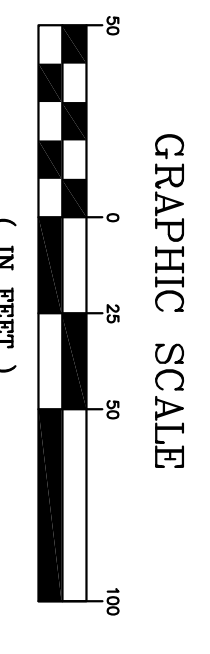
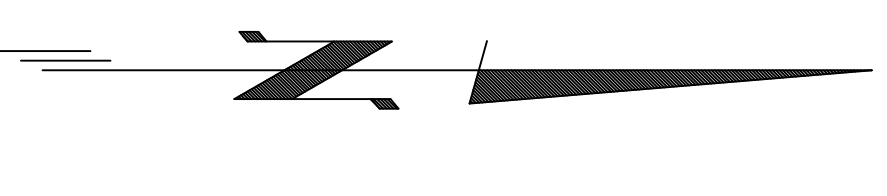
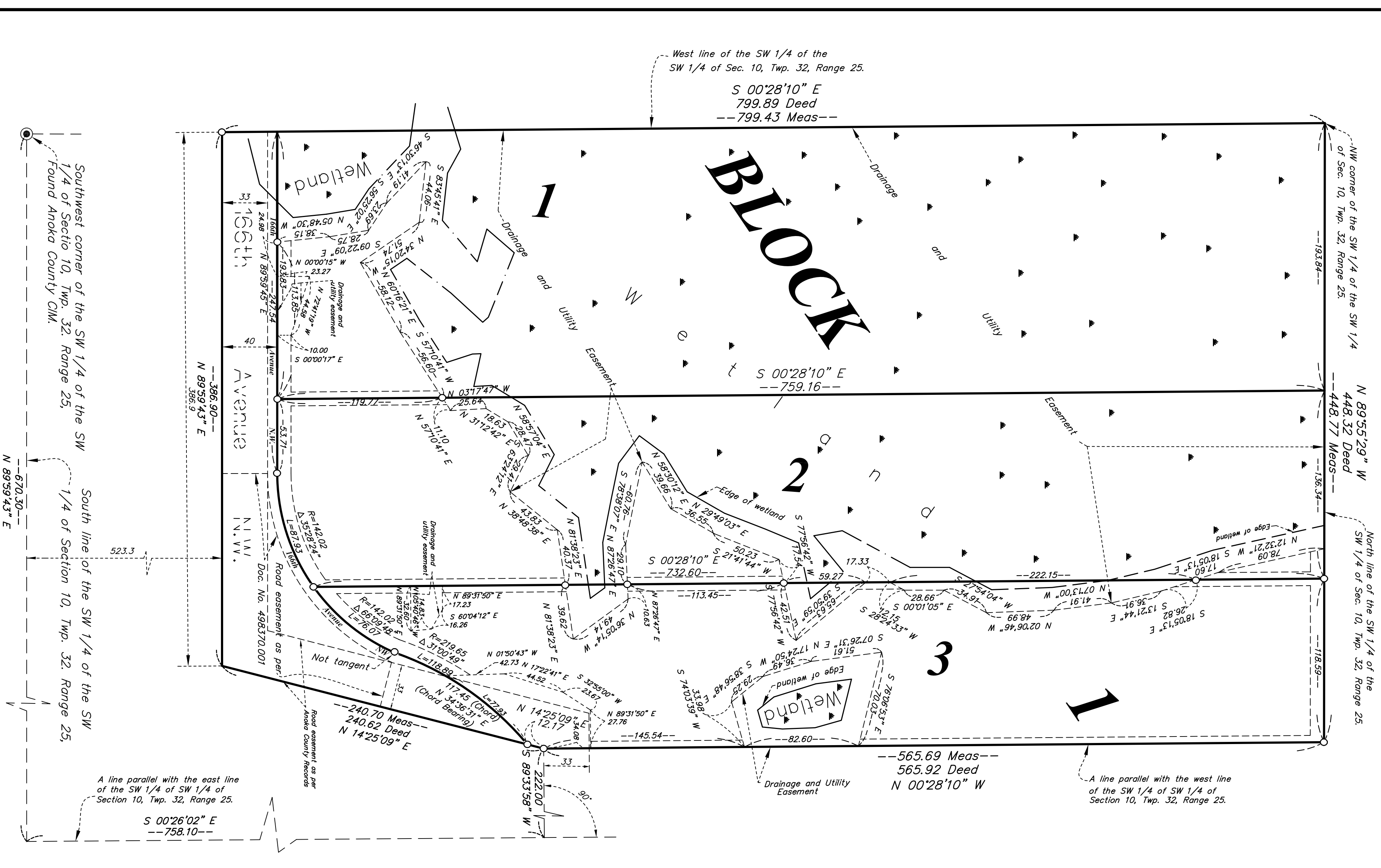
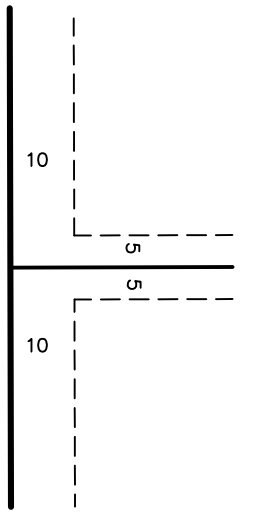


# HOMESTEAD ROAD SUBDIVISION

CITY OF RAMSEY  
COUNTY OF ANOKA  
SEC. 10, T. 32, R. 25



DRAINAGE AND UTILITY EASEMENTS SHOWN THUS:



BEING 5 FEET IN WIDTH AND ADJOINING SIDE LOT LINES, AND 10 FEET IN WIDTH AND ADJOINING STREET AND REAR LOT LINES, UNLESS OTHERWISE SHOWN ON THE PLAT.

### LEGEND

- DENOTES IRON PIPE MONUMENT FOUND
- DENOTES SET 1/2 INCH IRON PIPE WITH CAP MARKED R.L.S. 42379.
- ⊙ DENOTES ANOKA COUNTY MONUMENT.

DENOTES WETLANDS SHOWN THAT WERE IDENTIFIED BY A LICENSED GEOLOGICAL RESOURCES, DECEMBER 2015.

### BEARING NOTE

FOR THE PURPOSE OF THIS PLAT, THE SOUTH LINE OF THE SW 1/4 OF THE SW 1/4 OF SECTION 10, TWP. 32, RGE. 25, IS ASSUMED TO HAVE A BEARING OF NORTH 89 DEGREES 59 MINUTES 43 SECONDS EAST.

KNOW ALL PERSONS BY THESE PRESENTS: That CTW Group, Incorporated, a Minnesota corporation, owner of the following described property:

That part of the Southwest Quarter of the Southwest Quarter, Section 10, Township 32, Range 25, Anoka County, Minnesota described as follows:  
Commencing at a point in the south line of said Southwest Quarter of the Southwest Quarter distant 670.30 feet east of the Southwest corner of said Southwest Quarter of the Southwest Quarter; thence North, parallel with the east line of said Southwest Quarter of the Southwest Quarter a distance of 758.10 feet; thence at a right angle West a distance of 222.00 feet; to the actual point of beginning of the tract to be described; thence northerly, parallel with the west line of said Southwest Quarter of the Southwest Quarter a distance of 565.92 feet to the north line of said Southwest Quarter of the Southwest Quarter; thence westerly along the north line of said Southwest Quarter of the Southwest Quarter a distance of 448.32 feet to the northwest corner of said Southwest Quarter of the Southwest Quarter; thence southerly along the west line of said Southwest Quarter of the Southwest Quarter a distance of 799.89 feet to the intersection with the north line of the south 523.30 feet of said Southwest Quarter of the Southwest Quarter; thence East, along said north line of the south 523.30 feet, a distance of 386.90 feet to the northeast corner of the west 386.90 feet of the said south 523.30 feet of the Southwest Quarter of the Southwest Quarter; thence northeasterly 240.62 feet, to the actual point of beginning.

Have caused the same to be surveyed and platted as HOMESTEAD ROAD SUBDIVISION and do hereby dedicate to the public for public use the drainage and utility easements as shown on this plat.

In witness whereof said CTW Group, Incorporated, a Minnesota corporation, has caused these presents to be signed by its proper officers this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Signed: CTW Group, Incorporated

Andrey Sokurec, President  
Alexander Delentik, Vice President

STATE OF MINNESOTA  
COUNTY OF \_\_\_\_\_  
This instrument was acknowledged before me on \_\_\_\_\_, 20\_\_ by Andrey Sokurec, President, and Alexander Delentik, Vice President, of CTW Group Inc., a Minnesota Corporation, on behalf of the corporation.

