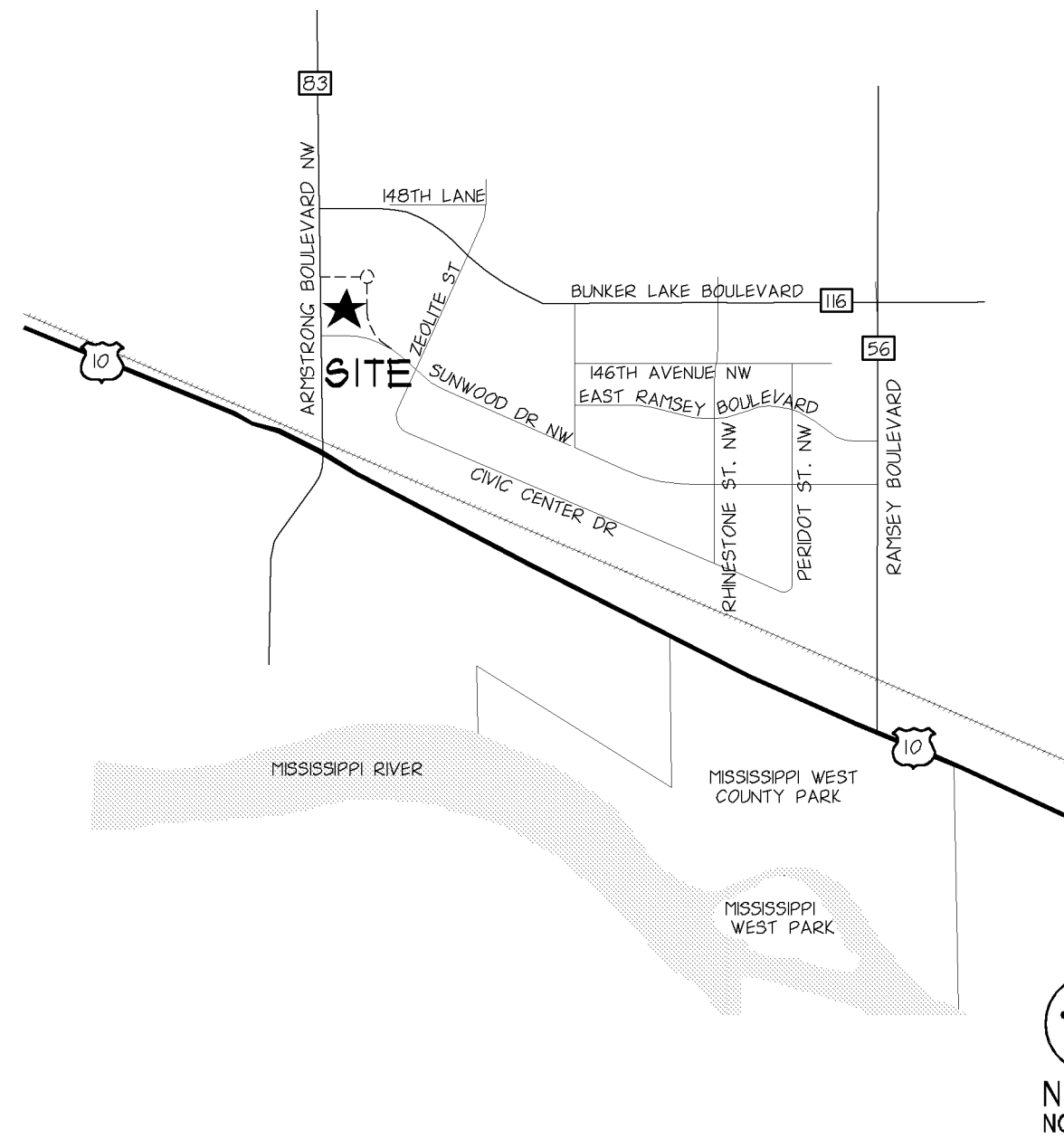


RAMSEY, MN

AREA LOCATION MAP

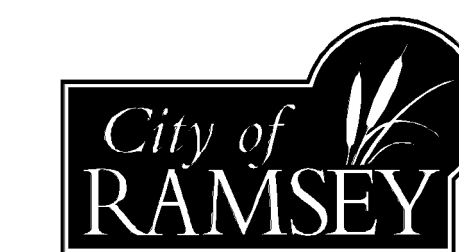


# SUPERAMERICA SUNWOOD RETAIL RAMSEY, MN

DEVELOPER

**RAMSEY HRA**  
7550 SUNWOOD DRIVE  
RAMSEY, MN 55303  
TEL: (763) 427-1410 • FAX: (763) 427-5543

MUNICIPALITY



PROJECT

**SUPERAMERICA  
SUNWOOD RETAIL  
RAMSEY, MINNESOTA**

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E2.1	SITE PHOTOMETRICS

ABBREVIATIONS

D & @ 100 YR. A.B. A.D. A/C ADD. ADOL. ADJ. AHJ ALT. ALLM. ANOD. APPROX. ARCH. AUTO. AVG. B.C. B.M. B/W BFE BIF BLDC BSPT. C.F. C.F.S. C.G. C.I. C.L. C.M.U. C.O. C.O.E. C.Y. CB CBM CEN. CIP CNC CONC. CONN. CONST. CONT. CONTR. COP. CU. CUP D.S. DEG. DEMO. DEPT. DET. DIA. DIAG. DIM. DIP DN DWG. E. E.L. E.O.S. E.W. EA. EL. ELEC. ELEV. EMER. ENR. EQ. EQUIP. EQUIV. EXST. EXP. F. & I. F.B.O. F.G. F.D. F.D.C. F.V. FB FBLO FDN. FES FFE FLR FT. OR (') FUT. G.B. G.C. GAL. GAL.V. G.F. GL. GR. H. HP HDEP HCT. HORIZ. HVAC HYD ID. IN. OR (") INFO. INS. INSUL. INV.	Angle And At 100 Year Flood Elevation Anchor Bolt Area Drain Air Conditioning Unit Additional Adjacent / Adjust Air Handling Unit Altitude Aluminum Anodized Approximate Architect / Architectural Automatic Average Back of Curb Benchmark B/W Basement Floor Elevation Beamless (Asphaltic) Building Basement Cubic Feet Cubic Feet Per Second Corner Guard Control Joint Centerline Concrete Masonry Unit Clearcut U.S. Army Corps Of Engineers Cubic Yards Catch Basin Cement Cast Iron Pipe Corrugated Metal Pipe Concrete (Formed) Connection Construction Equipment (Formed) Contractor Copper Curb Down Spout Degree Demolition / Demolish Department Detail Diameter Dimension Ductile Iron Pipe Down Drainage East Expansion Joint Emergency Overflow Valve Each Way Each Elevation Electrical Elevation Emergency Engineer Entrance Equal Equipment Equivalent Existing Expansion Furnish and Install Furnished by Others Face of Curb Floor Drain Fire Department Connection Field Verify Full Basement Full Basement Walk Out Full Basement Look Out Foundation Finished End Section Finished Floor Elevation Floor Foot Future Grade Break General Contractor Gallon Galvanized Garage Floor Elevation Glass Grade Height High Point High Density Polyethylene Pipe Height Horizontal Heating, Ventilation, Air Conditioning Hydrant Inside Dimension Inches Information Inlet Elevation Insulation Invert Elevation	JT. L.F. L.P. LB. LGL LONG. LT. MAINT. MAS. MATL. MAX. MECH. MED. MFR. MH MIN. MISC. MNDOT MOD. MUL. N. N.C. NO. OR # NOM NTS NWE NWL O.G. O.D. O.E. OH. OH.WL OPNS. ORIG. P.C. P.L. PIV P.L. OR P/L P.O.B. P.S.F. P.S.I. P.T. P.V.C. P.V.I. P.V.T. PE PERF. PREP. PROP. PVC PYINT. QTR. QTY. R RAD. R.D. R.E. R.I. R.P. R.C.P. RE. REIN. REQD. REV. RQU ROW OR R/W S. S.F. SECT. SE SEMO SHT. SIM. SLUT. SPEC. SQ. STH STD. STRUC.T. SYS T T/R T/W TEMP. TH TNH TY UNO. V.B. V.C. V.E. VER. VERT. VEST. W W.P. W.F. W/O WG WETL. WP WT. YD. YR.	Joint Lineal Feet Low Point / Liquid Petroleum Pound Local Government Unit Longitudinal Light / Lighting Maintenance Material Maximum Mechanical Median Manufacturer Manhole Minimum / Minute Miscellaneous Minnesota Department Of Transportation Module / Modular Mulle North Not In Contract Number Nominal Not to Scale Normal Water Elevation Normal Water Level On Center Outside Dimension Overhead Electric Overhead Ordinary High Water Level Opening Orange Point of Curvature Point of Intersection Point of Vertical Intersection Point of Vertical Tangency Polyethylene Pedestal / Pedestrian Perforated Preparation Proposed Poly-Vinyl-Chloride (Pvc) Pavement Quarter Quantity Radius Roof Drain Remove Existing Rough Opening Rough Point Reinforced Concrete Pipe Reinforcing Reinforced Required Revision / Revised Regulatory Government Unit Right of Way Square Feet Sanitary Sewer Section Side Exit Side Exit Walk Out Sheet Similar Solvent Specification Square Square Sewer Manhole Standard Structural System Thickness Top of Rim Top of Wall Temporary Thick / Thickness Top Nut Hydrant Types Unless Noted Otherwise Vertical Curve Verify in Field Vertical Vertical Ventilator Width Working Point Welded Wire Fabric Wich Whisker Walk Out Wetland Waterproof Weight Yard Year
--	--	---	--

SYMBOLS

EXISTING	DESCRIPTION	NEW	DESCRIPTION
	CONTOUR		SPOT ELEVATION
	BUILDING CANOPY / OVERHANG		UNDERGROUND STRUCTURE
	CONCRETE		CONCRETE CURB
	CONCRETE CURB		EDGE OF PAVEMENT
	FENCING		GUARD RAIL
	CONCRETE RETAINING WALL		FELDSPONE RETAINING WALL
	MODULAR RETAINING WALL		SOIL BORING
	LIGHT POLE		LIGHT STANDARD
	TREES		POWER POLE
	DENOTES TREE LIMITS		SLOPE, DIRECTION OF FLOW
	MANHOLE		CATCH BASIN
	FIRE HYDRANT		WATER VALVE
	FLARED END SECTION		IRON MONUMENT FOUND
	IRON PIPE MONUMENT SET		P.K. NAIL
	POWERPOLE		CULVERT & END SECTION
	GUARD POST		UTILITY BOX (TV, TEL, ELEC)
	TRAFFIC BOX		GAS METER
	TRAFFIC SIGN		CUY WIRE
	REGISTRAR OF TITLES		COUNTY RECORDER
	STORM SEWER LINE		SANITARY SEWER LINE
	WATER MAIN		UNDERGROUND GAS
	UNDERGROUND TELEPHONE		UNDERGROUND ELECTRIC
	OVERHEAD TELEPHONE		OVERHEAD ELECTRIC
	UNDERGROUND CABLE T.V.		OVERHEAD CABLE T.V.
	WELL		RESTRICTED ACCESS
	NOTE NUMBER		DENOTES BITUMINOUS SURFACE

EROSION CONTROL SYMBOLS

SYMBOL	DESCRIPTION
	SILT FENCE
	CONSTRUCTION LIMITS
	INLET PROTECTION

DRAWING SYMBOLS

SYMBOL	DESCRIPTION
	NOTE REFERENCE
	PARKING STALL COUNT
	LARGE SHEET DETAIL
	COORDINATE POINT
	REVISION - ADDENDUM, BULLETIN, ETC.
	REVISED AREA (THIS ISSUE)

BENCHMARKS

PROJECT BENCHMARKS:  
COR CONTROL POINT: "HYATT"  
CONTROL POINT LOCATED AT S.E. ANGLE POINT OF ZEBULIE STREET & CIVIC CENTER DRIVE  
ELEVATION = 878.61 (NGVD 29)  
TOP NUT OF HYDRANT  
LOCATED ON SOUTH SIDE OF BUNKER LAKE BLVD APPROX. 600 FT FROM ARMSTRONG BLVD  
ELEVATION = 864.96 (NGVD 29)

LEGAL DESCRIPTION

LOT 5, BLOCK 1, COR TWO

CITY NOTES

- SITE GRADING, LANDSCAPING AND UTILITY INSTALLATIONS MUST BE COMPLETED AS SHOWN WITHOUT ALTERATION. DEVIATIONS FROM PLANS MUST BE CHECKED AND APPROVED BY THE ENGINEERING DEPARTMENT AND/OR THE PLANNING COMMISSION PRIOR TO SAD CHANGE.
- REQUIRED EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS AS SHOWN.
- MAN JOB-SITE ENTRANCE MUST BE POSTED WITH THE PROJECT ADDRESS SO THAT IT IS CLEARLY VISIBLE FROM THE STREET. JOB-SITE ADDRESS SIGN MUST BE INSTALLED IN PLACE UNTIL FINAL OCCUPANCY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT, OR OWNER DOES NOT GUARANTEE THAT ALL UTILITIES ARE MAPPED OR IF MAPPED, ARE SHOWN CORRECTLY. CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.

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L2.1	LANDSCAPE
L2.2	STREETSCAPE PLAN
L7.1	LANDSCAPE DETAILS
E2.1	SITE PHOTOMETRICS

REVISION HISTORY

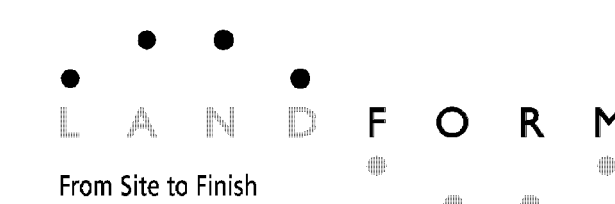
DATE	REVISION	REVIEW
09 SEPT 2012	PRELIMINARY SITE PLAN SUBMITTAL	SES
27 SEPT 2012	RESPONSE TO CITY COMMENTS	SES

PROJECT MANAGER REVIEW

BY: SES DATE: 09/27/12

CERTIFICATION

SITE PLAN SUBMITTAL  
27 SEPTEMBER 2012

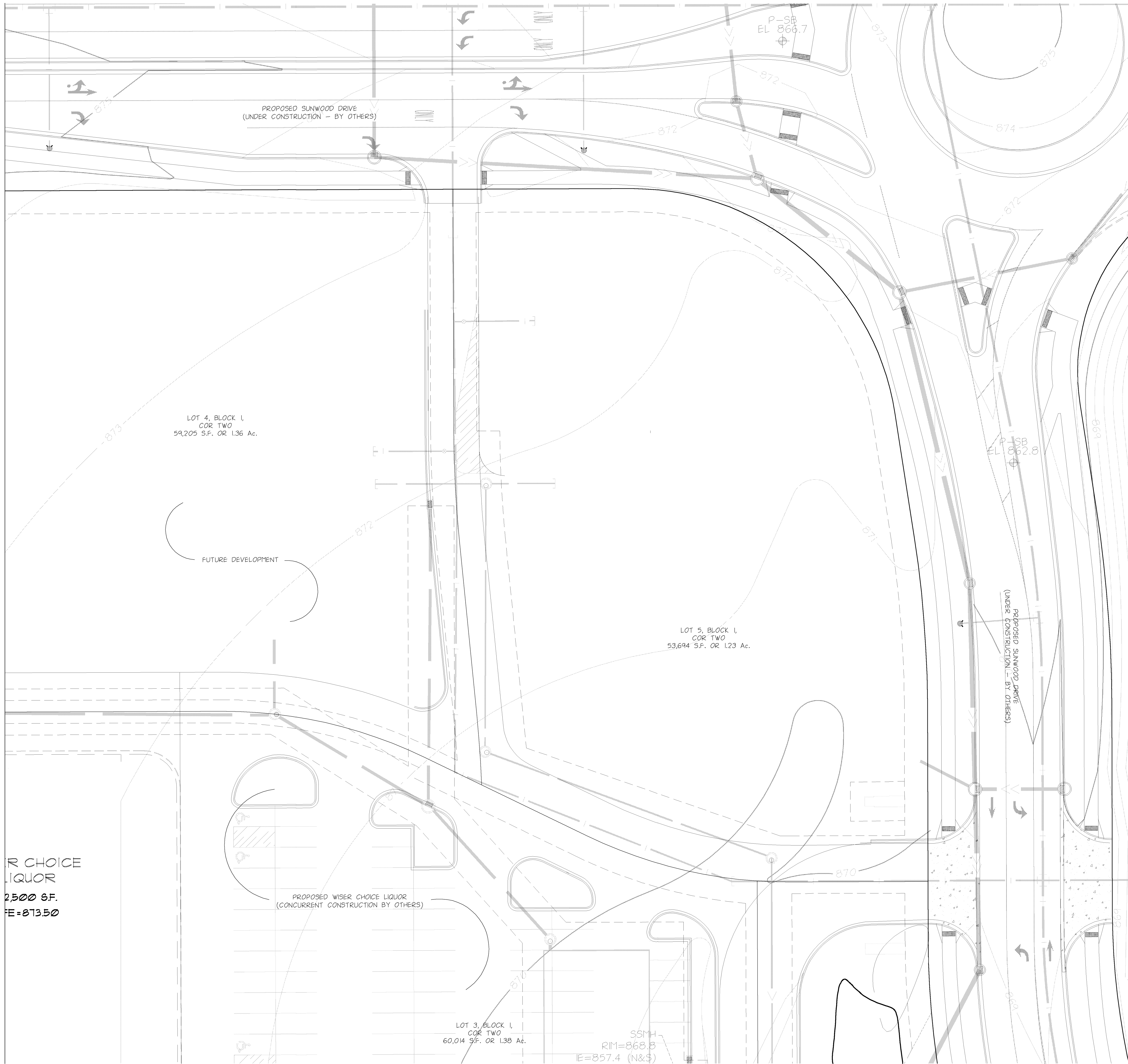


105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME: C001RAM025.DWG  
PROJECT NO: KPL12001

CIVIL TITLE SHEET

C0.1



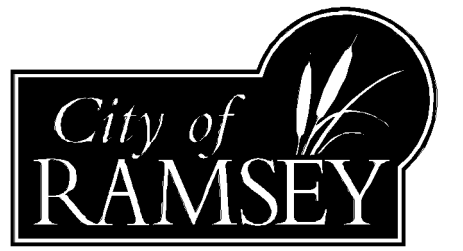
**EXISTING CONDITIONS**

BACKGROUND INFORMATION SHOWN IS FROM SURVEY BY LANDFORM, MINNEAPOLIS, MN, EXPRESSLY FOR THIS PROJECT; CITY OF RAMSEY, MN RECORD DRAWINGS AND UTILITY SERVICE PROVIDERS. LANDFORM OFFERS NO WARRANTY, EXPRESSED OR WRITTEN, FOR INFORMATION PROVIDED BY OTHERS. EXISTING PROJECT CONDITIONS SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ENGINEER.

**DEVELOPER**

**RAMSEY HRA**  
7550 SUNWOOD DRIVE  
RAMSEY, MN 55303  
TEL (763) 427-1410 - FAX (763) 427-5543

**MUNICIPALITY**



**PROJECT**

**SUPERAMERICA  
SUNWOOD RETAIL  
RAMSEY, MINNESOTA**

**SHEET INDEX**

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E2.1	SITE PHOTOGRAPHS

**REVISION HISTORY**

DATE	REVISION	REVIEW
09 SEPT 2012	PRELIMINARY SITE PLAN SUBMITTAL	SES
27 SEPT 2012	RESPONSE TO CITY COMMENTS	SES

**PROJECT MANAGER REVIEW**

BY SES DATE 09/27/12

**CERTIFICATION**

IF THE SIGNATURE, SEAL OR FOUR LINES CHECKMARK ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED WITHOUT ORIGINAL READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

**SITE PLAN SUBMITTAL**  
27 SEPTEMBER 2012

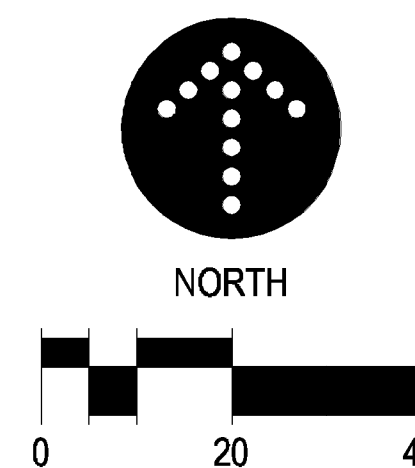
**LANDFORM**  
From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

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PROJECT NO. KPL12001

**EXISTING CONDITIONS**

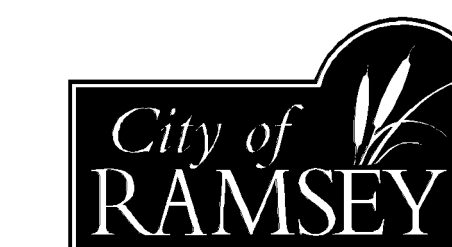
**C1.1**



DEVELOPER

**RAMSEY HRA**  
7550 SUNWOOD DRIVE  
RAMSEY, MN 55303  
TEL (763) 427-1410 - FAX (763) 427-5543

MUNICIPALITY



PROJECT

**SUPERAMERICA  
SUNWOOD RETAIL  
RAMSEY, MINNESOTA**

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C13	FINAL PLAT (SHEET 1 OF 2)
C14	FINAL PLAT (SHEET 2 OF 2)
C21	PRELIMINARY SITE PLAN
C31	GRADING, DRAINAGE, PAVING & EROSION CONTROL
C41	UTILITIES
C51	CIVIL CONSTRUCTION DETAILS
C71	CIVIL CONSTRUCTION DETAILS
L21	LANDSCAPE
L31	STREETSCAPE PLAN
L71	LANDSCAPE DETAILS
E21	SITE PHOTOGRAPHS

REVISION HISTORY

DATE	REVISION	REVIEW
09 SEPT 2012	PRELIMINARY SITE PLAN SUBMITTAL	SES
27 SEPT 2012	RESPONSE TO CITY COMMENTS	SES

PROJECT MANAGER REVIEW

BY SES DATE 09/28/12

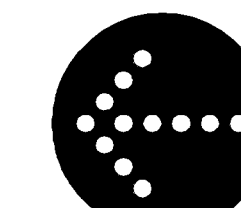
CERTIFICATION

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED IMPROPERLY. READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

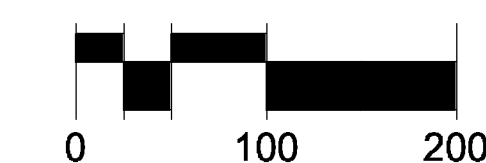
**SITE PLAN SUBMITTAL**  
27 SEPTEMBER 2012



Know what's Below.  
Call before you dig.



