

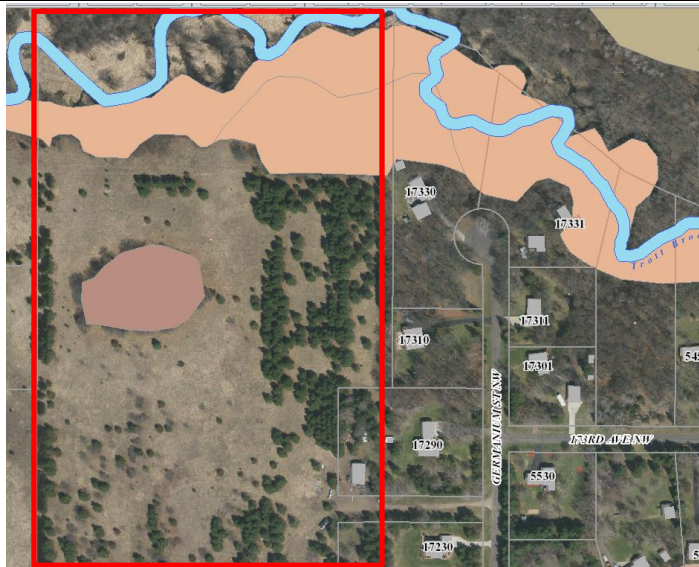
**CITY OF RAMSEY LAND USE APPLICATION
TECHNICAL REVIEW FILE**

DATE	FEBRUARY 24, 2017	PROJECT ADDRESS	TBD
PROJECT. TITLE	COVENANT MEADOWS: PRELIMINARY PLAT AND REZONING		
ESCROW #	115528		
DEPARTMENT:	Community Development: Planning Division		
TECHNICAL REVIEWER:	Name: Eric Maass, Consultant Planner Phone: 763-433-4302 Email: EMaass@wsbeng.com		

Preliminary Plat Review

We offer the following comments regarding the Preliminary Plat submittal for Covenant Meadows as it relates to the City’s Zoning Code. Preliminary Plat submittal consists of nine (9) sheets. LHB prepared 1 sheet and Roshell Engineering, LLC prepared the remaining 8 sheets. All of the plan sheets are dated February 2, 2017. The proposal includes a request a Zoning Amendment and a Preliminary Plat.

Staff provides the following comments that require revision:



Preliminary Plat Sheet

1. Trail easement between lots 5 and 6 of Block 1 will need to be shown.
2. Note indicating “Temporary Cul De Sac” at the termination of 172nd Lane NW will need to be revised to read “Full Cul De Sac”. Associated line work with the cul-de-sac will need to be revised in conjunction with the note change.
3. Indicate location of soil borings completed for each proposed lot. Adjust indicated primary and secondary septic locations in connection with location of actual soil borings. Note that on Lot 8 Block 1 the indicated primary and secondary septic areas are located in the center of the property. This is not acceptable and will need to be relocated to allow for the siting of the building pad.
4. Indicate total development acreage, acreage within proposed right-of-way, and proposed density of the development.
5. Add lot width to each lot at the front yard setback line.
6. Add the length of each segment of cul-de-sac.

General Comment Requiring Revision

1. The plan should delineate the boundaries of the shoreland district tiers as well as the structure setback and bluff impact zones outlined in City Code Section 117-225 titled Shoreland Overlay District Development Standards. The identification and delineation of those zones will allow Staff to verify conditions of the shoreland management district are in fact met. This information will need to be shown on a separate sheet. The City has an example exhibit that it can provide.

Staff provides the following comments for general review of applications:

General. The Preliminary Plat proposes re-platting Outlot A, MeadowBrook, Anoka County, Minnesota, into twelve (12) single family residential lots. The twelve (12) new lots would be accessed by a one of two roadway extensions off of Germanium Street NW through the building of 172nd Lane NW and Iodine St NW. The Applicant has requested a rezoning from R-1 Rural Developing to Planned Unit Development (PUD). In exchange for allowing smaller lot sizes than what would generally be permitted, the proposed public benefit of this project is approximately fifteen (15) acres of the Subject Property being deeded to the City. The fifteen (15) acres would straddle both sides of the Trott Brook trail and the steep slopes located on the property.