Notary Public, \_\_\_\_\_ County, Minnesota  
My Commission Expires \_\_\_\_\_

I, Thomas M. Bloom do hereby certify that this plat was prepared by me or under my direct supervision, that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Thomas M. Bloom, Licensed Land Surveyor  
Minnesota License Number 42379

STATE OF MINNESOTA  
COUNTY OF \_\_\_\_\_  
This instrument was acknowledged before me on \_\_\_\_\_, 20\_\_ by Thomas M. Bloom.

Notary Public, \_\_\_\_\_ County, Minnesota  
My Commission Expires \_\_\_\_\_

CITY COUNCIL, CITY OF RAMSEY, MINNESOTA  
This plat of HOMESTEAD ROAD SUBDIVISION was approved and accepted by the City Council of the City of Ramsey, Minnesota at a regular meeting thereof held this \_\_\_\_ day of \_\_\_\_\_, 20\_\_ and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

By \_\_\_\_\_ Mayor By \_\_\_\_\_ City Clerk  
ANOKA COUNTY SURVEYOR  
I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Larry D. Hoium, Anoka County Surveyor  
COUNTY AUDITOR/TREASURER  
Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20\_\_ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

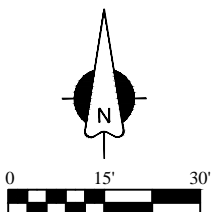
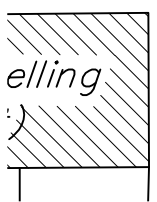
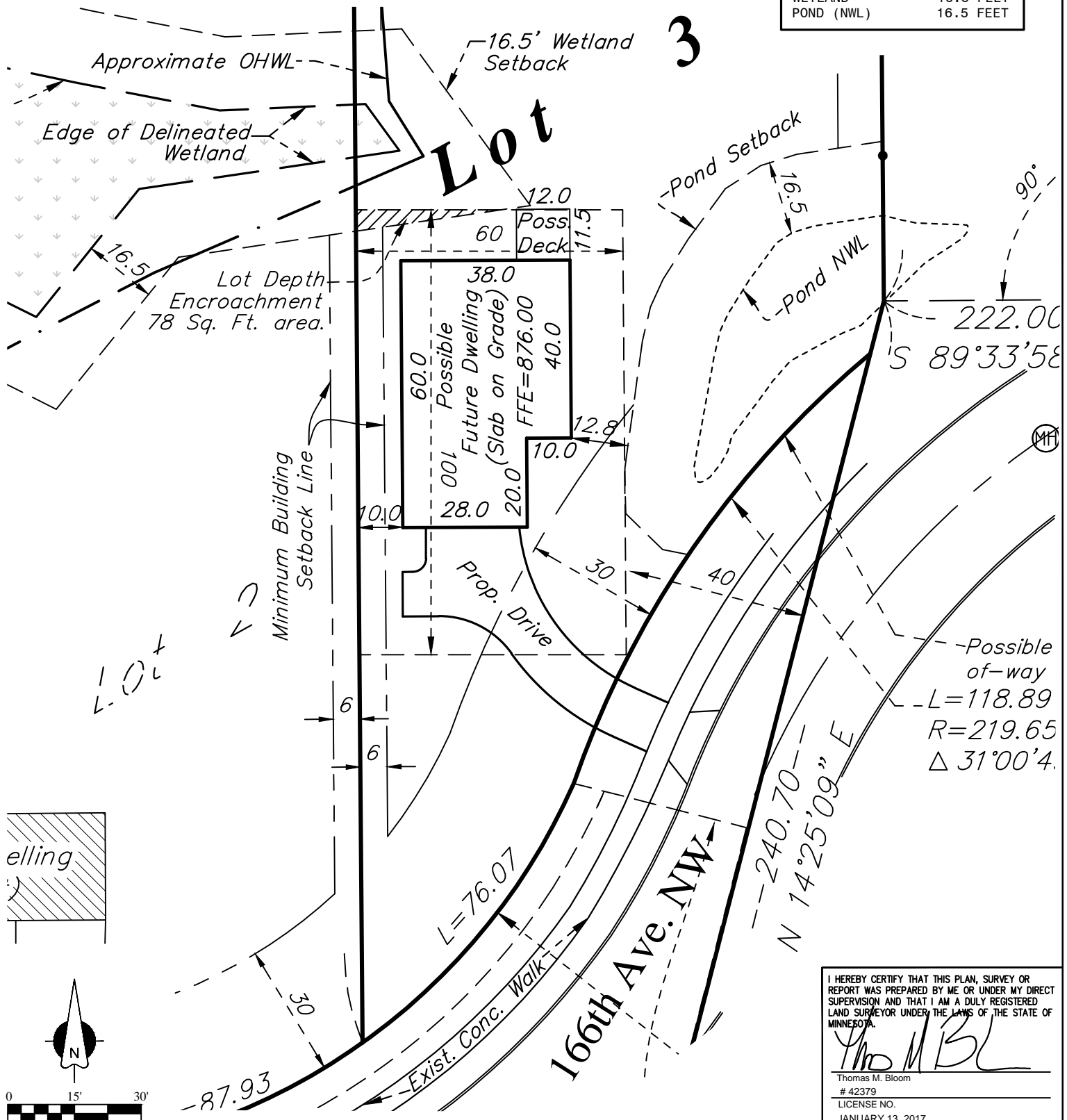
Property Tax Administrator  
By \_\_\_\_\_ Deputy

COUNTY RECORDER/REGISTRAR OF TITLES  
County of Anoka, State of Minnesota  
I hereby certify that this plat of HOMESTEAD ROAD SUBDIVISION was filed in the office of the County Recorder/Registrar of Titles for public record on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_ at \_\_\_\_\_ o'clock \_\_\_\_\_ AM, and was duly recorded in Book \_\_\_\_\_ Page \_\_\_\_\_ as Document Number \_\_\_\_\_.

County Recorder/Registrar of Titles  
By \_\_\_\_\_ Deputy  
**ADVANCE SURVEYING & ENGINEERING CO.**

**LOT DEPTH VARIANCE EXHIBIT**  
**LOT 3, BLOCK 1**  
**HOMESTEAD ROAD SUBDIVISION, RAMSEY, MN**

MINIMUM SETBACKS	
FRONT	30 FEET
SIDE (HOUSE)	10 FEET
SIDE (GARAGE)	6 FEET
REAR	30 FEET
WETLAND	16.5 FEET
POND (NWL)	16.5 FEET



I HEREBY CERTIFY THAT THIS PLAN, SURVEY OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Thomas M. Bloom*  
 Thomas M. Bloom  
 # 42379  
 LICENSE NO.  
 JANUARY 13, 2017  
 DATE

DATE	REVISION DESCRIPTION	CLIENT	JOB ADDRESS	 17917 Highway 7 Minnetonka, Minnesota 55345 Phone (952) 474-7964 Web: www.advsur.com	<h1>EX2</h1>
		CTW GROUP INC.	7131 166TH AVE. NW		
		JOB NUMBER # 160806 JR	DATE DRAFTED JANUARY 13, 2017		
		DATE SURVEYED AUGUST 24, 2016	SURVEYED BY ADVANCE SURVEYING & ENGINEERING, CO.		

# Preliminary Plat of Homestead Road Subdivision

17917 Highway 7  
Minnetonka, Minnesota 55345  
Phone (952) 474-7964  
Web: www.advsur.com

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*Thomas M. Bloom*

Thomas M. Bloom

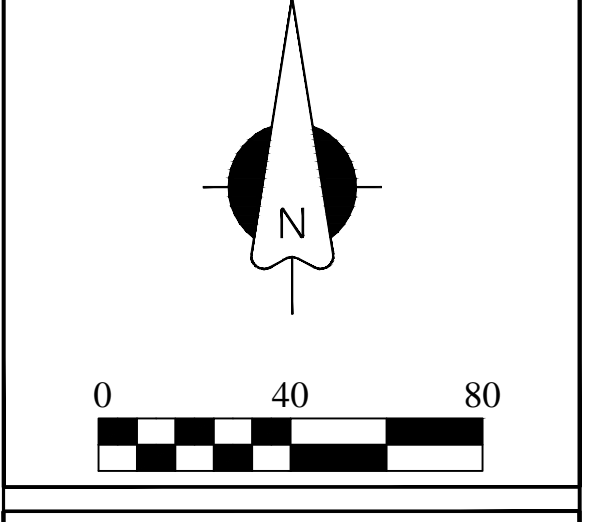
# 42379

LICENSE NO.