NORTH



From Site to Finish

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Suite 513  
Minneapolis, MN 55401

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Fax: 612-252-9077  
Web: landform.net

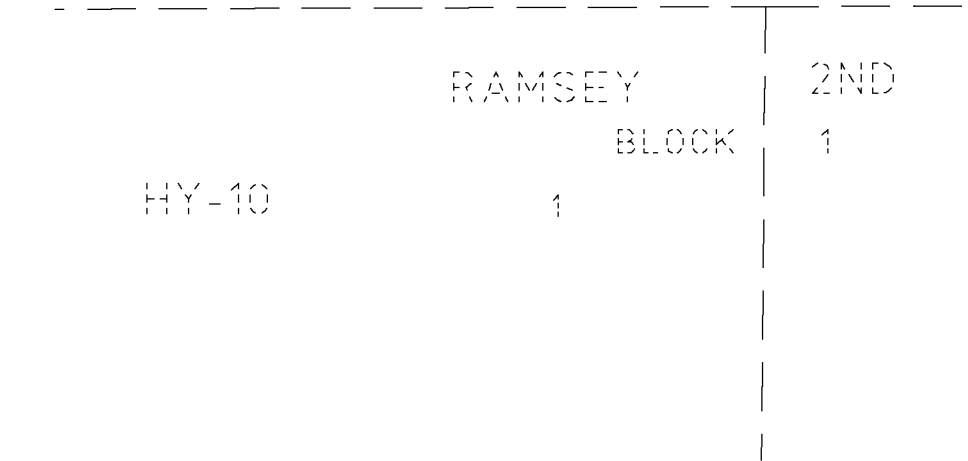
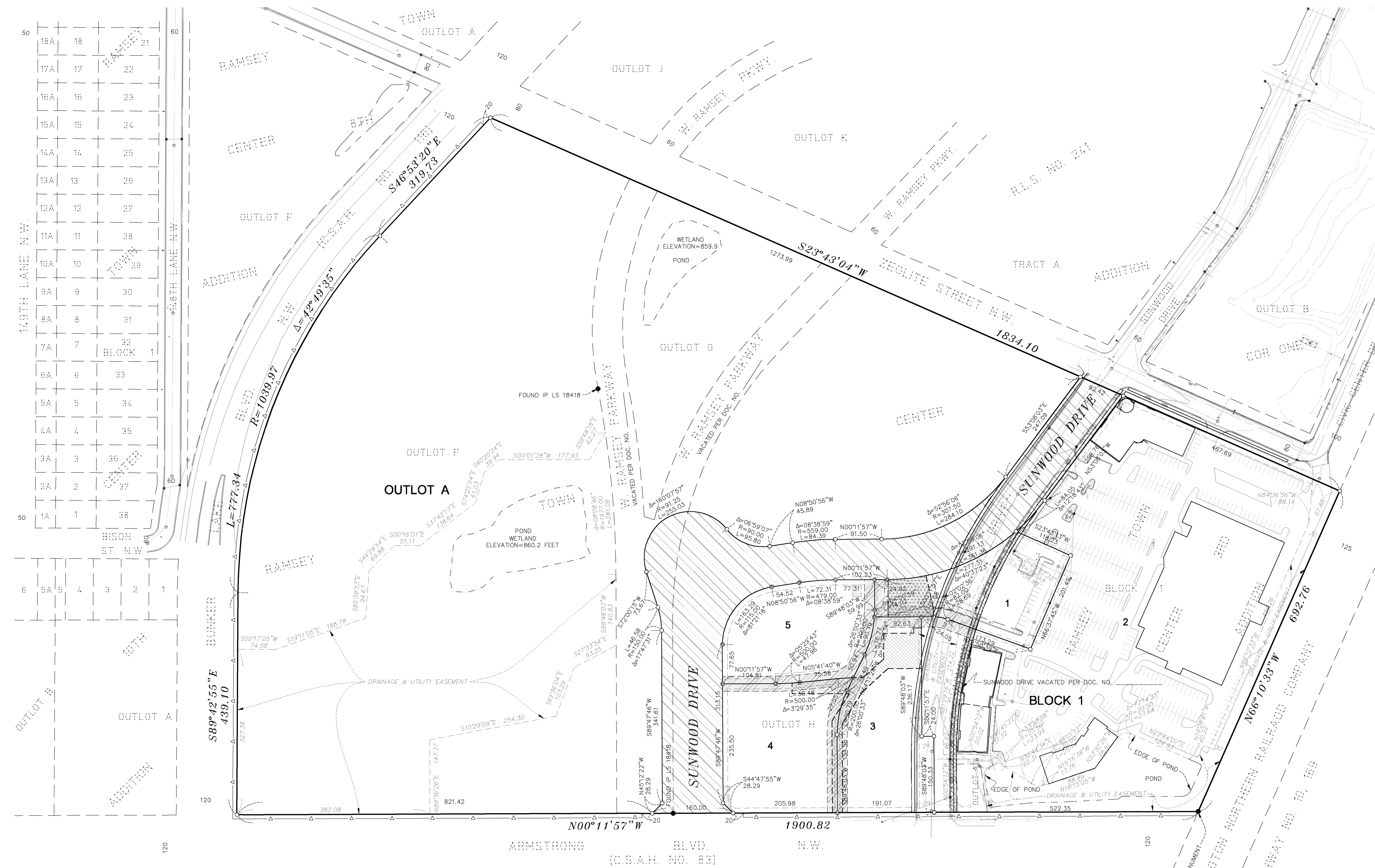
FILE NAME: plat-RAM020

PROJECT NO.: KPL12001

PRELIMINARY PLAT

**C1.2**

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**EXISTING CONDITIONS**

BACKGROUND INFORMATION SHOWN IS FROM SURVEY BY LANDFORM, MINNEAPOLIS, MN, ON DATE XXXX, EXPRESSLY FOR THIS PROJECT. CITY OF RAMSEY, MN RECORD DRAWINGS, AND UTILITY SERVICE PROVIDERS. LANDFORM OFFERS NO WARRANTY, EXPRESSED OR WRITTEN, FOR INFORMATION PROVIDED BY OTHERS. EXISTING PROJECT CONDITIONS SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ENGINEER.

**EXISTING LOT AREAS**

OUTLOT F, RAMSEY TOWN CENTER	=846,384 SQ. FT. OR 19.43 ACRES
OUTLOT G, RAMSEY TOWN CENTER	=116,200 SQ. FT. OR 2.67 ACRES
WEST RAMSEY PARKWAY (TO BE VACATED)	=43,718 SQ. FT. OR 1.00 ACRES
SUNWOOD DRIVE (TO BE VACATED)	=84,003 SQ. FT. OR 1.93 ACRES
LOT 1, BLOCK 1, RAMSEY TOWN CENTER 3RD ADDITION	=388,683 SQ. FT. OR 8.92 ACRES
LOT 2, BLOCK 1, RAMSEY TOWN CENTER 3RD ADDITION	=20,539 SQ. FT. OR 0.47 ACRES
OUTLOT A, RAMSEY TOWN CENTER 3RD ADDITION	=5,071 SQ. FT. OR 0.12 ACRES
TOTAL	=2,132,873 SQ. FT. OR 48.96 ACRES

**PROPOSED LOT AREAS**

LOT 1, BLOCK 1, COR TWO	= 47,291 SQ. FT. OR 1.09 ACRES
LOT 2, BLOCK 1, COR TWO	= 417,287 SQ. FT. OR 9.58 ACRES
LOT 3, BLOCK 1, COR TWO	= 60,013 SQ. FT. OR 1.39 ACRES
LOT 4, BLOCK 1, COR TWO	= 59,205 SQ. FT. OR 1.36 ACRES
LOT 5, BLOCK 1, COR TWO	= 53,694 SQ. FT. OR 1.23 ACRES
OUTLOT A, COR TWO	= 134,011 SQ. FT. OR 3.07 ACRES
SUNWOOD DRIVE RIGHT OF WAY	= 54,864 SQ. FT. OR 1.26 ACRES
TOTAL	=2,132,873 SQ. FT. OR 48.96 ACRES

**PRELIMINARY PLAT INFORMATION**

- PROPOSED PLAT NAME: COR TWO
- EXISTING LEGAL DESCRIPTION:  
OUTLOT F, G, AND H, RAMSEY TOWN CENTER ADDITION  
LOT 1 AND 2, BLOCK 1, RAMSEY TOWN CENTER 3RD ADDITION  
OUTLOT A, RAMSEY TOWN CENTER 3RD ADDITION  
VACATED WEST RAMSEY PARKWAY LYING BETWEEN ARMSTRONG BLVD. AND ZEOLITE STREET N.W.  
VACATED SUNWOOD DRIVE LYING BETWEEN ARMSTRONG BLVD. AND ZEOLITE STREET N.W.
- OWNER/SUBDIVIDER: RAMSEY HRA  
7550 SUNWOOD DRIVE  
RAMSEY, MN 55303
- DESIGNER/SURVEYER: LANDFORM  
105 SOUTH FIFTH AVENUE  
SUITE 513  
MINNEAPOLIS, MN 55401
- AREA SUMMARY: SEE AREA TABLES
- EXISTING ZONING: COR-2A
- PROPOSED ZONING: COR-2

**PROPOSED EASEMENTS**

- PROPOSED ACCESS EASEMENT
- PROPOSED SUNWOOD DRIVE RIGHT OF WAY EASEMENT
- PROPOSED SIDEWALK EASEMENT
- PROPOSED SIGN EASEMENT
- PROPOSED PRIVATE UTILITY EASEMENT
- PROPOSED PRIVATE DRAINAGE EASEMENT

COR TWO

KNOW ALL PERSONS BY THESE PRESENTS: That the City of Ramsey, a Minnesota Municipal Corporation, owner of the following described property:

OUTLOT A, RAMSEY TOWN CENTER 3RD ADDITION, ANOKA COUNTY, MINNESOTA

And that the Housing and Redevelopment Authority in and for the City of Ramsey, a public body politic and corporate under the laws of State of Minnesota, owner of the following described property:

OUTLOT F, G, AND H, RAMSEY TOWN CENTER ADDITION, ANOKA COUNTY, MINNESOTA

And that Sophia-Ramsey, LLC, a Minnesota limited liability company, owner of the following described property:

LOT 1 AND 2, BLOCK 1, RAMSEY TOWN CENTER 3RD ADDITION, ANOKA COUNTY, MINNESOTA

Have caused the same to be surveyed and platted as COR TWO and do hereby dedicate to the public for public use the drainage and utility easements as shown on this plat. Also dedicating to the County of Anoka the right of access onto County State Aid Highway Numbers 83 and 116 as shown on this plat.

In witness whereof said City of Ramsey, a Minnesota Municipal Corporation, has caused these presents to be signed by its proper officers this \_\_\_\_\_ day of \_\_\_\_\_, 201\_\_.

CITY OF RAMSEY

Bob Ramsey, Mayor JoAnn M. Thieling, City Clerk

STATE OF \_\_\_\_\_
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 201\_\_ by Bob Ramsey, Mayor, and JoAnn M. Thieling, City Clerk, of the City of Ramsey, a Minnesota Municipal Corporation, on behalf of the corporation.

Notary Public, \_\_\_\_\_ County, \_\_\_\_\_
My Commission Expires \_\_\_\_\_

In witness whereof said Housing and Redevelopment Authority in and for the City of Ramsey, a public body politic and corporate under the laws of State of Minnesota, has caused these presents to be signed by its proper officers this \_\_\_\_\_ day of \_\_\_\_\_, 201\_\_.

HOUSING AND REDEVELOPMENT AUTHORITY IN AND FOR THE CITY OF RAMSEY

\_\_\_\_\_
\_\_\_\_\_

STATE OF \_\_\_\_\_
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 201\_\_ by \_\_\_\_\_, its \_\_\_\_\_ and \_\_\_\_\_, its \_\_\_\_\_ of the Housing and Redevelopment Authority in and for the City of Ramsey, a public body politic and corporate under the laws of State of Minnesota .

Notary Public, \_\_\_\_\_ County, \_\_\_\_\_
My Commission Expires \_\_\_\_\_

In witness whereof said Sophia-Ramsey, LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officers this \_\_\_\_\_ day of \_\_\_\_\_, 201\_\_.

SOPHIA-RAMSEY, LLC

STATE OF \_\_\_\_\_
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 201\_\_ by \_\_\_\_\_, its \_\_\_\_\_ of Sophia-Ramsey, LLC, a Minnesota limited liability company.

Notary Public, \_\_\_\_\_ County, \_\_\_\_\_
My Commission Expires \_\_\_\_\_

I Scott C. Trosen do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 201\_\_.

Scott C. Trosen
Licensed Land Surveyor
Minnesota License No. 47465

STATE OF MINNESOTA
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 201\_\_ by Scott C. Trosen.

Notary Public, \_\_\_\_\_ County, \_\_\_\_\_
My Commission Expires \_\_\_\_\_

CITY COUNCIL, CITY OF RAMSEY, MINNESOTA

This plat of COR TWO was approved and accepted by the City Council of the City of Ramsey, Minnesota at a regular meeting thereof held this \_\_\_\_\_ day of \_\_\_\_\_, 201\_\_, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

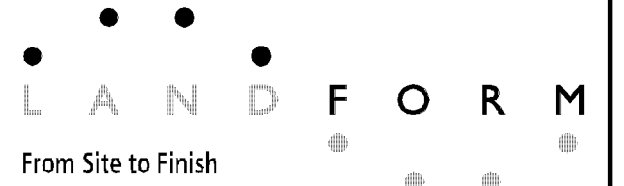
CITY COUNCIL, CITY OF RAMSEY, MINNESOTA

Bob Ramsey, Mayor JoAnn M. Thieling, City Clerk

COUNTY SURVEYOR

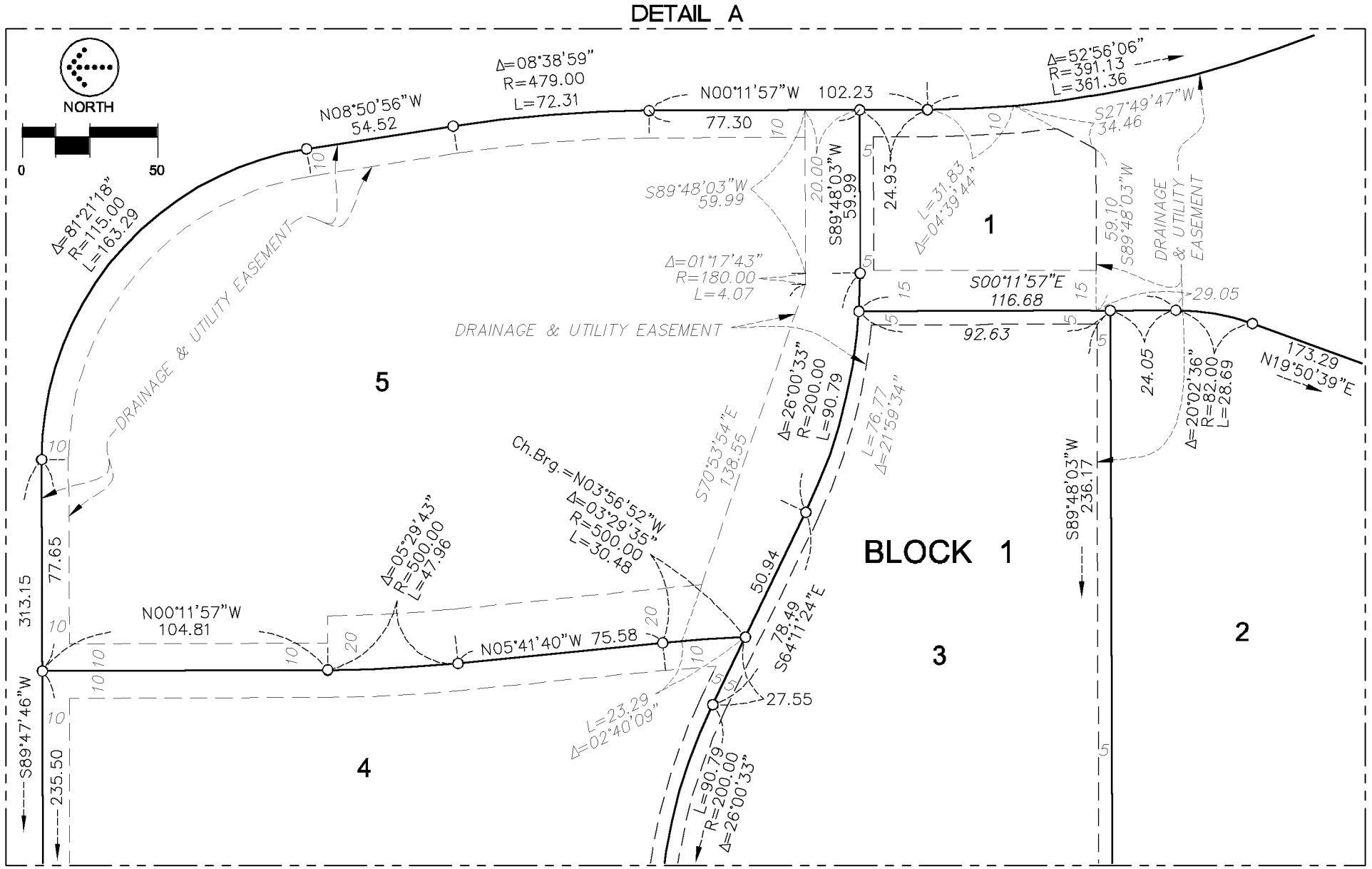
I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this \_\_\_\_\_ day of \_\_\_\_\_, 201\_\_.

