

# PUD Development Plan, Preliminary Plat & Final Plans

for

## Vistas at North Commons Ramsey, Minnesota

Prepared for:

**Morning Sun Homes**  
**8862 Zealand Avenue North Bay B**  
**Brooklyn Park, Minnesota 55445**  
**Contact: Mark Meuleners**  
**Phone: 763-424-4222**

Prepared by:

**Westwood**

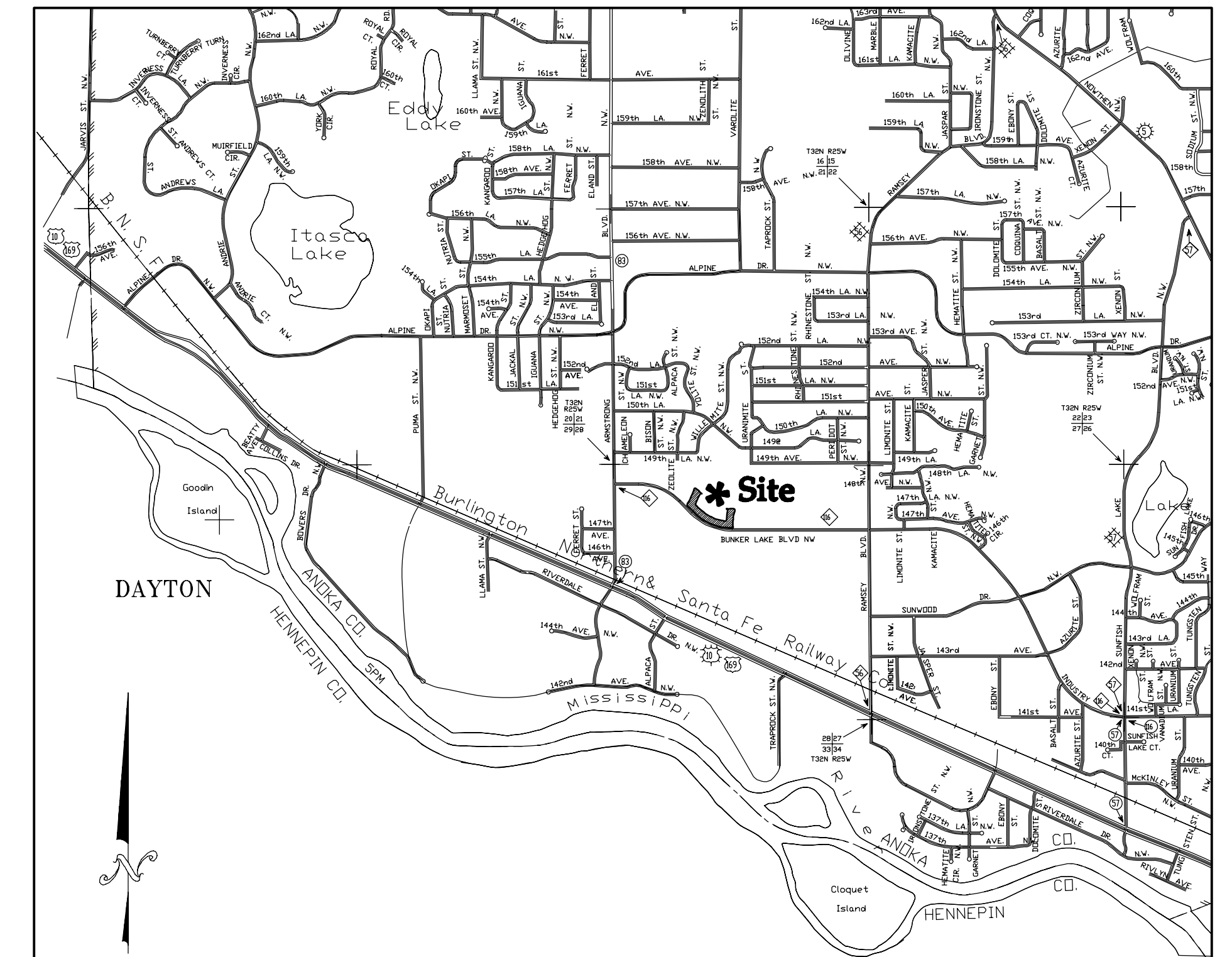
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Westwood Professional Services, Inc.

Project number: 0009798.00

Contact: John Bender

### Vicinity Map



(Not to Scale)

NO.	DATE	REVISION	SHEETS
1	12/20/16	CITY COMMENTS	ALL

Sheet List Table	
Sheet Number	Sheet Title
1	Cover
2	Existing Conditions
3	Development Stage PUD – Preliminary Plat
4	Final Grading Plan & Erosion Control Plan
5	Final Utility Service Plan
6	Details
7	Final Landscape Plan
8	Landscape Details

## PUD Development Plan, Preliminary Plat & Final Plans

for

**Vistas at North Commons**  
**Ramsey, Minnesota**

Date: 12/02/2016 Sheet: 1 of 8

**BENCHMARKS:**

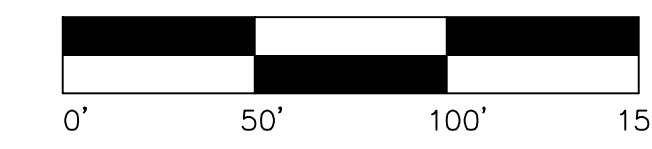
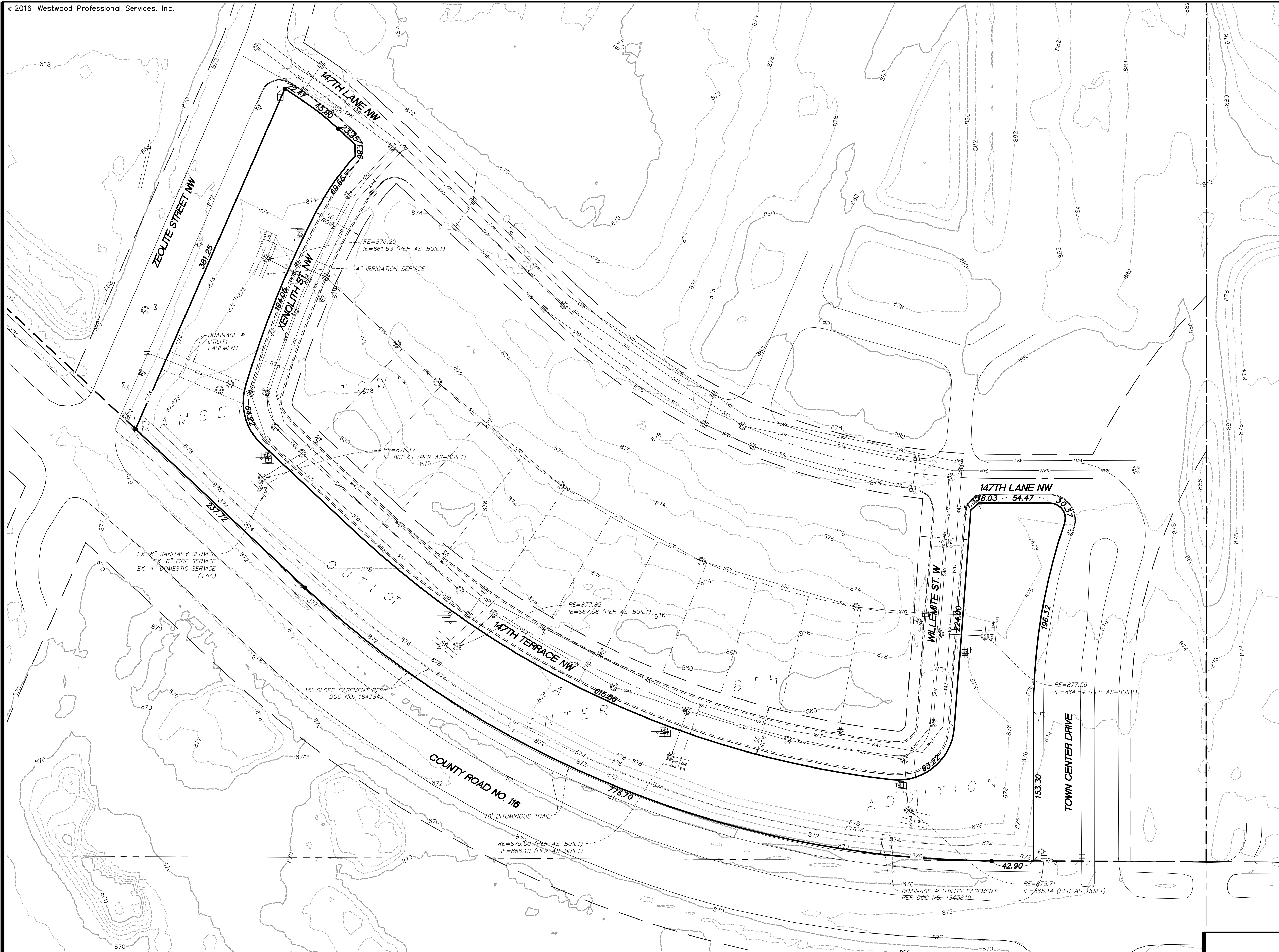
THE VERTICAL DATUM AVAILABLE IS AT 1988NAVD IN US SURVEY FEET;  
 HELD MNDOT STATION 0202 B = ELEV. 865.02

**PROPERTY DESCRIPTION:**

Outlot A, RAMSEY TOWN CENTER 8TH ADDITION, according to the recorded plat thereof, Anoka County, Minnesota.

