

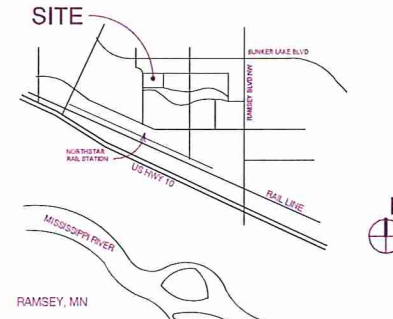
GREENWAY TERRACE

Land Use Application

June 1, 2017



VICINITY MAP NOT TO SCALE



AREA SUMMARY

Area Schedule (Over Building)	
CONC SP	LEVEL 1
CONC SP	LEVEL 2
CONC SP	LEVEL 3
CONC SP	LEVEL 4

GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- SUBCONTRACTORS SHALL VISIT THE JOB SITE AND SHALL REVIEW THE CONTRACT DOCUMENTS TO FAMILIARIZE THEMSELVES WITH THE REQUIREMENTS AND INTENT OF THE SCOPE OF THE WORK PRIOR COMMENCEMENT OF WORK. DISCREPANCIES SHALL BE REPORTED TO GENERAL CONTRACTOR FOR CLARIFICATION.

UNIT COUNT

UNIT TYPE	LEVEL 1	LEVEL 2	LEVEL 3	UNIT TYPE TOTAL
1 BEDROOM	0	2	3	5
1 BEDROOM TYPE 'A'	0	1	0	1
2 BEDROOM	8	6	0	20
2 BEDROOM TYPE 'A'	1	0	0	1
3 BEDROOM	5	8	7	50
3 BEDROOM TYPE 'A'	0	0	1	1
4 BEDROOM	2	2	2	6
Grand Total	15	19	19	54

PARKING STALLS

TOTALS	SURFACE PARKING
Compact Parking Stall	18
HC Single Parking Stall	3
Standard Parking Stall	39
Grand Total	60

CONTACTS

DEVELOPER/CLIENT

NAME: AEON
CONTACT: LERUE ROERING
ADDRESS: 301 N 3RD STREET, SUITE 150
MINNEAPOLIS, MN 55401
PHONE No.: 612-746-4853
FAX No.:
E-MAIL: lroering@aeonm.org

CONTRACTOR

NAME: FRANIA
CONTACT: B.J. MARRIOTT
ADDRESS: 633 SECOND AVENUE S
HOPKINS, MN 55343
PHONE No.: 952-935-8600
FAX No.: 952-935-8644
E-MAIL: bj@frania.com

ARCHITECT

NAME: URBANWORKS ARCHITECTURE LLC
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DAVID HAALAND
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CIVIL ENGINEER

NAME: BXBH ENGINEERS
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ADDRESS: 5930 BROOKLYN BLVD.
MINNEAPOLIS, MN 55429
PHONE No.: 763-443-0148
FAX No.: 763-443-0121
E-MAIL: kmatte@bxbh.com

LANDSCAPE ARCHITECT

NAME: DAMON FARBEN ASSOCIATES
CONTACT: JESSE SYLNYKOWICZ
ADDRESS: 401 NORTH 2ND AVE, SUITE 410
MINNEAPOLIS, MN 55401
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FAX No.: 612-332-0938
E-MAIL: jsylnykwicz@damonfarben.com

STRUCTURAL ENGINEER

NAME: BXBH ENGINEERS
CONTACT: JOHN TRIM, P.E.
ADDRESS: 5930 BROOKLYN BLVD
MINNEAPOLIS, MN 55429
PHONE No.: 763-443-0148
FAX No.: 763-443-0121
E-MAIL: jtrim@bxbh.com

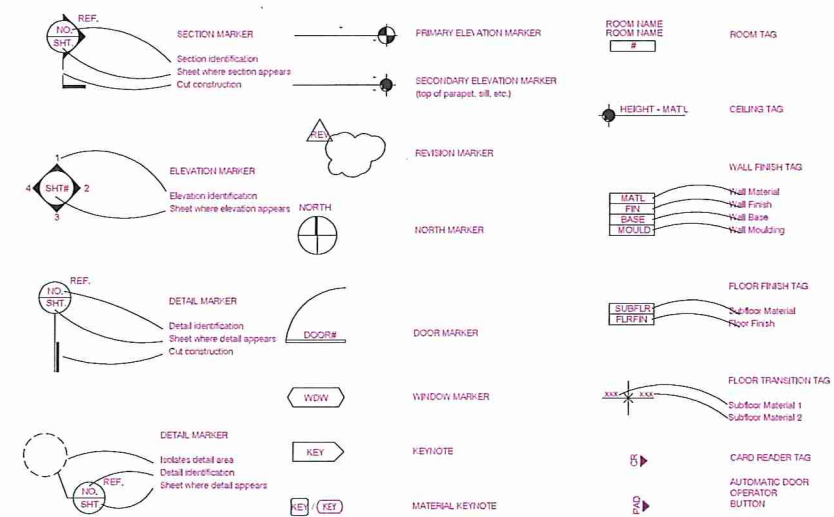
MFP ENGINEERS

NAME: STEEN ENGINEERING
CONTACT: KURT SMITH
ADDRESS: 5430 DOUGLAS DRIVE N
MINNEAPOLIS, MN 55429
PHONE No.: 763-255-4788
FAX No.: 763-855-6757
E-MAIL: kurt@steeneng.com

INTERIOR DESIGNER

NAME: URBANWORKS ARCHITECTURE LLC
CONTACT: SARAH DAVIS
ADDRESS: 901 N 3RD STREET
SUITE 115
PHONE No.: 612-455-3100
FAX No.: 612-455-3199
E-MAIL: sdavis@urban-works.com

SYMBOLS



URBANWORKS
GREENWAY TERRACE

445 N LAKE AVE & TAMPOPOCK STREET NW
RAMSEY, MN 55203

4 URBANWORKS ARCHITECTURE LLC, 901 N
901 NORTH THIRD STREET, SUITE 115, MINNEAPOLIS, MN 55401

CONSULTANT

PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

KEY PLAN

DATE: 6.1.2017
PROJECT #: 16-0011
PHASE: DD
DRAWN BY: MEB
CHECKED BY: DEH

TITLE SHEET

G001

SHEET INDEX

CONSTRUCTION DOCUMENTS - x-xx.20xx
 DESIGN DEVELOPMENT - 6.5.2017
 LAND USE - 6.1.2017
 SCHEMATIC DESIGN - 4.17.2017

ARCHITECTURAL / CIVIL / LANDSCAPE SHEET INDEX

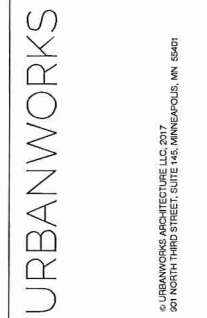
- G001 TITLE SHEET
- G002 SHEET INDEX
- G003 BUILDING SYSTEMS
- SURVEY SURVEY
- PLAT F FINAL PLAT
- PLAT P PRELIMINARY PLAT
- C200 UTILITY PLAN
- C300 PAVING AND GEOMETRIC PLAN
- C400 CIVIL DETAIL SHEET
- C401 CIVIL DETAIL SHEET
- C500 SWPPP
- LA100 ARCHITECTURAL SITE PLAN
- L030 LANDSCAPE PLANT SCHEDULE
- L060 LANDSCAPE PLANTING PLAN
- L500 LANDSCAPE DETAILS
- A101 LEVEL 1 PLAN - OVERALL
- A102 LEVEL 2 PLAN - OVERALL
- A103 LEVEL 3 PLAN - OVERALL
- A301 BUILDING ELEVATIONS
- A302 BUILDING ELEVATIONS
- A303 BUILDING ELEVATIONS
- A304 BUILDING ELEVATIONS
- E011 ELECTRICAL SITE PLAN
- E020 SITE PHOTOMETRIC PLAN

CONSTRUCTION DOCUMENTS - x-xx.20xx
 DESIGN DEVELOPMENT - 6.5.2017
 LAND USE - 6.1.2017
 SCHEMATIC DESIGN - 4.17.2017

STRUCTURAL SHEET INDEX

CONSTRUCTION DOCUMENTS - x-xx.20xx
 DESIGN DEVELOPMENT - 6.5.2017
 LAND USE - 6.1.2017
 SCHEMATIC DESIGN - 4.17.2017

MECHANICAL/PLUMBING/ELECTRICAL SHEET INDEX



145TH AVE NW & TIMPICOOK STREET NW
 FARMER, MN 55030

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 501 NORTH THIRD STREET, SUITE 100, MINNEAPOLIS, MN 55401

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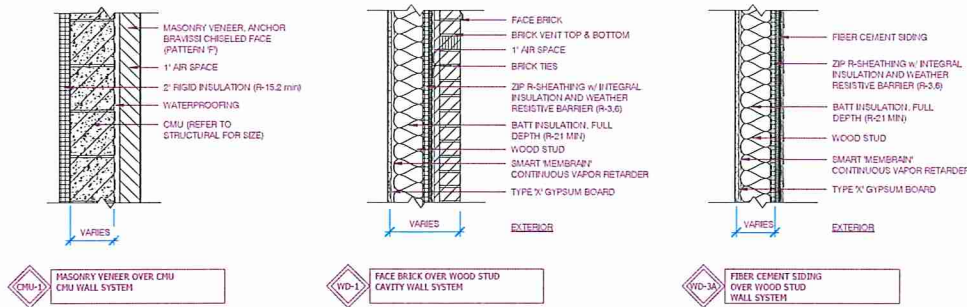
REVISIONS

DATE 6.1.2017
 PROJECT # 16-011
 PHASE DD
 DRAWN BY MEB
 CHECKED BY DFEH

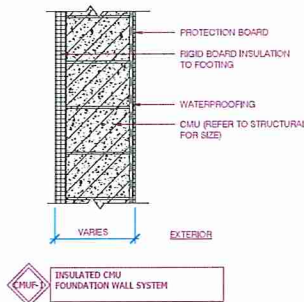
SHEET INDEX

G002

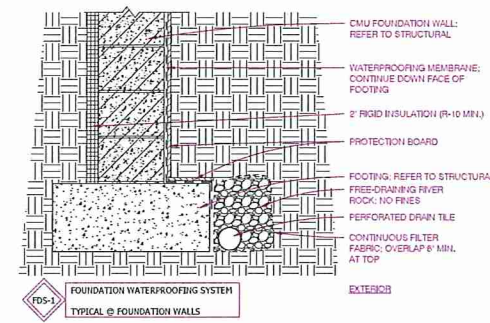
BUILDING SYSTEMS



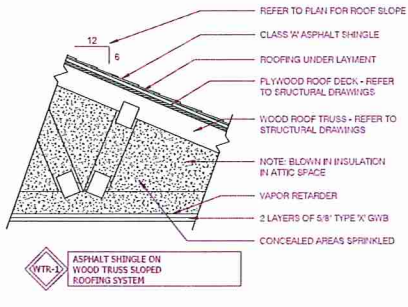
EXTERIOR WALL SYSTEMS



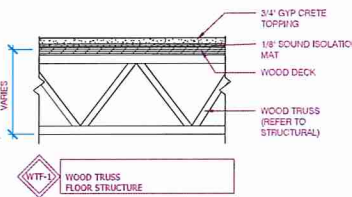
FOUNDATION WALL SYSTEMS



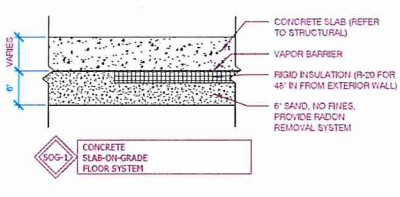
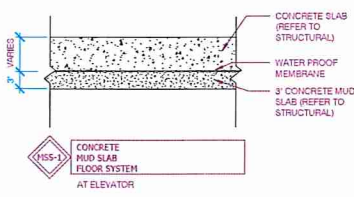
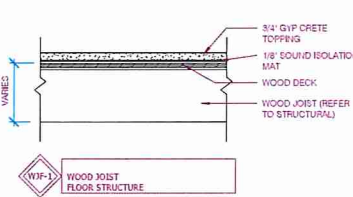
FOUNDATION DRAINAGE SYSTEM @ ELEVATOR



ROOF SYSTEMS



FLOOR SYSTEMS



INTERIOR PARTITION TYPES

PARTITION TYPE	STUD WIDTH	ASSEMBLY WIDTH	UL	FIRE RESISTANCE
P	3 1/2"	4 3/4"	34	UL# : U305
P	5 1/2"	6 3/4"	34	NA
P	7 1/4"	8 1/2"	34	NA
R	3 1/2"	6"	49	UL# : U305
R	5 1/2"	6"	49	UL# : U301
S	3 1/2"	4 1/8"	-	NA
S	5 1/2"	6 1/8"	-	NA
V	3 1/2"	10 1/2"	50-50	WP 3520
V	5 1/2"	10 1/2"	50-50	WP 3520
W	3 1/2"	5 1/4"	50-51	UL# : U305*
W	5 1/2"	7 1/4"	50-51	NA

INTERIOR PARTITION KEY

TYPE	DESCRIPTION	TYPE	DESCRIPTION
P	ACoustically RATED PARTITION - SEE PARTITION TYPE FOR UNDERWRITERS LABORATORIES DESIGN NUMBER	P	1 HOUR FIRE RATED PARTITION - SEE PARTITION TYPE FOR UNDERWRITERS LABORATORIES DESIGN NUMBER
R	NON RATED, EXTEND 6' ABOVE SUSPENDED CEILING, BRACE TO STRUCTURE ABOVE	R	3 HOUR FIRE RATED PARTITION - SEE PARTITION TYPE FOR UNDERWRITERS LABORATORIES DESIGN NUMBER
S	NON RATED, EXTEND TO BOTTOM OF SUSPENDED CEILING ABOVE	S	3 HOUR FIRE RATED PARTITION - SEE PARTITION TYPE FOR UNDERWRITERS LABORATORIES DESIGN NUMBER
V	THERMALLY RATED PARTITION - PROVIDE NON FACED FLUX THERMAL BATT INSULATION	V	4 HOUR FIRE RATED PARTITION - SEE PARTITION TYPE FOR UNDERWRITERS LABORATORIES DESIGN NUMBER
W	SEE FLOOR PLAN FOR PARTITION HEIGHT	W	1/2" RESILIENT CHANNEL (CORRIDOR SIDE)



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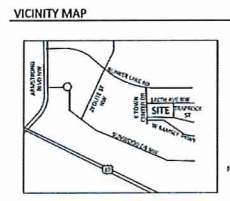
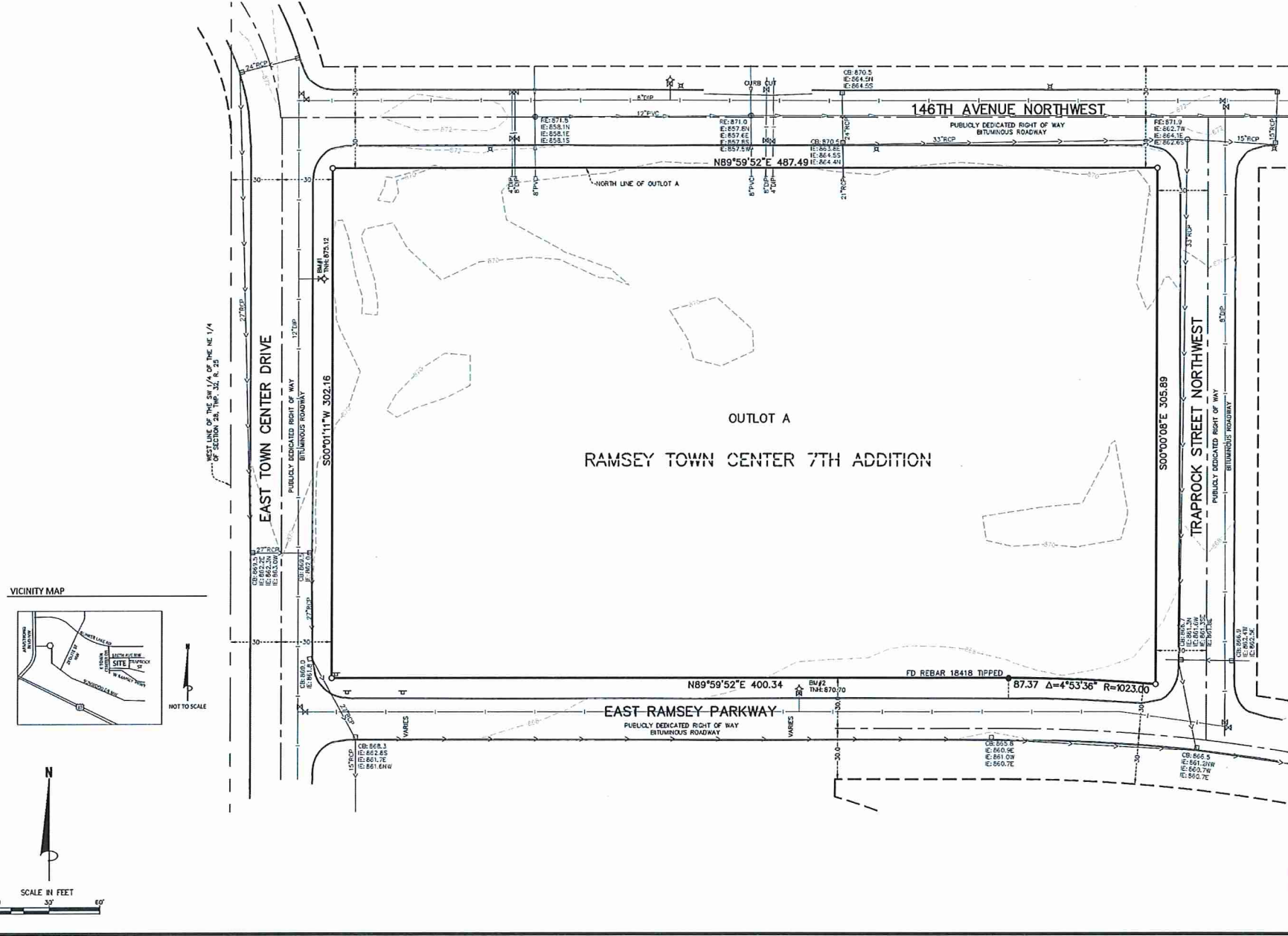
DATE: 6.1.2017
 PROJECT #: 16-0311
 PHASE: DD
 DRAWN BY: MEB
 CHECKED BY: DFEH

BUILDING SYSTEMS

6/1/2017 1:20:01 PM C:\Users\james\Documents\Projects\16-0311\AT17_mey\james.dwg

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- LEGEND**
- SET MONUMENT
 - FOUND MONUMENT
 - SIGN
 - HYDRANT
 - GATE VALVE
 - CATCH BASIN
 - CATCH BASIN MANHOLE
 - MANHOLE
 - SANITARY SEWER MANHOLE
 - EXISTING CONTOUR
 - SANITARY SEWER
 - STORM SEWER
 - WATER MAIN



- SURVEY NOTES**
- The bearing system is based on the North line of Outlot A, RAMSEY TOWN CENTER 7TH ADDITION, which is assumed to bear North 89 degrees 59 minutes 52 seconds East.
 - Field work was completed on 3/23/2017.
 - Utility information has been compiled as the result of a Gopher State One Call (GSOC) request for utility marks and/or maps. The pipe sizes shown herein are per plans provided by the City of Ramsey. The plans provided are not Record or As-Built plans. Per the City, the plans provided are As-Built plans; no As-Built plans were ever prepared. The facility operators as provided on the GSOC ticket are as follows:
 Comcast: 763-433-9961
 City of Ramsey: 612-322-8141
 CenturyLink: 855-742-6062
 Conexus Energy: 763-325-4215
 Center Point Energy: 800-783-9140
 Zayo Bandwidth: 763-230-3870

SURVEYED PROPERTY
 Description from title commitment (contains additional real estate):
 Outlot A, Ramsey Town Center 7th Addition, Anoka County Minnesota.
 Referencing Title Commitment No. 51391, dated 4/26/2016, that Commercial Partners Title, LLC as agent for Old Republic National Title Insurance Company has provided us. There are no exceptions items in Schedule B, Part II of the commitment which are survey related.

- "TABLE A" NOTES**
- Monuments have been placed at all corners of the boundary of the property, unless already marked or referenced by existing monuments or witnesses in close proximity to the corner, as shown on the survey.
 - The subject property address is 7562 146th Avenue NW, and its property identification number is 28-33-25-13-003A.
 - The subject property has within Flood Plain Zone X (areas determined to be outside the 0.2% annual chance flood plain) per Federal Insurance Rate Map No. 270002030C dated 12/16/2015.
 - The gross area of the surveyed property is 3.364 Acres or 147,425 Square Feet.
 - The vertical datum is based on MVDN23 datum.
 Benchmark #1
 Top of Hydrant located near the northwest corner of the property as shown. Elevation: 875.12.
 Benchmark #2
 Top of Hydrant located on south side of property as shown. Elevation: 870.70
 - A zoning report or letter has not been provided to the surveyor.
 - There are no buildings located on the property.
 - Substantial features observed in the process of conducting the fieldwork are shown on the survey.
 - There are no parking areas and striping on the property.
 - Underground utilities are shown per:
 Gopher State One Call, Ticket No. 170450913, dated 2/11/2017.
 A Gopher State One Call (GSOC) request was placed on 2/14/2017 for utility locates on this site. Source information from plans and markings has been combined with observed evidence of utilities to develop a view of underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, some utility locate requests from surveyors may be ignored or result in an incomplete response. The surveyor has completed the markings made on the ground. The maps provided, and the observed evidence to show utilities hereon. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary. Pursuant to MS 216.D contact Gopher State One Call at 651-454-0001 prior to any activities.
 - The names, address and property identification numbers of adjoining owners according to current public records are shown on the survey.
 - There is no evidence of current earth moving work, building construction or building additions.
 - There are no proposed changes in street right of way lines, per City of Ramsey website on 3/3/2017. There is no observed evidence of recent street or sidewalk construction or repairs.
 - No wellhead identification markers were observed in the process of conducting the fieldwork.
 - Plottable offsite easements disclosed in documents provided to the surveyor are shown on the survey.

