

**ABBREVIATIONS**

D & @ 100 YR.	Angle	L.F.	Lineal Feet
A.B.	Anchor Bolt	LB.	Pound
A.D.	Area Drain	LGU	Local Government Unit
A/C	Ar. Conditioning Unit	LONG.	Longitudinal
ADD.	Addendum	LT.	Light / Lighting
ADDL.	Additional	MAINT.	Maintenance
ADJ.	Adjacent / Adjust	MAS.	Masonry
AHU	Air Handling Unit	MATL.	Material
ALT.	Alternate	MAX.	Maximum
ALUM.	Aluminum	MED.	Mechanical
ANOD.	Anodized	MFR.	Manufacturer
APPROX.	Approximate	MH	Manhole
ARCH.	Architect / Architectural	MNL.	Minimum / Minute
AUTO.	Automatic	MISC.	Miscellaneous
AVG.	Average	MDOT	Minnesota Department Of Transportation
B.C.	Back of Curb	MOD.	Module / Modular
B/W	Bottom of Wall	MUL.	Mulch
BFE	Basement Floor Elevation	NL	Not In Contract
BIT	Bituminous (Asphaltic)	NO.	Number
BLDG	Building	NOM	Nominal
BSMT.	Basement	NTS	Not to Scale
C.F.	Cubic Feet	NWE	Normal Water Elevation
C.F.S.	Cubic Feet Per Second	O.C.	On Center
C.G.	Corner Guard	O.D.	Outside Dimension
C.I.	Control Joint	O.E.	Overhead Electric
C.L.	Centerline	OH	Ordinary High Water Level
C.M.U.	Concrete Masonry Unit	OH/WL	Ordinary High Water Level
C.O.	Cleanout	OPNG.	Open
C.O.E.	U.S. Army Corps Of Engineers	ORIG.	Original
C.Y.	Cubic Yards	P.C.	Point of Curvature
CBM	Catch Basin	P.I.	Point of Intersection
CBM#	Catch Basin Manhole	P.L.	Proprietary Line
CEM.	Cement	P.O.B.	Point of Beginning
CHP	Cast Iron Pipe	P.S.F.	Pounds Per Square Foot
CONC.	Concrete (Portland)	P.S.I.	Pounds Per Square Inch
CONN.	Connection	P.T.	Point of Tangency
CONST.	Construction	P.V.C.	Point of Vertical Curvature
CONT.	Continuous	P.V.I.	Point of Vertical Intersection
CONTR.	Contractor	P.V.T.	Point of Vertical Tangency
COP.	Copper	PE	Polyethylene
CU.	Curb	PED.	Pedestal / Pedestrian
CU.	Down Spout	PERF.	Perforated
D.S.	Degree	PREP.	Preparation
DEG.	Degree	PROJ.	Project
DEMO.	Demolition / Demolish	PROP.	Proposed
DEPT.	Department	PVC	Poly-Vinyl-Chloride (Pipa)
DET.	Detail	PVHT.	Pavement
DIAM.	Diameter	QTR.	Quarter
DIAG.	Diagonal	QTY.	Quantity
DIM.	Dimension	R	Radius
DIP	Ductile Iron Pipe	RAD.	Radius
DN	Down	RE	Re. Elevation (Costing)
DWG.	Drawing	R.D.	Roof Drain
E.	East	R.E.	Remove Existing
E.J.	Expansion Joint	R.O.	Rough Opening
E.O.	Emergency Overflow	R.P.	Radius Point
E.O.S.	Emergency Overflow Swale	RCP	Reinforced Concrete Pipe
E.W.	Each Way	R.S.	Rough Slab
EA.	Each	RSD	Roof Storm Drain
EL.	Elevation	RE	Regarding
ELEC.	Electrical	RENF.	Reinforced
ELEV.	Elevation	REQD.	Required
EMER.	Emergency	REV.	Revision / Revised
ENGR.	Engineer	RGU	Regulatory Government Unit
ENTR.	Entrance	ROW OR R/W	Right of Way
EQ.	Equal	S.	South
EQUIP.	Equipment	S.F.	Square Feet
EQUIV.	Equivalent	SAN.	Sanitary Sewer
EXIST.	Existing	SECT.	Section
EXP.	Expansion	SE	Side Exit
F & I	Furnish and Install	SEWO	Side Exit Walk Out
F.B.O.	Furnished by Others	SE	Sheet
F.C.	Face of Curb	SHP.	Shower
F.D.	Floor Drain	SLNT.	Sloant
F.D.C.	Fire Department Connection	SPEC.	Specification
F.V.	Field Verify	SQ.	Square
FB	Full Basement	SSD	Subsurface drain
FBWO	Full Basement Walk Out	STMH	Storm Sever Manhole
FBLO	Full Basement Look Out	STD.	Standard
FDN.	Foundation	STRUCT.	Structural
FES	Flored End Section	SYM.	Symmetrical
FEE	Finished Floor Elevation	T	Thickness
FLR.	Floor	T/R	Top of Rim
FT. OR ( )	Foot	T/W	Top of Wall
FUT.	Future	TEMP.	Temporary
G.B.	Grade Break	THK.	Thick / Thickness
G.C.	General Contractor	T-J.	Tooled Joint
GAL.	Gallon	TNH	Top Nut Hydrant
GALV.	Galvanized	TYP.	Typical
GFE	Garage Floor Elevation	UNO.	Unless Noted Otherwise
GL.	Glass	V.B.	Vapor Barrier
GR.	Grade	V.C.	Vertical Curve
H.	Height	V.I.F.	Verify In Field
H.P.	High Point	VER.	Verify
HDPEP	High Density Polyethylene Pipe	VERT.	Vertical
HGT.	Height	VEST.	Vestibule
HORIZ.	Horizontal	W	Width
HVAC	Heating, Ventilation, Air Conditioning	W.P.T.	Working Point
HYD	Hydrant	W.W.F.	Welded Wire Fabric
ID.	Inside Dimension	W	With
I.E. or IE	Invert Elevation	W/O	Without
IN. OR ( )	Inches	WO	Walk Out
INFO.	Information	WETL.	Wetland
INL.	Inlet Elevation	WP	Waterproof
INSUL.	Insulation	WT.	Weight
INV.	Invert Elevation	YD.	Yard
JT.	Joint	YR.	Year

**SYMBOLS**

EXISTING	DESCRIPTION	NEW	DESCRIPTION
	MAJOR CONTOUR		MAJOR CONTOUR
	MINOR CONTOUR		MINOR CONTOUR
	SPOT ELEVATION		SPOT ELEVATION
	BUILDING		BUILDING
	CANOPY / OVERHANG		CANOPY / OVERHANG
	CONCRETE		UNDERGROUND STRUCTURE
	BITUMINOUS		CONCRETE
	LANDSCAPING		CONCRETE CURB
	GRAVEL		EDGE OF PAVEMENT
	PAVING BLOCK		FENCING
	PAVING BLOCK		GUARD RAIL
	STORM SEWER LINE		CONCRETE RETAINING WALL
	SANITARY SEWER LINE		MODULAR RETAINING WALL
	WATER MAIN		FIELDSTONE RETAINING WALL
	OVERHEAD ELECTRIC		EXIT LOCATION
	UNDERGROUND TELEPHONE		LIGHT STANDARD
	GAS LINE		POWER POLE
	CONCRETE CURB		SLOPE DIRECTION
	FENCING		CATCH BASIN
	RETAINING WALL		MANHOLE
	SET 1/2" X 14" IRON PIPE		BOLLARD
	IRON MONUMENT FOUND		FORCE MAIN
	SURVEY DISK (BENCHMARK)		ROOF DRAIN SYSTEM
	POWERPOLE		GATE VALVE
	GUY WIRE		WATERMAN
	GUARD POST		FIRE LINE (IF SEPARATE)
	GAS METER		FIRE DEPT. CONNECTION
	TRANSFORMER		SOIL SUBDRAIN
	WATER SHUT-OFF VALVE		GAS LINE-UNDERGROUND
	TRAFFIC SIGN		ELECTRIC-UNDERGROUND
	FLAG POLE		TELEPHONE-UNDERGROUND
	LIGHT POLE		UNDERGROUND CABLE/TV
	TREES		LAWN SPRINKLER SLEEVE
	TREE LINE		
	MANHOLE		
	CATCH BASIN		
	FIRE HYDRANT		
	WATER VALVE		
	FLARED END SECTION		
	MAILBOX		
	NOTE NUMBER		
	MEASURED DISTANCE		
	DISTANCE PER RECORDED PLAT		
	SOL BORING		

**EROSION CONTROL SYMBOLS**

SYMBOL	DESCRIPTION
	SEDIMENT CONTROL FENCE
	INLET PROTECTION

**DRAWING SYMBOLS**

SYMBOL	DESCRIPTION
	NOTE REFERENCE
	PARKING STALL COUNT
	LARGE SHEET DETAIL
	COORDINATE POINT
	REVISION - ADDENDUM, BULLETIN, ETC.
	REVISED AREA (THIS ISSUE)

**LEGAL DESCRIPTION**

LOT 1, BLOCK 1, NOW AND THEN ESTATES, ANOKA COUNTY, MINNESOTA.  
 AND  
 OUTLOTS C AND D, BROOKFIELD FIRST ADDITION, ANOKA COUNTY, MINNESOTA.  
 APPROXIMATELY 65 FEET WEST OF THE CENTERLINE OF CSAH NO. 5 AND 55 FEET SOUTH OF THE CENTERLINE OF 157TH AVENUE NW  
 ELEVATION = 888.59

**BENCHMARK**

**OWNER**

**BRYON AND LYNN COLE**  
 6951 168TH AVE NW  
 ANOKA, MN 55303

**PROJECT CONTACTS**

<b>CIVIL ENGINEER LANDFORM</b> 105 SOUTH FIFTH AVENUE, SUITE 513 MINNEAPOLIS, MN 55401 TEL 612-252-9070 FAX 612-252-9077 CONTACT: REID SCHULZ	<b>SURVEYOR LANDFORM</b> 105 SOUTH FIFTH AVENUE, SUITE 513 MINNEAPOLIS, MN 55401 TEL 612-252-9070 FAX 612-252-9077 CONTACT: ERIC LINDGEN
--	---

**LANDSCAPE ARCHITECT  
LANDFORM**

105 SOUTH FIFTH AVENUE, SUITE 513  
 MINNEAPOLIS, MN 55401  
 TEL 612-252-9070  
 FAX 612-252-9077  
 CONTACT: DANIELLE PIERQUET

**CIVIL / LANDSCAPE SHEET INDEX & REVISION MATRIX**

SHEETS ISSUED BY ISSUE / REVISION DATE	06/23/17	06/30/17
<b>SHEET NO. DESCRIPTION</b>		
C0.1 CIVIL & LANDSCAPE TITLE SHEET	X	X
C1.1 EXISTING CONDITIONS	X	X
C1.2 DEMOLITION PLAN	X	X
C2.1 PRELIMINARY PLAT & SITE PLAN	X	X
C3.1 GRADING, DRAINAGE, & EROSION CONTROL	X	X
C4.1 UTILITY PLAN AND PROFILE	X	X
C6.1 STREET PLAN AND PROFILE	X	X
C7.1 CONSTRUCTION DETAILS	X	X
C7.2 CONSTRUCTION DETAILS	X	X
L1.1 TREE PRESERVATION PLAN	X	X
L2.1 LANDSCAPE PLAN		

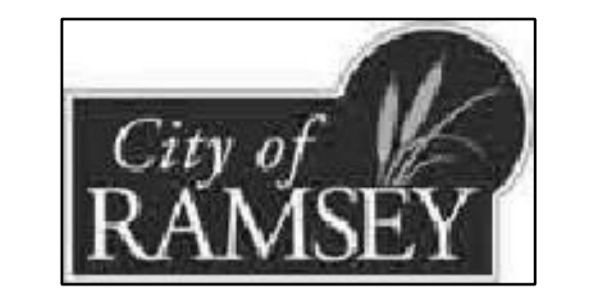
**SITE / UTILITY CONTACTS**

<b>CITY PLANNER CITY OF RAMSEY</b>  TM GLADHILL tgladhill@cityoframsey.com TEL: 763-433-9824 FAX:	<b>CITY ENGINEER CITY OF RAMSEY</b>  BRUCE WESTBY bwestby@cityoframsey.com TEL: 763-433-9825 FAX:
<b>BUILDING OFFICIAL</b>   TEL: FAX:	<b>GAS</b>   TEL: FAX:
<b>ELECTRIC</b>   TEL: FAX:	<b>TELEPHONE</b>   TEL: FAX:

**DEVELOPER**

**BRYON AND LYNN COLE**  
 6951 168TH AVE NW  
 RAMSEY, MN 55303

**MUNICIPALITY**



**PROJECT**

**COLE  
ADDITION  
RAMSEY, MN**

**SHEET INDEX**

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**ISSUE / REVISION HISTORY**

DATE	ISSUE / REVISION	REVIEW
23 MAY 2017	SKETCH PLAN	
01 JUN 2017	PRELIMINARY & FINAL PLAT	RTS
06 JUL 2017	WATERSHED SUBMITTAL	RTS
08 AUG 2017	FINAL PLAT	RTS

**PROJECT MANAGER REVIEW**

BY: \_\_\_\_\_ DATE: 05-22-17

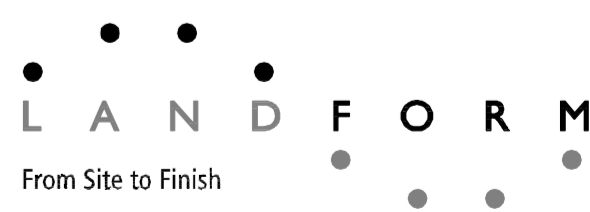
**CERTIFICATION**

I hereby certify that the plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.  
 Signature shown is a digital signature of the Professional Engineer. Web signed copy of this plan on file at Landform Professional Services, LLC office and available upon request.  
**PRELIMINARY NOT FOR CONSTRUCTION**

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

**FINAL PLAT**

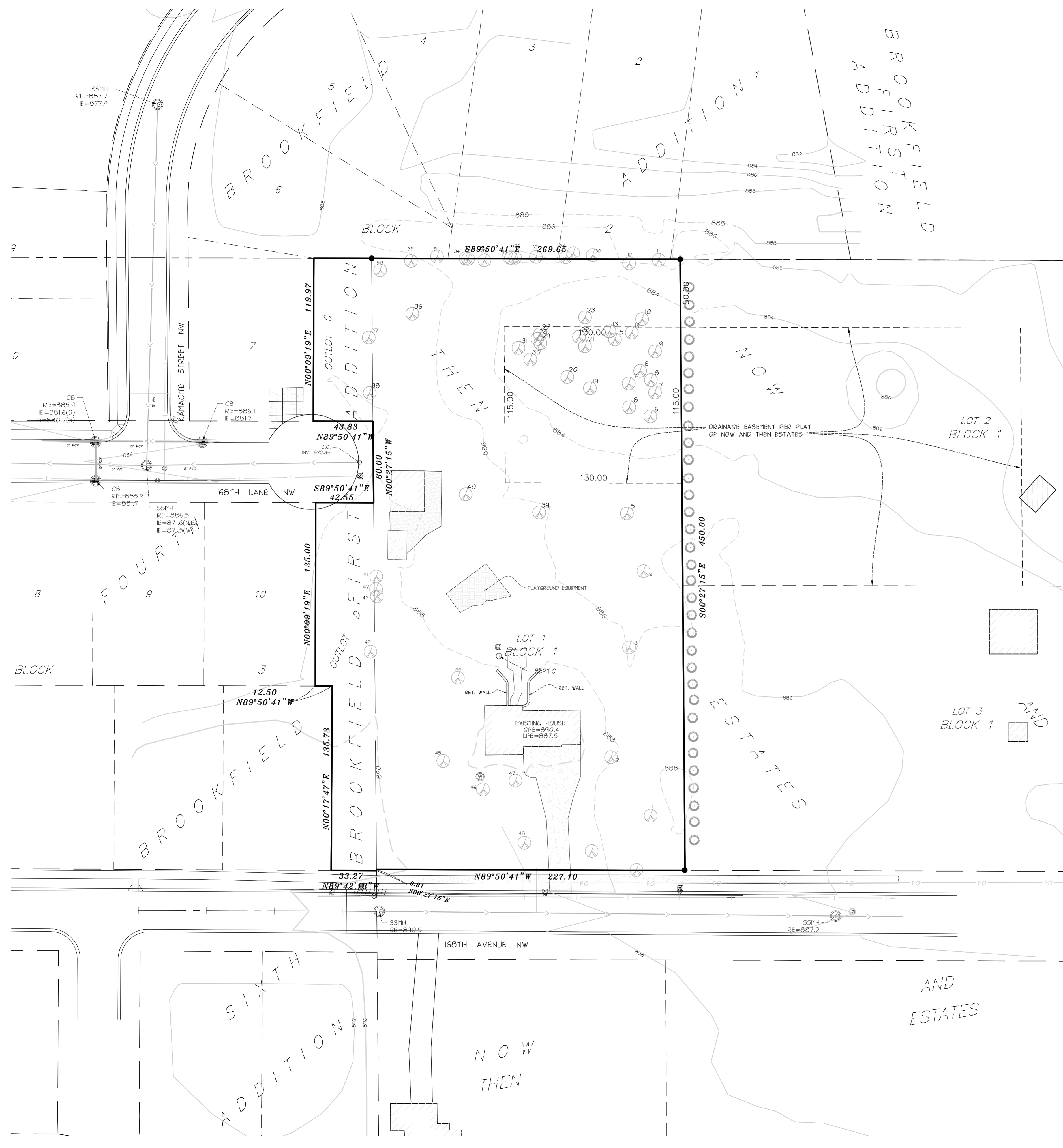
08-07-2017



105 South Fifth Avenue Tel: 612-252-9070  
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 Minneapolis, MN 55401 Web: landform.net