**LEGEND**

- |  |                     |  |                       |
|--|---------------------|--|-----------------------|
|  | BUSH/SHRUB          |  | STORM MANHOLE         |
|  | CONIFEROUS TREE     |  | TELEPHONE BOX         |
|  | DECIDUOUS TREE      |  | TELEPHONE MANHOLE     |
|  | WETLAND             |  | TRAFFIC CONTROL BOX   |
|  | STEEL/WOOD POST     |  | HAND HOLE             |
|  | SIGN-TRAFFIC/OTHER  |  | TRAFFIC LIGHT         |
|  | SIGN-TRAFFIC/OTHER  |  | GATE VALVE            |
|  | MAIL BOX            |  | HYDRANT               |
|  | HANDICAPPED STALL   |  | WATER METER           |
|  | PERC TEST           |  | CURB STOP BOX         |
|  | MONITORING WELL     |  | WATER MANHOLE         |
|  | CABLE TV BOX        |  | WELL                  |
|  | GAS METER           |  | CABLE TV              |
|  | STREET LITE         |  | GAS LINE              |
|  | GUY WIRE            |  | POWER OVERHEAD        |
|  | POWER POLE          |  | POWER UNDERGROUND     |
|  | ELECTRIC BOX        |  | SANITARY SEWER        |
|  | ELECTRIC METER      |  | STORM SEWER           |
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|  | ELECTRIC TOWER      |  | TELEPHONE UNDERGROUND |
|  | SANITARY MANHOLE    |  | WATERMAIN             |
|  | SEWER CLEANOUT      |  | FENCE LINE            |
|  | BEEHIVE CATCH BASIN |  | DECIDUOUS TREE LINE   |
|  | CATCH BASIN         |  | CONIFEROUS TREE LINE  |
|  | FLARED END SECTION  |  | CURB & GUTTER         |
|  | CONCRETE SURFACE    |  | BITUMINOUS SURFACE    |



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Date: 12/02/2016 Sheet: 2 OF 8

**Vistas at North Commons**  
 Ramsey, Minnesota

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I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL SURVEYOR under the laws of the State of Minnesota.  
**Craig W. Morse**  
 Date: 12/20/16 License No. 23021

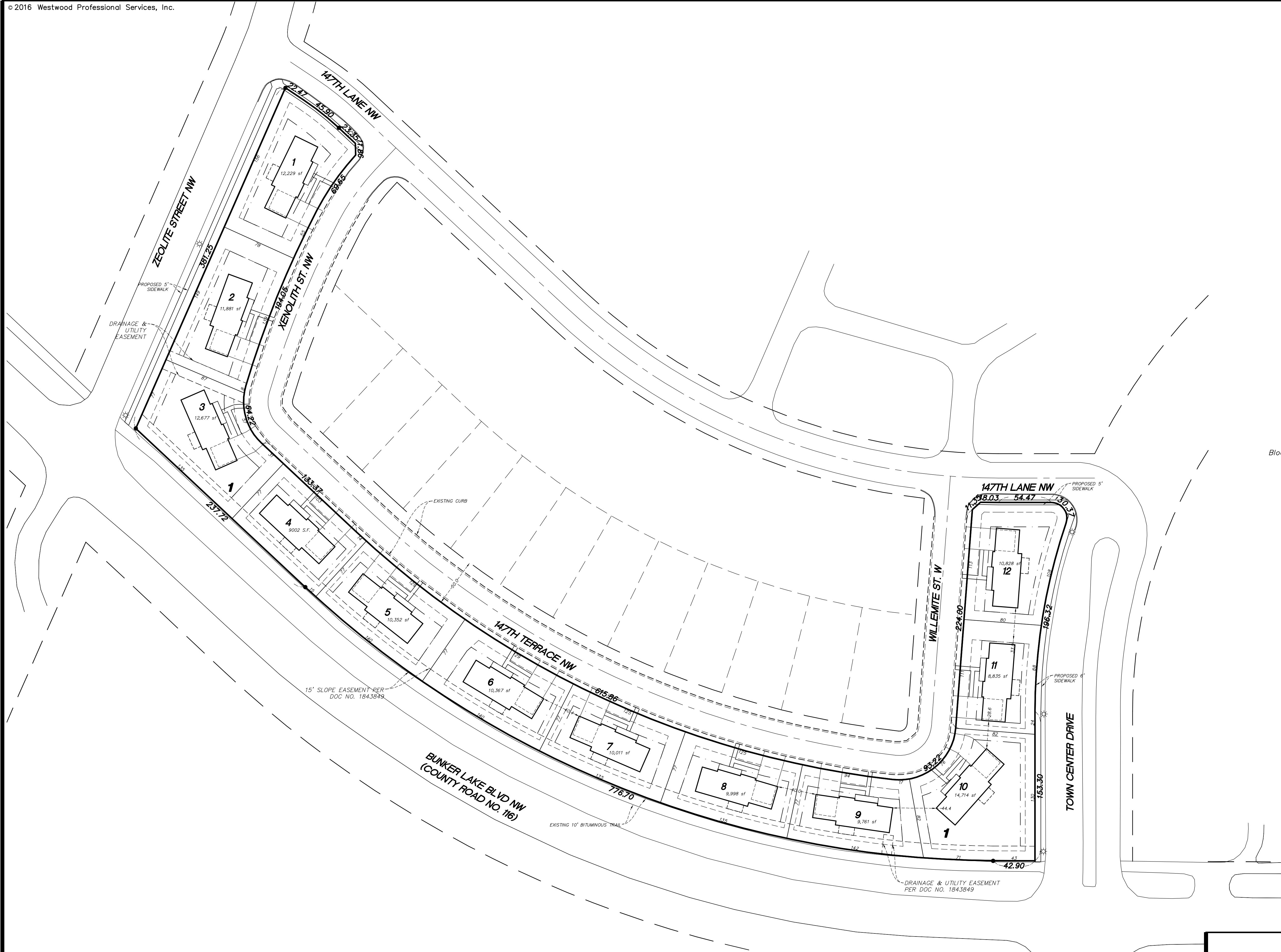
**Revisions:**

12/20/16: CITY COMMENTS

Designed: \_\_\_\_\_  
 Checked: \_\_\_\_\_  
 Drawn: \_\_\_\_\_  
 Record Drawing by/date: \_\_\_\_\_

Prepared for:  
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 8662 Zealand Avenue North Bay B  
 Brooklyn Park, Minnesota 55445

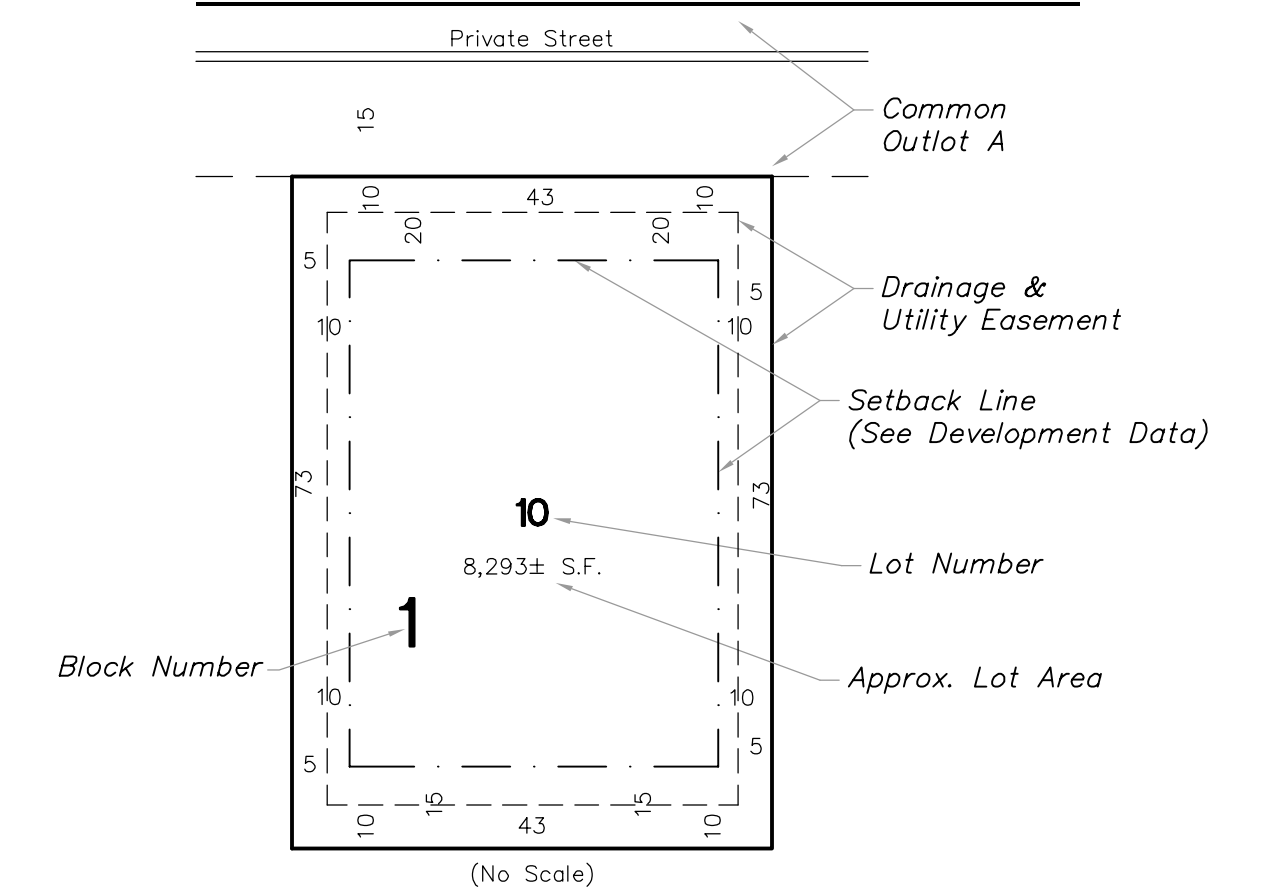
Existing Conditions



**Development Data**

Total Site Area:	3.00 ac.
Existing Zoning:	Town Center (See Master Plan for Sub-Districts)
Proposed Zoning:	xxxx
Proposed Units:	12
Development Standards:	
- Lot Width @ Setback:	Varies
- Lot Depth:	77'
- Lot Area:	8,835 sf (min)
- Average Lot Area:	10,888 sf
Setbacks (minimums):	
- Front Yard Setback:	20'
- Side Yard Setback:	10'/10' 20' Total
- Side Yard Setback (corner):	25'
- Rear Yard Setback:	15'

**Typical Lot (Varies)**

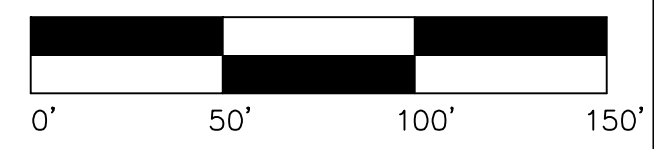
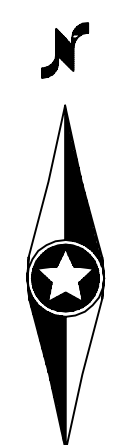


**PROPERTY DESCRIPTION:**

Outlot A, RAMSEY TOWN CENTER 8TH ADDITION, according to the recorded plat thereof, Anoka County, Minnesota.

