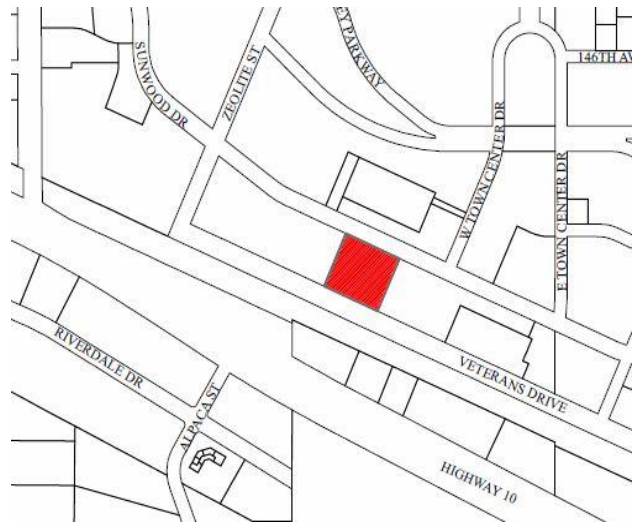


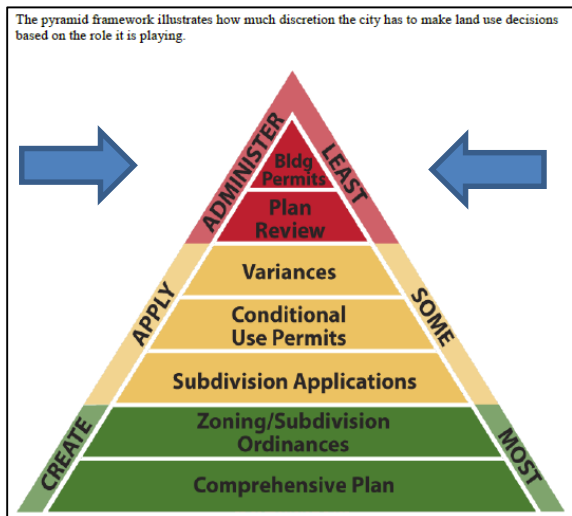
**CITY OF RAMSEY LAND USE APPLICATION
TECHNICAL REVIEW FILE**

DATE	4/3/15 REVISED: 5/8/15	PROJECT ADDRESS	TBD
PROJECT. TITLE	SUNWOOD VILLAGE (SKETCH PLAN, FINAL PLAT, AND SITE PLAN)		
ESCROW #	114596		
DEPARTMENT:	Community Development: Planning Division (Comprehensive Plan and Zoning Code)		
TECHNICAL REVIEWER:	Name: Chris Anderson, City Planner Phone: 763-433-9817 Email: canderson@cityoframsey.com		