FILE NAME: C0012ZZ001.DWG  
 PROJECT NO.: ZZZ115326

**CIVIL AND LANDSCAPE  
TITLE SHEET  
C0.1**



LEGEND	
	STORM LINE
	WATER MAIN
	SANITARY MAIN
	EXISTING CONCRETE SURFACE
	EXISTING GRAVEL SURFACE
	EXISTING CONIFEROUS TREE
	EXISTING DECIDUOUS TREE

- SURVEY NOTES**
- IMPROVEMENTS SHOWN PER SURVEY PERFORMED BY LANDFORM PROFESSIONAL SERVICES, LLC ON MAY 15, 2017 EXPRESSLY FOR THIS PROJECT.
  - THE BEARING BASIS OF THIS SURVEY IS THE ANOKA COUNTY COORDINATE SYSTEM.
  - PROPERTY AREA - 117,608 SQ. FT. = 2.700 ACRES

**PROPERTY DESCRIPTION**

LOT 1, BLOCK 1, NOW AND THEN ESTATES, ANOKA COUNTY, MINNESOTA.  
 AND  
 OUTLOTS C AND D, BROOKFIELD FIRST ADDITION, ANOKA COUNTY, MINNESOTA.

**DEVELOPER**  
**BRYON AND LYNN COLE**  
 6951 168TH AVE NW  
 RAMSEY, MN 55303

**MUNICIPALITY**

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08 AUG 2017	FINAL PLAT	RTS

**PROJECT MANAGER REVIEW**

BY: \_\_\_\_\_ DATE: 05-23-17

**CERTIFICATION**

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly licensed Land Surveyor under the laws of the state of Minnesota.

Eric B. Lindgren  
 License No: 46176 Date: 05.23.2017

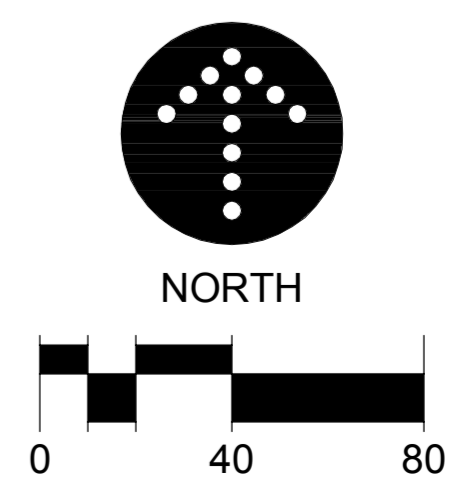
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**FINAL PLAT**  
 08-07-2017

**LANDFORM**  
 From Site to Finish

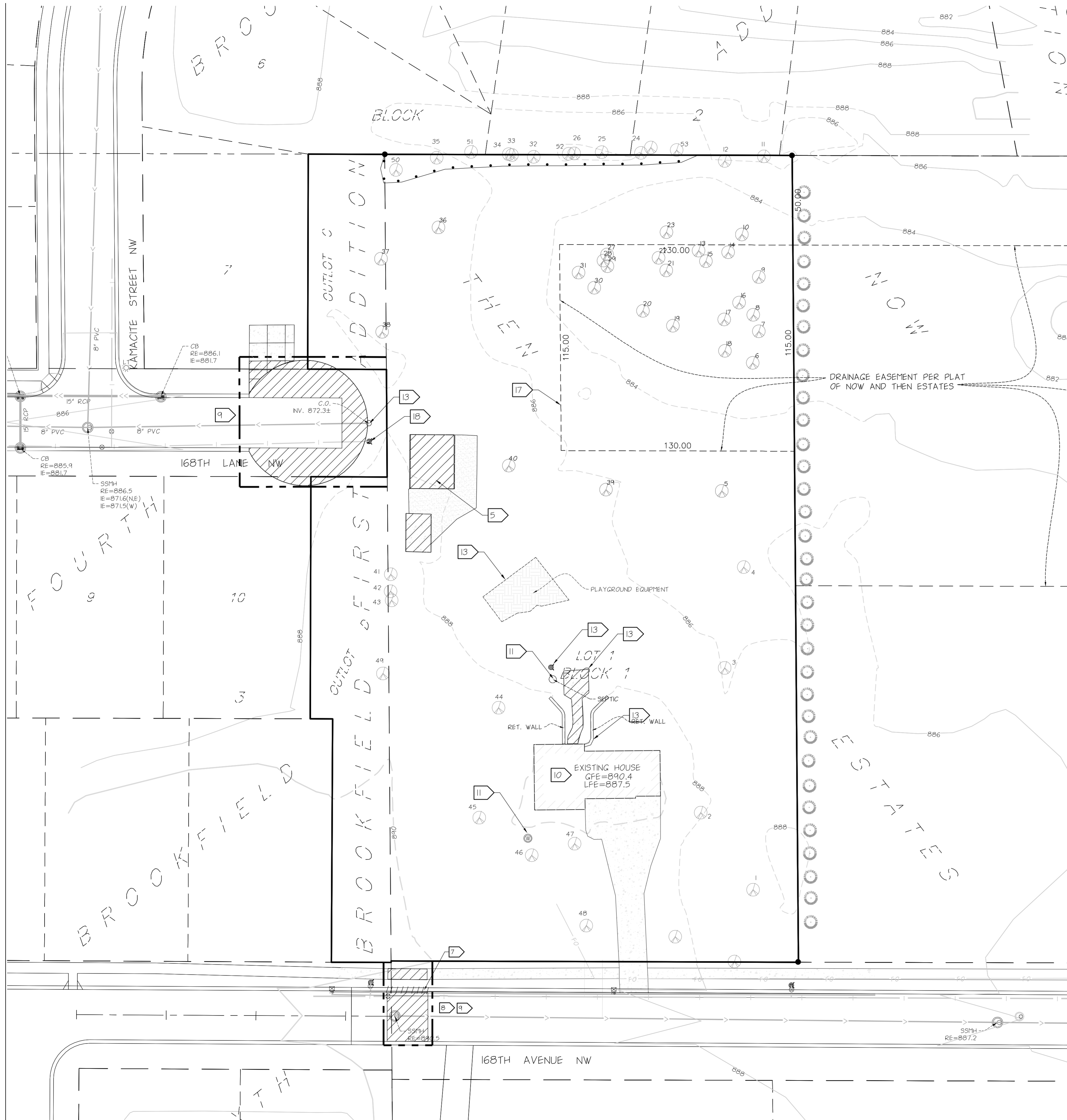
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FILE NAME C101ZZZ001.DWG  
 PROJECT NO. ZZZ15326



**EXISTING CONDITIONS**  
**C1.1**





SHEET NO. 2/13  
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**EXISTING NOTES**

- BACKGROUND INFORMATION SHOWN IS FROM SURVEY BY LANFORM PROFESSIONAL SERVICES EXPRESSLY FOR THIS PROJECT. CITY OF RAMSEY, MINNESOTA RECORD DRAWINGS, AND UTILITY SERVICE PROVIDERS. LANFORM OFFERS NO WARRANTY, EXPRESSED OR WRITTEN, FOR INFORMATION PROVIDED BY OTHERS. EXISTING PROJECT CONDITIONS SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ARCHITECT/ENGINEER/OWNER IMMEDIATELY.

**LEGEND**

-  TREE REMOVAL
-  TREE FENCE
-  STRUCTURE AND/OR PAVEMENT REMOVAL
-  CONSTRUCTION LIMITS

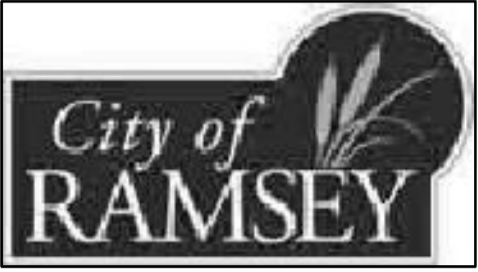
**DEMOLITION AND CLEARING NOTES**

- OBTAIN PERMITS FOR DEMOLITION, CLEARING, AND DISPOSAL PRIOR TO BEGINNING.
- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING DEMOLITION AND CLEARING.
- SEE SHEET C3.1 FOR EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT MUST BE IN PLACE PRIOR TO DISTURBANCES TO SITE.
- BUILDING DEMOLITION: VERIFY WITH OWNER THAT BUILDING HAS BEEN CLEARED OF REGULATED MATERIALS REQUIRING SPECIAL HANDLING OR DISPOSAL. REMOVE STRUCTURE, COLUMNS, CANOPIES, FOOTINGS, FOUNDATIONS, AND ANY ASSOCIATED CONSTRUCTION IN ITS ENTIRETY.
- DIMENSIONS SHOWN FOR REMOVAL ARE APPROXIMATE. COORDINATE WITH NEW CONSTRUCTION TO ENSURE APPROPRIATE REMOVAL OF EXISTING FACILITIES.
- REFER TO DETAILS FOR PAVEMENT SAWCUT. REMOVE CONCRETE WALKS AND CURBING TO THE NEAREST EXISTING JOINT BEYOND CONSTRUCTION LIMITS.
- COMPLETE DEMOLITION WITH MINIMAL DISRUPTION OF TRAFFIC. COORDINATE LANE CLOSURES WITH THE REGULATORY AUTHORITY AND PROVIDE ADVANCE NOTIFICATION TO AFFECTED EMERGENCY RESPONSE PROVIDERS.
- PROVIDE BARRICADES, LIGHTS, SIGNS, TRAFFIC CONTROL, AND OTHER MEASURES NECESSARY FOR PROTECTION AND SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT CONSTRUCTION.
- PROTECT STRUCTURES, UTILITIES, TREES, PLANT MATERIAL, SOD, AND ADJACENT PROPERTY FROM DAMAGE DURING CONSTRUCTION UNLESS NOTED FOR REMOVAL. DAMAGE SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION AT NO ADDITIONAL COST.
- ABANDON WELLS AND ON-SITE SEWAGE FACILITIES PRIOR TO ANY OTHER DEMOLITION IN ACCORDANCE WITH REQUIREMENTS OF THE CITY BUILDING DIVISION.
- SEE SHEETS L1.1 FOR TREE PRESERVATION PLAN. REMOVE TREES NOTED, INCLUDING ROOT STRUCTURES, FROM THE SITE. COORDINATE WITH OWNER TO MARK TREES TO BE SAVED OR TRANSPLANTED PRIOR TO CLEARING.
- REMOVE EXISTING SITE FEATURES INCLUDING, BUT NOT LIMITED TO, UNDERGROUND UTILITIES, PAVING, CURBING, WALKWAYS, FENCING, RETAINING WALLS, SCREEN WALLS, APRONS, LIGHTING, RELATED FOUNDATIONS, SIGNAGE, BOLLARDS, LANDSCAPING, AND STAIRWAYS WITHIN THE CONSTRUCTION LIMITS UNLESS NOTED OTHERWISE.
- COORDINATE REMOVAL, RELOCATION, TERMINATION, AND RE-USE OF EXISTING PRIVATE UTILITY SERVICES AND APPURTENANCES WITH THE UTILITY COMPANIES. RESTORE ELECTRIC HANDHOLES, PULLBOXES, POWERPOLES, CUTLINES, AND STRUCTURES DISTURBED BY CONSTRUCTION IN ACCORDANCE WITH UTILITY OWNER REQUIREMENTS.
- EXISTING PIPING AND CONDUITS MAY BE ABANDONED IN-PLACE IF FILLED WITH SAND AND IF NOT IN LOCATION OF PROPOSED BUILDING OR IN CONFLICT WITH PROPOSED UTILITIES OR STRUCTURES. TERMINATE EXISTING SERVICES AT THE SUPPLY SIDE IN CONFORMANCE WITH PROVIDER'S STANDARDS.
- HALL DEMOLITION DEBRIS OFF-SITE TO A FACILITY APPROVED BY REGULATORY AUTHORITIES FOR THE HANDLING OF DEMOLITION DEBRIS, UNLESS NOTED OTHERWISE.
- EASEMENT TO BE VACATED AT TIME OF FINAL PLAT
- RE-USE EXISTING HYDRANT (SEE SHEET C4.1 FOR LOCATION)

**DEVELOPER**

**BRYON AND LYNN COLE**  
6951 168TH AVE NW  
RAMSEY, MN 55303

**MUNICIPALITY**



**PROJECT**

**COLE ADDITION  
RAMSEY, MN**

**SHEET INDEX**

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**ISSUE / REVISION HISTORY**

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08 AUG 2017	FINAL PLAT	RTS

**PROJECT MANAGER REVIEW**

BY: RS DATE: 05-22-17

**CERTIFICATION**

I hereby certify that this plan was prepared under my direct supervision, and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

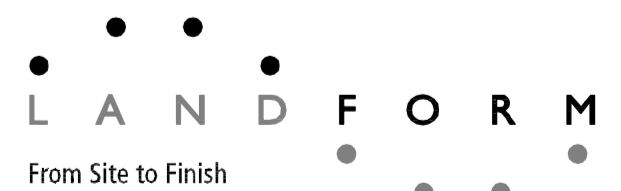
**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

Signature shown on a separate sheet. Original, wet signed copy of this plan on file at Landform Professional Services, LLC office and is available upon request.