OCTOBER 18, 2016

DATE:

DRAWING ORIENTATION & SCALE



JOB NAME / JOB ADDRESS

**HOMESTEAD ROAD**  
7131 166TH AVE. NW  
RAMSEY

OWNER NAME / ADDRESS

**CTW GROUP INC.**  
5402 PARKDALE DR.  
SUITE 101  
MINNEAPOLIS, MN  
55416

LEGEND

- = CATCH BASIN
- = FIRE HYDRANT
- = POWER POLE
- = MANHOLE
- = TELEPHONE PED.
- = ELEC. TRANSFORMER
- = WELL
- = GATE VALVE
- = LIGHT POLE
- = FENCE LINE
- = SS
- = W
- = G
- = ST
- = E

PRELIMINARY PLAT NOTES:

1. SQUARE FOOTAGE CALCULATION:  
- ENTIRE SITE - 351,393 SQ. FT. (8.1 ACRES)  
- LOT 1 - 147,143 SQ. FT. (3.4 ACRES)  
- LOT 2 - 102,790 SQ. FT. (2.4 ACRES)  
- LOT 3 - 77,394 SQ. FT. (1.8 ACRES)  
- DEDICATED RIGHT OF WAY - 24,037 SQ. FT. (0.6 ACRES)
2. THE ZONING INFORMATION FOR THIS PROJECT IS R-1 MUSA.

NET DENSITY INFORMATION

TOTAL NUMBER OF LOTS = 3  
TOTAL AREA = 351,393 SF  
WETLAND AREA = 218,066 SF  
NET AREA = 133,327 SF  
NET DENSITY = 133,327 / 3 = 44,442 SF OR 1.02 ACRES

DATE	REVISION DESCRIPTION
10/18/16	UPDATE PER CITY COMMENTS
11/18/16	CHANGE POSS. FUTURE HOUSE ON LOT 3
03/02/17	UPDATE PER CITY COMMENTS
05/01/17	UPDATE PER CITY COMMENTS

DATE SURVEYED: AUGUST 24, 2016

DATE DRAFTED: OCTOBER 18, 2016

SHEET TITLE

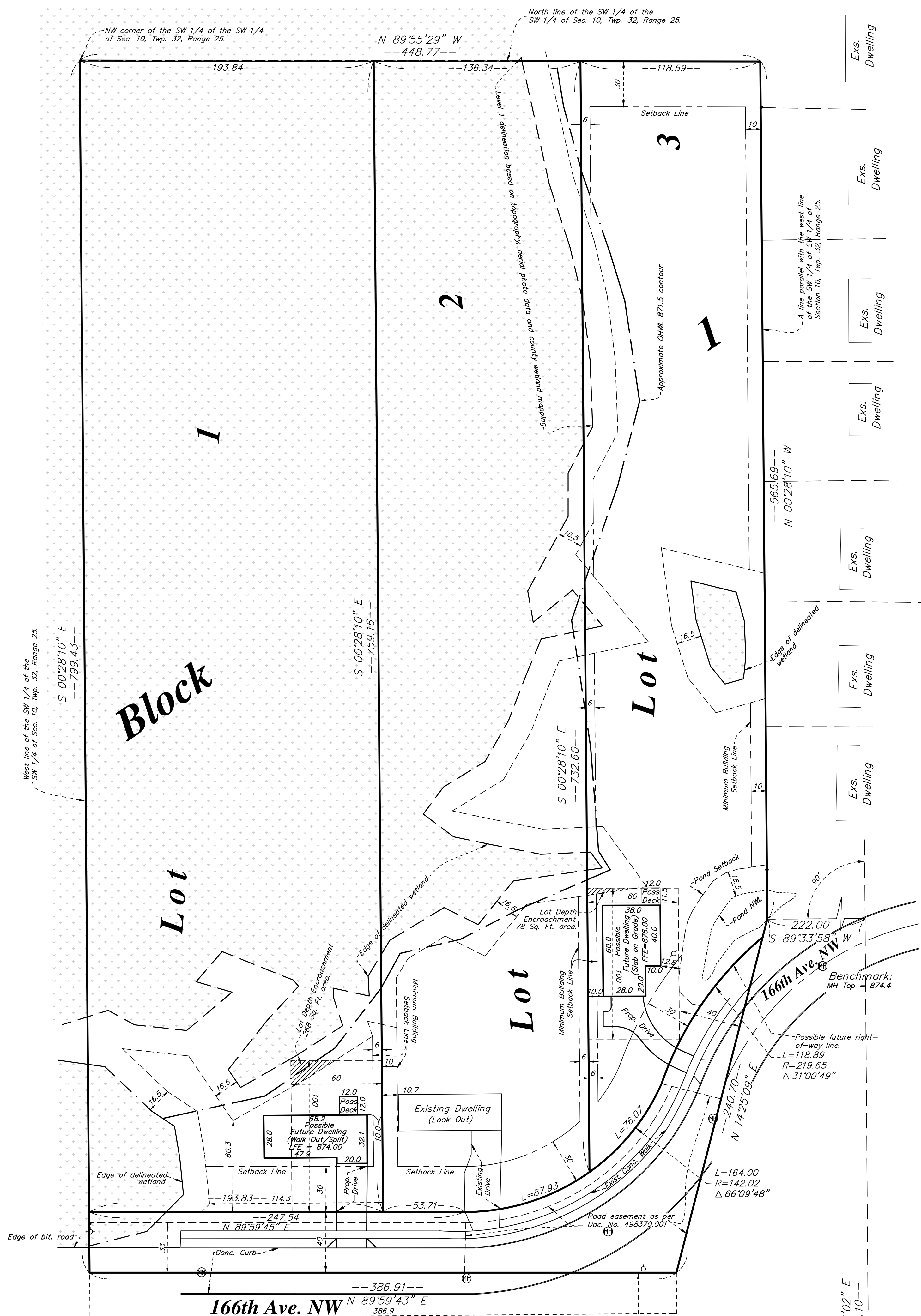
**PRELIMINARY PLAT**

DRAWING NUMBER

160806 TB  
REV 5-1

SHEET NUMBER

**S1**

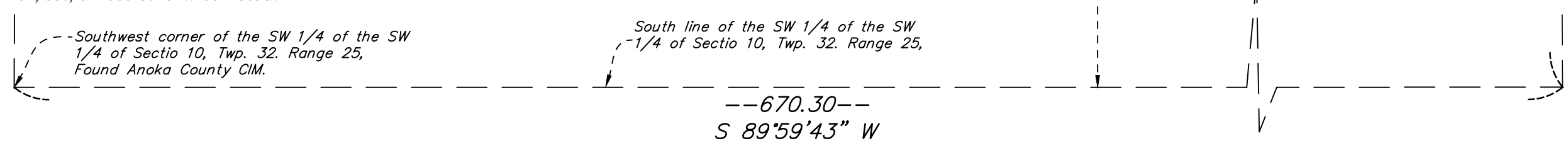


**LEGAL DESCRIPTION:**  
That part of the Southwest Quarter of the Southwest Quarter, Section 10, Township 32, Range 25, Anoka County, Minnesota described as follows:  
Commencing at a point in the south line of said Southwest Quarter of the Southwest Quarter distant 670.30 feet east of the Southwest corner of said Southwest Quarter of the Southwest Quarter; thence North, parallel with the east line of said Southwest Quarter of the Southwest Quarter a distance of 758.10 feet; thence at a right angle West a distance of 222.00 feet, to the actual point of beginning of the tract of land to be described; thence northerly, parallel with the west line of said Southwest Quarter of the Southwest Quarter, a distance of 565.92 feet to the north line of said Southwest Quarter of the Southwest Quarter; thence westerly along the north line of said Southwest Quarter of the Southwest Quarter a distance of 448.32 feet to the northwest corner of said Southwest Quarter of the Southwest Quarter; thence southerly along the west line of said Southwest Quarter of the Southwest Quarter a distance of 799.89 feet to the intersection with the north line of the south 523.30 feet of said Southwest Quarter of the Southwest Quarter; thence East, along said north line of the south 523.30 feet, a distance of 386.90 feet to the northeast corner of the west 386.90 feet of the said south 523.30 feet of the Southwest Quarter of the Southwest Quarter; thence northeasterly 240.62 feet, to the actual point of beginning.

**SCOPE OF WORK & LIMITATIONS:**

1. Showing the length and direction of boundary lines of the legal description listed above. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct and that any matters of record, such as easements, that you wish to be included on the survey have been shown.
2. Showing the location of observed existing improvements we deem necessary for the survey.
3. Setting survey markers or verifying existing survey markers to establish the corners of the property.
4. Showing contours via the Anoka County GIS map.
5. While we show a proposed location for this home or addition, we are not as familiar with your proposed plans as you, your architect, or the builder are. Review our proposed location of the improvements and proposed yard grades carefully to verify that they match your plans before construction begins. Also, we are not as familiar with local codes and minimum requirements as the local building and zoning officials in this community are. Be sure to show this survey to said officials, or any other officials that may have jurisdiction over the proposed improvements and obtain their approvals before beginning construction or planning improvements to the property.