Larry D. Hoiium, Anoka County Surveyor

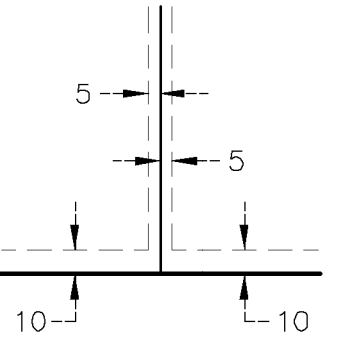


# COR TWO

CITY OF RAMSEY  
 COUNTY OF ANOKA  
 SEC. 28, TWP. 32, RNG. 25



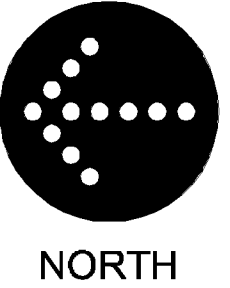
DRAINAGE AND UTILITY EASEMENTS  
 ARE SHOWN AS THUS:  
 (NOT TO SCALE)



BEING 5 FEET IN WIDTH AND ADJOINING LOT  
 LINES UNLESS OTHERWISE SHOWN AND BEING  
 10 FEET IN WIDTH AND ADJOINING RIGHT OF  
 WAY LINES UNLESS OTHERWISE SHOWN

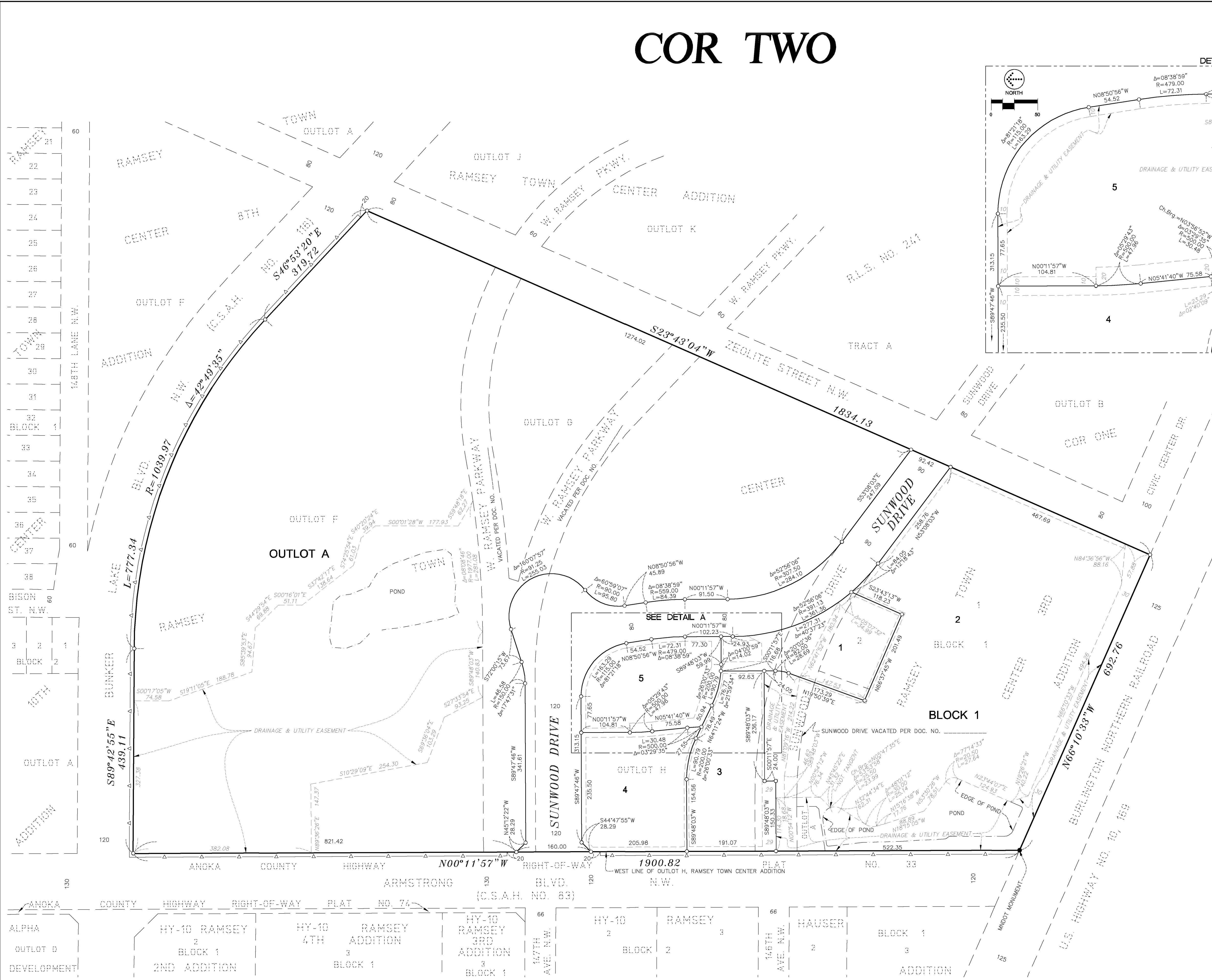
FOR THE PURPOSES OF THIS PLAT, THE WEST  
 LINE OF OUTLOT H, RAMSEY TOWN CENTER  
 ADDITION IS ASSUMED TO BEAR NORTH 00  
 DEGREES 11 MINUTES 57 SECOND WEST

- DENOTES IRON MONUMENT FOUND
- DENOTES 1/2 INCH BY 14 INCH IRON  
 MONUMENT, SET AND MARKED WITH  
 MINNESOTA LICENSE NO. 47465
- △ DENOTES RIGHT OF ACCESS  
 DEDICATED TO COUNTY OF ANOKA

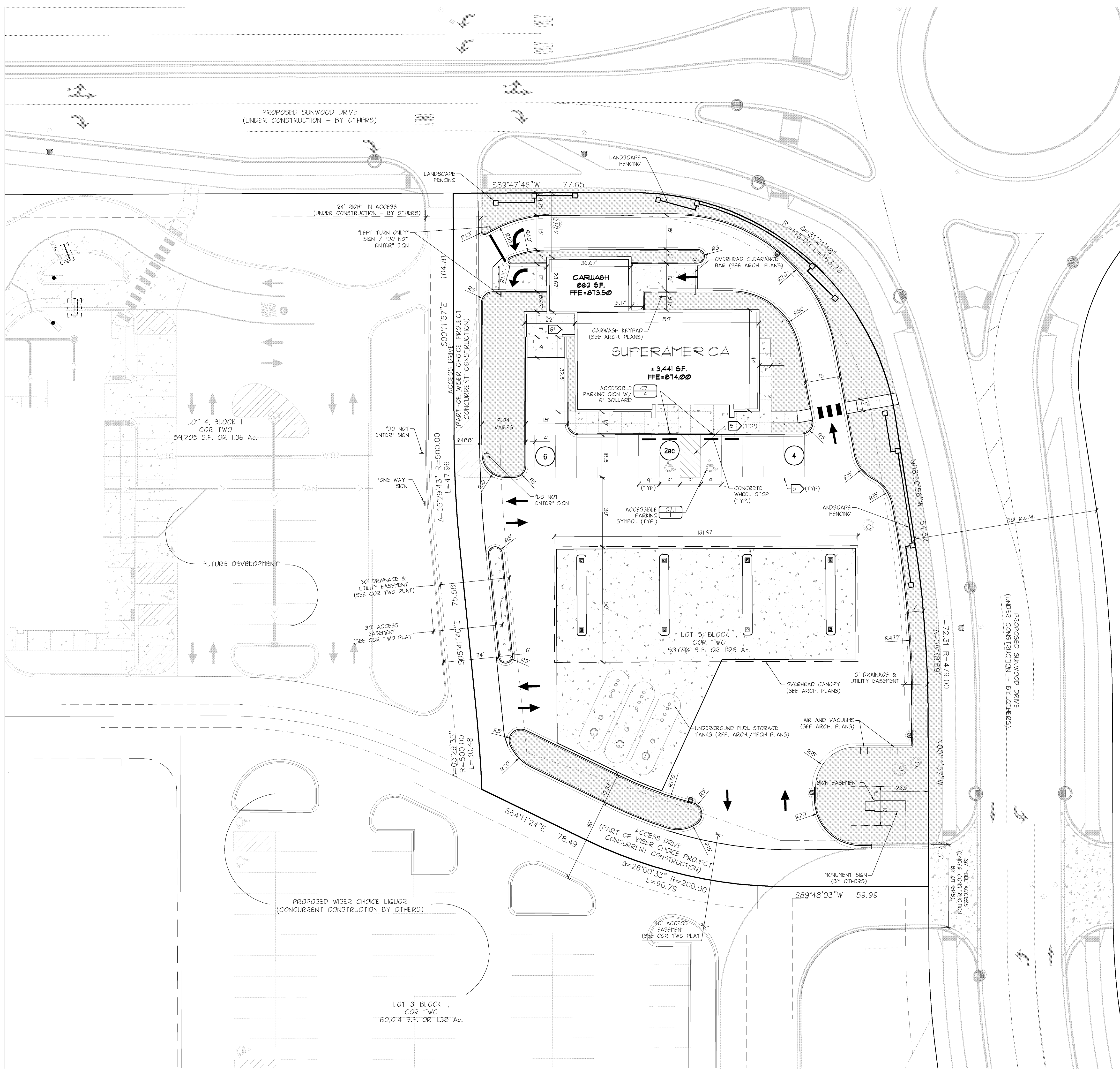


SCALE IN FEET  
 1 INCH=100 FEET

LANDFORM  
 From Site to Finish



ALPHA OUTLOT D DEVELOPMENT	HY-10 RAMSEY BLOCK 1 2ND ADDITION	HY-10 RAMSEY 4TH BLOCK 1 3RD ADDITION	HY-10 RAMSEY 3RD BLOCK 1 4TH ADDITION	HY-10 BLOCK 2	RAMSEY BLOCK 2	HAUSER BLOCK 1 3RD ADDIION
----------------------------------	---	--	--	------------------	-------------------	-------------------------------------



- SITE PLAN NOTES**
- OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WITHIN, OR USE OF, PUBLIC RIGHT-OF-WAY.
  - THE DIGITAL FILE, WHICH CAN BE OBTAINED FROM THE ENGINEER, SHALL BE USED FOR STAKING. DISCREPANCIES BETWEEN THE DRAWINGS AND THE DIGITAL FILE SHALL BE REPORTED TO THE ENGINEER. THE BUILDING FOOTPRINT, AS SHOWN ON THESE DRAWINGS, AND THE DIGITAL FILE, SHALL BE COMPARED TO THE STRUCTURAL DRAWINGS PRIOR TO STAKING.
  - BUILDING LAYOUT ANGLES ARE PARALLEL WITH OR PERPENDICULAR TO THE PROPERTY LINE AT THE LOCATION INDICATED.
  - DIMENSIONS SHOWN ARE TO FACE OF CURB AND EXTERIOR FACE OF BUILDING UNLESS NOTED OTHERWISE.
  - DELINEATE PARKING STALLS WITH A 4-INCH WIDE WHITE/YELLOW PAINTED STRIPE. DELINEATE ACCESS AISLES WITH 4-INCH WIDE WHITE/YELLOW PAINTED STRIPES 18 INCHES ON CENTER AND AT 45 DEGREE ANGLE TO DIRECTION OF TRAVEL.
  - TRASH/RECYCLING AREAS: SEE ARCHITECTURAL DRAWINGS.
- GREEN SPACE (LANDSCAPE AREA)

**PARKING SUMMARY**

**REQUIRED PARKING LOT 5:**

2 STALLS PER 1,000 SF OF BUILDING  
 4,303 SF TOTAL  
 4,303 SF X 2 = 9 STALLS

TOTAL PARKING STALLS REQUIRED 9 EA.

**PROVIDED PARKING LOT 5:**

STANDARD STALLS (9'x18.5')	10 EA.
ACCESSIBLE STALLS (9'x18.5')	2 EA.
TOTAL PARKING STALLS PROVIDED	12 EA.

**AREA SUMMARY**

**EXISTING LOT 5:**

PERVIOUS	47,657 S.F.	88.8%
IMPERVIOUS	6,037 S.F.	11.2%
TOTAL (1,233 Ac)	53,694 S.F.	100.0%

**PROPOSED LOT 5:**

PERVIOUS	9,325 S.F.	17.4%
IMPERVIOUS	40,066 S.F.	74.6%
CONVENIENCE STORE	3,441 S.F.	6.4%
CAR WASH	862 S.F.	1.6%
TOTAL (1,233 Ac)	53,694 S.F.	100.0%

**ZONING AND PARKING SUMMARY**

THE PROPERTY IS ZONED COR-2, COMMERCIAL.

BUILDING SETBACK INFORMATION IS AS FOLLOWS:  
 FRONT YARD = 0-15 FT.  
 REAR = 0 FT.  
 SIDE = 0 FT.

LOT COVERAGE INFORMATION IS AS FOLLOWS:  
 LOT AREA MINIMUM = NONE  
 LOT WIDTH MINIMUM = 80 FT.

**DEVELOPER**

**RAMSEY HRA**  
 7550 SUNWOOD DRIVE  
 RAMSEY, MN 55303  
 TEL: (763) 427-1410 - FAX: (763) 427-5543

**MUNICIPALITY**

**City of RAMSEY**

**PROJECT**

**SUPERAMERICA SUNWOOD RETAIL**  
 RAMSEY, MINNESOTA

**SHEET INDEX**

SHEET	TITLE
C0.1	CIVIL TITLE SHEET
C1.1	EXISTING CONDITIONS
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C1.3	FINAL PLAT (SHEET 1 OF 2)
C1.4	FINAL PLAT (SHEET 2 OF 2)
C2.1	PRELIMINARY SITE PLAN
C3.1	GRADING, DRAINAGE, PAVING & EROSION CONTROL
C4.1	UTILITIES
C7.1	CIVIL CONSTRUCTION DETAILS
C7.2	CIVIL CONSTRUCTION DETAILS
L2.1	LANDSCAPE
L2.2	STREETSCAPE PLAN
L2.3	LANDSCAPE DETAILS
E2.1	SITE PHOTOGRAPHS

**REVISION HISTORY**

CONTACT ENGINEER FOR ANY PROHISTORY

DATE	REVISION	REVIEW
09 SEPT 2012	PRELIMINARY SITE PLAN SUBMITTAL	SES
27 SEPT 2012	RESPONSE TO CITY COMMENTS	SES

**PROJECT MANAGER REVIEW**

BY: SES DATE: 09/27/12

**CERTIFICATION**

**SITE PLAN SUBMITTAL**  
 27 SEPTEMBER 2012

**LANDFORM**

From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070  
 Suite 513 Fax: 612-252-9077  
 Minneapolis, MN 55401 Web: landform.net

FILE NAME: C201RAM\ccc.DWG  
 PROJECT NO.: KPL12001

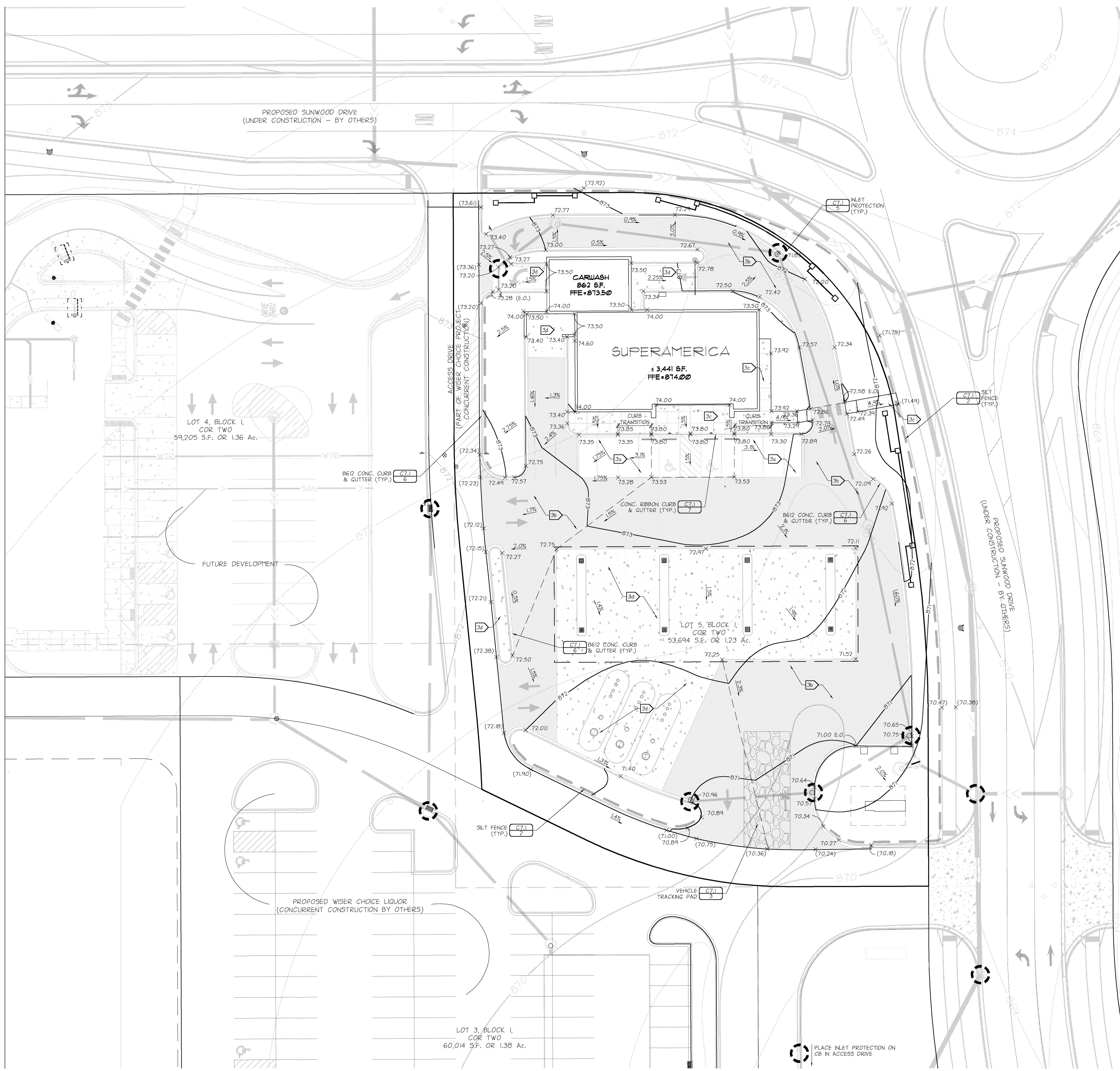
**PRELIMINARY SITE PLAN**

**C2.1**

**811**  
 Know what's Below.  
 Call before you dig.

**NORTH**

0 20 40



**GRADING NOTES**

- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING GRADING.
- REMOVE TOPSOIL FROM GRADING AREAS AND STOCKPILE SUFFICIENT QUANTITY FOR REUSE.
- REMOVE SURFACE AND GROUND WATER FROM EXCAVATIONS. PROVIDE INITIAL LIFTS OF STABLE FOUNDATION MATERIAL IF EXPOSED SOILS ARE WET AND UNSTABLE.
- REFER TO STRUCTURAL SPECIFICATIONS FOR EARTHWORK REQUIREMENTS FOR BUILDING PADS.
- AN INDEPENDENT TESTING FIRM SHALL VERIFY THE REMOVAL OF ORGANIC AND UNSUITABLE SOILS, SOIL CORRECTION, AND COMPACTION AND PROVIDE PERIODIC REPORTS TO THE OWNER.
- PLACE AND COMPACT FILL USING LIFT THICKNESSES MATCHED TO SOIL TYPE AND COMPACTION EQUIPMENT TO OBTAIN SPECIFIED COMPACTION THROUGHOUT THE LIFT.
- COMPACT MATERIAL IN PAVED AREAS TO 95% OF MAXIMUM DRY DENSITY, STANDARD PROCTOR (ASTM D698) EXCEPT THE TOP 3 FEET WHICH SHALL BE COMPACTED TO 100%. COMPACT TO 98% DENSITY WHERE FILL DEPTH EXCEEDS 10 FEET.

**PAVING NOTES**

- SPOT ELEVATIONS AT CURB LINES INDICATE FLOW LINES UNLESS NOTED OTHERWISE. SEE SHEET C4.1 FOR RIM ELEVATIONS OF CATCH BASINS.
- MEET AND MATCH EXISTING CURB.
- PAVING SECTIONS (PRELIMINARY)
  - BITUMINOUS PAVING (LIGHT DUTY)
    - 1.5-INCH WEAR
    - TACK COAT
    - 1.5-INCH BASE
    - 6-INCH AGGREGATE BASE (MNDOT 313B, CLASS 5)
    - COMPACTED SUBSOIL
  - BITUMINOUS PAVING (HEAVY DUTY)
    - 1.5-INCH WEAR
    - TACK COAT
    - 2.5-INCH BASE
    - 6-INCH AGGREGATE BASE (MNDOT 313B, CLASS 5)
    - COMPACTED SUBSOIL
  - CONCRETE WALKWAYS
    - 4-INCH CONCRETE WALK
    - 4-INCH AGGREGATE BASE (MNDOT 313B, CLASS 5)
    - COMPACTED SUBSOIL
  - CONCRETE DRIVES, APRONS, AND EXTERIOR SLABS
    - 8-INCH CONCRETE
    - 4-INCH AGGREGATE BASE (MNDOT 313B, CLASS 5)
    - COMPACTED SUBSOIL

**EROSION PREVENTION AND SEDIMENT CONTROL NOTES**

- INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO BEGINNING WORK AND MAINTAIN FOR DURATION OF CONSTRUCTION. REMOVE CONTROLS AFTER AREAS CONTRIBUTING RUN OFF ARE PERMANENTLY STABILIZED AND DISPOSE OF OFF SITE.
- LIMIT SOIL DISTURBANCE TO THE GRADING LIMITS SHOWN. SCHEDULE OPERATIONS TO MINIMIZE LENGTH OF EXPOSURE OF DISTURBED AREAS.
- MANAGEMENT PRACTICES SHOWN ARE THE MINIMUM REQUIREMENT. INSTALL AND MAINTAIN ADDITIONAL CONTROLS AS WORK PROCEEDS TO PREVENT EROSION AND CONTROL SEDIMENT CARRIED BY WIND OR WATER.
- EXCAVATE PONDS EARLY IN THE CONSTRUCTION SEQUENCE. REMOVE SEDIMENT FROM PONDS PERIODICALLY AND AFTER AREAS CONTRIBUTING RUN OFF ARE PERMANENTLY STABILIZED.
- RESTORE DISTURBED OPEN AREAS WITH TEMPORARY SEED OR SOD WITHIN 72 HOURS OF COMPLETING GRADING IN EACH AREA.
- SEED, SOD, MULCH AND FERTILIZER SHALL MEET THE FOLLOWING SPECIFICATIONS, AS MODIFIED.
 

