

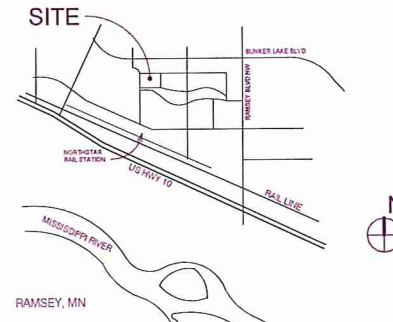
# GREENWAY TERRACE

## Land Use Application

June 1, 2017



### VICINITY MAP NOT TO SCALE



### AREA SUMMARY

Area	Size (Sq Ft)
1st Flr	10,000
2nd Flr	10,000
3rd Flr	10,000
4th Flr	10,000
5th Flr	10,000
6th Flr	10,000
7th Flr	10,000
8th Flr	10,000
9th Flr	10,000
10th Flr	10,000
11th Flr	10,000
12th Flr	10,000
13th Flr	10,000
14th Flr	10,000
15th Flr	10,000
16th Flr	10,000
17th Flr	10,000
18th Flr	10,000
19th Flr	10,000
20th Flr	10,000
21st Flr	10,000
22nd Flr	10,000
23rd Flr	10,000
24th Flr	10,000
25th Flr	10,000
26th Flr	10,000
27th Flr	10,000
28th Flr	10,000
29th Flr	10,000
30th Flr	10,000
31st Flr	10,000
32nd Flr	10,000
33rd Flr	10,000
34th Flr	10,000
35th Flr	10,000
36th Flr	10,000
37th Flr	10,000
38th Flr	10,000
39th Flr	10,000
40th Flr	10,000
41st Flr	10,000
42nd Flr	10,000
43rd Flr	10,000
44th Flr	10,000
45th Flr	10,000
46th Flr	10,000
47th Flr	10,000
48th Flr	10,000
49th Flr	10,000
50th Flr	10,000

### PARKING STALLS

TOTALS	SURFACE PARKING
Covered Parking Stall	18
HO Single Parking Stall	3
Standard Parking Stall	39
Grand Total	60

### CONTACTS

#### DEVELOPER/CLIENT

NAME: AECN  
CONTACT: LESLIE ROERING  
ADDRESS: 901 N 3RD STREET, SUITE 100  
MINNEAPOLIS, MN 55401  
PHONE No.: 612-746-8853  
FAX No.:  
E-MAIL: lroering@aecn.com

#### CONTRACTOR

NAME: FRANA  
CONTACT: B.J. MARIOTTI  
ADDRESS: 638 SECOND AVENUE S  
HOPTON, MN 55343  
PHONE No.: 952-958-6600  
FAX No.: 952-958-6544  
E-MAIL: bj@mariotti.com

#### ARCHITECT

NAME: URBANWORKS ARCHITECTURE LLC  
CONTACT: MARY BARIETT  
DAVID HAKALAJ  
ADDRESS: 901 N 3RD STREET  
SUITE 145  
PHONE No.: 612-455-3100  
FAX No.: 612-455-3199  
E-MAIL: mbarie@urbanworks.com

#### CIVIL ENGINEER

NAME: BNSM ENGINEERS  
CONTACT: KEITH MATTE  
ADDRESS: 5950 BROOKLYN BLVD.  
MINNEAPOLIS, MN 55429  
PHONE No.: 763-843-0446  
FAX No.: 763-843-0421  
E-MAIL: kmatt@bnsme.com

#### LANDSCAPE ARCHITECT

NAME: DAMON FABER ASSOCIATES  
CONTACT: JESSE SYMNYKOWICZ  
ADDRESS: 401 NORTH 2ND AVE. SUITE 410  
MINNEAPOLIS, MN 55401  
PHONE No.: 612-332-7522  
FAX No.: 612-332-0906  
E-MAIL: jsymnyk@damonfaber.com