CERTIFICATION
 To Acos Portfolio II LLC, a Minnesota nonprofit corporation, its successors and/or assigns, and Commercial Partners Title LLC as agent for Old Republic National Title Insurance Company:
 This is to certify that this map or plan and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(A), 6(B), 7(A), 7(B)(1), 7(C), 8, 9, 11, 12, 13, 16, 17, 18, 19, and 20 of Table A thereof. The fieldwork was completed on February 23, 2017.
 Date of Plat or Map: March 3, 2017
 James R. Hill, Inc.
 Marcus V. Hanson, Land Surveyor, MN License No. 47481

James R. Hill, Inc.
 PLANNERS / ENGINEERS / SURVEYORS
 2500 W. City Blvd., Suite 100, Burnsville, MN 55337
 PHONE: (952)890-6044 FAX: (952)890-6244
 info@jrhinc.com www.jrhinc.com

RAMSEY APARTMENTS
 7562 146TH AVENUE NW, RAMSEY, MN
ALTA/NSPS LAND TITLE SURVEY
 FOR
AEON
 801 NORTH 3RD STREET, SUITE 150, MINNEAPOLIS, MN

DRAWN BY	JCB
DATE	3/3/2017
REVISIONS	3/24/17 Add Utility Info
CAD FILE	23370M.DWG
PROJECT NO.	23370-00
FILE NO.	1-17-015
SHEET 1 OF 1	



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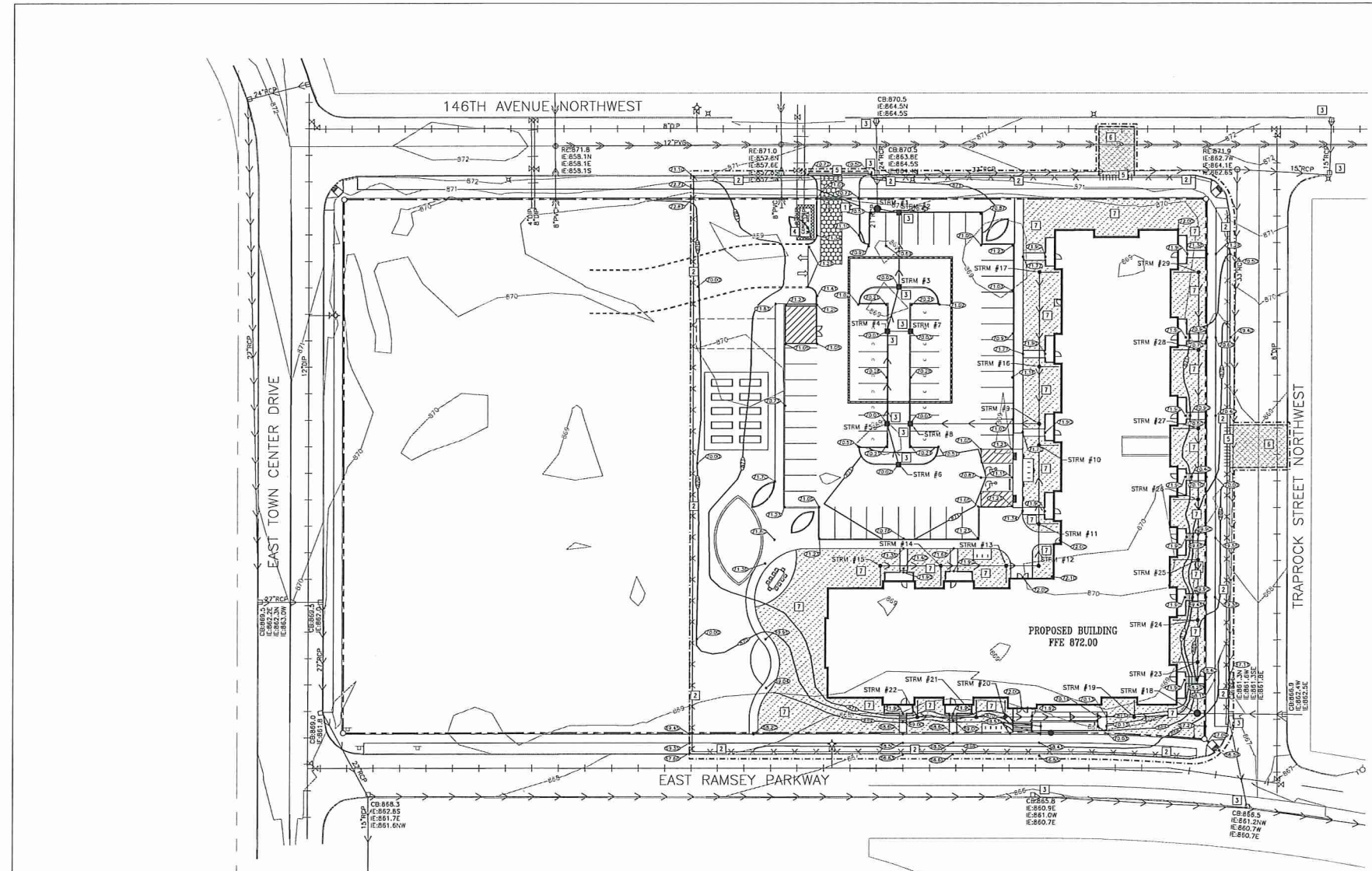
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REVISIONS

DATE	XX
PROJECT #	XX
PHASE	XX
DRAWN BY	XX
CHECKED BY	XX

EXISTING SURVEY

C000

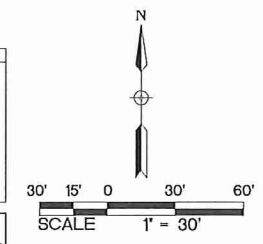


PROPOSED PLAN SYMBOLS

CONSTRUCTION LIMITS	---
PERIMETER EROSION CONTROL - SILT FENCE	---X---
PERIMETER EROSION CONTROL - BIO ROLL	---O---
PROPERTY LINE	---
SANICUT LINE (APPROX)	---
PROPOSED CONTOUR	---E---
DRAIN TILE	---
STORM SEWER	---
RETAINING WALL	---
CATCH BASIN	---
MANHOLE	---
EROSION CONTROL BLANKET (TEMPORARY)	---
BITUMINOUS REMOVAL	---
ROCK CONSTRUCTION ENTRANCE	---
DRAINAGE FLOW ARROW	---
SPOT ELEVATION	---
SOIL BORING	---
CONCRETE WASHOUT AREA	---

ABBREVIATIONS

BLM	Bench Mark
CB	Catch Basin
CONC	Concrete
ELEV	Elevation
EX	Existing
FTE	Finished Floor Elevation
IV	Invert
MAX	Maximum
MH	Manhole
MIN	Minimum
PVC	Polyvinyl Chloride
RCP	Reinforced Concrete Pipe
W.O.	Method



NOTE: STORM SEWER INLETS NOT SHOWN ON PLAN MAY RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INSTALL INLET SEDIMENT PROTECTION PER DETAIL 4/C400 ON ALL STORM INLETS THAT MAY RECEIVE RUNOFF.

APPROXIMATE DISTURBED AREA IS 2.39 ACRES

- KEYED NOTES**
- KEYED NOTES ARE DENOTED BY [] ON PLAN.
- INSTALL ROCK CONSTRUCTION ENTRANCE. REFER TO DETAIL 1/C400.
 - INSTALL PERIMETER EROSION CONTROL. REFER TO DETAILS 2/C400 AND 3/C400.
 - INSTALL INLET SEDIMENT PROTECTION. REFER TO DETAIL 4/C400.
 - APPROXIMATE LOCATION OF TEMPORARY CONTAINED CONCRETE WASH OUT BIN. REFER TO THE MINNESOTA NPDES/SDES GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY FOR MORE DETAILS. SELF-CONTAINED CONCRETE WASHOUTS ON CONCRETE DELIVERY TRUCKS IS AN ACCEPTABLE ALTERNATIVE TO ON-SITE CONTAINMENT.
 - REMOVE CURB AND GUTTER IN ITS ENTIRETY TO THE EXTENT SHOWN. SANICUT AND REMOVE AT NEAREST JOINT.
 - SANICUT AND REMOVE BITUMINOUS PAVEMENT IN ITS ENTIRETY TO THE EXTENT SHOWN.
 - INSTALL MVI/DOT 3885 CATEGORY 2 TEMPORARY STRAW FIBER EROSION CONTROL BLANKET.

1 C100 DEMOLITION, GRADING, DRAINAGE, AND EROSION CONTROL PLAN

EROSION CONTROL NOTES:

- ALL EROSION CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO ANY SITE GRADING OPERATIONS. THE CITY ENGINEERING DEPARTMENT AND THE LOWER RUM RIVER WATERSHED MANAGEMENT ORGANIZATION MUST BE NOTIFIED UPON COMPLETION OF THE INSTALLATION OF THE REQUIRED EROSION CONTROL FACILITIES AND PRIOR TO ANY GRADING OPERATION BEING COMMENCED. THE CONTRACTOR IS RESPONSIBLE TO SCHEDULE A PRE-CONSTRUCTION GRADING MEETING ON-SITE WITH THE CITY AND LOWER RUM RIVER WATERSHED MANAGEMENT ORGANIZATION. IF DAMAGED OR REMOVED DURING CONSTRUCTION, ALL EROSION CONTROL FACILITIES SHALL BE RESTORED AND IN PLACE AT THE END OF EACH DAY.
- ANY EROSION CONTROL FACILITIES DEEMED NECESSARY BY THE CITY OF RAMSEY AND THE LOWER RUM RIVER WATERSHED MANAGEMENT ORGANIZATION AND, BEFORE, DURING OR AFTER THE GRADING ACTIVITIES, SHALL BE INSTALLED AT THEIR REQUEST.
- NO DEVIATIONS SHALL BE MADE FROM THE ELEVATIONS SHOWN ON THE APPROVED GRADING PLAN, WITHOUT PRIOR APPROVAL FROM THE CITY.
- FOR SITES GREATER THAN 1.0 ACRE, AS REQUIRED BY THE MPCA PERMIT REQUIREMENTS, THE PERMIT APPLICANT MUST KEEP AN EROSION CONTROL INSPECTION LOG. INSPECTION MUST BE MADE ONCE EVERY SEVEN DAYS AND WITHIN 24 HOURS AFTER EVERY RAIN EVENT. THE INSPECTION RECORD MUST BE MADE AVAILABLE TO THE CITY LOWER RUM RIVER WATERSHED MANAGEMENT ORGANIZATION WITHIN 24 HOURS OF REQUEST.
- FLOWS FROM DIVERSION CHANNELS OR PIPES (TEMPORARY OR PERMANENT) SHALL BE ROUTED TO SEDIMENTATION BASINS OR APPROPRIATE ENERGY DISSIPATORS TO PREVENT TRANSPORT OF SEDIMENT TO OUTFLOW TO LATERAL CONVEYORS AND TO PREVENT EROSION AND SEDIMENTATION WHEN RUNOFF FLOWS INTO THESE CONVEYORS.
- SITE ACCESS ROADS SHALL BE GRADED OR OTHERWISE PROTECTED WITH SILT FENCES, DIVERSION CHANNELS, OR DIKES AND PILES TO PREVENT SEDIMENT FROM EXITING THE SITE VIA THE ACCESS ROADS. SITE-ACCESS ROADS/DIVERSAYS SHALL BE SURFACED WITH CRUSHED ROCK WHERE THEY ADJOIN EXISTING PAVED ROADWAYS.
- SOILS TRACKED FROM THE SITE BY MOTOR VEHICLES OR EQUIPMENT SHALL BE CLEANED DAILY FROM PAVED ROADWAY SURFACES, OR MORE FREQUENTLY IF REQUESTED BY CITY OR LOWER RUM RIVER WATERSHED MANAGEMENT ORGANIZATION, THROUGHOUT THE DURATION OF CONSTRUCTION.
- DUST CONTROL MEASURES SHALL BE PERFORMED PERIODICALLY WHEN CONDITIONS REQUIRE AND/OR AS DIRECTED BY THE CITY LOWER RUM RIVER WATERSHED MANAGEMENT ORGANIZATION.
- ALL EROSION CONTROL MEASURES SHALL BE USED AND MAINTAINED FOR THE DURATION OF SITE CONSTRUCTION. IF CONSTRUCTION OPERATIONS OR NATURAL EVENTS DAMAGE OR INTERFERE WITH THESE EROSION CONTROL MEASURES, THEY SHALL BE RESTORED TO SERVE THEIR INTENDED FUNCTION AT THE END OF EACH DAY OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED AS SOON AS POSSIBLE. ANY AREAS WHICH HAVE BEEN FINISHED GRADED OR AREAS THAT HAVE BEEN DISTURBED AND FOR WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT ACTIVELY UNDERWAY SHALL BE SEEDED AND MULCHED AS SET FORTH IN THE FOLLOWING PARAGRAPHS WITHIN 14 DAYS:
 - ALL SEEDED AREAS SHALL BE EITHER MULCHED AND DISC-ANCHORED OR COVERED BY FIBROUS BIANNETS TO PROTECT SEEDS AND LIMIT EROSION. TEMPORARY STRAW MULCH SHALL BE DISC-ANCHORED AND APPLIED AT A UNIFORM RATE OF NOT LESS THAN 20 TONS PER ACRE AND NOT LESS THAN 80% COVERAGE.
 - IF THE GRADED AREA IS ANTICIPATED TO BE RE-DISTURBED/DEVELOPED WITHIN SIX MONTHS, PROVIDE A TEMPORARY VEGETATIVE COVER CONSISTING OF MINNESOTA DEPARTMENT OF TRANSPORTATION (MNDOT) SEED MIXTURE 21-111 (OATS), OR 21-112 (WINTER WHEAT), AT A RATE OF 100 POUNDS PER ACRE.
 - IF GRADED AREA WILL NOT BE DEVELOPED FOR A PERIOD GREATER THAN SIX MONTHS, PROVIDE A SEMI-PERMANENT VEGETATIVE COVER OF SEED MIXTURE MNDOT 23-112 AT A RATE OF 40 POUNDS PER ACRE.
 - GRADING BONDS OR THE EQUIVALENT SECURITIES SHALL BE RETAINED UNTIL TURF HAS GERMINATED AND SURVIVED A 60-DAY GROWING PERIOD.
 - ALL AREAS THAT WILL NOT BE MOVED OR MAINTAINED AS PART OF THE ULTIMATE DESIGN WILL BE PERMANENTLY RESTORED USING SEED MIXTURE MNDOT 23-141 AT A RATE OF 50 POUNDS PER ACRE.
 - UNLESS SPECIFIED ELSEWHERE WITHIN THE CONSTRUCTION DOCUMENTS (I.E. ARCHITECTURAL SITE PLAN OR LANDSCAPE PLAN), PERMANENT TURF RESTORATION SHALL CONSIST OF MVI/DOT SEED MIXTURE 25-131 (COMMERCIAL TURF GRASS) AT A RATE OF 220 POUNDS PER ACRE.
 - WHenever OTHER EROSION AND SEDIMENT CONTROL PRACTICES ARE INADEQUATE, TEMPORARY ON-SITE SEDIMENT BASINS THAT CONFORM TO THE CRITERIA FOR ON-SITE DETENTION BASINS SHALL BE PROVIDED.
 - MULCH, HYDROMULCH, AND TRACERS MAY NOT BE USED FOR STABILIZATION IN SHALLOWS OR DRAINAGE DITCHES.
 - RUNOFF SHALL BE PREVENTED FROM ENTERING ALL STORM SEWER CATCH BASINS PROVIDING THEY ARE NOT NEEDED DURING CONSTRUCTION. WHERE STORM SEWER CATCH BASINS ARE NECESSARY FOR SITE DRAINAGE DURING CONSTRUCTION, A SILT FENCE OR SEDIMENT PROTECTION DEVICES AS DETAILED SHALL BE INSTALLED AND MAINTAINED AROUND ALL CATCH BASINS UNTIL THE TRIBUTARY AREA TO THE CATCH BASIN IS RESTORED.
- CRUDING ACTIVITIES PROPOSED TO BEGIN AFTER OCTOBER 15 WILL REQUIRE AN APPROVED PHASING SCHEDULE. THE AREA OF LAND THAT THE CITY WILL ALLOW TO BE DISTURBED AT THIS TIME OF YEAR WILL BE SEVERELY LIMITED. THE CITY WILL ALSO REQUIRE ADDITIONAL EROSION CONTROL DEVICES, I.E., TEMPORARY SEDIMENT BASINS, DORMANT SEEDING AND HIGH RATES OF APPLICATION OF BOTH SEED AND MULCH.
- TO MINIMIZE EROSION, ALL 3:1 SLOPES SHALL BE COVERED WITH A MVI/DOT 3885 CATEGORY 2 STRAW EROSION CONTROL BLANKETS OR STAIKED SOD.
- ACCUMULATION OF ALL SEDIMENT OCCURRING IN STORM SEWERS AND DITCHES SHALL BE REMOVED PRIOR TO, DURING AND AFTER COMPLETION OF GRADING ACTIVITIES.
- EROSION CONTROL ITEMS AND DEVICES SHALL BE REMOVED ONLY AFTER THE AREA HAS RECEIVED FINAL STABILIZATION OR AS DIRECTED BY THE CITY AND WATERSHED.

GRADING NOTES:

- THE CONTRACTOR SHALL VISIT THE SITE, REVIEW ALL CONSTRUCTION DOCUMENTS AND FIELD VERIFY THE EXISTING CONDITIONS PRIOR TO BIDDING. NO ADDITIONAL COMPENSATION WILL BE GIVEN FOR WORK THAT COULD HAVE BEEN IDENTIFIED BY A SITE VISIT OR CONSTRUCTION DOCUMENT REVIEW.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT OR OWNER DOES NOT GUARANTEE THAT ALL UTILITIES ARE MAPPED, OR IF MAPPED, ARE SHOWN CORRECTLY. CONTACT GOPHER ONE AT 651-454-0002 FOR FIELD LOCATING EXISTING UTILITIES. CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.
- PROTECT ALL EXISTING STRUCTURES AND UTILITIES WHICH ARE NOT SCHEDULED FOR REMOVAL.
- NOTIFY CITY BUILDING INSPECTOR BEFORE TRENCHING AND EXCAVATION WORK COMMENCES. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS PRIOR TO START OF CONSTRUCTION.
- ALL SPOT ELEVATIONS SHOWN AS 87.45, FOR EXAMPLE ARE TO BE UNDERSTOOD TO MEAN 87.45.
- ALL SPOT ELEVATIONS ALONG THE CURB-LINE INDICATE THE ELEVATION OF THE GUTTER, UNLESS NOTED OTHERWISE.
- NO LANDSCAPED SLOPES ARE TO EXCEED 3:1 (3 FEET HORIZONTAL TO 1 FOOT VERTICAL) UNLESS NOTED OTHERWISE.
- ACCESSIBLE PARKING AREAS SHALL NOT HAVE SLOPES IN ANY DIRECTION THAT EXCEED 2%.
- PROVIDE POSITIVE DRAINAGE FROM BUILDINGS AT ALL TIMES.
- UPON COMPLETION OF THE GRADING AND UTILITY WORK, THE CONTRACTOR SHALL CERTIFY THAT ALL GRADING AND UTILITY WORK WAS PERFORMED IN ACCORDANCE WITH THE APPROVED GRADING AND UTILITY PERMITS. AN AS-BUILT GRADING AND UTILITY PLAN SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND DISTRIBUTION.
- PRIOR TO ISSUANCE OF BUILDING PERMITS, ALL NECESSARY EROSION CONTROL DEVICES MUST BE IN PLACE AND FUNCTIONING. THE CITY OF RAMSEY AND LOWER RUM RIVER WATERSHED MANAGEMENT ORGANIZATION WILL INSPECT THE SITE TO DETERMINE ITS SUITABILITY FOR BUILDING ACTIVITIES. IF THE PUBLIC UTILITIES HAVE NOT BEEN INSTALLED AT THIS POINT, IT MAY BE NECESSARY TO WITHHOLD BUILDING PERMITS FOR VARIOUS LOTS TO ALLOW THE CONTRACTOR ADEQUATE SPACE TO PERFORM THIS WORK.
- ALL DEBRIS CREATED IN THE PROCESS OF CLEARING AND GRADING THE SITE SHALL BE REMOVED FROM THE SITE. THIS INCLUDES TREES AND SHRUBS. UNDER NO CIRCUMSTANCES SHALL THIS TYPE OF MATERIAL BE BURIED OR BURNED ON THE SITE.
- THE INTENT IS TO STRIP AND SALVAGED TOPSOIL FOR POTENTIAL RE-SPREADING ON THE SITE, IF APPROVED BY THE LANDSCAPE ARCHITECT AND/OR SPECIFICATIONS. SIX INCHES OF TOPSOIL - AFTER COMPACTION - SHALL BE RE-SPREAD PRIOR TO SEEDING AND MULCHING. EXCESS TOPSOIL MAY BE REMOVED FROM THE SITE PROVIDING THERE IS ADEQUATE TOPSOIL REMAINING TO PROPERLY FINISH THE SITE AS NOTED ABOVE. THE TOPSOIL STRIPPING, STOCKPILING AND RE-SPREADING SHALL BE DONE IN ACCORDANCE TO, AND NOTED ON, THE APPROVED GRADING PLAN AND SPECIFICATIONS. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE DRAWINGS AND SPECIFICATIONS FOR ANY SPECIAL TOPSOIL OR PLANTING REQUIREMENTS.
- ALL GRADING OPERATIONS SHALL BE CONDUCTED IN A MANNER TO MINIMIZE THE POTENTIAL FOR SITE EROSION. EROSION CONTROL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM RUNNING OFF ONTO ADJACENT PROPERTIES. ANY DAMAGE TO ADJACENT PROPERTIES MUST BE CORRECTED AND RESTORED AS SOON AS PERMISSION IS GRANTED FROM THE ADJACENT PROPERTY OWNERS.
- IF CONSTRUCTION OF THE SITE WORK PROCEEDS THROUGH THE WINTER MONTHS, ANY DISTURBED AREAS OUTSIDE THE BUILDING FOOTPRINTS ARE TO BE MINIMALLY STABILIZED PRIOR TO MARCH 1, AS FOLLOWS: AREAS PLANNED TO RECEIVE PAVEMENTS ARE TO HAVE CLASS 5 BASE INSTALLED; ALL OTHER DISTURBED AREAS ARE TO BE SEEDED, STRAW MULCH PLACED, AND DISC-ANCHORED.
- WINTER MULCHING:
 - SNOW MULCHING SHALL BE DEFINED AS MULCH MATERIAL SPREAD OVER THE TOP OF SNOW SO THAT THE MULCH MELTS THROUGH THE SNOW AND STICKS TO THE EXPOSED SOILS.
 - FROZEN GROUND MULCHING SHALL BE DEFINED AS MULCH MATERIAL SPREAD OVER FROZEN GROUND, UNLESS THE BUILDING FOOTPRINTS ARE TO BE DISC-ANCHORED INTO THE SOIL. MULCH MATERIALS THAT REQUIRE DISC-ANCHORING MUST BE ANCHORED WITH HYDRAULIC SOIL STABILIZERS OR MAY BE FROZEN TO THE SOIL BY APPLYING WATER, AT A RATE OF 2000 GALLONS PER ACRE, OVER THE MULCH AS A SUBSTITUTION FOR DISC-ANCHORING.
- THE CONTRACTOR SHALL LIMIT THE DISTURBED AREA AS MUCH AS POSSIBLE.