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**FINAL PLAT**

08-07-2017



105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME: C101ZZZ001.DWG  
PROJECT NO.: ZZZ15326

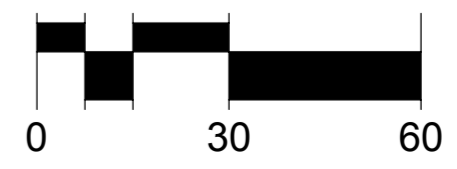
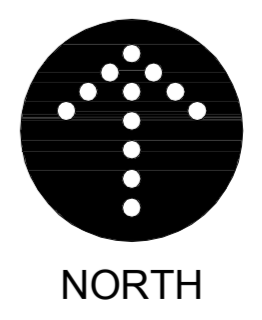
**DEMOLITION**

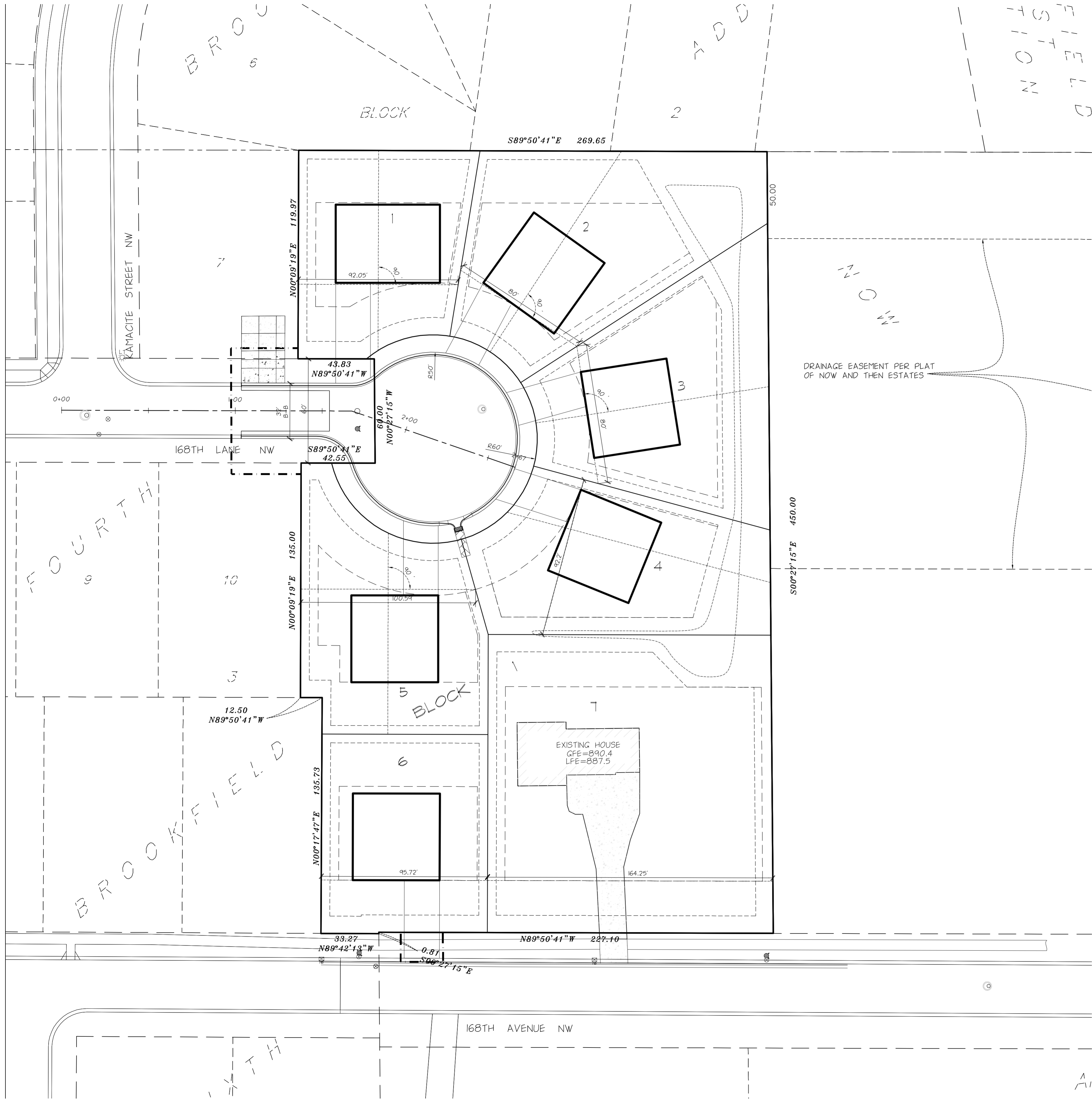
**C1.2**

SHEET NO. 3/13



Know what's Below.  
Call before you dig.





**LEGAL DESCRIPTION**

LOT 1, BLOCK 1, NOW AND THEN ESTATES, ANOKA COUNTY, MINNESOTA.  
AND  
OUTLOTS C AND D, BROOKFIELD FIRST ADDITION, ANOKA COUNTY, MINNESOTA.

**ZONING AND SETBACKS**

CURRENT AND PROPOSED ZONING	R-1 (MUSA)
MIN. LOT AREA:	10,800 SQ. FT.
DENSITY REQUIREMENTS:	3 UNITS/ACRE
LOT WIDTH	80 FEET
SIDE YARD SETBACK (GARAGE):	6 FEET
SIDE YARD SETBACK (LIVING):	10 FEET
REAR YARD SETBACK:	30 FEET
FRONT YARD SETBACK:	30 FEET
MAX. BUILDING COVERAGE	35%

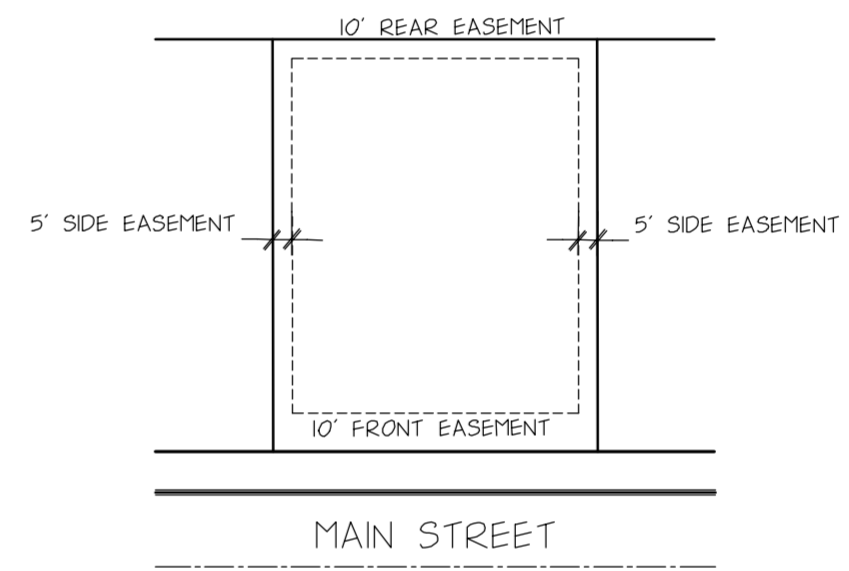
**OVERALL SITE SUMMARY**

TOTAL UNITS:	7 SINGLE FAMILY HOMES
TOTAL AREA:	2.7 AC. (117,612 S.F.)
NET DENSITY:	(TOTAL UNITS/NET DEVELOPABLE AREA) 2.6 UNITS/AC.

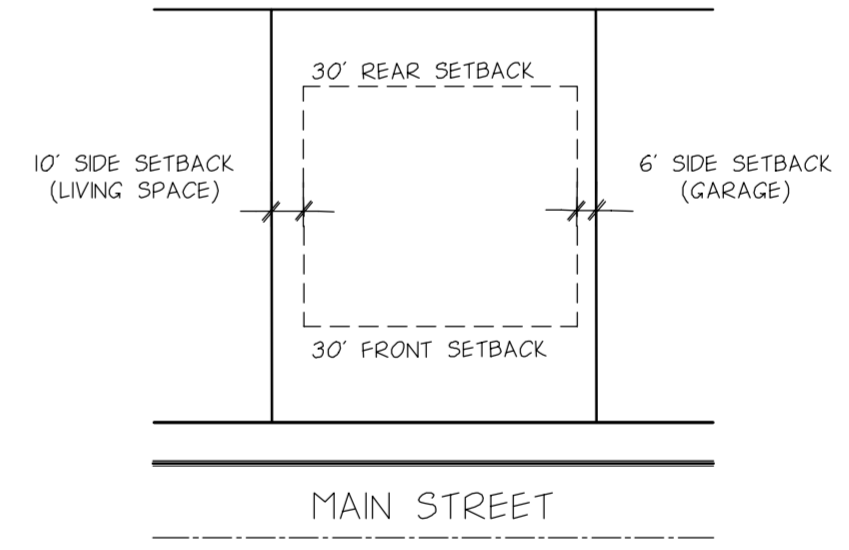
**PROPOSED LOT AREAS**

LOT 1, BLOCK 1,	- 10,887 SQ. FT.
LOT 2, BLOCK 1,	- 16,200 SQ. FT.
LOT 3, BLOCK 1,	- 15,584 SQ. FT.
LOT 4, BLOCK 1,	- 13,144 SQ. FT.
LOT 5, BLOCK 1,	- 12,370 SQ. FT.
LOT 6, BLOCK 1,	- 10,929 SQ. FT.
LOT 7, BLOCK 1,	- 28,088 SQ. FT.

**TYPICAL EASEMENTS**



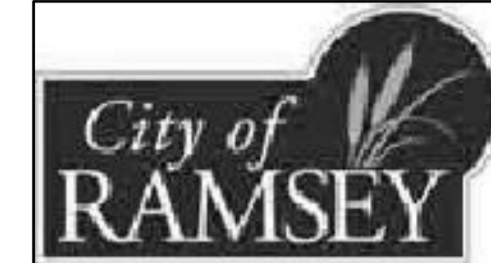
**TYPICAL SETBACKS**



**DEVELOPER**

**BRYON AND LYNN COLE**  
6951 168TH AVE NW  
RAMSEY, MN 55303

**MUNICIPALITY**



**PROJECT**

**COLE  
ADDITION  
RAMSEY, MN**

**SHEET INDEX**

SHEET	TITLE
C01	CIVIL TITLE SHEET
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C12	DEMOLITION PLAN
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C31	GRADING, DRAINAGE, AND EROSION CONTROL PLAN
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**ISSUE / REVISION HISTORY**

DATE	ISSUE / REVISION	REVIEW
23 MAY 2017	SKETCH PLAN	
01 JUN 2017	PRELIMINARY & FINAL PLAN	RTS
06 JUL 2017	WATERSHED SUBMITTAL	RTS
08 AUG 2017	FINAL PLAN	RTS

**PROJECT MANAGER REVIEW**

BY	DATE
	05-22-17

**CERTIFICATION**

I hereby certify that this plan was prepared under my direct supervision, and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

**FINAL PLAT**

08-07-2017

**LANDFORM**  
From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

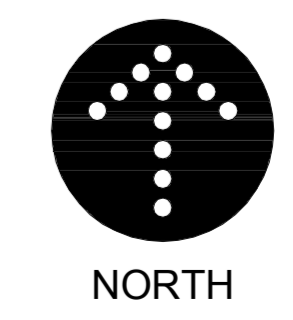
FILE NAME C201ZZZ001.DWG  
PROJECT NO. ZZZ15326

**PRELIMINARY PLAT  
& SITE PLAN  
C2.1**

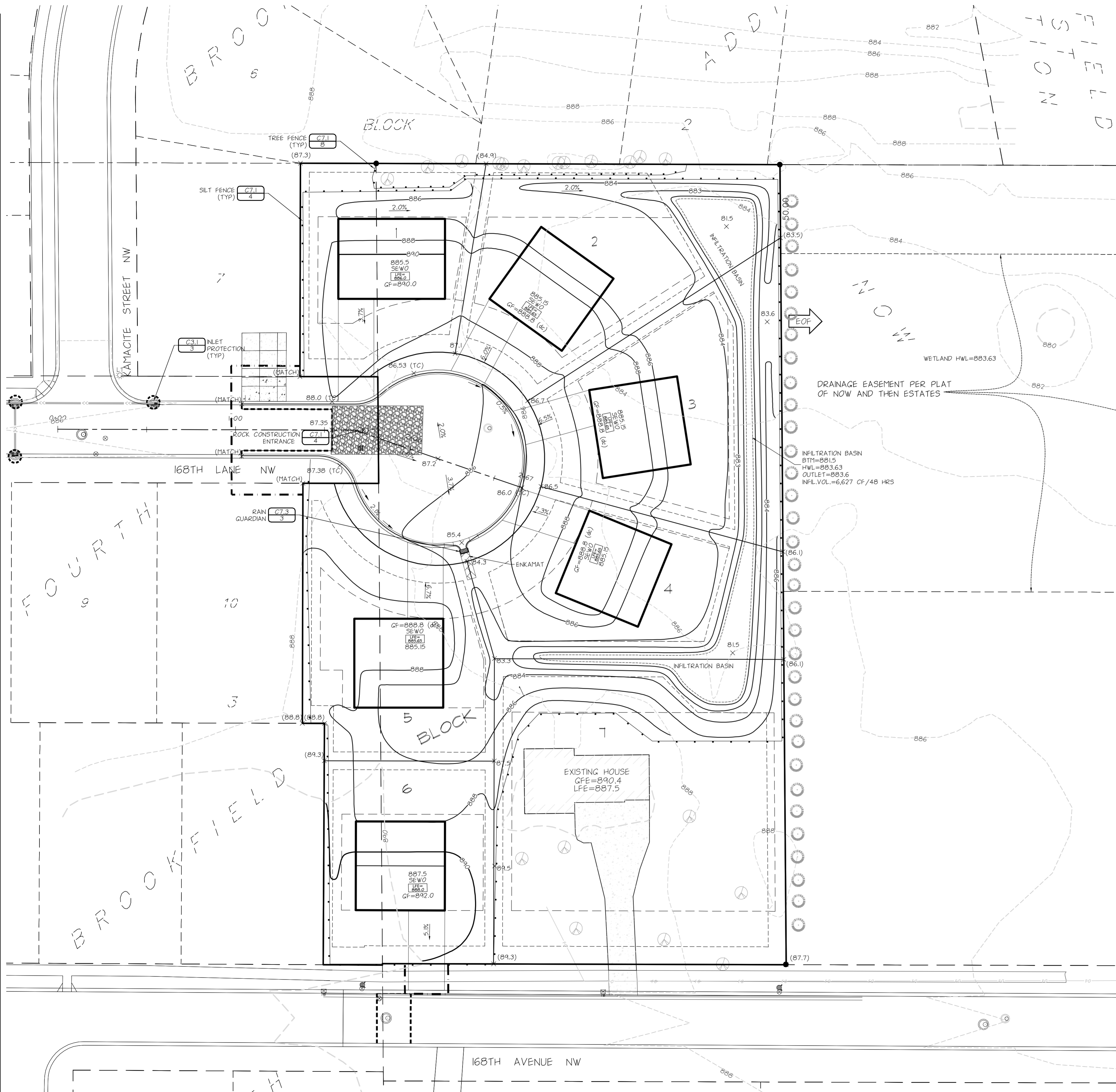
SHEET NO. 4/13  
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0 30 60



**GENERAL NOTES**

FOR CONSTRUCTION STAKING AND SURVEYING SERVICES CONTACT LANDFORM PROFESSIONAL SERVICES AT 612.252.9070.

**EROSION PREVENTION AND SEDIMENT CONTROL NOTES**

- INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO BEGINNING WORK AND MAINTAIN FOR DURATION OF CONSTRUCTION. REMOVE CONTROLS AFTER AREAS CONTRIBUTING RUNOFF ARE PERMANENTLY STABILIZED AND DISPOSE OF OFF SITE.
- LIMIT SOIL DISTURBANCE TO THE GRADING LIMITS SHOWN. SCHEDULE OPERATIONS TO MINIMIZE LENGTH OF EXPOSURE OF DISTURBED AREAS.
- MANAGEMENT PRACTICES SHOWN ARE THE MINIMUM REQUIREMENT. INSTALL AND MAINTAIN ADDITIONAL CONTROLS AS WORK PROCEEDS TO PREVENT EROSION AND CONTROL SEDIMENT CARRIED BY WIND OR WATER.
- EXCAVATE PONDS EARLY IN THE CONSTRUCTION SEQUENCE. REMOVE SEDIMENT FROM PONDS PERIODICALLY AND AFTER AREAS CONTRIBUTING RUNOFF ARE PERMANENTLY STABILIZED.
- ALL EXPOSED SOIL AREAS MUST BE STABILIZED WITHIN 72 HOURS OF COMPLETION OF WORK IN EACH AREA.
- SEED, SOD, MULCH AND FERTILIZER SHALL MEET THE FOLLOWING SPECIFICATIONS, AS MODIFIED.
 

ITEM	SPECIFICATION NUMBER
SOD	MNDOT 38761
SEED	MNDOT 3876
	MN TYPE 22-III @ 30.5 LB/AC - TEMPORARY EROSION CONTROL
	MN TYPE 25-151 @ 120 LB/AC - PERMANENT TURF
- MULCH (MNDOT TYPE 1 @ 2 TON/AC, DISC ANCHORED) MNDOT 3882  
FERTILIZER MNDOT 3891  
GENERAL PLACEMENT MNDOT 2575
- SEE LANDSCAPE SHEETS FOR PERMANENT TURF AND LANDSCAPE ESTABLISHMENT.
- SWEEP ADJACENT STREETS CLEAN DAILY AND SWEEP CLEAN WEEKLY. STREETS MUST BE SWEEPED WITHIN THREE HOURS OF NOTIFICATION FROM THE CITY THAT SWEEPING IS REQUIRED.

