

M&G TRAILER SALES PARKING LOT EXPANSION

CONSTRUCTION PLANS FOR SITE GRADING AND PARKING LOT AND MISCELLANEOUS CONSTRUCTION

CITY OF RAMSEY

GOVERNING SPECIFICATIONS

THE 2014 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AND "MATERIALS LAB SUPPLEMENTAL SPECIFICATIONS FOR CONSTRUCTION" SHALL GOVERN FOR SITE WORK.

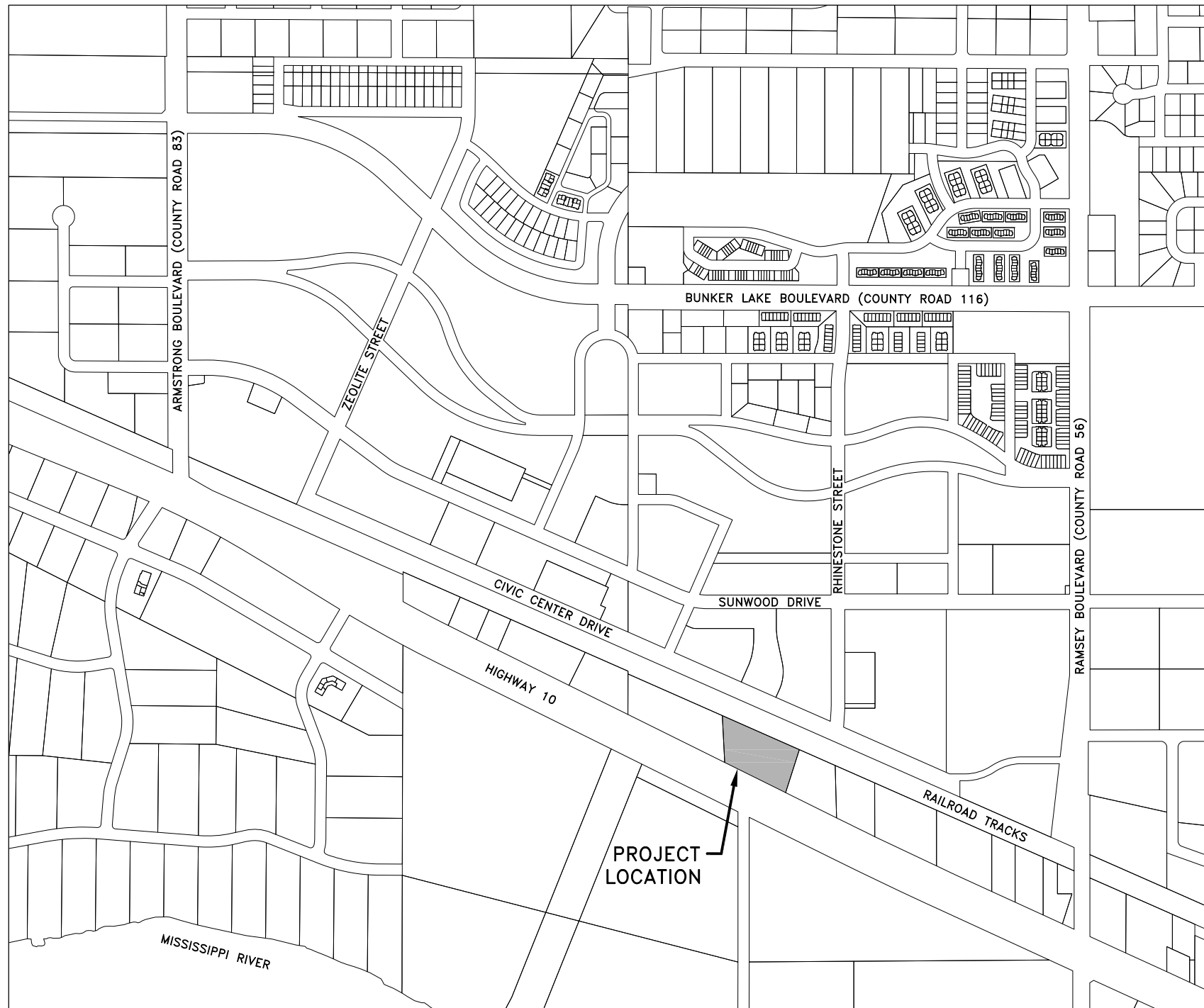
ALL FEDERAL, STATE AND LOCAL LAWS, REGULATIONS, AND ORDINANCES SHALL BE COMPLIED WITH IN THE CONSTRUCTION OF THIS PROJECT.

ALL TRAFFIC CONTROL DEVICES AND SIGNING SHALL CONFORM TO THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, INCLUDING THE LATEST FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS.