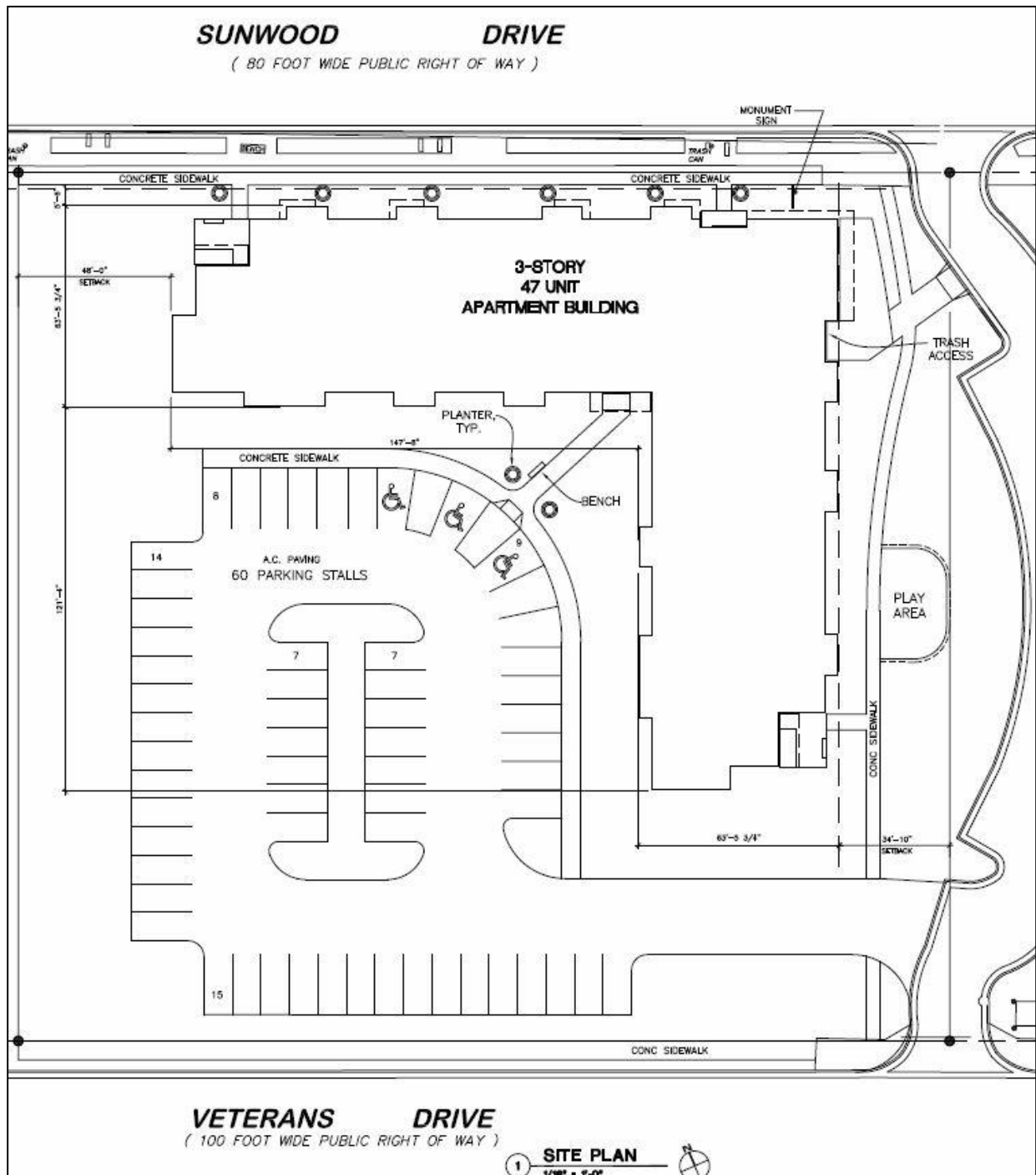
General: The purpose of this file is to provide sketch plan, final plat and site plan review for a planned 18,055 square foot, three (3) story apartment building. The architect of record is Miller Hanson Partners and the Civil Engineer of record is Loucks Associates. See Exhibit A for a detailed list of corrections, revisions, and requested clarifications organized per individual sheet of the submitted plans.



Sketch Plan and Final Plat: The project proposes to replat Outlot A, COR ONE into Lot 1 Block 1 SUNWOOD VILLAGE (the “Plat”). The Plat does not propose altering or realigning any property boundaries. The Plat meets or exceeds all applicable dimensional bulk standards. *Standard drainage and utility easements along the perimeter of the plat shall be provided. The Plat, once approved by City Council, should be recorded after successfully closing on the property.*



Site Plan: [City Code Section 117-118](#) requires that any construction of buildings within the District will be subject to the site plan review process as outlined in [City Code Section 117-54](#) and is subject to the standards found within the [COR Design Framework](#).



Comprehensive Plan: The Property is designated as Mixed Use in the [Comprehensive Plan](#). This category generally includes retail, commercial entertainment office, institutional, high density residential, transit hubs and park and recreation uses. The proposed use appears to be consistent with this designation.

Zoning: The property is located within the COR Zoning District and this site has always been envisioned for residential development. When the COR AUAR was last updated, this site was considered as residential, allowing for up to eighty-four (84) residential units. While The COR Sub-district Map, Version 6.2, indicates a portion of this parcel being in Sub-district COR-2A, the intent of the sub-districts within the COR Zoning District was to retain some flexibility to make minor sub-district boundary adjustments without processing a zoning amendment. As a result, the project is being reviewed under the COR-1 Sub-district standards. The City can and will at some future point make an adjustment to the sub-district boundary to accurately reflect this entire parcel as being in the COR-1 Sub-district.