**NOTE:**

The lot dimensions and areas on this plan are approximate. Refer to the final plat and supporting data for exact lot dimensions and areas.



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Date: 12/02/2016 Sheet: 3 OF 8

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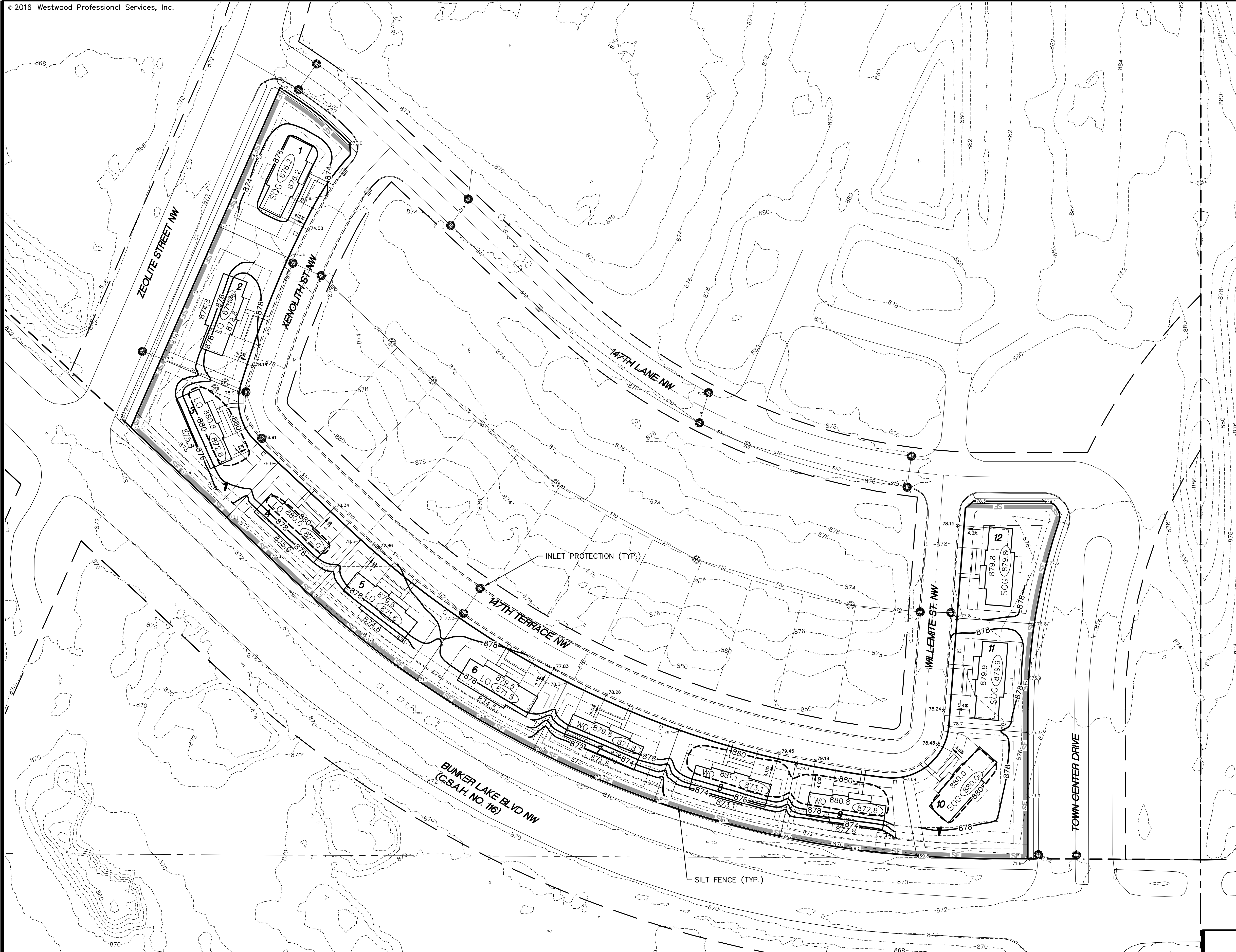
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**Vistas at North Commons**

Ramsey, Minnesota

**Development Stage PUD - Preliminary Plat**



**NOTES:**

MASS GRADING AND EROSION CONTROL WAS DESIGNED BY OTHERS.

THIS PLAN IS INTENDED FOR USE IN PREPARING LOT CERTIFICATES, INDIVIDUAL HOME CONSTRUCTION AND LOT GRADING. ADDITIONAL MASS GRADING OF THE SITE IS NOT PROPOSED.

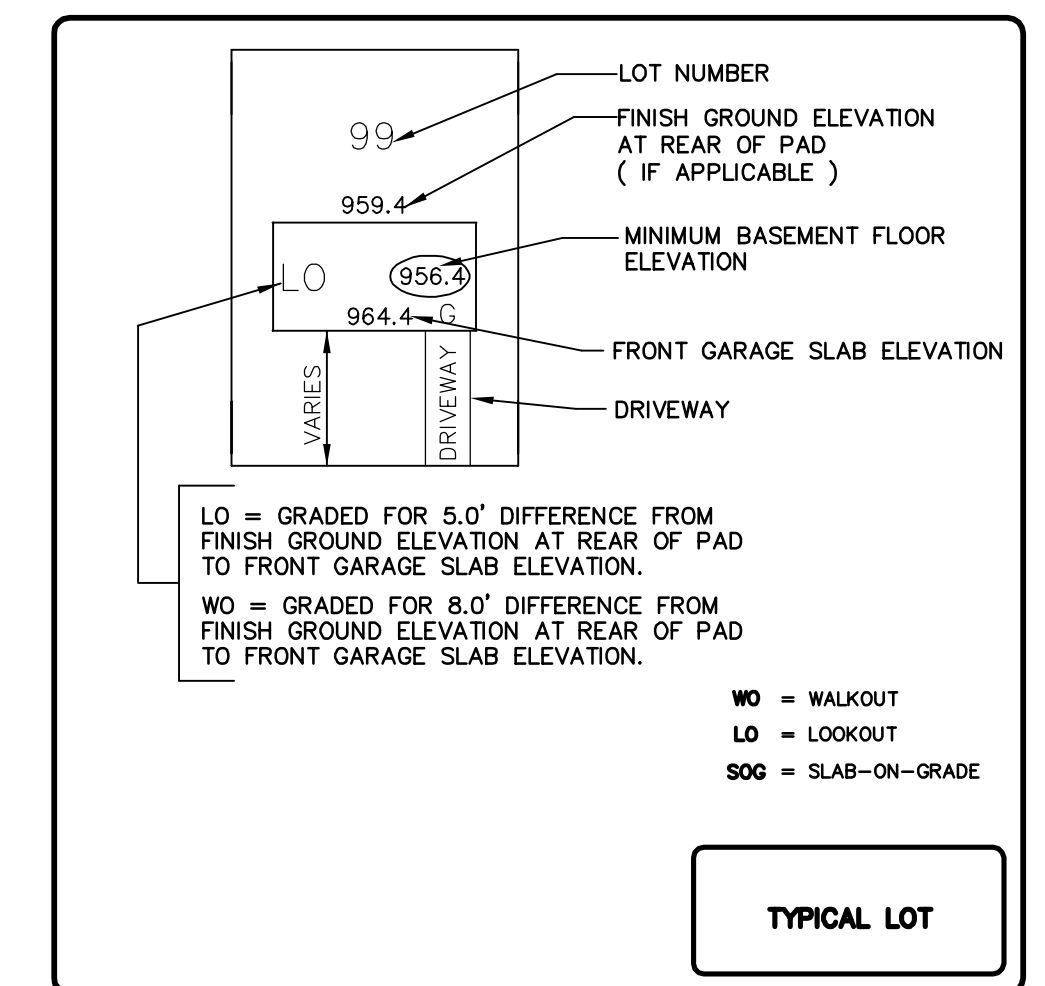
INDIVIDUAL HOME BUILDER(S) TO BE RESPONSIBLE FOR EROSION CONTROL DUE TO HOME CONSTRUCTION.

**EROSION CONTROL NOTES:**

- ALL SILT FENCE AND OTHER EROSION CONTROL FEATURES SHALL BE IN-PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL VIABLE TURF OR GROUND COVER HAS BEEN ESTABLISHED. EXISTING SILT FENCE ON-SITE SHALL BE MAINTAINED AND OR REMOVED AND SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONTRACT. IT IS OF EXTREME IMPORTANCE TO BE AWARE OF CURRENT FIELD CONDITIONS WITH RESPECT TO EROSION CONTROL. TEMPORARY PONDING, DIKES, HAY BALES, ETC., REQUIRED BY THE CITY SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
- ALL STREETS DISTURBED DURING WORKING HOURS MUST BE CLEANED AT THE END OF EACH WORKING DAY. A ROCK ENTRANCE TO THE SITE MUST BE PROVIDED ACCORDING TO DETAILS TO REDUCE TRACKING OF DIRT ONTO PUBLIC STREETS.