SHEET INDEX

THIS PLAN CONTAINS 5 SHEETS

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	CONSTRUCTION NOTES, DETAILS AND PROJECT LEGEND
3	EXISTING TOPOGRAPHY AND REMOVALS PLAN
4	GRADING, DRAINAGE AND EROSION CONTROL PLAN
5	RESTORATION PLAN

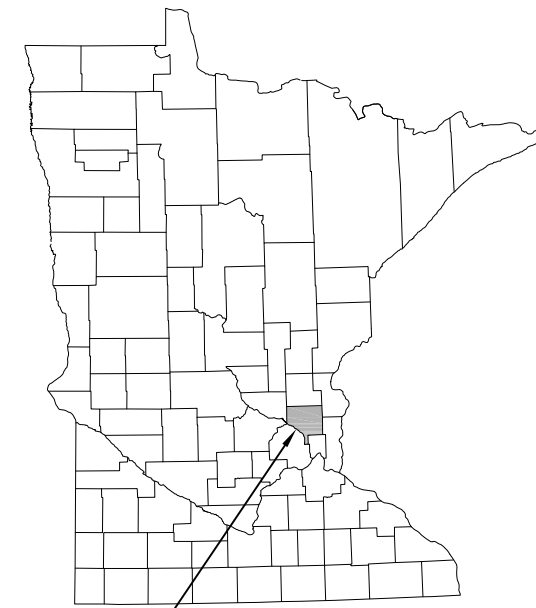


OWNER

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M&G TRAILER SALES
7575 HIGHWAY 10 NW
RAMSEY, MN 55303
steve@mgtrailer.com
763-506-0930

ENGINEER/SURVEYOR

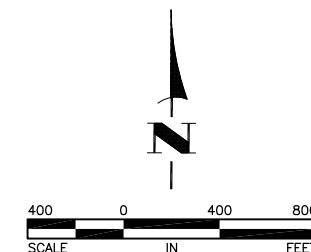
HAKANSON ANDERSON
3601 THURSTON AVE.
ANOKA, MN 55303
CRAIG J. JOCHUM, P.E.
craigj@haa-inc.com
CHARLES R. CHRISTOPHERSON, P.L.S.
charlie@haa-inc.com
763-427-5860
763-427-0520 (FAX)



CITY OF RAMSEY,
ANOKA COUNTY,
MINNESOTA

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

Hakanson Anderson
Civil Engineers and Land Surveyors
3601 Thurston Ave., Anoka, Minnesota 55303
763-427-5860 FAX 763-427-0520



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Craig J. Jochum 23461 DATE 9/15/16
CRAIG J. JOCHUM, P.E. LIC. NO.
HAKANSON ANDERSON
DESIGN ENGINEER

DATE	REVISION

SHEET 1 OF 5 SHEETS

3990.01

GENERAL CONSTRUCTION AND SOILS NOTES:

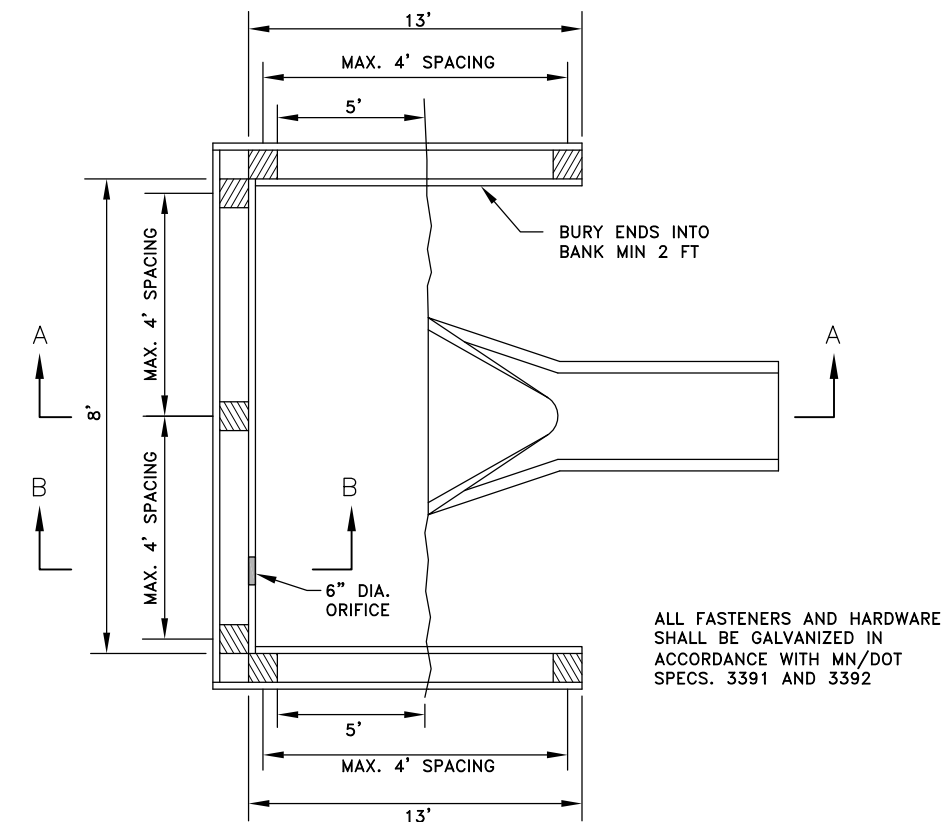
- CONTRACTOR SHALL STRIP THE TOP 3 INCHES OF INPLACE TOPSOIL IN AREAS TO BE DISTURBED BY CONSTRUCTION AND REUSE AS SLOPE DRESSING. IN AREAS OF PARKING LOT CONSTRUCTION, THE EXPOSED SAND SHALL BE SURFACE COMPACTED TO AT LEAST 100% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY, ASTM D698, IN AT LEAST THE UPPER 3 FEET.
- UNLESS OTHERWISE RECOMMENDED IN THESE PLANS, THE GRADING SUBGRADE SHALL BE CONSTRUCTED OF SUITABLE GRADING MATERIAL. THE FILL SHALL BE PLACED IN 8" TO 10" LOOSE LIFTS, AND COMPACTED TO 100% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY.
- SUITABLE GRADING MATERIAL FOR THIS PROJECT SHALL CONSIST OF ALL SOILS ENCOUNTERED WITH THE EXCEPTION OF TOPSOIL, SILT, DEBRIS, ORGANIC MATERIAL AND OTHER UNSTABLE MATERIAL.
- THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL OFF SITE.