ITEM	SPECIFICATION NUMBER
SOD	MNDOT 3876
SEED	MNDOT 3876
	TYPE 50 @ 40 LB/AC
	TYPE 10A @ 60 LB/AC
MULCH (TYPE I DISC ANCHORED)	MNDOT 3882
FERTILIZER	MNDOT 3881
GENERAL PLACEMENT	MNDOT 2575
- SEE LANDSCAPING SHEETS FOR PERMANENT TURF ESTABLISHMENT.
- SWEEP ADJACENT STREETS CLEAN DAILY.
- THE CONTRACTOR SHOULD HAVE A SWEEPER ON SITE OR AVAILABLE WITHIN 3 HOURS. ALL MATERIAL TRACKED ONTO CITY STREETS MUST BE REMOVED IMMEDIATELY UPON DISCOVERY, OR AS DIRECTED BY THE CITY ENGINEER.
- INSTALLATION OF SILT FENCE AND OTHER DOWN GRADIENT SEDIMENT PROTECTION MEASURES SHALL BE COMPLETED AND INSPECTED PRIOR TO COMMENCEMENT OF ANY SITE ACTIVITIES.

**NPDES AREA SUMMARY**

	EXISTING*	PROPOSED	ULTIMATE
PERVIOUS	1.09 ACRES	0.21 ACRES	0.21 ACRES
IMPERVIOUS	0.14 ACRES	1.02 ACRES	1.02 ACRES
TOTAL	1.23 ACRES	1.23 ACRES	1.23 ACRES

\*EXISTING AREA'S ARE BASED ON THE PROPOSED CONDITIONS OF THE SUNWOOD REALIGNMENT AND WISER CHOICE LIQUOR PLANS.

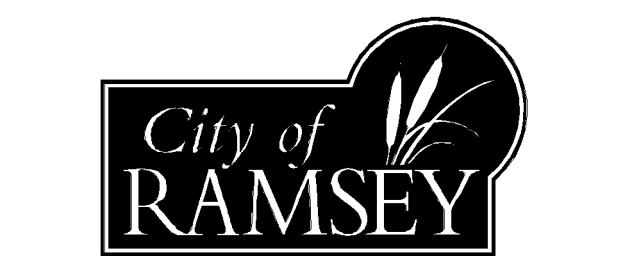
**LEGEND**

- CONSTRUCTION LIMITS
- - - SILT FENCE
- INLET PROTECTION
- - - GRADE BREAK

**DEVELOPER**

**RAMSEY HRA**  
7550 SUNWOOD DRIVE  
RAMSEY, MN 55303  
TEL: (763) 427-1410 · FAX: (763) 427-5543

**MUNICIPALITY**



**PROJECT**

**SUPERAMERICA  
SUNWOOD RETAIL  
RAMSEY, MINNESOTA**

**SHEET INDEX**

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C7.1	CIVIL CONSTRUCTION DETAILS
C7.2	CIVIL CONSTRUCTION DETAILS
L2.1	LANDSCAPE DETAILS
L2.2	STREETSCAPE PLAN
L2.3	LANDSCAPE DETAILS
L2.4	LANDSCAPE DETAILS
E2.1	SITE PHOTOGRAPHS

**REVISION HISTORY**

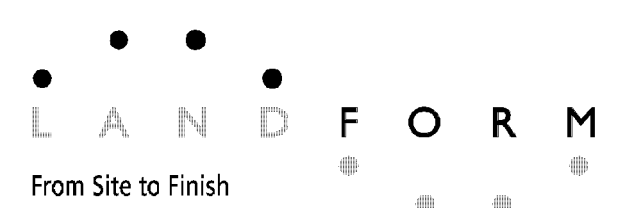
DATE	REVISION	REVIEW
09 SEPT 2012	PRELIMINARY SITE PLAN SUBMITTAL	SES
27 SEPT 2012	RESPONSE TO CITY COMMENTS	SES

**PROJECT MANAGER REVIEW**

BY: [Signature] DATE: 09/27/12

**CERTIFICATION**

**SITE PLAN SUBMITTAL  
27 SEPTEMBER 2012**

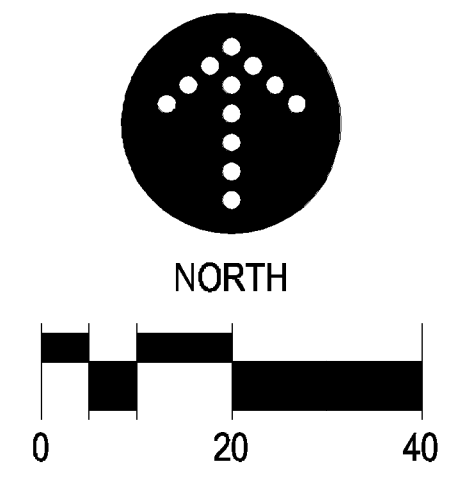


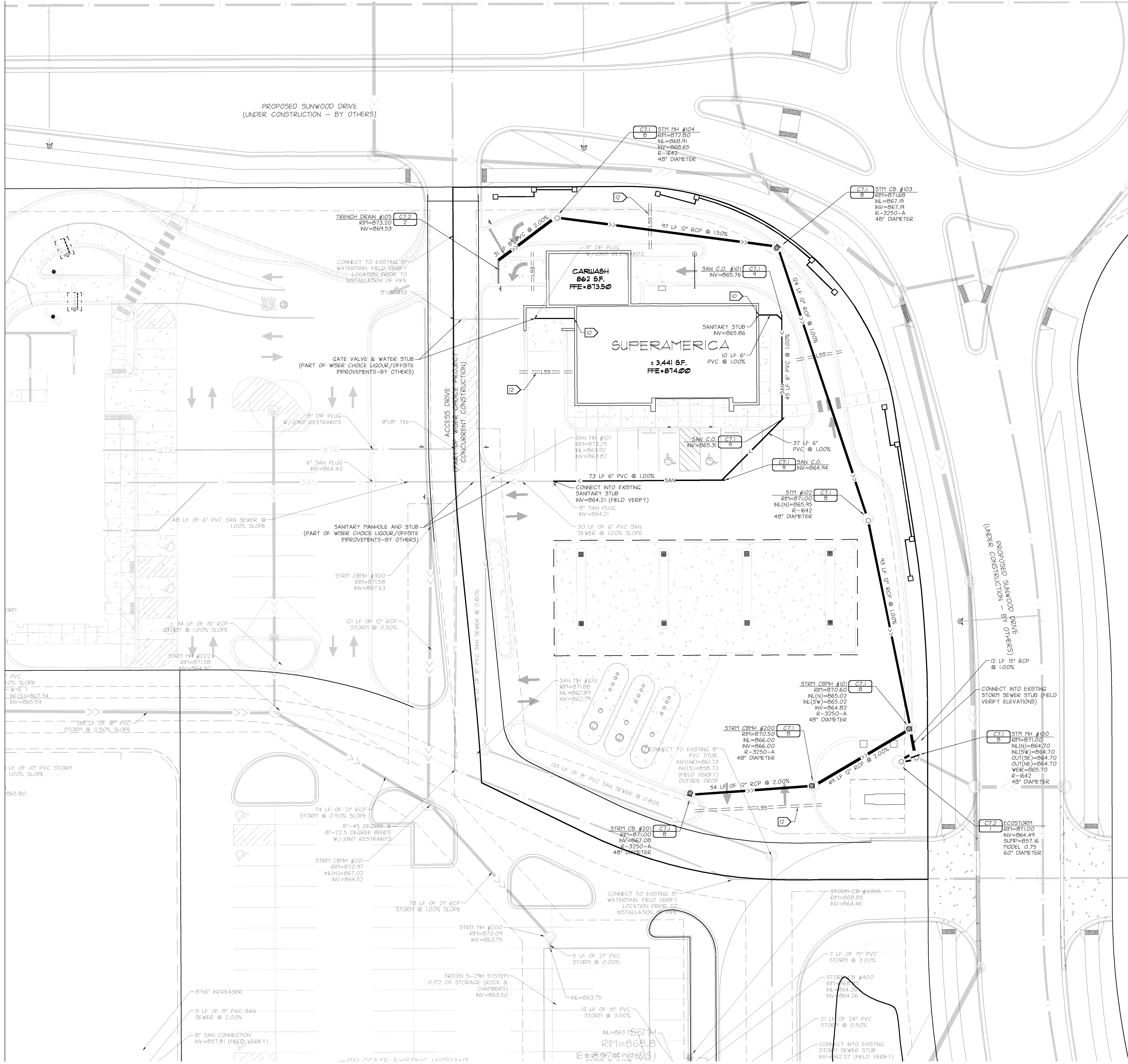
105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME: C301RAM025.DWG  
PROJECT NO.: KPL12001

**GRADING, DRAINAGE, PAVING  
& EROSION CONTROL PLAN**

**C3.1**





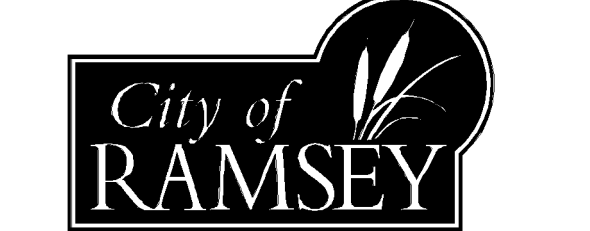
**UTILITY NOTES**

- PIPE MATERIALS:  
 WATER SERVICE: DIP CLASS 52  
 SANITARY SEWER: PVC SDR 35  
 STORM SEWER: RCP CLASS 5  
 PVC SDR 35
- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING.
- COORDINATE WITH PRIVATE UTILITIES TO PROVIDE ELECTRIC, NATURAL GAS, AND COMMUNICATIONS SERVICES TO BUILDING.
- PROVIDE MEANS AND MEASURES TO PROTECT ADJACENT PROPERTY FROM DAMAGE DURING UTILITY INSTALLATION.
- PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE OR END OF END SECTION.
- INSTALL TRACER WIRE WITH UTILITIES WITHIN THE PUBLIC RIGHT-OF-WAY OR EASEMENTS.
- CONNECT TO CITY UTILITIES IN ACCORDANCE WITH CITY OF RAMSEY STANDARDS.
- MAINTAIN 7.5 FEET OF COVER ON WATER.
- CONTACT CITY OF RAMSEY BUILDING DEPARTMENT, FOR FLUSHING AND PRESSURE TEST INSPECTIONS.
- BRING WATER AND SEWER SERVICES INTO BUILDING PER MECHANICAL DRAWINGS.
- IF DEWATERING IS REQUIRED TO COMPLETE ANY WORK, THE CITY NEEDS TO REVIEW EACH PERMIT PRIOR TO IMPLEMENTATION.
- IRRIGATION SLEEVE TO BE 4" SCHEDULE 80 PVC IN DRIVE ASBLES BURIED 24" BELOW GRADE. SLEEVES TO BE LOCATED AS SHOWN ON PLAN. EXTEND SLEEVES 2' BEYOND THE BACK OF CURB. COORDINATE WITH IRRIGATION CONTRACTOR.

**DEVELOPER**

**RAMSEY HRA**  
 7550 SUNWOOD DRIVE  
 RAMSEY, MN 55303  
 TEL: (763) 427-4110 • FAX: (763) 427-5543

**MUNICIPALITY**



**PROJECT**

**SUPERAMERICA  
 SUNWOOD RETAIL  
 RAMSEY, MINNESOTA**

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DATE	REVISION	REVIEW
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27 SEPT 2012	RESPONSE TO CITY COMMENTS	SES

**PROJECT MANAGER REVIEW**

**CERTIFICATION**

IF THE SIGNATURE, SEAL OR FOUR LINES CHECKMARKS ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

**SITE PLAN SUBMITTAL  
 27 SEPTEMBER 2012**

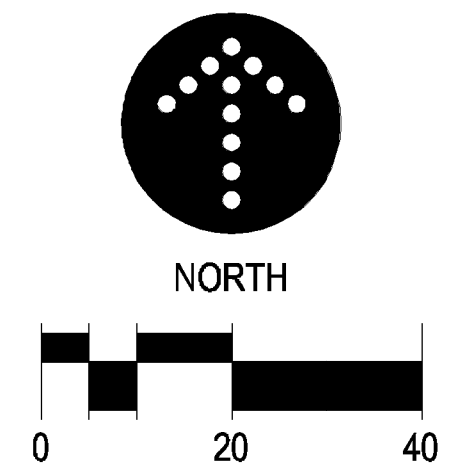
**LANDFORM**  
 From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070  
 Suite 513 Fax: 612-252-9077  
 Minneapolis, MN 55401 Web: landform.net

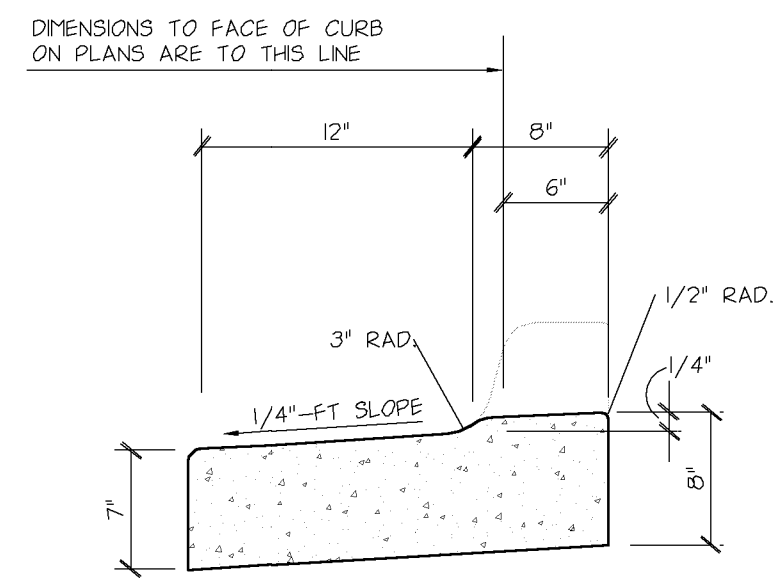
FILE NAME: C401RAM0XX.DWG  
 PROJECT NO: KPL12001

**UTILITIES**

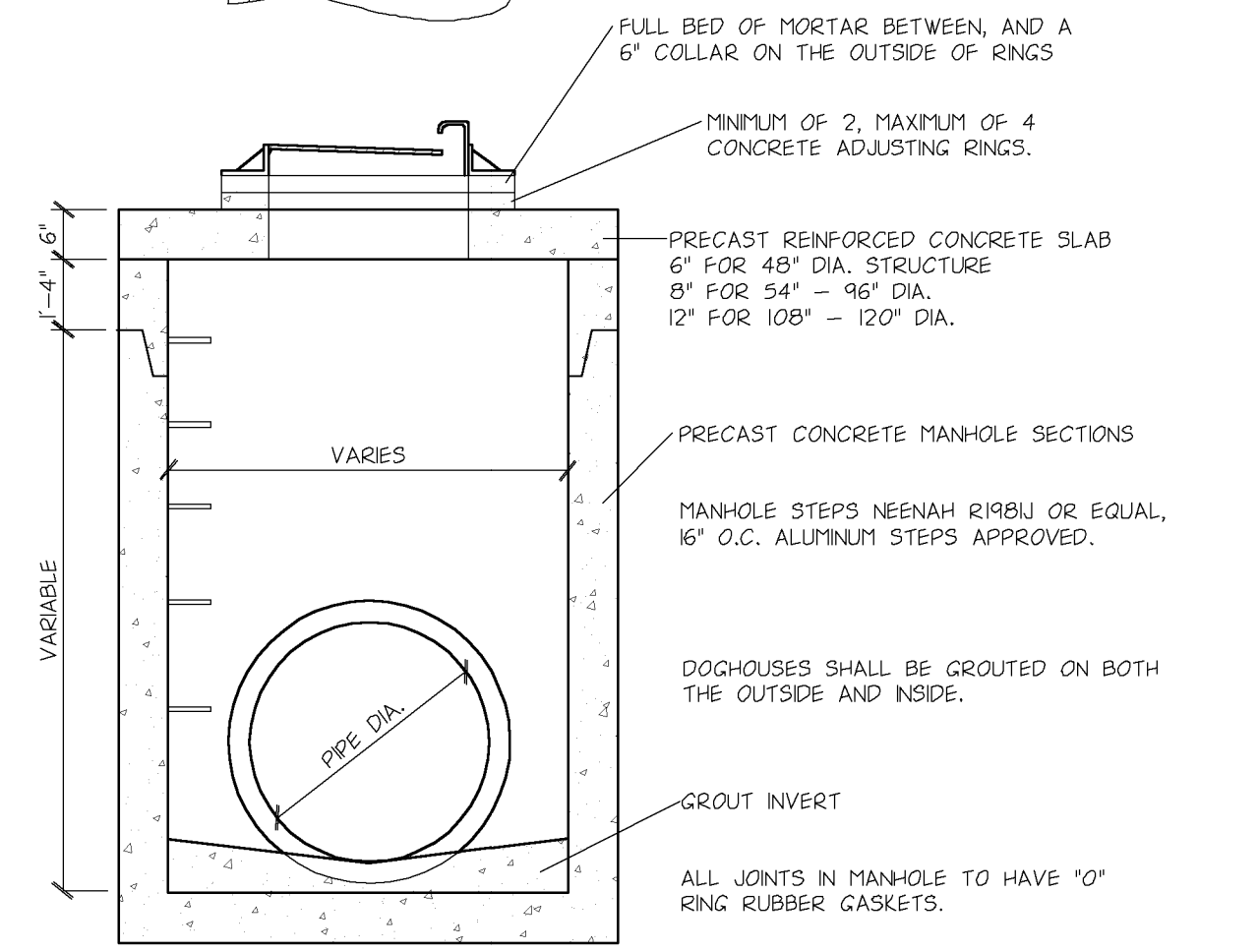
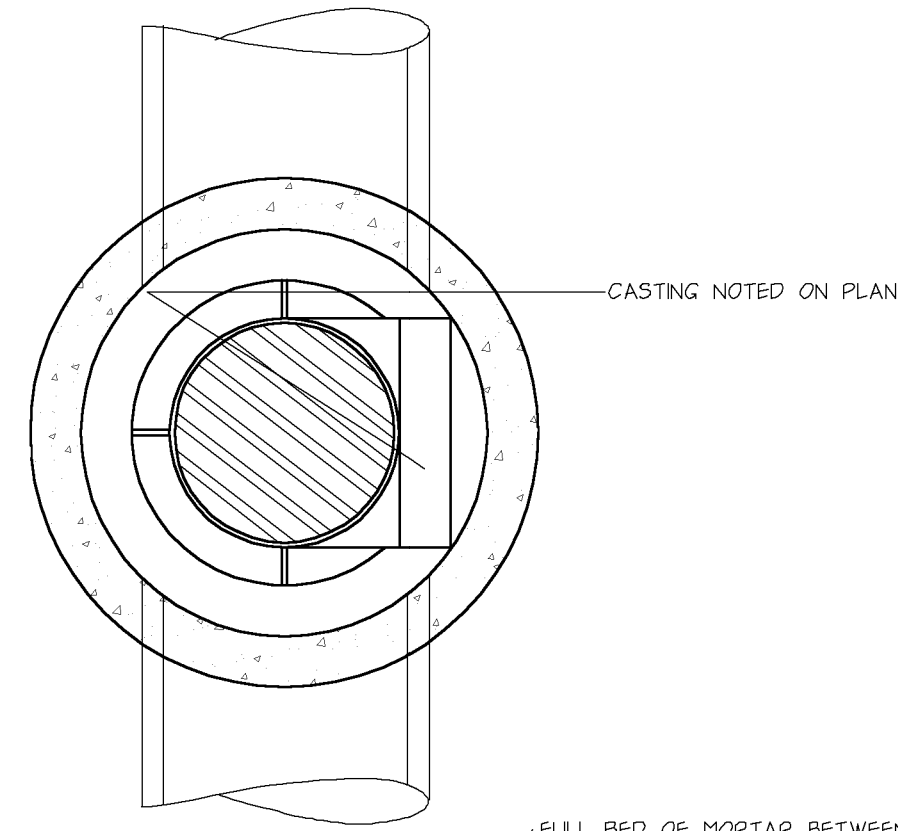
**C4.1**



