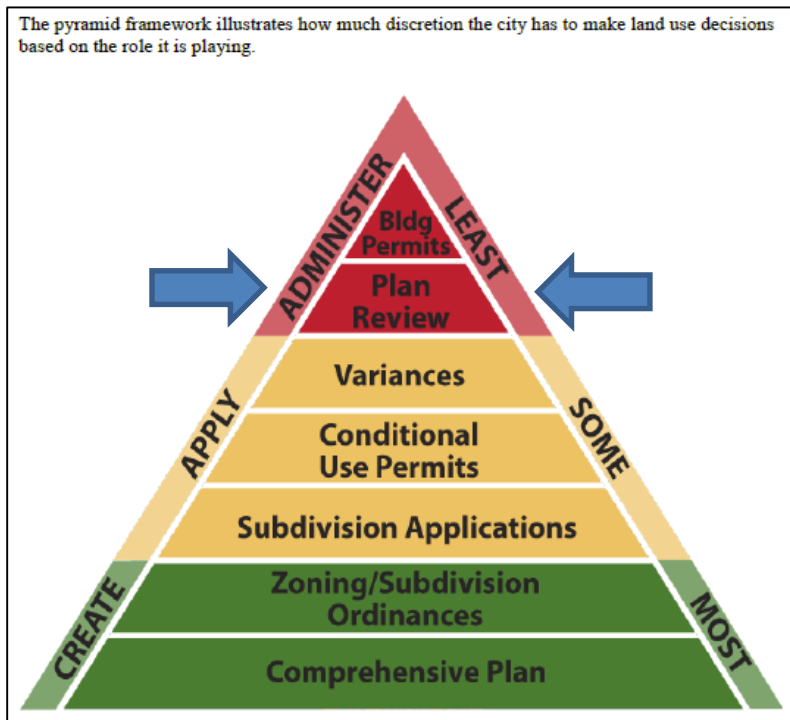


**CITY OF RAMSEY LAND USE APPLICATION
TECHNICAL REVIEW FILE**

DATE	11/26/2014	PROJECT ADDRESS	5650 ALPINE DR NW
PROJECT TITLE	FIRE STATION NO. 2: ALPINE DRIVE		
ESCROW #	N/A		
DEPARTMENT:	Community Development: Planning Division (Comprehensive Plan and Zoning Code)		
TECHNICAL REVIEWER:	Name: Tim Gladhill, Community Development Director Phone: 763-433-9826 Email: tgladhill@cityoframsey.com		