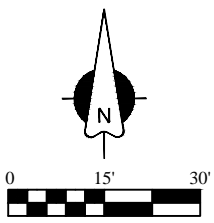
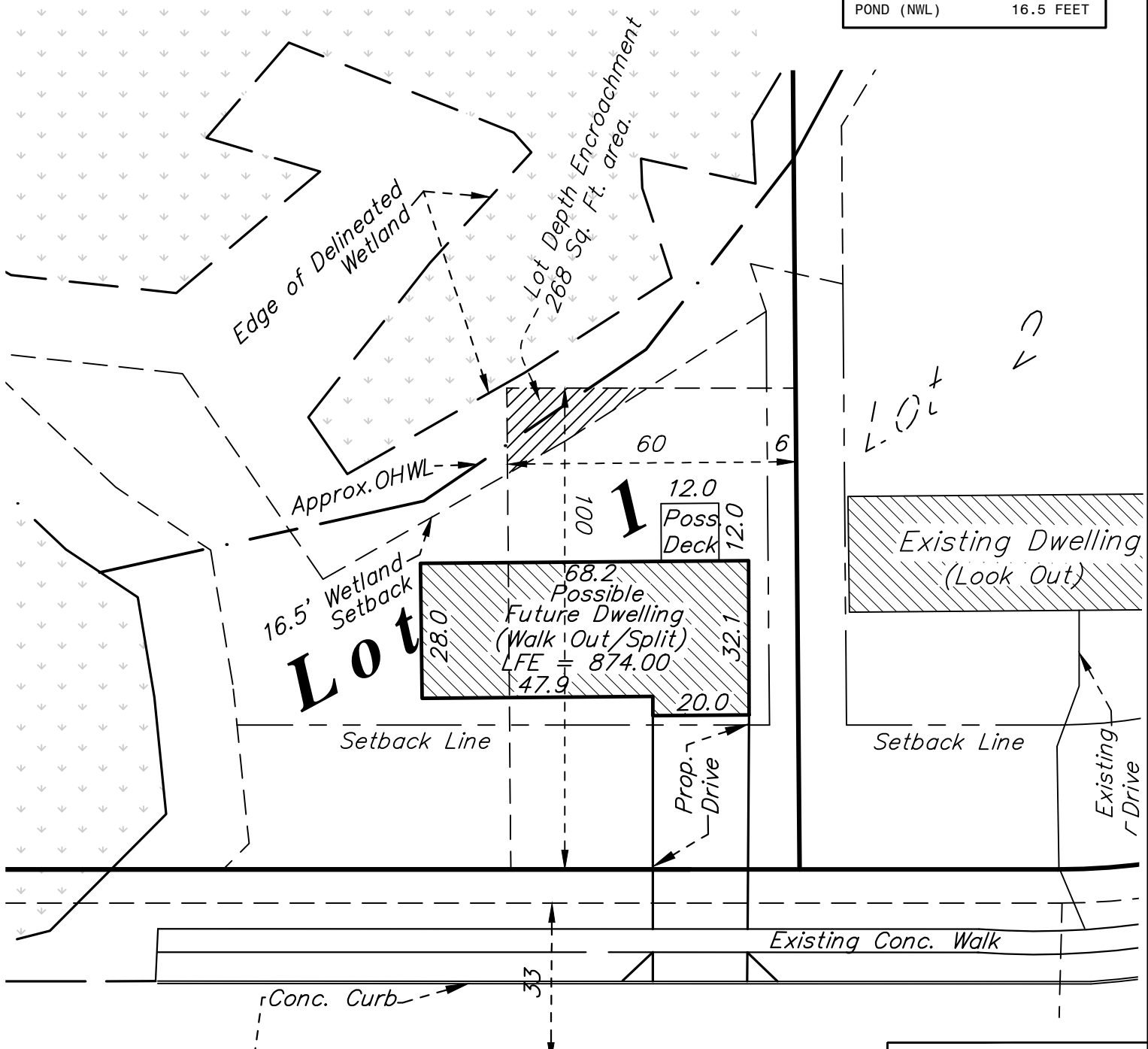
**STANDARD SYMBOLS & CONVENTIONS:**  
● Denotes iron survey marker, set, unless otherwise noted.



\* = Information as per record plans supplied to us.

**LOT DEPTH VARIANCE EXHIBIT**  
**LOT 1, BLOCK 1**  
**HOMESTEAD ROAD SUBDIVISION, RAMSEY, MN**

MINIMUM SETBACKS	
FRONT	30 FEET
SIDE (HOUSE)	10 FEET
SIDE (GARAGE)	6 FEET
REAR	30 FEET
WETLAND	16.5 FEET
POND (NWL)	16.5 FEET



166th Ave. NW

I HEREBY CERTIFY THAT THIS PLAN, SURVEY OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Thomas M. Bloom*

Thomas M. Bloom  
 # 42379  
 LICENSE NO.  
 JANUARY 13, 2017  
 DATE

DATE	REVISION DESCRIPTION	CLIENT	JOB ADDRESS	 17917 Highway 7 Minnetonka, Minnesota 55345 Phone (952) 474-7964 Web: www.advsur.com	<b>EX1</b>
		CTW GROUP INC.	7131 166TH AVE. NW		
		JOB NUMBER # 160806 JR	DATE DRAFTED JANUARY 13, 2017		
		DATE SURVEYED AUGUST 24, 2016	SURVEYED BY ADVANCE SURVEYING & ENGINEERING, CO.		

# Preliminary Plat of Homestead Road Subdivision

17917 Highway 7  
Minnetonka, Minnesota 55345  
Phone (952) 474-7964  
Web: www.advsur.com

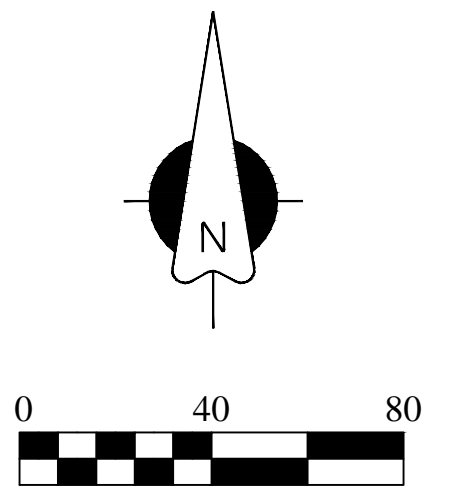
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*Thomas M. Bloom*  
Thomas M. Bloom

# 42379  
LICENSE NO.

OCTOBER 18, 2016  
DATE:

**DRAWING ORIENTATION & SCALE**



**JOB NAME / JOB ADDRESS**

**HOMESTEAD ROAD**

7131 166TH AVE. NW  
RAMSEY

**OWNER NAME / ADDRESS**

**CTW GROUP INC.**

5402 PARKDALE DR.  
SUITE 101  
MINNEAPOLIS, MN  
55416

**LEGEND**

- = FIRE HYDRANT
- = POWER POLE
- = TELEPHONE PED.
- = ELEC. TRANSFORMER
- = WELL
- = GATE VALVE
- = LIGHT POLE
- = FENCE LINE
- = PROPOSED SILT FENCE
- = PROPOSED CONTOUR
- = DRAINAGE ARROW
- = EXISTING CONTOUR
- = EXISTING SPOT ELEVATION

**DWELLING INFORMATION**

LOT #	LOT 1	LOT 2	LOT 3
HOUSE TYPE	W/O SPLIT ENTRY	L/O (EXISTING)	SLAB ON GRADE
GARAGE ELEV.	877.0	(EXISTING)	876.0
MIN. FLOOR ELEV.	874.0	(EXISTING)	876.0

**STORMWATER RUNOFF INFO.**

PRE CONDITIONS STORMWATER RUNOFF TOTALS:  
10-YEAR= 28.35 CFS  
100-YEAR= 51.09 CFS

POST CONDITIONS STORMWATER RUNOFF TOTAL:  
10-YEAR= 28.35 CFS  
100-YEAR= 51.09 CFS

\*BASED ON HYDROCAD (V-10) MODELING SOFTWARE UTILIZING THE ATLAS-14 STORM EVENTS\*

**NOTES**

- A MAINTENANCE AGREEMENT FOR THE RAINGARDENS SHALL BE PREPARED FOR REVIEW AND APPROVAL BY THE CITY.
- FEMA 100-YEAR FLOOD ELEVATION = 871.5 (SEE PLAN)