GENERAL EROSION CONTROL NOTES:

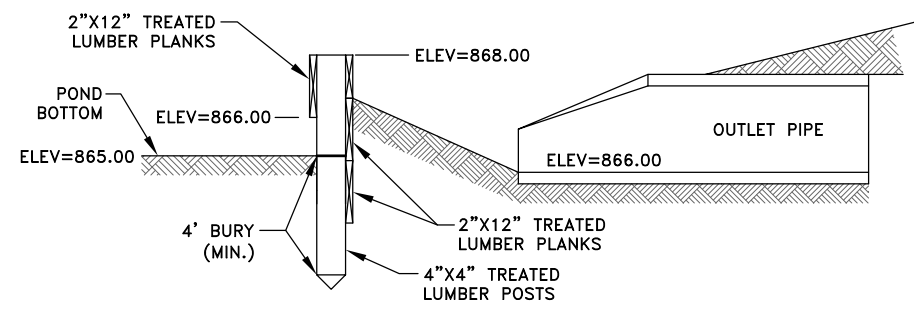
- EROSION CONTROL SHALL CONFORM TO THE MN/DOT EROSION CONTROL HANDBOOK.
- PRIOR TO ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL ACQUIRE THE NECESSARY MPCA NPDES STORMWATER PERMIT.
- THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENT CONTROL FACILITIES (BMP'S) PRIOR TO GRADING AND REMOVAL ACTIVITIES. BMP'S SHALL BE MAINTAINED FOR THE DURATION OF CONSTRUCTION ACTIVITIES AND POTENTIAL FOR EROSION HAS PASSED.
- THE CONTRACTOR SHALL SCHEDULE HIS OPERATION TO MINIMIZE THE AMOUNT OF DISTURBED AREA AT ANY GIVEN TIME.
- BMP'S SHALL BE INSPECTED DAILY BY THE CONTRACTOR. OBSERVATIONS SHALL BE RECORDED IN AN INSPECTION LOG.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROPERLY DISPOSED OF WITHIN THIRTY (30) DAYS OF FINAL SITE STABILIZATION.
- THE CONTRACTOR SHALL FILE A NOTICE OF TERMINATION WITH THE MPCA AFTER FINAL STABILIZATION HAS BEEN APPROVED.

LEGEND

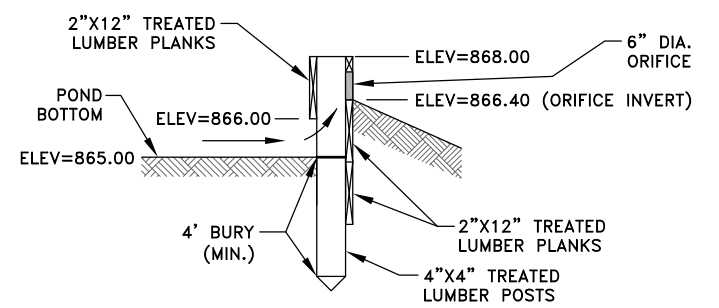
----- 906	EXISTING CONTOUR
———— 906	PROPOSED CONTOUR
————	PROPERTY LINE
-----	SETBACK LINE
— P-OH	OVERHEAD ELECTRIC
⊕	POWER POLE
⊙	GUY WIRE
⊕	UTILITY PEDESTALS
⊕	SIGN
— >> —	PROPOSED STORM SEWER
◁	PROPOSED APRON
🌳	DECIDUOUS TREE
②	DETAIL NUMBER
②	SHEET NUMBER