#### STRUCTURAL ENGINEER

NAME: BNSM ENGINEERS  
CONTACT: JOHN TRIM, P.E.  
ADDRESS: 5930 BROOKLYN BLVD  
MINNEAPOLIS, MN 55429  
PHONE No.: 763-843-0474  
FAX No.: 763-843-0421  
E-MAIL: jtrim@bnsme.com

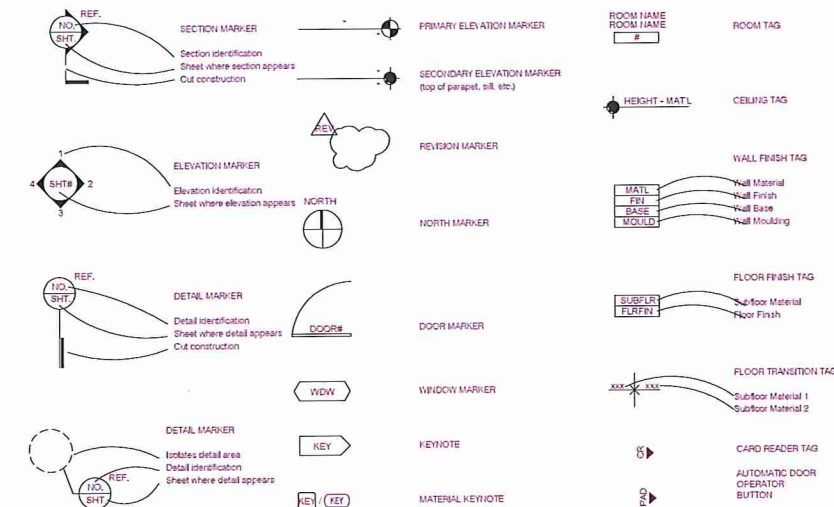
#### MEP ENGINEERS

NAME: STEEN ENGINEERING  
CONTACT: KURT SMITH  
ADDRESS: 5430 DOUGLAS DRIVE N  
MINNEAPOLIS, MN 55429  
PHONE No.: 763-236-4788  
FAX No.: 763-236-4787  
E-MAIL: kurt@steeneng.com

#### INTERIOR DESIGNER

NAME: URBANWORKS ARCHITECTURE LLC  
CONTACT: SARAH DAVIS  
ADDRESS: 901 N 3RD STREET  
SUITE 145  
PHONE No.: 612-455-3100  
FAX No.: 612-455-3199  
E-MAIL: sdavis@urbanworks.com

### SYMBOLS



### GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- SUBCONTRACTORS SHALL VISIT THE JOB SITE AND SHALL REVIEW THE CONTRACT DOCUMENTS TO FAMILIARIZE THEMSELVES WITH THE REQUIREMENTS AND INTENT OF THE SCOPE OF THE WORK. PRIOR COMMENCEMENT OF WORK, DISCREPANCIES SHALL BE REPORTED TO GENERAL CONTRACTOR FOR CLARIFICATION.



PRELIMINARY  
NOT FOR CONSTRUCTION

REVISIONS

KEY PLAN

DATE: 6.1.2017  
PROJECT #: 16-0011  
PHASE: DD  
DRAWN BY: MEB  
CHECKED BY: DPEH

TITLE SHEET

G001

SHEET INDEX

CONSTRUCTION DOCUMENTS - x.xx.20xx  
 DESIGN DEVELOPMENT- 6.5.2017  
 LAND USE - 6.1.2017  
 SCHEMATIC DESIGN - 4.17.2017

