

**CITY OF RAMSEY LAND USE APPLICATION**  
**TECHNICAL REVIEW FILE**

<b>DATE</b>	JUNE 9, 2017	<b>PROJECT ADDRESS</b>	TBD
<b>PROJECT. TITLE</b>	COVENANT MEADOWS: FINAL PLAT		
<b>ESCROW #</b>	115528		
<b>DEPARTMENT:</b>	Community Development: Planning Division		
<b>TECHNICAL REVIEWER:</b>	Name: Eric Maass, Consultant Planner Phone: 763-433-4302 Email: <a href="mailto:EMaass@wsbeng.com">EMaass@wsbeng.com</a>		

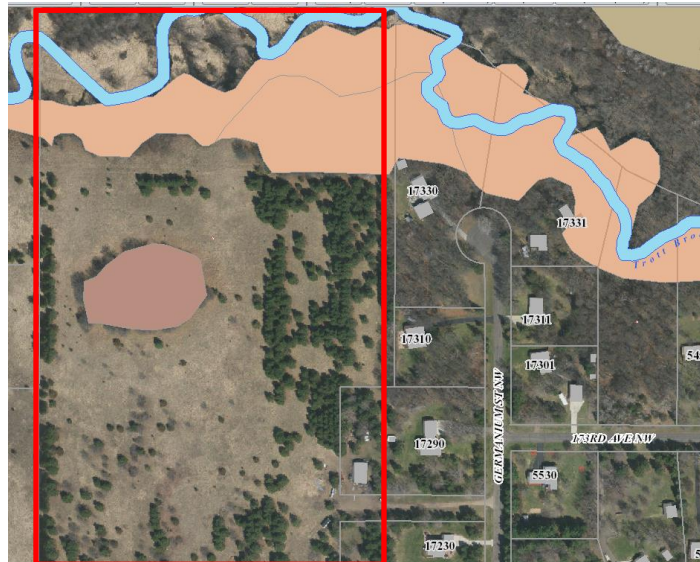
**Final Plat Review**

We offer the following comments regarding the Final Plat submittal for Covenant Meadows as it relates to the City’s Zoning Code. Final Plat submittal consists of twelve (13) sheets. LHB prepared 1 sheet and Roshell Engineering, LLC prepared the remaining 12 sheets. All of the plan sheets are dated March 23, 2017, and revised on May 4, 2017. The proposal includes a request for Final Plat approval.

**Staff provides the following comments that require revision:**

**Sheet CO**

1. As was shown on the revised preliminary plat, indicate the location of soil borings completed for each proposed lot.
2. As was shown on the revised preliminary plat, revise the building setback line for Lot 1 Block 1 and Lot 4 Block 2 in accordance with the arching property line around the cul-de-sac.
3. The building setback lines for Lot 2 Block 1, Lot 3 Block 1, and Lot 8 Block 1 runs through the proposed storm ponds and should terminate at the easement line for the pond the same way it is shown on Lot 1 Block 2.
4. The building setback line in incomplete on Lot 4 Block 2.



**Staff has reviewed the revisions necessary from past comments and has the following comments which require further revision:**

**Revised Preliminary Plat Sheet**

1. The lot dimensions for Lot 8, Block 1 shown adjacent to Iodine St NW indicates “202.50” which appears to be in error now that the lot width measurement has been shown at the building setback which indicates a lot width of 272.5 feet. The width of Lot 8 Block 1 along the eastern property line is not shown and must be shown. A similar situation of lot width discrepancy is present for the widths shown on Lot 1 Block 2. One measurement shows a width of 221.55 and another shows a width of 221.2. Please rectify inconsistencies for both lots mentioned above.