Lot Sizes. The minimum lot size in the R-1 Rural Developing District is 2.5 acres with a minimum lot width of 200 feet, measured at the building setback line. Through a Planned Unit Development (PUD) the Applicant is permitted to deviate from those lot requirements due to the presence of a public benefit. The Applicant is proposing lots which range in size from 1.00 acres to 2.92 acres in size.

Setbacks and Dimensional Standards.

R-1 Rural Developing Base Zoning / Proposed PUD Dimensions	
Required	Proposed
Front yard: 40 feet	40 feet
Side yard: 10 feet	10 feet
Rear yard: 10 feet	10 feet
Minimum lot width*: 200 feet	Minimum lot width*: 80 feet
Lot depth**: 100 feet with a minimum width of 60 feet	Satisfactory

**Note: Minimum Lot Width is measured at front yard setback line, property must abut built street.*

*** Lot depth required is 100 feet for a width of 60 feet that is not encumbered by wetland, wetland setback area, floodway, or other unbuildable areas.*

The Applicant is not seeking any deviation from the R-1 Rural Developing bulk lot standards except for lot size.

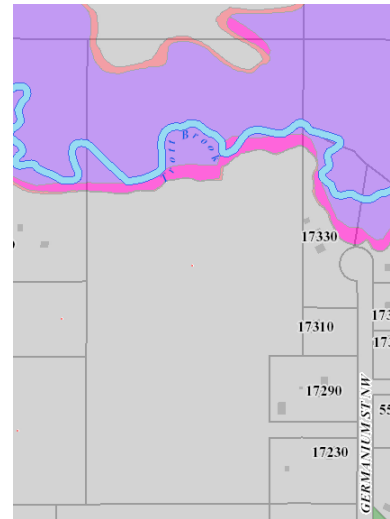
Density. The proposed density is 0.58 units per acre. This density increase from the normally allowed 1 unit per 2.5 acres is permitted through the Planned Unit Development (PUD) zoning.

DNR Review. Metro Area Hydrologist Kate Drewry review the proposed development and indicated that the plan appeared to meet the open space requirement with 50% of the area along the Creek and the steep slopes proposed for dedication to the City and the smaller lots located in the tiers furthest from the Creek. They indicated that the plan should delineate the boundaries of the shoreland district tiers as well as the structure setback and bluff impact zones.

Floodplains. There are floodplains within the boundaries of the project area, including both Floodway and Floodfringe. There shall be no fill placed within the Floodway (purple shading).

As proposed, the lots are laid out in such a fashion that each of the home sites is located in the upland area of the property.

Trott Brook. A portion of the lots will back up to Trott Brook, which is a tributary of the Rum River. Thus, the project is subject to the Scenic River Overlay District, which includes a 100 foot setback from the OHW of Trott Brook and has controlled vegetative cutting standards as well. Additionally, lands within 300 feet of the OHW of Trott Brook are subject to Shoreland Management requirements.



Landscaping. A tech report regarding landscaping requirements including Tree Preservation requirements was produced and presented to the City's Environmental Policy Board (EPB). Alterations to the plan set are provided in that report.

The Environmental Policy Board (EPB) recommended approval of the landscape and tree preservation plans with revisions as noted in the landscaping tech report.

Streets and Access. The Preliminary Plat indicates that 172nd Lane NW will be a new road and will connect to an existing road, Germanium St NW. A second proposed roadway, Iodine St NW will connect to the proposed 172nd Lane NW. Cul-de-sac length is limited to a maximum of 600 feet; the proposed length of the cul-de-sac is in excess of that limit. The Applicant is showing a complete cul-de-sac at the termination of 172nd Lane NW; however, the platted right-of-way for 172nd Lane NW does extend to the edge of the plat which would allow for 172nd Lane NW to be extended in the future eventually eliminating its status as a cul-de-sac. Exceeding the allowed length of a cul-de-sac is being requested as a deviation to the City's Code in connection with the Applicants Planned Unit Development (PUD) application.

Trails. The Applicant has indicated the intention to include a trail easement between Lots 5 and 6 of Block 1 that would provide the area necessary to eventually construct a trail that would connect to an extension of the Trott Brook Trail at which time the Trott Brook Trail was constructed in this area. After further review and discussion with our review team, it was determined that an eight (8) foot wide bituminous trail should be constructed as a Stage I Improvement provide access now to the land being deeded to the City. That cost can be credited toward the Trail Development Fees that would be due on the plat. It will be required that that proposed trail connection to the road be ADA compliant.

Grading and Drainage Plans. Please see Engineering Comments with regard to grading and drainage.