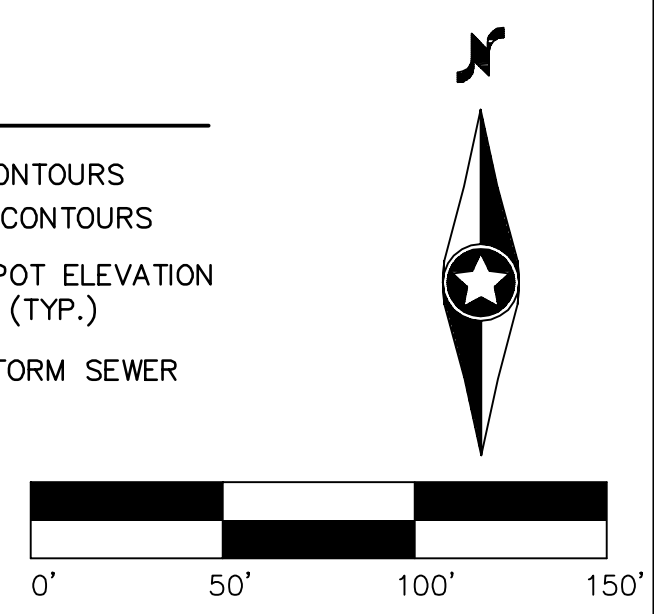
**GENERAL GRADING & DRAINAGE NOTES:**

- ALL CONTOURS AND SPOT ELEVATIONS ARE SHOWN TO FINISHED SURFACE/GUTTER GRADES UNLESS OTHERWISE NOTED.
- ALL DRIVEWAY SPOT ELEVATIONS ARE SHOWN TO TOP BACK CURB.
- REFER TO THE SITE PLAN/RECORD PLAN FOR MOST CURRENT HORIZONTAL SITE DIMENSIONS AND LAYOUT.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHICAL FEATURES WITH THE OWNERS AND FIELD-VERIFY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL RULES.
- POSITIVE DRAINAGE FROM THE SITE MUST BE PROVIDED AT ALL TIMES.



**LEGEND**

- 980 — DENOTES EXISTING CONTOURS
- 980 — DENOTES PROPOSED CONTOURS
- 23.46 DENOTES EXISTING SPOT ELEVATION AT TOP BACK CURB. (TYP.)
- DENOTES EXISTING STORM SEWER



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**John Bender**  
 Date: 12/20/16 License No. 43358

**Revisions:**

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Designed: JHB  
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 Drawn: HW  
 Record Drawing by/date:

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8662 Zealand Avenue North Bay B  
 Brooklyn Park, Minnesota 55445

**Vistas at North Commons**

Ramsey, Minnesota

**Final Grading Plan & Erosion Control Plan**

**General Utility Notes**

THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OF ANY DIFFERENCES.

UNLESS OTHERWISE NOTED, ALL MATERIALS, CONST. TECHNIQUES AND TESTING SHALL CONFORM TO THE CITY OF RAMSEY ENGINEERING GUIDELINES & THE CURRENT EDITIONS OF THE "STANDARD UTILITIES SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION BY THE CITY ENGINEERING ASSOCIATION OF MINN." AND TO THE "STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION" MINN. DEPT. OF TRANS. THE CONTRACTOR SHALL BE REQUIRED TO FOLLOW ALL PROCEDURES AS OUTLINED BY THE LOCAL AGENCY.

THE CONTRACTOR SHALL RECEIVE THE NECESSARY PERMITS.

VERIFY EXISTING INVERT LOC. & ELEV. PRIOR TO BEGINNING CONSTRUCTION.

THE WATER SERVICE SHALL BE INSTALLED WITH A MIN. OF 7.5 FT. OF COVER. THE CONTRACTOR SHALL VERIFY THE CITY AS-BUILT CONSTRUCTION PLANS TO CHECK LOCATION AND MATERIAL TYPE.

THE CONTRACTOR SHALL CONTACT "GOPHER STATE ONE CALL" FOR FOR UTILITY LOCATIONS PRIOR TO UTILITY INSTALLATION.

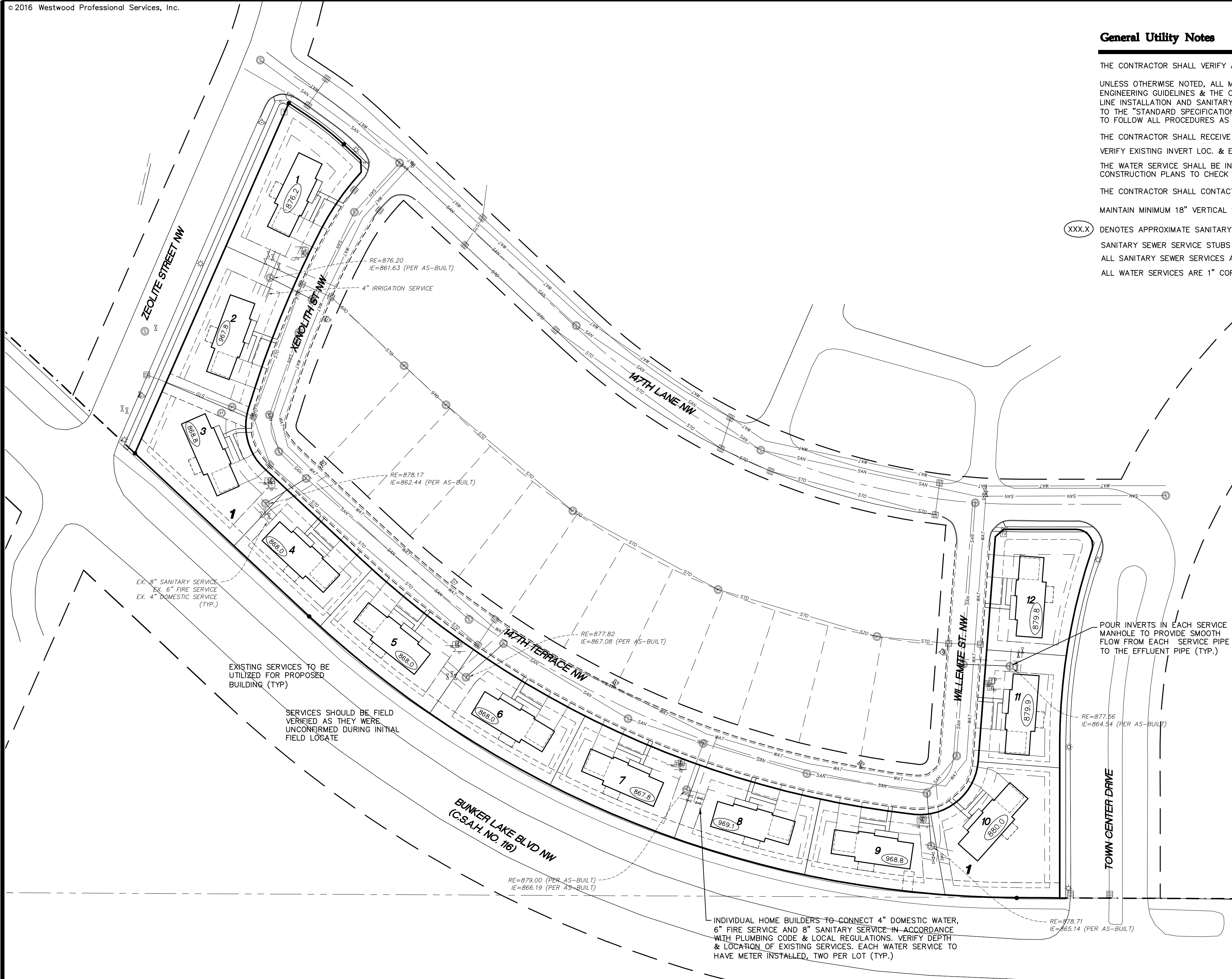
MAINTAIN MINIMUM 18" VERTICAL SEPARATION BETWEEN WATER MAIN & SANITARY SEWER.

(XXX.X) DENOTES APPROXIMATE SANITARY SEWER SERVICE INVERT @ 5' OUTSIDE BUILDING FOOTING.

SANITARY SEWER SERVICE STUBS TYPICALLY 3' DOWNSTREAM OF WATER SERVICE CURB STOP

ALL SANITARY SEWER SERVICES ARE 4" SDR 26.

ALL WATER SERVICES ARE 1" COPPER.



**Legend**

- |  |                     |  |                       |
|--|---------------------|--|-----------------------|
|  | BUSH/SHRUB          |  | STORM MANHOLE         |
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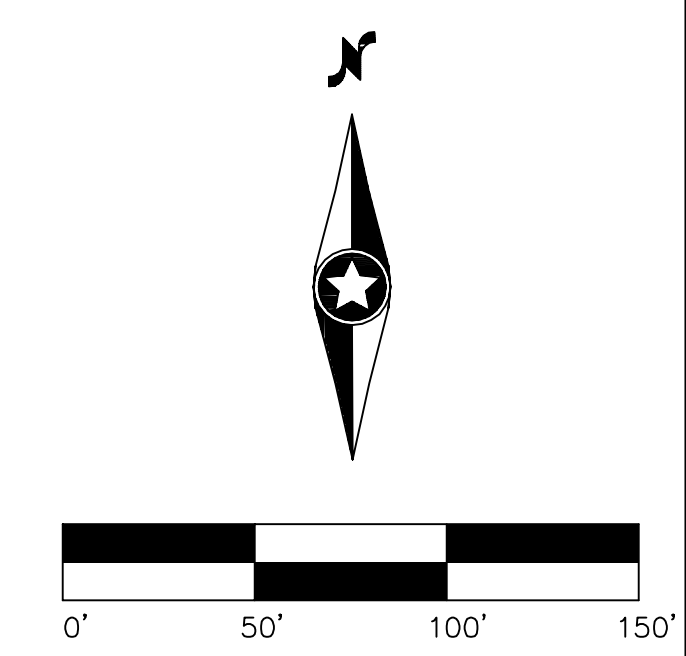
POUR INVERTS IN EACH SERVICE MANHOLE TO PROVIDE SMOOTH FLOW FROM EACH SERVICE PIPE TO THE EFFLUENT PIPE (TYP.)