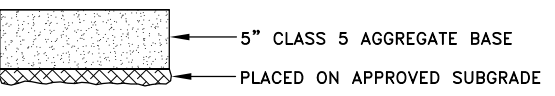
PLAN VIEW



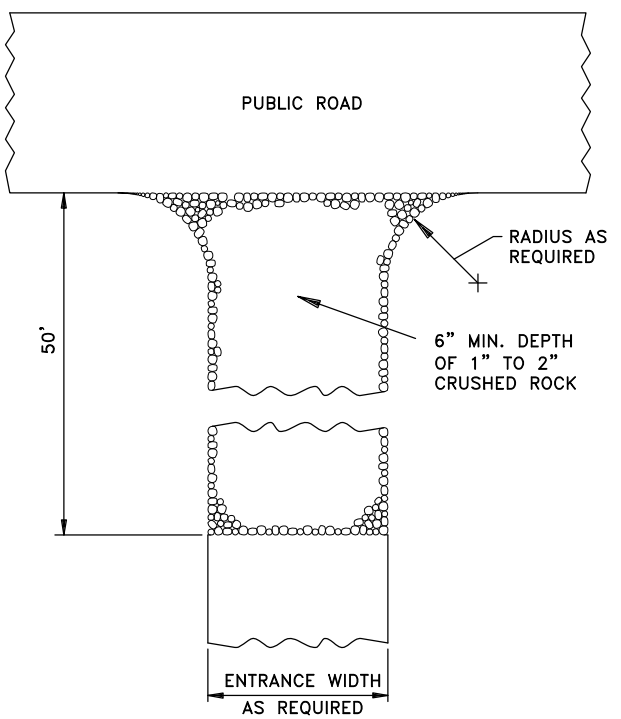
SECTION A-A



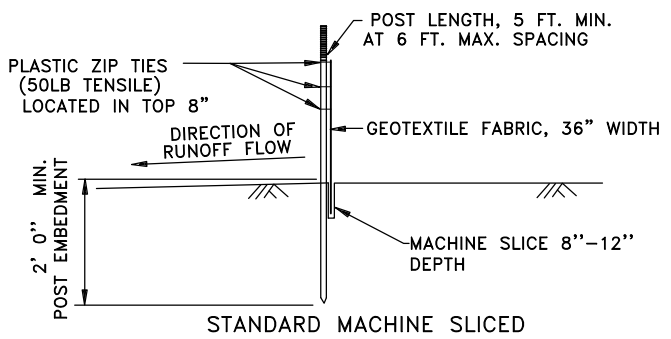
SECTION B-B



1 GRAVEL PARKING LOT SECTION
NO SCALE



2 ROCK CONSTRUCTION ENTRANCE



3 SILT FENCE DETAILS

ALL FASTENERS AND HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH MN/DOT SPECS. 3391 AND 3392

Nov 03, 2016 - 9:24am K:\cad_eng\PROJECTS\PRIVATE\3990.01\dwg\399001DETAILS.dwg

DATE	REVISION
11/2/16	REVISED LEGEND

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Craig J. Johnson, P.E.
Date 9/15/16 Lic. No. 23461