DEMOLITION AND REMOVAL NOTES:

- PRIOR TO START OF DEMOLITION, ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY OFF RAMSEY AND ANOKA COUNTIES. ALL SILT FENCES SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY CONSTRUCTION ACTIVITY. SILT FENCES SHALL BE INSTALLED ALONG THE CONTOUR.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT OR OWNER DOES NOT GUARANTEE THAT ALL UTILITIES ARE MAPPED, OR IF MAPPED, ARE SHOWN CORRECTLY. CONTACT GOPHER STATE ONE CALL AT 651-454-0002 FOR FIELD LOCATING EXISTING UTILITIES. CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR IS TO CLEARLY IDENTIFY IN THE FIELD THE WETLAND PERMITTEES THAT ARE NOT TO BE IMPACTED SO THAT NO ENCROACHMENT OCCURS AFTER THE PERMITS ARE CLEARLY MARKED IN THE FIELD. THE CONTRACTOR SHALL CONTACT LOWER RUM RIVER WATERSHED MANAGEMENT ORGANIZATION TO CONFIRM AND APPROVE NO ENCROACHMENT LIMITS.
- THERE MAY BE MISCELLANEOUS ITEMS TO BE REMOVED THAT ARE NOT IDENTIFIED ON THESE PLANS. THE CONTRACTOR SHALL VISIT THE SITE AND REVIEW THE DOCUMENTS TO OBTAIN A CLEAR UNDERSTANDING OF THE INTENDED SCOPE OF WORK.
- PRIOR TO START OF CONSTRUCTION, DISCONNECT ALL GAS AND ELECTRIC SERVICES. COORDINATE DISCONNECTION OF EACH UTILITY WITH THE UTILITY OWNER. REMOVE ALL GAS AND ELECTRIC LINES UNDER PROPOSED BUILDING FOOTPRINT.
- ANY UTILITIES NOT INDICATED FOR REMOVAL OR ABANDONMENT, ARE TO BE PROTECTED AT ALL TIMES.
- ALL EXISTING CURB AND GUTTER IS TO BE REMOVED WITHIN THE SCOPE OF THE PROJECT FROM THE SAN CUT LINES TO THE NEAREST JOINT.
- THE BACKGROUND INFORMATION WAS PREPARED BY JAMES R. HILL, INC. (952) 890-6044.
- ALL WORK IN THE PUBLIC RIGHT OF WAY IS TO BE COORDINATED WITH THE CITY OF RAMSEY. ROADWAY REPAIRS, BOULEVARD REPAIRS, AND TRAFFIC CONTROL ARE TO BE PER CITY OF RAMSEY STANDARDS AND SPECIFICATIONS.

GENERAL NOTES:

- CONCRETE CURB AND GUTTER REMOVAL, PAVEMENT REMOVAL, AND UTILITY REMOVAL LIMITS ARE TO BE COORDINATED WITH THE CITY OF RAMSEY AND UTILITY OWNER. REFER TO ALL CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL DEVELOP AND IMPLEMENT A TRAFFIC CONTROL PLAN WHILE WORKING WITHIN THE RIGHT-OF-WAY. THE TRAFFIC CONTROL PLAN SHALL BE APPROVED BY THE CITY ENGINEERING DEPARTMENT PRIOR TO STREET ENCROACHMENT.
- CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND REVIEW ALL CONSTRUCTION DOCUMENTS AND GEOTECHNICAL REPORTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR ITEMS THAT SHOULD HAVE BEEN ANTICIPATED BY PERFORMING THE ABOVE.
- THE ROCK CONSTRUCTION ENTRANCE INDICATED ON THE PLAN IS SHOWN IN AN APPROXIMATE LOCATION. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR IS TO COORDINATE WITH THE CITY OF RAMSEY FOR THE EXACT ROCK CONSTRUCTION ENTRANCE LOCATION.



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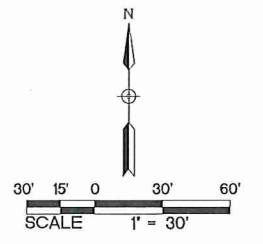
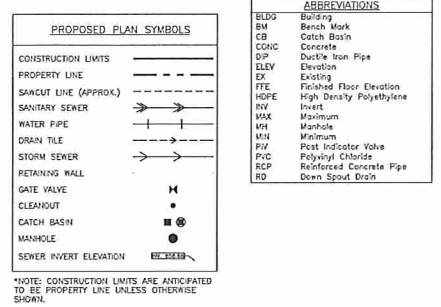
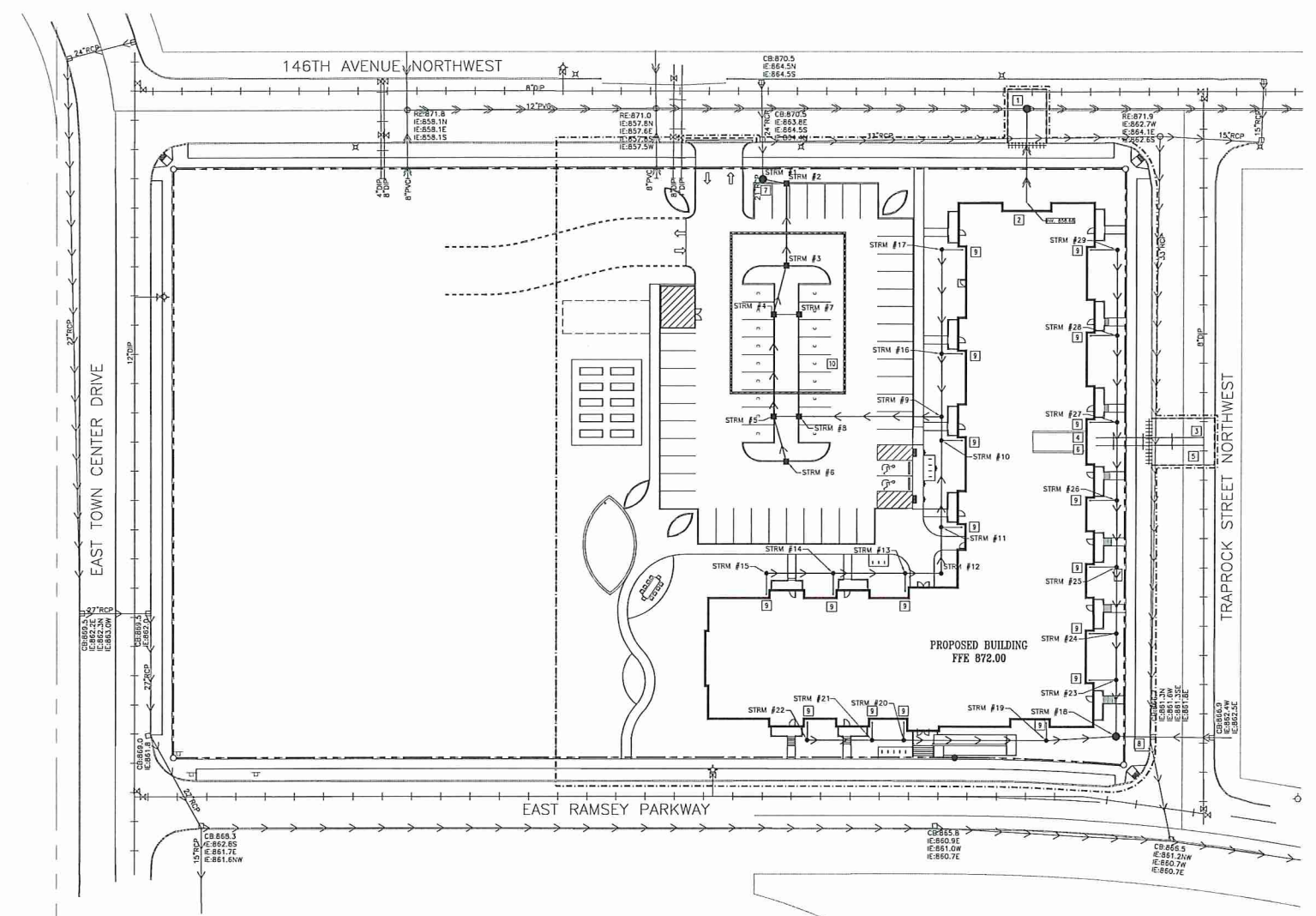
PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

DATE: 06/01/2017
PROJECT #: 17200
PHASE: DD
DRAWN BY: WH
CHECKED BY: ZAH

DEMOLITION, GRADING, DRAINAGE, AND EROSION CONTROL PLAN

C100



- KEYED NOTES**
- KEYED NOTES ARE DENOTED BY [] ON PLAN.
- CONSTRUCT MANHOLE OVER EXISTING 8-INCH PVC SANITARY SEWER, INV #42=87.62, INV #4=87.62, AND RE-871.8. FOLLOW ALL CITY OF RAMSEY STANDARDS AND SPECIFICATIONS. REFER TO DETAIL 5/C400.
 - INSTALL 48-FEET OF 6-INCH PVC PIPE AT 2.0% TO INVERT OF 858.68. STUB TO WITHIN 5-FEET OF PROPOSED BUILDING. COORDINATE EXACT LOCATION AND INVERT ELEVATION WITH MECHANICAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
 - WETAP EXISTING 8-INCH WATER MAIN FOR 6-INCH FIRE SERVICE. REFER TO DETAIL 14/C400. COORDINATE ALL WORK WITH CITY OF RAMSEY. CONTRACTOR SHALL SUBMIT TRAFFIC CONTROL PLANS TO CITY OF RAMSEY PRIOR TO CONSTRUCTION.
 - STUB 6-INCH FIRE PROTECTION LINE TO WITHIN 5-FEET OF PROPOSED BUILDING. FOLLOW ALL CITY OF RAMSEY STANDARDS AND SPECIFICATIONS.
 - WETAP EXISTING 8-INCH WATER MAIN FOR 4-INCH DOMESTIC WATER SERVICE. REFER TO DETAIL 14/C400. COORDINATE ALL WORK WITH CITY OF RAMSEY. CONTRACTOR SHALL SUBMIT TRAFFIC CONTROL PLANS TO CITY OF RAMSEY PRIOR TO CONSTRUCTION.
 - STUB 4-INCH DOMESTIC WATER SERVICE TO WITHIN 5-FEET OF PROPOSED BUILDING. FOLLOW ALL CITY OF RAMSEY STANDARDS AND SPECIFICATIONS.
 - REMOVE CAP AND CONSTRUCT MANHOLE OVER EXISTING 21-INCH RCP STORM SEWER STUB AT INV. 854.58. FOLLOW ALL CITY OF RAMSEY STANDARDS AND SPECIFICATIONS. REFER TO DETAIL 11/C400. CONTRACTOR TO POT-HOLE AND DETERMINE INVERT OF STORM SEWER STUB PRIOR TO CONSTRUCTION.
 - REMOVE PAVEMENT AND CONNECT TO EXISTING 18-INCH RCP STORM SEWER STUB AT INV. 851.77. FOLLOW ALL CITY OF RAMSEY STANDARDS AND SPECIFICATIONS. CONTRACTOR TO POT-HOLE AND DETERMINE INVERT OF STORM SEWER STUB PRIOR TO CONSTRUCTION.
 - LOCATION OF PROPOSED DOWNSPOUT DRAIN WITH SPLASH GUARD. REFER TO DETAIL 13/C400. REFER TO STORM SEWER TABLE FOR INVERT ELEVATIONS AND PIPE SIZES. COORDINATE EXACT LOCATION AND INVERT ELEVATION WITH MECHANICAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
 - STORM SEWER TREATMENT SYSTEM SHOWN FOR REFERENCE ONLY. CONTRACTOR TO PRICE SYSTEM FOR CONSTRUCTION. SYSTEM IS NOT TO BE CONSTRUCTED. REFER TO DETAIL 2/C200.

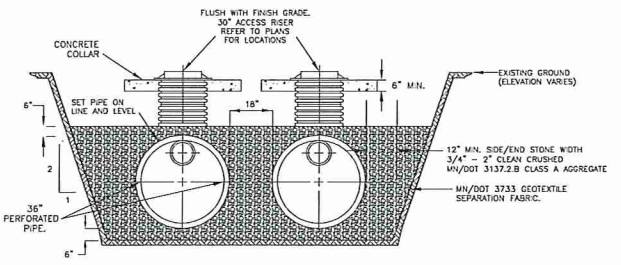
- UTILITY NOTES FOR WORK IN PUBLIC RIGHT-OF-WAY:**
- FOLLOW ALL CITY OF RAMSEY STANDARDS AND SPECIFICATIONS.
 - PRIOR TO CONSTRUCTION, CONTRACTORS ARE TO COORDINATE ALL WORK WITHIN RIGHT OF WAY AND OBTAIN ALL APPLICABLE PERMITS.

- UTILITY NOTES:**
- COORDINATE SERVICE CONNECTION LOCATIONS AT THE BUILDING WITH THE MECHANICAL CONTRACTOR PRIOR TO CONSTRUCTION. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR UNCOORDINATED WORK.
 - COORDINATE UTILITY INSTALLATION WITH STRUCTURAL PRIOR TO START OF CONSTRUCTION. UTILITIES SHALL NOT BE INSTALLED WITHIN THE ZONE OF INFLUENCE OF ANY STRUCTURAL ELEMENTS. NO ADDITIONAL COMPENSATION WILL BE PROVIDED FOR UNCOORDINATED WORK.
 - ALL SEWER SERVICE CONNECTIONS WITH LESS THAN 5 FEET OF COVER OVER THE TOP OF PIPE SHALL BE INSULATED. INSULATION SHALL BE INSTALLED FROM THE CONNECTION OF THE SERVICE AT THE BUILDING TO THE POINT WHICH THE SERVICE ATTAINS 5 FEET OF COVER. CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION FROM ARCHITECT OR ENGINEER PRIOR TO INSTALLATION OF INSULATION.
 - PROTECT ALL EXISTING STRUCTURES AND UTILITIES WHICH ARE NOT SCHEDULED TO BE REMOVED.
 - ALL SEWER AND WATER CROSSINGS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 1.5 FEET AND HORIZONTAL SEPARATION OF 10 FEET. FOLLOW ALL HEALTH DEPARTMENT AND CITY OF RAMSEY AND ANOKA COUNTY STANDARDS.
 - ALL WATER MAINS SHALL BE DUCTILE IRON PIPE, CLASS 52, UNLESS NOTED OTHERWISE.
 - ALL WATER MAINS SHALL HAVE A MINIMUM DEPTH OF COVER OF 7.5 FEET OVER TOP OF WATER MAIN.
 - PROVIDE THRUST BLOCKING ON ALL WATER MAIN PER CITY OF RAMSEY. PROVIDE MECHANICAL JOINT RESTRAINTS ON ALL BENDS, VALVES, TEES, PLUGS AND HYDRANT LEADS.
 - SANITARY SEWER PIPING SHALL BE 80R 26 PVC UNLESS NOTED OTHERWISE.
 - STORM SEWER PIPING SHALL BE SMOOTH INTERIOR AND ANULAR EXTERIOR CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE), UNLESS NOTED OTHERWISE. HDPE PIPE SHALL CONFORM TO ASTM F2306.
 - STORM SEWER PIPING SHALL BE SDR 26 POLY VINYL CHLORIDE (PVC), UNLESS NOTED OTHERWISE. ALL STORM SEWER PIPE THAT IS EXTENDED TO THE BUILDING FOR ROOF DRAIN SERVICES IS TO BE SCHEDULE 40 PVC. PVC PIPE AND FITTINGS SHALL CONFORM TO THE REQUIREMENTS OF ASTM D2688 (ASTM D2688 FOR SCHEDULE 40).
 - CONTRACTORS SHALL COORDINATE ALL WORK WITH GAS, ELECTRIC, TELEVISION AND TELEPHONE COMPANIES PRIOR TO START OF CONSTRUCTION.
 - ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10-FEET OF THE BUILDING OR WATER SERVICE LINE SHALL BE TESTED IN ACCORDANCE WITH MN PLUMBING CODE.
 - ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GAS TIGHT OR WATER TIGHT IN ACCORDANCE TO MN PLUMBING CODE. APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATER TIGHT CONNECTIONS TO MANHOLES, CATCH BASINS, AND OTHER STRUCTURES. GROUT RINGS ARE AN ACCEPTABLE ALTERNATIVE. JOINT MORPH JOINTS ARE FURNISHED ONLY FOR REPAIRS AND CONNECTIONS OF EXISTING LINES CONSTRUCTED WITH SUCH JOINTS.