DATE	REVISION DESCRIPTION
10/18/16	UPDATE PER CITY COMMENTS
11/18/16	CHANGE POSS. FUTURE HOUSE ON LOT 3
03/02/17	UPDATE PER CITY COMMENTS
05/01/17	UPDATE PER CITY COMMENTS

DATE SURVEYED: AUGUST 24, 2016

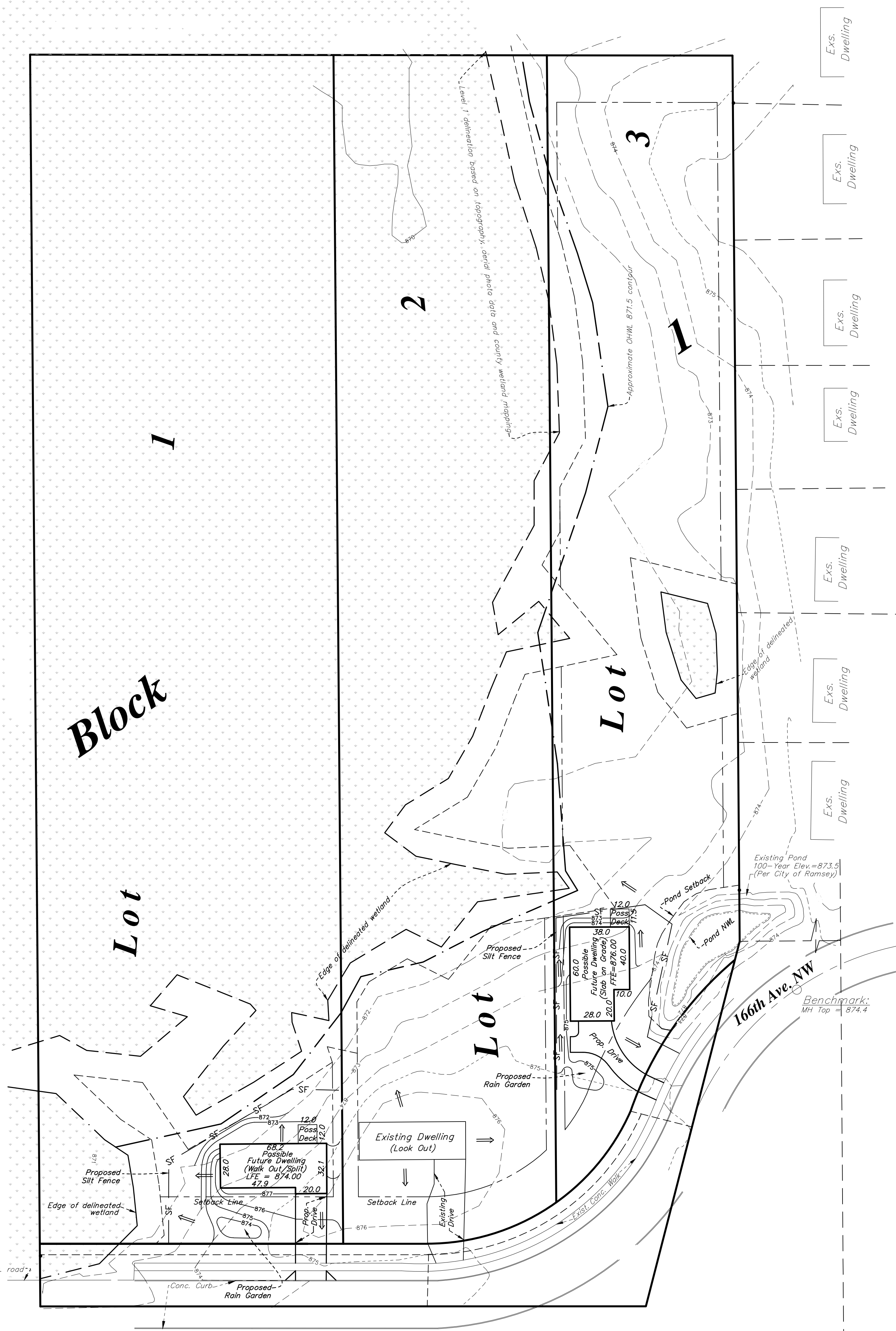
DATE DRAFTED: OCTOBER 18, 2016

SHEET TITLE  
**PRELIMINARY PLAT GRADING PLAN**

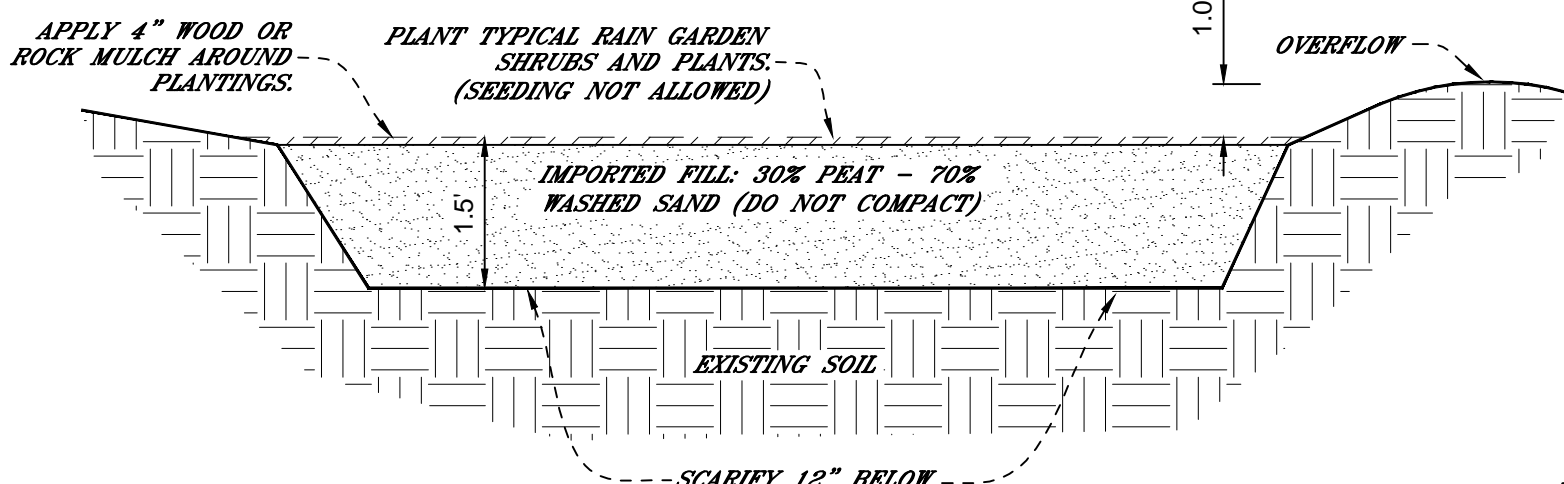
DRAWING NUMBER  
**160806 TB REV 5 - 1**

SHEET NUMBER

**S2**



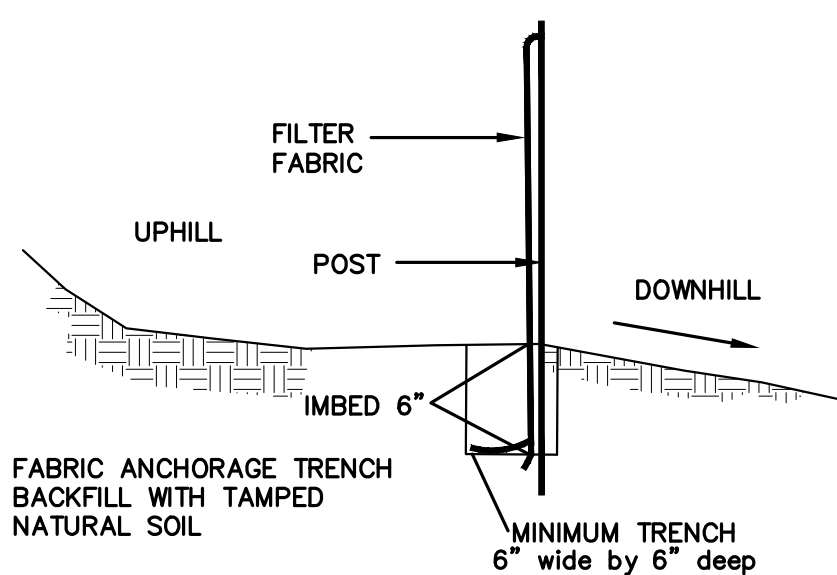
**166th Ave. NW**



**PROPOSED RAIN GARDEN DETAIL**  
NO SCALE

INFILTRATION REQUIREMENT (WATERSHED): INFILTRATE 1" OF RAINFALL OVER IMPERVIOUS SURFACE.	LOT 1	LOT 3
	TOTAL IMPERVIOUS AREA (SQUARE FEET)	2,626 SF
REQUIRED INFILTRATION VOLUME (CUBIC FEET)	219 CF	247 CF
INFILTRATION VOLUME PROVIDED (RAIN GARDEN)(CUBIC FEET)	255 CF	280 CF

NOTE: NO GRADING PROPOSED ON LOT 2, THEREFORE INFILTRATION IS NOT REQUIRED.