**GRADING NOTES**

- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING GRADING.
- REMOVE TOPSOIL FROM GRADING AREAS AND STOCKPILE SUFFICIENT QUANTITY FOR REUSE. MATERIALS MAY BE MINED FROM LANDSCAPE AREAS FOR USE ON SITE AND REPLACED WITH EXCESS ORGANIC MATERIAL WITH PRIOR OWNER APPROVAL. ALL TOPSOIL PLACED MUST MEET CITY STANDARD PLATE ERO 6, DETAIL C7.1/4.
- REMOVE SURFACE AND GROUND WATER FROM EXCAVATIONS. PROVIDE INITIAL LIFTS OF STABLE FOUNDATION MATERIAL IF EXPOSED SOILS ARE WET AND UNSTABLE.
- AN INDEPENDENT TESTING FIRM SHALL VERIFY THE REMOVAL OF ORGANIC AND UNSUITABLE SOILS, SOIL CORRECTION, AND COMPACTION AND PROVIDE PERIODIC REPORTS TO THE OWNER.
- PLACE AND COMPACT FILL USING LIFT THICKNESSES MATCHED TO SOIL TYPE AND COMPACTION EQUIPMENT TO OBTAIN SPECIFIED COMPACTION THROUGHOUT THE LIFT.
- COMPACT COHESIVE SOILS IN PAVED AREAS TO 95% OF MAXIMUM DRY DENSITY, STANDARD PROCTOR (ASTM D698) EXCEPT THE TOP 3 FEET WHICH SHALL BE COMPACTED TO 100%. COMPACT TO 98% DENSITY WHERE FILL DEPTH EXCEEDS 10 FEET. THE SOILS SHALL BE WITHIN 3% OF OPTIMUM MOISTURE CONTENT. IN GRANULAR SOILS ALL PORTIONS OF THE EMBANKMENT SHALL BE COMPACTED TO NOT LESS THAN 95% OF MODIFIED PROCTOR DENSITY (ASTM D1557).

**NPDES AREA SUMMARY**

	EXISTING	PROPOSED
PERVIOUS	2.58 ACRES	1.97 ACRES
IMPERVIOUS	0.12 ACRES	0.73 ACRES
TOTAL	2.7 ACRES	2.7 ACRES

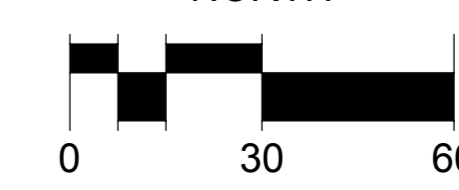
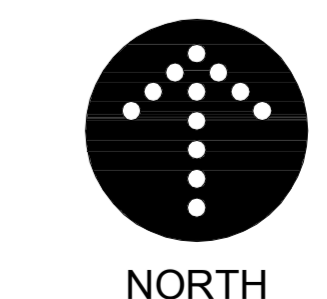
**LEGEND**

- SYMBOL DESCRIPTION ESTIMATED QUANTITY:
- INLET PROTECTION
- SILT FENCE
- VEHICLE TRACKING PAD
- CONSTRUCTION LIMITS
- SAWCUT LIMITS
- BUILDING TYPE:
  - XXX.X : REAR ELEVATION
  - SEWO : UNIT TYPE
  - XXXXX : LOW FLOOR ELEVATION
  - GF=XXX.X : FRONT GARAGE FLOOR ELEVATION
  - (dc) : DENOTES GARAGE FLOOR IS DROPPED 1 COURSE FROM TOP OF FOUNDATION

**PAD DETAIL** NO SCALE

**LOT ELEVATIONS TABLE**

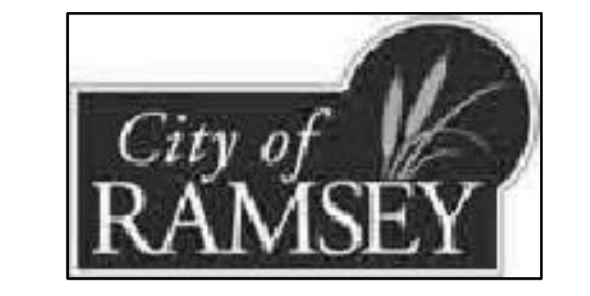
Lot	Block	House Type	Garage Elevation	Driveway Grade	Minimum Floor Elevation	Lowest Opening Elevation	Street Centerline Grade	100 year flood Elevation	Front Yard Slope	Back yard Slope
1	1	SEWO	890.00	3.70%	886.00	886.00	887.55	882.95	3.70%	2%
2	1	SEWO	889.00	6.60%	885.00	885.00	887.2	885.95	6.60%	3%
3	1	SEWO	889.10	7.20%	885.10	885.10	887.2	883.07	7.20%	4.70%
4	1	SEWO	889.10	7.90%	885.10	885.10	887.2	883.07	7.90%	6.50%
5	1	SEWO	889.10	7.20%	885.10	885.10	887.2	883.07	7.20%	5.00%
6	1	SEWO	892.00	5.10%	888.00	888.00	890	883.07	5.10%	4.00%
7	1	SEWO	890.40	2.20%	887.50	887.50	888.5	883.07	2.20%	10%



**DEVELOPER**

**BRYON AND LYNN COLE**  
6951 168TH AVE NW  
RAMSEY, MN 55303

**MUNICIPALITY**



**PROJECT**

**COLE ADDITION**  
RAMSEY, MN

**SHEET INDEX**

SHEET	TITLE
C0.1	CIVIL TITLE SHEET
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C3.2	SWPPP NOTES
C4.1	UTILITY PLAN AND PROFILE
C6.1	STREET PLAN AND PROFILE
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L2.1	LANDSCAPE PLAN

**ISSUE / REVISION HISTORY**

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08 AUG 2017	FINAL PLAT	RTS

**PROJECT MANAGER REVIEW**

BY: RS DATE: 05-22-17

**CERTIFICATION**

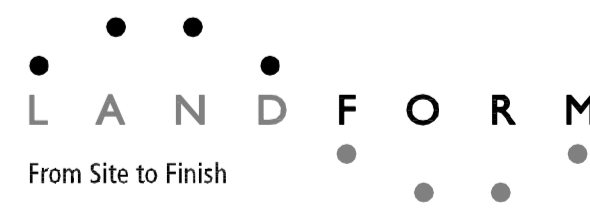
I hereby certify that this plan was prepared by me or under my direct supervision, and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

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**FINAL PLAT**

08-07-2017



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Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME C301ZZZ001.DWG  
PROJECT NO. ZZZ15326

**GRADING AND EROSION CONTROL**

**C3.1**

SHEET NO. 5/13

**NPDES PERMIT AND SWPPP COMPONENTS**

1. THE CURRENT MN NPDES PERMIT DATED AUGUST 1, 2013 IS REFERENCED IN THIS DOCUMENT AS THE PERMIT.

**THE SWPPP INCLUDES THE FOLLOWING COMPONENTS:**

- CONSTRUCTION DOCUMENTS PREPARED BY LANDFORM
- STORM WATER REPORT

**SITE EVALUATION/ASSESSMENT/PLANNING**

1. **CONTACT INFORMATION/RESPONSIBLE PARTIES**  
 THE OPERATOR SHALL HAVE PRIMARY RESPONSIBILITY AND SIGNIFICANT AUTHORITY FOR THE DEVELOPMENT, IMPLEMENTATION, MAINTENANCE, INSPECTION AND AMENDMENTS TO THE APPROVED SWPPP. DUTIES INCLUDE BUT ARE NOT LIMITED TO:  
 • ENSURING FULL COMPLIANCE WITH THE SWPPP AND THE PERMIT  
 • IMPLEMENTING ALL ELEMENTS OF THE SWPPP, INCLUDING BUT NOT LIMITED TO:  
 • IMPLEMENTING PROMPT AND EFFECTIVE EROSION AND SEDIMENT CONTROL MEASURES  
 • IMPLEMENTING ALL NON-STORM WATER MANAGEMENT, AND GOOD HOUSEKEEPING BMPs ENSURING THAT NO MATERIALS OTHER THAN STORM WATER ARE DISCHARGED IN QUANTITIES, WHICH WILL HAVE AN ADVERSE EFFECT ON RECEIVING WATERS OR STORM DRAIN SYSTEMS, ETC.  
 • CONDUCTING ROUTINE INSPECTIONS AND MAINTENANCE  
 • ENSURING ELIMINATION OF ALL UNAUTHORIZED DISCHARGES  
 • COORDINATING TO ASSURE ALL OF THE NECESSARY CORRECTIONS/REPAIRS ARE MADE IMMEDIATELY, AND THAT THE PROJECT COMPLIES WITH THE SWPPP, THE PERMIT, AND APPROVED PLANS AT ALL TIMES.

**STORMWATER POLLUTION PREVENTION MANAGEMENT MEASURES**

1. OWNER/OPERATOR MUST DEVELOP POLLUTION PREVENTION MANAGEMENT MEASURES, IMPLEMENT GOOD HOUSEKEEPING BMPs, MUST FOLLOW ALL APPLICABLE FEDERAL, STATE, AND LOCAL BUILDING CODES, OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA), AND THE GENERAL CONDITIONS AND GENERAL REQUIREMENTS OF THE CONSTRUCTION CONTRACT.
2. THE OPERATOR SHALL MINIMIZE THE EXPOSURE TO STORMWATER OF ANY OF THE PRODUCTS, MATERIAL, OR WASTES STORED ON SITE.
3. BUILDING PRODUCTS THAT HAVE THE POTENTIAL TO LEACH POLLUTANTS MUST BE UNDER COVER.
4. CHEMICALS AND LANDSCAPE MATERIALS SHALL BE UNDER COVER TO PREVENT THE DISCHARGE OF POLLUTANTS.
5. OPERATOR TO TRACK PROGRESS OF THE FOLLOWING ITEMS ON SITE MAPS:
  - PORTABLE TOILETS
  - MATERIAL STORAGE AREAS
  - VEHICLE AND EQUIPMENT FUELING AND MAINTENANCE AREAS
  - CONCRETE WASHOUTS
  - PAINT AND STUCCO WASHOUTS
  - DUMPSTERS OR OTHER TRASH AND DEBRIS CONTAINERS
  - SPILL KITS
  - STOCKPILES
  - ANY OTHER NON-STRUCTURAL NON-STORM WATER MANAGEMENT BMPs
  - ANY TEMPORARILY REMOVED STRUCTURAL BMPs
  - ANY CHANGES TO THE STRUCTURAL BMPs
6. SOLID WASTE: COLLECTED SEDIMENT, ASPHALT AND CONCRETE MILLINGS, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION AND DEMOLITION DEBRIS AND OTHER WASTES MUST BE DISPOSED OF PROPERLY AND MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.
7. HAZARDOUS WASTE: OIL, GASOLINE, PAINT AND ANY HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED, INCLUDING SECONDARY CONTAINMENT, TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM. STORAGE AND DISPOSAL OF HAZARDOUS WASTE OR MATERIALS MUST BE IN COMPLIANCE WITH MINN. R. CH. 7045 INCLUDING SECONDARY CONTAINMENT AS APPLICABLE.
8. PORTABLE TOILETS MUST BE POSITIONED SO THAT THEY ARE SECURE AND WILL NOT BE TIPPED OR KNOCKED OVER.
9. CONCRETE AND OTHER WASHOUT WASTE: OPERATOR MUST PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THE CONTAINMENT MUST BE DESIGNED SO THAT IT DOES NOT RESULT IN RUNOFF FROM THE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA RULES. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY THAT REQUIRES SITE PERSONNEL TO UTILIZE THE PROPER FACILITIES FOR DISPOSAL OF CONCRETE AND OTHER WASHOUT WASTES.
10. EXTERNAL VEHICLE WASHING: EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF MUST BE CONTAINED AND WASTE PROPERLY DISPOSED OF. NO ENGINE DEGREASING IS ALLOWED ON SITE.

**SWPPP CONTACT AND TRAINING INFORMATION**

1. OWNER:  
 BRYON AND LYNN COLE  
 6951 168TH AVENUE  
 ANOKA, MN 55303
2. OPERATOR:  
 TO BE DETERMINED. CONTACT OWNER UNTIL CONTRACTOR IS SELECTED.
3. LONG TERM MAINTENANCE AND OPERATION:  
 CITY OF PLYMOUTH
4. SWPPP DESIGNER:  
 RANDALL HEDLUND, P.E.  
 LANDFORM PROFESSIONAL SERVICES  
 105 SOUTH FIFTH AVENUE, SUITE 513  
 MINNEAPOLIS, MN 55401  
 612-252-9070  
 RHEDLUND@LANDFORM.NET  
 CERTIFICATION: U OF MN, DESIGN OF CONSTRUCTION SWPPP, EXP. MAY 31, 2019
5. SWPPP INSPECTOR/MANAGER:  
 TO BE DETERMINED. CONTACT OWNER UNTIL CONTRACTOR AND SWPPP INSPECTOR/MANAGER IS SELECTED.  
 CERTIFICATION: , EXP.
6. BMP INSTALLATION AND REPAIR:  
 TO BE DETERMINED. CONTACT OWNER UNTIL BMP INSTALLER AND MAINTAINER IS SELECTED.  
 CERTIFICATION: , EXP.

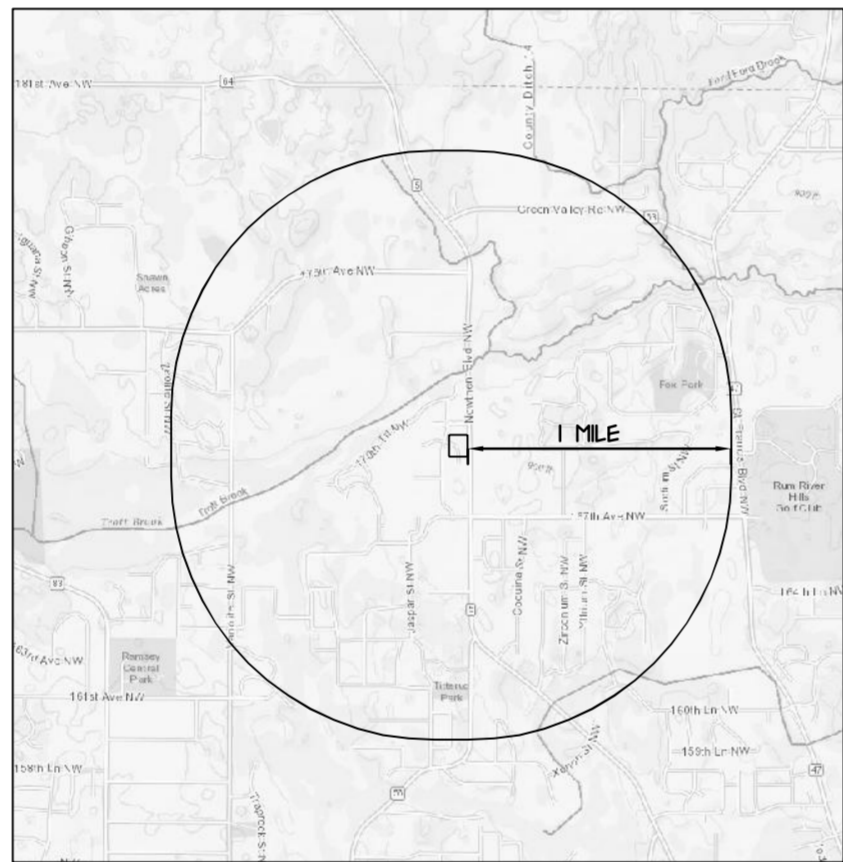
**DESCRIPTION OF CONSTRUCTION ACTIVITY**

1. CONSTRUCTION ACTIVITY INCLUDES EROSION AND SEDIMENT CONTROL, BMPs INSTALLATION, CLEARING AND GRUBBING, SITE GRADING, UTILITY INSTALLATION, PAVING, BUILDING CONSTRUCTION, AND LANDSCAPING.