ARCHITECTURAL / CIVIL / LANDSCAPE SHEET INDEX

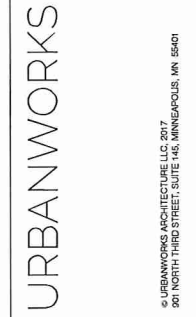
- G001 TITLE SHEET
- G002 SHEET INDEX
- G003 BUILDING SYSTEMS
- SURVEY SURVEY
- PLAT F FINAL PLAT
- PLAT P PRELIMINARY PLAT
- C200 UTILITY PLAN
- C300 PAVING AND GEOMETRIC PLAN
- C400 CIVIL DETAIL SHEET
- C401 CIVIL DETAIL SHEET
- C500 SWPPP
- LA100 ARCHITECTURAL SITE PLAN
- L030 LANDSCAPE PLANT SCHEDULE
- L060 LANDSCAPE PLANTING PLAN
- L500 LANDSCAPE DETAILS
- A101 LEVEL 1 PLAN - OVERALL
- A102 LEVEL 2 PLAN - OVERALL
- A103 LEVEL 3 PLAN - OVERALL
- A301 BUILDING ELEVATIONS
- A302 BUILDING ELEVATIONS
- A303 BUILDING ELEVATIONS
- A304 BUILDING ELEVATIONS
- E011 ELECTRICAL SITE PLAN
- E020 SITE PHOTOMETRIC PLAN

CONSTRUCTION DOCUMENTS - x.xx.20xx  
 DESIGN DEVELOPMENT- 6.5.2017  
 LAND USE - 6.1.2017  
 SCHEMATIC DESIGN - 4.17.2017

STRUCTURAL SHEET INDEX

CONSTRUCTION DOCUMENTS - x.xx.20xx  
 DESIGN DEVELOPMENT- 6.5.2017  
 LAND USE - 6.1.2017  
 SCHEMATIC DESIGN - 4.17.2017