1
C200
UTILITY PLAN
1" = 30'

STRUCTURE ID	STRUCTURE DIMENSION (INCHES)	NEENAH CASTING TYPE	RM ELEVATION	INVERT ELEVATION(S)	PIPE LENGTH, DIAMETER, SLOPE & NEXT UPSTREAM STRUCTURE
STRM #1	48" STMH	R-1733	871.20	E = 864.56	12 L.F. OF 18" HDPE @ 0.48%, STRM #2
STRM #2	48" CBWH	R-3067	869.43	W = 864.62 S = 864.62	42 L.F. OF 15" HDPE @ 0.50%, STRM #3
STRM #3	48" CBWH	R-3067	870.02	N = 864.83 S = 864.83	26 L.F. OF 15" HDPE @ 0.50%, STRM #4
STRM #4	48" CBWH	R-3067	870.03	N = 864.96 S = 864.96 E = 864.96	52 L.F. OF 15" HDPE @ 0.50%, STRM #5 13 L.F. OF 12" HDPE @ 12.08%, STRM #7
STRM #5	48" CBWH	R-3067	870.03	N = 865.22 S = 865.22 E = 865.22	24 L.F. OF 12" HDPE @ 0.49%, STRM #6 13 L.F. OF 15" HDPE @ 0.54%, STRM #8
STRM #6	24"x36" CB	R-3067	870.02	N = 866.53	-----
STRM #7	24"x36" CB	R-3067	870.03	W = 866.53	-----
STRM #8	48" CBWH	R-3067	870.03	W = 865.29 E = 865.29	73 L.F. OF 12" HDPE @ 2.01%, STRM #9
STRM #9	10" x 10" TEE	NA	NA	W = 866.75 S = 866.75 N = 867.15	12 L.F. OF 8" HDPE @ 0.48%, STRM #10 32 L.F. OF 10" HDPE @ 0.49%, STRM #16
STRM #10	10" x 6" WYE	NA	NA	N = 866.81 S = 866.81	45 L.F. OF 10" HDPE @ 0.49%, STRM #11
STRM #11	10" x 6" WYE	NA	NA	N = 867.03 S = 867.03	24 L.F. OF 10" HDPE @ 0.51%, STRM #12
STRM #12	10" x 6" WYE	NA	NA	N = 867.15 W = 867.15	18 L.F. OF 10" HDPE @ 0.49%, STRM #13
STRM #13	10" x 6" WYE	NA	NA	E = 867.24 W = 867.24	37 L.F. OF 10" HDPE @ 0.49%, STRM #14
STRM #14	10" x 6" WYE	NA	NA	E = 867.42 W = 867.42	34 L.F. OF 10" HDPE @ 0.50%, STRM #15
STRM #15	10" x 6" WYE	NA	NA	E = 867.59	-----
STRM #16	10" x 6" WYE	NA	NA	S = 867.31 N = 867.31	54 L.F. OF 10" HDPE @ 0.50%, STRM #17
STRM #17	10" x 6" WYE	NA	NA	S = 867.58	-----

STRUCTURE ID	STRUCTURE DIMENSION (INCHES)	NEENAH CASTING TYPE	RM ELEVATION	INVERT ELEVATION(S)	PIPE LENGTH, DIAMETER, SLOPE & NEXT UPSTREAM STRUCTURE
STRM #18	48" MH	R-1733	867.75	N = 861.82	29 L.F. OF 10" HDPE @ 2.00%, STRM #23
STRM #19	10" x 6" WYE	R-4300	863.71	E = 862.00 W = 862.00	73 L.F. OF 10" HDPE @ 0.51%,
STRM #20	10" x 6" WYE	NA	NA	W = 862.37	16 L.F. OF 10" HDPE @ 0.49%, STRM #21
STRM #21	10" x 6" WYE	NA	NA	E = 862.45 W = 862.45	33 L.F. OF 10" HDPE @ 0.51%, STRM #22
STRM #22	10" x 6" WYE	NA	NA	E = 862.62	-----
STRM #23	10" x 6" WYE	NA	NA	S = 862.40 N = 862.40	24 L.F. OF 10" HDPE @ 2.01%, STRM #24
STRM #24	10" x 6" WYE	NA	NA	S = 862.88 N = 862.88	34 L.F. OF 10" HDPE @ 1.99%, STRM #25
STRM #25	10" x 6" WYE	NA	NA	S = 863.58 N = 863.58	34 L.F. OF 10" HDPE @ 1.99%, STRM #26
STRM #26	10" x 6" WYE	NA	NA	S = 864.24 N = 864.24	40 L.F. OF 10" HDPE @ 1.99%, STRM #27
STRM #27	10" x 6" WYE	NA	NA	S = 865.04 N = 865.04	45 L.F. OF 10" HDPE @ 2.00%, STRM #28
STRM #28	10" x 6" WYE	NA	NA	S = 865.93 N = 865.93	44 L.F. OF 10" HDPE @ 2.00%, STRM #29
STRM #29	10" x 6" WYE	NA	NA	S = 866.81	-----



- UTLIZE CARE WHEN LOWERING UNIT INTO THE TRENCH. HANDLE USING NYLON SLINGS AND TWO PICK POINTS.
 - PLACE BACKFILL AROUND THE UNIT IN UNIFORM 6"-12" LIFTS, COMPACTED TO 95% SPD.
 - WHEN THE UNIT CONSISTS OF 2 SECTIONS, PLACE THE DOWNSTREAM SECTION FIRST. CONNECT AND MOVE THE REMAINING SECTIONS.
 - ALL CONNECTION POINTS ARE TO BE SOL PROOF. ACCESS RISERS AND CONCRETE COLLARS SHALL BE DESIGNED TO WITHSTAND 1525 LB LOADS.
- ROW LENGTH: 107 FEET
NUMBER OF ROWS: 14
NUMBER OF HEADERS: 2
FILTRATION VOLUME: 3,397 CUBIC FEET
TOTAL STORAGE VOLUME: 17,249 CUBIC FEET

2
C200
INFILTRATION TANK DETAIL
NOT TO SCALE



URBANWORKS



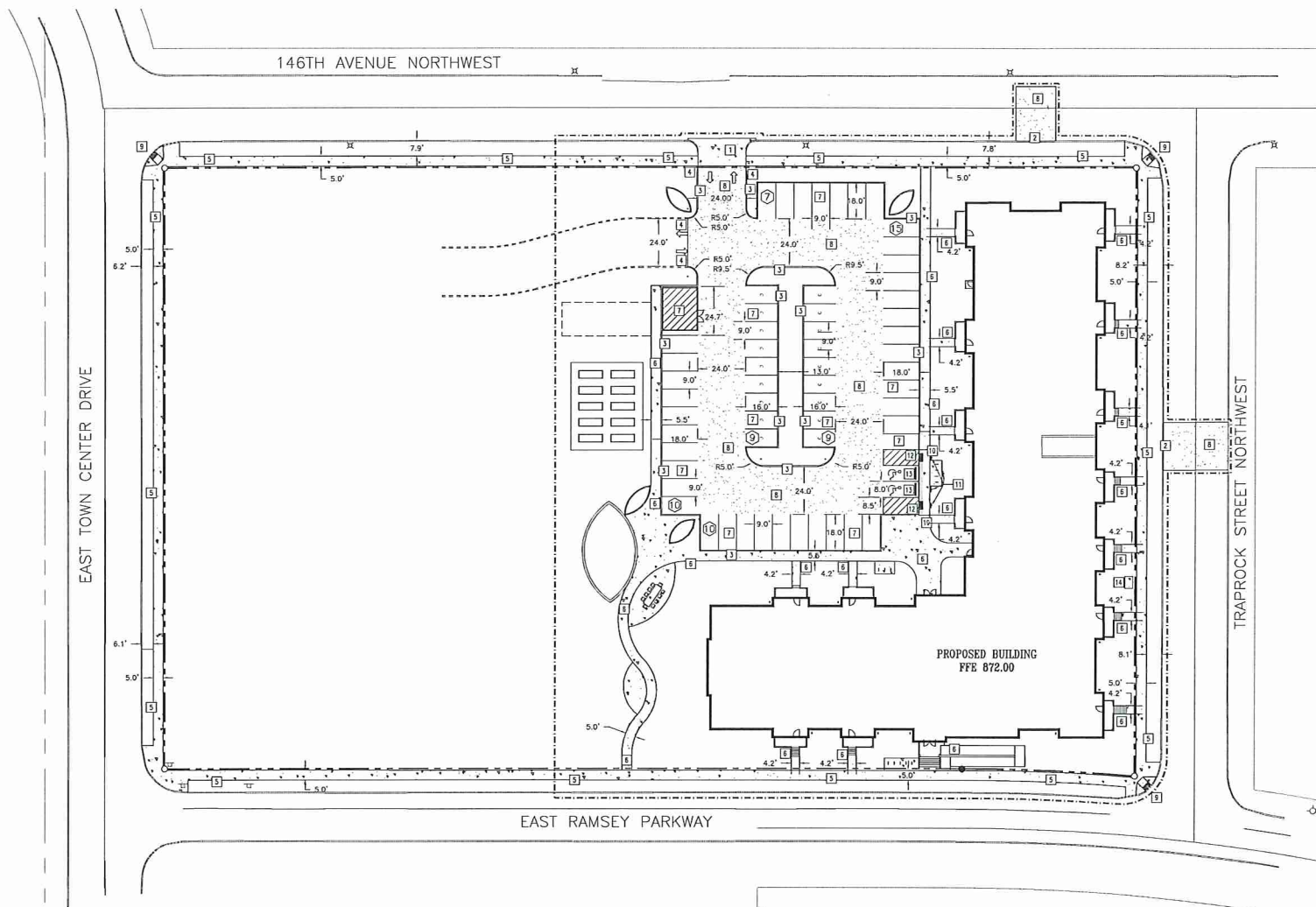
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REVISIONS

DATE: 06/01/2017
PHD/EST #: 17260
PHASE: DD
DRAWN BY: WH
CHECKED BY: KAM

UTILITY PLAN

C200

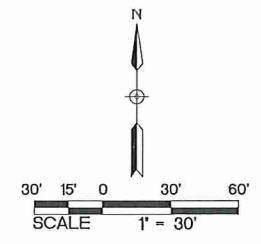


PROPOSED PLAN SYMBOLS

CONSTRUCTION LIMITS	---
PROPERTY LINE	---
SANICUT LINE (APPROX.)	---
HEAVY DUTY BITUMINOUS PAVEMENT	[Symbol]
CONCRETE PAVEMENT/SIDEWALK	[Symbol]
FLAT CURB AND GUTTER	[Symbol]
PEDESTRIAN CURB RAMP	[Symbol]
ACCESSIBLE PARKING SYMBOL	[Symbol]
SIGN	[Symbol]
PARKING STALL COUNT	[Symbol]

ABBREVIATIONS

B.L.D.G.	Building
B.M.	Bench Mark
C.S.A.C.	Concrete
ELEV.	Elevation
EX.	Existing
F.F.E.	Finished Floor Elevation
MAX.	Maximum
MIN.	Minimum
R.	Radius
TYP.	Typical
MN/DOT	Minnesota Manual on Uniform Traffic Control Devices



*NOTE: CONSTRUCTION LIMITS ARE ANTICIPATED TO BE PROPERTY LINE UNLESS OTHERWISE SHOWN.

KEYED NOTES

- KEYED NOTES ARE DENOTED BY [Symbol] ON PLAN.
- INSTALL CONCRETE DRIVE ENTRANCE. REFER TO DETAIL 3/C401.
 - INSTALL B618 CONCRETE CURB AND GUTTER. REFER TO DETAIL 1/C401.
 - INSTALL B612 CONCRETE CURB AND GUTTER. REFER TO DETAIL 1/C401.
 - INSTALL NOSEDOWN CURB SECTION. REFER TO DETAIL 5/C401.
 - INSTALL 6-INCH CONCRETE WALK. REFER TO DETAIL 2/C401.
 - INSTALL 4-INCH CONCRETE WALK. REFER TO DETAIL 9/C401. REFER TO LANDSCAPE PLANS FOR CONCRETE FINISH AND JOINTING.
 - INSTALL LIGHT-DUTY BITUMINOUS PAVEMENT. REFER TO DETAIL 7/C401.
 - INSTALL HEAVY-DUTY BITUMINOUS PAVEMENT FOR REPAIRS IN THE PUBLIC ROW. COORDINATE WITH THE CITY OF RAMSEY FOR WEARING COURSE INSTALLATION. REFER TO DETAIL 8/C401.
 - INSTALL PEDESTRIAN CURB RAMP. REFER TO DETAIL 12/C401. REFER TO MN/DOT STANDARD PLAN 5-297.250 AND MN/DOT STANDARD PLATE 7058.
 - INSTALL PARALLEL CURB RAMP. REFER TO DETAIL 11/C401. REFER TO MN/DOT STANDARD PLAN 5-297.250 AND MN/DOT STANDARD PLATE 7058.
 - INSTALL ACCESSIBLE PARKING SIGN. REFER TO DETAIL 13/C401.
 - INSTALL FLAT CURB SECTION. REFER TO DETAIL 6/C401.
 - INSTALL PRECAST WHEEL STOP. REFER TO DETAIL 10/C401.
 - INSTALL TRANSFORMER PAD. REFER TO MANUFACTURERS SPECIFICATIONS.

PAVING NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- ALL CURB AND GUTTER IS TO BE B612 CONCRETE CURB AND GUTTER UNLESS NOTED OTHERWISE.
- NO SIDEWALK IS TO HAVE MORE THAN A 2% CROSS SLOPE OR MORE THAN A 5% LONGITUDINAL SLOPE.
- REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING LAYOUT.
- FOLLOW ALL CITY OF RAMSEY RULES, REGULATIONS AND SPECIFICATIONS WHEN WORKING IN PUBLIC RIGHT OF WAY.
- ALL PARKING STALLS, EXCEPT ACCESSIBLE STALLS, ARE TO BE 9 FEET WIDE BY 18 FEET LONG.
- ACCESSIBLE AISLES SHALL BE STRIPED PER MN CODE (SECTION 902), WHERE "NO PARKING" SIGNAGE WOULD OBSTRUCT A CURB RAMP OR ACCESSIBLE ROUTE. "NO PARKING" SHALL BE PRINTED ON THE SURFACE OF THE ACCESS AISLE.
- THE CONTRACTOR IS TO CONTACT THE CITY OF RAMSEY FIRE MARSHAL FOR THE EXACT PLACEMENT OF FIRE LANES, YELLOW-PAINTED CURBING AND NO PARKING AREAS FOR FIRE PROTECTION PURPOSES.
- REFER TO STRUCTURAL PLANS FOR STOOP DETAILS. ALL WALKS ARE TO BE CENTERED ON THE DOORS.
- INSTALL APPROPRIATE EXPANSION MATERIAL WHERE CONCRETE IS ADJACENT TO BUILDING FACE.
- MATCH NEW PAVEMENT INTO EXISTING PAVEMENT. NO ABRUPT GRADE TRANSITIONS OR PONDING OF WATER WILL BE ALLOWED.
- MATCH NEW CONCRETE CURB AND GUTTER INTO EXISTING. NO ABRUPT GRADE TRANSITIONS OR PONDING OF WATER WILL BE ALLOWED.
- MATCH NEW SIDEWALK INTO EXISTING SIDEWALK. NO ABRUPT GRADE TRANSITIONS OR PONDING OF WATER WILL BE ALLOWED.
- MATCH EXISTING PAVEMENT, SIDEWALK, AND CURB AND GUTTER TO NEAREST JOINT. COORDINATE REMOVAL LIMITS WITH SITE DEMOLITION CONTRACTOR AND CONSTRUCTION MANAGER.
- INSTALL DRIVE ENTRANCE PER CITY OF RAMSEY STANDARDS AND SPECIFICATIONS. FOLLOW ALL CITY OF RAMSEY REQUIREMENTS FOR TRAFFIC CONTROL.
- REFER TO SPECIFICATIONS FOR GRADE VERIFICATION SURVEY REQUIREMENTS PRIOR TO PLACEMENT OF SUB-BASE MATERIAL, BASE MATERIAL, AND PAVEMENTS/SIDEWALKS.

1 PAVING AND GEOMETRIC PLAN
C300 1" = 30'



801 NORTH THIRD STREET, SUITE 150
MINNEAPOLIS, MN 55401

URBANWORKS

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801 NORTH THIRD STREET, SUITE 145, MINNEAPOLIS, MN 55401

CONSULTANT



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Minneapolis, MN 55420-2518
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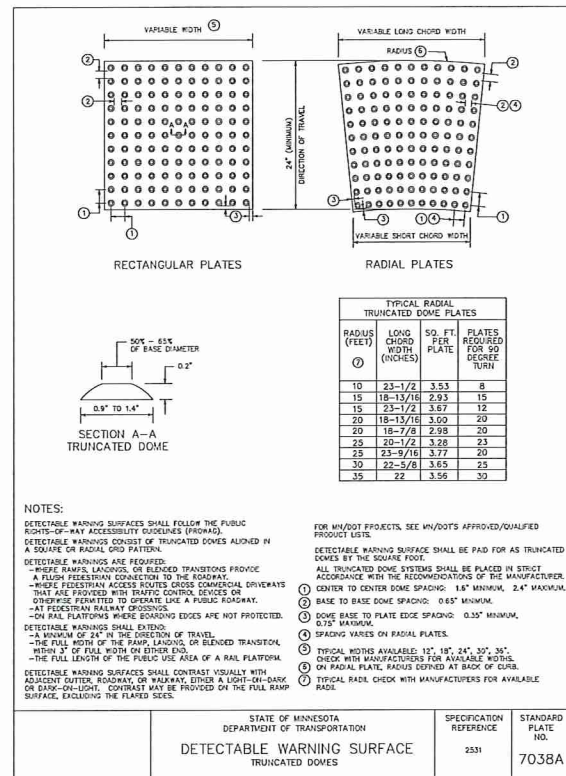
PRELIMINARY
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CONSTRUCTION

REVISIONS

DATE 06.01.2017
PROJECT # 17260
PHASE DD
DRAWN BY WH
CHECKED BY KAM

PAVING AND
GEOMETRIC
PLAN

C300



STATE OF MINNESOTA
DEPARTMENT OF TRANSPORTATION
DETECTABLE WARNING SURFACE
TRUNCATED DOME

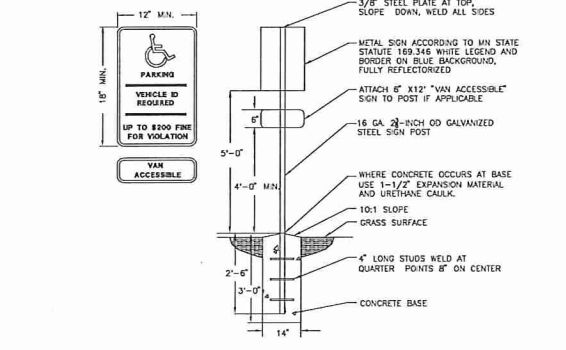
SPECIFICATION REFERENCE: 2531
STANDARD PLATE NO.: 7038A

NOTE:
FOR ADA COMPLIANT PEDESTRIAN RAMP, REFER TO MN/DOT STANDARD PLAN 5-297.250 PEDESTRIAN CURB RAMP DETAILS AT THE FOLLOWING WEB ADDRESS:
[HTTP://STANDARDPLATES.DOT.STATE.MN.US/STDP/PLATE.ASPX](http://STANDARDPLATES.DOT.STATE.MN.US/STDP/PLATE.ASPX)

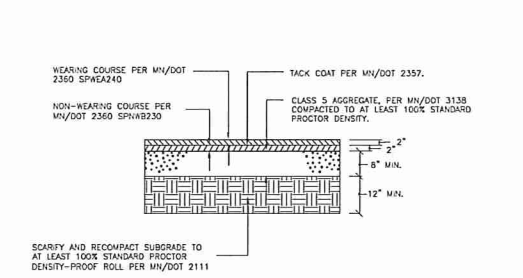
CONTRACTOR SHALL COORDINATE FINAL CURB RAMP LOCATION AND PEDESTRIAN CURB RAMP DETAIL WITH THE CITY AND OWNER PRIOR TO INSTALLATION.