**Staff provides the following comments for general review of the application:**

**General.** The Final Plat would re-plat Outlot A, MeadowBrook, Anoka County, Minnesota, into twelve (12) single family residential lots. The twelve (12) new lots would be accessed by two roadway extensions off of Germanium Street NW through the building of 172<sup>nd</sup> Lane NW and Iodine St NW. The Applicant applied for approval for a rezoning of the property from R-1 Rural Developing to Planned Unit Development (PUD). Ordinance #17-05 was recommended for approval by the planning commission and introduced for adoption at the April 25<sup>th</sup>, 2017 City Council meeting

**Lot Sizes.** The minimum lot size in the R-1 Rural Developing District is 2.5 acres with a minimum lot width of 200 feet, measured at the building setback line. Through a Planned Unit Development (PUD) the Applicant is permitted to deviate from those lot requirements due to the presence of a public benefit. The Applicant is proposing lots which range in size from 1.00 acres to 2.92 acres in size and which range in lot width from 92 feet to 272 feet. The Applicant is not seeking any deviation from the R-1 Rural Developing bulk lot standards except for lot size and lot width.

**Setbacks and Dimensional Standards.**

R-1 Rural Developing Base Zoning / Proposed PUD Dimensions	
Required	Proposed
Front yard: 40 feet	40 feet
Side yard: 10 feet	10 feet
Rear yard: 10 feet	10 feet
Minimum lot width*: 200 feet	Minimum lot width*: 80 feet
Lot depth**: 100 feet with a minimum width of 60 feet	Satisfactory

*\*Note: Minimum Lot Width is measured at front yard setback line, property must abut built street.*

*\*\* Lot depth required is 100 feet for a width of 60 feet that is not encumbered by wetland, wetland setback area, floodway, or other unbuildable areas.*

**DNR Review.** The Applicant has submitted the necessary exhibit showing the tiers required for a Planned Unit Development (PUD) within the Shoreland Management District. Based on Staffs review of the exhibit it appears to meet the requirements of the ordinance. Metro Area Hydrologist Kate Drewry review the proposed development and indicated that the plan appeared to meet the open space requirement with 50% of the area along the Creek and the steep slopes proposed for dedication to the City and the smaller lots located in the tiers furthest from the Creek. They indicated that the plan should delineate the boundaries of the shoreland district tiers as well as the structure setback and bluff impact zones. This exhibit has been forwarded to the MN DNR for review and comment.

**Streets and Access:** The proposed final plat includes public roads that will provide access to the plat which is consistent with the streets shown on the preliminary plat. The following roads are included in the plat and are labeled on the Final Plat:

- Iodine Street NW
- 172<sup>nd</sup> Lane NW

**Trails.** The Applicant has revised the plan set to include a paved ADA connection from the proposed trail to the cul-de-sac bulb of Iodine St NW located between lots 5 and 6 of Block 1. As previously requested, the trail is shown within a 20 foot wide trail easement. The trail will be an eight (8) foot wide bituminous trail and will be constructed as a Stage I Improvement to provide immediate access to the land being deeded to the City.

Review File: Covenant Meadows

Final Plat

June 9, 2017

Page 3 of 3

That cost can be credited toward the Trail Development Fees that would be due on the plat. It is required that that proposed trail connection to the road be ADA compliant.

**Landscaping:** The landscaping plan has been revised to show white oak and autumn blaze maple as the two deciduous trees to be planted. Previously the plan set indicated that a variety of Elm tree would be planted. Each lot is required to have two (2) trees installed and as shown on landscaping sheet L1, that requirement is being met through the use of deciduous and coniferous trees. If trees are to be saved it will need to be noted where the tree save fencing will be installed. Tree save fencing is required around all trees or groups of trees to be preserved.

**Development Fees:** Development Fees will be due with the Plat including, but not limited to, Park Dedication, and Trail Development. These fees are collected at the time the Final Plat is recorded and at the rate in effect when the plat is recorded.

**Development Agreement:** An executed Development Agreement will be required prior to releasing the plat for recording. The Applicant has submitted cost estimates but Staff has not had sufficient time to complete a review of the estimates for reasonableness. A Development Agreement will be finalized for review and approval by City Council at a future meeting.