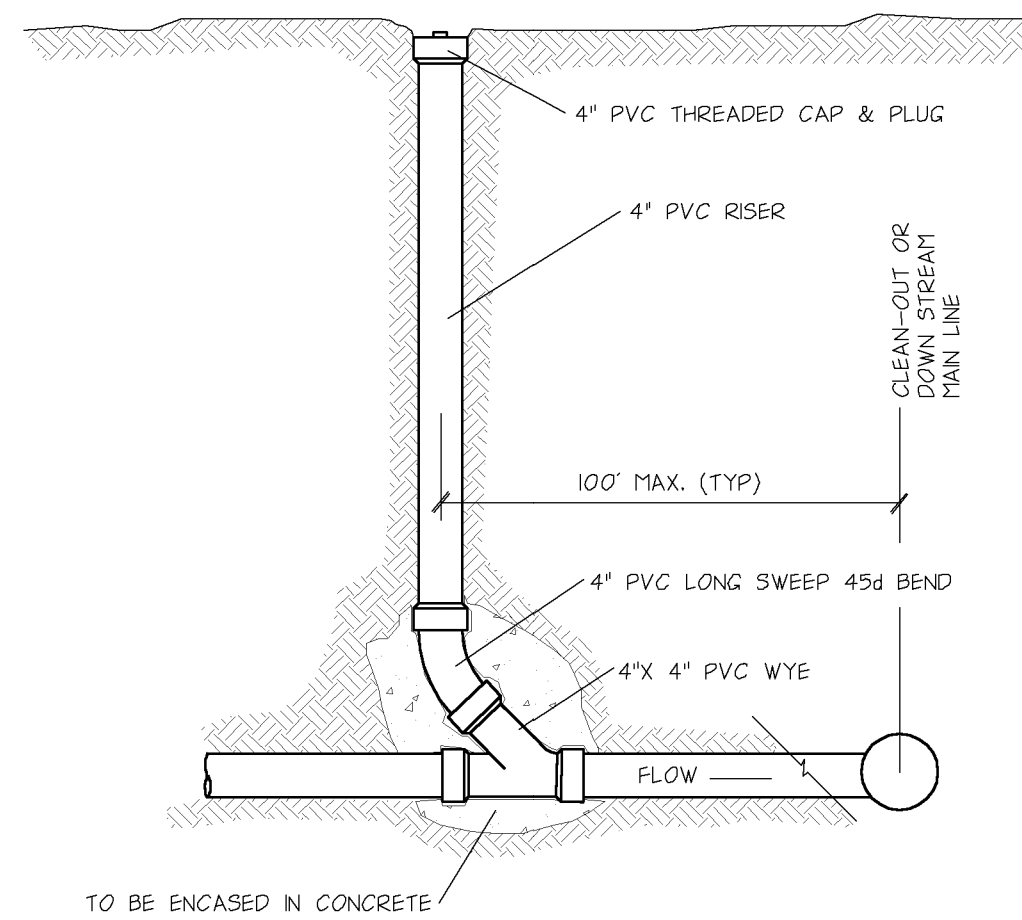




**7 CONCRETE RIBBON CURB** NO SCALE

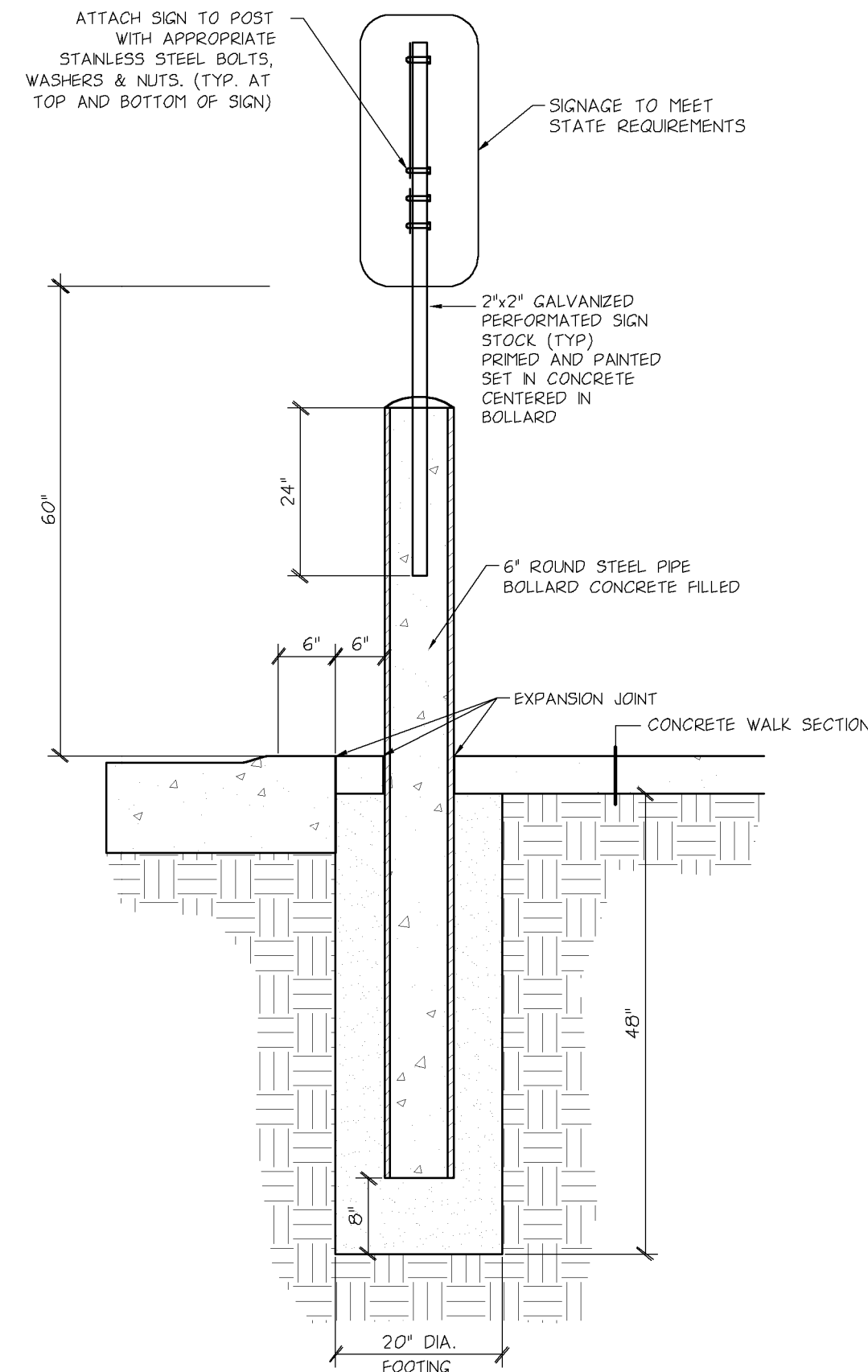


**8 STORM SEWER CATCH BASIN MANHOLE** NO SCALE

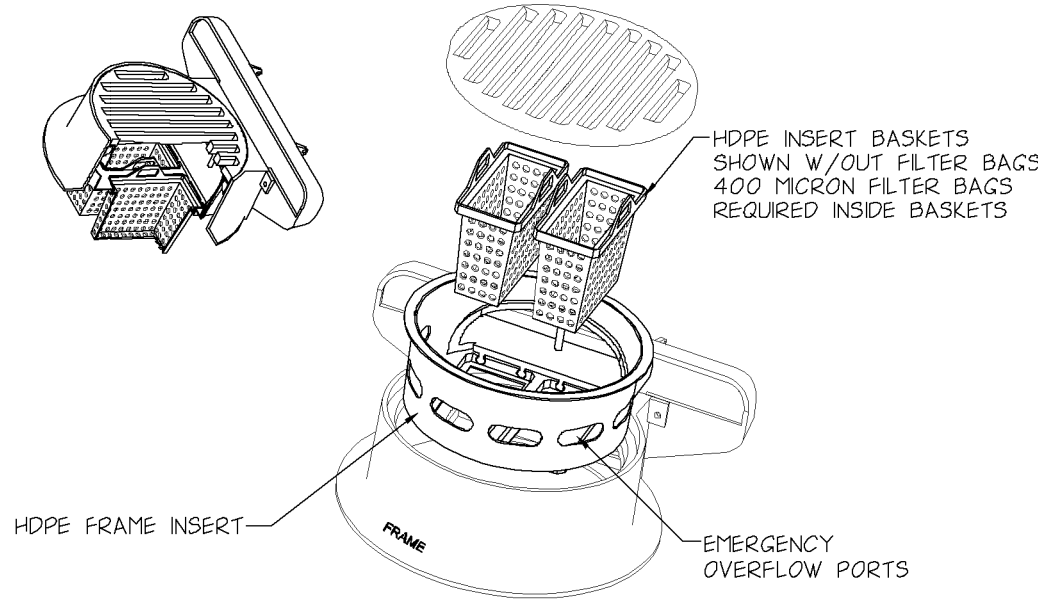


**9 CLEAN-OUT STRUCTURE** NO SCALE

NOTES:  
RISER PIPE SHALL BE EXTENDED ABOVE GROUND LEVEL INITIALLY & THEN IT MAY BE CUT BACK TO MATCH FINAL GRADE (BY OTHERS)  
POSITION CLEAN-OUTS UPSTREAM OF BENDS, WHEN FEASIBLE.

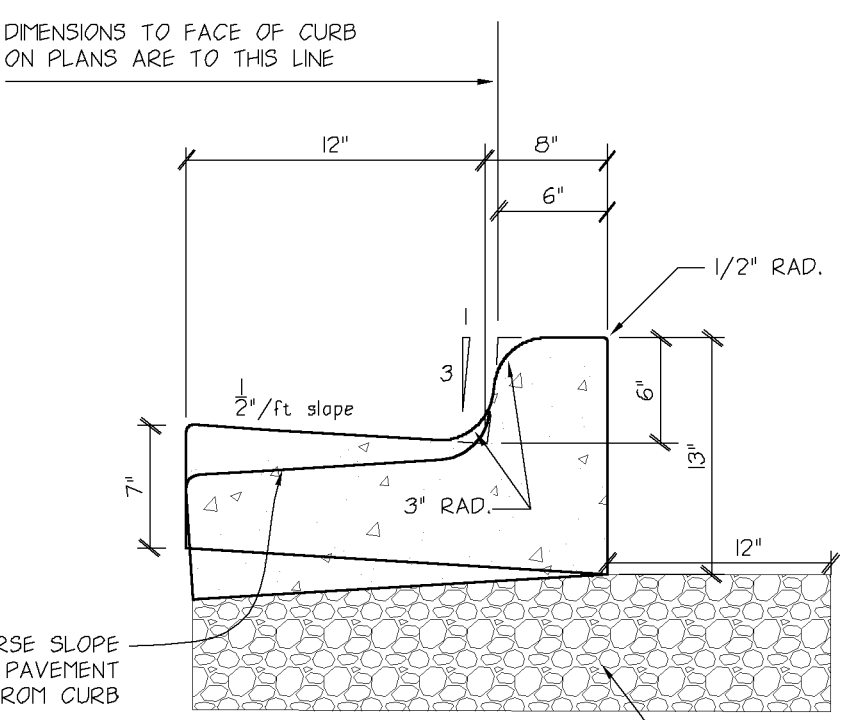


**4 ROUND BOLLARD W/ ACCESSIBLE SIGNAGE** NO SCALE

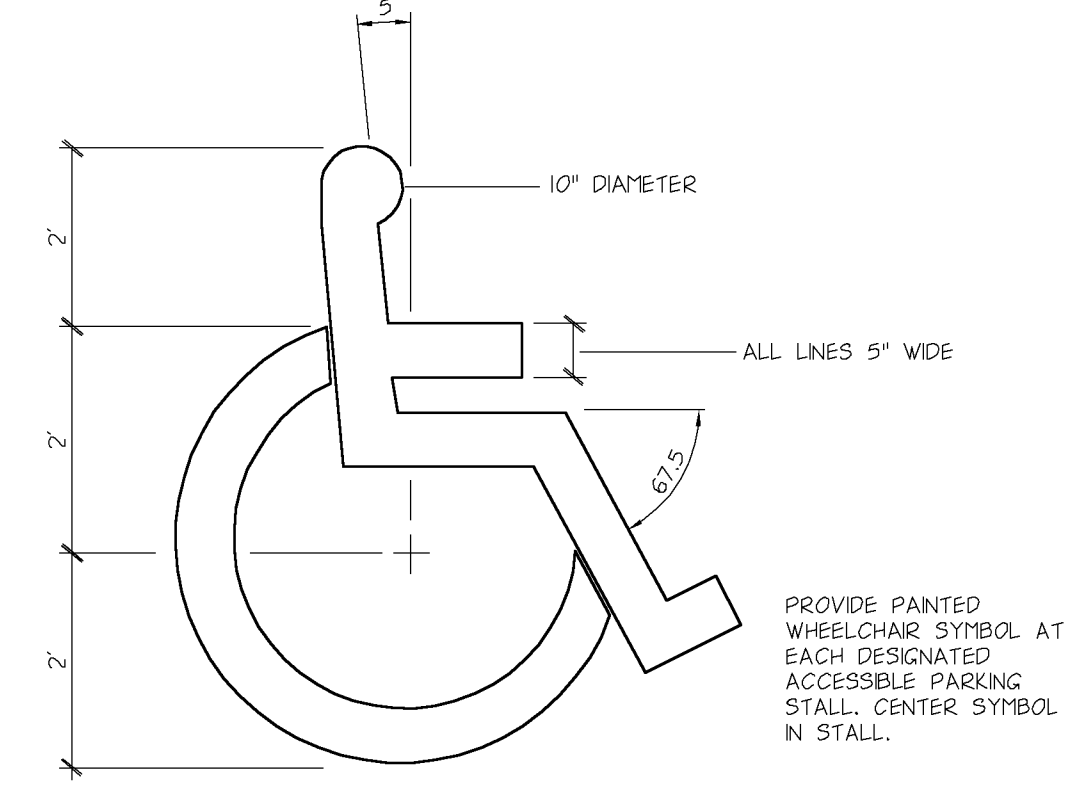


INFRASAFE - DEBRIS COLLECTION DEVICE  
AS MANUFACTURED BY ROYAL ENVIRONMENTAL SYSTEMS  
ALTERNATIVE ALLOWED AS APPROVED BY PERMITTING AUTHORITIES

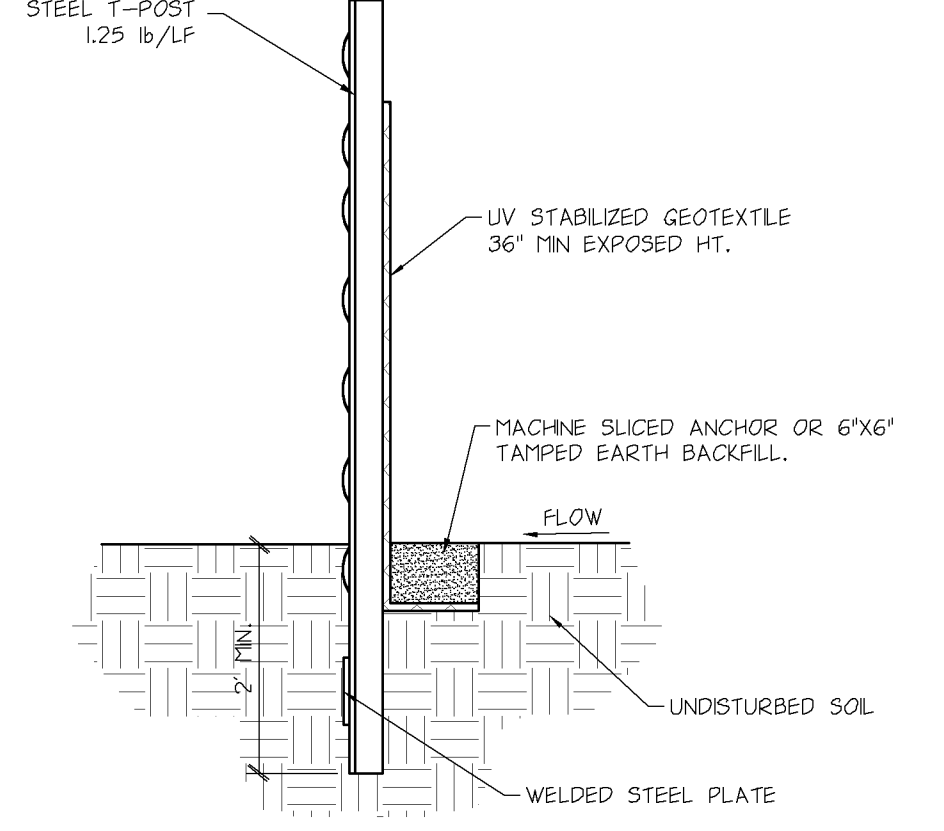
**5 INLET PROTECTION** NO SCALE



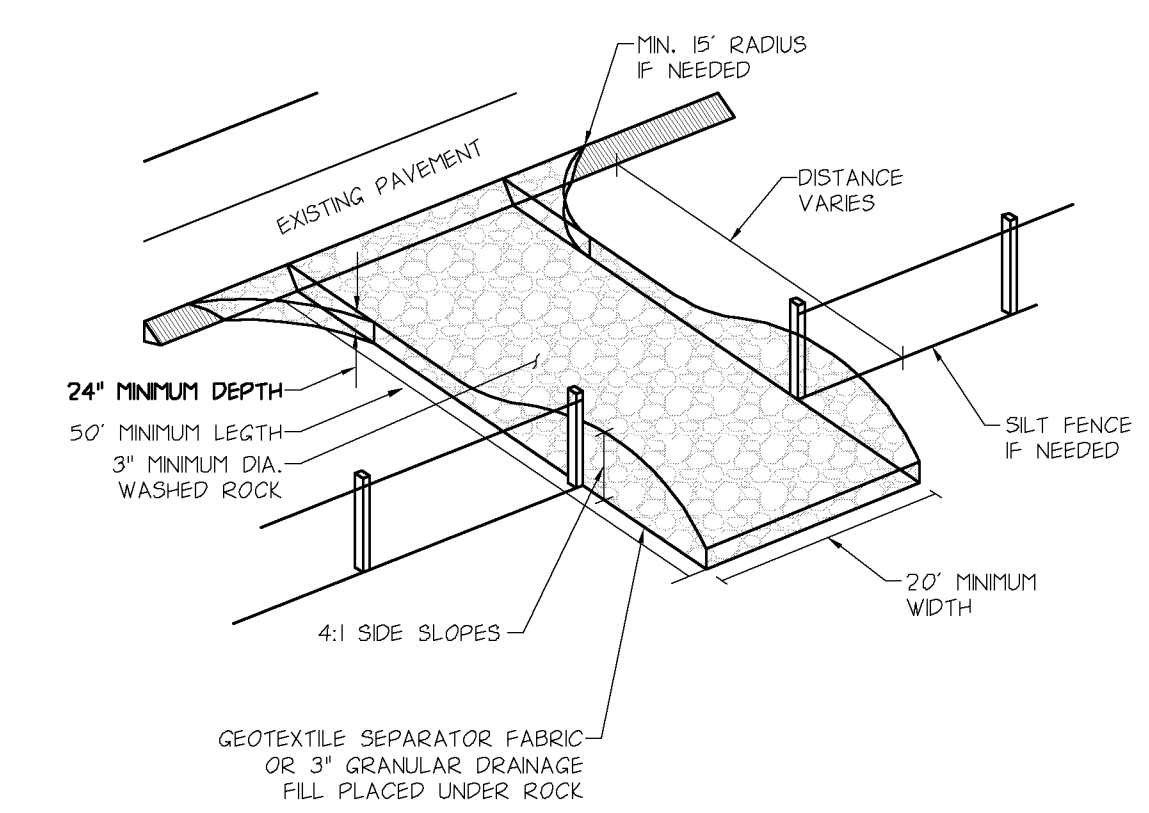
**6 B612 CURB SECTION** NO SCALE



**1 ACCESSIBLE SYMBOL** NO SCALE



**2 SILT FENCE** NO SCALE



**3 VEHICLE TRACKING PAD** NO SCALE

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**REVISION HISTORY**

DATE	REVISION	REVIEW
09 SEPT 2012	PRELIMINARY SITE PLAN SUBMITTAL	SES
27 SEPT 2012	RESPONSE TO CITY COMMENTS	SES

**PROJECT MANAGER REVIEW**  
BY: SES DATE: 09/27/12

**CERTIFICATION**

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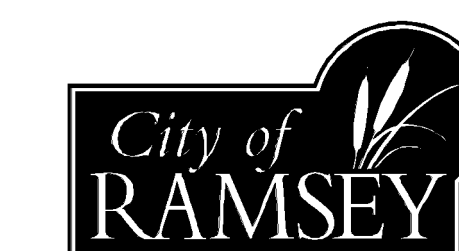
**SITE PLAN SUBMITTAL**  
27 SEPTEMBER 2012