DESIGNED BY: TAE
DRAWN BY: TAE
CHECKED BY: CJJ

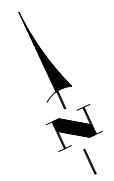
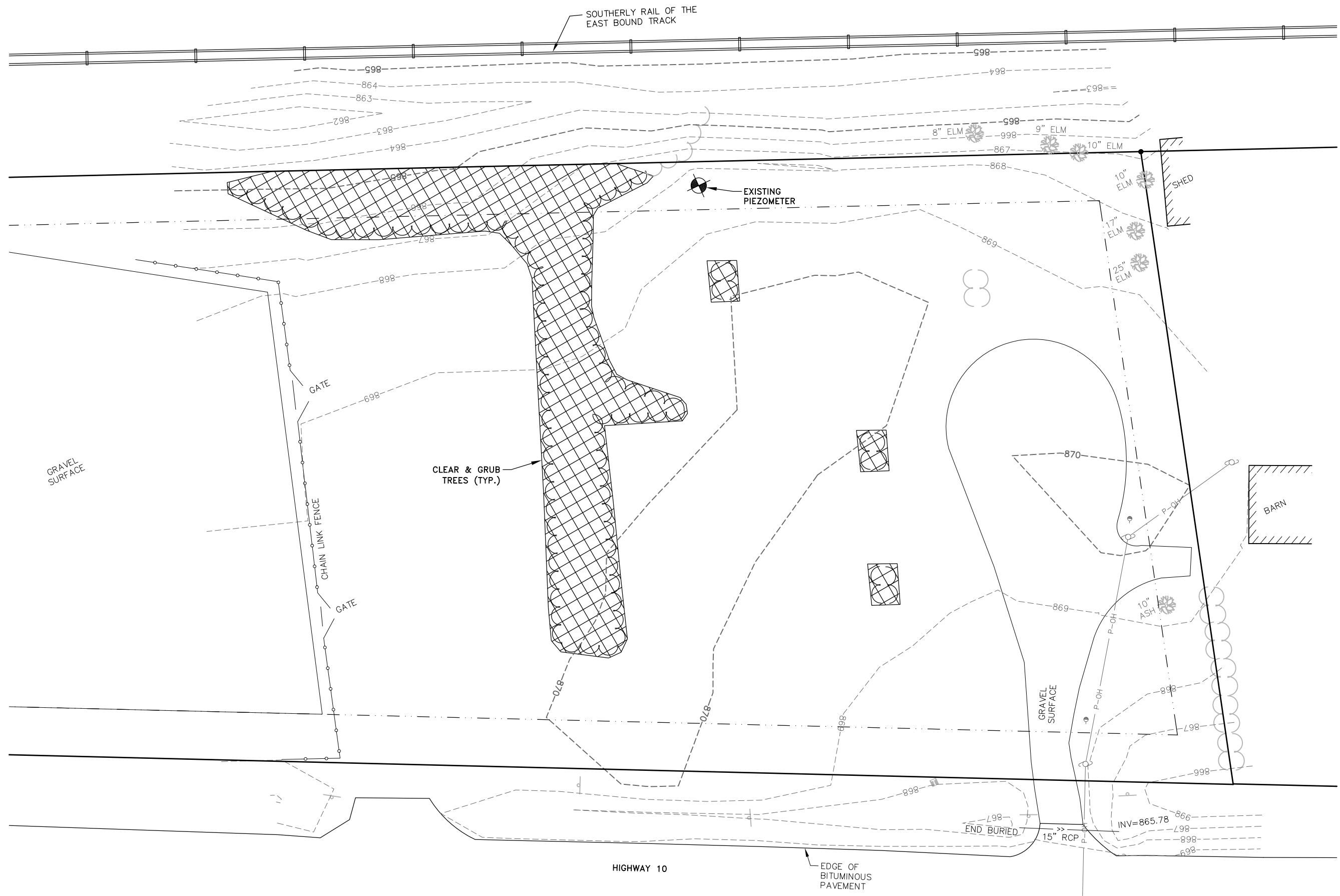


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**M&G TRAILER SALES
PARKING LOT EXPANSION**

**CONSTRUCTION NOTES, DETAILS
AND PROJECT LEGEND**
CITY OF RAMSEY, MINNESOTA

SHEET 2 OF 5 SHEETS
3990.01



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DATE	REVISION
11/2/16	ADDED SETBACK LINE

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Craig J. Jochum
CRAIG J. JOCHUM, P.E.
 Date 9/15/16 Lic. No. 23461

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TAE
 DRAWN BY:
TAE
 CHECKED BY:
CJJ



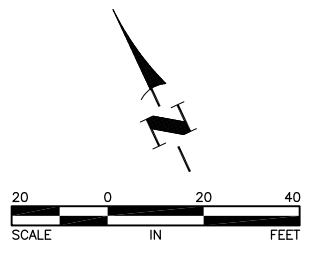
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**M&G TRAILER SALES
 PARKING LOT EXPANSION**

**EXISTING TOPOGRAPHY
 AND REMOVALS PLAN**
 CITY OF RAMSEY, MINNESOTA

SHEET **3** OF **5**
 SHEETS
 3990.01


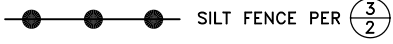
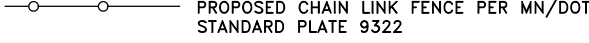

