

SUNFISH LAKE VILLAGE ASSOCIATION, INC.

1801 American Blvd E #21
Bloomington, MN 55425
Tel: 952-277-2700
Fax: 952-277-2739
www.fsresidential.com

Step 1: Review the Architectural Guidelines defined in the Declaration.

Step 2: Fill out this application:

Name: Doug and Courtney Stuart Phone #: (715) 553-0734
Address: 6184 146th Ave NW Ramsey, MN 55303
Estimated Start Date: April 2015 Estimated Completion Date: May 2015
Type of Alteration/Improvement: Patio 12' x 18'8"

Include the following attachments with the application:

- Attach a copy of your original lot survey with placement of improvement/alteration noted (i.e. if building a deck, draw placement of deck on survey).
- Attach a drawing of the alteration/improvement, preferably a professional drawing from your contractor. If that is not available a hand drawing is acceptable.
- Attach a written description or picture (if same as your proposed improvement) of the alteration/improvement. Include a list of materials that will be used (for a deck you would include the following: types of wood, paint colors, stain colors etc....)

The homeowner agrees to the following:

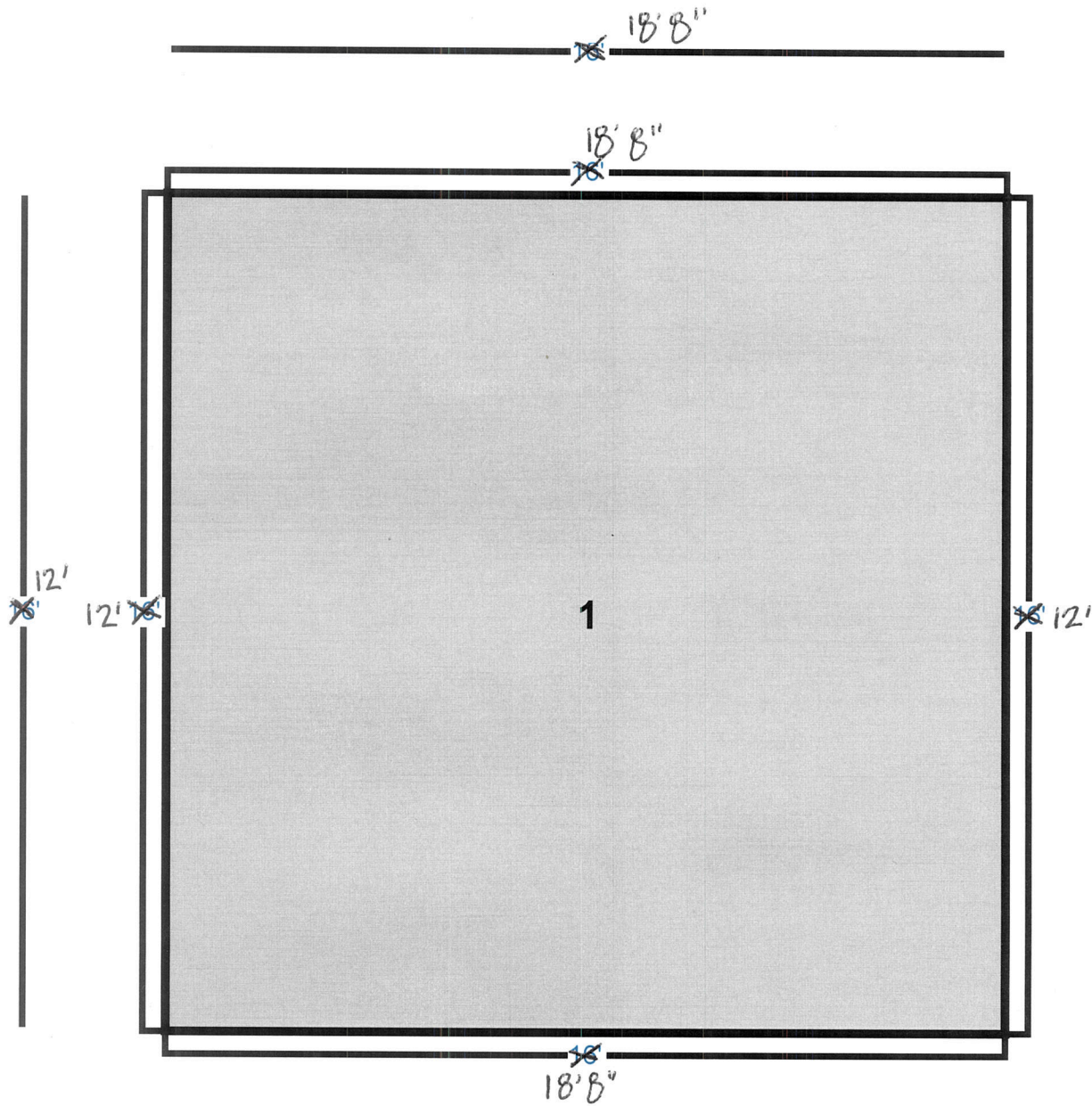
- A. No alterations/improvements may be commenced until written approval is received from the Architectural Review Committee. Alterations/improvements must be completed as represented in this Application, or as modified by any changes required as a condition of approval.
- B. The owner is responsible for obtaining any required building permits.
- C. The owner, not the Association, Board of Directors, or Review Committee, is responsible for (i) the construction standards and specifications relating to the alterations/improvements and construction work; and (ii) determining whether the alterations/improvements violate any restrictions or requirements imposed by any governmental authority having jurisdiction over the Unit.
- D. The owner shall hold harmless, indemnify and defend the Association and its officers, directors, and agents from and against any expenses, claims, damages, losses or other liabilities, including without limitation attorneys' fees and costs of litigation incurred by the Association, arising out of (i) any part of the alterations/improvements which violates any governmental law, code, ordinance, or regulation; (ii) the adequacy of the plans or specifications submitted by the owner in connection with this application; and (iii) the construction of the alterations/improvements.