**LANDFORM**  
From Site to Finish

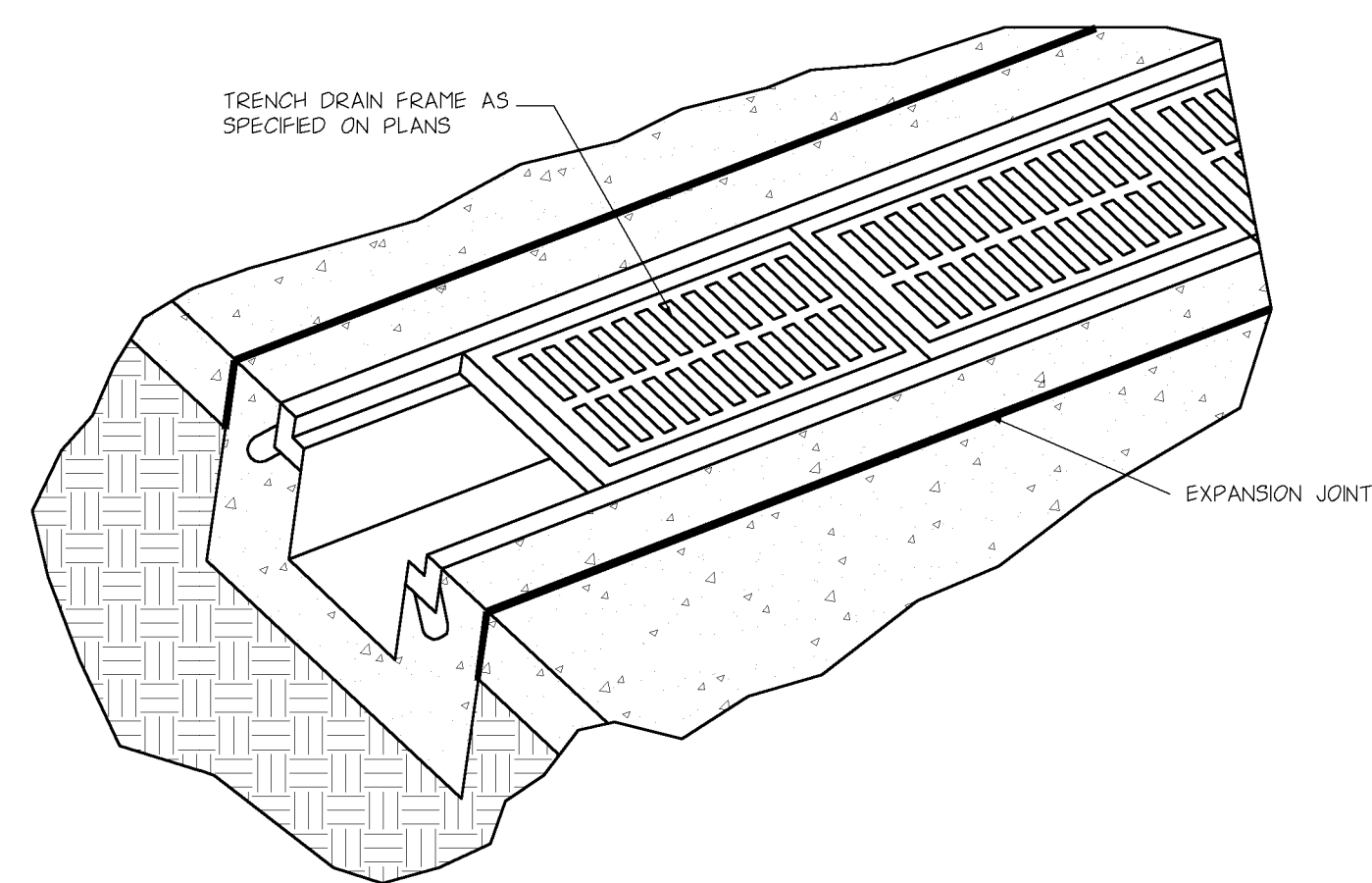
105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME: C701RAM\ccc.dwg  
PROJECT NO.: KPL12001

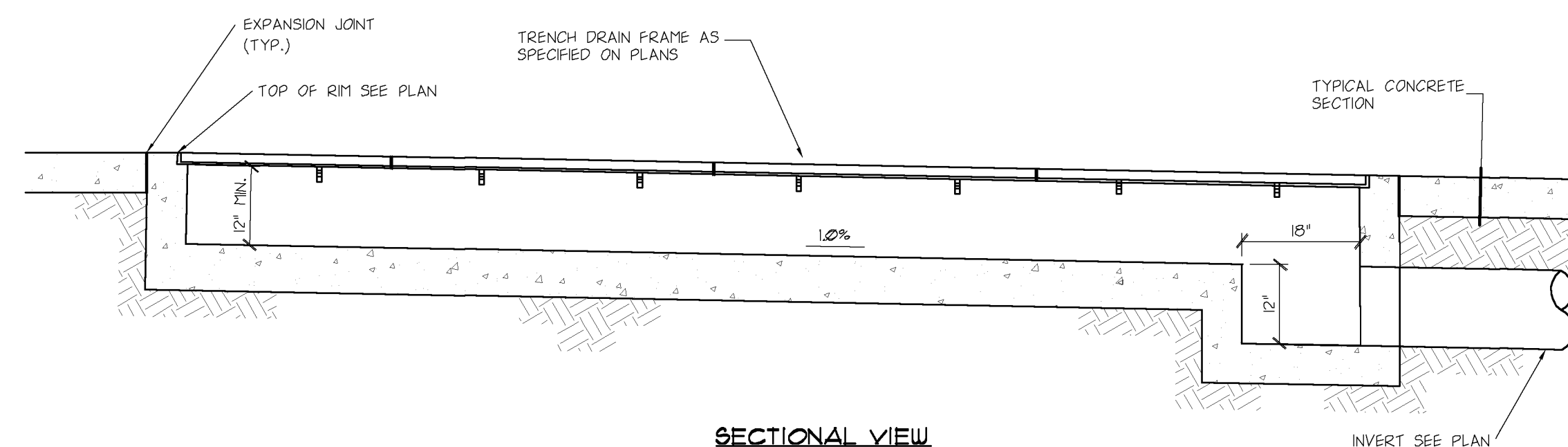
**CIVIL CONSTRUCTION DETAILS**  
**C7.1**



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PERSPECTIVE VIEW



SECTIONAL VIEW

2 TRENCH DRAIN NO SCALE

**ecoStorm OFF-LINE System**

STRM CBMH #100 (Ø60")  
RIM = 871.00  
INV = 864.70  
WEIR = 865.70

MODEL 0.75 ECOSTORM (Ø60")  
RIM = 871.00  
INV = 864.70  
SUMP = 857.37

**Royal**  
ENVIRONMENTAL SYSTEMS, INC.  
A Division of Royal Enterprises America  
(651) 462-2130  
www.royalenterprises.net

Project: THE COR 2 Location: RAMSEY, MN  
Owner: KENTER OWNER Scale: 1" = 5'  
Engineer: LANDFORM Drawn By: LRH  
Contractor: TBD Date: 8-31-12  
Manufacturer: Royal Concrete Pipe Drawing #: ecoStorm-Layout.dwg  
Product Designation: ecoStorm - Gross Particulate Separation Technology

Proprietary Information: Patent Pending Design. All rights reserved - Royal Environmental Systems, Inc.  
Royal Environmental Systems not responsible for any field testing or mitigation procedures (if required).

Drawn By: 8-31-12 LRH  
Rev. Date:

**Royal**  
ENVIRONMENTAL SYSTEMS, INC.  
A Division of Royal Enterprises America

PROJECT: THE COR 2 LOCATION: RAMSEY, MN  
OWNER: KENTER OWNER SCALE: NONE  
ENGINEER: LANDFORM DRAWN BY: LRH  
CONTRACTOR: TBD DATE: 8-31-12  
MANUFACTURER: Royal Concrete Pipe DWG NO: roy\_006-Ramsey\_011.dwg  
PRODUCT DESIGNATION: ecoStorm - gross particulate separation technology CHECK 1: RO CHECK 2: SEG  
DESIGNED BY: LRH

ecoStorm model no.	D1 dia. (ft.)	D2 dia. (ft.)	D3 dia. (in.)	H1 (in.)	H2 (in.)	"tee" PVC Diverter (in.)	Flow Diffuser Stainless Steel Plate (in.)
0.75	5.00	1.25	8.00	12.00	6.00	8.00	45°

**ecoStorm Offline**

SECTION B-B n.l.s.  
PLAN n.l.s.  
SECTION A-A n.l.s.

GENERAL NOTES:  
MANHOLE DESIGN SPECIFICATIONS CONFORM TO LATEST A.S.T.M. C478 SPEC FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS.  
DESIGN LOADING: AASHTO H20D

Proprietary Information: Patent Pending Design. All rights reserved - Royal Environmental Systems, INC.  
Royal Environmental Systems not responsible for any field testing or mitigation procedures (if required).

1 ECOSTORM DETAILS NO SCALE

REVISION HISTORY

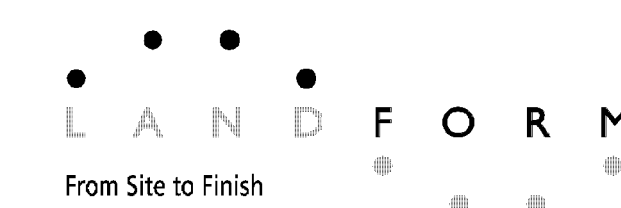
DATE	REVISION	REVIEW
09 SEPT 2012	PRELIMINARY SITE PLAN SUBMITTAL	SES
27 SEPT 2012	RESPONSE TO CITY COMMENTS	SES

PROJECT MANAGER REVIEW

BY	DATE
BY SES	DATE 09/27/12

CERTIFICATION

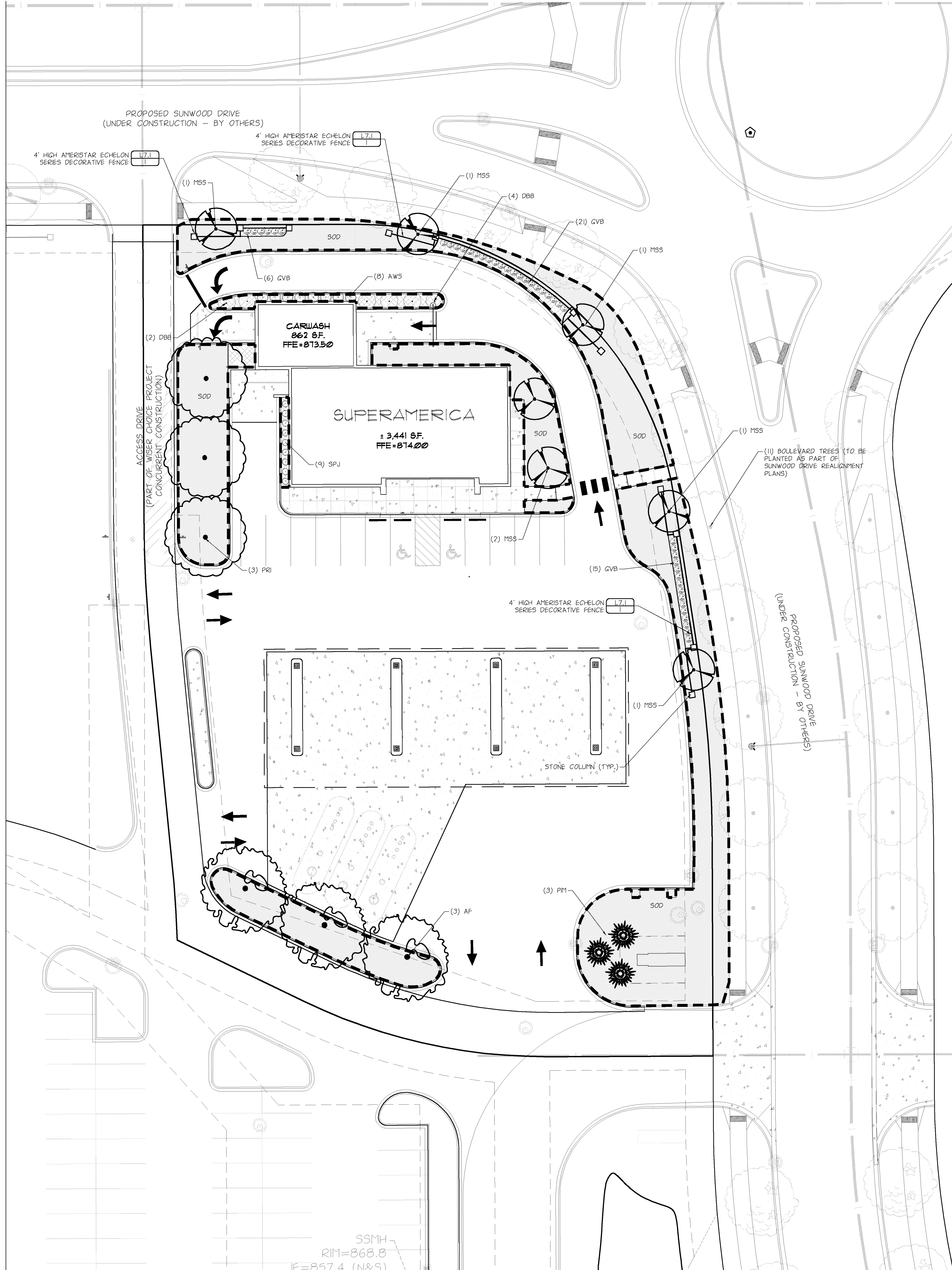
SITE PLAN SUBMITTAL  
27 SEPTEMBER 2012



105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME: C702KPL001.DWG  
PROJECT NO: KPL12001

CIVIL CONSTRUCTION  
DETAILS  
**C7.2**



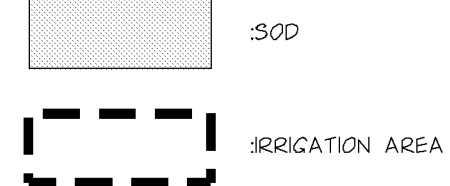
- ### IRRIGATION NOTES
- REVIEW AND COORDINATE WITH EXISTING SUNWOOD IRRIGATION SYSTEM. PRIMARY SYSTEM IMPROVEMENTS INCLUDE 2" IRRIGATION MAINLINE AND ZONE WIRES ALONG NORTH SIDE OF SUNWOOD DRIVE. SYSTEM HAS TWO WATER CONNECTIONS THAT SUPPLY THE IRRIGATION MAINLINE AND ARE INTERCONNECTED. TWO CONTROLLERS ON EACH END CONTROL THE WEST AND EAST HALF, RESPECTIVELY. THE CONTROLLER ON THE WEST END IS TO BE RELOCATED TO THE LOCATION SHOWN ON THE PLAN. WIRES ALONG MAINLINE ARE 48-ZONE AND 2 COMMON. THEY ARE TO BE CUT AT THE LOCATIONS SHOWN ON THE PLAN AND RECONNECTED TO THE RELOCATED CONTROLLER OR THE NEW CONTROLLER AS INDICATED ON THE PLAN.
  - RCT REMOTE CONTROL TO BE REMOTE CONTROL TECHNOLOGY. PROVIDE 1-TRC CONTROLLER TRANSMITTER (WITH CASE), MODEL #01035 (OPTIONAL CASE). PROVIDE 2-PERMANENT RECEIVER CARDS FOR EACH ESP MC (FOR 40 STATION) MODEL #01060. INSTALL PERMANENT RECEIVER CARDS INTO EXISTING RAIN BIRD ESP-MC CONTROLLERS.
  - RAN BIRD ROOT WATERING SYSTEM IS TO BE INSTALLED NEAR THE ROOTBALL OF THE TREE. THE ROOT WATERING SYSTEM IS TO INCLUDE THE BASIC ROOT WATERING SYSTEM WITH 1/2" SWING ARM, GRATE, SAND SOCK, AND MODIFICATION OF THE BUBBLER TO DRIP. MODIFICATION OF BUBBLER INCLUDES: REMOVING BUBBLER, RETROFIT A DRIP CONNECTION, MICRO VALVES (CONTROL WATER), MICRO TUBING, AND DRIP EMITTERS. DRIP EMITTERS TO WATER ROOTBALL OF TREE. PLACE THREE DRIP EMITTERS IN TRIANGULAR SPACING. DRIP EMITTER FLOW TO BE GREATER THAN DROPLINE AND IDENTIFIED AND APPROVED IN THE FIELD. INTENT OF SYSTEM IS TO PROVIDE WATER CONTROL OF THE TREE SEPARATE FROM THE DROPLINE, WITH THE ABILITY TO SHUT OFF TREE EMITTERS WITHOUT IMPACTING DROPLINE OPERATION. THE BASIC ROOT WATERING SYSTEM AND GRATE IS TO SERVE AS AN AIR RELIEF PIPE, THAT WILL ALLOW OBSERVATION OF THE WATER TABLE WITHIN THE PLANTING BED.
  - PROVIDE AND INSTALL OPERATION INDICATOR AT END OF ZONE, TO ILLUSTRATE IF ZONE IS OPERATIONAL. DEVICE TO BE A POP-UP MODEL FOR DRIP ZONES, APPROVED BY IRRIGATION DESIGNER, AND SHALL NOT EJECT WATER. LOCATE WITHIN PLANTING BEDS TO MINIMIZE VISIBILITY.
  - IRRIGATION SYSTEM IS DIAGRAMMATIC, CONTRACTOR TO VERIFY AND DESIGN PER ACTUAL PRESSURE, PER LOCAL CODES, AND PER SITE REQUIREMENTS. FIELD VERIFY LOCATION OF COMPONENTS WITH ACTUAL CONDITIONS PRIOR TO INSTALLATION. ADJUST AS NEEDED FOR COMPLETE COVERAGE. SYSTEM TO INCLUDE ALL PLUMBING AND ELECTRICAL, INCLUDING CONDUIT, SLEEVING, AND WEATHER-PROOF ENCLOSURES. SYSTEM SHALL BE COMPLETE. CONTRACTOR TO PROVIDE SHOP DRAWINGS, DESIGN PRESSURE DESIGN CALCULATIONS, AND RELATED PRODUCT SHEETS FOR OWNER OR LANDSCAPE ARCHITECT APPROVAL. CONTRACTOR TO PROVIDE TWO 'AS-BUILT' DRAWINGS OF IRRIGATION SYSTEM AT THE COMPLETION OF THE PROJECT. IRRIGATION PER PLANS ARE PART OF A LARGER SYSTEM, SEE PLANS FOR FURTHER INFORMATION. COORDINATE AND VERIFY IRRIGATION AS NEEDED TO INTEGRATE INTO PRIMARY SYSTEM.
  - ALL PIPE 1/2" OR GREATER SHALL BE SDR 26 CLASS 200 FOR MAINLINE AND CLASS 160 FOR LATERAL LINE PVC PIPE (DO NOT EXCEED 35 GPM FOR 1/2" AND 50 GPM FOR 3/4"). ALL PIPE 1/2" OR 3/4" SHALL BE 100 POLY PIPE AS INDICATED (DO NOT EXCEED 13 GPM FOR 1/2" AND 22 GPM FOR 3/4"). PIPE SIZE TO BE IDENTIFIED BY CONTRACTOR PER ZONE REQUIREMENTS. LOCATE IRRIGATION AWAY FROM PLANT MATERIAL.
  - ALL WRING, BACKFLOW PREVENTOR, AND PLUMBING AS PER LOCAL CODE. WATER CONNECTION BY MECHANICAL AND UTILITY CONTRACTOR. VERIFY AND ADD BOOSTER PUMP AS REQUIRED.
  - ALL VALVES AND QUICK COUPLERS SHALL BE LOCATED IN VALVE BOXES SIZED FOR NORMAL MAINTENANCE, FLUSH WITH FINAL GRADE. PROVIDE (2) QUICK COUPLER KEYS AND HOSE SWIVELS.
  - THE IRRIGATION SYSTEM SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATION.
  - FIRST YEAR WINTERIZATION AND SPRING START UP OF SYSTEM SHALL BE PERFORMED BY IRRIGATION CONTRACTOR.
  - MINIMUM 4" PVC SCHEDULE 40 SLEEVING SHALL BE REQUIRED UNDER ALL WALKS AND ROADWAYS. PROVIDE 12" LENGTH OF #3 REBAR AT EACH TEMPORARILY SEALED END FOR FUTURE LOCATION. EXTEND SLEEVING AT LEAST 2 FEET BEYOND EDGE OF PAVEMENT. PROVIDE PVC STAND PIPE FOR LOCATING ENDS OF SLEEVING. PROVIDE TWO SIZES LARGER THAN PIPE SIZE. PROVIDE ADDITIONAL SLEEVING FOR WRING, AS NEEDED.
  - BIDDING CONTRACTORS SHOULD BECOME THOROUGHLY FAMILIAR WITH ALL FACETS OF THE PROPOSED IRRIGATION SYSTEM. FAILURE TO CLARIFY MISUNDERSTANDINGS, OR INTENT OF THESE DRAWINGS AND SPECIFICATIONS BEFORE SUBMITTAL OF BID SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - THE IRRIGATION CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES AND SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE OR DISTURB UTILITIES OR EXISTING CONDITIONS. CONTRACTOR SHALL REPAIR/RESTORE ANY DAMAGE INVOLVING IRRIGATION INSTALLATION.