**CITY OF RAMSEY LAND USE APPLICATION  
TECHNICAL REVIEW FILE**

<b>DATE</b>	JUNE 9, 2017	<b>PROJECT ADDRESS</b>	WEST OF GERMANIUM STREET, NORTH OF 172 <sup>ND</sup> LANE (NEW)
<b>PROJECT. TITLE</b>	COVENANT MEADOWS		
<b>ESCROW #</b>	115528		
<b>DEPARTMENT:</b>	Engineering		
<b>TECHNICAL REVIEWER:</b>	Name: Leonard Linton Phone: 763 433-9834 Email: llinton@ci.ramsey.mn.us		

The Engineering Department offers the following comments regarding the Final Plat Exhibits for Covenant Meadows. The submittal consists of 13 sheets. LHB prepared 1 sheet and Roshell Engineering, LLC prepared the remaining 12 sheets. All of the plan sheets were revised May 4, 2017.

**General comments:**

1. This project will require a stormwater permit from the Lower Rum River Watershed Management Organization (LRRWMO).
2. The LRRWMO requirements are presented at the end of this memo.

**Sheet Specific Comments:**

**C1:**

1. A typical street section must be added to the plan set.

**G1:**

1. Must demonstrate positive drainage away from rear of all houses. Label existing contours in back yards, add spot elevations as needed to show that runoff flows away from walkout/lookout area.
2. Soil classification information is required for the proposed drainfield areas.
3. Infiltration areas shall be excavated to final grade and vegetated after upland areas have permanent cover and are stabilized. Add a note to the plan: The secondary silt fence must remain in place until the infiltration basin vegetation is established.
4. Tree protection fencing must be shown on this sheet. It must be installed by hand prior to installing silt fence.

**SW1, SW2:**

1. A scale and circle denoting 1 mile must be added to the area map.
2. A table listing erosion control measures to be installed and quantities of each item must be added to the sheet.
3. The City must approve the Notice of Termination (NOT) before it is submitted. Erosion control must be inspected weekly and after every 0.5 inch rain event. The weekly reports must be emailed to the City. The complete erosion control inspection report must be submitted before the City will approve the NOT.

**L1, T1, T2:**

1. Trees to be removed must be clearly identified on the plan and in the tables. Add a column to the tables identifying trees to be removed.
2. Tree protection fencing must be shown on the plan and installed as noted above.

**Stormwater Calculations**

A stormwater summary report was provided. The report states the 100 year storm is retained in the pond. The LRRWMO requires volume reduction (infiltration) on all projects. The LRRWMO rules require that infiltration basins empty completely within 48 hours after a 1" rainfall. The report must be revised to include the 1 inch, 2 year, 10 year, 100 year and 100 year back to back rain events. The report must list the new impervious area and the infiltration volume required. This must be calculated with a formula or the MIDS calculator. Using the volume from a 1 inch rainstorm in HydroCAD is not acceptable, HydroCAD calculations include abstraction which reduces the volume reported.

The City has reviewed the stormwater calculations and find that the 100 year event will take at least 56 hours to drain out of the south east pond. This was computed by multiplying the infiltration rate of 0.8 inch/hour times the surface area of the bottom of the pond to determine the cubic feet per hour leaving the pond. The total runoff reaching the pond was divided by this rate to determine the time to drain the pond.

The City model also showed that the NE and SE ponds overtop by 0.1 foot. The HydroCAD report indicates 2.7 cfs will leave the site and enter the Germanium Street ditches during the 100 year event. The City is requesting profile and cross section information for the existing ditches so that the impact from this project can be determined and ensure that existing properties will not be adversely impacted by this increased runoff.

The report states onsite soils in the mitigation area will be removed and replaced with more permeable soils to promote infiltration. Details for the soil replacement must be included in the plans. The Minnesota Pollution Control Agency has produced the free MIDS calculator for evaluating stormwater practices like infiltration. The pond and infiltration basin must be evaluated with the MIDS calculator. The stormwater report must include the infiltration summary for each pond.

Draft boring logs were included with the stormwater report. A location map for the borings was not included.

This is summary of the required changes to the stormwater plan and plan sheets:

1. List the impervious area and required infiltration volume.
2. Modify the ponds to ensure the infiltration volume area will drain within 48 hours for all storms.
3. Provide channel cross sections and calculations for the existing ditches along Germanium Street to show maximum elevation for the 100 year storm.

Revised plans which address **all** of these changes must be submitted.