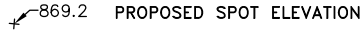
26LF (INC. (2) METAL APRONS)
 12" CPP @ 1.92%
 (N)INV=865.50
 (S)INV=866.00

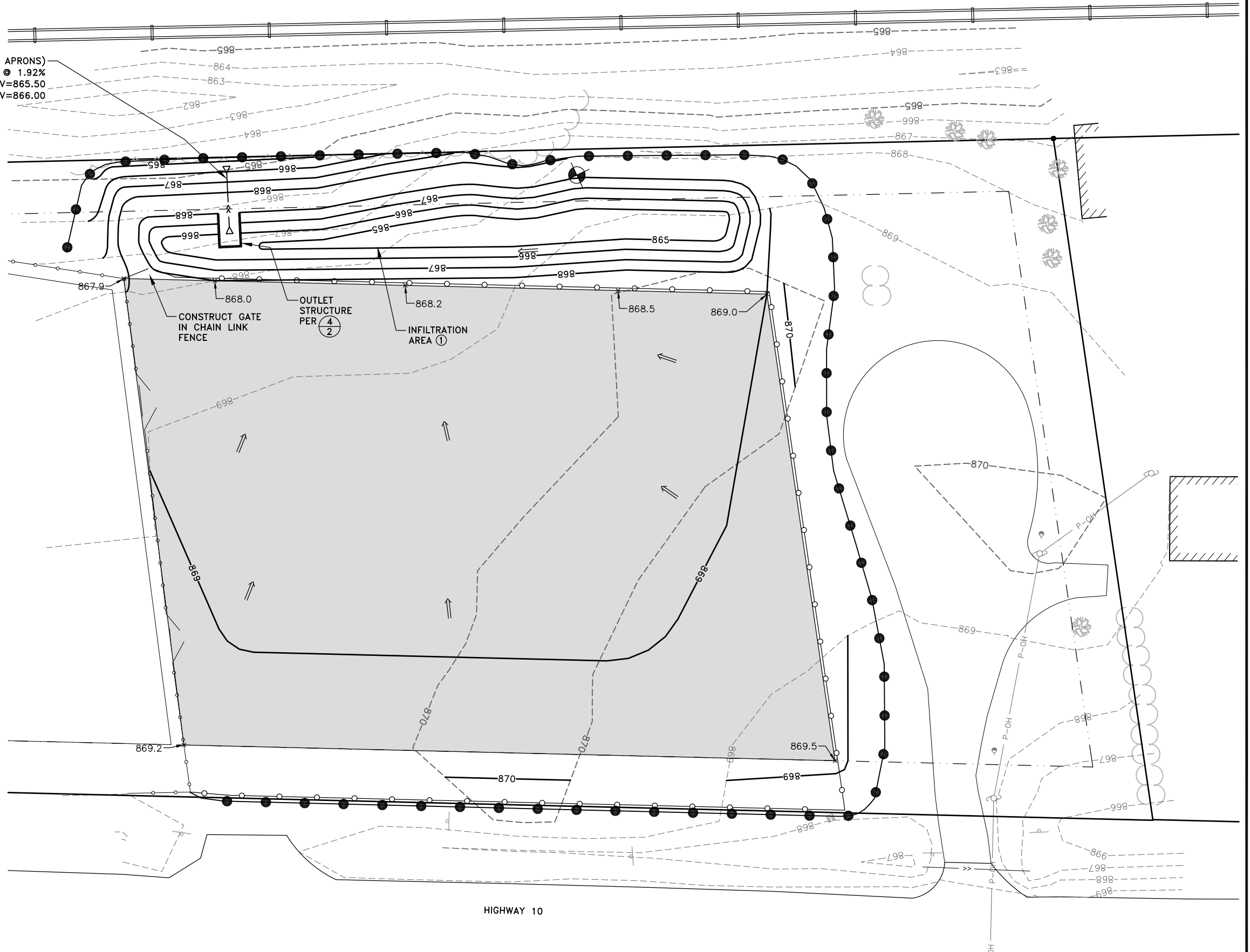


- GENERAL NOTES:**
1. DISTURBED AREAS SHALL BE STABILIZED WITHIN 7 DAYS OF ROUGH GRADING. SEE SHEET 5 FOR THE SITE RESTORATION PLAN.
 2. PROJECT IS LOCATED WITHIN THE LOWER RUM RIVER WATERSHED MANAGEMENT ORGANIZATION BOUNDARIES.
 3. CONTRACTOR SHALL SWEEP ALL DEBRIS FROM HIGHWAY 10 AS NECESSARY OR AS DIRECTED BY THE ENGINEER IN THE FIELD.
 4. CONTRACTOR SHALL REMOVE ALL EROSION CONTROL FEATURES ONCE SITE IS STABILIZED.
 5. SLOPES SHALL BE A MAXIMUM OF 4:1.
 6. PRIOR TO IMPORTING OR EXPORTING MATERIAL FROM THE SITE, CONTRACTOR SHALL CONSTRUCT A ROCK CONSTRUCTION ENTRANCE PER $\frac{2}{2}$.
 7. CORRUGATED POLYETHYLENE PIPE (CPP) SHALL MEET THE REQUIREMENTS OF AASHTO M294 AND DESIGN SECTION 18 OF THE AASHTO STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES. CONNECTIONS SHALL BE MADE WITH BELL AND SPIGOT JOINTS. CLAMP-ON BANDS WILL NOT BE ALLOWED. PIPE BEDDING SHALL BE PER THE MANUFACTURER'S RECOMMENDATION.

- REFERENCE NOTES:**
- ① THE LIMITS OF THE INFILTRATION AREAS ARE DEFINED AS THOSE AREAS SHOWN ON SHEET 5 DENOTED FOR SEED MIX 33-261. IN FILL AREAS, CONTRACTOR SHALL REMOVE ALL ORGANIC SOILS IN THE INFILTRATION AREAS AND REPLACE WITH SIMILAR NATIVE SANDS. INFILTRATION AREAS SHALL BE TOP DRESSED WITH 2 INCHES OF ONSITE SANDY TOPSOIL. ONLY LOW PRESSURE EQUIPMENT SHALL BE ALLOWED IN THE INFILTRATION AREAS. COMPACTION SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICAL.