EXIST. 8" SANITARY SERVICE  
 EX. 6" FIRE SERVICE  
 EX. 4" DOMESTIC SERVICE (TYP.)

EXISTING SERVICES TO BE UTILIZED FOR PROPOSED BUILDING (TYP)

SERVICES SHOULD BE FIELD VERIFIED AS THEY WERE UNCONFIRMED DURING INITIAL FIELD LOCATE

INDIVIDUAL HOME BUILDERS TO CONNECT 4" DOMESTIC WATER, 6" FIRE SERVICE AND 8" SANITARY SERVICE IN ACCORDANCE WITH PLUMBING CODE & LOCAL REGULATIONS. VERIFY DEPTH & LOCATION OF EXISTING SERVICES. EACH WATER SERVICE TO HAVE METER INSTALLED, TWO PER LOT (TYP.)



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Date: 12/02/2016 Sheet: 5 OF 8

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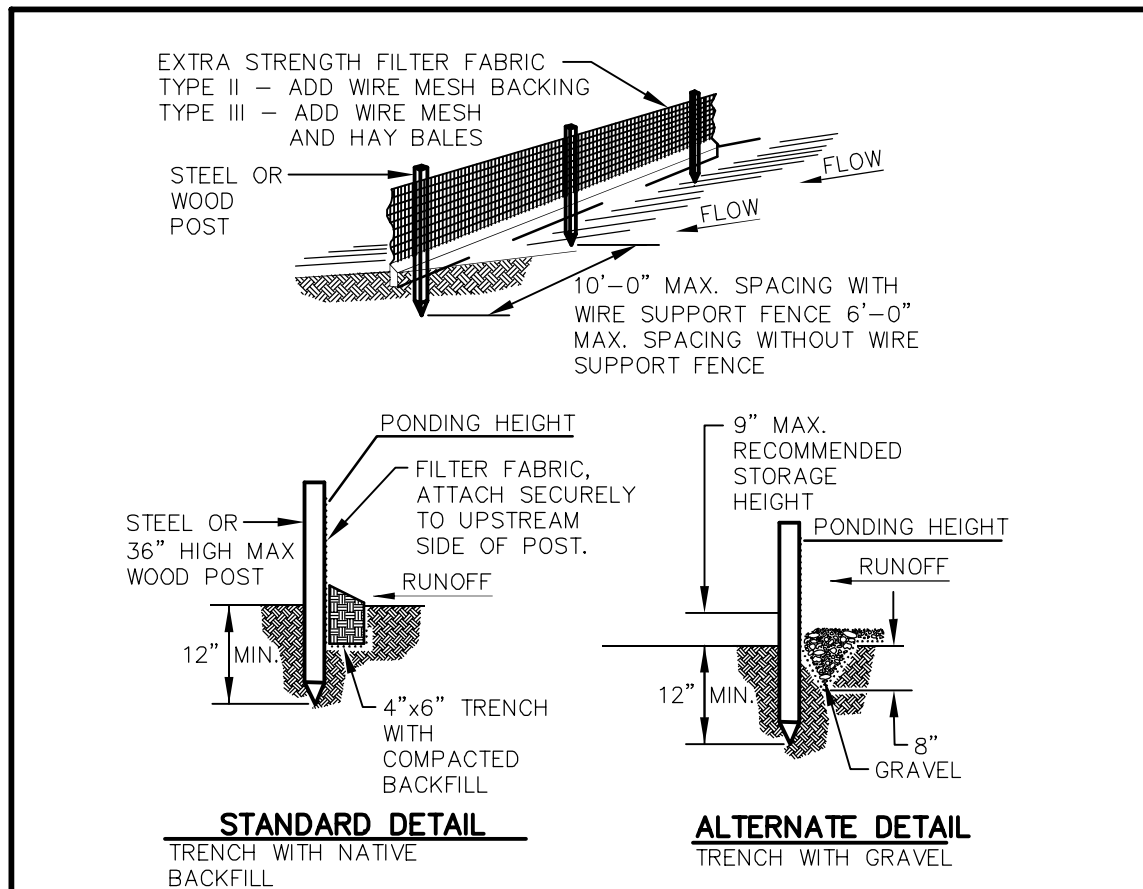
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 Ramsey, Minnesota

**Final Utility Service Plan**



- NOTE:**
- INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
  - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
  - SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

<b>Westwood</b>	<b>SILT FENCE</b>	LAST REVISED: 03/03/08
		<b>GDO2</b>

**SPECIFICATIONS AND STANDARDS**

AISC MANUAL OF STEEL CONSTRUCTION, 9TH EDITION.  
 AWS STRUCTURAL WELDING CODE - STEEL, D1.1-94.  
 29 CFR 1926 - OSHA SAFETY AND HEALTH STANDARDS

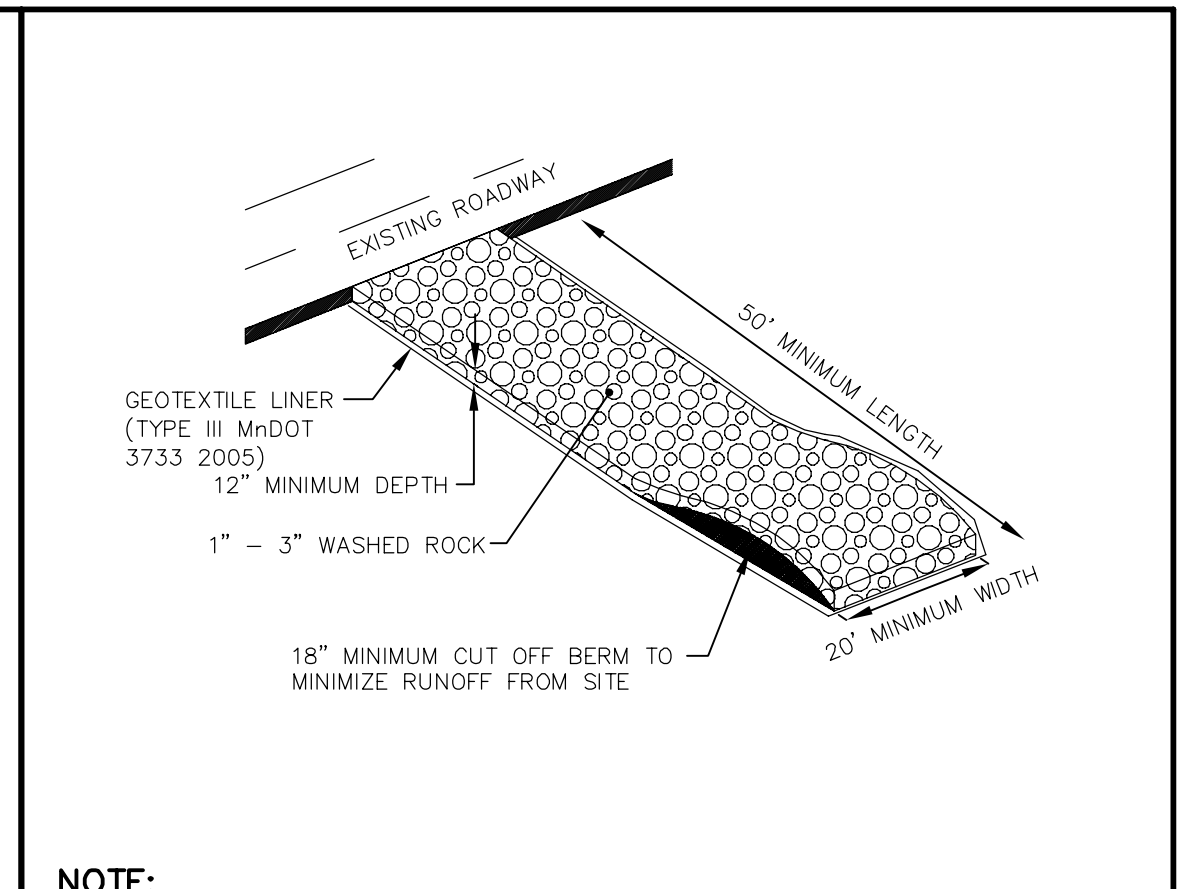
**DESIGN LOADS**

ALLOWABLE AXLE WEIGHT LOAD	n/a
SAFETY FACTOR	n/a
WATER FLOW RATE (THROUGH POLYESTER SLEEVE)	0.476 cfs @ 3" head
MAXIMUM OVERFLOW RATE	2.14 cfs @ 15" head

**NOTE:**

- STREET CONTRACTOR TO INSTALL AFTER CURB & GUTTER IS INSTALLED. MAINTAIN UNTIL SITE IS STABILIZED.