Dimensional Standards. While [City Code Section 117-118](#) guides permitted and prohibited uses within the District, it does not contain specific dimensional and performance standards. Those are outlined in the [COR Design Framework](#). The proposed site plan appears to be generally consistent with the standards below with the exception of the front yard build to line standard, which is measured from the front property line or the edge of the public sidewalk, whichever is closer. *The Site Plan must be revised to show the building within 0-5 feet of the public sidewalk.*

Standard	Requirement	Proposed
Minimum Lot Size	None	1.85 acres
Minimum Lot Width	20 feet	294.13 feet
Minimum Lot Depth	80 feet	274.15 feet
Allowable Residential Density in Units per Acre	>15 DU/AC	25.4 DU/AC
Maximum Building Height	2-5 stories	3 stories
Front Yard Build to Line	5 feet*	7 feet**

*As measured from building front to right-of-way (60% of front façade within max)

**Articulation is incorporated into the building design, so while the building may not quite achieve the 60% threshold, there is a consistent building front that, once shifted so that it is within 0-5 feet of the public sidewalk, satisfies the intent of the build to requirement.

Lot Coverage/Floor Area Ratio (FAR). The COR-1 Subdistrict requires a minimum FAR of 0.65. The Site Plan indicates that the proposed lot is 80,637 square feet in size (1.85 acres). The proposed building footprint is 17,693 square feet and with three (3) stories, the gross floor area will be 53,088 square feet per Sheet A200. This results in a FAR of 0.66.

Architectural Standards. The design standards for this area are addressed in the [COR Design Framework](#). The COR Design Framework places a strong emphasis on high quality architecture and encourages the integration of both traditional and contemporary design. Within the COR-1 Subdistrict, at least fifty percent (50%) of the non-glazed wall area shall consist of brick or an

alternative comparable. The exterior finish is proposed to consist of a combination cement fiber board panels, face brick, metal paneling, burnished CMU, and vertical metal siding.

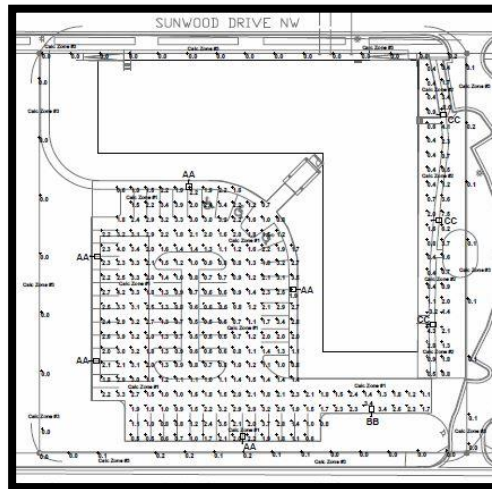


As outlined in the COR Design Framework, one of the main entrances must be oriented toward the street. In reviewing the renderings and building elevations, it appears that there will be at least one (1) entrance from Sunwood Drive.

The Planning Commission desired to see the individual, ground floor units facing Sunwood Drive have direct access to the street with enhanced architectural elements as well. The revised plans do not include these direct accesses; however, we are in receipt of a narrative outlining why they were eliminated (safety and maintenance concerns). In lieu of the individual entrances, the narrative outlines added architectural elements to enhance the street presence of the building, including light fixtures on the ‘bump outs’ of each of these units, enlarged windows, and ‘eyebrows’ over each of the enlarged windows. These added features do improve the street/building interface and enhance the ground floor units.

Lighting Standards.

Any lighting used to illuminate an off-street parking area, sign, or structure shall be arranged to deflect light away from an adjoining residential district or public street. Bulbs emitting an excess of 3,000 lumens (150 watts) shall be positioned so that the source of light is not visible from off of the property. The site plan includes shop drawings of all proposed lighting. The applicant is responsible for the installation and 3 years of operations and maintenance of all boulevard lighting adjacent to their project consistent with the COR master lighting plan.



Parking: The Design Framework outlines both minimum and maximum on-site parking standards based on a proposed use. Multifamily units shall provide at least one (1) parking stall per unit but no more than two (2) parking stalls per unit. There are forty-seven (47) residential dwelling units proposed with this project. Thus, the allowable range of parking stalls provided shall be forty-seven (47) to ninety-four (94). The Site Plan indicates a total of sixty (60) surface parking stalls, which complies with the parking requirements.