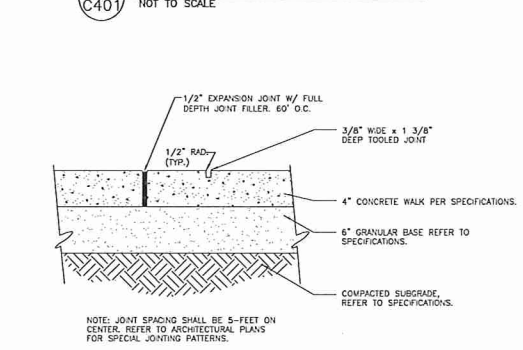
12 PEDESTRIAN CURB RAMP - DETECTABLE WARNING
NOT TO SCALE



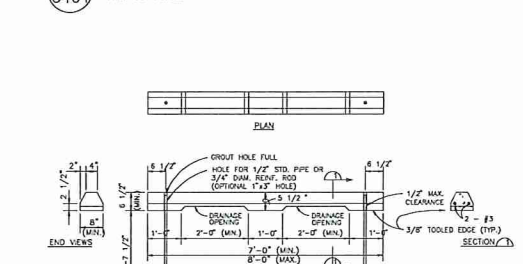
13 ACCESSIBLE SIGN AND POST: GRASS AREA PLACEMENT
NOT TO SCALE



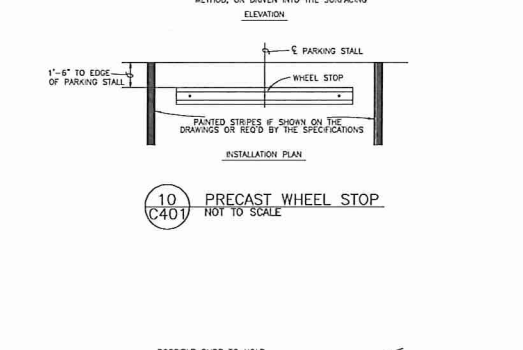
8 HEAVY-DUTY BITUMINOUS PAVEMENT
NOT TO SCALE



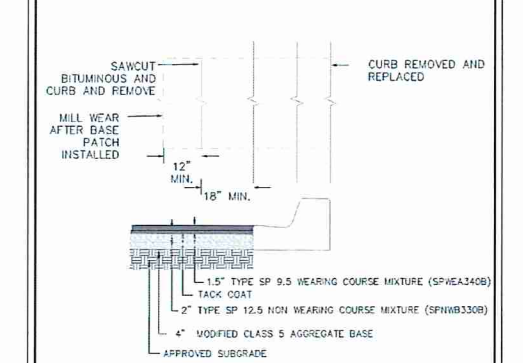
9 CONCRETE SIDEWALK CONSTRUCTION (TYP.)
NOT TO SCALE



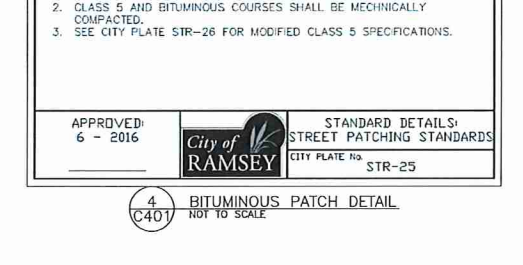
10 PRECAST WHEEL STOP
NOT TO SCALE



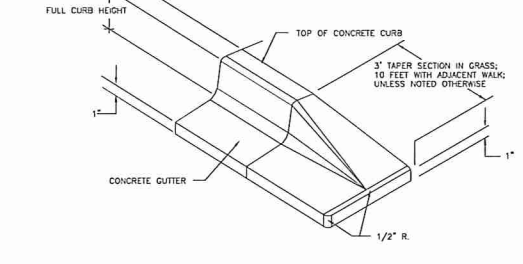
11 PARALLEL RAMP
NOT TO SCALE



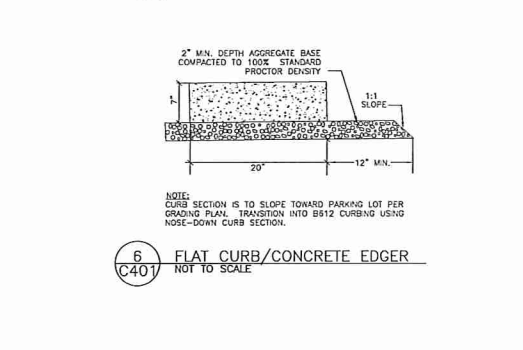
4 BITUMINOUS PATCH DETAIL
NOT TO SCALE



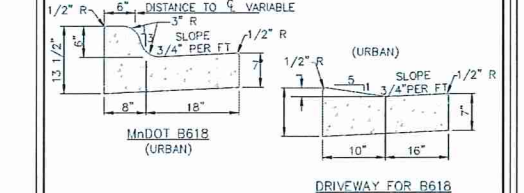
5 NOSE-DOWN CURB SECTION
NOT TO SCALE



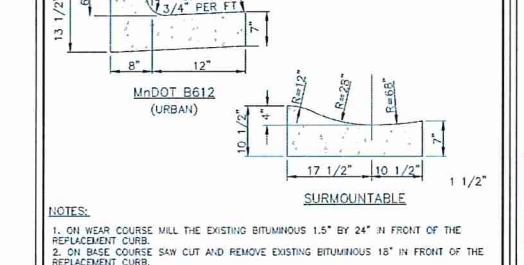
6 FLAT CURB/CONCRETE EDGER
NOT TO SCALE



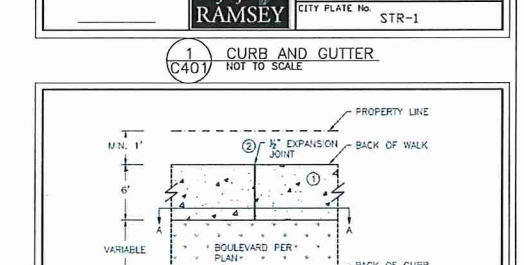
7 LIGHT-DUTY BITUMINOUS PAVEMENT
NOT TO SCALE



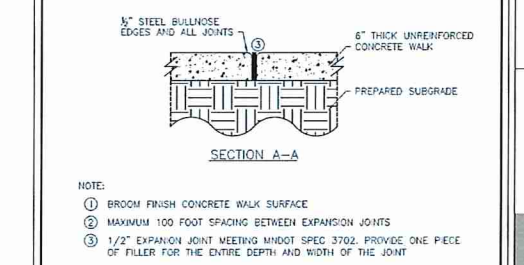
1 CURB AND GUTTER
NOT TO SCALE



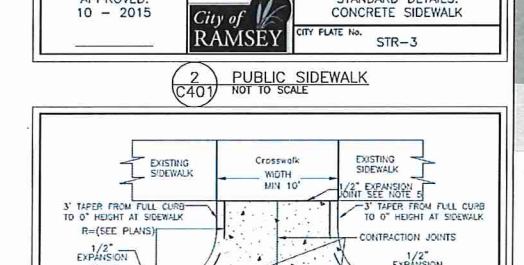
2 PUBLIC SIDEWALK
NOT TO SCALE



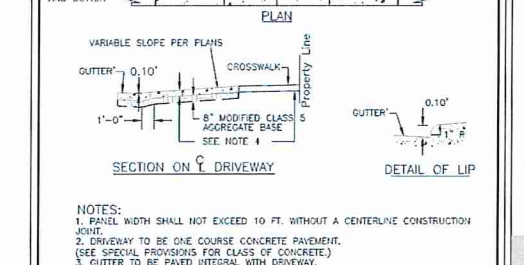
3 DRIVEWAY ENTRANCE
NOT TO SCALE



4 CONCRETE CURB AND GUTTER
NOT TO SCALE



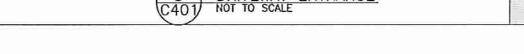
5 CONCRETE SIDEWALK
NOT TO SCALE



6 CONCRETE CURB AND GUTTER
NOT TO SCALE



7 CONCRETE CURB AND GUTTER
NOT TO SCALE



8 CONCRETE CURB AND GUTTER
NOT TO SCALE

GREENWAY TERRACE
City of Ramsey
100 NORTH THIRD STREET, SUITE 100
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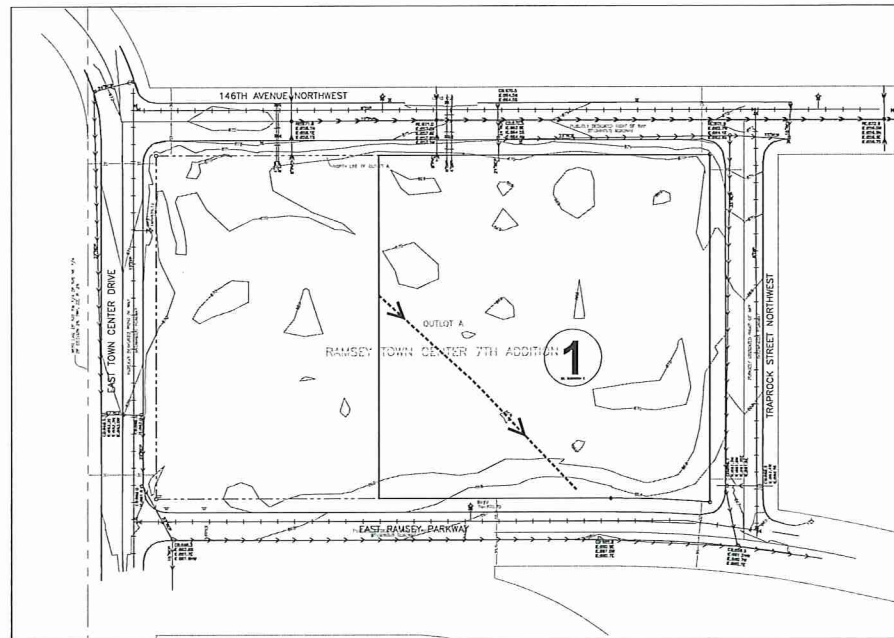
PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

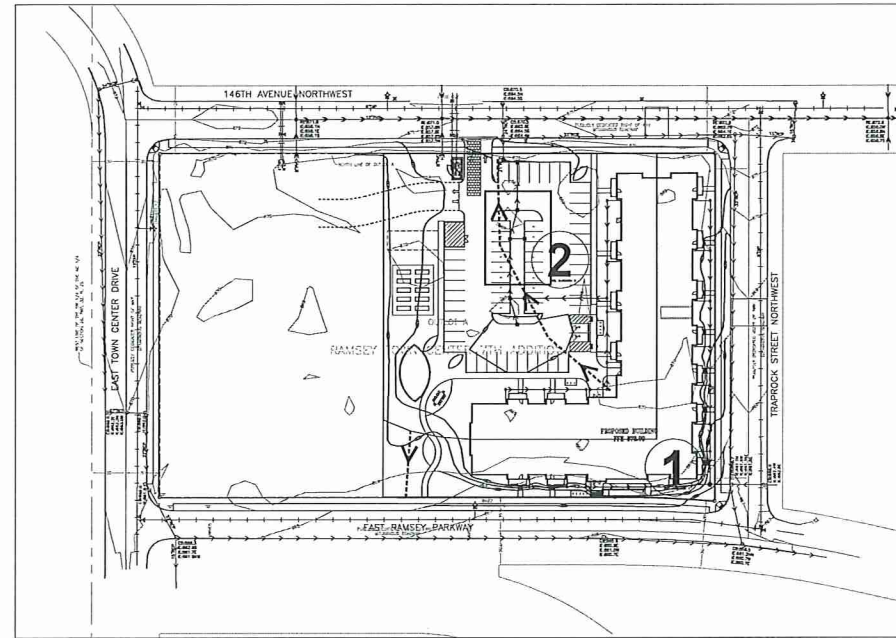
DATE PROJECT # 06.01.2017
PHASE 17200
DRAWN BY DD
CHECKED BY WH
KAM

CIVIL DETAIL SHEET

C401



1 EXISTING CONDITIONS
1" = 60'



2 PROPOSED CONDITIONS
1" = 60'

DRAINAGE AREA	EXISTING DRAINAGE AREAS			10-YR STORM (7.12') RUNOFF (CFS)			ROUTING
	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA (ACRES)	2-YR STORM (2.85')	10-YR STORM (7.12')	100-YR STORM (17.16')	
1	0.00	2.03	2.03	0.82	3.37	10.51	
TOTAL	0.00	2.03	2.03	0.82	3.37	10.51	

	2-YR STORM (2.85') RUNOFF (CFS)	10-YR STORM (7.12') RUNOFF (CFS)	100-YR STORM (17.16') RUNOFF (CFS)
EXISTING SITE	0.82	3.37	10.51
PROPOSED SITE	5.50	9.11	17.16
PROPOSED BMP	0.60	2.74	5.20

DRAINAGE AREA	PROPOSED DRAINAGE AREAS			10-YR STORM (7.12') RUNOFF (CFS)			ROUTING
	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA (ACRES)	2-YR STORM (2.85')	10-YR STORM (7.12')	100-YR STORM (17.16')	
1	0.26	0.38	0.65	1.63	2.82	5.37	
2	0.50	0.68	1.18	3.82	6.29	11.79	
TOTAL	0.76	1.26	2.02	5.50	9.11	17.16	
BMP				0.60	2.74	5.20	



VICINITY MAP
RAMSEY, MN

ITEM DESCRIPTION	ESTIMATED QUANTITY
DRAINAGE STRUCTURE INLET FILTER	15 EACH
ROCK CONSTRUCTION ENTRANCE	1 EACH
CONCRETE WASHOUT	1 EACH
PILE FENCE	1442 LF
80 LOG ROLL	44 LF

NOTE: QUANTITIES SHOWN ARE THE MINIMUM REQUIRED. ADDITIONAL QUANTITIES MAY BE NEEDED IF REQUIRED BY THE MPCA, WATERSHED DISTRICT, OR CITY. CONTRACTOR IS RESPONSIBLE FOR FINAL DETERMINATION OF QUANTITIES PRIOR TO CONSTRUCTION.

SPECIAL AND IMPAIRED WATERS
THERE ARE NO SPECIAL OR IMPAIRED WATERS WITHIN 1-MILE OF THE SITE.

NOTE:
THE STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT INCLUDES THE CIVIL, ENGINEERING PLANS AND THE PROJECT MANUAL. CONTRACTOR TO SUPPLY CONSTRUCTION PHASING, HAZARDOUS WASTE, ESTIMATED FREQUENCIES OF ALL EROSION PREVENTION AND SEDIMENT CONTROL BMP'S ANTICIPATED AT THE START OF THE PROJECT AND FOR THE LIFE OF THE PROJECT, AND LOCATION OF AREAS WHERE CONSTRUCTION WILL BE PHASED TO MINIMIZE EXPOSURE OF EXPOSED SOIL AREAS. CONTRACTOR IS TO REVIEW MINNESOTA POLLUTION CONTROL AGENCY'S INSTRUCTIONS FOR THE APPLICATION FOR MINNESOTA'S NPDES/SIS GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY PRIOR TO SUBMITTING APPLICATION.

INSTRUCTIONS
EXPOSED SOIL AREAS: ONCE EVERY 7 DAYS AND WITHIN 24 HOURS FOLLOWING A 1/2 INCH OVER 24 HOURS RAIN EVENT.
STABILIZED AREAS: ONCE EVERY 30 DAYS.
FROZEN GROUND: AS SOON AS RUNOFF OCCURS OR PRIOR TO RESUMING CONSTRUCTION.
RECORDS: A COPY OF THE GROUND, DRAINAGE, EROSION CONTROL PLAN AND WATERSHED DATA & SWPPP PLANS AS WELL AS THE INSPECTOR/MAINTENANCE LOGS ARE TO BE KEPT EITHER IN THE FIELD OFFICE, INSPECTOR'S VEHICLE OR CONTRACTOR'S VEHICLE.

FINAL STABILIZATION
STABILIZATION BY UNIFORM PERENNIAL VEGETATIVE COVER (10% BENEFIT)
DRAINAGE DITCHES STABILIZED.
ALL TEMPORARY SYNTHETIC AND STRUCTURAL BMP'S REMOVED.
CLEAN OUT SEDIMENT FROM CONVEYANCES AND SEDIMENTATION BASINS (RETURN TO DESIGN CAPACITY).

GRADING & SOILS
BASED ON SOIL BORINGS PROVIDED BY PSI. SOILS TYPICALLY FOUND ON THIS PROJECT ARE: SM SP.
REFER TO THE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.

SEDIMENT AND EROSION CONTROL MAINTENANCE
PERIMETER SEDIMENT CONTROL PRACTICES: WHEN SEDIMENT REACHES 1/3 THE HEIGHT OF THE BMP, THE SEDIMENT MUST BE REMOVED WITHIN 24 HOURS. IF PERIMETER SEDIMENT CONTROL HAS BEEN DAMAGED OR IS NOT FUNCTIONING PROPERLY, IT MUST BE REPAIRED AND/OR REPLACED WITHIN 24 HOURS. PERIMETER BMP MEASURES MAY INCLUDE Silt Fencing.
CONSTRUCTION SITE VEHICLE EXIT LOCATIONS: ALL TRACED SEDIMENT ON PAVED SURFACES MUST BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR MORE FREQUENTLY IF REQUIRED BY CITY OR WATERSHED.
CONSTRUCTION SITE DENATURING: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL DENATURING PERMITS. DISCHARGE FROM ALL DENATURING OPERATIONS SHALL BE DIRECTED TO ON-SITE DEPRESSIONS. NO DISCHARGE FROM DENATURING OPERATIONS SHALL BE DIRECTED OFF-SITE TOWARDS A WATER OF THE STATE.

PORTABLE TOILET NOTES:
1. PORTABLE TOILETS POSE AN ENVIRONMENTAL HAZARD WHICH PLACED IN THE VICINITY OF STORM DRAINAGE OR BODIES OF WATER. PORTABLE TOILET CLEANING ACTIVITIES CAN ALSO GENERATE POLLUTANTS THAT CAN DEGRADE WATER QUALITY.
2. PORTABLE TOILET PLACEMENT:
2.1. PLACE PORTABLE TOILETS ON FLAT STABLE GROUND WITH CLEAR ACCESS TO THE UNITS.
2.2. LOCATE TOILETS A MINIMUM OF 20 FEET FROM ANY WATER BODY AND 10 FEET FROM ANY CURB AND CUTTER, IF UNDESIRABLE, AN GARBAGE BIN OR SAND BAG BERM SHALL BE PLACED AROUND THE UNIT FOR SPILL AND LEAK CONTAINMENT.
2.3. AVOID PLACING TOILETS ON IMPERVIOUS SURFACES THAT WILL QUICKLY DRAIN TO STORM SEWERS.
2.4. LOCATE TOILETS SO THAT EXPOSURE TO STREETS AND MOVING EQUIPMENT IS MINIMIZED.
2.5. SECURE TOILETS TO THE GROUND WITH STRAPS OR CHAINS.
2.6. RISE WATER FROM CLEANING ACTIVITIES SHALL NOT BE DISPOSED ON SITE.
3. REGULARLY CHECK TOILETS FOR DAMAGE, LEAKS AND SPILLS AS PART OF THE WEEKLY STORMWATER SITE INSPECTION.
4. OWNER IDENTIFICATION AND CONTACT INFORMATION SHALL BE DISPLAYED IN A PROMINENT LOCATION ON EACH UNIT.

CONSTRUCTION ACTIVITY EROSION PREVENTION PRACTICES
CONTRACTOR SHALL STABILIZE ALL EXPOSED SOIL AREAS (INCLUDING STOCKPILES). STABILIZATION MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EXPOSURE WHILE ANY CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED ON A PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. STABILIZATION MUST BE COMPLETED NO LATER THAN 14 CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
FOR PUBLIC WATER THAT THE DNR HAS PROMULGATED "WORK IN WATER RESTRICTIONS" DURING SPECIFIED FISH SPawning TIME FRAMES, ALL EXPOSED SOIL AREAS THAT ARE WITHIN 200 FEET OF THE WATER'S EDGE, AND DRAIN TO THESE WATERS MUST COMPLETE THE STABILIZATION ACTIVITIES WITHIN 24 HOURS DURING THE RESTRICTION PERIOD.
PIPE OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24-HOURS AFTER CONNECTION TO A SURFACE WATER.
SEDIMENT CONTROL MEASURES MUST BE INSTALLED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UPGRADE/LAND DISTURBING ACTIVITIES BEGIN.

POLLUTION PREVENTION MANAGEMENT MEASURES
SOLID WASTE DISPOSED PROPERLY; COMPLY WITH MPCA REQUIREMENTS.
HAZARDOUS WASTE STORED (SECONDARY CONTAINMENT, RESTRICTED ACCESS) AND DISPOSED IN COMPLIANCE WITH MPCA REQUIREMENTS.
EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF MUST BE CONTAINED AND WASTE PROPERLY DISPOSED.
NO EXCISE EGGSHELLS ALLOWED ON-SITE.
CONCRETE WASHOUT ON-SITE: ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER THAT DOES NOT ALLOW LIQUIDS TO ENTER GROUND WATER IS CONSIDERED AN IMPERMEABLE LINER. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES. THE CONCRETE WASHOUT AREA INDICATED ON THE PLANS IS SHOWN IN AN APPROXIMATE LOCATION. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION IN ACCORDANCE WITH MPCA REQUIREMENTS.

HANDLING AND STORAGE OF HAZARDOUS MATERIALS
IF THE CONTRACTOR INTENDS TO USE POLYMERS, FLOCCULANTS, OR OTHER SEDIMENTATION TREATMENT CHEMICALS ON THE PROJECT SITE, THE CONTRACTOR MUST COMPLY WITH THE FOLLOWING TREATMENT REQUIREMENTS:
1. THE CONTRACTOR MUST USE CONVENTIONAL EROSION AND SEDIMENT CONTROLS PRIOR TO CHEMICAL ADDITION TO ENSURE EFFECTIVE TREATMENT. CHEMICALS MAY ONLY BE APPLIED WHERE TREATED STORMWATER IS DIRECTED TO A SEDIMENT CONTROL SYSTEM WHICH ALLOWS FOR FILTRATION OR SETTLEMENT OF THE FLOC PRIOR TO DISCHARGE.
2. CHEMICALS MUST BE SELECTED THAT ARE APPROPRIATELY SUITED TO THE TYPES OF SOILS LIKELY TO BE EXPOSED DURING CONSTRUCTION, AND TO THE EXPECTED TURBIDITY, PH AND FLOW RATE OF STORMWATER FLOWING INTO THE CHEMICAL TREATMENT SYSTEM OR AREA.
3. CHEMICALS MUST BE USED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES, AND WITH DORING SPECIFICATIONS AND SEDIMENT REMOVAL DESIGN SPECIFICATIONS PROVIDED BY THE MANUFACTURER OR PROVIDER/SUPPLIER OF THE APPLICABLE CHEMICALS.
ON-SITE FUEL TANKS REQUIRE SECONDARY CONTAINMENT AS REQUIRED BY THE PERMIT. PORTABLE FUEL TANKS SHALL HAVE THEIR SPILL KITS AVAILABLE DURING FUELING. SPILLS GREATER THAN 5 GALLONS MUST BE REPORTED TO THE PROPER AUTHORITIES.

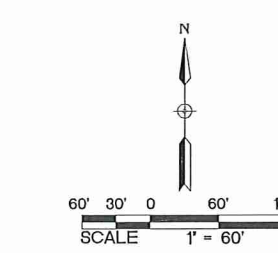
MECHANICAL AND NON STORMWATER DISCHARGES, EXISTING AND PROPOSED
1. WATER LINE FLUSHING
2. LANDSCAPE IRRIGATION
3. DISCHARGE FROM POTABLE WATER SOURCES
4. AIR CONDITIONING CONDENSATION
5. INDIVIDUAL RESIDENT CAR WASHING
6. RESIDENTIAL BUILDING WASH WATERS WITHOUT DETERGENTS.

AGENCY CONTACTS
CITY OF RAMSEY
ENGINEERING DEPARTMENT
PHONE: (763) 427-5543
MINNESOTA POLLUTION CONTROL AGENCY
PHONE: (651) 296-6300
LOWER RUM RIVER WATERSHED MANAGEMENT ORGANIZATION
PHONE: (763) 767-5130
AEOI MANAGEMENT
901 NORTH THIRD STREET, SUITE 150
PHONE: (612) 341-3148

NOTE:
THE CONTRACTOR MUST COMPLETE, SIGN, OBTAIN OWNERS SIGNATURE, PAY FEE, AND SEND IN THE NPDES PERMIT APPLICATION. CONTRACTOR SHALL PROVIDE A CERTIFIED EROSION CONTROL SUPERVISOR. SWPPP DOCUMENTATION, INCLUDING INSPECTION REPORTS SHALL BE RETAINED FOR A PERIOD OF THREE (3) YEARS. DESIGN CALCULATIONS ARE ON FILE AT BKM.
THE OWNER AND CONTRACTOR ARE RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP AND INSTALLATION, INSPECTION AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL BMP'S BEFORE, DURING, AND AFTER CONSTRUCTION UNTIL THE NOTICE OF TERMINATION HAS BEEN FILED.
STOCKPILES:
ON-SITE STOCKPILES OF SOIL SHALL HAVE PERIMETER SEDIMENT CONTROL. STOCKPILES SHALL BE STABILIZED WITH BLANKETS, TAPPS, OR HYDRO MULCH IF LEFT ON-SITE FOR MORE THAN 14 DAYS.
OTHER NOTES:
1. LONG TERM MAINTENANCE OF THE SITE WILL BE PERFORMED BY THE OWNER. AEOI INCLUDED MAINTENANCE FOR STORMWATER DEVICES SHALL BE:
1.1. SWEEP AND CLEAN TRASH FROM PARKING AREAS
2. THIS SWPPP WAS PREPARED BY PERSONNEL THAT ARE CERTIFIED IN THE DESIGN OF CONSTRUCTION SWPPPS. COPIES OF THE CERTIFICATIONS ARE ON FILE WITH BKM AND ARE AVAILABLE UPON REQUEST.
3. THIS SWPPP DOCUMENT MUST BE MAINTAINED AS NECESSARY DURING CONSTRUCTION IN ORDER TO KEEP IT CURRENT WITH THE POLLUTION CONTROL MEASURES UTILIZED AS THE SITE. THE SITE MAP SHOWING LOCATIONS OF ALL STORM WATER CONTROLS MUST BE POSTED ON THE SITE AND UPDATED TO REFLECT THE PROGRESS OF CONSTRUCTION.