LEGEND

-  PROPOSED GRAVEL SURFACE PER $\frac{1}{2}$
-  SILT FENCE PER $\frac{3}{2}$
-  PROPOSED CHAIN LINK FENCE PER MN/DOT STANDARD PLATE 9322
-  DRAINAGE ARROW
-  PROPOSED SPOT ELEVATION



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DATE	REVISION
11/2/16	ADDED SETBACK LINE

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Craig J. Johnum
 CRAIG J. JOHNUM, P.E.
 Date 9/15/16 Lic. No. 23461

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 CHECKED BY: CJJ

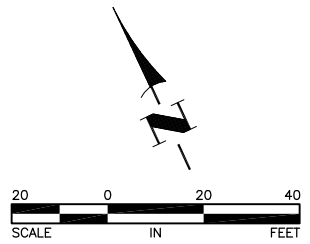
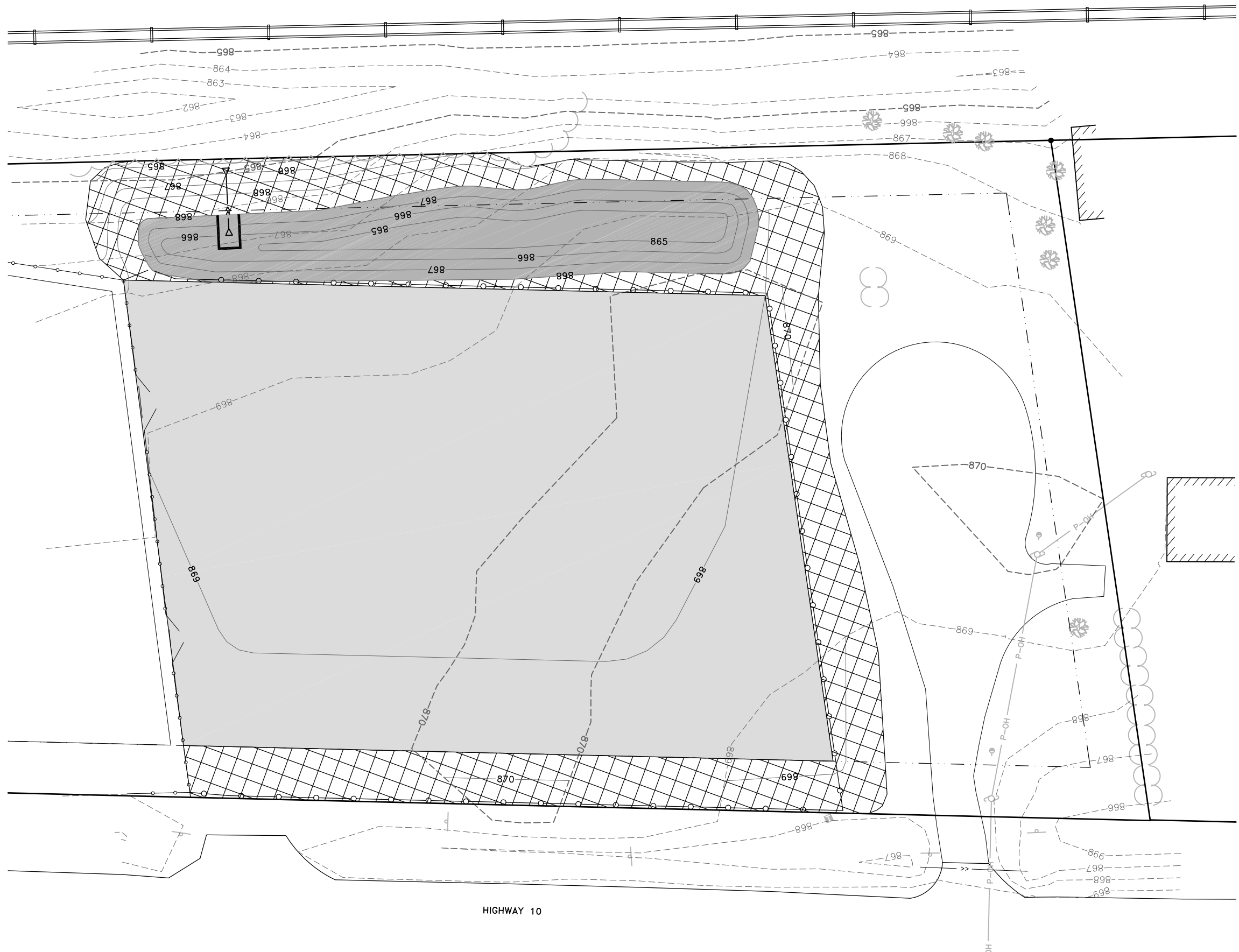