Standard	Required	Proposed
Minimum Stall Width	9 feet	9 feet
Minimum Stall Depth	18 feet	19 feet
Minimum Aisle Width	24 feet	24 feet

Signage: It is highly encouraged to submit renderings of any proposed signage for the site for review in conjunction with the Site Plan review. While a separate Permanent Site Permit Application is required, this can help identify any potential inconsistencies with the sign standards within the COR Design Framework. Sheet A200 now identifies a monument sign located in front of the building along Sunwood Drive. *As has been mentioned in previous discussions, it would be the City's preference that a projecting sign be installed similar to the signage at the Residence at the COR. There were no details provided regarding the proposed sign and thus, no specific comments, other than the desire to see a projecting sign rather than a monument sign, can be offered at this time.*

Waste Storage: Waste storage is required to be designed such that it is internal to the building. The revised plans clearly indicate that trash and recycling receptacles will be located within the building along the east elevation. However, if dumpsters are to be used for trash/recycling collection, a larger door opening may be necessary.

Sidewalks/Boulevards: The streetscape is mostly established already along Sunwood Drive. Care must be taken to avoid damage to existing streetscape elements, including trees, plantings, irrigation, and sidewalk panels and pavers. Protective fence shall be installed around the streetscape to help avoid potential damage. Any damage to existing streetscape components shall be replaced at the Developer's expense. The proposed sidewalk along Sunwood Drive has been widened to be consistent with the existing sidewalk east of the access point on Sunwood Drive. An easement for the public sidewalk on private property shall be provided. The revised plans show the remnant ten (10) foot wide sidewalk along Veterans Drive being sawcut down to six (6) feet and being extended to the west end of the property. The sawcut will result in an 'unfinished' edge to the sidewalk and is not acceptable. Additionally, the existing pedestrian ramp does not meet current standards and will need to be replaced. The boulevard width must be four (4) feet to match existing boulevard east of the site. If this results in the sidewalk encroaching onto private property, an easement for the public to use the sidewalk shall be provided. *The existing, remnant sidewalk must be removed entirely and new sidewalk and pedestrian ramp installed. Also, easements shall be provided encumbering that portion of the public sidewalk(s) encroaching onto private property. Said easements shall be subject to review and approval as to legal form by the City Attorney and must be recorded against the property.*

Review File: Sunwood Village
Site Plan Review: Comprehensive Plan and Zoning Code
April 3, 2015
Revised May 8, 2015
Page 6 of 8

Easements/Agreements: Based on the submitted Site Plan, multiple easements/agreements will be necessary. A Reciprocal Driveway Easement appears to be in place for this lot and Lot 3 Block 1 COR ONE. A Temporary Construction Easement will be necessary, from the owner of Lot 3 Block 1 COR ONE, for some of the improvements shown on Sheet C2-1. The applicant must verify whether the existing Reciprocal Driveway Easement is sufficient for the access lane leading to the eastern wall of the building. *Note that all easements must be recorded prior to the City issuing a Building Permit and the applicant must provide proof of recording of all documents as required by the City. A title search should be completed to ensure that all underlying easements are vacated as necessary. Should any underlying easements be found, they must be vacated, which is processed through a separate Land Use Application with the City.*

Development Fees: The project will be subject to applicable development fees including, but not necessarily limited to, Park Dedication, Trail Development, Stormwater Management, Water and Sanitary Sewer Trunk Fees. A full analysis of the Development Fees can be found in the Draft Development Agreement.

Recommendation: City Staff is recommending that the City Council adopt Resolutions #15-05-120 and #15-05-121 approving the Final Plat and Site Plan for Sunwood Village, with amendments as outlined in this Staff Review File.

EXHIBIT A

Below are revisions and requested clarifications that must be addressed with revised plans. Note that comments that are intended as advisory or recommendations only will be specifically identified as such.

General Comments:

- Revised/final plans shall be signed by the Engineer and Architect to inform us of who is responsible for preparation of each sheet.
- A Pedestrian Detour Plan is required and is subject to review and approval by the City.

Plat Sheet:

- Standard Drainage and Utility Easements shall be provided around the perimeter of the plat, five (5) feet along the side lot lines and ten (10) feet adjacent to public rights-of-way. These must be added to the plat and include a statement dedicating them to the public.
- Plat should be recorded AFTER acquisition of the property.

Sheet C1-2

- A Temporary Construction Easement will be needed from the owner of Lot 3 Block 1 COR ONE for some of the proposed work.
- The existing segment of sidewalk along Veterans Drive, west of the street access, must be removed and replaced. Sawcutting leaves an unfinished edge and will not be acceptable.
- One of the four (4) trees shown to be removed is on the adjacent property. Written permission from that property must be obtained (and copy of said permission provided to the City) prior to removal.