SWPPP IMPLEMENTATION, INSTALLATION, INSPECTION, AND BMP MAINTENANCE BY FRATALLONE COMPANIES.
NAME: _____
CERTIFICATION #: _____
DATE: _____

BLDG	Building
BMP	Best Management Practice
BM	Bottom of Wall
CB	Catch Basin
CONC	Concrete
ELEV	Elevation
EN	Ending
FTE	Finished Floor Elevation
INV	Invert
MAX	Maximum
MH	Manhole
MIN	Minimum
MPCA	Minnesota Pollution Control Agency
NPDES	National Pollutant Discharge Elimination System
PVC	Polyvinyl Chloride
RCP	Reinforced Concrete Pipe
TH	Top of Wall
W.O.	Washout



URBANWORKS
601 NORTH THIRD STREET, SUITE 150
MINNEAPOLIS, MN 55401



PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

DATE	06/01/2017
PROJECT #	11200
PHASE	DD
DRAWN BY	WH
CHECKED BY	KAM

SWPPP

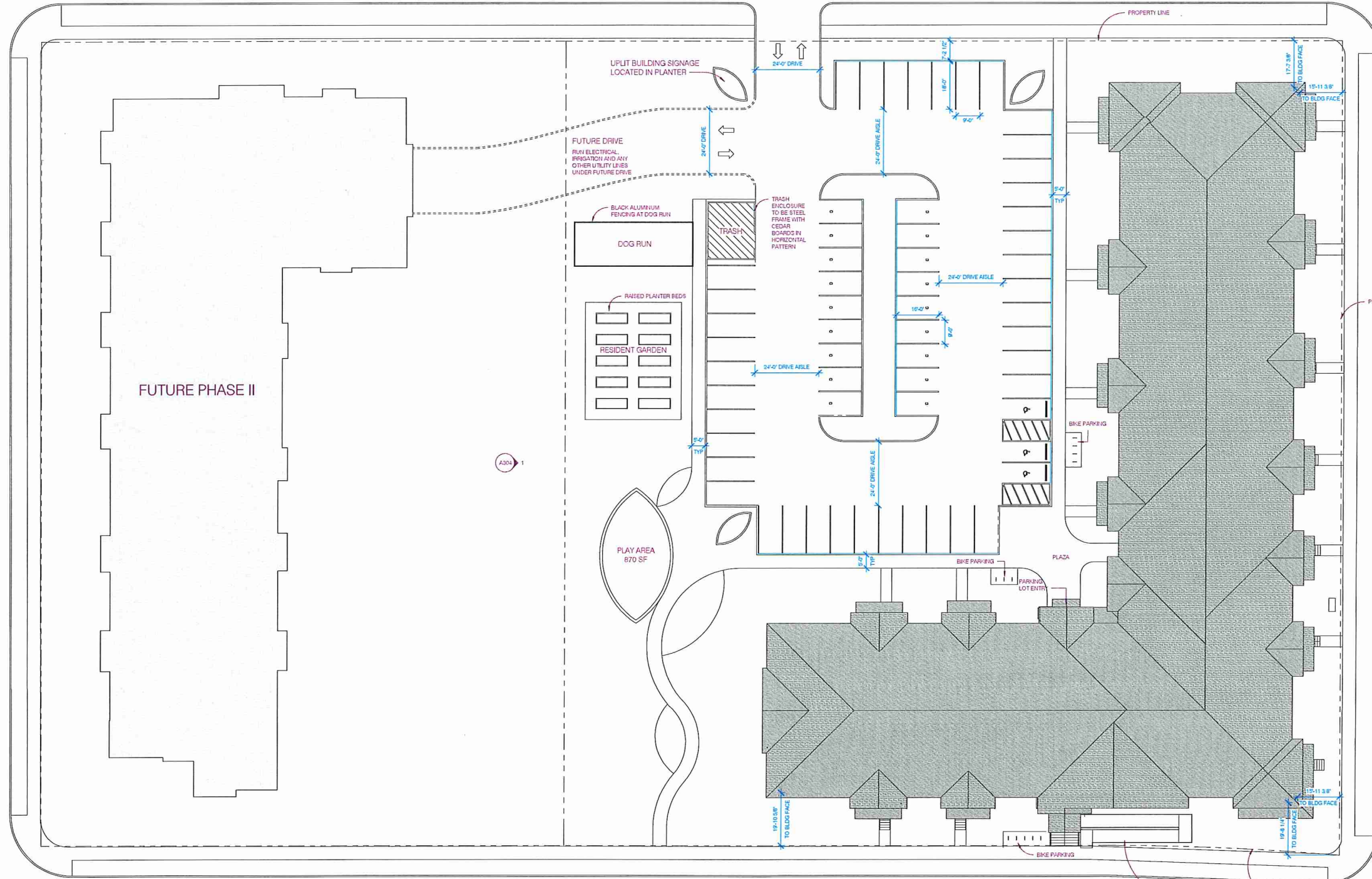
C500

146TH AVENUE NW

EAST TOWN CENTER DRIVE

TRAPROCK STREET NW

EAST RAMSEY PARKWAY



URBANWORKS

CONSULTANT

PRELIMINARY
NOT FOR
CONSTRUCTION

REVISIONS

DATE: 6.1.2017
PROJECT #: 16-011
PHASE: DD
DRAWN BY: MEB
CHECKED BY: DPH

ARCHITECTURAL
SITE PLAN

LA100

146TH AVE NW & TRAPROCK STREET NW
MINNETONKA, MN 55350

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50 NORTH THIRD STREET, SUITE 100, MINNEAPOLIS, MN 55401

TREES



Acer platanoides 'Emerald Lustre' Acer x freemanii 'Armstrong' Amelanchier x grandiflora 'Autumn Brilliance' Celtis occidentalis



Gleditsia triacanthos 'Skyline' Pinus strobus Quercus x 'Regal Prince' Ulmus x morton 'Accolade'

SHRUBS



Cornus hessei 'Garden Glow' Diervilla lonicera Hydrangea arborescens 'Annabelle' Physocarpus opulifolius 'Little Devil' Rhus aromatica 'Gro-Low'



Ribes alpinum Sorbaria sorbifolia 'Sem' Spiraea betulifolia 'Tor' Spiraea x bumalda 'Anthony Waterer'



Syringa pubescens 'Miss Kim' Weigela florida 'Minuet'

PERENNIALS / GARDEN PLANTERS



Calamagrostis x acutiflora 'Karl Foerster' Hemerocallis x 'Bodacious Returns' Asclepias tuberosa Echinacea purpurea Liatris spicata



Nepeta faassenii Panicum vergatum Perovskia atriplicifolia Rudbeckia hirta Salvia x 'Bee's Bliss'

EVERGREEN SHRUBS



Juniperus chinensis 'Mint Julep' Juniperus scopulorum 'Bailligh' Taxus x media 'Tauntoni' Thuja occidentalis 'Techny'

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	CONT.	NOTES	NATIVE STATUS	
	AP	2	ACER PLATANOIDES 'EMERALD LUSTRE' / NORWAY MAPLE	3" CAL.	B&B	SINGLE LEADER, WELL BRANCHED		
	AF	9	ACER X FREEMANII 'ARMSTRONG' / ARMSTRONG FREEMAN MAPLE	3" CAL.	B&B	SINGLE LEADER, WELL BRANCHED	NATIVE CULTIVAR	
	AG	3	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / 'AUTUMN BRILLIANCE' SERVICEBERRY	10' HEIGHT	B&B	CLUMP FORM	NATIVE CULTIVAR	
	CO	3	CELTIS OCCIDENTALIS / COMMON HACKBERRY	3" CAL.	B&B	SINGLE LEADER, WELL BRANCHED	NATIVE CULTIVAR	
	GT	2	GLEDITSIA TRIACANTHOS 'SKYLINE' / SKYLINE HONEY LOCUST	3" CAL.	B&B	SINGLE LEADER, WELL BRANCHED	NATIVE CULTIVAR	
	PS	3	PINUS STROBUS / WHITE PINE	8' HEIGHT	B&B	NATURAL, FULL FORM	NATIVE	
	QR	9	QUERCUS X 'REGAL PRINCE' / REGAL PRINCE PAK	2.5" CAL.	B&B	SINGLE LEADER, WELL BRANCHED	NATIVE CULTIVAR	
	UM	18	ULMUS X MORTON / ACCOLADE	2.5" CAL.	B&B	SINGLE LEADER, WELL BRANCHED	NATIVE	
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	CONT.	NOTES	NATIVE STATUS	
	CH	36	CORNUS HESSEI 'GARDEN GLOW' / DOGWOOD	#5		PLAN SPACING PER PLAN	NATIVE CULTIVAR	
	DL	45	DIERVILLA LONICERA / DWARF BUSH HONEYBUCKLE	#5		PLAN SPACING PER PLAN	NATIVE	
	HA	10	HYDRANGAEA ARBORESCENS 'ANNABELLE' / ANABELLE SMOOTH HYDRANGAEA	#5		PLAN SPACING PER PLAN	NON-NATIVE	
	PL	11	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' TM / DWARF HIBEBARK	#5		PLAN SPACING PER PLAN	NATIVE CULTIVAR	
	RG	6	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	#5		SPACE 5'-0" O.C.	NATIVE CULTIVAR	
	RA	38	RIBES ALPINUM / ALPINE CURRANT	#5		PLAN SPACING PER PLAN	NON-NATIVE	
	SS	38	SORBARIA SORBIFOLIA 'SEM' / SEM FALSE SPIRAEA	#1		PLAN SPACING PER PLAN	NON-NATIVE	
	ST	24	SPIRAEA BETULIFOLIA 'TOR' / BIRCHLEAF SPIRAEA	#2		PLAN SPACING PER PLAN	NATIVE CULTIVAR	
	SA	21	SPIRAEA X BUMALDA 'ANTHONY WATERER' / ANTHONY WATERER SPIRAEA	#5		PLAN SPACING PER PLAN	NATIVE	
	SK	27	SYRINGA PUBESCENS 'MISS KIM' / MISS KIM KOREAN LILAC	#5		PLAN SPACING PER PLAN	NON-NATIVE	
	WM	87	WEIGELA FLORIDA 'MINUET' / MINUET WEIGELA	#5		PLAN SPACING PER PLAN	NON-NATIVE	
ANNUALS/PERENNIALS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	CONT.	NOTES	NATIVE STATUS	
	CA	92	CALAMAGROSIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	#1		PLAN SPACING PER PLAN	NON-NATIVE	
	HB	57	HEMEROCALLIS X 'BODACIOUS RETURNS' / DAYLILY	#1		PLAN SPACING PER PLAN	NATIVE	
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	CONT.	NOTES	NATIVE STATUS	
	JM	54	JUNIPERUS CHINENSIS 'MINT JULEP' / MINT JULEP JUNPER	#5		PLAN SPACING PER PLAN	NON-NATIVE	
	JB	8	JUNPERUS SCOPULORUM 'BAILIGH' / SKY HIGH JUNPER	#10		PLAN SPACING PER PLAN	NON-NATIVE	
	TT	21	TAXUS X MEDIA 'TAUNTONI' / TAUNTON YEW	#5		PLAN SPACING PER PLAN	NATIVE CULTIVAR	
	TO	10	THUJA OCCIDENTALIS 'TECHNY' / TECHNY ARBORVITAE	6' HGT		PLAN SPACING PER PLAN	NATIVE CULTIVAR	
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	CONT.	NOTES	NATIVE STATUS	SPACING
	Sod	26,499 SF	SOD	NONE		SOD		

GARDEN PLANTER SCHEDULE

MIXED PERENNIALS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	CONT.	NOTES
	AS	379 SF	ASCLEPIAS TUBEROSA / BUTTERFLY MILKWEED	21 SF	#1 @ 18" oc	
	EC	21 SF	ECHINACEA PURPUREA / PURPLE CONEFLOWER	21 SF	#1 @ 18" oc	
	LI	21 SF	LIATRIS SPICATA / SPIKE GAYFEATHER	21 SF	#1 @ 18" oc	
	NE	21 SF	NEPETA FAASSEII / CATMINT	21 SF	#1 @ 18" oc	
	PA	21 SF	PANICUM VIRGATUM / SWITCH GRASS	21 SF	#1 @ 18" oc	
	PE	21 SF	PEROVSKIA ATRIPLICIFOLIA / RUSSIAN SAGE	21 SF	#1 @ 18" oc	
	RU	21 SF	RUDBECKIA HIRTA / BLACK-EYED SUSAN	21 SF	#1 @ 18" oc	
	SA	21 SF	SALVIA X 'BEE'S BLISS' / SAGE	21 SF	#1 @ 18" oc	

REFER TO DETAIL FOR PLANTING PATTERN



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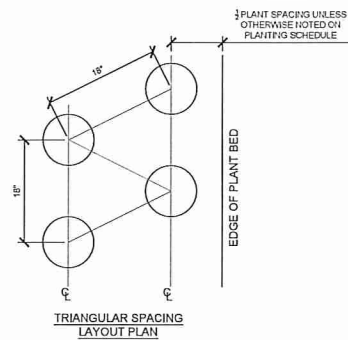


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PROJECT # 16-0011
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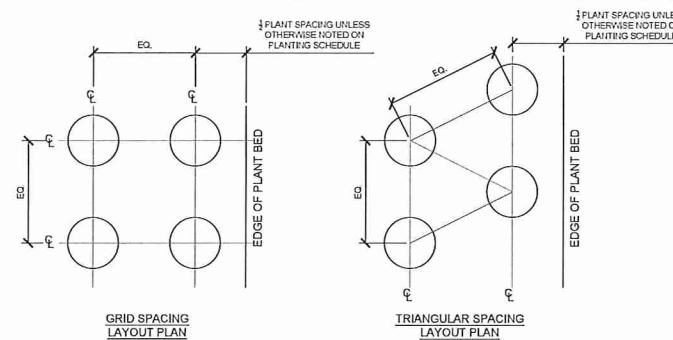
LANDSCAPE PLANT
SCHEDULE



NOTE:
 1. ALTERNATE EACH PLANTING AS SHOWN IN THE GARDEN PLANTER SCHEDULE
 2. RANDOMIZE PLANTING ORDER THROUGHOUT PLANTERS

7 GARDEN PLANTER SPACING
 3/4" = 1'-0"

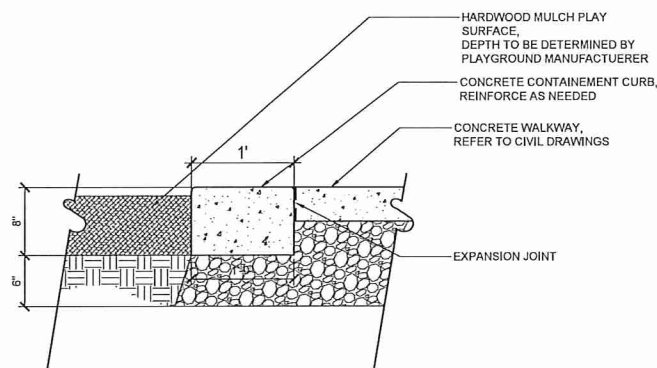
P-17 113-03



NOTE:
 1. REFER TO PLANTING SCHEDULE FOR PLANT SPACING.
 2. SEE SPECIFICATION SECTION 32-9300 "EXTERIOR PLANTS" FOR MORE INFORMATION.

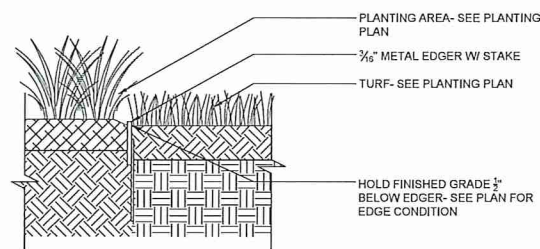
3 PLANT SPACING
 3/4" = 1'-0"

P-17 113-08



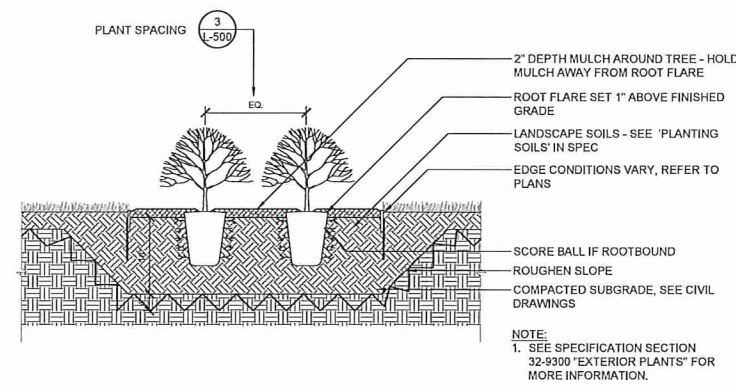
10 CONTAINMENT CURB AT PLAYGROUND
 1/2" = 1'-0"

P-17 113-24



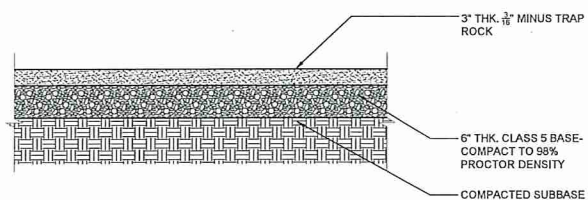
6 STEEL EDGING
 1/2" = 1'-0"

P-17 113-09



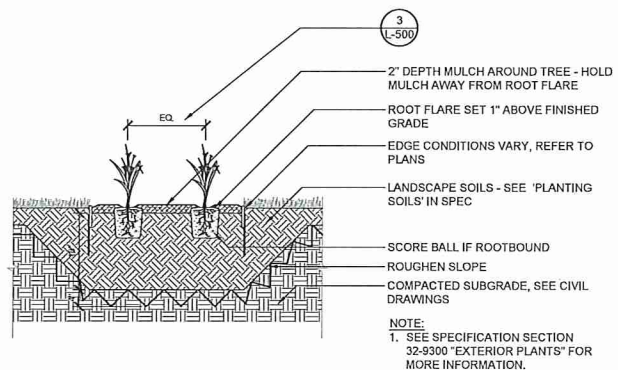
2 SHRUB PLANTING
 3/4" = 1'-0"

P-17 113-20



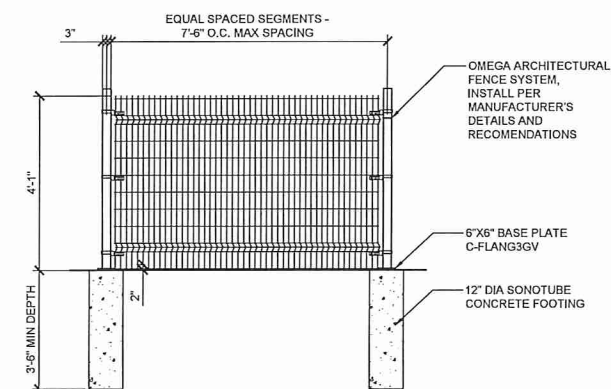
9 CRUSHED STONE PAVING
 1" = 1'-0"

P-17 113-19



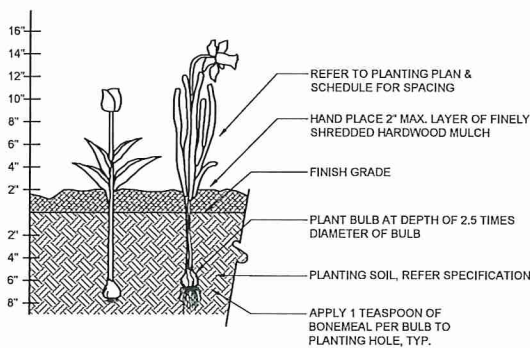
5 PERENNIAL PLANTING
 3/4" = 1'-0"

P-17 113-05



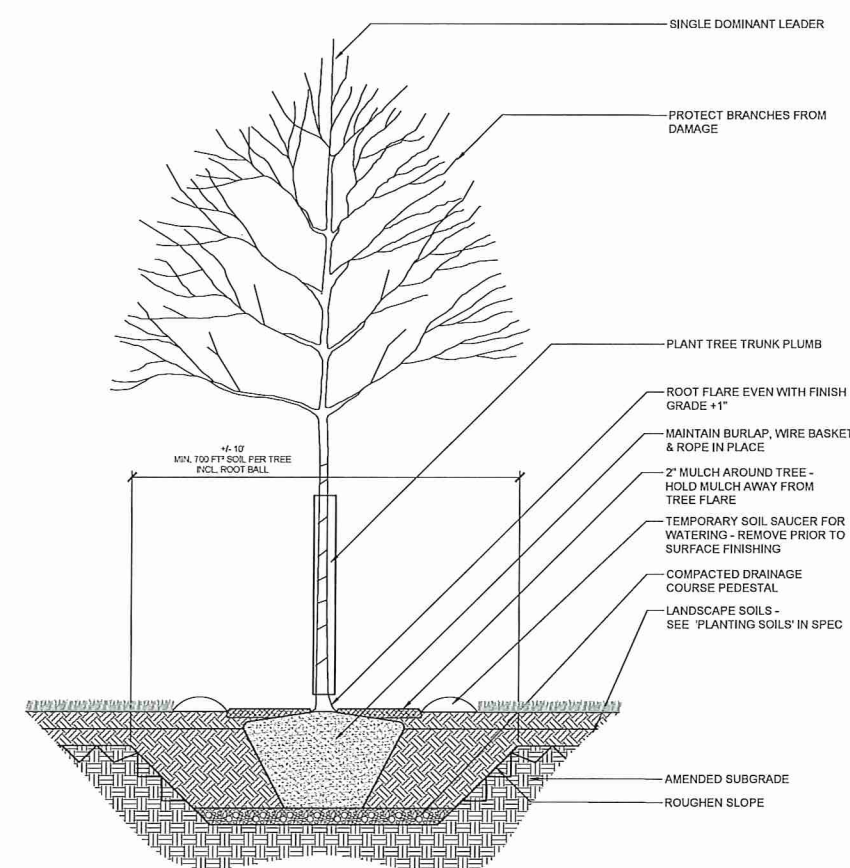
8 EXTERIOR FENCE - 4' HEIGHT
 1/2" = 1'-0"