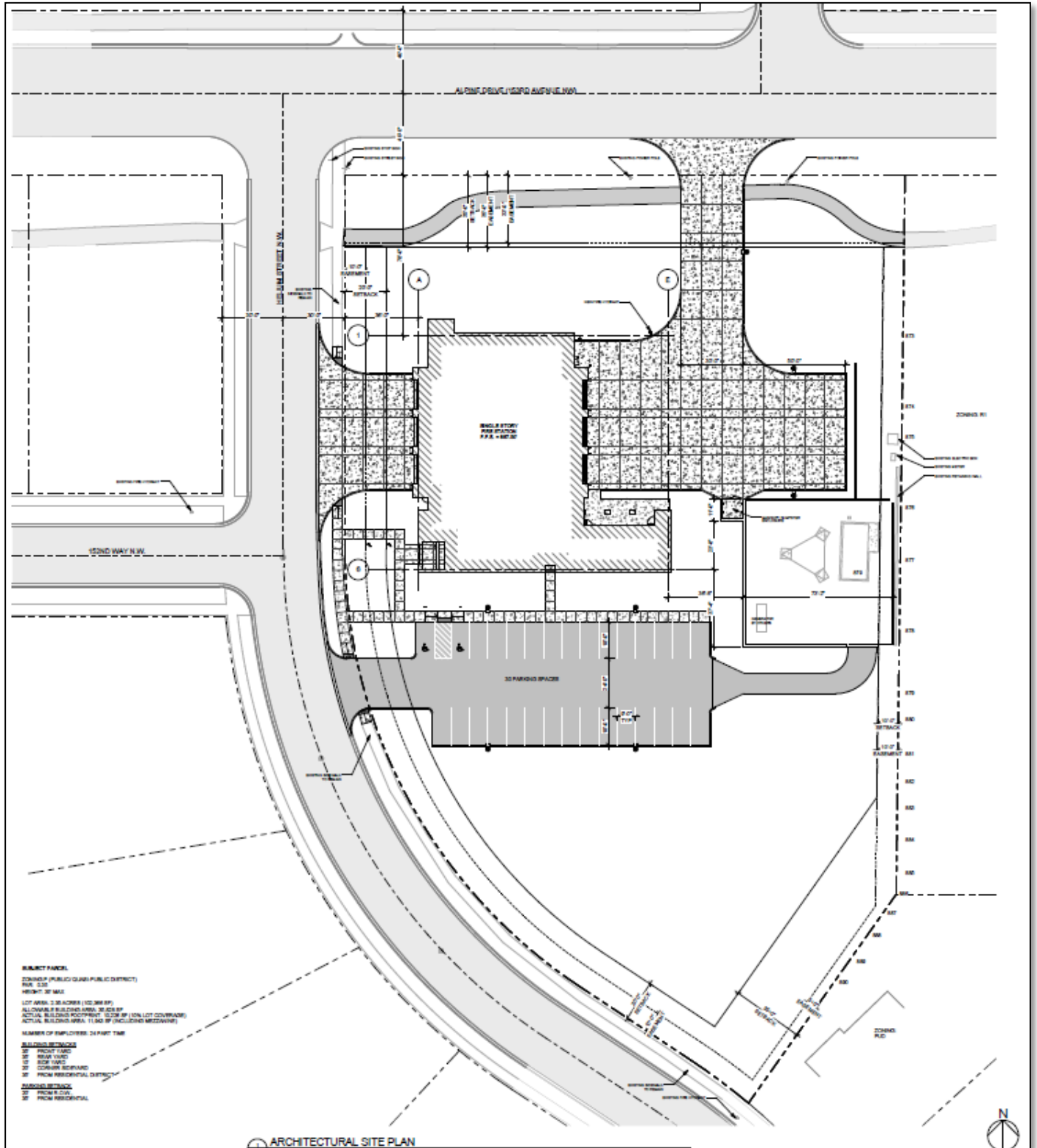
General: The purpose of this file is to provide site plan review for a planned 10,230 square foot Fire Station to replace the existing Fire Station No. 2, which is currently located at 15153 Nowthen Blvd NW. The new location for Fire Station No. 2 is to be located at 5650 Alpine Dr NW. The Project Management Team is led by the Economic Development Manager/Assistant City Administrator, the Fire Chief, and Chief #2. The architect of record is BKV Group. The Civil Engineer of record is Wenk Associates. This is the first of several steps in the process the City will consider in determining if a new Fire Station No. 2 will be constructed. If the Site Plan is approved by the City Council, the project will still require an Advertisement for Bids and award of a contract to follow. The City Council could choose at any of these steps whether or not to continue to move forward with the project.



Site Plan: [City Code Section 117-122](#) requires that any construction of buildings within the District will be subject to the site plan review process as outlined in [City Code Section 117-54](#). The new Fire Station No. 2 is proposed to be approximately 10,230 square feet with office space, locker rooms, and apparatus bay. The City is acting in an administrative capacity for this review, applying existing standards to a proposed development.

The proposed building will be comprised of office space, locker rooms, apparatus bay, and miscellaneous storage and support space for the operation of the Fire Department. The proposed building will be multi-use, with space provided for remote office space for the Police Department, space for Allina Health Emergency Medical Services (ambulance), as well as a polling location for City elections. The proposed

building is designed for operation as a 'Paid On-Call' or Volunteer Fire Department. The proposed building is not designed to operate as a full-time department with overnight accommodations.



The site also is the location of an Anoka County Public Safety Communications Tower (800 MHz). An existing easement allows for ingress and egress, as well as siting of the tower. Based on the modified access, it is suggested that this easement be amended to reflect the new site plan and access.

Comprehensive Plan: The Property is designated as Public/Quasi-Public in the [Comprehensive Plan](#). This category generally includes City offices, public works facilities, churches, school, other non-profit or government facilities, and bridges/major rights-of-way. The proposed use appears to be consistent with this designation.