Sheet C2-1

- The sidewalk along Sunwood Drive, which now is consistent with the existing sidewalk east of the street access, encroaches slightly onto private property. An easement will be necessary to encumber that portion of the sidewalk, which must be reviewed/approved/accepted by the City and recorded against the property after the filing of the plat.
- The building must be shifted such that it is within 0-5 feet of the edge of the public sidewalk to comply with the build to requirement.
- It appears that the Reciprocal Driveway Easement sufficiently covers the drive lane to the east wall of the building but this should be verified. If any part of the access lane on the adjacent parcel is outside the legally described easement area, the drive lane will need to be shifted accordingly so that it is entirely within the easement.
- Provide a legend identifying all abbreviations, labels, and symbols/patterns (examples: what is PSBL and what is the symbol/pattern indicating for the Tot Lot)

- The boulevard width along Veterans Drive shall match the boulevard width further east of the site (south of the Municipal Center), which is four (4) feet.
- A four (4) foot wide boulevard will result in the sidewalk needing to be shifted slightly north (along Veterans Drive), which will partially encroach onto private property. An easement will be necessary to encumber that portion of the sidewalk, which must be reviewed/approved/accepted by the City and recorded against the property.
- Boulevard area along Veterans Drive must be improved with topsoil (per City specification) and sod.
- Advisory Comment: With the elimination of the internal sidewalk that had been on the west side of the project, the City would encourage widening the north south sidewalk on the east side to six (6) feet in width.

Sheets C8-1 through C8-3

- Must include the City's COR Concrete Sidewalk detail, which is available upon request. This graphically shows the alternating brush strokes on adjacent panels.

Sheet L1-1 (in addition to comments provided under the Landscape & Environmental Resources review)

- Boulevard area along Veterans Drive must be established with topsoil (per City specification) and sod. This must be identified on the plan.

Sheet A200

- At the western edge of the access from Veterans Drive, there is a remnant of concrete sidewalk that transitions to the proposed six (6) foot sidewalk. This remnant portion of sidewalk must be removed and replaced with a consistent sidewalk from this access point to the west boundary of the plat. A pedestrian ramp shall also be installed on the western side of the access off Veterans Drive. Individual pedestrian ramp details must be provided for each pedestrian ramp.
- Where public sidewalk encroaches onto private property, easements will be necessary to encumber that portion of the sidewalk, which must be reviewed/approved/accepted by the City and recorded against the property.
- The City would prefer to see a projecting sign on the building rather than a monument sign adjacent to Sunwood Drive. Staff would like to explore this possibility further.
- A separate Permanent Sign Permit is required; there are no specific details regarding the proposed signage and thus, no other specific comments can be offered at this time.

Sheet A500

- Sheet shall be updated to match the color elevation that includes enlarged windows in each 'bump out' for the ground floor units facing Sunwood Drive, 'eyebrows' above each of the enlarged windows, and light fixtures on each of the bump outs.

**CITY OF RAMSEY LAND USE APPLICATION
TECHNICAL REVIEW FILE**

DATE	MAY 8, 2015	PROJECT ADDRESS	SOUTH OF SUNWOOD DRIVE, NORTH OF VETERANS DRIVE, WEST OF RESIDENCE AT THE COR
PROJECT. TITLE	SUNWOOD VILLAGE		
ESCROW #	114596		
DEPARTMENT:	Engineering		
TECHNICAL REVIEWER:	Name: Leonard Linton Phone: 763 433-9834 Email: llinton@ci.ramsey.mn.us		

We offer the following comments regarding your request for the Site Plan Approval of the Sunwood Village Apartments. The submittal consists of 14 sheets prepared by Miller Hanson Partners dated March 3, 2015, revised April 27, 2015. The Civil Sheets were prepared by Loucks Associates.

Grading, Drainage, Demolition and Utility Plans: Preliminary grading, drainage, demolition and utility plans have been prepared for this site plan by Loucks Associates. Staff offers the following general comments on these plans:

1. There is an active sidewalk along the north side of the lot. A pedestrian detour plan must be prepared and submitted to the City prior to release of the building permit. The plan must conform the latest guidance available from the MNDOT website. The detour must remain in place until the sidewalk is restored.
2. The benchmark information note must be fully visible on all sheets.