Development Fees. Development Fees will be due with the Plat including, but not limited to, Park Dedication, Trail Development, and Stormwater Management. These fees are collected at the time the Final Plat is recorded and at the rate in effect when the plat is recorded.

Development Agreement: An executed Development Agreement will be required prior to releasing the plat for recording.

ReZoning Application Review

As proposed Covenant Meadows would result in the creation of twelve (12) new single family lots.

The Applicant has proposed rezoning the property from R-1 (Rural Developing) to PUD (Planned Unit Development). The Planned Unit Development (PUD) zoning designation would allow for the Applicant to exceed the normal 1 unit per 2.5 acres in exchange for providing approximately 15 acres of high quality natural land surrounding the Trott Brook Trail. The proposed lots would range between 1.00 acres and 2.92 acres in size with an overall development density of 0.58 units per one acre in comparison to the usual 1 unit per 2.5 acres.

Staff is supportive of the proposed rezoning due to the high quality natural land proposed to be deeded to the City as a result of this project and would provide local residents with access to open space upon the a trail eventually being completed down to the Trott Brook.

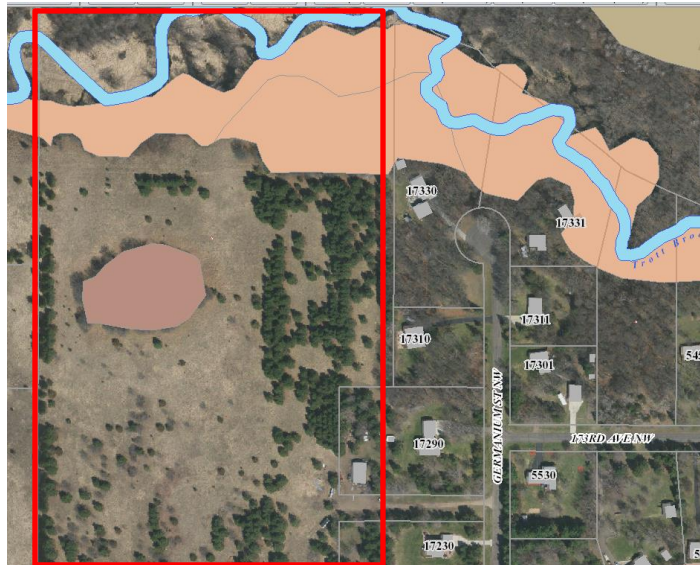
Standard	Required	Proposed
Lot Size	2.5 acres	1.00 + acres
Lot Width	200 feet	100 + feet
Front Setback	40 feet	40 feet
Rear Setback	40 feet	40 feet
Side Setback	10 feet	10 feet
Side Corner Setback	40 feet	40 feet
Cul-de-Sac Length	600 feet	1000 +/- feet

CITY OF RAMSEY LAND USE APPLICATION
TECHNICAL REVIEW FILE

DATE	FEBRUARY 24, 2017	PROJECT ADDRESS	TBD
PROJECT. TITLE	COVENANT MEADOWS		
ESCROW #	115528		
DEPARTMENT:	Community Development: Planning Division (Landscape Plan & Environmental Resources)		
TECHNICAL REVIEWER:	Name: Chris Anderson, City Planner Phone: 763-433-9817 Email: canderson@cityoframsey.com		

We offer the following comments regarding the Tree Inventory and Protection Plan and the Landscape Plan, both prepared by Roshell Engineering, LLC and dated February 2, 2017:

The City’s Natural Resources Inventory (NRI) identifies some moderate quality forest floodplain and oak woodlands adjacent to Trott Brook and a high quality oak woodland in the north central portion of the site. Most, if not all of the moderate quality areas are within the proposed Outlot A, which is to be deeded to the City as part of the Planned Unit Development (PUD). Per the Tree Inventory and Preservation Plan, it appears that much of the high quality oak woodland will also be preserved through the development process.



As part of this proposed project, almost sixteen (16) acres of land, straddling Trott Brook, would be deeded to the City. The City would like to work with the Developer to ensure that there is a trail corridor reserved along the common lot line of either Lots 4 and 5 or Lots 5 & 6 for future access to the Trott Brook trail.

The Landscape Plan is acceptable.