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**M&G TRAILER SALES
 PARKING LOT EXPANSION**




**GRADING, DRAINAGE AND
 EROSION CONTROL PLAN**
 CITY OF RAMSEY, MINNESOTA

SHEET 4 OF 5 SHEETS
 3990.01



- GENERAL NOTES:**
1. PLACE A MINIMUM OF 4" OF SALVAGED TOPSOIL OVER ALL DISTURBED AREAS OUTSIDE THE PROPOSED PARKING LOT AND INFILTRATION AREAS (SEE REFERENCE NOTE ① ON SHEET 4).
 2. ALL DISTURBED AREAS SHALL BE SEEDED WITH THE MIXES SHOWN, FERTILIZED WITH TYPE 1 FERTILIZER AT A RATE OF 300 POUNDS/ACRE AND MULCHED WITH DISK ANCHORED, TYPE 1 MULCH AT A RATE OF 2 TONS/ACRE.

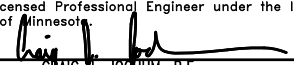
LEGEND

-  GRAVEL SURFACE
-  SEED MIX 33-261 (35 POUNDS/ACRE)
-  SEED MIX 25-121 (61 POUNDS/ACRE)

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DATE	REVISION
11/2/16	ADDED SETBACK LINE

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CRAG J. JOCHEM, P.E.
 Date 9/15/16 Lic. No. 23461

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 CHECKED BY:
CJJ



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**M&G TRAILER SALES
 PARKING LOT EXPANSION**

RESTORATION PLAN
 CITY OF RAMSEY, MINNESOTA

SHEET
5
 OF
5
 SHEETS

Nov 03, 2016 - 9:23am K:\cod_eng\PROJECTS\PRIVATE\3990.01\dwg\399001\EXHIBIT-PROPERTY.dwg

MAJESTIC HOLDINGS OWNED PROPERTY ← → CITY OWNED PROPERTY

MAJESTIC HOLDING PROPERTY	
TOTAL EXISTING AREA	95,832 SF
EXISTING PAVED AREA	69,817 SF
EXISTING GRAVEL AREA	6,373 SF
EXISTING GREEN SPACE AREA	19,642 SF
TOTAL PROPOSED AREA	95,832 SF
PROPOSED PAVED AREA	69,817 SF
PROPOSED GRAVEL AREA	6,373 SF
PROPOSED GREEN SPACE AREA	19,642 SF
CITY OWNED PROPERTY	
TOTAL EXISTING AREA	145,904 SF
EXISTING PAVED AREA	0 SF
EXISTING GRAVEL AREA	38,830 SF
EXISTING GREEN SPACE AREA	107,074 SF
TOTAL PROPOSED AREA	145,904 SF
PROPOSED PAVED AREA	0 SF
PROPOSED GRAVEL AREA	83,706 SF
PROPOSED GREEN SPACE AREA	62,198 SF
COMBINED PROPERTIES	
TOTAL EXISTING AREA	241,736 SF
EXISTING PAVED AREA	69,817 SF
EXISTING GRAVEL AREA	45,203 SF
EXISTING GREEN SPACE AREA	126,716 SF
TOTAL PROPOSED AREA	241,736 SF
PROPOSED PAVED AREA	69,817 SF
PROPOSED GRAVEL AREA	90,079 SF
PROPOSED GREEN SPACE AREA	81,840 SF

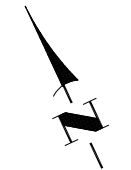
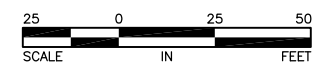
CURRENT ZONING: H-1
PARKING SETBACK: 20 FEET

SUMMARY OF PROPOSED IMPERVIOUS SURFACE AND GREEN SPACE CALCULATIONS

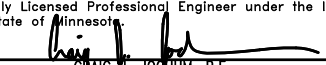
PROPERTY OWNER	TOTAL AREA (S.F.)	IMPERVIOUS SURFACE - GRAVEL PLUS PAVEMENT				GREEN SPACE			
		EXISTING		PROPOSED		EXISTING		PROPOSED	
		AREA (S.F.)	AREA (%)	AREA (S.F.)	AREA (%)	AREA (S.F.)	AREA (%)	AREA (S.F.)	AREA (%)
MAJESTIC HOLDINGS	95,832	76,190	79.50%	76,190	79.50%	19,642	20.50%	19,642	20.50%
CITY OF RAMSEY	145,904	38,830	26.61%	83,706	57.37%	107,074	73.39%	62,198	42.63%
COMBINED	241,736	115,020	47.58%	159,896	66.14%	126,716	52.42%	81,840	33.86%

LEGEND

 BRUSH/INSIGNIFICANT TREES



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**M&G TRAILER SALES
 PARKING LOT EXPANSION**

PROPERTY AREA EXHIBIT
 CITY OF RAMSEY, MINNESOTA

SHEET 1 OF 1 SHEETS
 3990.01