- ### IRRIGATION NOTES
- INSTALL RAIN SENSOR(S) ON EXTERIOR WEATHER EXPOSED VERTICAL SURFACE(S). COORDINATE WITH OWNER'S AUTHORIZED REPRESENTATIVE AS TO FINAL LOCATION.
  - ALL LANDSCAPED AREAS SHALL BE IRRIGATED AND THE IRRIGATION SYSTEM SHALL INCLUDE RAIN SENSORS AND A BACKFLOW PREVENTER DEVICE.
  - CONTROL WIRE WILL BE SOLID COPPER WIRE ULL. APPROVED FOR DIRECT BURIAL IN GROUND. MINIMUM GAUGE: MINIMUM #14 ULL. COMMON GROUND WIRE SHALL BE MINIMUM #12 GAUGE WHITE. PROVIDE TWO EXTRA CIRCUIT WIRES AND ONE EXTRA COMMON GROUND WIRE FOR ENTIRE MAINLINE LENGTH, MARK AS APPROPRIATE. PROVIDE ONE YELLOW #16 GAUGE TRACER WIRE FOR ALL LATERAL LINES, WIRE IS TO BE CONTINUOUS AND SPLICED ONLY IN VALVE BOXES.
  - 24 VAC WIRE SPLICING MATERIAL WILL BE DIRECT BURIAL SPLICE KIT AS MANUFACTURED BY 3M.
  - SOME AREAS MAY REQUIRE RISER EXTENSIONS FOR SPRINKLERS OR A FIXED RISER WITH A SHRUB HEAD OR SHRUB ADAPTOR TO OBTAIN PROPER COVERAGE. LARGE ROTOR NOZZLES = #4-FULL, #3-3/4, #2-1/2, #1-1/4. SMALL ROTOR NOZZLES = #3-FULL, #2-3/4, #1-1/2, #0.75-1/4. ADJUST AS NEEDED. SPRAY HEADS IN TURF AREAS TO BE 6" POP-UPS AND IN LANDSCAPE BEDS TO BE 12" POP-UPS.
  - FINAL LOCATION OF WATER SOURCE SET UP TO BE APPROVED BY OWNER'S REPRESENTATIVE.
  - COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH OTHER IMPROVEMENTS.
  - ALL DRIP VALVES, FILTERS, AND PRESSURE REGULATORS SHALL BE IN A VALVE BOX. DRIP LINE SHALL BE LOOPED WITH CROSS CONNECTORS (25" MAXIMUM SPACING), NO DEAD ENDS. LOCATE PER PLANT MATERIAL. PLACE EMITTERS AT EACH PLANT AND ON HIGH SIDE IN SLOPED CONDITIONS. USE BLANK TUBING IN SLEEVES OR IN AREAS WHERE THERE IS NO PLANT MATERIAL. PLACE AIR RELIEF VALVES AT HIGH POINT AND FLUSH VALVES AT ENDS OF ZONE. PROVIDE 3/4" VALVE FOR DRIP ZONES OF 13 GPM OR LESS. USE 1" VALVE FOR DRIP ZONES GREATER THAN 13 GPM. EACH DRIP ZONE SHALL HAVE AN OPERATION INDICATOR, LOCATED WITHIN THE PLANT MATERIAL FOR FILTERED VISIBILITY. VERIFY LOCATION WITH OWNER.
  - PROVIDE 1" VALVES FOR SPRAY AND ROTAR ZONES FOR 25 GPM OR LESS, AND 1.5" VALVE FOR ZONES GREATER THAN 26 GPM.
  - CONTRACTOR TO SCHEDULE AND PROGRAM CONTROLLER AND VALVES FOR APPROPRIATE LANDSCAPE WATER REQUIREMENTS. VERIFY WITH OWNER AS TO TIME AND SPECIFIC REQUIREMENTS.

- ### LANDSCAPE NOTES
- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING.
  - COORDINATE INSTALLATION WITH CONTRACTORS PERFORMING RELATED WORK.
  - PLANT MATERIAL SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND BE OF HARDY STOCK, FREE FROM DISEASE, INFESTATION, DAMAGE, AND DEFORMATION. FOR DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE SCHEDULE AND THE NUMBER SHOWN ON THE DRAWING, THE DRAWING SHALL GOVERN.
  - PLANTING SOIL SHALL CONSIST OF 4 PARTS TOPSOIL TO 1 PART PEAT HUMUS, WITH 3 POUNDS OF COMMERCIAL FERTILIZER ADDED PER CUBIC YARD.
  - SPREAD A MINIMUM OF 6 INCHES OF TOPSOIL AND SOD ALL TURF AREAS DISTURBED BY CONSTRUCTION.
  - 4 INCHES OF #200 PREMIUM TOPSOIL BORROW SHALL BE APPLIED TO ALL AREAS NOT OTHERWISE IMPROVED WITH BUILDINGS AND IMPERVIOUS SURFACES.
  - EDGE SHRUB BEDS WITH 6-INCH BLACK VINYL EDGING (BLACK DIAMOND OR APPROVED EQUAL).
  - PLACE PLANTS ACCORDING TO LAYOUT WITH PROPER NOMINAL SPACING.
  - SEE DETAILS FOR DEPTH OF PLANTING SOIL.
  - INSTALL 4 INCH DEPTH OF SHREDDED HARDWOOD BARK MULCH IN SHRUB BED AREAS.
  - INSTALL A 4-FOOT DIAMETER SHREDDED HARDWOOD BARK MULCH DISH AROUND TREES NOT PLACED WITHIN A SHRUB OR PERENNIAL PLANTING BED, UNLESS NOTED OTHERWISE.

### PRELIMINARY PLANT SCHEDULE

SYMBOL	QUANTITY	KEY	COMMON NAME	SCIENTIFIC NAME	PLANTING SIZE	ROOT COND.	MATURE SIZE
<b>DECIDUOUS TREES</b>							
	3	PRI	PRINCETON ELM	ULMUS AMERICANA 'PRINCETON'	2.5" CAL.	B&B	80'H X 60'W
	3	AF	AUTUMN BLAZE MAPLE	ACER X FREMANII 'JEFFERSON'	2.5" CAL.	B&B	50'H X 40'W
	7	MSS	SPRING SNOW CRABAPPLE	MALUS 'SPRING SNOW'	2.0" CAL.	B&B	20'H X 12'W
<b>CONIFEROUS TREES</b>							
	3	PM	BLACK SPRUCE	PICEA MARIANA	6' HT.	B&B	50'H X 20'W
<b>DECIDUOUS SHRUBS</b>							
	6	DBB	DWARF BURNING BUSH	EUONYMUS ALTUS 'COMPACTUS'	5 GAL.	POT	6'H X 8'W
	8	AWS	ANTHONY WALTERER SPIREA	SPARGA X BUMALDA 'TROBELLI'	5 GAL.	POT	4'H X 5'W
	42	GVB	CHICAGO LAND BOXWOOD	BUXUS 'GLENGOE'	5 GAL.	POT	4'H X 5'W
	9	SPJ	LITTLE PRINCESS SPIREA	SPARGA JAPONICA 'LITTLE PRINCESS'	5 GAL.	POT	2'H X 3'W



**DEVELOPER**  
**RAMSEY HRA**  
 7550 SUNWOOD DRIVE  
 RAMSEY, MN 55303  
 TEL (763) 427-1410 • FAX (763) 427-5643

**MUNICIPALITY**

**PROJECT**  
**SUPERAMERICA SUNWOOD RETAIL**  
 RAMSEY, MINNESOTA

**SHEET INDEX**

SHEET	TITLE
C01	CIVIL TITLE SHEET
C11	EXISTING CONDITIONS
C12	PRELIMINARY PLAN
C13	FINAL PLAN (SHEET 1 OF 2)
C14	FINAL PLAN (SHEET 2 OF 2)
C21	PRELIMINARY SITE PLAN
C22	GRADING, DRAINAGE, PAVING & EROSION CONTROL
C41	UTILITIES
C71	CIVIL CONSTRUCTION DETAILS
C72	CIVIL CONSTRUCTION DETAILS
L21	LANDSCAPE
L22	STREETSCAPE PLAN
L23	LANDSCAPE DETAILS
E21	SITE PHOTOGRAPHS

### REVISION HISTORY

DATE	REVISION	REVIEW
09 SEPT 2012	PRELIMINARY SITE PLAN SUBMITTAL	SES
27 SEPT 2012	RESPONSE TO CITY COMMENTS	SES

**PROJECT MANAGER REVIEW**  
 BY SES DATE 09/27/12

**CERTIFICATION**

**SITE PLAN SUBMITTAL**  
 27 SEPTEMBER 2012

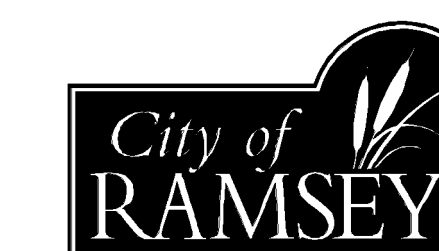
**LANDFORM**  
 From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070  
 Suite 513 Fax: 612-252-9077  
 Minneapolis, MN 55401 Web: landform.net

FILE NAME L201KPL001.DWG  
 PROJECT NO. KPL12001

**LANDSCAPE PLAN**  
**L2.1**

SSMH  
 RM=868.8  
 E=857.4 (N&S)



SHEET	TITLE
00.1	CIVIL TITLE SHEET
C1.1	EXISTING CONDITIONS
C1.2	PRELIMINARY PLAN
C1.3	FINAL PLAN (SHEET 1 OF 2)
C1.4	FINAL PLAN (SHEET 2 OF 2)
C2.1	PRELIMINARY SITE PLAN
C3.1	GRADING, DRAINAGE, PAVING & EROSION CONTROL
C4.1	UTILITIES
C7.1	CIVIL CONSTRUCTION DETAILS
C7.2	CIVIL CONSTRUCTION DETAILS
L2.1	LANDSCAPE
L2.2	STREETSCAPE PLAN
L3.1	LANDSCAPE DETAILS
E2.1	SITE PHOTOGRAPHS

REVISION HISTORY

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PROJECT MANAGER REVIEW

BY SES DATE 09/27/12

CERTIFICATION

IF THE SIGNATURE, SEAL OR FOUR LINES CHECKMARKS ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

**SITE PLAN SUBMITTAL**  
27 SEPTEMBER 2012

**LANDFORM**  
From Site to Finish

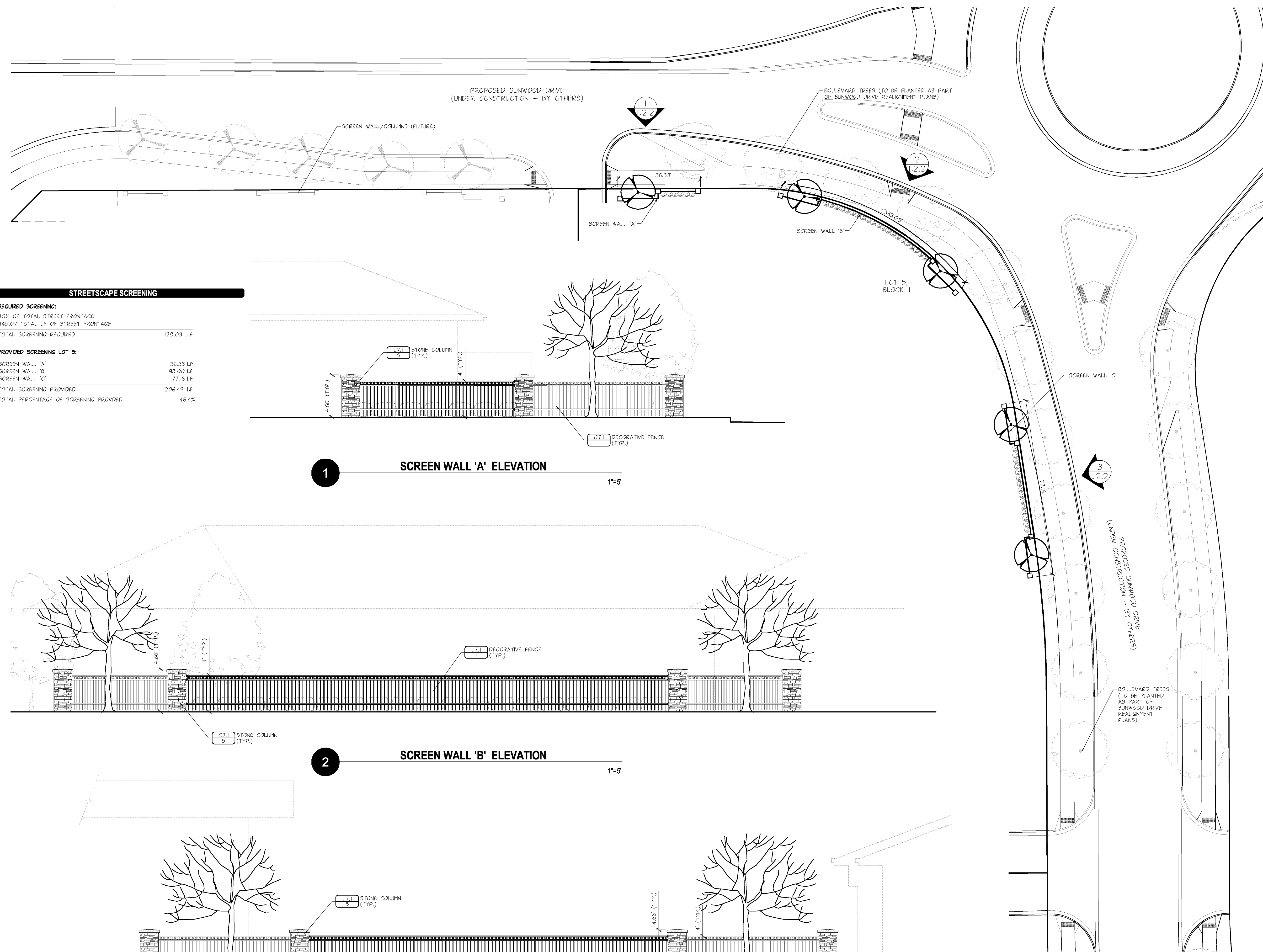
105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME L202KPL001.DWG

PROJECT NO. KPL12001

STREETSCAPE PLAN

**L2.2**



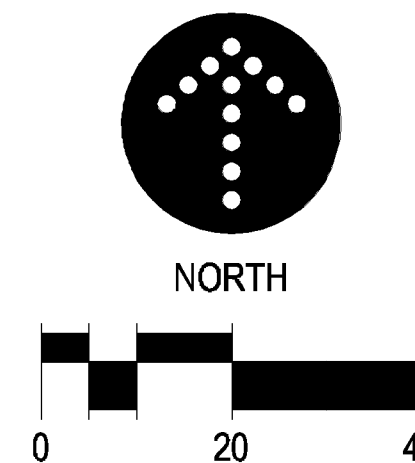
**STREETSCAPE SCREENING**

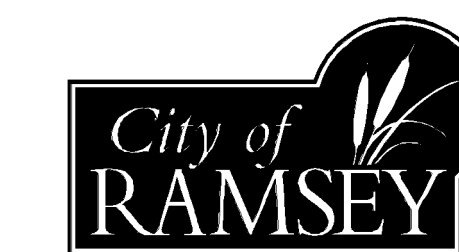
REQUIRED SCREENING:	
40% OF TOTAL STREET FRONTAGE	
449.07 TOTAL LF OF STREET FRONTAGE	
TOTAL SCREENING REQUIRED	178.03 L.F.
PROVIDED SCREENING LOT 5:	
SCREEN WALL 'A'	36.33 L.F.
SCREEN WALL 'B'	93.00 L.F.
SCREEN WALL 'C'	77.16 L.F.
TOTAL SCREENING PROVIDED	206.49 L.F.
TOTAL PERCENTAGE OF SCREENING PROVIDED	46.4%

**1 SCREEN WALL 'A' ELEVATION**  
1"=5'

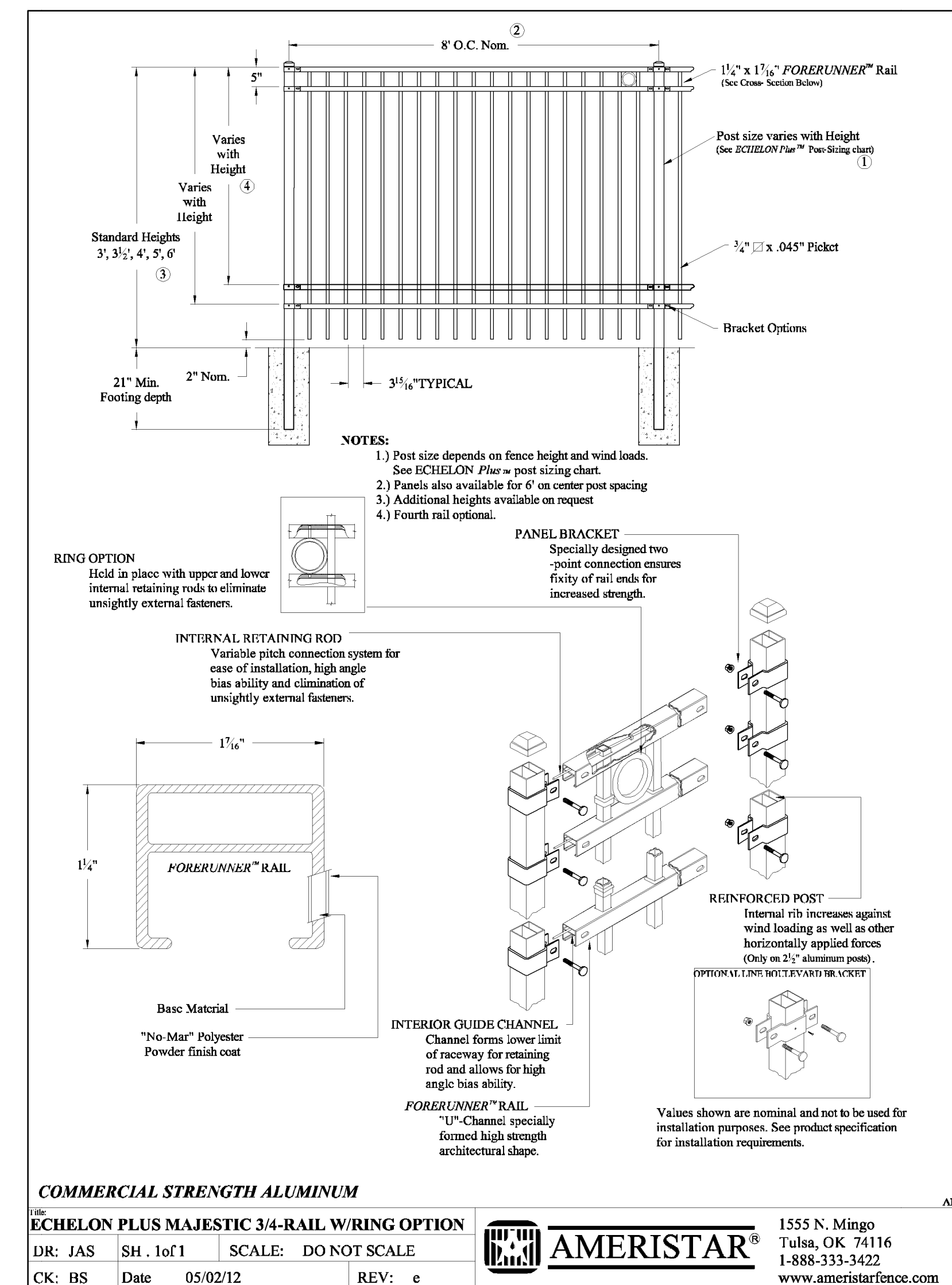
**2 SCREEN WALL 'B' ELEVATION**  
1"=5'

**3 SCREEN WALL 'C' ELEVATION**  
1"=5'





SHEET	TITLE
C0.1	CIVIL TITLE SHEET
C1.1	EXISTING CONDITIONS
C1.2	PRELIMINARY PLAT
C1.3	FINAL PLAT (SHEET 1 OF 2)
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C2.1	PRELIMINARY SITE PLAN
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C4.1	UTILITIES
C7.1	CIVIL CONSTRUCTION DETAILS
C7.2	CIVIL CONSTRUCTION DETAILS
L2.1	LANDSCAPE DETAILS
L2.2	STREETSCAPE PLAN
L7.1	LANDSCAPE DETAILS
E2.1	SITE PHOTOGRAPHS



**1** LANDSCAPE FENCING NO SCALE

**REVISION HISTORY**

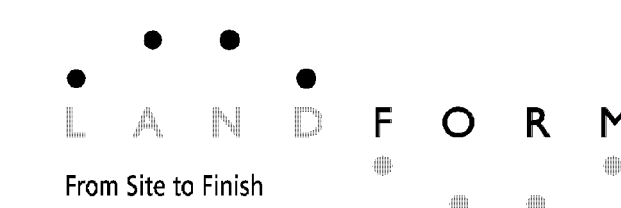
DATE	REVISION	REVIEW
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**PROJECT MANAGER REVIEW**