<b>Westwood</b>	<b>ROAD DRAIN CG-23</b>	LAST REVISED: 03/03/08
	<b>"WIMCO" CURB INLET PROTECTION</b>	<b>GD12</b>



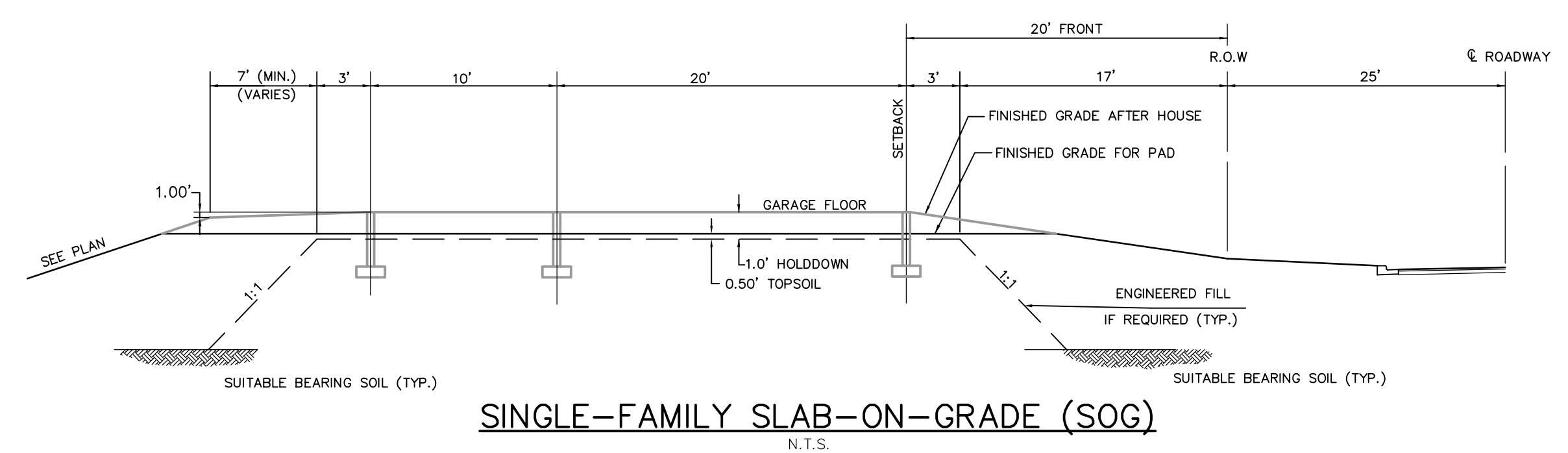
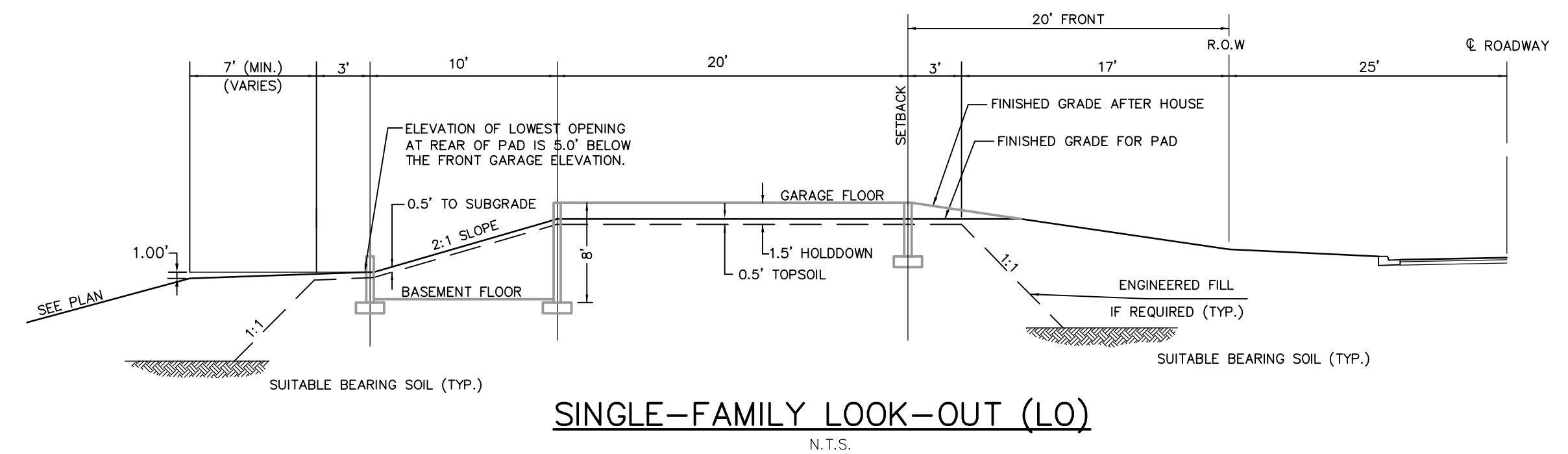
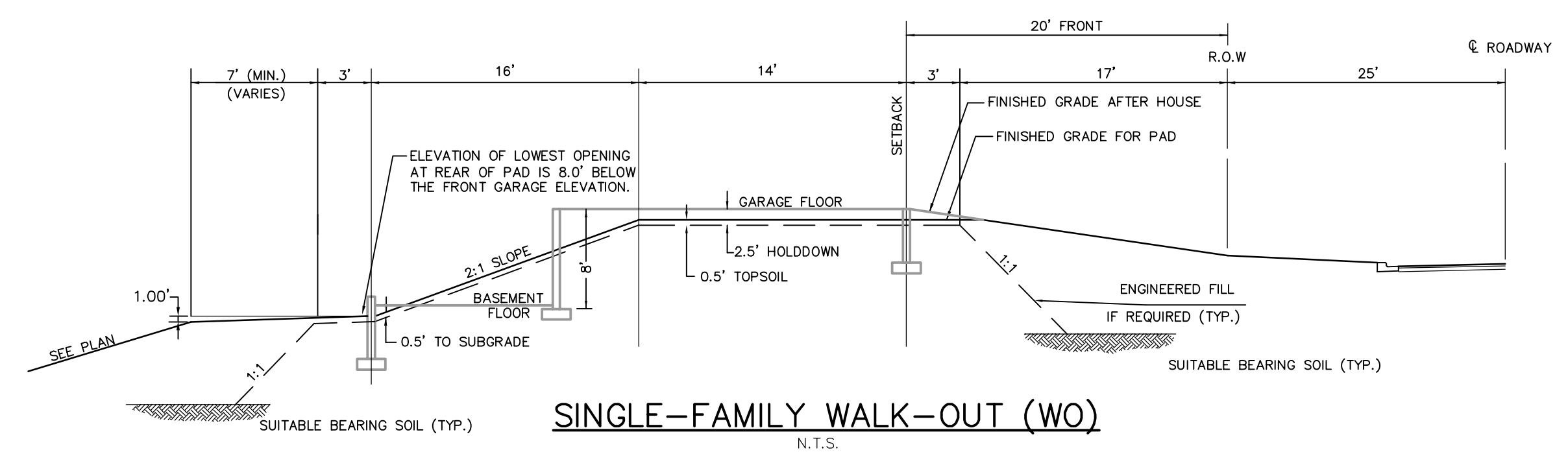
<b>Westwood</b>	<b>ROCK CONSTRUCTION ENTRANCE</b>	LAST REVISED: 03/03/08
		<b>GD05</b>

CATEGORY OF BLANKET	STAPLE LENGTH	SPACING FOR STAPLES SLOPE RATIO STAPLES/YARD
00	5"	2:1 (H:V) 1.2 STAPLES
0	5"	2:1 - 1:1 1.7 STAPLES
1	4"	
2	4"	
3	6"	
4	6"	
5	5"	
6	5"	
7	5"	

**NOTE:**

- MATS/BLANKETS SHOULD BE INSTALLED VERTICALLY DOWNSLOPE.
- SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICK AND GRASS.
- MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT.
- LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL.
- DO NOT STRETCH.

<b>Westwood</b>	<b>TEMPORARY EROSION BLANKETS</b>	LAST REVISED: 03/03/08
	<b>TURF REINFORCEMENT MATS FOR SLOPES</b>	<b>GD21</b>



**Revisions:**

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Details

**Final Plant Schedule**

CODE	QTY.	COMMON/BOTANICAL NAME	SIZE	SPACING	O.C.
ABM	11	Autumn Blaze Maple / <i>Acer x freemanii</i> 'Jeffersred'	1" BB/Cont.	AS SHOWN	
BVL	14	Boulevard Linden / <i>Tilia americana</i> 'Boulevard'	1" BB/Cont.	AS SHOWN	
PRE	14	Princeton Elm / <i>Ulmus americana</i> 'Princeton'	1" BB/Cont.	AS SHOWN	
BHS	33	Black Hills Spruce / <i>Picea glauca densata</i>	5' HT., BB	AS SHOWN	
BLC	9	Black Chokeberry / <i>Aronia melanocarpa elata</i>	#2 Cont.	5' O.C.	
CAD	14	Cardinal Dogwood / <i>Cornus sericea</i> 'Cardinal'	#2 Cont.	5' O.C.	
CAV	6	Compact American Viburnum / <i>Viburnum trilobum</i> 'Bailey Compact'	#2 Cont.	5' O.C.	
SUM	77	Staghorn Sumac / <i>Rhus typhina</i>	#2 Cont.	5' O.C.	

NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.