P-17 113-23



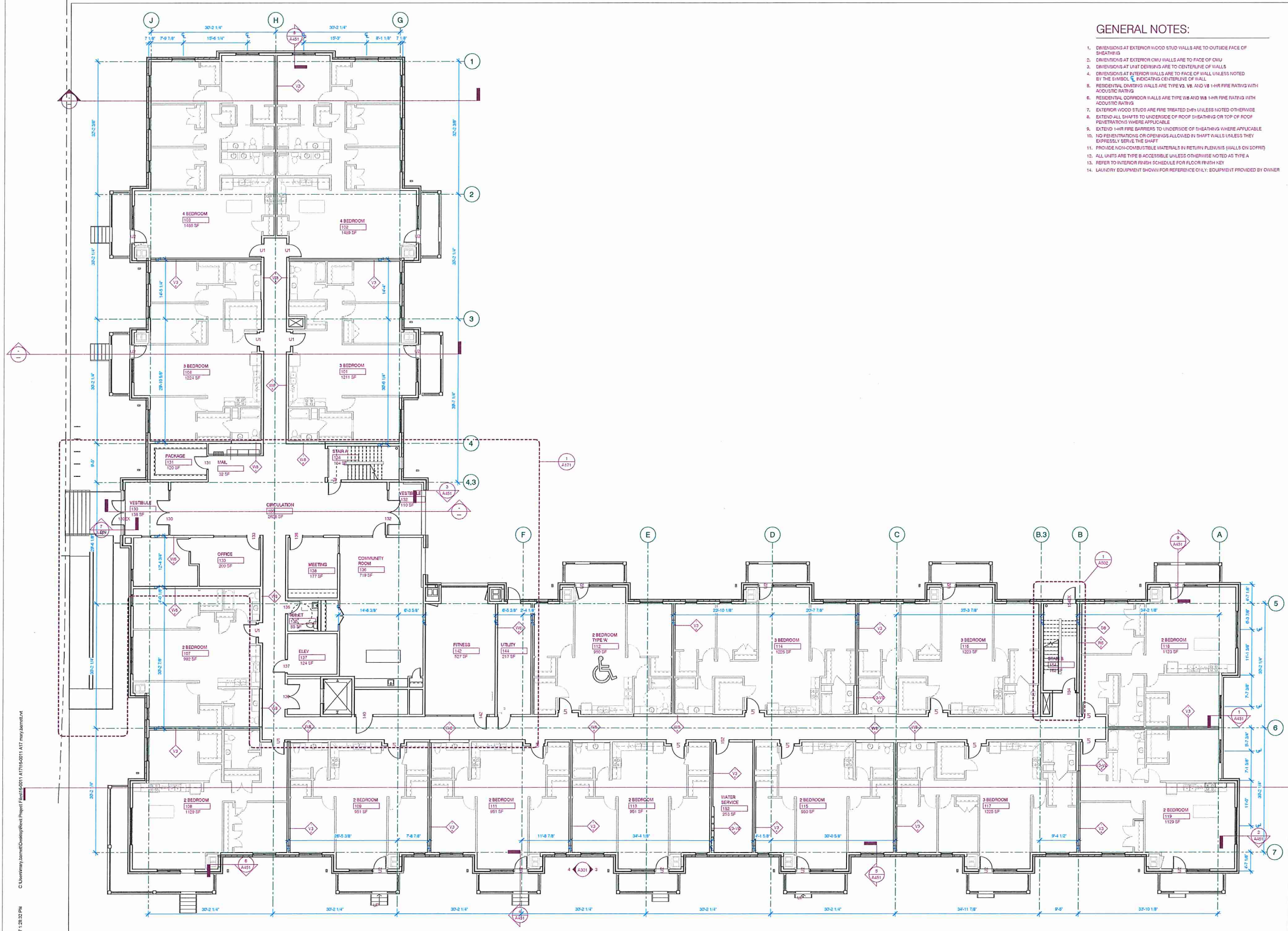
4 BULB PLANTING DETAIL
 1" = 1'-0"

P-17 113-05




1 TREE PLANTING IN SOFTSCAPE - FLAT
 1/2" = 1'-0"

P-17 113-04



GENERAL NOTES:

1. DIMENSIONS AT EXTERIOR WOOD STUD WALLS ARE TO OUTSIDE FACE OF SHEATHING
2. DIMENSIONS AT EXTERIOR CMU WALLS ARE TO FACE OF CMU
3. DIMENSIONS AT UNIT DIMENSIONS ARE TO CENTERLINE OF WALLS
4. DIMENSIONS AT INTERIOR WALLS ARE TO FACE OF WALL UNLESS NOTED BY THE SYMBOL  INDICATING CENTERLINE OF WALL
5. RESIDENTIAL DIVIDING WALLS ARE TYPE V2, V6 AND V8 1-HR FIRE RATING WITH ACOUSTIC RATING
6. RESIDENTIAL CORRIDOR WALLS ARE TYPE W6 AND W8 1-HR FIRE RATING WITH ACOUSTIC RATING
7. EXTERIOR WOOD STUDS ARE FIRE TREATED 2x6 UNLESS NOTED OTHERWISE
8. EXTEND ALL SHAFTS TO UNDERSIDE OF ROOF SHEATHING OR TOP OF ROOF PENETRATIONS WHERE APPLICABLE
9. EXTEND 1-HR FIRE BARRIERS TO UNDERSIDE OF SHEATHING WHERE APPLICABLE
10. NO PENETRATIONS OR OPENINGS ALLOWED IN SHAFT WALLS UNLESS THEY EXPRESSLY SERVE THE SHAFT
11. PROVIDE NON-COMBUSTIBLE MATERIALS IN RETURN FLENUMS (WALLS ON SOFFIT)
12. ALL UNITS ARE TYPE B ACCESSIBLE UNLESS OTHERWISE NOTED AS TYPE A
13. REFER TO INTERIOR FINISH SCHEDULE FOR FLOOR FINISH KEY
14. LAUNDRY EQUIPMENT SHOWN FOR REFERENCE ONLY; EQUIPMENT PROVIDED BY OWNER

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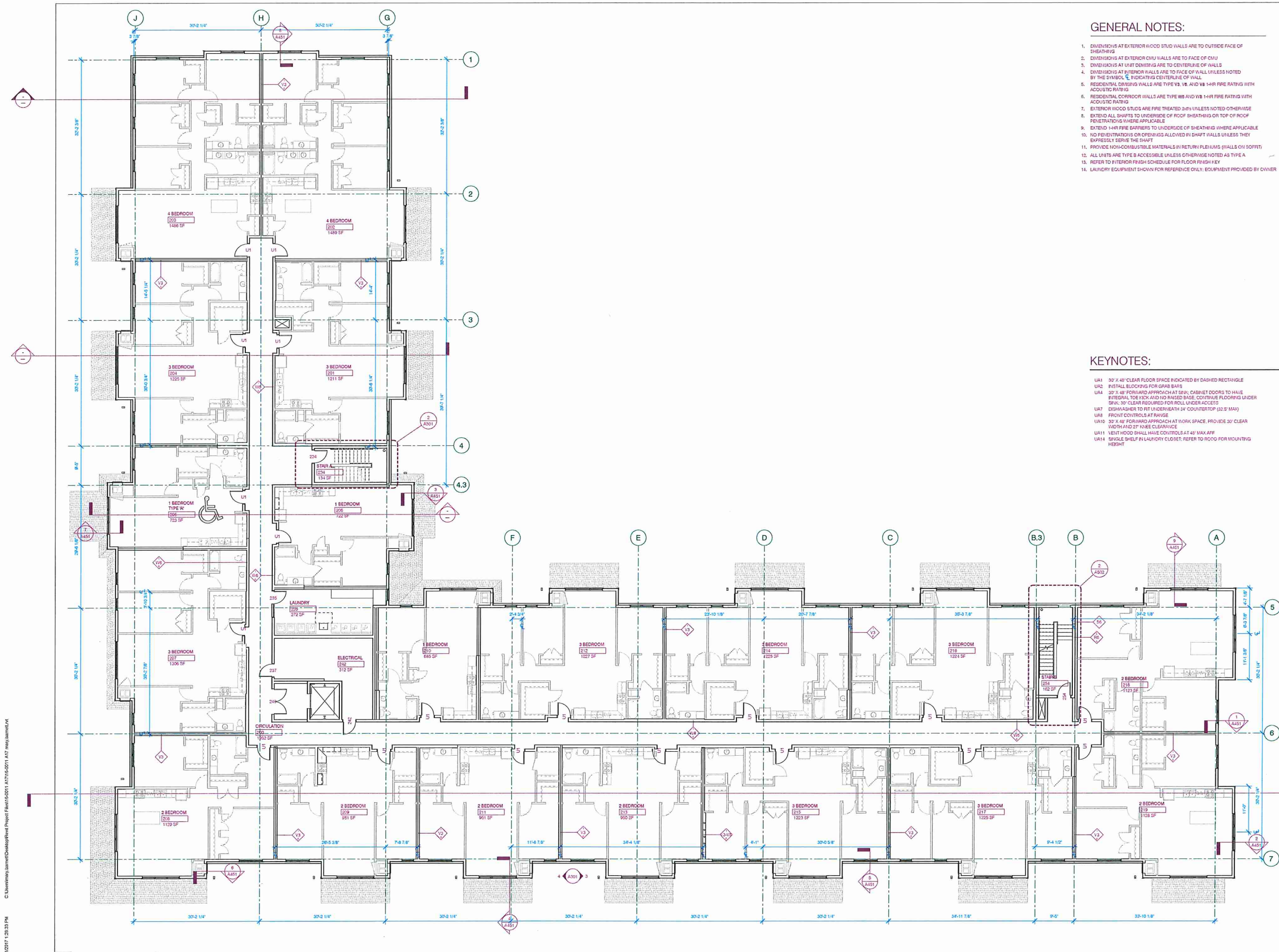
**LEVEL 1 PLAN -
OVERALL**

A101

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1 A101 - LEVEL 1 PLAN
1/8" = 1'-0"

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GENERAL NOTES:

1. DIMENSIONS AT EXTERIOR WOOD STUD WALLS ARE TO OUTSIDE FACE OF SHEATHING
2. DIMENSIONS AT EXTERIOR CMU WALLS ARE TO FACE OF CMU
3. DIMENSIONS AT UNIT DIMSING ARE TO CENTERLINE OF WALLS
4. DIMENSIONS AT INTERIOR WALLS ARE TO FACE OF WALL UNLESS NOTED BY THE SYMBOL \square INDICATING CENTERLINE OF WALL
5. RESIDENTIAL DRIVING WALLS ARE TYPE V3, V6, AND V8 1-HR FIRE RATING WITH ACOUSTIC RATING
6. RESIDENTIAL CORRIDOR WALLS ARE TYPE W6 AND W8 1-HR FIRE RATING WITH ACOUSTIC RATING
7. EXTERIOR WOOD STUDS ARE FIRE TREATED 24% UNLESS NOTED OTHERWISE
8. EXTEND ALL SHAFTS TO UNDERSIDE OF ROOF SHEATHING OR TOP OF ROOF PENETRATIONS WHERE APPLICABLE
9. EXTENDED 1-HR FIRE BARRIERS TO UNDERSIDE OF SHEATHING WHERE APPLICABLE
10. NO PENETRATIONS OR OPENINGS ALLOWED IN SHAFT WALLS UNLESS THEY EXPRESSLY SERVE THE SHAFT
11. PROVIDE NON-COMBUSTIBLE MATERIALS IN RETURN FLEUJIMS (WALLS ON SOFFIT)
12. ALL UNITS ARE TYPE B ACCESSIBLE UNLESS OTHERWISE NOTED AS TYPE A
13. REFER TO INTERIOR FINISH SCHEDULE FOR FLOOR FINISH KEY
14. LAUNDRY EQUIPMENT SHOWN FOR REFERENCE ONLY; EQUIPMENT PROVIDED BY OWNER

KEYNOTES:

- UA1 30" X 48" CLEAR FLOOR SPACE INDICATED BY DASHED RECTANGLE
- UA2 INSTALL BLOCKING FOR GRAB BARS
- UA4 20" X 48" FORWARD APPROACH AT SINK; CABINET DOORS TO HAVE INTEGRAL TOE KICK AND 1/2" RAISED BASE; COVERS FLOORING UNDER SINK; 30" CLEAR REQUIRED FOR ROLL UNDER ACCESS
- UA7 DISHWASHER TO FIT UNDERNEATH 24" COUNTERTOP (32.5" MAX)
- UA8 FRONT CONTROLS AT RANGE
- UA10 30" X 48" FORWARD APPROACH AT WORK SPACE; PROVIDE 30" CLEAR WIDTH AND 27" KNEE CLEARANCE
- UA11 VENT HOOD SHALL HAVE CONTROLS AT 48" MAX AFF
- UA14 SHIELD SHELF IN LAUNDRY CLOSET; REFER TO ROOF FOR MOUNTING HEIGHT

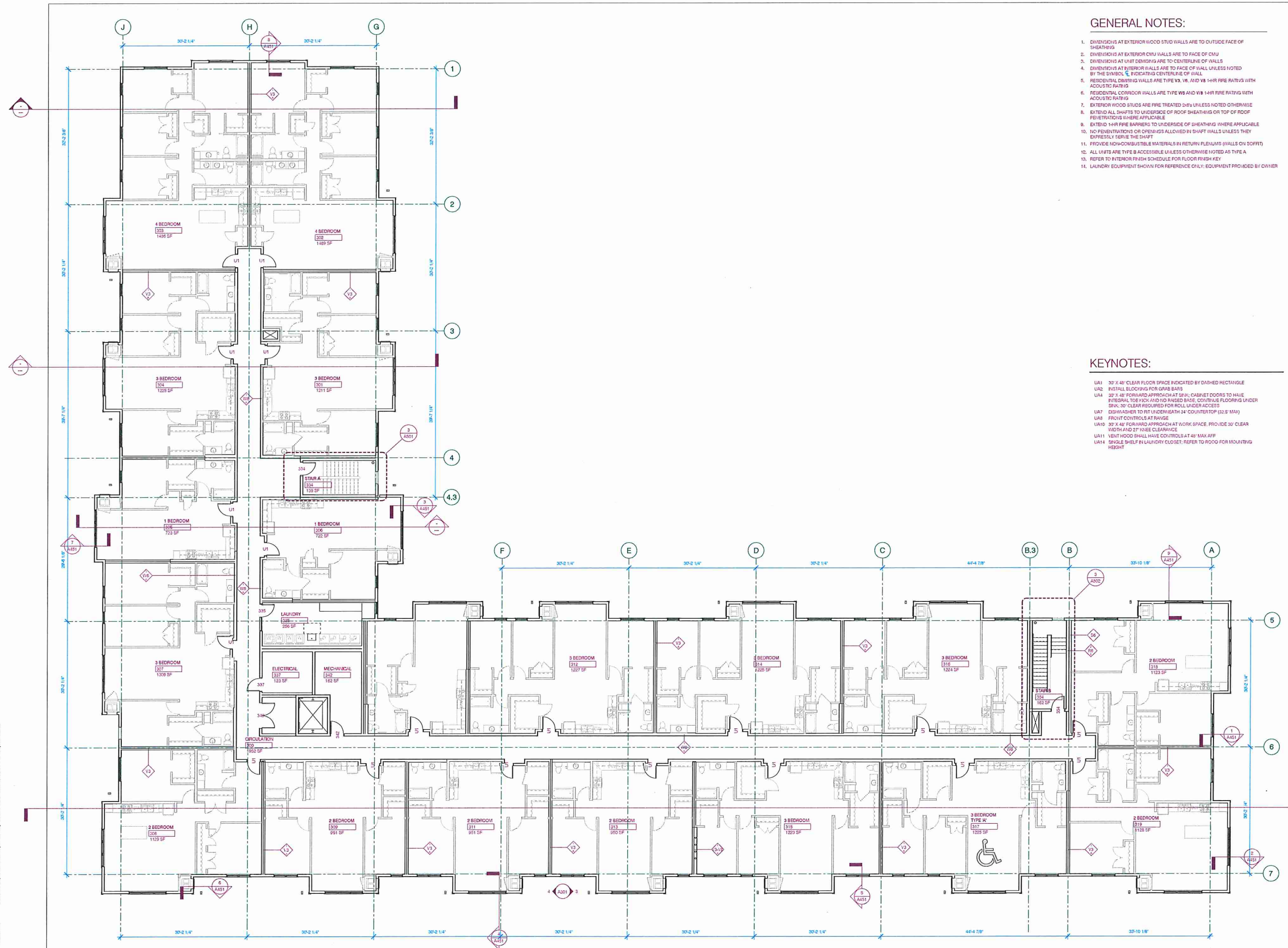
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LEVEL 2 PLAN - OVERALL
A102



GENERAL NOTES:

1. DIMENSIONS AT EXTERIOR WOOD STUD WALLS ARE TO OUTSIDE FACE OF SHEATHING
2. DIMENSIONS AT EXTERIOR CMU WALLS ARE TO FACE OF CMU
3. DIMENSIONS AT UNIT DIMENSIONS ARE TO CENTERLINE OF WALLS
4. DIMENSIONS AT INTERIOR WALLS ARE TO FACE OF WALL UNLESS NOTED BY THE SYMBOL INDICATING CENTERLINE OF WALL
5. RESIDENTIAL DRIVING WALLS ARE TYPE V3, V6, AND V8 1-HR FIRE RATING WITH ACCESSIBILITY RATING
6. RESIDENTIAL CORRIDOR WALLS ARE TYPE W5 AND W8 1-HR FIRE RATING WITH ACUSTIC RATING
7. EXTERIOR WOOD STUDS ARE FIRE TREATED ONLY UNLESS NOTED OTHERWISE
8. EXTEND ALL SHAFTS TO UNDERSIDE OF ROOF SHEATHING OR TOP OF ROOF PENETRATIONS WHERE APPLICABLE
9. EXTEND 1-HR FIRE BARRIERS TO UNDERSIDE OF SHEATHING WHERE APPLICABLE
10. NO PENETRATIONS OR OPENINGS ALLOWED IN SHAFT WALLS UNLESS THEY EXPRESSLY SERVE THE SHAFT
11. PROVIDE NON-COMBUSTIBLE MATERIALS IN RETURN PLENUMS (WALLS ON SOFFIT)
12. ALL UNITS ARE TYPE B ACCESSIBLE UNLESS OTHERWISE NOTED AS TYPE A
13. REFER TO INTERIOR FINISH SCHEDULE FOR FLOOR FINISH KEY
14. LAUNDRY EQUIPMENT SHOWN FOR REFERENCE ONLY; EQUIPMENT PROVIDED BY OWNER

KEYNOTES:

- UA1 30" X 48" CLEAR FLOOR SPACE INDICATED BY DASHED RECTANGLE
- UA2 INSTALL BLOCKING FOR GRAB BARS
- UA3 30" X 48" FORWARD APPROACH AT SINK; CABINET DOORS TO HAVE INTEGRAL TOE KICK AND 1/2" RAISED BASE; COVERTABLE FLOORING UNDER SINK; 30" CLEAR REQUIRED FOR ROLL UNDER ACCESS
- UA7 DISHWASHER TO FIT UNDER/BEHIND COUNTERTOP (32.5" MAX)
- UA8 FRONT CONTROLS AT RANGE
- UA10 30" X 48" FORWARD APPROACH AT WORK SPACE; PROVIDE 30" CLEAR WIDTH AND 27" KNEE CLEARANCE
- UA11 VENT HOOD SHALL HAVE CONTROLS AT 48" MAX AFF
- UA14 SINGLE SHELF IN LAUNDRY CLOSET; REFER TO HOOD FOR MOUNTING HEIGHT



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LEVEL 3 PLAN - OVERALL

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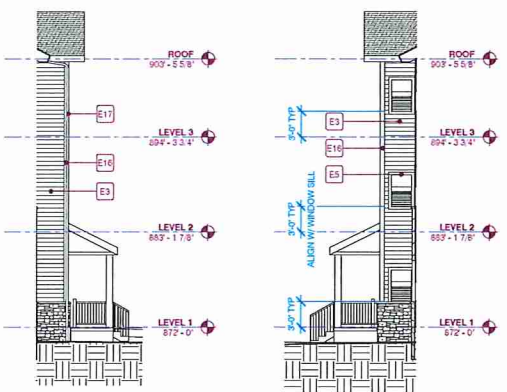
1 A103 - LEVEL 3 PLAN
A103 1/8" = 1'-0"

KEYNOTES:

- E1 NORMAN FACE BRICK, 1/3 RUNNING BOND, COLOR - TBD
- E2 MASONRY VENEER, ANCHOR BRASS/STAINLESS FACE, PATTERN #
- E3 ALLURA FIBER CEMENT LAP SIDING 6" REVEAL, COLOR - WHITE
- E4 ALLURA FIBER CEMENT LAP SIDING 10" REVEAL, COLOR - TBD
- E5 MECHANICAL LOUVER, FINISH TO MATCH ADJACENT SIDING, REFER TO PLANS FOR LOCATIONS
- E6 ALUMINUM STOREFRONT, PAINTED KYVAR FINISH, WHITE
- E7 COMPOSITE FIBERGLASS WINDOW
- E8 ALUMINUM RAILING
- E9 HOT-DIP GALVANIZED & POWDER-COATED STEEL RAILING
- E10 INSULATED HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT SIDING
- E11 PORCH ROOF WITH INTEGRAL LED DOWNLIGHTS, PROVIDE SWITCH WITHIN UNIT
- E12 BIKE RACK, ZERO IONH HITCH WITH OWNER LOGO, RED, REFER TO LANDSCAPE PLANS FOR LOCATIONS AND QUANTITY
- E13 ASPHALT SHINGLE ROOF
- E14 3" FIBER CEMENT TRIM
- E15 6" FIBER CEMENT TRIM
- E16 PREFINISHED METAL DOWNSPOUT
- E17 EXPANSION CONTROL JOINT
- E18 STEP LIGHTING AT STAIRS AND RAMP, REFER TO ELECTRICAL PLANS
- E19 INSULATED FIBERGLASS ENTRY DOOR
- E20 CAST STONE SILL, REFER TO DETAILS FOR PROFILE
- E21 ALLURA FIBER CEMENT PANEL SIDING, COLOR - TBD
- E22 CONCRETE RAMP TO MAIN ENTRY, PROVIDE STEP LIGHTS IN WALL AND RAILING



1 NORTH
A301 | 1/8" = 1'-0"



3 ELEVATION - INSET
A301 | 1/8" = 1'-0"

4 ELEVATION - INSET LOUVER
A301 | 1/8" = 1'-0"



2 EAST
A301 | 1/8" = 1'-0"

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**BUILDING
ELEVATIONS**

A301

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KEYNOTES:

- E1 NORMAN FACE BRICK, 1/3 RUN/2/3 BOND, COLOR - TBD
- E2 MASONRY VENEER, ANCHOR BRACKETS CHESSLED FACE, PATTERN 'P'
- E3 ALLURA FIBER CEMENT LAP SIDING 6" REVEAL, COLOR - WHITE
- E4 ALLURA FIBER CEMENT LAP SIDING 10" REVEAL, COLOR - TBD
- E5 MECHANICAL LOUVER, FINISH TO MATCH ADJACENT SIDING, REFER TO PLANS FOR LOCATION
- E6 ALUMINUM STOREFRONT, PAINTED KYNAR FINISH WHITE
- E7 COMPOSITE FIBERGLASS WINDOW
- E8 ALUMINUM RAILING
- E9 HOT-DIP GALVANIZED 3" FINGER-COATED STEEL RAILING
- E10 INSULATED HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT SIDING
- E11 PORCH ROOF WITH INTEGRAL LED DOWNLIGHTS, PROVIDE SWITCH WITHIN UNIT
- E12 BIKE RACK, ZERO KOOL HITCH WITH OWNER LOGO, RED, REFER TO LANDSCAPE PLANS FOR LOCATIONS AND QUANTITY
- E13 ASPHALT SHINGLE ROOF
- E14 3" FIBER CEMENT TRIM
- E15 6" FIBER CEMENT TRIM
- E16 PREFINISHED METAL DOWNSPOUT
- E17 EXPANSION CONTROL JOINT
- E18 STEP LANDING AT STAIRS AND RAMP, REFER TO ELECTRICAL PLANS
- E19 INSULATED FIBERGLASS ENTRY DOOR
- E20 CAST STONE SILL, REFER TO DETAILS FOR PROFILE
- E21 ALLURA FIBER CEMENT PANEL SIDING, COLOR - TBD
- E22 CONCRETE RAMP TO MAIN ENTRY, PROVIDE STEP LIGHTS IN WALL AND RAILING



2 SOUTH
A302 1/8" = 1'-0"



1 WEST
A302 1/8" = 1'-0"

laeotn
Interior Design & Rendering
GREENWAY TERRACE

URBANWORKS

148TH AVE NW & TRAPROCK STREET NW
HAMBEY, MN 55303

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CHECKED BY: DFEH

BUILDING ELEVATIONS

A302

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KEYNOTES:

- E1 NORMAN FACE BRICK; 1/3 RUNNING BOND, COLOR - TBD
- E2 MASONRY VENEER, ANCHOR BRASSISH CHISELED FACE, PATTERN 1"
- E3 ALLURA FIBER CEMENT LAP SIDING 6" REVEAL, COLOR - WHITE
- E4 ALLURA FIBER CEMENT LAP SIDING 16" REVEAL, COLOR - TBD
- E5 MECHANICAL LOUVER, FINISH TO MATCH ADJACENT SIDING, REFER TO PLANS FOR LOCATIONS
- E6 ALUMINUM STOREFRONT, PAINTED KYNAR FINISH, WHITE
- E7 COMPOSITE FIBERGLASS WINDOW
- E8 ALUMINUM RAILING
- E9 HOT-DIP GALVANIZED & POWDER-COATED STEEL RAILING
- E10 INSULATED HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT SIDING
- E11 PORCH FLOOR WITH INTEGRAL LED DOWNLIGHTS, PROVIDE SWITCH WITH UNIT
- E12 8" X 6" RACK, FIBERGLASS HATCH WITH OWNER LOGO, RED, REFER TO LANDSCAPE PLANS FOR LOCATIONS AND QUANTITY
- E13 ASPHALT SHINGLE ROOF
- E14 3" FIBER CEMENT TRIM
- E15 6" FIBER CEMENT TRIM
- E16 PREFABRIKED METAL DOWNSPOUT
- E17 EXPANSION CONTROL JOINT
- E18 STEP LIGHTING AT STAIRS AND RAMP, REFER TO ELECTRICAL PLANS
- E19 INSULATED FIBERGLASS ENTRY DOOR
- E20 CAST STONE SILL, REFER TO DETAILS FOR PROFILE
- E21 ALLURA FIBER CEMENT PANEL SIDING, COLOR - TBD
- E22 CONCRETE RAMP TO MAIN ENTRY, PROVIDE STEP LIGHTS IN WALL AND RAILING



2 NORTH Color
A303 1/8" = 1'-0"



1 EAST Color
A303 1/8" = 1'-0"

laeon
Interior Design Architecture
GREENWAY TERRACE

140TH AVE NW & THORNTON STREET NW
PARKET, MN 55363

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90 NORTH THIRD STREET, SUITE 140, MINNEAPOLIS, MN 55401

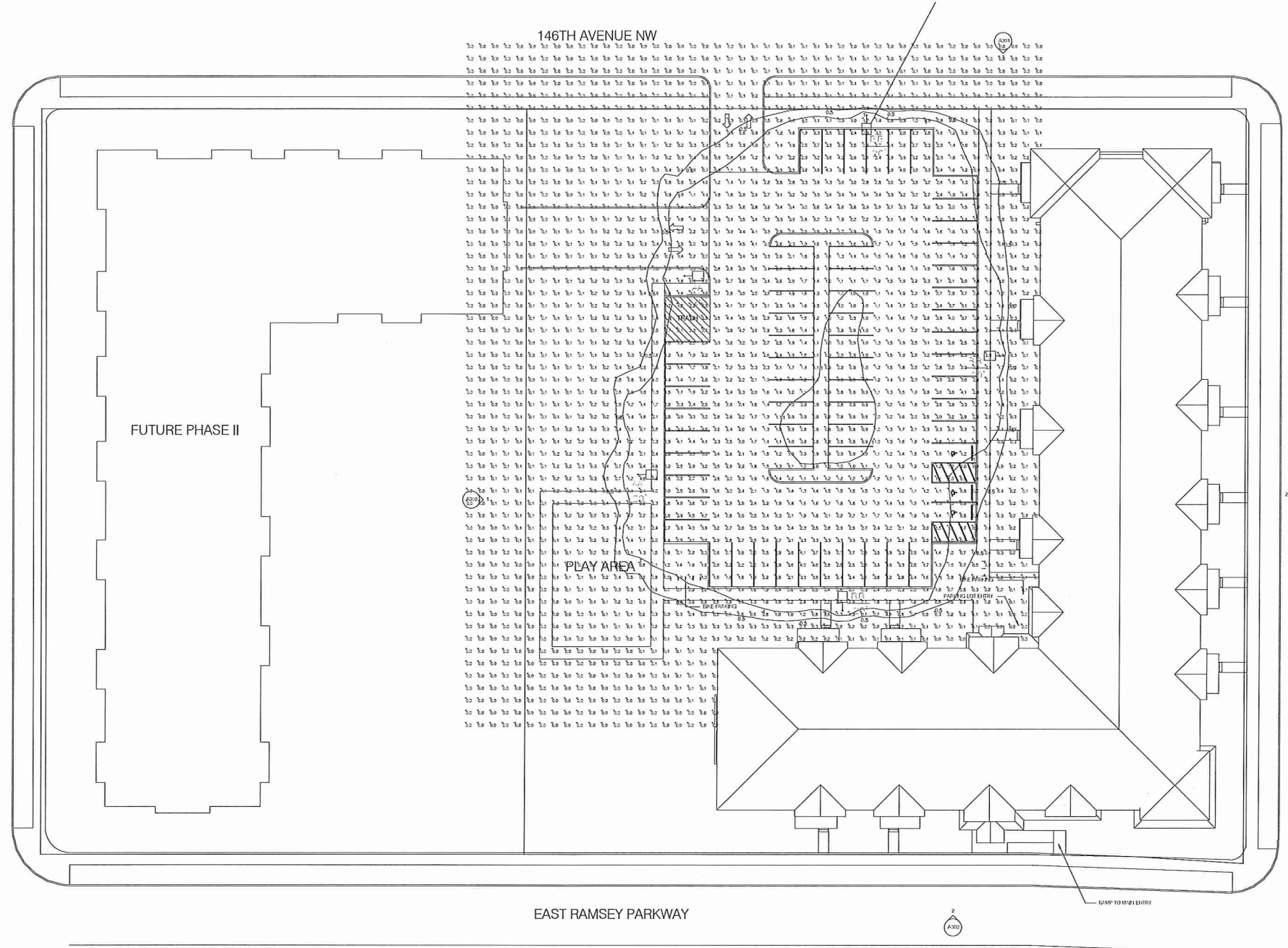
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PRELIMINARY
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CONSTRUCTION

REVISIONS

DATE 6.1.2017
PROJECT # 16-0011
PHASE DD
DRAWN BY WEB
CHECKED BY DFEH

BUILDING ELEVATIONS



CIMARRON LED	Code: GREENWAY	Type: AA,BB	Approach: APPROACH
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SPALDING

SPECIFICATIONS

Construction:

- 5/8" thick vertically flared die cast anodized aluminum housing for maximum heat dissipation. Slope collection of energy debris from gutter on top of the housing.
- Rugged lower die cast aluminum heat sink accommodates thermal management and provides PCB and optical protection.
- Superior optical and electrical compartment for optimum component operation and long life.
- One piece die cast aluminum cabinet ensures weather proof and ground each individual LED for IP68 rating.
- Brightest Control (BC) option available for 50% light reduction. Switch change. Early appearance of DIM recommended for Type A and Type B fixtures.
- Stamped local provides mechanical compression to seal the optical assembly.
- Complements the H.A. Bell 5x dimmed series of outdoor fixtures.
- Weight - 45.0 pounds, EFA - 1.3 lb
- Suitable for applications requiring 50' listing provided by ANSI C136.31

Optics:

- One of 22 high brightness LED configurations with individual optic lens or specialty design for Type A, B, C, and V die fixtures.
- Also optic designed for front row 1A and interior row 2A lighting distribution under canopy.

LED: 3000K 60/75/90/100K (70/80/90/100) LMWDT, and Luminaire by Active LED optics

Electrical:

- Standard input voltage 120-277 VAC, 50/60 Hz
- Integral step-down transformer for 347V & 480V
- Ambient operating temperature -47°C to 47°C
- Automatic thermal self-protection
- Drivers have greater than 100% power factor and less than 10% THD
- Optional accessories limiting to 10% or dual circuitry available

CERTIFICATIONS & LISTINGS

PRODUCT RANGE

30 LED 3/4 VIEW

30 LED

60 LED

90 LED

FEATURES:

- LED drivers have robust power conversion, over-current protection and short-circuit protection with auto-recovery
- 1000 mA driver available with OLC configuration for increased lifespan of LED
- LED electrical assembly including PCB driver, connection to power in the unit wire
- Surge protection - 20KA surge data is off at top of the fixture. Includes LED for end of the protection (see surge protection page 4)

Construction:

- Drivers are 0-10V dimming standard. Dimming requires remote and address controls available to complete on/off and dimming control.

Lenses and Optics:

- Up to 60,000 hours (Projected per EISA TM 21-11)

Installation:

- Hot die cast aluminum arm design. The decorative arm offers a sleek appearance but with the strength and balance for thorough construction for consistency of style
- Fixture dimensions are included for ease of installation and mounts to #2 drill pattern
- Wall bracket, end arm, filter and pole accessories are also available allowing easy mounting for virtually any application

Finish:

- 100% Anodized aluminum powder paint finish applied at minimum 0.5 mil thickness

Warranty:

- Five year limited warranty. For more information visit: www.spaldingled.com

UL Listing:

- Listed to UL 1599 and CSA C22.2 #290.0-24 for end use
- Meets most Design Light Consortium (DLC) metrics for more details: <http://www.designlightconsortium.com>
- IMA approved • IP65

DIMENSIONS

StatArea_1

ILLUMINANCE (Fc)

Average = 2.15
Maximum = 4.6
Minimum = 0.5
Avg/Min Ratio = 4.30
Max/Min Ratio = 9.20

ORDERING INFORMATION SEE NEXT PAGE

SPALDING Quality Lighting • 701 Midwestern Boulevard • Greenville, SC 29607 • Phone: 864 478-1000

8/1/2017 11:22 PM

laeon
Lighting Architecture
Greenway Terrace
901 NORTH THIRD STREET, SUITE 150
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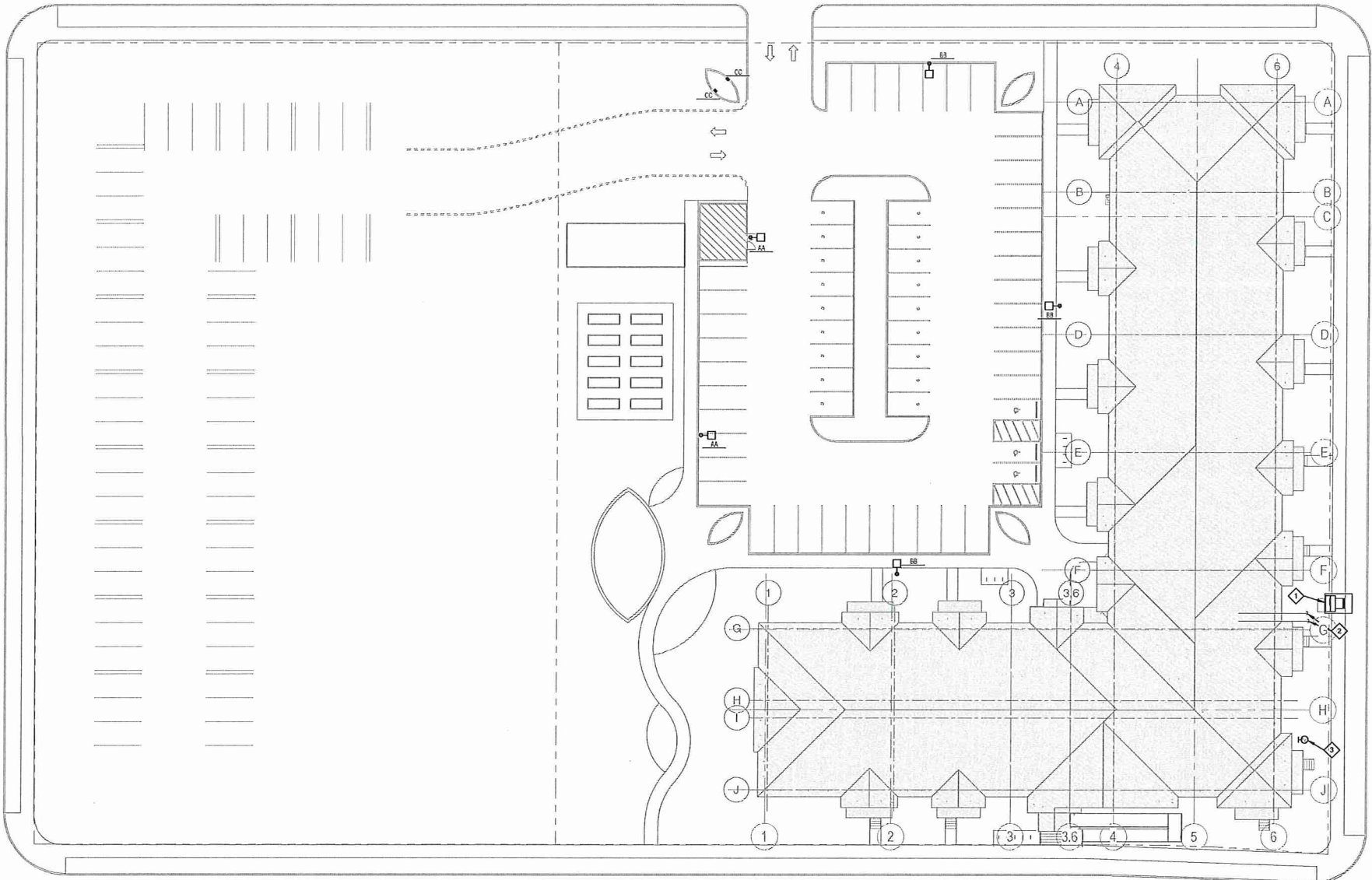
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**SITE
PHOTOMETRIC
PLAN**

E020

- SPECIFIC ELECTRICAL SITE NOTES**
1. UTILITY TRANSFORMER, PROVIDE CONCRETE PAD AND CONDUIT STUB OUTS. INSTALL PER LOCAL UTILITY REQUIREMENTS.
 2. PROVIDE SEPARATE 4" CONDUIT FROM TELEPHONE BACKBOARD AND CATV BACKBOARD TO PROPERTY LINE.
 3. PHOTO CONTROL FOR EXTERIOR LIGHTS. MOUNT AS HIGH AS POSSIBLE ON WALL.
 4. MAKE CONNECTION TO SIGN. VERIFY LOCATION WITH ARCHITECT.
 5. RECEPTACLE BOLLARD. PROVIDE SEPARATE 120 VOLT CIRCUIT TO EACH DUPLEX RECEPTACLE. REFER TO DETAIL.

- GENERAL SITE ELECTRICAL NOTES**
- A. ALL LIGHTING AND POWER CONDUCTORS SHALL BE INSTALLED BETWEEN 24" (MINIMUM) AND 36" (MAXIMUM) BELOW FINISHED GRADE.
 - B. ALL COMMUNICATIONS CONDUIT AND CABLES SHALL BE INSTALLED 36" (MINIMUM) BELOW FINISHED GRADE.
 - C. ALL CONDUCTORS FOR EXTERIOR LIGHTING AND POWER CIRCUITS SHALL BE #10 AWG MINIMUM.
 - D. PROVIDE TRANSFORMER BASE AT ALL POLE MOUNTED FIXTURES, TAP 2 LEGS OF THREE PHASE FEEDER (CIRCUITS DENOTED). PROVIDE BALLAST FUSES AT TAP, AND PROVIDE BRANCH CIRCUITS TO FIXTURES.



1 ELECTRICAL SITE PLAN
1" = 20'-0"

Alaeon
Less Change Everything
Greenway Terrace

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ELECTRICAL SITE
PLAN

KEYNOTES:

- E1 NORMAN FACE BRICK; 1/3 RUNNING BOND, COLOR - TBD
- E2 MASONRY VENEER, ANCHOR BRASSIST CHEELED FACE, PATTERN 1"
- E3 ALLURA FIBER CEMENT LAP SIDING 6" REVEAL, COLOR - WHITE
- E4 ALLURA FIBER CEMENT LAP SIDING 10" REVEAL, COLOR - TBD
- E5 MECHANICAL LOUVER, FINISH TO MATCH ADJACENT SIDING, REFER TO PLANS FOR LOCATION
- E6 ALUMINUM STOREFRONT, PAINTED KYNAR FINISH, WHITE
- E7 COMPOSITE FIBERGLASS WINDOW
- E8 ALUMINUM RAILING
- E9 HOT-DIP GALVANIZED & POWDER-COATED STEEL RAILING
- E10 INSULATED HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT SIDING
- E11 PORCH ROOF WITH INTEGRATED DOWNLIGHTS, PROVIDE SWITCH WITHIN UNIT
- E12 BIKE RACK, ZERO JOINT MATCH WITH OWNER LOGO, RED, REFER TO LANDSCAPE PLANS FOR LOCATIONS AND QUANTITY
- E13 ASPHALT SHINGLE ROOF
- E14 3" FIBER CEMENT TRIM
- E15 6" FIBER CEMENT TRIM
- E16 PREFINISHED METAL DOWNSPOUT
- E17 EXPANSION/CONTROL JOINT
- E18 STEP LIGHTING AT STAIRS AND RAMP, REFER TO ELECTRICAL PLANS
- E19 INSULATED FIBERGLASS ENTRY DOOR
- E20 CAST STONE SILL, REFER TO DETAILS FOR PROFILE
- E21 ALLURA FIBER CEMENT PANEL SIDING, COLOR - TBD
- E22 CONCRETE RAMP TO MAIN ENTRY, PROVIDE STEP LIGHTS IN WALL AND RAILING



2 SOUTH Color
A304 | 1/8" = 1'-0"



1 WEST Color
A304 | 1/8" = 1'-0"



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