MECHANICAL/PLUMBING/ELECTRICAL SHEET INDEX



CONSULTANT

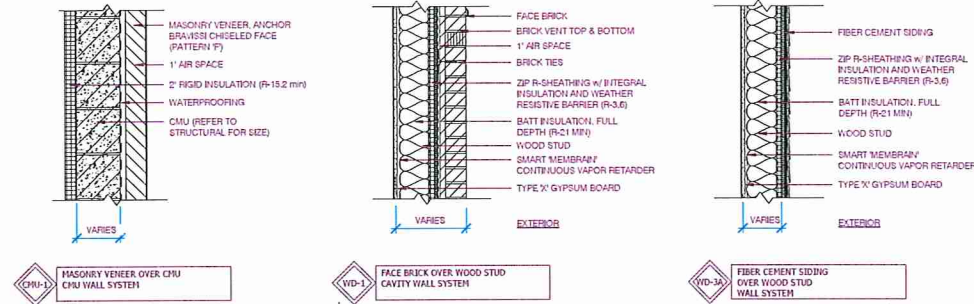
**PRELIMINARY**

**NOT FOR CONSTRUCTION**

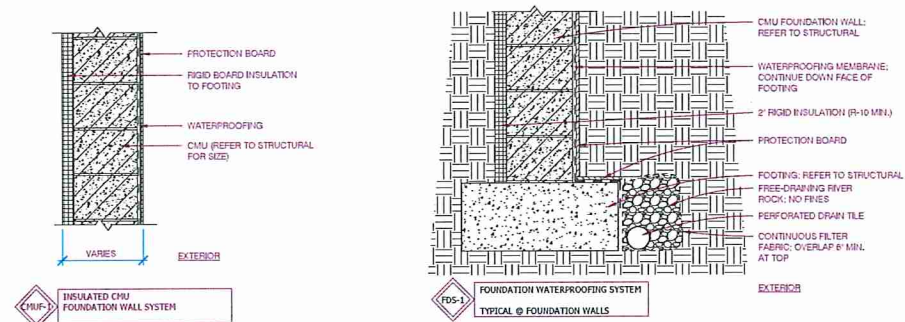
REVISIONS

DATE	PROJECT #	6.1.2017
PHASE	DD	16-0011
DRAWN BY	MEB	
CHECKED BY	DFEH	

**BUILDING SYSTEMS**



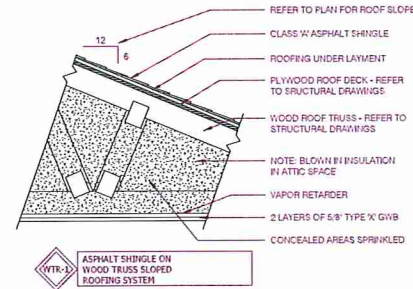
**EXTERIOR WALL SYSTEMS**



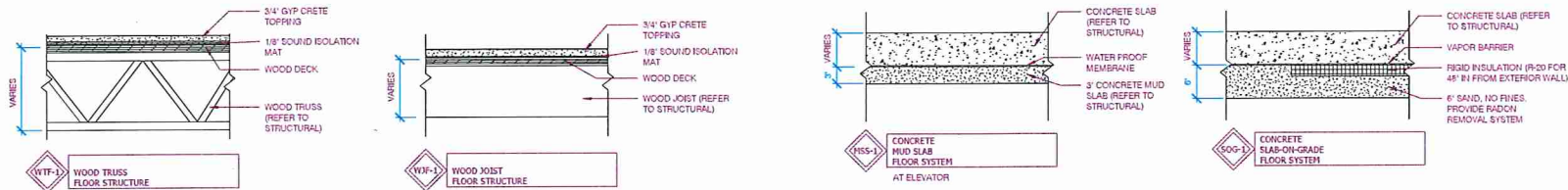
**FOUNDATION WALL SYSTEMS**

**FOUNDATION DRAINAGE SYSTEM @ ELEVATOR**

**ROOF SYSTEMS**



**FOUNDATION WALL SYSTEMS**



**FLOOR SYSTEMS**

**INTERIOR PARTITION TYPES**

PARTITION TYPE	STUD WIDTH	ASSEMBLY WIDTH	U	R	FIRE RESISTANCE
<b>P</b>	3 1/2"	4 3/4"	34	38	UL#; U305
	5 1/2"	6 3/4"	34	38	NA
	7 1/4"	8 1/2"			
<b>R</b>	3 1/2"	6	49	58	UL#; U305
	5 1/2"	8	49	58	UL#; U301
<b>S</b>	3 1/2"	4 1/8"			NA
	5 1/2"	6 1/8"			NA
<b>V</b>	3 1/2"	10 1/2"	50-52		WP 3820
					WP 3820
<b>W</b>	3 1/2"	5 1/4"	50-51		UL#; U305
	5 1/2"	7 1/4"	50-51		NA

**INTERIOR PARTITION KEY**

TYPE	DESCRIPTION	TYPE	DESCRIPTION
◊	ACOUSTICALLY RATED PARTITION - PROVIDE ACOUSTIC BATT INSULATION	◊	1 HOUR FIRE RATED PARTITION - SEE PARTITION TYPE FOR UNDERWRITERS LABORATORIES DESIGN NUMBER
◊	NON RATED, EXTEND 6" ABOVE SUSPENDED CEILING. BRACE TO STRUCTURE ABOVE.	◊	2 HOUR FIRE RATED PARTITION - SEE PARTITION TYPE FOR UNDERWRITERS LABORATORIES DESIGN NUMBER
◊	NON RATED, EXTEND TO BOTTOM OF SUSPENDED CEILING ABOVE.	◊	3 HOUR FIRE RATED PARTITION - SEE PARTITION TYPE FOR UNDERWRITERS LABORATORIES DESIGN NUMBER
◊	THERMALLY RATED PARTITION - PROVIDE NON FACED R-VX THERMAL BATT INSULATION	◊	4 HOUR FIRE RATED PARTITION - SEE PARTITION TYPE FOR UNDERWRITERS LABORATORIES DESIGN NUMBER
		◊	SEE FLOOR PLAN FOR PARTITION HEIGHT