The Tree Plan indicates that fifteen percent (15%) of the existing significant trees will be removed, excluding those removed for ponding purposes, which is below the allowable threshold of thirty percent (30%). Due to the presence of larger stands of oak trees, tree clearing activities shall occur prior to April 15 or after July 15 to minimize the potential introduction of Oak Wilt to the site. This note must be added to both the Grading, Plan and the Tree Plan. Additionally, please

consult with the Certified Arborist that prepared the Tree Preservation Plan to prepare a plan that identifies the precautionary steps to be taken on site to protect oak trees from Oak Wilt. This should be included with the submittal of the Final Plat.

Required Sheet Revisions

Sheet G1 (Preliminary Grading Plan)

- Revise to show tree preservation fence.
- Tree preservation fence must be installed and then approved by City prior to any clearing work.
- Add note stating that any clearing within oak stands shall be performed prior to April 15 or after July 15 to minimize exposure to and/or introduction of oak wilt.
- Add precautionary steps to be taken on site to protect oak trees from Oak Wilt and/or reference said plan and that it is incorporated by reference.

Sheet L1 (Tree/Landscape Plan)

- Add note stating that any clearing within oak stands shall be performed prior to April 15 or after July 15 to minimize exposure to and/or introduction of oak wilt.
- Add precautionary steps to be taken on site to protect oak trees from Oak Wilt and/or reference said plan and that it is incorporated by reference.
- Revise to show tree preservation fence.

Sheet T1 (Tree Plan)

- Add note stating that any clearing within oak stands shall be performed prior to April 15 or after July 15 to minimize exposure to and/or introduction of oak wilt.
- Add precautionary steps to be taken on site to protect oak trees from Oak Wilt and/or reference said plan and that it is incorporated by reference.
- Revise to show tree preservation fence.

**CITY OF RAMSEY LAND USE APPLICATION
TECHNICAL REVIEW FILE**

DATE	FEBRUARY 22, 2017	PROJECT ADDRESS	WEST OF GERMANIUM STREET, NORTH OF 172 ND LANE (NEW)
PROJECT. TITLE	COVENANT MEADOWS		
ESCROW #	115528		
DEPARTMENT:	Engineering		
TECHNICAL REVIEWER:	Name: Leonard Linton Phone: 763 433-9834 Email: llinton@ci.ramsey.mn.us		

The Engineering Department offers the following comments regarding the Preliminary Plat Exhibits for Covenant Meadows. The submittal consists of 9 sheets. LHB prepared 1 sheet and Roshell Engineering, LLC prepared the remaining 8 sheets. All of the plan sheets are dated February 2, 2017.

General comments:

1. A cover sheet must be added to the plan set with a location map, sheet index and general project information.
2. A partial legend is shown on all sheets. All symbols used on that sheet must be added to the legend for the sheet. The symbols must be the same size in plan view and in the legend.
3. Ramsey City Details are not included in the set and must be added.
4. Class 5 shall meet the Ramsey modified gradation. This gradation must be included in the details.
5. Plan readability – Proposed grading lines and symbols must be the most prominent items on the grading sheets. Proposed storm sewer lines and symbols and pavement edges must be the most prominent on the street and storm sewer sheets. All other lines on the sheet must be screened so the lines and symbols for proposed features stand out. This includes the symbols in the legends which must match the plan view in size, pattern, weight, and color.
6. Underlying lines must be broken where they are under text boxes to enhance readability. Underlying text must be moved so there is not text on text.
7. This project will require a stormwater permit from the Lower Rum River Watershed Management Organization (LRRWMO).
8. The LRRWMO requirements are presented at the end of this memo.
9. Add Street/ Storm Sheets to the plan set that show the center line profile, horizontal and vertical curve information. The street width must be dimensioned on these sheets.

10. Move the typical street section to one of the Street/ Storm Sheets.
11. Add match lines and continuation notes to all sheets where part of the street is shown on a different page. Station numbers must be darker in plan view.