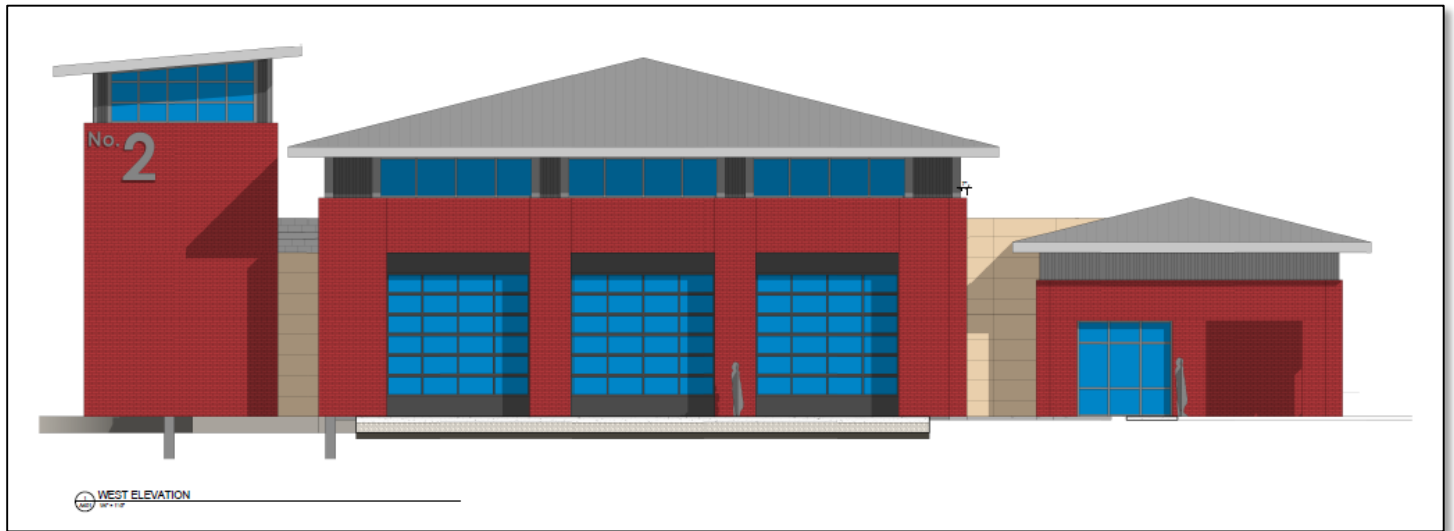
Zoning: The Property is located within the Public/Quasi-Public Zoning District, which is guided by [City Code Section 117-122](#). The intent of the Public/Quasi-Public District is to provide for and regulate uses that are public or semi-public in nature and to provide community with area designated specifically for open spaces, community gather places, public and private recreational spaces, educational facilities, and government buildings. Government buildings and facilities are a permitted use within this District. The proposed use appears to be consistent with this District.

Dimensional Standards. While [City Code Section 117-122](#) guides permitted and prohibited uses within the District, it does not contain specific dimensional and performance standards. It has been the City’s practice and policy to review proposed developments located within the Public/Quasi-Public utilizing the B-1 General Business District dimensional standards found in [City Code Section 117-114](#) when located adjacent to residential districts. For purposes of this review, the City will utilize the standards of the B-1 General Business District to review the proposed Fire Station. The proposed site plan appears to be consistent with the standards below.

Standard	Requirement	Proposed
Minimum Lot Area	0.5 acres	2.34 feet
Minimum Lot Width	100 feet	272 feet
Minimum Lot Depth	150 feet	350 feet
Maximum Building Height	35 feet	35 feet ¹
Maximum Structure Area	35%	10%
Minimum Front Yard Setback	35 feet	78 feet
Minimum Side Yard Setback	10 feet	36 feet
Minimum Side Yard Setback on Corner Lot	20 feet	36 feet
Minimum Rear Yard Setback	35 feet	36 feet
Major and minor arterials and State and County Roads	60 feet (centerline)	N/A
Minimum Service Road Setback	25 feet	N/A
Minimum Parking and Pavement Setback	20 feet	20 feet
Minimum Setback from Residential Districts	35 feet	36 feet