**SCHEDULE OF BMP INSTALLATION AND CONSTRUCTION ACTIVITY**

1. INSTALL PERIMETER SEDIMENT CONTROL BMPs PRIOR TO START OF OTHER SITE WORK. REFER TO GRADING, DRAINAGE, PAVING AND EROSION CONTROL SHEET(S) FOR INITIAL LOCATIONS OF BMPs.
2. PROTECT INFILTRATION AREAS WITH CONSTRUCTION FENCING.
3. CONSTRUCT TEMPORARY/PERMANENT SEDIMENTATION BASINS PRIOR TO UPLAND DISTURBANCE. INSTALL PERIMETER SEDIMENT CONTROL BMPs AROUND NORMAL WATER LEVEL.
4. STABILIZE OUTLETS FROM TEMPORARY/PERMANENT SEDIMENTATION BASINS.
5. PERFORM WORK IN PHASES TO MINIMIZE DISTURBED AREA AT ANY ONE TIME.
6. STRIP TOPSOIL FROM AREAS TO BE DISTURBED AND STOCKPILE WITH PERIMETER SEDIMENT CONTROL BMPs. PROVIDE STABILIZATION IF LEFT LONGER THAN 14 DAYS.
7. ROUGH GRADE SITE.
8. INSTALL UTILITIES.
9. INSTALL SMALL UTILITIES (GAS, ELECTRIC, COMMUNICATIONS).
10. FINAL GRADE PAVEMENT AREAS AND COMPACT SUBGRADE.
11. LAY DOWN PAVEMENT AGGREGATE AND COMPACT.
12. INSTALL CURB AND GUTTER. BACKFILL AFTER A MINIMUM OF THREE DAYS.
13. CONSTRUCT BUILDING/ADDITION AND SITE FEATURES.
14. CONSTRUCT SITE WALKS AND PATIOS.
15. PROVIDE FINAL STABILIZATION.
16. REMOVE TEMPORARY BMPs.

**WATERS WITHIN ONE MILE OF SITE**



**IMPAIRED WATERS - REQUIRED TMDLS**

- THERE ARE NO IMPAIRED WATERS WITHIN 1 MILE OF THE SITE

**EROSION PREVENTION AND SEDIMENT CONTROL**

1. SEE GRADING, DRAINAGE, PAVING AND EROSION CONTROL SHEETS FOR THE LOCATION AND TYPE OF TEMPORARY EROSION PREVENTION AND SEDIMENT CONTROL BMPs. SEE GRADING AND DRAINAGE, UTILITY, PLANTING, AND LANDSCAPE SHEETS FOR THE LOCATION AND TYPE OF PERMANENT EROSION PREVENTION AND SEDIMENT CONTROL BMPs.

2. **MINIMIZE DISTURBED AREAS AND PROTECT NATURAL FEATURES AND SOIL**  
 APPROPRIATE CONSTRUCTION PRACTICES (E.G. CONSTRUCTION PHASING, VEGETATIVE BUFFER STRIPS, HORIZONTAL SLOPE GRADING) SHALL BE USED TO MINIMIZE EROSION AREAS NOT TO BE DISTURBED WILL BE DELINEATED (E.G. WITH FLAGS, STAKES, SIGNS, SILT FENCE ETC.) BEFORE WORK BEGINS.  
 OPERATOR SHALL DEVELOP METHODS TO MINIMIZE SOIL COMPACTION OUTSIDE OF BUILDING PADS, PAVEMENT AREAS AND UTILITY TRENCHES AND SHALL USE TRACKED EQUIPMENT WHEREVER PRACTICABLE.  
 TOPSOIL SHALL BE SALVAGED AND REUSED TO THE EXTENT PRACTICABLE.

3. **PHASE CONSTRUCTION ACTIVITY**  
 SEDIMENT CONTROL PRACTICES SHALL BE ESTABLISHED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UPGRADING LAND DISTURBING ACTIVITIES BEGINS. THESE PRACTICES SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION HAS BEEN ESTABLISHED IN ACCORDANCE WITH THE PERMIT.  
 THE TYPING OF THE INSTALLATION OF SEDIMENT CONTROL PRACTICES MAY BE ADJUSTED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING OR GRUBBING, OR PASSAGE OF VEHICLES. ANY SHORT-TERM ACTIVITY MUST BE COMPLETED AS QUICKLY AS POSSIBLE AND THE SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED IMMEDIATELY AFTER THE ACTIVITY IS COMPLETED. HOWEVER, SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED BEFORE THE NEXT PRECIPITATION EVENT EVEN IF THE ACTIVITY IS NOT COMPLETE.

4. **CONTROL STORM WATER FLOWING ONTO AND THROUGH THE PROJECT**  
 THE NORMAL WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE THAT DRAINS WATER FROM ANY PORTION OF THE CONSTRUCTION SITE, OR DIVERTS WATER AROUND THE SITE, SHALL BE STABILIZED WITHIN 200 LINEAL FEET FROM THE PROPERTY EDGE, OR FROM THE POINT OF DISCHARGE INTO ANY SURFACE WATER.  
 STABILIZATION OF THE LAST 200 LINEAL FEET SHALL BE COMPLETED WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER.  
 STABILIZATION OF THE REMAINING PORTIONS OF ANY TEMPORARY OR PERMANENT DITCHES OR SWALES SHALL BE COMPLETE WITHIN 14 DAYS AFTER CONNECTING TO A SURFACE WATER AND CONSTRUCTION IN THAT PORTION OF THE DITCH HAS TEMPORARILY OR PERMANENTLY CEASED.

TEMPORARY OR PERMANENT DITCHES OR SWALES THAT ARE BEING USED AS A SEDIMENT CONTAINMENT SYSTEM (WITH PROPERLY DESIGNED ROCK DITCH CHECKS, BIO ROLLS, SILT DIKES ETC.) DO NOT NEED TO BE STABILIZED. THESE AREAS SHALL BE STABILIZED WITHIN 24 HOURS AFTER NO LONGER BEING USED AS A SEDIMENT CONTAINMENT SYSTEM.

5. **STABILIZE SOILS**  
 ALL EXPOSED SOIL AREAS (INCLUDING STOCKPILES) MUST BE STABILIZED IMMEDIATELY TO LIMIT SOIL EROSION WHEN THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED AND WILL NOT RESUME FOR 7 CALENDAR DAYS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT SILT, CLAY OR ORGANIC COMPONENTS (E.G. CLEAN AGGREGATE STOCKPILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES) AND THE CONSTRUCTED BASE COMPONENTS OF ROADS, PARKING LOTS AND SIMILAR SURFACES ARE EXEMPT FROM THIS REQUIREMENT.  
 TEMPORARY SOIL STOCKPILES SHALL HAVE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS, AND CANNOT BE PLACED IN SURFACE WATERS, INCLUDING STORM WATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS, OR CONDUITS AND DITCHES UNLESS THERE IS A BYPASS IN PLACE FOR THE STORM WATER.

WHEN THE SITE HAS A DISCHARGE POINT WITHIN ONE MILE OF, AND FLOWS TO, A SPECIAL OR IMPAIRED WATERS, ALL EXPOSED SOIL AREAS SHALL BE STABILIZED IMMEDIATELY TO LIMIT SOIL EROSION IN THAT PORTION OF THE SITE WHERE CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED.

6. **PROTECT SLOPES**  
 OPERATOR SHALL AVOID WORK ON SLOPES WITH A GRADE OF 3:1 OR GREATER WHEN PRACTICABLE. GRADING ON SLOPES WITH A GRADE OF 3:1 OR STEEPER WILL REQUIRE TECHNIQUES SUCH AS PHASING AND STABILIZATION PRACTICES DESIGNED FOR STEEP SLOPES (E.G., SLOPE DRAINING AND TERRACING).

7. **PROTECT STORM DRAIN INLETS**  
 ALL STORM DRAIN INLETS SHALL BE PROTECTED BY APPROPRIATE BMPs DURING CONSTRUCTION UNTIL ALL SOURCES WITH POTENTIAL FOR DISCHARGING TO THE INLET HAVE BEEN STABILIZED. INLET PROTECTION MAY BE TEMPORARILY REMOVED IF A SPECIFIC SAFETY CONCERN HAS BEEN IDENTIFIED.

8. **ESTABLISH PERIMETER CONTROLS AND SEDIMENT BARRIERS**  
 9. **RETAIN SEDIMENT ON-SITE AND CONTROL DEWATERING PRACTICES**  
 DEWATERING OR BASIN DRAINING OF TURBID OR SEDIMENT LADEN WATER RELATED TO CONSTRUCTION ACTIVITIES SHALL BE DISCHARGED IN A TEMPORARY OR PERMANENT SEDIMENTATION BASIN OR TREATED WITH THE APPROPRIATE BMP PRIOR TO ENTERING THE SURFACE WATER.  
 DISCHARGE SHALL NOT CAUSE NUISANCE CONDITIONS, EROSION IN RECEIVING CHANNELS, ADVERSELY AFFECT RECEIVING WATER OR IMPACT WETLANDS, OR DOWNSTREAM PROPERTIES. DISCHARGE POINTS SHALL BE ADEQUATELY PROTECTED FROM EROSION AND SCOUR BY ACCEPTED ENGINEERING MEASURES.  
 DISCHARGE WATER CONTAINING OIL OR GREASE SHALL BE TREATED TO REMOVE OIL OR GREASE PRIOR TO DISCHARGE TO SURFACE WATERS.  
 REFER TO PERMIT REQUIREMENTS FOR TEMPORARY OR PERMANENT SEDIMENT BASINS.

10. **ESTABLISH STABILIZED CONSTRUCTION EXITS**  
 VEHICLE TRACKING PADS SHALL BE ESTABLISHED AS SHOWN ON THE GRADING, DRAINAGE, PAVING AND EROSION CONTROL SHEET TO MINIMIZE TRACKING OF SEDIMENT FROM THE CONSTRUCTION SITE ONTO ADJACENT STREETS.

11. **POST CONSTRUCTION BMPs**  
 SEE GRADING AND DRAINAGE, UTILITY, AND LANDSCAPE SHEETS FOR POST CONSTRUCTION BMPs.

12. **TEMPORARY SEDIMENTATION BASIN(S)**  
 THIS PROJECT DOES NOT HAVE MORE THAN 10 ACRES DRAINING TO A COMMON LOCATION AND THEREFORE A TEMPORARY SEDIMENT BASIN IS NOT REQUIRED.  
 TEMPORARY SEDIMENT BASINS SHALL PROVIDE TREATMENT TO RUNOFF BEFORE IT LEAVES THE CONSTRUCTION SITE OR ENTERS SURFACE WATERS. THE CONTRACTOR SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:  
 A. SEDIMENTATION BASINS MUST PROVIDE LIVE STORAGE OF RUNOFF RESULTING FROM THE 2-YR 24-HR RAINFALL EVENT FROM EACH ACRE DRAINED TO THE BASIN WITH A MINIMUM OF 1,800 CF/ACRE LIVE STORAGE VOLUME. (WHERE NO CALCULATION HAS BEEN PERFORMED, EACH BASIN SHALL PROVIDE AT LEAST 3,600 CF/ACRE OF LIVE STORAGE.) SEDIMENTATION BASINS MUST INCLUDE A STABILIZED EMERGENCY OVERFLOW TO PREVENT BASIN INTEGRITY FAILURE.  
 B. DISCHARGE FROM TEMPORARY SEDIMENTATION BASINS WILL BE WITHDRAWN FROM THE SURFACE IN ORDER TO MINIMIZE THE DISCHARGE OF POLLUTANTS.  
 DISCHARGE FROM BASIN DRAINING SHALL NOT ADVERSELY AFFECT THE RECEIVING WATER OR DOWNSTREAM PROPERTIES. CONTRACTOR WILL VISUALLY CHECK TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED AND THAT NUISANCE CONDITIONS WILL NOT RESULT FROM THE DISCHARGE.  
 ANY DISCHARGE OBSERVED TO BE OCCURRING DURING THE INSPECTION SHALL BE RECORDED, DESCRIBED, AND PHOTOGRAPHED.

**INSPECTIONS AND MAINTENANCE**

1. INSPECTIONS OF THE CONSTRUCTION SITE SHALL BE CONDUCTED ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS, AND WITHIN SEVEN (7) DAYS AFTER THAT. REFER TO THE PERMIT FOR INSPECTION AND MAINTENANCE REQUIREMENTS.

2. INSPECTIONS SHALL INCLUDE STABILIZED AREAS, EROSION PREVENTION AND SEDIMENT CONTROL BMPs, AND INFILTRATION AREAS.  
 3. BMP MAINTENANCE:  
 • FOLLOW THE DESIGNER'S OR MANUFACTURER'S RECOMMENDED MAINTENANCE PROCEDURES FOR ALL BMPs.  
 • REMOVE SEDIMENT FROM BMPs WHEN THE DEPTH OF SEDIMENT HAS REACHED 1/2 THE HEIGHT OF THE BMP AND PROPERLY DISPOSE OF SEDIMENT INTO CONTROLLED AREAS TO PREVENT SOIL FROM RETURNING TO THE BMP DURING SUBSEQUENT RAIN EVENTS.  
 • REMOVE SEDIMENT FROM PAVED ROADWAYS AND FROM AROUND BMPs PROTECTING STORM DRAIN INLETS.  
 • ENSURE THAT CONSTRUCTION SUPPORT ACTIVITIES, INCLUDING BORROW AREAS, WASTE AREAS, CONTRACTOR WORK AREAS, AND MATERIAL STORAGE AREAS AND DEDICATED CONCRETE AND ASPHALT BATCH PLANTS ARE CLEANED AND MAINTAINED.  
 • REPLACE DAMAGED BMPs THAT NO LONGER OPERATE EFFECTIVELY.

4. **RECORDKEEPING/RECORD RETENTION**  
 THE SWPPP (ORIGINAL OR COPIES) INCLUDING, ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS SHALL BE KEPT AT THE SITE DURING CONSTRUCTION BY THE OWNER/OPERATOR WHO HAS OPERATIONAL CONTROL OF THAT PORTION OF THE SITE. THE SWPPP CAN BE KEPT IN EITHER THE FIELD OFFICE OR IN AN ON SITE VEHICLE DURING NORMAL WORKING HOURS.  
 ALL OWNER(S) MUST KEEP THE SWPPP, ALONG WITH THE FOLLOWING ADDITIONAL RECORDS, ON FILE FOR THREE (3) YEARS AFTER SUBMITTAL OF THE NOTICE OF TERMINATION (NOT). THIS DOES NOT INCLUDE ANY RECORDS AFTER SUBMITTAL OF THE NOT.  
 THE FOLLOWING IS A LIST OF RECORDS THAT SHALL BE KEPT AT THE PROJECT SITE AVAILABLE FOR INSPECTORS TO REVIEW:  
 • COPY OF THE SWPPP, WITH ANY MODIFICATIONS  
 • INSPECTION AND MAINTENANCE RECORDS  
 • PERMANENT OPERATION AND MAINTENANCE AGREEMENTS  
 • CALCULATIONS FOR THE DESIGN OF TEMPORARY AND PERMANENT STORM WATER MANAGEMENT SYSTEMS  
 • ANY OTHER PERMITS REQUIRED FOR THE PROJECT  
 • RECORDS OF ALL INSPECTION AND MAINTENANCE CONDUCTED DURING CONSTRUCTION  
 • ALL PERMANENT OPERATION AND MAINTENANCE AGREEMENTS THAT HAVE BEEN IMPLEMENTED, INCLUDING ALL RIGHT OF WAY, CONTRACTS, COVENANTS AND OTHER BINDING REQUIREMENTS REGARDING PERPETUAL MAINTENANCE; AND  
 • ALL REQUIRED CALCULATIONS FOR DESIGN OF THE TEMPORARY AND PERMANENT STORM WATER MANAGEMENT SYSTEMS.