A permit from the Lower Rum River Water Management Organization (LRRWMO) will be required. The project is within the 10 year capture zone of a municipal well. Infiltration is not permitted in the 10 year capture zone. Alternative volume reduction strategies will need to be investigated and documented per the LRRWMO rules.

Submit a copy of the MPCA Construction stormwater permit to the City prior to construction. Submit copies of erosion inspection results to the City prior to Certificate of Occupancy.

A graphical reference to the benchmark for the site must be added to the sheets in addition to the description already shown.

Revise and resubmit storm water model. Add line from CB 100 to existing structure to model. Use East invert in CB 100 as starting water elevation of Cistern for 10 and 100 year simulations.

Utilities: The building will be served by municipal sewer and water extended from Sunwood Drive. Construction plans and specifications are subject to review of the City Engineering Department.

Stormwater Pollution Prevention Plan: Hydraulic Grade calculations must be submitted for the storm sewer system. A copy of the stormwater calculations provided to the LRRWMO for plan approval must be submitted to the City.

Sheet Specific Comments:

C1-2 – The notes along the right edge of the frame are cutoff. The full text must be visible.

- Pavement removal is shown along the existing driveways. The driveways serve an active building. Advance notice must be provided to the owner of the building prior to commencing demolition work. One access may be closed for a short period while sawing and removing the existing pavement.
- A minimum 8 ft. driving lane must be available except as noted above.
- Both driveways must be restored at the end of each working day.
- Barriers must be installed to delineate the edge of the driveway.
- The functionality of the catchbasin to be removed must be maintained until the new storm sewer system is functional.

C2-1 – **Show protective fence around existing planting beds and maintain until construction is finished.**

- A temporary pedestrian access route (TPAR) plan must be included in the plan set and note 6 must reference the TPAR.
- Move text to eliminate overlaps.

C3-1 – The dark heavy line on the northeast driveway does not match the legend. The driveway removal and replacement limits must be consistent between sheets.

- Rock Construction Entrances are ineffective in Ramsey. Add the following text to the SWPPP and Grading Plan Notes: “A street sweeper must be available within 3 hours upon notice **from the CITY** that the streets need to be swept.”
- Revise note 3 to read “...4 inches of **premium topsoil**...”
- Revise note 6 to read “...*left idle for day, weekends and holidays*, or as **directed by CITY**.”
- The proposed grades in the grass area east of the building are less than 2 percent. City code requires an as-built grading plan prior to issuing the Certificate of Occupancy for all lots with grades less than 2 percent on pervious areas.

C3-2 – The Stormwater Pollution Prevention Plan must be revised to include an area map showing the Mississippi River. The Contents of the sheet must match the requirements of the Construction Stormwater Permit.

- Revise the SWPPP to conform to the requirements of the MPCA Construction Stormwater permit. This site is within 1 mile of the Mississippi river and Appendix A applies.

Specifically the period for stabilization is **7 days** after construction activity has ceased. Make this change on all applicable sheets.

C4-1 – Add note 10: The City of Ramsey shall operate all gate valves.

- CB 100 East invert must be raised to 861.7.
- A maintenance agreement for the underground system must be provided prior to Certificate of Occupancy.

C8-1 – Revise Concrete Sidewalk detail to read 6” thick in public right-of-way.

- All references to Class 5 shall read Class 5, Ramsey Modified. Gradation is shown on Ramsey Street Details. Use Ramsey Detail STR-25 for connection to existing street.
- Use Ramsey Detail STR-25 for connection to existing street.
- Add the MNDOT 5 sheet pedestrian ramp details to the plans.
- A custom detail is required for each pedestrian ramp and must include spot elevations, slopes and layout of detectable warnings.
- Add information to Concrete Washout detail – 10 mil poly, ground shall slope away from area, how deep is the pit,

C8-2 – ADS Details must be revised to match project conditions, specifically 48” solid wall pipe.

C8-3 – Inlet Protection – Rock/ Compost log will not be permitted in Public Right of Way. Coordinate with shared parking lot owner before placing this BMP on their property.

Specifications were not submitted. These notes are required when the specifications are submitted.

- Include City where ever Engineer or Owner is referenced in Specifications.
- General Statements - Include City in notifications to Engineer and Owner.
- Sunday work is not permitted in the City of Ramsey without City Council approval. Working hours are 7:00 am – 10:00 pm, Monday –Saturday, 48 hour notice is required for Saturday Work.
- The contractor must have a City License.
- A City right-of-way permit is required prior to working in the ROW.