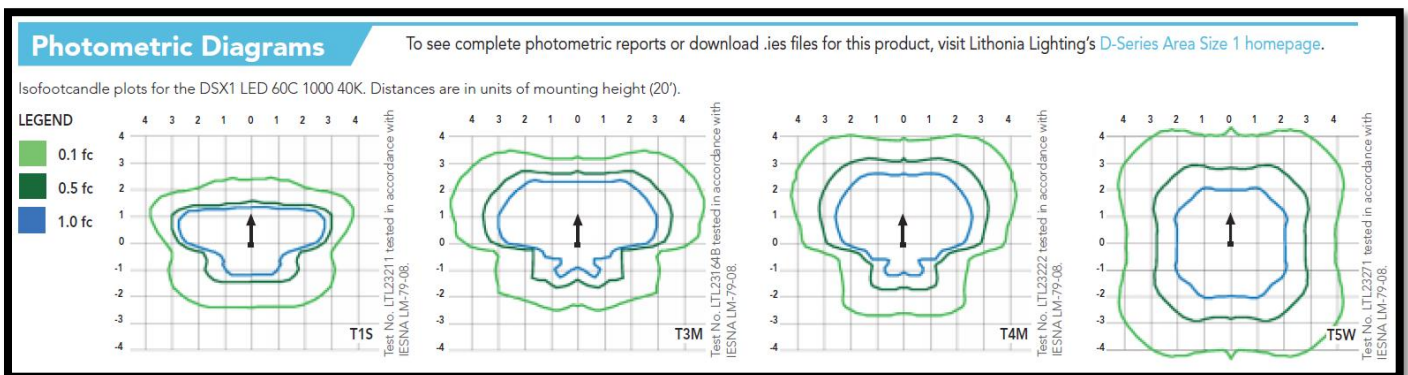
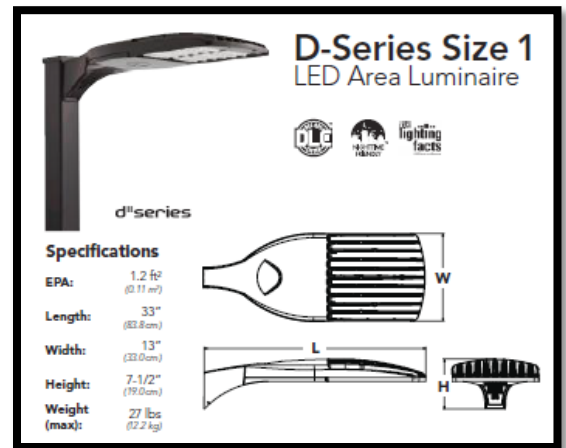
Architectural Standards. All exterior wall finishes shall be either face brick, stucco, glass, wood, natural stone, specifically designed pre-cast concrete units whose surfaces have been integrally treated with an applied decorative material or texture or other materials approved by the City. Combinations of these materials shall be permitted. The proposed building is predominately brick, with precast units, metal, and glass used for accent. The Project Management Team has chosen a pitched roof design, as opposed to a flat roof design, to better integrate with the adjacent residential development. The proposed renderings appear to be consistent with these standards.

¹ The hose tower measures approximately thirty-seven (37) feet. City Code [Section 117-358](#) (Permitted encroachments) exempts fire and hose towers from height limitations.



The Trash Enclosure is planned to be located on the exterior building on the east-facing façade. This trash enclosure will consist of materials to match the building on two (2) sides, with an opaque gate on the north facing side. A chain link fence that will pre-exist to secure the existing radio tower on the site will serve as the fourth wall. Staff finds this acceptable, as the existing radio tower and adjacent Connexus sub-station will provide more than adequate screening to any adjacent or otherwise visible areas.

Lighting Standards. Any lighting used to illuminate an off-street parking area, sign, or structure shall be arranged to deflect light away from an adjoining residential district or public street. Bulbs emitting an excess of 3,000 lumens (150 watts) shall be so directed that the bulb is not visible from off of the property where such light source is located. The site plan includes shop drawings of all proposed lighting. In addition, the Project Management Team continues to work on developing a Photometric Plan. It appears that the proposed Lighting Plan will be consistent with these standards.



Miscellaneous Standards. The proposed site plan appears to be consistent with [Section 117-114](#) Subds. (3) through (13).

Parking: Staff has measured required parking based on one (1) space per 1,000 square feet of apparatus bay area and one (1) stall per 300 square feet of office space area as required by [City Code Section 117-356](#) (Commercial and industrial off-street parking). The proposed site plan appears to be consistent with the standards below.