5. **LOG OF CHANGES TO THE SWPPP/AMENDMENTS**  
 THE OWNER/OPERATOR(S) MUST AMEND THE SWPPP AS NECESSARY TO INCLUDE ADDITIONAL REQUIREMENTS, SUCH AS ADDITIONAL OR MODIFIED BMPs, DESIGNED TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS AS DETAILED IN THE PERMIT.

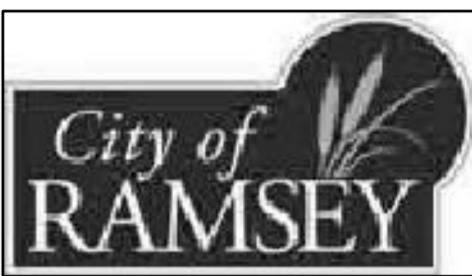
6. **FINAL STABILIZATION**  
 THE OWNER/OPERATOR(S) MUST ENSURE FINAL STABILIZATION OF THE SITE. FINAL STABILIZATION AS DEFINED IN THE PERMIT.

7. **TERMINATION OF COVERAGE**  
 OWNER/OPERATOR(S) WISHING TO TERMINATE COVERAGE UNDER THIS PERMIT MUST SUBMIT A NOTICE OF TERMINATION (NOT) TO THE MPCA. COMPLIANCE WITH THIS PERMIT IS REQUIRED UNTIL A NOT IS SUBMITTED. REFER TO THE PERMIT FOR DETAILS.

**DEVELOPER**

**BRYON AND LYNN COLE**  
 6951 168TH AVENUE NW  
 RAMSEY, MN 55303

**MUNICIPALITY**



**PROJECT**

**COLE ADDITION RAMSEY, MN**

**SHEET INDEX**

SHEET	TITLE
CO.1	CIVIL TITLE SHEET
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C1.2	DEMOLITION PLAN
C2.1	PRELIMINARY PLAT & SITE PLAN
C3.1	GRADING, DRAINAGE, AND EROSION CONTROL PLAN
C3.2	SWPPP NOTES
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C7.3	CONSTRUCTION DETAILS
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L2.1	LANDSCAPE PLAN

**ISSUE / REVISION HISTORY**

CONTACT ENGINEER FOR ANY PRIOR HISTORY			
DATE	ISSUE / REVISION	REVIEW	
23 MAY 2017	SKETCH PLAN		
01 JUN 2017	PRELIMINARY & FINAL PLAT		RTS
06 JUL 2017	WATERSHED SUBMITTAL		RTS
08 AUG 2017	FINAL PLAT		RTS

**PROJECT MANAGER REVIEW**

BY: \_\_\_\_\_ DATE: 05-22-17

**CERTIFICATION**

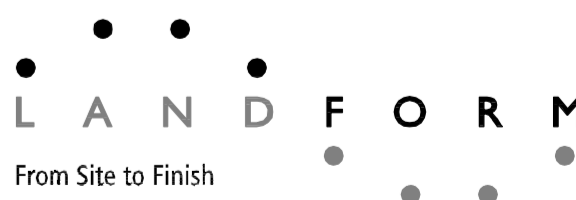
I hereby certify that the plan was prepared by me or under my direct supervision, and that I am a duly licensed Professional Engineer under the laws of the state of MINNESOTA.

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**FINAL PLAT**

08-07-2017



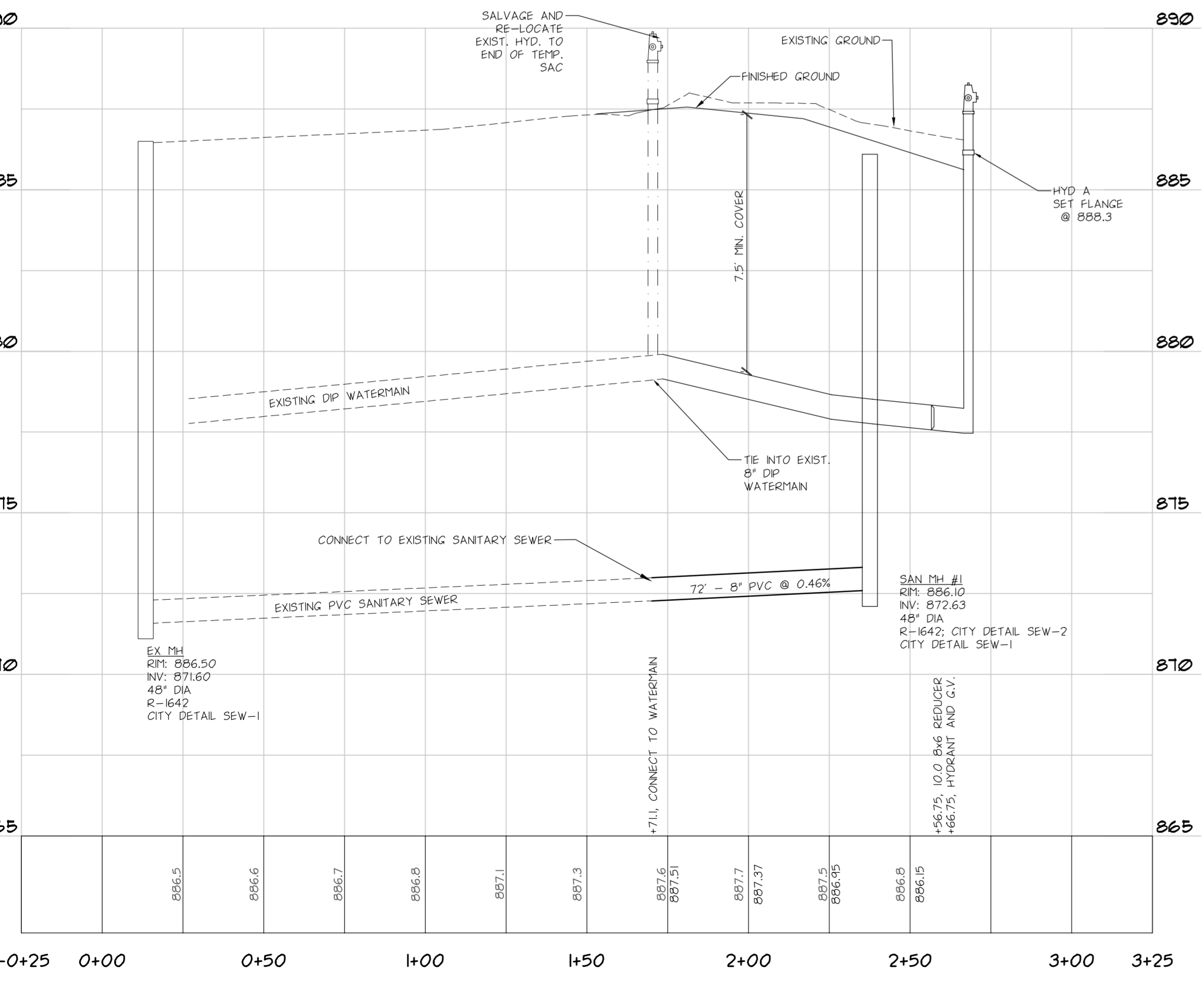
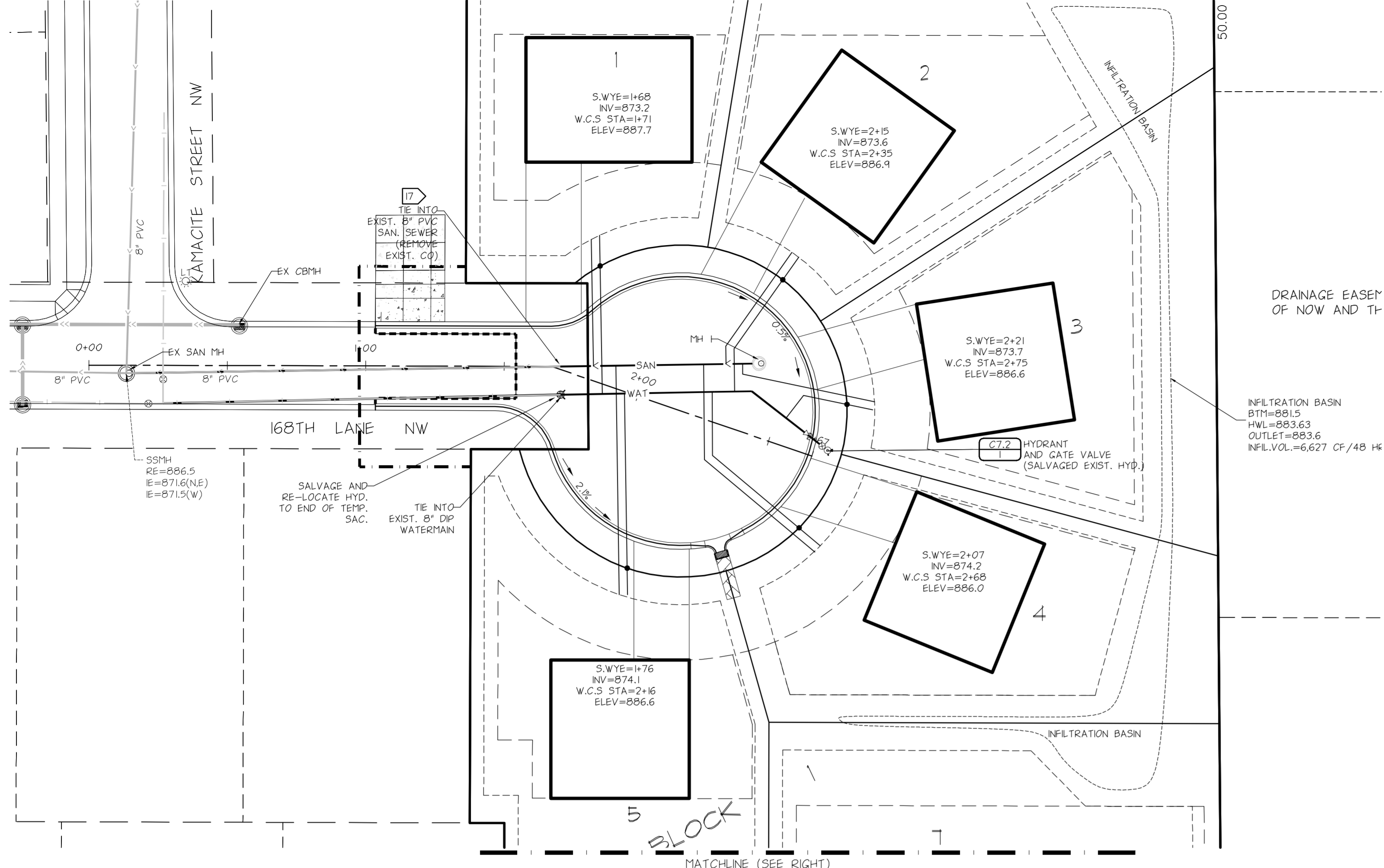
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 Minneapolis, MN 55401 Web: landform.net