**SILT FENCE/TREE PRESERVATION DETAIL**  
NO SCALE

670.30  
S 89°59'43" W

# Preliminary Plat of Homestead Road Subdivision

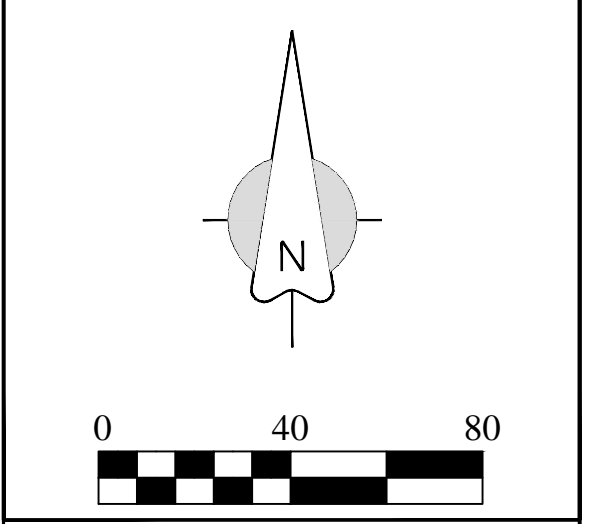
17917 Highway 7  
Minnetonka, Minnesota 55345  
Phone (952) 474-7964  
Web: www.advsur.com

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*Thomas M. Bloom*  
Thomas M. Bloom

# 42379  
LICENSE NO.  
OCTOBER 18, 2016  
DATE:

DRAWING ORIENTATION & SCALE



JOB NAME / JOB ADDRESS

**HOMESTEAD ROAD**  
7131 166TH AVE. NW  
RAMSEY

OWNER NAME / ADDRESS

**CTW GROUP INC.**  
5402 PARKDALE DR.  
SUITE 101  
MINNEAPOLIS, MN  
55416

LEGEND

- FIRE HYDRANT
- POWER POLE
- TELEPHONE PED.
- ELEC. TRANSFORMER
- WELL
- GATE VALVE
- LIGHT POLE
- FENCE LINE
- TREE PRESERVATION FENCE
- PROPOSED CONTOUR
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING TAGGED TREE TO REMAIN PER PRELIMINARY PLAT
- EXISTING TAGGED TREE TO BE REMOVED PER PRELIMINARY PLAT
- PROPOSED TREE

NOTES

1. ANY CLEARING WITHIN OAK STANDS SHALL BE PERFORMED PRIOR TO APRIL 15TH OR AFTER JULY 15TH TO MINIMIZE EXPOSURE TO AND/OR INTRODUCTION OF OAK WILT.