Standard	Required	Proposed
<i>Office Parking Stalls</i>	<i>10 stalls</i>	<i>15 stalls</i>
<i>Stalls Required Based on Apparatus Bay</i>	<i>6 stalls</i>	<i>15 stalls</i>
Total	16 stalls	30 stalls

Standard	Required	Proposed
Minimum Stall Width	9 feet	9 feet
Minimum Stall Depth	18 feet	18 feet
Minimum Aisle Width	24 feet	24 feet

Advisory Comments: Geotechnical Soils Report. The Site Plan does include a geotechnical soils analysis report. The BKV Group has reviewed the soils report with its applicable sub-contractor(s) and recommends that the number of soil borings and the results of the soil borings are adequate at this time. As a disclaimer, the geotechnical report is a sample of soil locations; it is possible that negative soil conditions could be found during construction. However, the report utilized industry standards and appears to be adequate to determine acceptable soil conditions for construction.

Recommendation. City Staff is recommending that the City Council adopt Resolution #14-12-250 approving the Site Plan for Fire Station No. 2, with amendments as outlined in this Staff Review File.

Next Steps. Following Planning Commission Review, the Site Plan will be forwarded to City Council for consideration. As noted previously, this Site Plan Review is separate from the competitive bidding process required for City projects. Approval of the site plan does not guarantee approval of the project itself. The Project Management Team will coordinate the bidding and final approval consideration following commencement of the Site Plan Review Process:

CITY OF RAMSEY LAND USE APPLICATION
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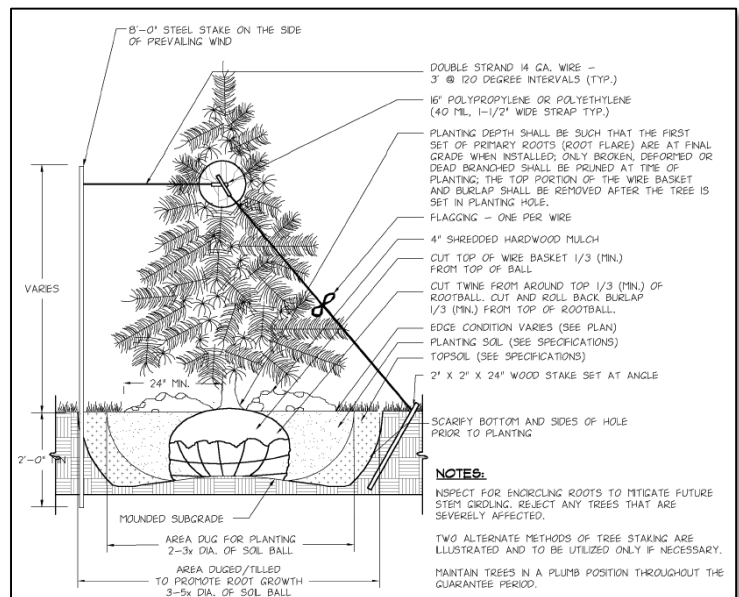
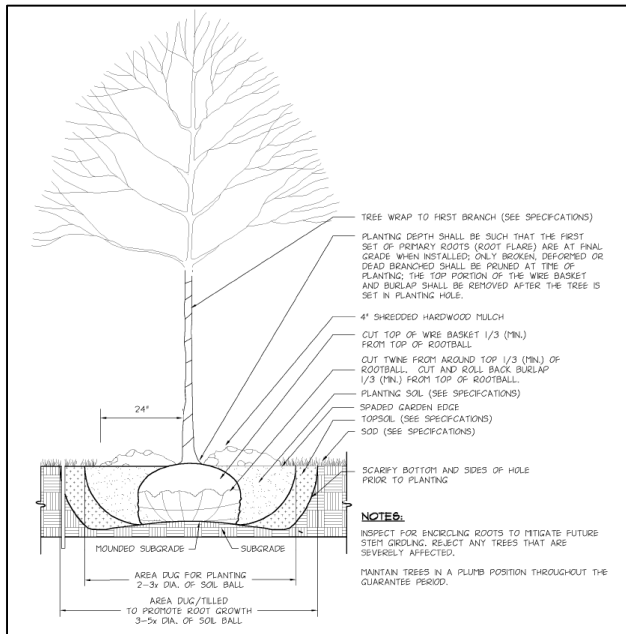
DATE	11/26/2014	PROJECT ADDRESS	5650 ALPINE DR NW
PROJECT TITLE	FIRE STATION NO. 2: ALPINE DRIVE		
ESCROW #	N/A		
DEPARTMENT:	Community Development: Planning Division (Landscape Plan & Environmental Resources)		
TECHNICAL REVIEWER:	Name: Chris Anderson, City Planner Phone: 763-433-9817 Email: canderson@cityoframsey.com		