Water – Add Notes:

- Only City Personnel shall operate valves.
- All valves not in paved surfaces shall have blue carsonite markers.
- Paragraph 2.7.C.2 – Valve nut extensions are not used in the City of Ramsey.

Sanitary Sewer – Add note:

- All manholes not in paved surfaces shall have green carsonite markers.

- All sanitary sewer shall have 10 gauge solid copper tracer wire.

Storm Sewer – Add note:

- All manholes not in paved surfaces shall have green carsonite markers.
- All storm sewer shall have 10 gauge solid copper tracer wire.

Landscaping – Include City on all Correspondence.

- All plant material in City ROW shall have two (2) year warranty

CITY OF RAMSEY LAND USE APPLICATION
TECHNICAL REVIEW FILE

DATE	4/3/15 REVISED 5/8/15	PROJECT ADDRESS	TBD
PROJECT. TITLE	SUNWOOD VILLAGE		
ESCROW #	114596		
DEPARTMENT:	Community Development: Planning Division (Landscape Plan & Environmental Resources)		
TECHNICAL REVIEWER:	Name: Chris Anderson, City Planner Phone: 763-433-9817 Email: canderson@cityoframsey.com		

We offer the following comments regarding the Landscape Plan prepared by Loucks Associates and dated March 3, 2015, revised April 27, 2015:

- Proposed species are generally acceptable with the exception of Burgundy Carousel Barberry. This is a cultivar of Japanese Barberry, which is on the City's list of prohibited species. *Revise plan with an alternative shrub species.*
- The width of the proposed boulevard area along Veterans Drive should match the width of the boulevard area east of the parking ramp (four [4] feet). While the [COR Design Framework](#) identifies a six (6) foot wide boulevard along Connector Streets, a pattern has already been established along this stretch of Veterans Drive, thus, for consistency, the reduced boulevard width is acceptable. *Revise the plan to specify a four (4) foot boulevard.*
- The boulevard area must be finished with sod and the developer (and eventually the management company) shall be responsible for its establishment (e.g. watering). *Revise the plan to show that sod will be installed in the boulevard along Veterans Drive.*
- *Revise plan so that each shrub species has its own unique symbol and label which species are planted where.*
- *Revise planting details/specifications to include:*
 - Removal of upper portion of wire basket and burlap after being placed in planting hole
- *Revise plan to specify that upon acceptance of landscaping by City, a two (2) year maintenance guarantee is required to ensure survival of plantings.*
- Any damage to existing streetscape elements (plants, trees, irrigation, etc.) along Sunwood Drive will need to be repaired and/or replaced. *Revise all plan sheets to include this note so that contractors are aware of this.*
- The project is subject to the City's topsoil requirement, which states that all disturbed areas not otherwise improved with walkways, driveway, home and other impervious surfacing, shall receive four (4) inches of topsoil meeting the City's topsoil specification. A topsoil inspection is required prior to landscaping being installed and copies of the load tickets are required as well. This is reviewed at time of Building

Review File: Sunwood Village
Site Plan Review: Landscaping
April 3, 2015
Revised May 8, 2015
Page 2 of 2

Permit Application and request for Certificate of Occupancy. *Please update the Landscape Installation Notes to include this requirement.*

Please submit a revised landscaping plan that addresses these matters.

Tree Preservation: This site is devoid of any significant tree cover and therefore, no tree preservation plan is necessary.

Best Management Practices (BMPs): There are a couple BMPs proposed with this project. First, satisfy the Lower Rum River Water Management Organization's (LRRWMO) infiltration requirement, the project proposes to capture the first one (1) inch of rainfall from the site with an underground cistern. However, since the project site is within a 10-year capture zone of one of the community wells where infiltration is not permitted, the captured runoff will be used for irrigation purposes onsite. The second BMP proposed is the use of a tree trench. This essentially is a lined trench that will also be used to store stormwater runoff for uptake by trees and other vegetation. Both BMPs have overflow measures built in that allow runoff from larger events to be routed through to the existing stormwater sewer system.

The Environmental Policy Board (EPB) reviewed the Landscape Plan and BMPs on March 30, 2015 and not only recommended approval contingent on compliance with the above listed items. Additionally, the EPB was very pleased and supportive of the BMPs that are being proposed as part of this project. The EPB hopes that this might serve as a pilot project of sorts in which it could be replicated with future development projects.