DATE	REVISION DESCRIPTION

DATE SURVEYED: AUGUST 24, 2016

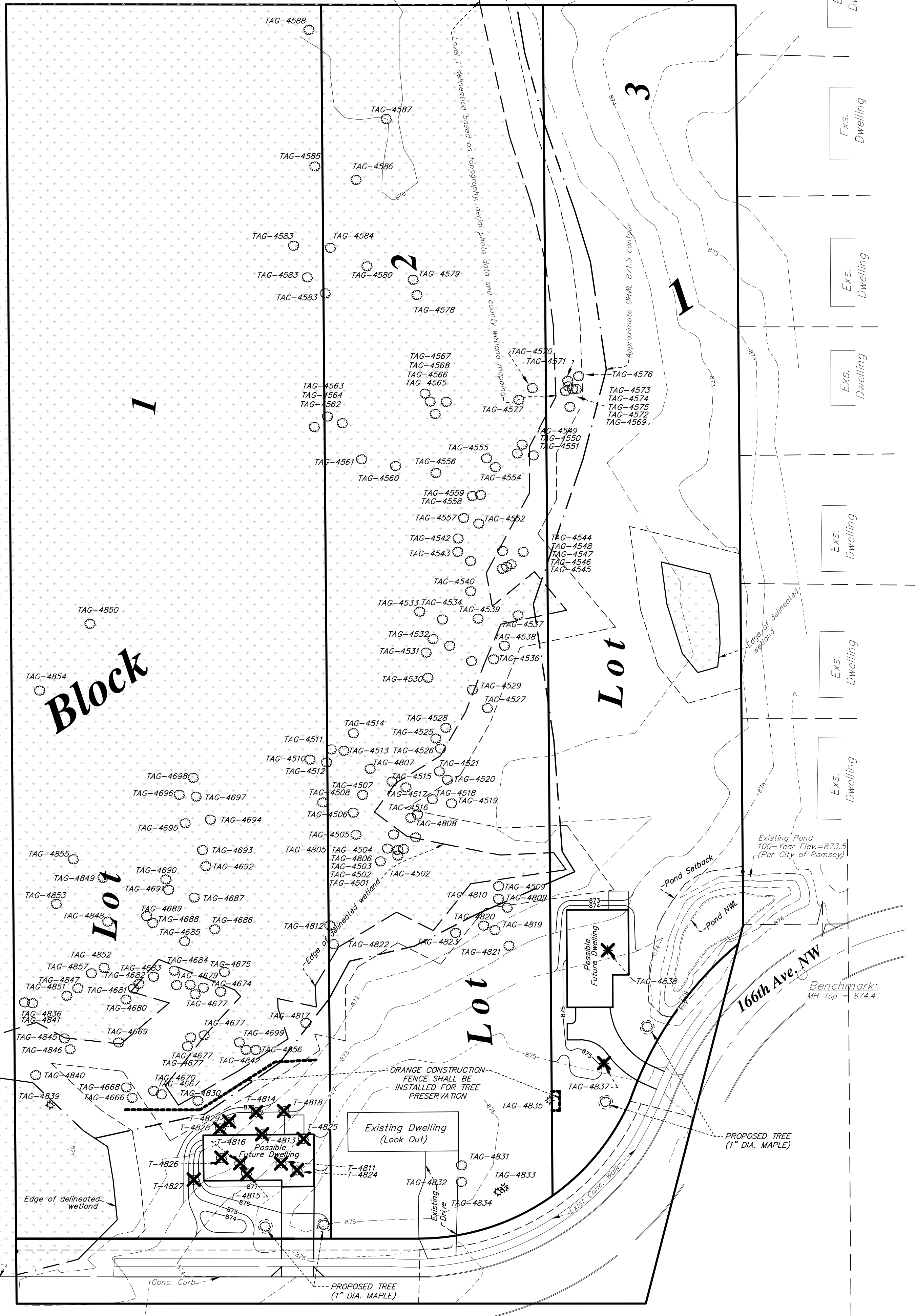
DATE DRAFTED: OCTOBER 18, 2016

SHEET TITLE  
**PRELIMINARY PLAT TREE INVENTORY/ LANDSCAPE PLAN**

DRAWING NUMBER  
**160806 TB  
REV 5 - 1**

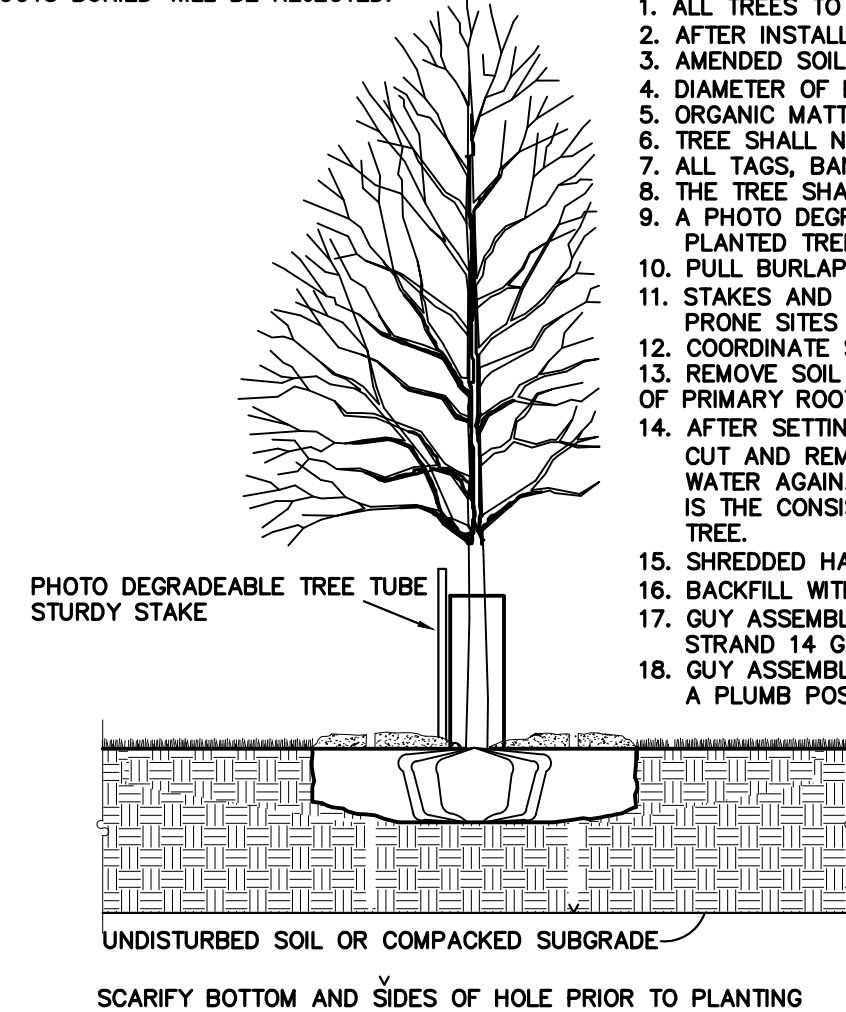
SHEET NUMBER

**S4**

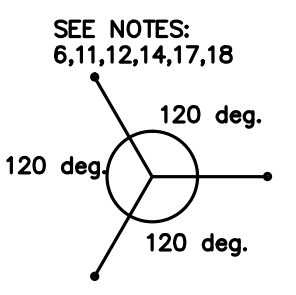


**166th Ave. NW**

THE PLANTING DEPTH OF EACH TREE WILL BE INSPECTED. ANY TREE PLANTED TOO DEEPLY OR WITH 1ST PRIMARY ROOTS BURIED WILL BE REJECTED.



1. ALL TREES TO BE PREMIUM QUALITY, NO "PARK GRADE" TREES ARE PERMITTED.
2. AFTER INSTALLATION, TRIM OUT DEADWOOD AND/OR DEFORMED TWIGS. DO NOT CUT LEADER.
3. AMENDED SOIL SHALL CONTAIN 5% ORGANIC MATTER BY VOLUME.
4. DIAMETER OF HOLE SHALL BE 1-2" LARGER THAN THE DIAMETER OF THE ROOTBALL OR ROOT MASS.
5. ORGANIC MATTER SHALL NOT BE BANKED AGAINST THE STEM OR TRUNK OF THE TREE.
6. TREE SHALL NOT BE STAKED UNLESS IT IS ABSOLUTELY NECESSARY TO DO SO.
7. ALL TAGS, BANDS, AND WIRES SHALL BE REMOVED FROM THE TREE IMMEDIATELY AFTER PLANTING.
8. THE TREE SHALL BE WATERED AS NECESSARY TO PREVENT WILTING AND PROMOTE GROWTH.
9. A PHOTO DEGRADABLE TREE TUBE OR EQUIVALENT SHALL BE INSTALLED AROUND ALL NEWLY PLANTED TREES.
10. PULL BURLAP AWAY FROM TREE STEM.
11. STAKES AND GUY WIRES MANDATORY ONLY FOR B&B TREES WITH 4" CALIPER OR GREATER, ALL WIND PRONE SITES AND ALL BARE ROOT TREES.
12. COORDINATE STAKING TO INSURE UNIFORM ORIENTATION OF GUY WIRES AND STAKES, IF NECESSARY.
13. REMOVE SOIL FROM TOP OF ROOT BALL TO EXPOSE TOP OF 1ST SET OF PRIMARY ROOTS. 1ST SET OF PRIMARY ROOTS ARE AT FINISHED GRADE.
14. AFTER SETTING ROOT BALL IN PIT, BACKFILL TO WITHIN 12" OF TOP OF ROOT BALL, AND WATER IN. CUT AND REMOVE TO BACKFILL LINE ALL TWINE AND/OR BURLAP. BACK FILL UNTILL PIT IS FULL. WATER AGAIN. PULL EXCESSIVE SOIL OFF THE TOP OF BRANCH ROOT SYSTEM. IF SOIL IN ROOT BALL IS THE CONSISTENCY OF OATMEAL DUE TO EXCESSIVE HANDLING, CONTRACTOR SHALL STAKE THE TREE.
15. SHREDDED HARDWOOD MULCH - 1-4" DEPTH, 5' DIAMETER. PULL AWAY FROM TRUNK OF TREE.
16. BACKFILL WITH 1/2 NATIVE SOILS AND 1/2 PLANTING SOIL. MIX THOROUGHLY. SEE SPEC.
17. GUY ASSEMBLY: 16" POLYPROPYLENE OR POLYETHYLENE(40 MIL) 1 1/2 WIDE STRIP- (TYP) DOUBLE STRAND 14 GA WIRE & 3 STEEL STAKES OR SIGN POSTS@ 120 DEGREE O.C..
18. GUY ASSEMBLY OPTIONAL BUT CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR MAINTAINING TREE IN A PLUMB POSITION FOR THE DURATION OF THE GUARANTEE PERIOD.



---670.30---  
S 89°59'43" W

\* = Information as per record plans supplied to us.

# Preliminary Plat of Homestead Road Subdivision

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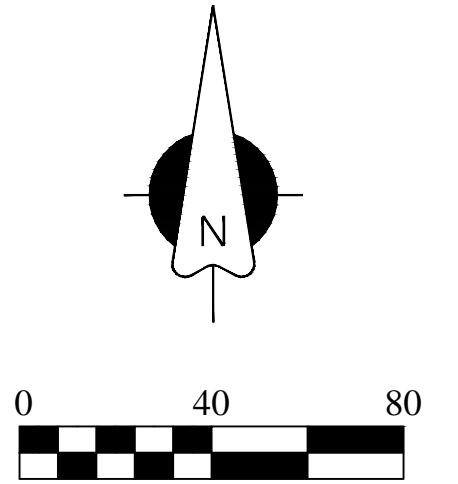
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*Thomas M. Bloom*  
Thomas M. Bloom

# 42379  
LICENSE NO.

OCTOBER 18, 2016  
DATE:

DRAWING ORIENTATION & SCALE



JOB NAME / JOB ADDRESS

**HOMESTEAD ROAD**

7131 166TH AVE. NW  
RAMSEY

OWNER NAME / ADDRESS

**CTW GROUP INC.**

5402 PARKDALE DR.  
SUITE 101  
MINNEAPOLIS, MN  
55416

LEGEND

- = CATCH BASIN
- = FIRE HYDRANT
- = POWER POLE
- = MANHOLE
- = TELEPHONE PED.
- = ELEC. TRANSFORMER
- = WELL
- = GATE VALVE
- = LIGHT POLE
- = FENCE LINE
- = SS = SANITARY SEWER LINE
- = W = WATER LINE
- = G = GAS LINE
- = ST = STORM DRAIN LINE
- = E = OVERHEAD UTILITY LINE

UTILITY NOTES

1. ALL WORK SHALL BE INSPECTED BY THE CITY.
2. CONTRACTOR MUST PROVIDE A DETOUR PLAN TO THE CITY FOR APPROVAL PRIOR TO COMMENCING WORK.
3. PAVEMENT SHALL BE SAWCUT PER DETAIL STR25, WITH THE WEAR COURSE MILLED TO OFFSET THE VERTICAL JOINTS PRIOR TO PAVING.
4. EXCAVATION MUST BE BACKFILLED AT THE END OF THE DAY, RESTORED WITH CLASS 5 AND OPEN TO TRAFFIC.