We offer the following comments regarding the Landscape Plan prepared by BKV Group and dated November 17, 2014:

Landscaping: One (1) tree per every fifty (50) lineal feet of site perimeter, plus one (1) tree per every ten (10) parking stalls is required. Additionally, one (1) shrub per every thirty (30) lineal feet of site perimeter is required. Deciduous overstory trees shall be a minimum of two and a half (2.5) inch caliper, ornamental trees shall be a minimum of one and a half (1.5) inch caliper, and evergreen trees shall be at least six (6) feet in height.

The Landscape Plan shall be updated as follows:

- A planting detail must be included. It shall either incorporate the City's tree planting detail or, at a minimum, include the following:
 - Planting depth shall be such that the 1st set of primary roots is at finished grade
 - Only prune out dead/broken/deformed branches at time of installation
 - Removal of upper portion of wire basket and burlap after being placed in planting hole if using B & B stock.
 - 2-4 inches of wood chip mulch shall be included around all trees. Mulch shall not be piled against the trunk of trees.



- Add a note to the Landscape Plan stating that all disturbed areas not otherwise improved with impervious surfacing shall be covered with four (4) inches of topsoil meeting MnDOT's specification for Premium Topsoil Borrow (3877.3).
- Shrub size at time of installation shall be at least twenty-four (24) inches.
- The four (4) Fall Fiesta Sugar Maples should be replaced with an alternative species, as they don't tolerate urban conditions well (heat, compacted soils, deicing salts, etc.).
- Three (3) Imperial Honeylocusts and four (4) Thornless Hawthorns along the reconstructed trail are shown within a transmission line easement. Written acknowledgement/acceptance of the proposed plantings from the easement holder should be obtained prior to installation of the trees. As an alternative, plantings should be relocated outside this easement to avoid conflict (future removal) with the purpose of the easement.
- Planting plan and schedule conflict regarding the prairie dropseed and little bluestem numbers. This should be reconciled.
- Trees/shrubs shall be warranted for a minimum of two (2) years.
- Boulevard area along Helium Street shall be finished with topsoil and sod (if it is not already). This note should be added to sheet L100.
- The two (2) Princeton Elms south of the trail should be shifted to the east to ensure a clear site line for both pedestrians and motorist at the trail crossing.

Tree Preservation: At least thirty percent (30%) of the inches of existing significant tree DBH must be preserved on the overall site. Significant trees are defined as all evergreens and oaks that have a DBH of four (4) inches or greater and all other deciduous trees with a DBH of eight (8) inches or greater. If less than thirty percent (30%) of the inches of existing significant tree DBH are retained, restitution will be necessary. This could be either 1.25 inches (diameter) of newly planted trees for each one (1) inch removed in excess of the threshold or a payment of \$125.00 for each one (1) inch removed in excess of the threshold, or some combination thereof. Note that required landscaping does count toward satisfy the replanting requirement.

A tree inventory must be submitted for all significant trees on the site. The inventory shall include the following:

- Species, size (DBH), and condition.
- Note whether a tree is being removed or saved (if it is being removed for installation of trail or stormwater pond, that should be noted as that does not count toward total removals).
- A tally of total DBH inches for the site and a tally of DBH inches of trees being removed.
- Prior to any removals occurring, the City shall have the opportunity to review and relocate any desirable trees.

Topsoil: The project is subject to the City's topsoil requirement, which states that all disturbed areas not otherwise improved with walkways, driveway, home and other impervious surfacing, shall receive four (4) inches of topsoil meeting the City's topsoil specification. A topsoil inspection is required prior to landscaping being installed and copies of the load tickets are required as well. This is reviewed at time of Building Permit Application and request for Certificate of Occupancy.