Signature: Courtney Ann Stuart Date: 4/11/15

Step 3: Submit the application to Sunfish Lake Village Association, 1801 American Blvd E #21, Bloomington, MN 55425 or email to Christine Wachsmuth at Christine.w@fsresidential.com (remember the attachments).

Step 4: Wait for a response from the Architectural Review Committee. The response will be mailed to you. Note: In accordance with the Declaration of Covenants your contractors are not allowed to put advertising signs on your property.

If you have any questions or concerns about this process please contact
Steve Sis or Christine Wachsmuth at 952-277-2700 or via email at _____ or
Christine.w@fsresidential.com.



Take this sheet to the Building Materials counter to purchase your materials.

Estimated Price:

\$585.53

Project Weight:

8700 lbs

*Today's estimated price, future pricing may go up or down. Tax, labor and delivery not included.

Final wall design should be performed by a registered professional engineer to meet all local code and regulations. This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions. MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by the guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully. MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST. BECAUSE OF THE WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS.

Visit www.midwestmanufacturing.com for more information on product installation

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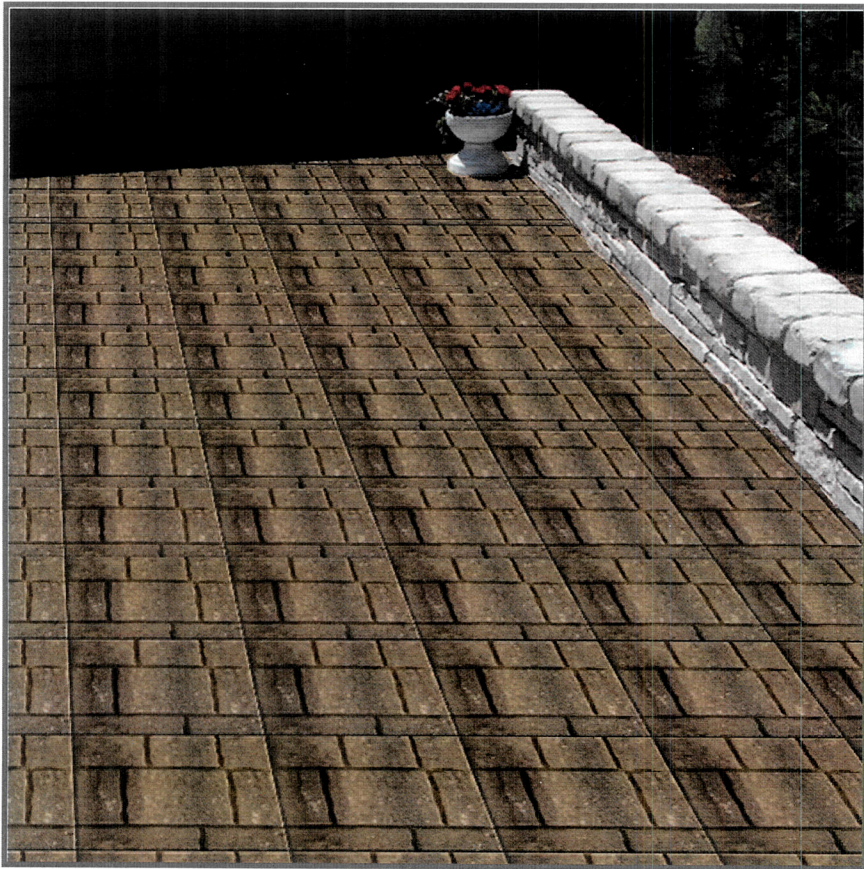
Project Visualizer