FILE NAME C302ZZZ001.DWG

PROJECT NO. ZZZZ15326

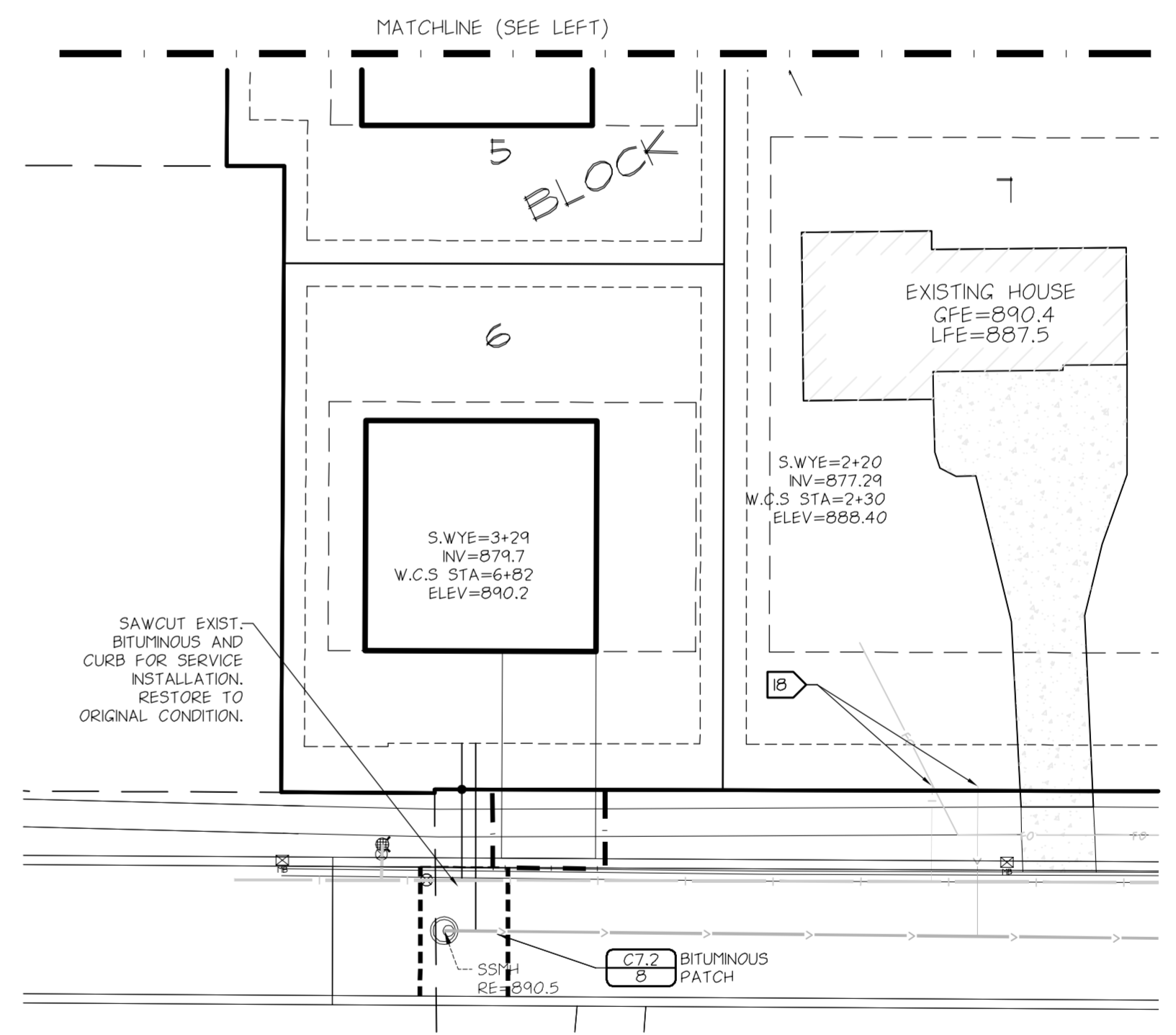
SWPPP NOTES

**C3.2**



LEGEND	
SYMBOL	DESCRIPTION
	EXISTING STORM LINE
	EXISTING WATER MAIN
	EXISTING SANITARY MAIN

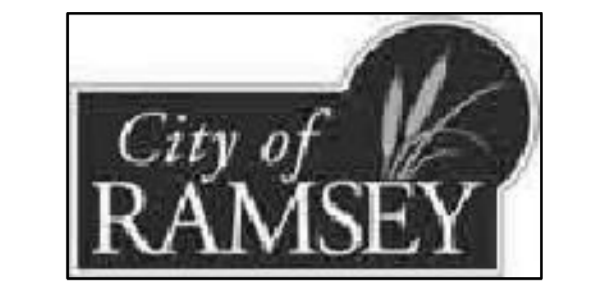
- | UTILITY NOTES   |   |
|---|---|
| 2. PIPE MATERIALS<br>WATERMAIN<br>WATER SERVICE<br>SANITARY SEWER<br>SAN. SEWER SERVICE   | 8" DIP CLASS 52 (6" DIP AND SMALLER CLASS 53)<br>1" COPPER TYPE K (ASTM B88)<br>8" PVC SDR 35<br>4" PVC SDR 35, SCHEDULE 40 |
| 3. CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING.  |   |
| 4. CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL UTILITY POINTS OF CONNECTION PRIOR TO CONSTRUCTION OF ANY PROPOSED UTILITIES. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF THERE IS ANY DISCREPANCY.  |   |
| 5. CONTRACTOR TO POTHOLE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION OF NEW UTILITIES TO VERIFY DEPTHS OF EXISTING LINES. CONTACT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE DISCOVERED.   |   |
| 6. PROVIDE MEANS AND MEASURES TO PROTECT ADJACENT PROPERTY FROM DAMAGE DURING UTILITY INSTALLATION.   |   |
| 7. PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE OR END OF END SECTION.  |   |
| 8. INSTALL TRACER WIRE WITH ALL NON-CONDUCTIVE UTILITIES.   |   |
| 9. CONNECT TO CITY UTILITIES IN ACCORDANCE WITH CITY OF RAMSEY STANDARDS.   |   |
| 10. CONTACT CITY OF RAMSEY ENGINEERING FOR WET TAP INSPECTION.  |   |
| 11. MAINTAIN 7.5 FEET OF COVER ON WATER.  |   |
| 12. DEFLECT WATER TO MAINTAIN 18-INCH MINIMUM OUTSIDE SEPARATION AT SEWER CROSSINGS. CENTER PIPE LENGTHS TO PROVIDE GREATEST SEPARATION BETWEEN JOINTS.   |   |
| 13. CONTACT MIKE MADWALL, CITY OF RAMSEY ENGINEERING DEPARTMENT, AT 763-433-9894 FOR FLUSHING AND PRESSURE TEST INSPECTIONS.  |   |
| 14. THE WATER DISTRIBUTION SYSTEM SHALL BE DISINFECTED PER MINNESOTA RULES, PART 4715.2250.   |   |
| 15. COMPACT COHESIVE SOILS IN PAVED AREAS TO 95% OF MAXIMUM DRY DENSITY, STANDARD PROCTOR (ASTM D698) EXCEPT THE TOP 3 FEET WHICH SHALL BE COMPACTED TO 100%. COMPACT TO 98% DENSITY WHERE FILL DEPTH EXCEEDS 10 FEET. THE SOILS SHALL BE WITHIN 3% OF OPTIMUM MOISTURE CONTENT. IN GRANULAR SOILS ALL PORTIONS OF THE EMBANKMENT SHALL BE COMPACTED TO NOT LESS THAN 95% OF MODIFIED PROCTOR DENSITY (ASTM D1557). |   |
| 16. ADJUST STRUCTURES TO FINAL GRADE WHERE DISTURBED. COMPLY WITH REQUIREMENTS OF UTILITY. MEET REQUIREMENTS FOR TRAFFIC LOADING IN PAVED AREAS.  |   |
| EXISTING SEWER MAIN, CONTRACTOR SHOULD FIELD VERIFY INVERTS   |   |
| EXISTING SERVICE STUBS, CONTRACTOR SHALL FIELD VERIFY INVERTS   |   |



DEVELOPER

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PROJECT

**COLE  
ADDITION  
RAMSEY, MN**

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PROJECT MANAGER REVIEW

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FINAL PLAT

08-07-2017

LANDFORM  
From Site to Finish

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FILE NAME C401ZZZ001.DWG  
PROJECT NO. ZZZ15326

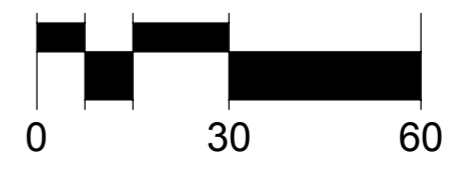
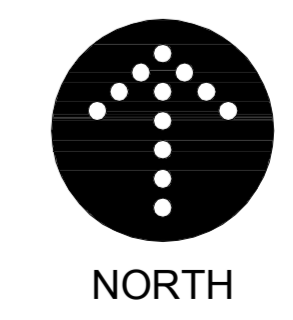
UTILITY PLAN & PROFILES

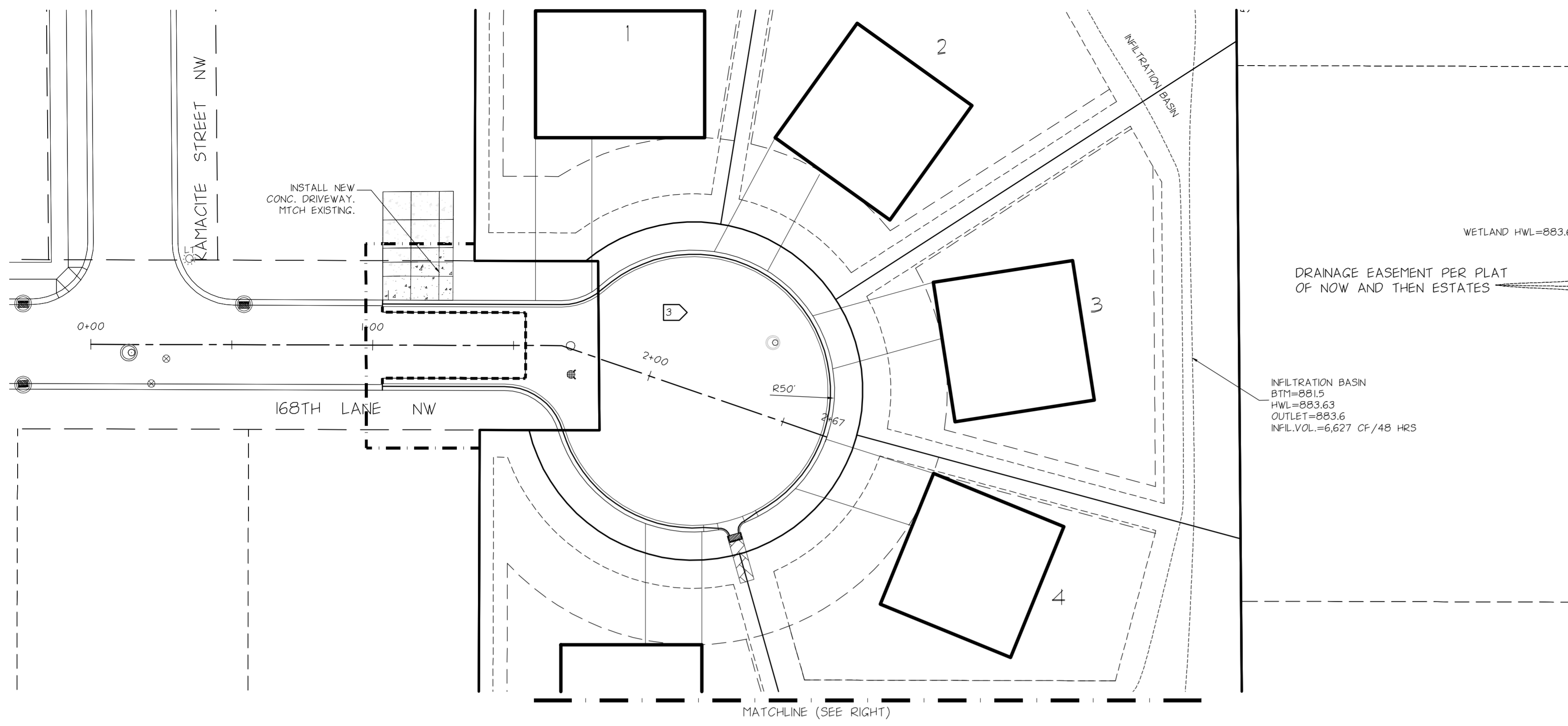
**C4.1**

SHEET NO. 7/13



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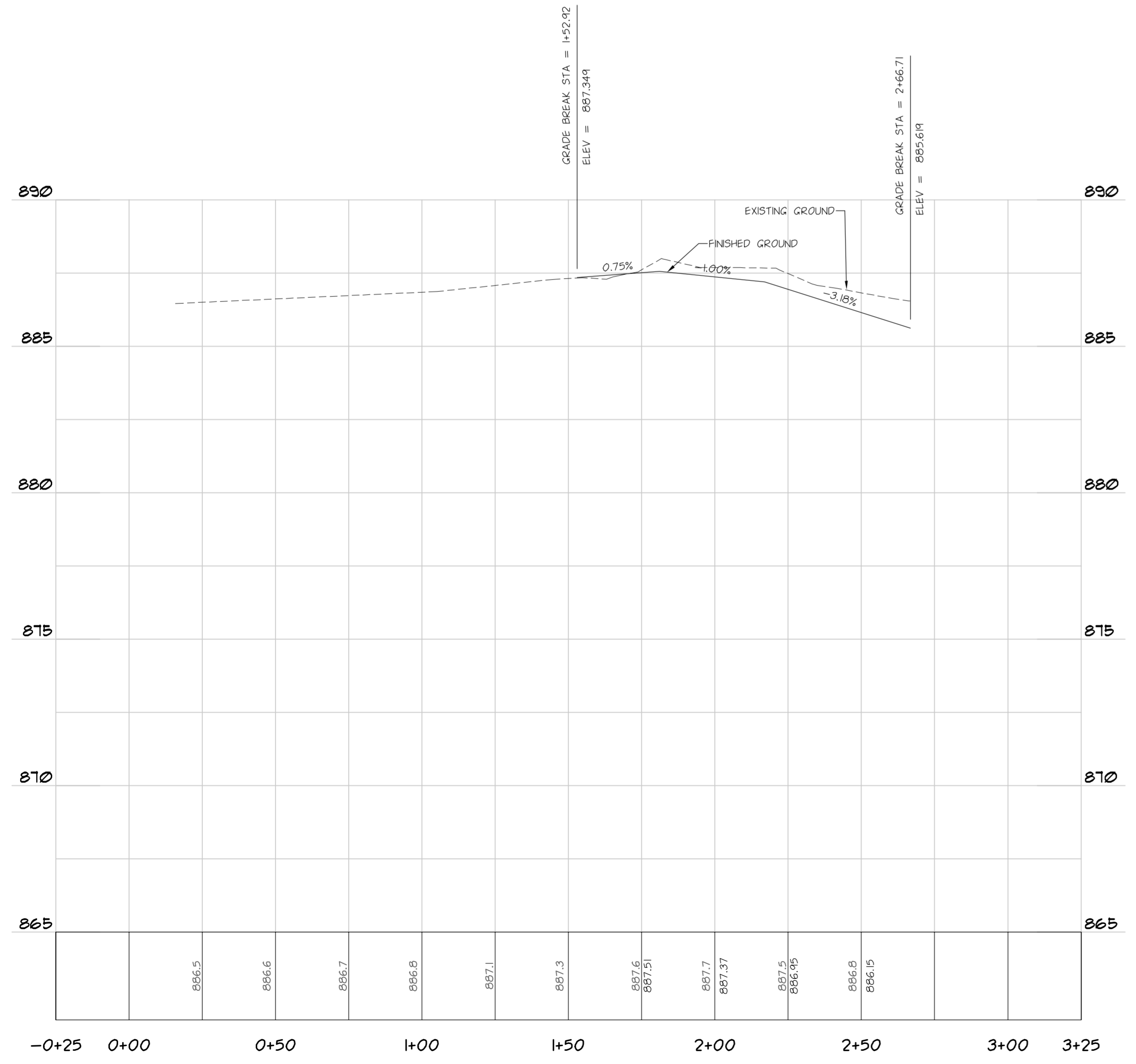
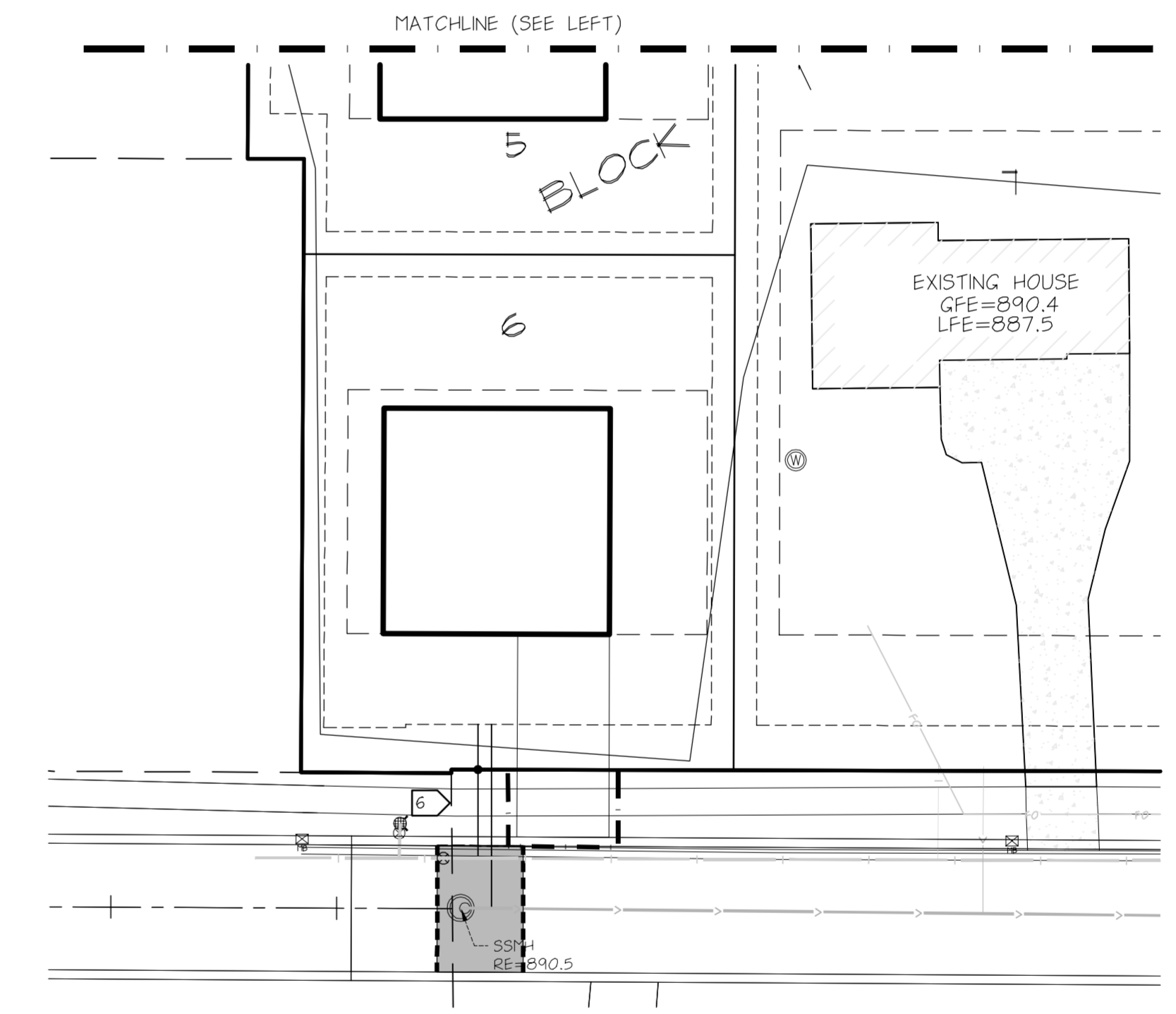


**PAVING NOTES**

- SPOT ELEVATIONS AT CURBLINES INDICATE FLOWLINES UNLESS NOTED OTHERWISE. SEE SHEET C4.1 FOR RIM ELEVATIONS OF CATCH BASINS.
  - MEET AND MATCH EXISTING CURB. PROVIDE 2 FOOT TRANSITION.
  - PAVING SECTIONS PER CITY OF RAMSEY DETAILS (SHEET C7.2/6) MATCH EXISTING PAVEMENT.
  - CONTRACTOR TO NOTIFY NEIGHBORING RESIDENCES AND CITY AT LEAST 1 WEEK HOURS IN ADVANCE OF ANY OPEN CUTTING ROADWAYS OR ANY WORK THAT WOULD IMPEDE OR CLOSE TRAFFIC/ROADS.
  - 168TH AVENUE SHALL BE SEALCOATED AFTER ALL PATCHING COMPLETE.
- CONCRETE SIDEWALK PAVING SECTION
- 6) a) 6" CONCRETE SLAB  
6" AGGREGATE BASE (MNDOT 313B, CLASS 5)  
COMPACTED SUBSOIL