DATE	REVISION DESCRIPTION
10/18/16	UPDATE PER CITY COMMENTS
11/18/16	CHANGE POSS. FUTURE HOUSE ON LOT 3
03/02/17	UPDATE PER CITY COMMENTS
05/01/17	UPDATE PER CITY COMMENTS

DATE SURVEYED: AUGUST 24, 2016

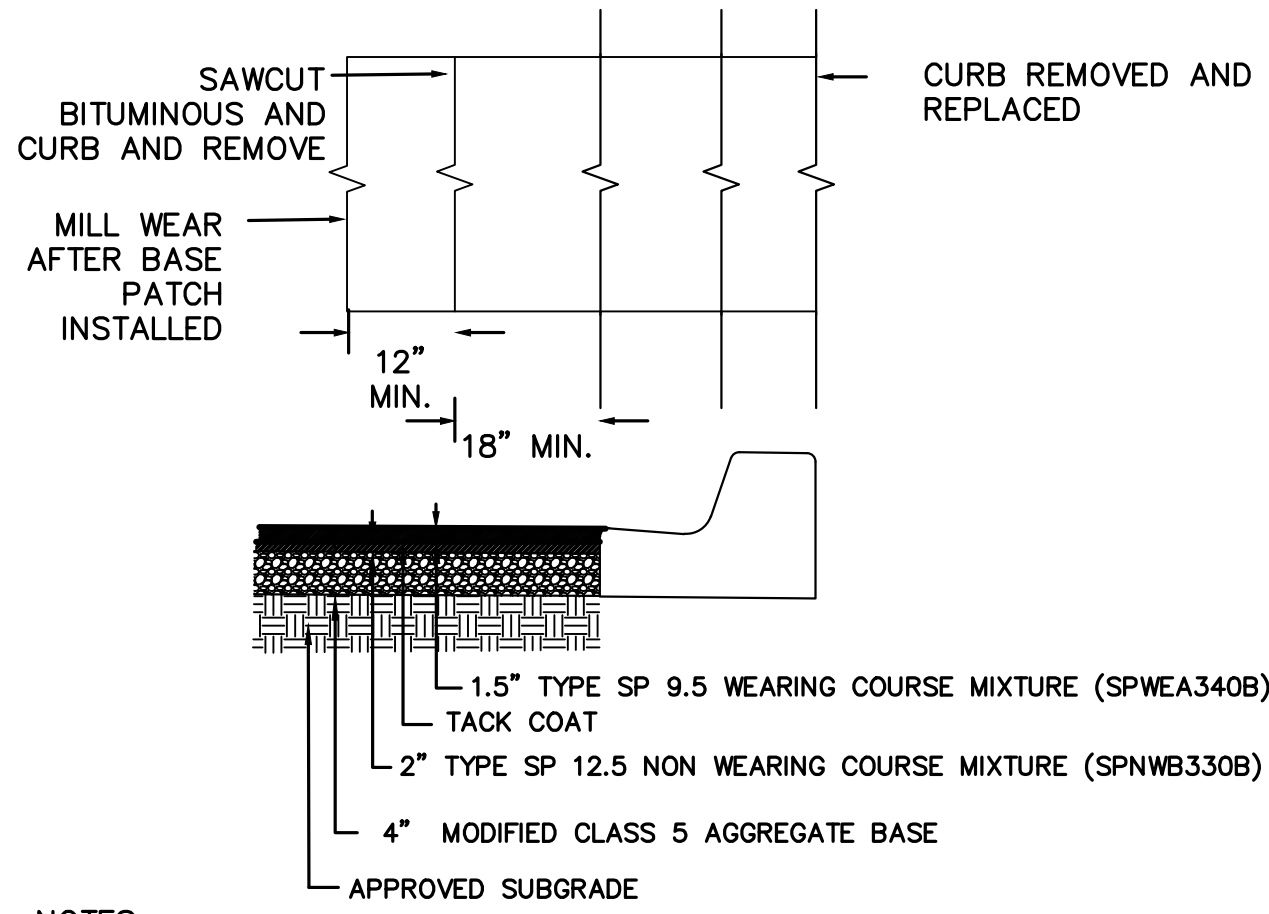
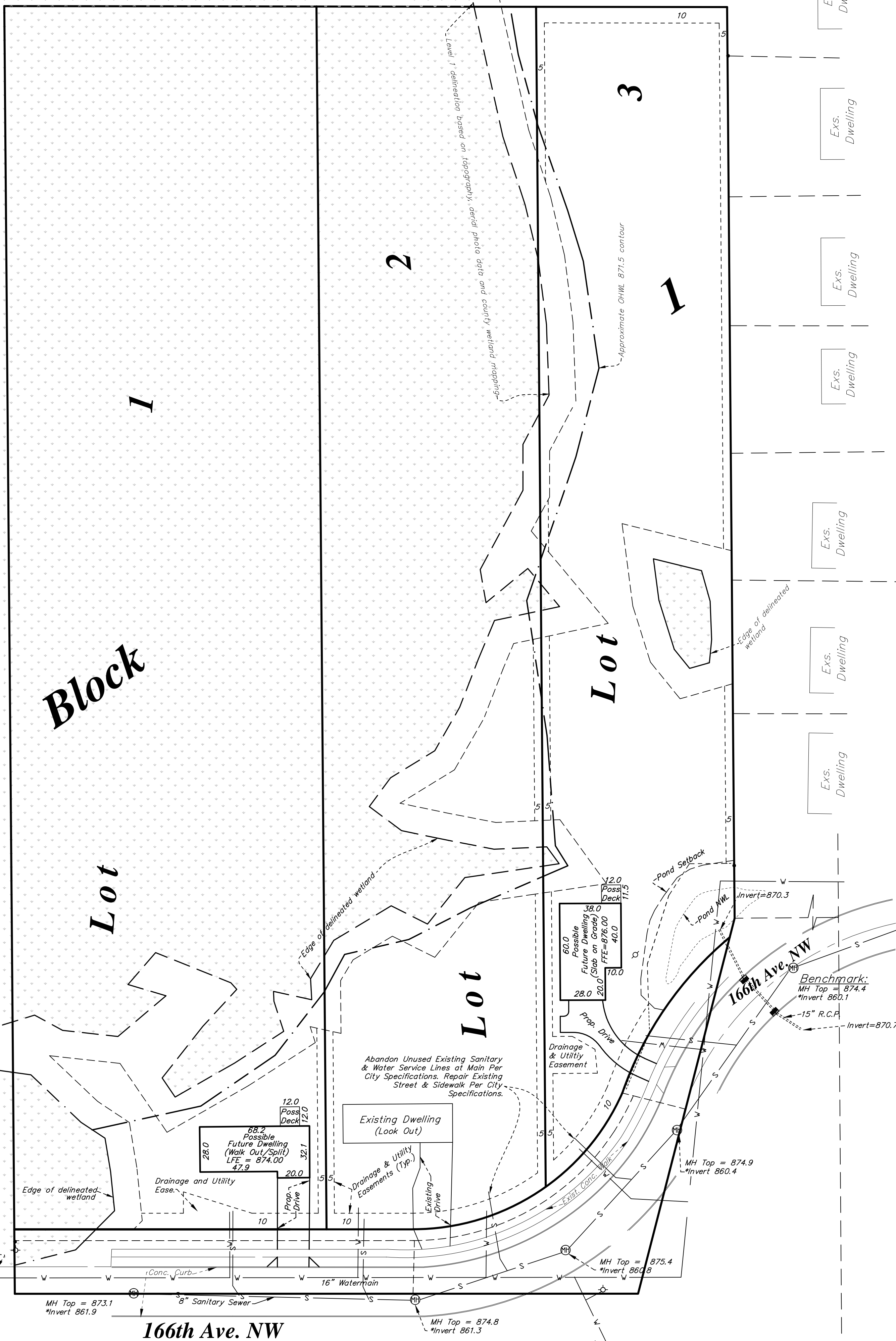
DATE DRAFTED: OCTOBER 18, 2016

SHEET TITLE  
**PRELIMINARY PLAT  
UTILITY PLAN**

DRAWING NUMBER  
**160806 TB  
REV 5 - 1**

SHEET NUMBER

**S3**



- NOTES:
1. BITUMINOUS SHALL BE SAWCUT AND REMOVED AFTER CURB IS REPLACED.
  2. CLASS 5 AND BITUMINOUS COURSES SHALL BE MECHANICALLY COMPACTED.
  3. SEE CITY PLATE STR-26 FOR MODIFIED CLASS 5 SPECIFICATIONS.

STREET PATCHING STANDARDS  
(PER CITY PLATE STR-25)  
NO SCALE

% PASSING	
1"	100
3/4"	90 - 100
3/8"	50 - 80
No. 4	35 - 70
No. 10	20 - 60
No. 40	10 - 35
No. 200	5 - 10

- NOTES:
1. THE AGGREGATE BASE CONSTRUCTION WILL BE ACCEPTED FOR PAYMENT IN ACCORDANCE WITH THE PROVISIONS IN TABLE A.
  2. IF THE AGGREGATE BASE FAILS TO MEET THE REQUIREMENTS OF TABLE A THE MATERIAL CAN BE CORRECTED IN PLACE OR REMOVED AND REPLACED WITH MATERIAL THAT MEET THE REQUIREMENTS OF TABLE A.
  3. IN THE EVENT THAT RECYCLED MATERIAL IS USE IT MUST MEET MNDOT REQUIREMENTS FOR RECYCLED BASE.

MODIFIED CLASS 5 SPECIFICATION  
(PER CITY PLATE STR-26)  
NO SCALE

---670.30---  
S 89°59'43" W