BY: SES DATE: 09/27/12

**CERTIFICATION**

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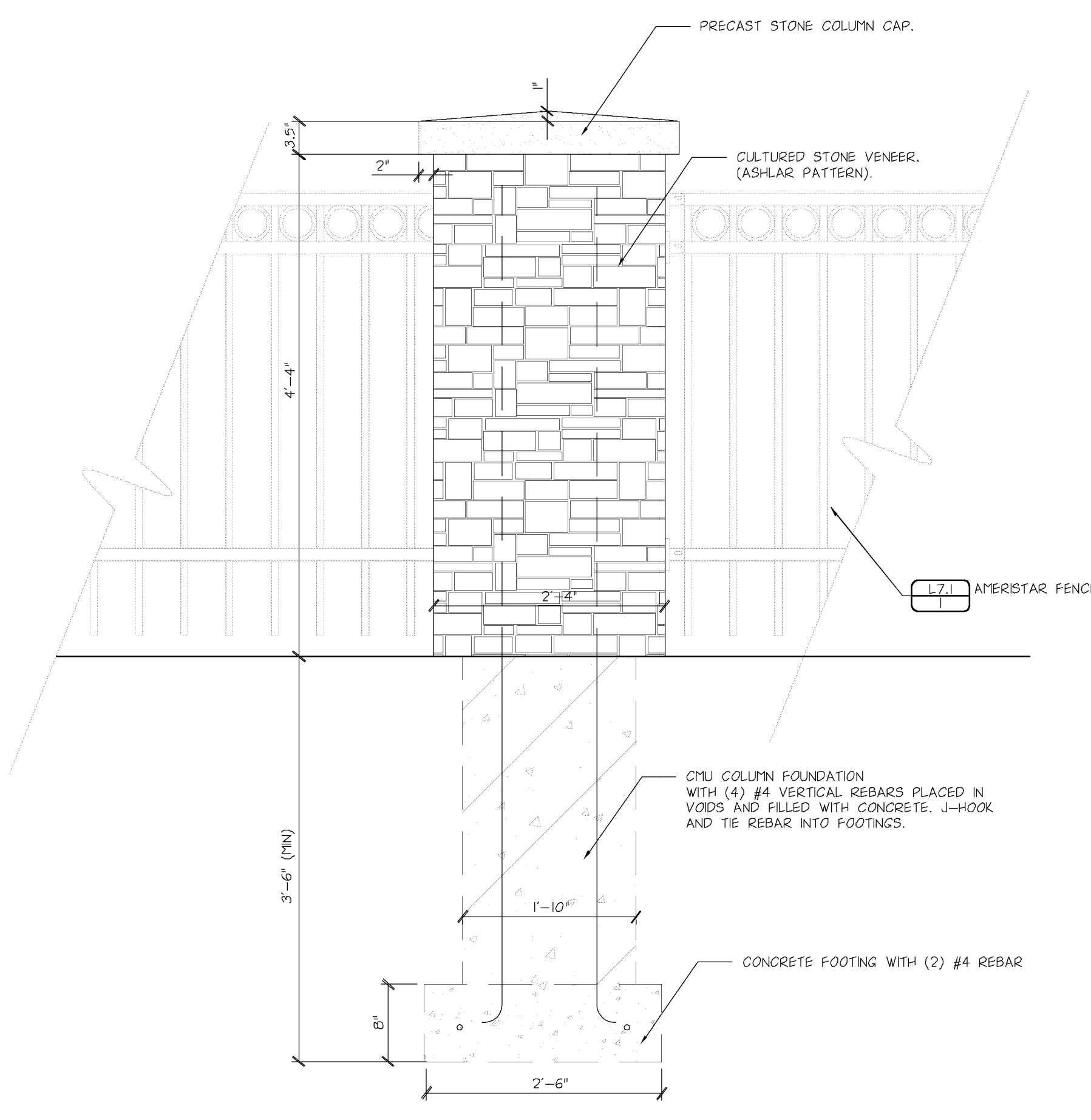


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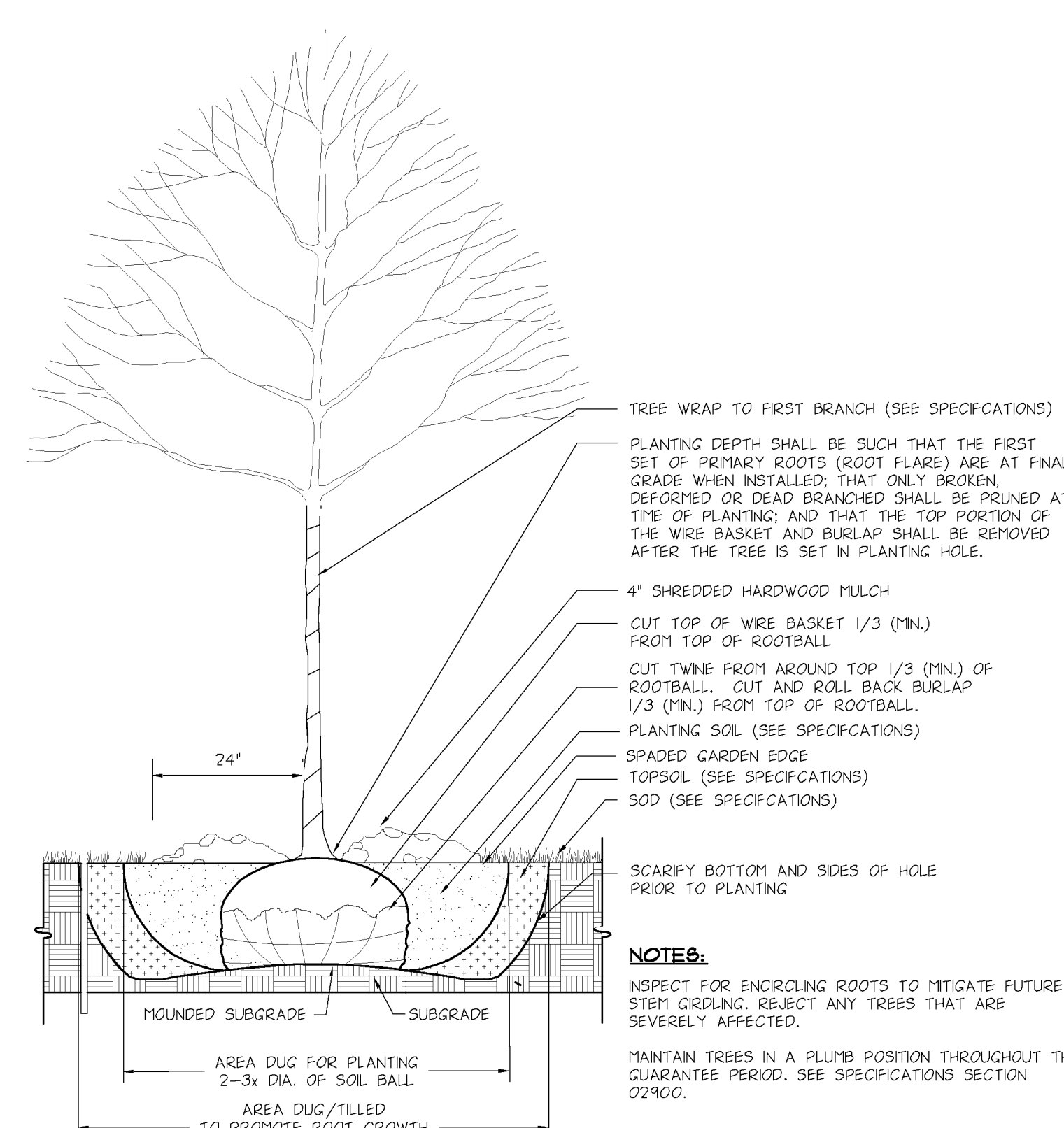
Tel: 612-252-9070  
Fax: 612-252-9077  
Web: landform.net

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PROJECT NO: KPL12001

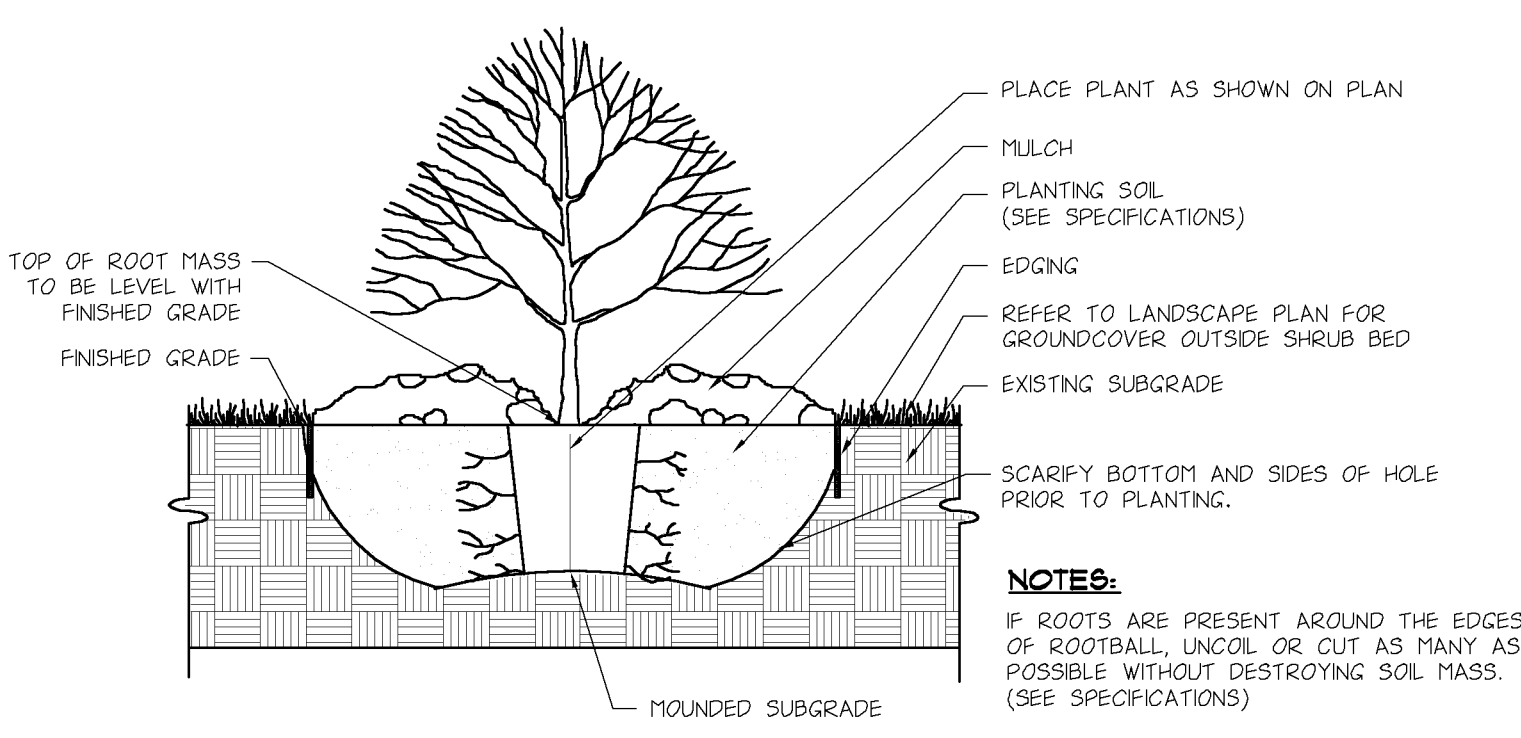
**LANDSCAPE DETAILS**  
**L7.1**



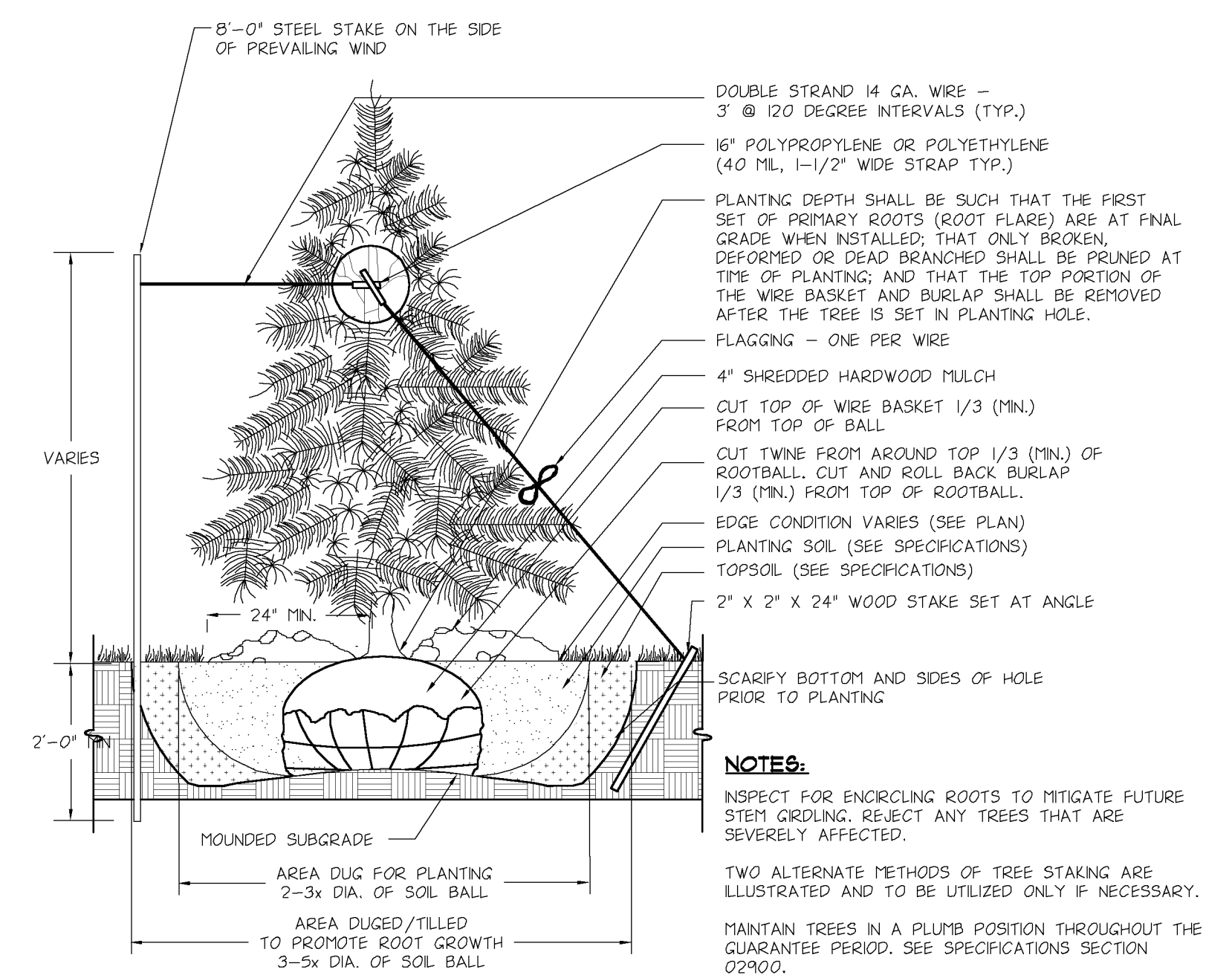
**5** STONE COLUMN NO SCALE



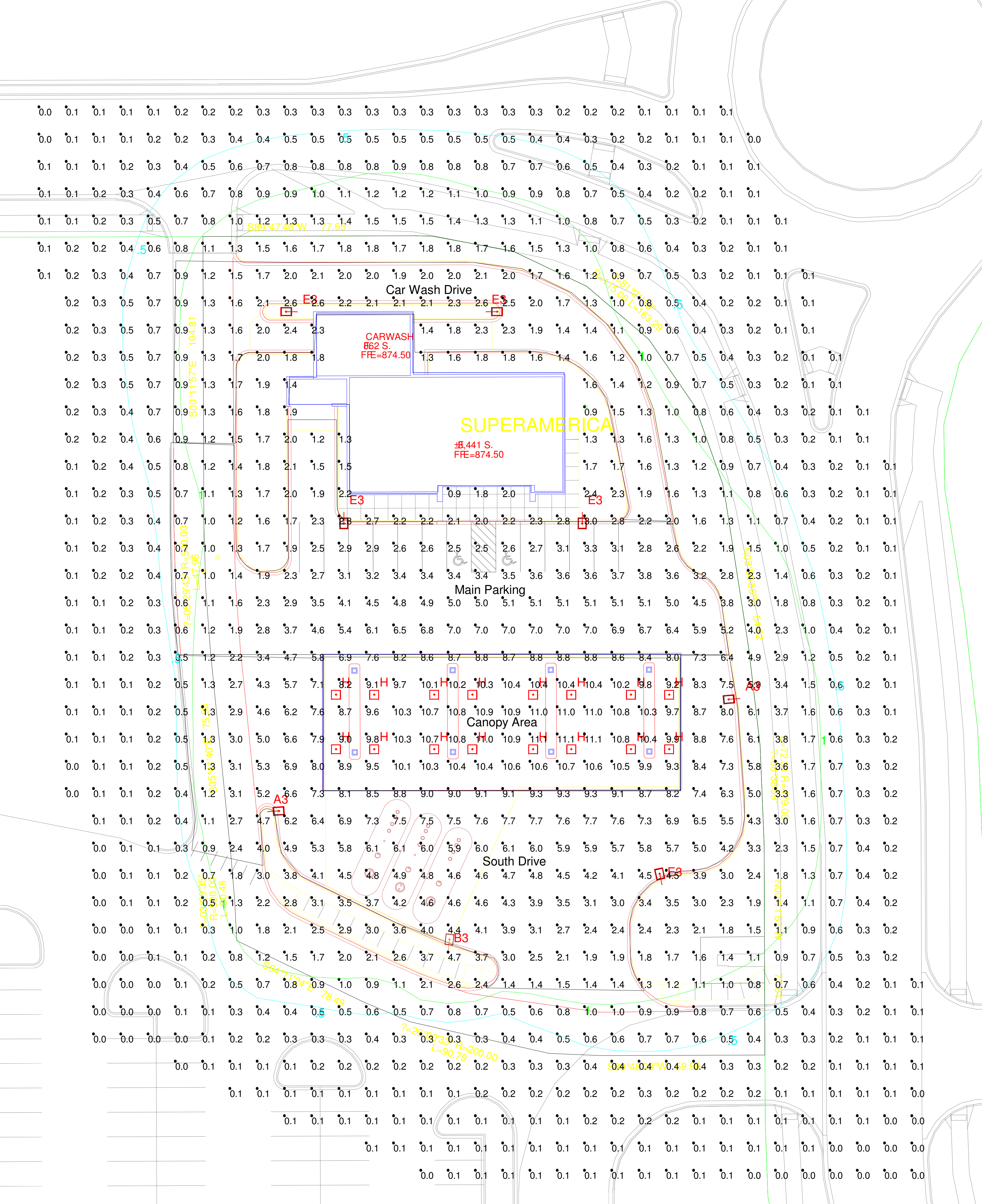
**3** DECIDUOUS TREE PLANTING NO SCALE



**4** SHRUB PLANTING NO SCALE



**2** CONIFEROUS TREE PLANTING NO SCALE



Luminaire Location Summary					
LumNo	Label	X	Y	Z	Orient
26	H	447900.6	173524.6	20	90
30	H	447900.6	173544.6	20	90
31	H	447914.6	173524.6	20	90
32	H	447914.6	173544.6	20	90
33	H	447936.6	173524.6	20	90
34	H	447936.6	173544.6	20	90
35	H	447950.6	173524.6	20	90
36	H	447950.6	173544.6	20	90
37	H	447972.8	173524.6	20	90
38	H	447972.8	173544.6	20	90
39	H	447986.8	173524.6	20	90
40	H	447986.8	173544.6	20	90
41	H	448008.7	173524.6	20	90
42	H	448008.7	173544.6	20	90
43	H	448022.7	173524.6	20	90
44	H	448022.7	173544.6	20	90
45	E3	447886.3	173685.1	23	180
46	E3	447955.6	173685.1	23	0
47	E3	447990.8	173611.5	23	270
48	E3	447903.5	173611.5	23	270
49	A3	447875.6	173501.7	23	3.532
50	B3	447941.7	173450.8	23	83.548
51	A3	448048.6	173543.2	23	184.268
52	E3	448020.1	173475	23	102.184

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
Site	Illuminance	Fc	2.10	11.1	0.0	N.A.	N.A.	
Canopy Area	Illuminance	Fc	9.97	11.1	8.1	1.23	1.37	Horiz FC at grade under canopy
Car Wash Drive	Illuminance	Fc	1.72	2.6	0.9	1.91	2.89	Horiz FC at grade in car wash drive area
Main Parking	Illuminance	Fc	4.07	8.8	0.6	6.78	14.67	Horiz FC at grade in main parking area
South Drive	Illuminance	Fc	4.90	8.8	0.9	5.44	9.78	Horiz FC at grade in south drive area

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	2	A3	SINGLE	N.A.	0.800	McGraw Edison Ventus VTS-B09-LED-E1-T3 9-bar LED Type III
	1	B3	SINGLE	N.A.	0.800	McGraw Edison Ventus VTS-B09-LED-E1-T4 9-bar LED Type IV
	5	E3	SINGLE	N.A.	0.800	McGraw Edison Ventus VTS-B09-LED-E1-5WQ 9-bar LED Type V
	16	H	SINGLE	N.A.	0.800	McGraw Edison CNC-B04-LED-E1-CQ 4-bar LED concentrated square

**SA at COR TWO**  
 Arch D-Size  
 1" = 20'-0"