Sheet Specific Comments:

Preliminary Plat:

1. All line types and symbols on sheet must be added to the legend.

G1:

1. All line types and symbols used on the sheet must be added to the legend.
2. Must demonstrate positive drainage away from rear of all houses. Label existing contours in back yards, add spot elevations as needed to show that runoff flows away from walkout/lookout area.
3. Identify rectangular boxes on lots 1 & 2, Block 1 that touch houses.
4. The edge of pavement should be a lighter pen weight so that the grading is most prominent.
5. Soil classification information is required for the proposed drainfield areas.
6. Infiltration areas shall be excavated to final grade and vegetated after upland areas have permanent cover and are stabilized. Add a note to the plan: The secondary silt fence must remain in place until the infiltration basin vegetation is established.
7. The easement on lot 3, block 1 must be wide enough to allow maintenance vehicles to reach the pond without disturbing the bottom of the swale or driving on the steep side slope.
8. Identify or remove the black symbols along 172nd Lane adjacent to the existing lots.
9. The scale of the sheet must be changed so that spot elevations in the proposed ditches can be added.
10. Tree protection fencing must be shown on this sheet. It must be installed by hand prior to installing silt fence.
11. The potential flow route from each

C1, C2:

1. All line types and symbols on sheet must be added to the legend.
2. The pad grading information must only be shown on the grading plan.
3. Verify slope of all culverts in profile view.

SW1, SW2:

1. An area map must be added to the set.
2. A table listing erosion control measures to be installed and quantities of each item must be added to the sheet.

L1, T1, T2:

1. Trees to be removed must be clearly identified on the plan and in the tables. Add a column to the tables identifying trees to be removed.
2. Tree protection fencing must be shown on the plan and installed as noted above.

Detail Sheets:

1. Detail sheets must be added to the plan set.

Stormwater Calculations

A stormwater summary report was provided. The report states the 100 year storm is retained in the pond. The LRRWMO rules require sizing the basins for back to back 100 year storms if there is no outlet. The ponds will need to be enlarged.

The LRRWMO requires volume reduction (infiltration) on all projects. The LRRWMO rules require that infiltration basins empty completely within 48 hours after a 1" rainfall. The report must be revised to include the 1 inch, 2 year, 10 year, 100 year and 100 year back to back rain events. The HydroCAD report needs the Project Name and the Company Name on the page headers. These reports become part of the City's permanent stormwater records.

The report states onsite soils in the mitigation area will be removed and replaced with more permeable soils to promote infiltration. Details for the soil replacement must be included in the plans. The Minnesota Pollution Control Agency has produced the free MIDS calculator for evaluating stormwater practices like infiltration. The pond and infiltration basin must be evaluated with the MIDS calculator. The stormwater report must include the infiltration summary for each pond.

Draft boring logs were included with the stormwater report. A location map for the borings was not included.

A project manual which includes the bid form, contract and specifications must be submitted with the final plat.

Revised plans which address **all** of these changes must be submitted.

CITY OF RAMSEY LAND USE APPLICATION
TECHNICAL REVIEW FILE

DATE	2/24/17	PROJECT ADDRESS	
PROJECT. TITLE	Covenant Meadows		
ESCROW #			
DEPARTMENT:	Fire Dept.		
TECHNICAL REVIEWER:	Name: Carey Schiferli Phone: 763-433-9832 Email: cschiferli@ci.ramsey.mn.us		

General: No issues with the development itself. The primary concern is that there is no other entrance/exit from this neighborhood. At this time, the only entrance/exit to this entire neighborhood (existing and proposed) is 169th Ave NW. This creates potential for several issues. First, if there were a structure fire in this area, we would have to transport water in tanker trucks and the maneuverability would be tough. Second, if we had a tree come down, it could block the only access for emergency responders.

CITY OF RAMSEY LAND USE APPLICATION
TECHNICAL REVIEW FILE

DATE	2.24.17	PROJECT ADDRESS	OUTLOT A, MEADOWBROOK
PROJECT. TITLE	COVENANT MEADOWS PRELIMINARY PLAT		
ESCROW #			
DEPARTMENT:	Police Department		
TECHNICAL REVIEWER:	Name: Tim Frankfurth Phone: 763-433-9846 Email: tfrankfurth@ci.ramsey.mn.us		

Public Safety Review of Proposed Development:

The Police Department has no issues with the development itself; however, some concern was raised with regard to access to the development as the area is already a one in/one out accessed neighborhood. That access point is around Rum River Hills golf course from Highway 47.

The Covenant Meadows preliminary plat is proposing twelve (12) lots for this development and while it would add additional people to an emergency response scenario, public safety does not view the proposed development as an additional risk over and above the risk already present due to the singular access point from Highway 47 for the entire neighborhood. The proposed development provides for a westward roadway that may eventually lead to a connection back out to Highway 47 that would provide a second access point and lessen the risk in relation to an emergency response due to the secondary access point. It remains to be seen if MnDOT would be supportive of such a connection that would result in another access onto Highway 47.