**Landscape Provisions**

TOTAL LANDSCAPING PROVIDED:	72 TREES
* STREET TREES:	39 TREES
* EVERGREEN TREES:	33 TREES
* SITE SHRUBS:	106 SHRUBS

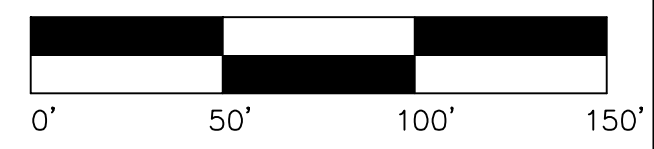
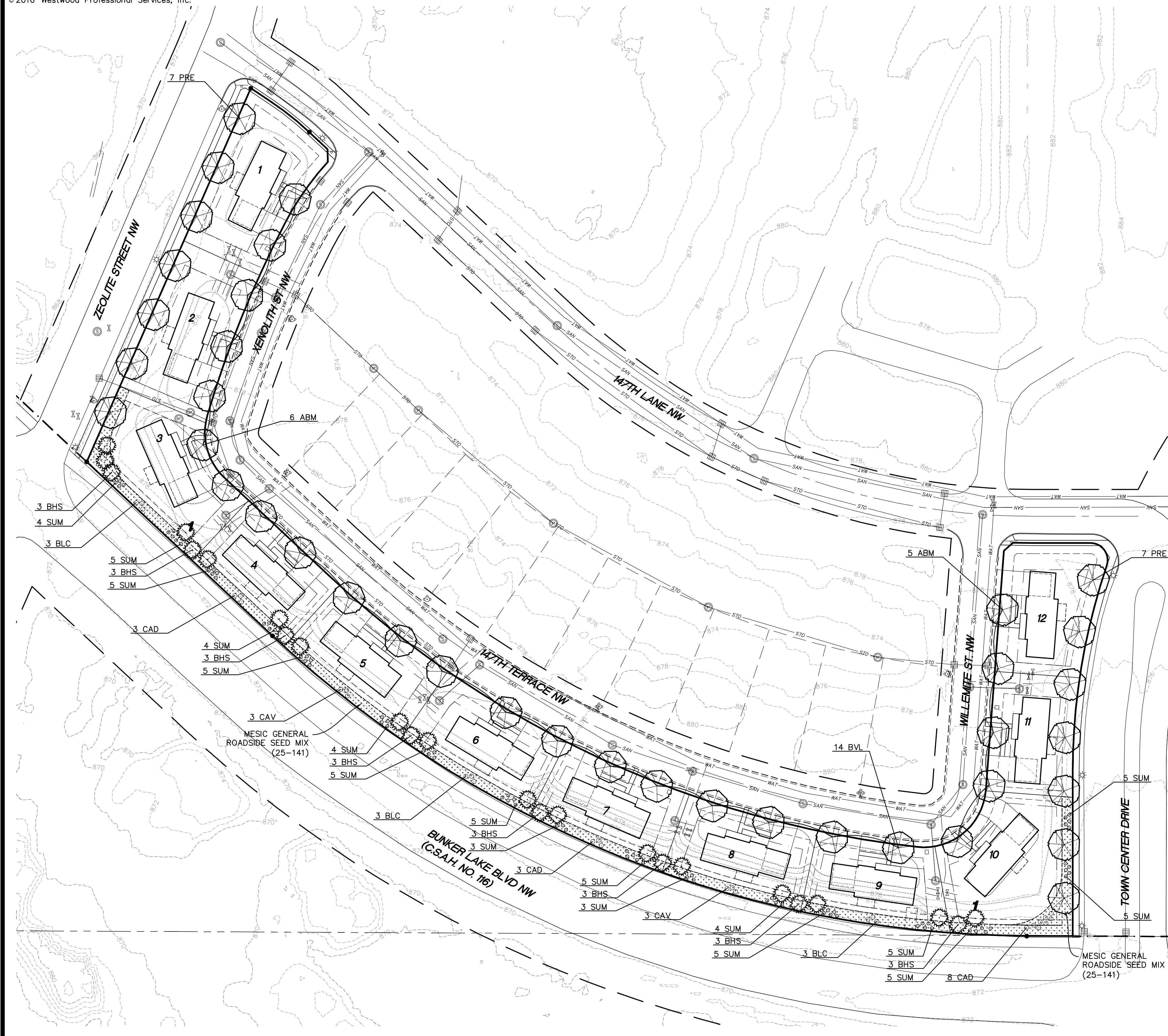
**Mesic General Roadside Seed Mix - MNDOT 250**

Common Name	Scientific Name	Rate (lb/ac)	Rate (kg/ha)	% of Mix (by weight)	Seeds/ sq ft
Park Kentucky bluegrass	<i>Poa pratensis</i> Park	15.75	17.65	26.69%	502.50
Perennial Ryegrass	<i>Lolium perenne</i>	13.25	14.85	22.46%	66.00
Smooth Brome	<i>Bromus inermis</i>	7.75	8.69	13.14%	25.42
Canada bluegrass*	<i>Poa compressa</i>	7.50	8.41	12.71%	412.00
fowl bluegrass	<i>Poa palustris</i>	4.00	4.48	6.78%	191.00
slender wheatgrass	<i>Elymus trachycaulus</i>	2.00	2.24	3.40%	5.08
Timothy	<i>Phleum pratense</i>	1.75	1.96	2.97%	49.50
switchgrass	<i>Panicum virgatum</i>	1.50	1.68	2.54%	7.70
	Grasses Subtotal	53.50	59.97	90.69%	1259.20
Alfalfa	<i>Medicago sativa</i>	3.50	3.92	5.92%	18.20
White Clover	<i>Trifolium repens</i>	2.00	2.24	3.39%	32.70
	Forbs Subtotal	5.50	6.16	9.31%	50.90
	<b>Total</b>	<b>59.00</b>	<b>66.13</b>	<b>100.00%</b>	<b>1310.10</b>

Purpose: General non-native mix for roadsides with mesic soils.  
 Planting Area: Statewide  
 Combine all components when blending this mix.  
 \*Species in the sheeps fescue complex (*Festuca* spp.) may be used interchangeably with Canada bluegrass in this mix. Varieties must match those listed on the substitution table.

 DENOTES MESIC GENERAL ROADSIDE SEED MIX (25-141)

NOTES: ALL DISTURBED AREAS TO BE SODDED UNLESS NOTED OTHERWISE.



0009798PLF01.dwg

Date: 12/02/2016 Sheet: 7 OF 8

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**Nicholas Meyer**  
 Date: 12/20/16 License No. 53774

Revisions:

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Drawn:	NTM
Record Drawing by/date:	

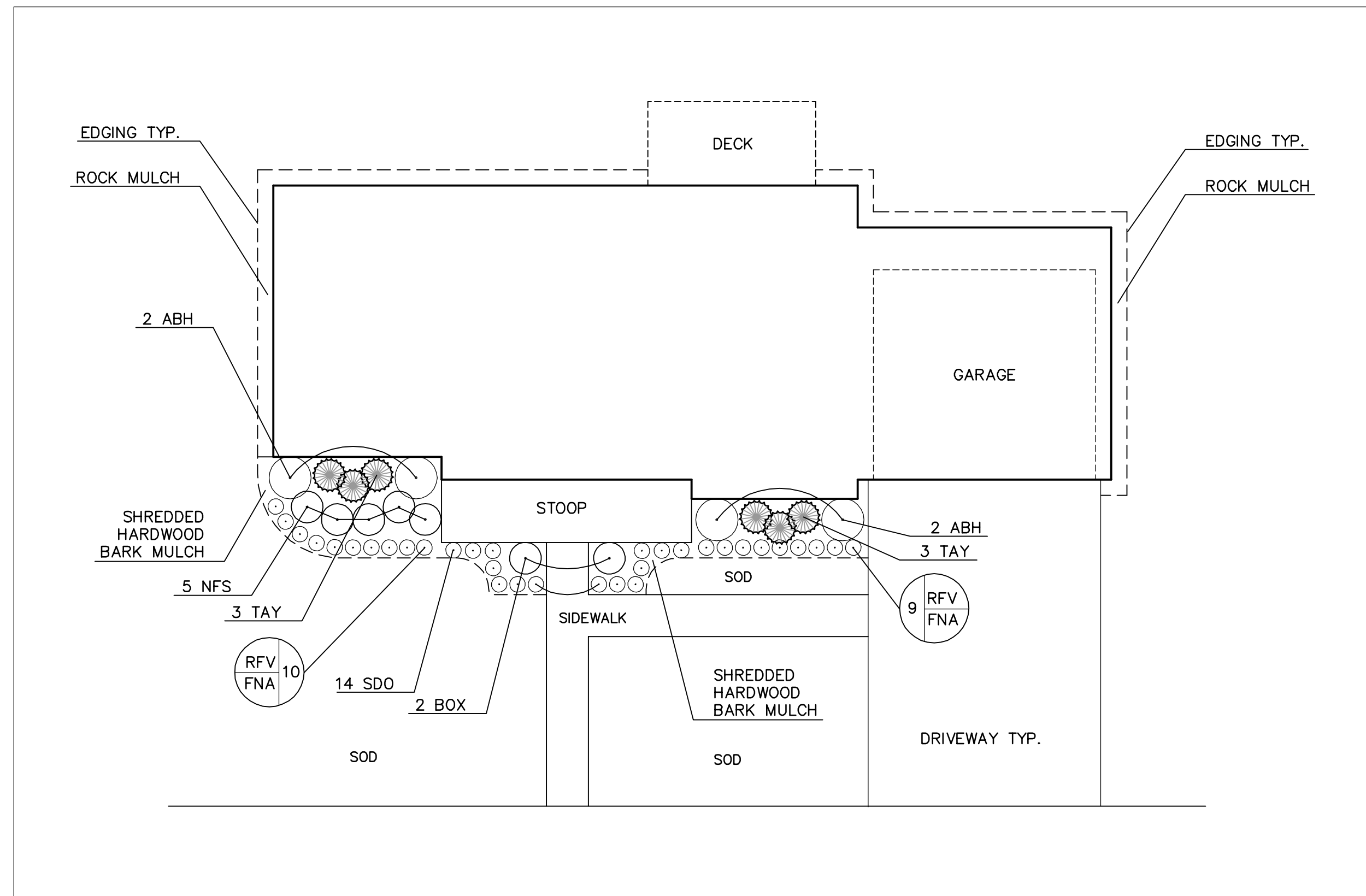
Prepared for:

**Morning Sun Homes**  
 8862 Zealand Avenue North Bay B  
 Brooklyn Park, Minnesota 55445

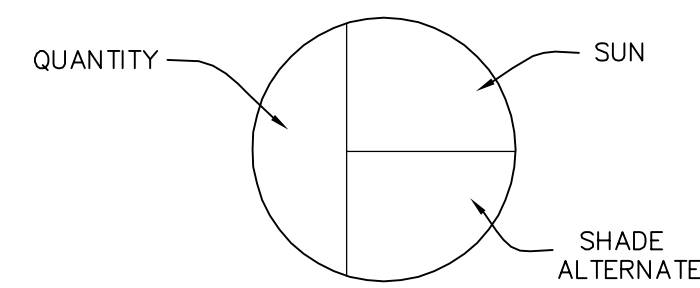
**Vistas at North Commons**  
 Ramsey, Minnesota

Final Landscape Plan

### Townhome Planting Plan



### Legend



### Townhome Plant Schedule

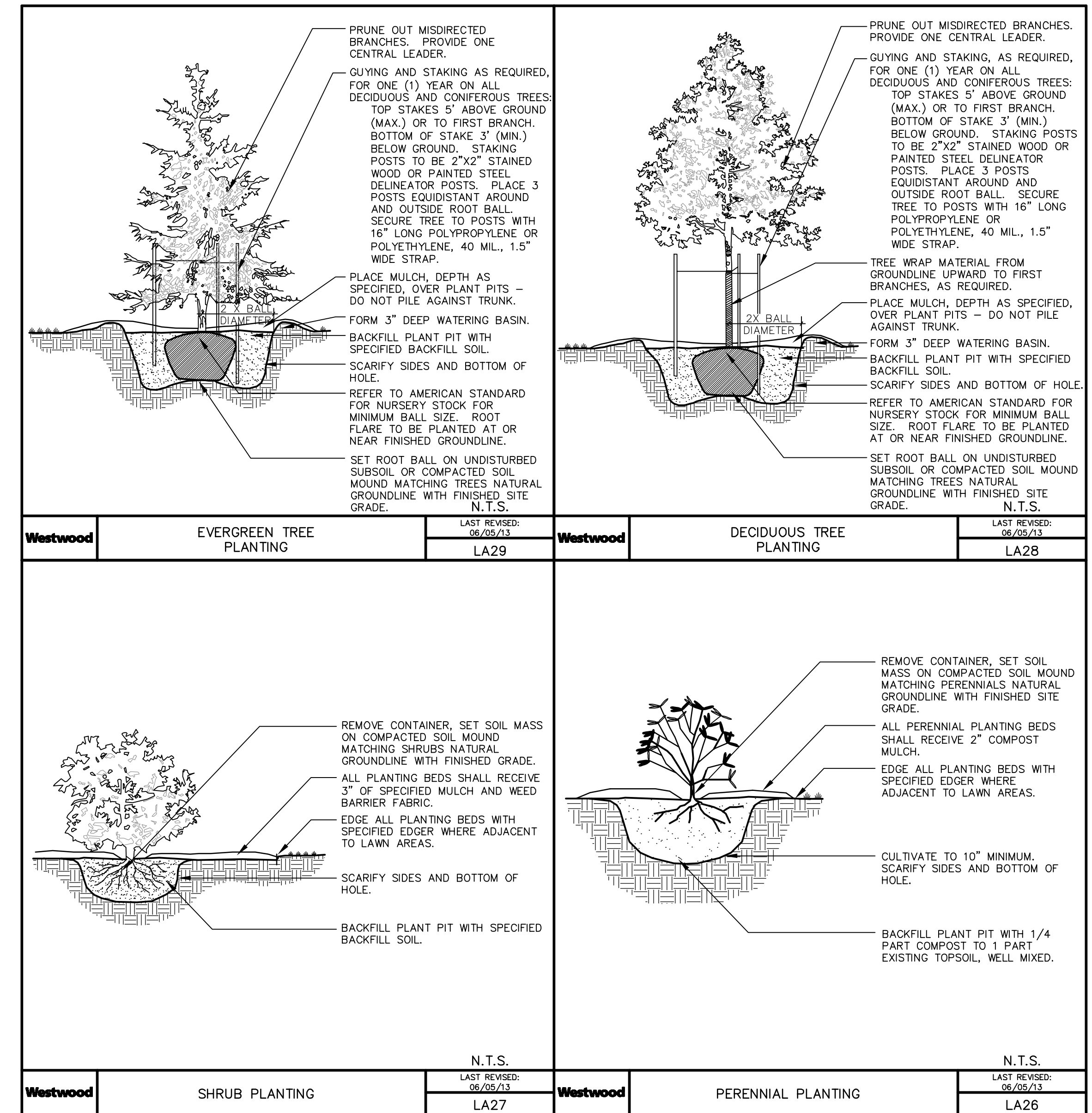
TYPE	CODE	QTY.	COMMON/BOTANICAL NAME	SIZE	SPACING O.C.
EVERGREEN SHRUBS	TAY	6	Taunton Yew / Taxus x media 'Taunton'	#5 CONT.	4'-0" O.C.
	shade alt:		no change		
	BOX	2	Green Mountain Pyramid Boxwood / Buxus x 'Green Mountain'	#5 CONT.	3'-0" O.C.
shade alt:		no change			
DECIDUOUS SHRUBS	NFS	5	Neon Flash Spirea / Spiraea japonica 'Neon Flash'	#5 CONT.	3'-0" O.C.
	shade alt:		no change		
	ABH	4	Annabelle Hydrangea / Hydrangea arborescens 'Annabelle'	#5 CONT.	4'-0" O.C.
shade alt:		no change			
PERENNIALS	SDO	14	Stella de Oro Daylily / Hemerocallis 'Stella de Oro'	#1 CONT.	18" O.C.
	shade alt:		no change		
	RFV	19	Red Fox Veronica / Veronica spicata 'Red Fox'	#1 CONT.	18" O.C.
shade alt:		FNA Fanal Astilbe / Astilbe x arendsii 'Fanal'			

- NOTES:
- QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.
  - CONTRACTOR TO SUBSTITUTE USING SHADE ALTERNATE SPECIES AS DETERMINED BY SOLAR ORIENTATION OF BUILDING (IE NORTH SIDE PLANTS RECEIVE SHADE ALTERNATE PLANTS). SEE RESPECTIVE PLANT KEY FOR ALTERNATE SPECIES SUBSTITUTIONS.
  - ALL PLANTING BEDS TO BE COVERED WITH SHREDDED HARDWOOD BARK MULCH.
  - 1.5' MAINTENANCE STRIP ALONG SIDE AND BACK OF UNITS TO BE ROCK MULCH.

### Planting Notes

1. CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
2. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
3. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
4. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
5. CONTRACTOR SHALL PROVIDE ONE YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
6. ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS: ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC. ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES. ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES. ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING. CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
7. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
8. PLANTS TO BE INSTALLED AS PER MNLA & ANSI STANDARD PLANTING PRACTICES.
9. UPON ARRIVAL, ALL TREES INSTALLED BY DEVELOPER TO BE STACKED PRIOR TO INSTALLATION AND REVIEWED BY CITY. CITY SHALL BE NOTIFIED IMMEDIATELY UPON ARRIVAL SO THAT PLANTS CAN BE INSTALLED AS SOON AS POSSIBLE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
10. PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
11. OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
12. PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
13. THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS PRIOR TO PLANTING.
14. BACKFILL SOIL AND TOPSOIL TO ADHERE TO MN/DOT STANDARD SPECIFICATION 3877 (COMMON TOPSOIL BORROW) AND TO BE NATIVE TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
15. 3 INCHES OF HARDWOOD BARK MULCH TO BE USED AROUND ALL TREES WITHIN TURF AREAS.
16. SHREDDED HARDWOOD BARK MULCH TO BE USED FOR LANDSCAPING OF ALL TOWNHOME AND VILLA UNITS. MULCH TO BE SPREAD TO A DEPTH OF 3" FOR ALL TREES AND SHRUBS AND 2" FOR ALL PERENNIALS. ROCK MULCH TO BE USED ON 1.5' MAINTENANCE STRIP ALONG UNIT IN AREAS VOID OF PLANTS. LANDSCAPE CLOTH TO BE LAID IN PLANTING BEDS TO SEPARATE ROCK MULCH FROM SOIL.
17. EDGING TO BE VINYL EDGING, UNLESS OTHERWISE INDICATED. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE.
18. ALL DISTURBED AREAS TO BE SODDED, UNLESS NOTED OTHERWISE. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE.
19. PROVIDE IRRIGATION TO ALL SODDED AREAS ON SITE. IRRIGATION OF STREET TREES & BOULEVARD SOD AREAS TO BE RESPONSIBILITY OF INDIVIDUAL LOTS; BUFFER TREES IN OUTLOTS TO BE IRRIGATED BY DEVELOPER/HOA. NO IRRIGATION TO BE PROVIDED IN CITY OWNED OUTLOT AREAS, UNLESS OTHERWISE NOTED. DRIP IRRIGATION TO BE PROVIDED FOR ALL PLANTING BEDS. IRRIGATION WILL BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED BY THE GENERAL CONTRACTOR.
20. CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
21. REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
22. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.

### Planting Details



Call 48 Hours before digging:  
**811 or call811.com**  
 Common Ground Alliance

## Westwood

Phone (952) 937-5150 7699 Anagram Drive  
 Fax (952) 937-5822 Eden Prairie, MN 55344  
 Toll Free (888) 937-5150 westwoodps.com

Westwood Professional Services, Inc.

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL LANDSCAPE ARCHITECT under the laws of the State of Minnesota.

**Nicholas Meyer**  
 Date: 12/20/16 License No. 53774

### Revisions:

Revision	Date	Comments
12/20/16:		CITY COMMENTS

Designed:	NTM
Checked:	NTM
Drawn:	NTM
Record Drawing by/date:	

### Prepared for:

**Morning Sun Homes**  
 8662 Zealand Avenue North Bay B  
 Brooklyn Park, Minnesota 55445

## Vistas at North Commons

Ramsey, Minnesota

Date: 12/02/2016 Sheet: 8 OF 8

### Landscape Details

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