**LEGEND**

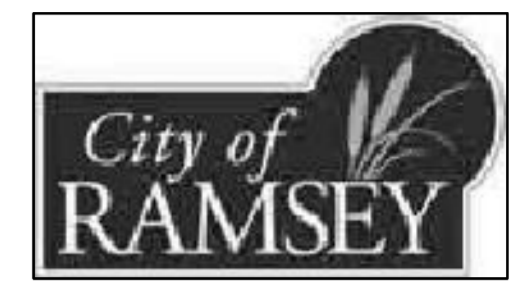
- CONSTRUCTION LIMITS
- PROPOSED CONCRETE
- BITUMINOUS PATCH



**DEVELOPER**

**BRYON AND LYNN COLE**  
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**MUNICIPALITY**



**PROJECT**

**COLE ADDITION**  
RAMSEY, MN

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BY: RS DATE: 05-22-17

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**FINAL PLAT**

08-07-2017

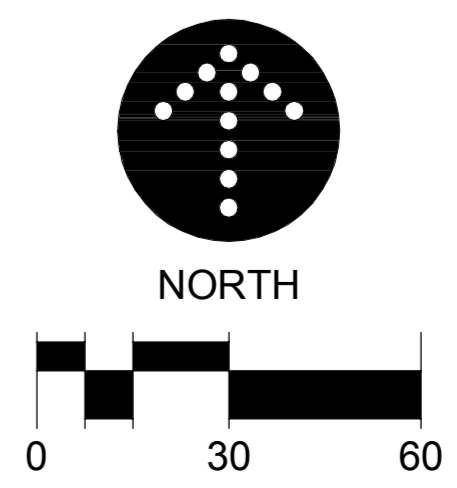
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From Site to Finish

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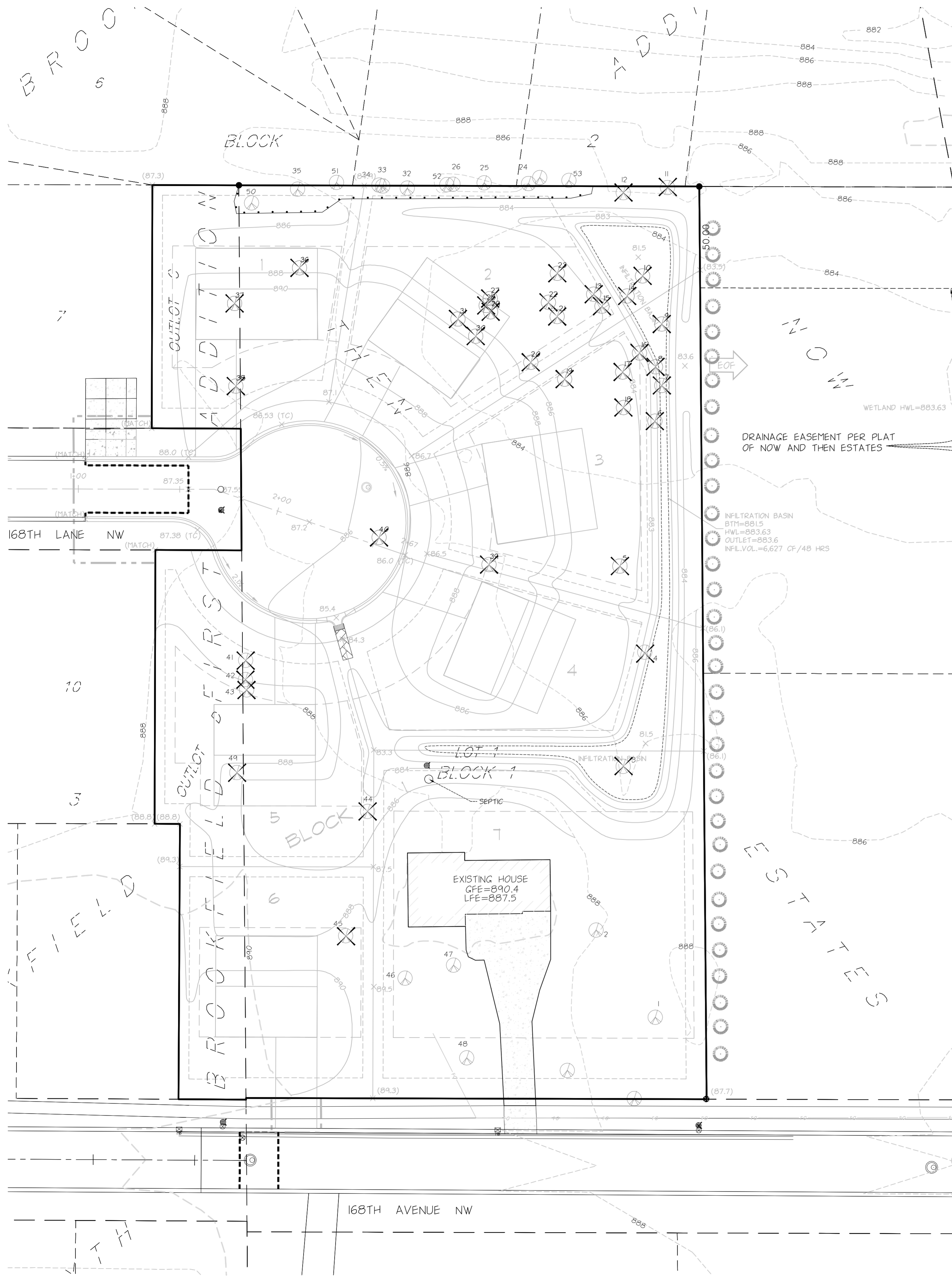
**STREET PLAN & PROFILE**  
**C6.1**  
SHEET NO. 7/13











**TABLE**

Tree #	Species	DBH	Condition	Stems	Removed	Saved
1	Maple, silver	14.0	Good	1		X
2	Maple, silver	15.5	Good	1		X
3*	Maple, silver	17.0	Fair	1	X	
4*	Maple, silver	9.5	Good	1	X	
5	Elm, Siberian	10.0	Fair	1	X	
6*	Boxelder	8.0	Fair	1	X	
7*	Boxelder	16.0	Fair	3	X	
8*	Boxelder	27.0	Fair	5	X	
9*	Boxelder	21.0	Fair	3	X	
10*	Boxelder	25.0	Fair	4	X	
11*	Boxelder	46.0	Fair	4	X	
12*	Boxelder	42.5	Fair	5	X	
13*	Boxelder	13.0	Fair	2	X	
14*	Boxelder	13.0	Fair	3	X	
15*	Boxelder	10.5	Fair	2	X	
16*	Boxelder	12.5	Fair	2	X	
17	Boxelder	12.0	Fair	2	X	
18	Boxelder	8.5	Fair	2	X	
19	Boxelder	9.0	Fair	2	X	
20	Boxelder	13.0	Fair	2	X	
21	Boxelder	11.5	Fair	2	X	
22	Boxelder	24.0	Fair	5	X	
23	Boxelder	14.0	Fair	2	X	
24	Boxelder	21.0	Fair	3		X
25	Boxelder	29.0	Fair	3		X
26	Boxelder	24.0	Fair	1		X
27	Boxelder	8.5	Good	1	X	
28	Boxelder	16.5	Fair	3	X	
29	Boxelder	8.0	Good	1	X	
30	Boxelder	14.0	Fair	2	X	
31	Boxelder	8.5	Good	1	X	
32	Boxelder	40.0	Fair	1		X
33	Boxelder	10.5	Fair	1		X
34	Boxelder	11.0	Fair	1		X
35	Boxelder	38.0	Fair	1		X
36	Boxelder	8.0	Good	1	X	
37	Boxelder	8.5	Fair	1	X	
38	Boxelder	12.5	Fair	1	X	
39	Cottonwood	15.0	Good	1	X	
40	Elm, Siberian	15.0	Fair	3	X	
41	Boxelder	11.0	Good	1	X	
42	Boxelder	10.0	Good	1	X	
43	Boxelder	10.5	Fair	1	X	
44	Maple, silver	22.0	Good	1	X	
45	Maple, silver	24.0	Fair	1	X	
46	Ash, green	11.0	Good	1		X
47	Ash, green	13.0	Good	1		X
48	Ash, green	14.0	Fair	1		X
49	Ash, green	17.0	Good	1	X	
50	Boxelder	16.0	Fair	1		X
51	Boxelder	16.0	Fair	1		X
52	Boxelder	8.0	Fair	1		X
53	Boxelder	8.0	Fair	1		X

\* EXEMPT DUE TO STORM WATER PONDING LOCATION

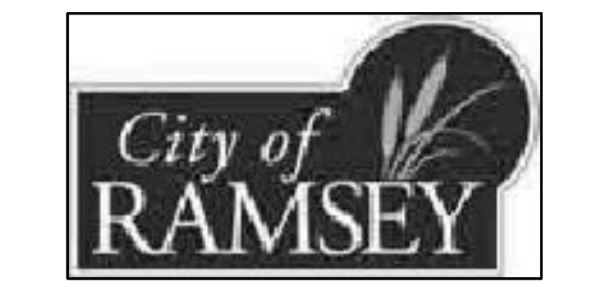
**TREE SUMMARY**

Total Sig. Tree Inches:	861.0
Total Sig. Tree Inches (Exempt):	261
Net Sig. Tree Inches:	600
60% allowable sig. tree removals (threshold):	360
Removal inches (Non-exempt):	311.0
Removal inches above threshold:	0.0
Removal Percentage:	51.8%
Replacement Inches:	0.00

**DEVELOPER**

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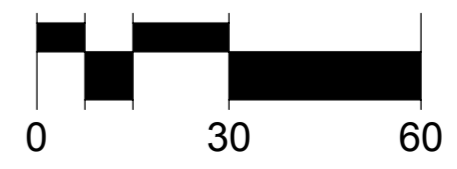
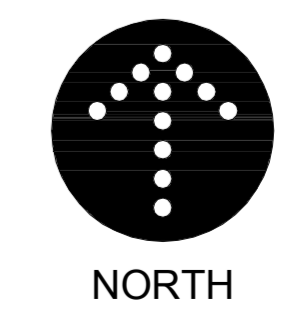
**TREE PRESERVATION  
PLAN AND TABLE**

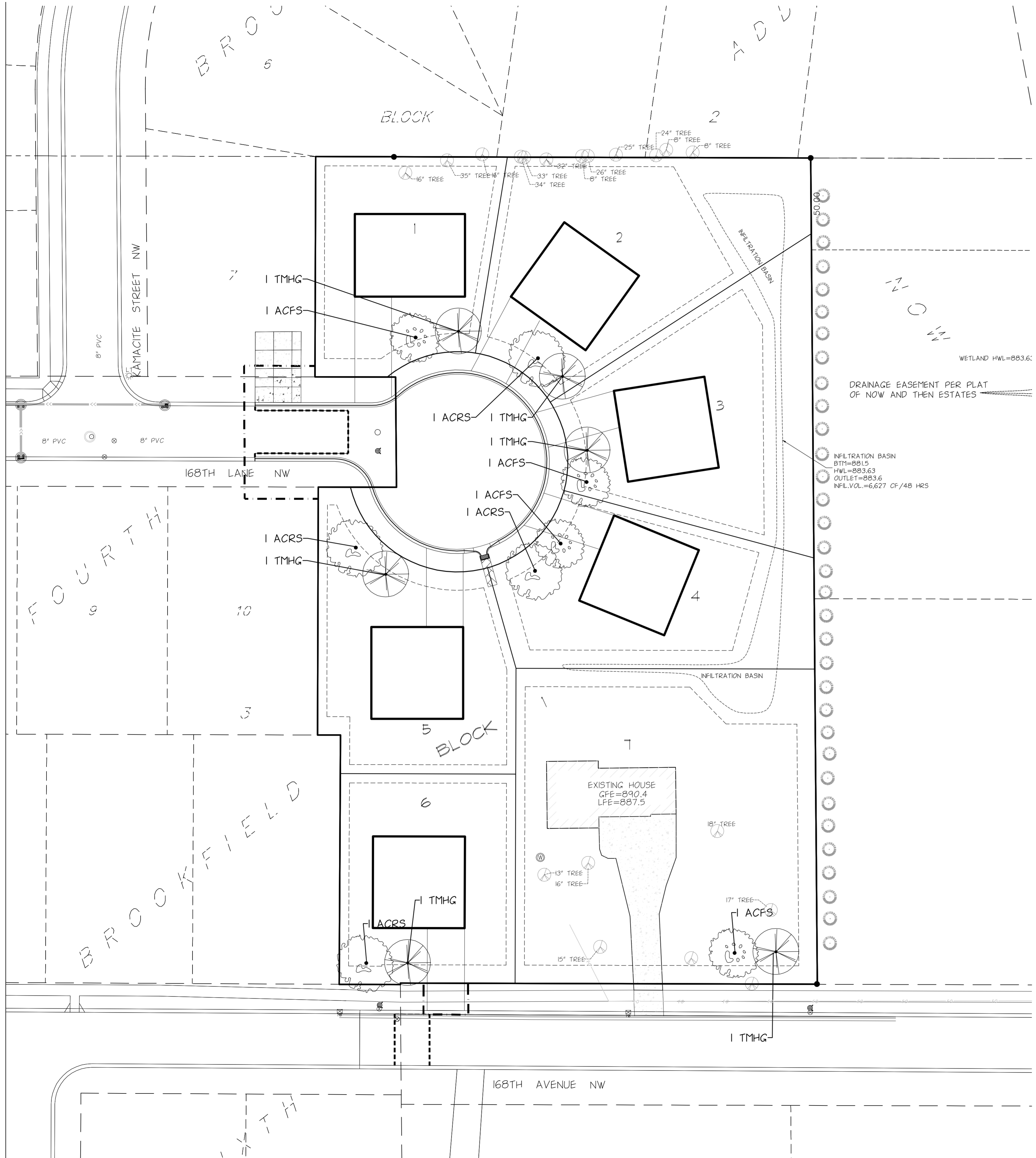
**L1.1**

SHEET NO. 12/13



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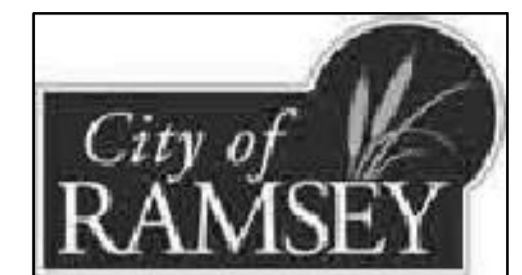
**LANDSCAPE SCHEDULE**

KEY	COUNT	SCIENTIFIC NAME	COMMON NAME	MATURE SIZE	PLANTING SIZE	ROOT COND.
ACFS	4	ACER X FREEMANI 'SIENNA'	SIENNA GLEN MAPLE	50'H X 30'W	2.5' CAL	B&B
ACRS	4	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	50'H X 40'W	2.5' CAL	B&B
TMHG	6	TILIA MONGOLICA 'HARVEST GOLD'	HARVEST GOLD MONGOLIAN LINDEN	40'H X 30'W	2.5' CAL	B&B

**DEVELOPER**

**BRYON AND LYNN COLE**  
6951 168TH AVE NW  
RAMSEY, MN 55303

**MUNICIPALITY**



**PROJECT**

**COLE  
ADDITION  
RAMSEY, MN**

**SHEET INDEX**

SHEET	TITLE
CO.1	CIVIL TITLE SHEET
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C1.2	DEMOLITION PLAN
C2.1	PRELIMINARY PLAT & SITE PLAN
C3.1	GRAVIC, DRAINAGE, AND EROSION CONTROL PLAN
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L2.1	LANDSCAPE PLAN

**ISSUE / REVISION HISTORY**

DATE	ISSUE / REVISION	REVIEW
23 MAY 2017	SKETCH PLAN	
01 JUN 2017	PRELIMINARY & FINAL PLAT	RTS
06 JUL 2017	WATERSHED SUBMITTAL	RTS
08 AUG 2017	FINAL PLAT	RTS

**PROJECT MANAGER REVIEW**

BY RS DATE 05-22-17

**CERTIFICATION**

I hereby certify that this plan was prepared by me or under my direct supervision, and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

**FINAL PLAT**

08-07-2017

**LANDFORM**  
From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME L201ZZZ001.DWG  
PROJECT NO. ZZZ15326

**LANDSCAPE  
PLAN  
L2.1**

SHEET NO. 13/13



Know what's Below.  
Call before you dig.