Design Id: 302822097307

Thank you for using the Menards Project Visualizer.

You may recall your design at any Building Materials Design-It Center or by visiting www.menards.com.

If you've already measured your area, please use our helpful Landscaping Estimator to estimate what you need for this project, or see a helpful Menards team member to get you started.



Your Product Selections:

Patio

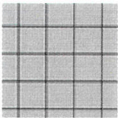
SKU: 1791288



Block: **EZ SLATE**



Color: **SIENNA**



Pattern: **All Square**

EZ SLATE



Dimensions	Weight	Blocks Per Sq. Ft.
2"H x 16"W x 16"D	40 lbs.	.56 Blocks per sq. ft.

COLORS & SKUs:

Autumn Blend
179-1290

Quarry Gray
179-1289

Sienna
179-1288



Estimate From **MENARDS®**

Estimate # 6385
Page 1 of 1

STORE # 3028 COON
3045 Main Street
Coon Rapids, MN 55448

PHONE: (763) 421-8040
FAX: (763) 421-3580

ESTIMATE FOR:
Stuart, Doug 6184 146th Ln NW Ramsey, MN 55303-4847
Ph: (701) 317-0242
PROJECT DESCRIPTION: patio

ESTIMATE BY ESTIMATE DATE	
RORY C.	04/10/15

SKU NUMBER	DESCRIPTION	QTY TO ORDER	ADDITIONAL ITEM INFORMATION
179-3293	8' PLASTIC PAVER EDGER PLASTICPAVEREDGING	8 EACH	
179-3303	ANCHOR KIT FOR PAVER EDGE9/PKG EDGERANCHOR	8 EACH	
189-1155	PAVER LOCKING SAND 50 LBS BAG LOCKINGSAND	7 EACH	
189-1138	LEVELING SAND STEP 2 1/2 CUFT BAG LEVELINGSAND	43 EACH	
179-1288	16" EZ SLATE 42LB SIENNA	144 EACH	ON SALE THRU 04/11/15

*** If purchased today, you save \$214.56 ***

This is an estimate. It is given only for general price information. This is not an offer and there can be no legally binding contract between the parties based upon this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form and are not inclusive of taxes, delivery, packaging or any other charges which may or may not need to be added when ultimately purchasing products from this estimate. The availability of materials is subject to inventory conditions. **MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY OF THE MATERIALS STATED HEREIN.** All information on this form, other than price, has been provided by guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully. **MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST. BECAUSE OF WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS.**

TODAY'S SUB-TOTAL: 635.72
REGULAR SUB-TOTAL: 850.28

GUEST COPY
PAGE 1 OF 1

Certificate of Survey

for ~



NOTES:

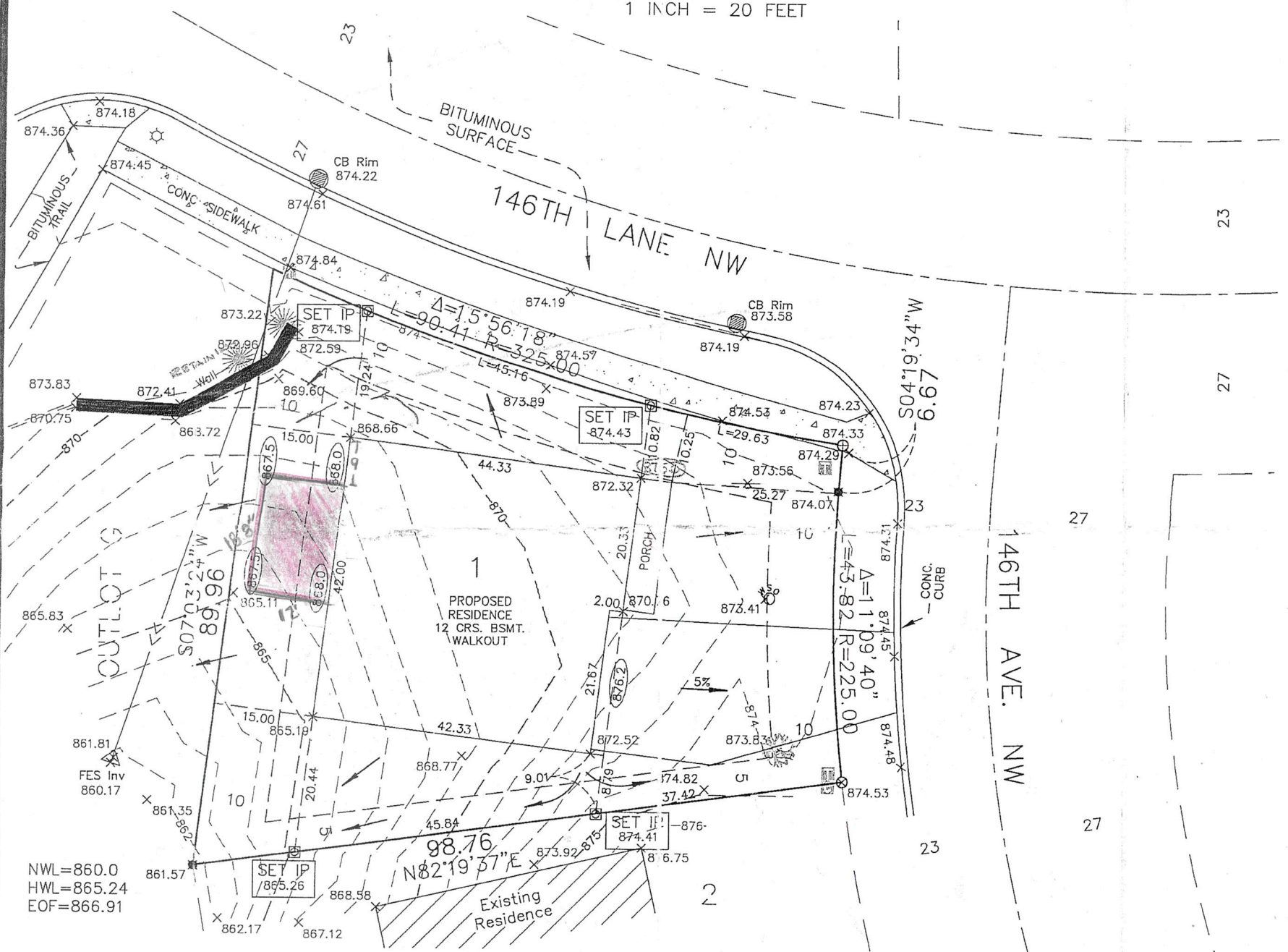
1. Contractor to verify all building dimensions and elevations.
2. In providing this boundary survey no attempt has been made to obtain or show data concerning existence, size, depth, condition, capacity or location of any utility existing on the site, whether private, municipal or public owned.
3. The professional surveyor has made no investigation or independent search for easements of record, encumbrance, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
4. Square footage of lot is 6,233 sq. ft. or 0.14 acres.
5. This lot is in Section 26 Township 32 Range 25
6. Builder/Owner place retaining walls as needed.
7. House pad needs to be cleared - YES NO

PROPOSED ELEVATIONS

- Lowest Floor Elevation: 868.5
- Top of Block Elevation: 876.5
- Garage Slab Elevation: 876.2
- Walkout Elevation: 868.5



1 INCH = 20 FEET



LEGEND

- = Iron monument found
- = Iron monument set and marked with license No. 18420.
- x 800.0 = Denotes existing elevation
- 800.0 = Denotes proposed elevation from grade or development plan
- 5 = Denotes drainage & utility easement
- = Denotes drainage arrow
- ⊠ = Denotes offset monument
- Bearings shown are assumed
- 800.0 = Denotes proposed contour from development or grading plan
- 800.0 = Denotes as-built elevation
- SF = Denotes silt fence



Lot 1, Block 1 THE VILLAGE OF SUNFISH LAKE 2ND ADD.

ANOKA COUNTY, MINNESOTA
Subject to easements of record, if any.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Charles R. Christopherson
Charles R. Christopherson, MN License No. 18420

06/27/14
Date



Job No.: 3660.277
Jun 27, 2014 - 9:19am selhm
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