Bufferyard: Due to the residential lots adjacent to the project site in the southeast corner, a bufferyard shall be required. Within the bufferyard area, an additional twenty-five percent (25%) of the required plantings shall be installed. This requirement appears to be satisfied with the proposed plantings, which consist of a mixture of evergreen and deciduous trees as well as shrubs.

Best Management Practices (BMPs): The project provides an opportunity for the City to implement various BMPs as a demonstration available for other potential projects to observe and replicate. Staff will be discussing these ideas with the

City's Environmental Policy Board at their December meeting. A final determination will be made prior to the final plans being sent for advertisement for bid. The following concepts shall be explored further and implemented where feasible:

- In addition to rain sensors, the irrigation system should also be equipped with soil moisture sensors and evapotranspiration (ET) sensors. At the very least, these should be included as an add-alternate on the bid request.
- Expand the use of the seed mix and native plantings beyond the basin of the stormwater pond. A manicured strip of turf grass (about ten [10] wide or so) adjacent to the sidewalk and south edge of the parking is acceptable, but the majority of the stormwater pond area could be established with quality and aesthetically pleasing native grasses and perennials, which are more adaptable to drought conditions and require less input and maintenance in the long term.
- Consider alternate style curb along south edge of parking lot that would allow for Stormwater runoff to sheet flow toward the stormwater pond, rather than the traditional B6/12 curb and gutter with catch basins (see Engineering comments regarding civil plans for more detail). This curbing could also better assist with snow removal.
- The Preliminary Project Manual indicates a number of energy efficient systems, including mechanical and lighting. It would be Staff's desire that these energy efficient systems be retained as high priority as final design is completed, most notably highly visible LED lighting fixtures.

**CITY OF RAMSEY LAND USE APPLICATION
TECHNICAL REVIEW FILE**

DATE	NOVEMBER 24, 2014	PROJECT ADDRESS	ALPINE DRIVE AND HELIUM STREET
PROJECT. TITLE	FIRE STATION NO. 2 PRELIMINARY PLAN REVIEW		
ESCROW #			
DEPARTMENT:	Engineering		
TECHNICAL REVIEWER:	Name: Leonard Linton Phone: 763 433-9834 Email: llinton@ci.ramsey.mn.us		

We offer the following comments regarding updated plans dated November 17, 2014 prepared by Wenck in association with BKV Group.

Staff offers the following comments:

Sheet Certificate of Survey

1. City Code requires identifying all trees 4" and larger.
2. City Code requires extending the survey to 100 feet beyond the property lines on all sides of the project.

Sheet C102

1. Install signs indicating trail and sidewalk will be closed.
2. Add note: "Sawcut concrete curb full depth prior to removal."
3. Add note: "Sawcut concrete sidewalk full depth prior to removal."
4. Add note: "Sawcut bituminous pavement full depth prior to removal. Sawcut shall be 1 foot from face of curb. Mill existing wear course 1 foot wide prior to replacing pavement so that vertical joints are offset."
5. Remove sidewalk with curb removal for new driveways.

Sheet C103

1. Coordinate fence removal, construction of retaining wall and new fence to maintain security of tower site.

Sheet C201

1. All watermain shall be DIP. 8" and larger DIP shall be class 52. 6" and smaller DIP shall be Class 53.
2. Provide 6" gate valve in service line to building.
3. Change 9xx.xx to 8xx.xx for CBMH 3.
4. Label storm sewer pipes with length, size, and slope. Label storm sewer structures with rim elevation, invert elevation and structure size.

5. Consider placing EOF for dry pond in CBMH 3. Invert must be set above 100 year high water level.

Sheet C301

1. Plans for retaining wall must be signed by an engineer.
2. Topsoil must meet the Ramsey specifications.
3. The cross slope on sidewalks and trails at driveways must not exceed 2%.
4. Label slopes on paved surfaces.
5. It is recommended that the project provide a depressed area south of car parking lot for infiltration/ snow storage. Contours along south edge do not depict surmountable/ ribbon curb.

Sheet 401

1. Rock construction entrances are ineffective for removing Ramsey soils from tires. Add note to plan "Contractor shall have sweeper on site or available within 3 hours of notification by City that soils must be removed from adjacent streets.
2. Verify date of geotechnical report.

Sheet 501

1. Sediment Control Inlet Hat shall not be used in paved areas.
2. Concrete thrust blocks are not required. Mega-lugs are required on all joints.
3. Intent of biolog detail is not clear.