**URBANWORKS**

CONSULTANT  
 PRELIMINARY  
 NOT FOR CONSTRUCTION

REVISIONS

DATE: 6.1.2017  
 PROJECT #: 16-0011  
 PHASE: DD  
 DRAWN BY: MEB  
 CHECKED BY: DFEH

**BUILDING SYSTEMS**

**G003**

LEGEND

- SET MONUMENT
- FOUND MONUMENT
- SIGN
- HYDRANT
- GATE VALVE
- CATCH BASIN
- MANHOLE
- SANITARY SEWER MANHOLE
- EXISTING CONTOUR
- SANITARY SEWER
- STORM SEWER
- WATER MAIN

SURVEY NOTES

- The bearing system is based on the North line of Outlot A, RAMSEY TOWN CENTER 7TH ADDITION, which is assumed to bear North 89 degrees 59 minutes 52 seconds East.
- Field work was completed on 2/23/2017.

SURVEYED PROPERTY

Description from title commitment (contains additional real estate):

Outlot A, Ramsey Town Center 7th Addition, Anoka County Minnesota.  
 Referencing Title Commitment No. 51391, dated 4/26/2106, that Commercial Partners Title, LLC as agent for Old Republic National Title Insurance Company has provided us. There are no exception items in Schedule B, Part II of the commitment which are survey related.

**James R. Hill, Inc.**  
 PLANNERS / ENGINEERS / SURVEYORS  
 2500 W. Cty. Rd. 42, Suite 120, Burnsville, MN 55337  
 PHONE: (952)890-6244  
 FAX: (952)890-6044  
 www.jrhinc.com  
 mhampton@jrhinc.com

**RAMSEY APARTMENTS**  
 7682 146TH AVENUE NW, RAMSEY, MN  
**ALTA/NSPS LAND TITLE SURVEY**  
 FOR  
**AEON**  
 901 NORTH 6RD STREET, SUITE 150, MINNEAPOLIS, MN

DRAWN BY	JCB
DATE	3/3/2107
REVISIONS	
CAD FILE	23370M.DWG
PROJECT NO.	23370-00
FILE NO.	1-17-015
SHEET 1 OF 1	

"TABLE A" NOTES

- Monuments have been placed at all corners of the boundary of the property, unless already marked or referenced by existing monuments or witnesses in close proximity to the corner, as shown on the survey.
- The subject property address is 7562 146th Avenue NW, and its property identification number is 28-32-25-13-0033.
- The subject property lies within Flood Plain Zone X (areas determined to be outside the 0.2% annual chance flood plain) per Federal Insurance Rate Map No. 27003C0280E dated 12/16/2015.
- The gross area of the surveyed property is 3.384 Acres or 147,425 Square Feet.
- The vertical datum is based on NGVD29 datum.  
 Benchmark #1  
 Top nut of hydrant located near the northwest corner of the property as shown. Elevation: 875.12  
 Benchmark #2  
 Top nut of hydrant located on south side of property as shown. Elevation: 870.70
- A zoning report or letter has not been provided to the surveyor.
- a) There are no buildings located on the property.
- Substantial features observed in the process of conducting the fieldwork are shown on the survey.
- There are no parking areas and striping on the property.
- Underground utilities are shown per:  
 Gopher State One Call, Ticket No. 170450913, dated 2/21/2017.  
 A Gopher State One Call (GSOC) request was placed on 2/14/2017 for utility locates on this site. Source information from plans and markings has been combined with observed evidence of utilities to develop a view of underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, some utility locate requests from surveyors may be ignored or result in an incomplete response. The surveyor has compiled the markings made on the ground, the maps provided, and the observed evidence to show utilities hereon. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary. Pursuant to MS 216.0 contact Gopher State One Call at 651-454-0002 prior to any excavation.
- The names, address and property identification numbers of adjoining owners according to current public records are shown on the survey.
- There is no evidence of current earth moving work, building construction or building additions.
- There are no proposed changes in street right of way lines, per City of Ramsey website on 3/3/2017. There is no observed evidence of recent street or sidewalk construction or repairs.
- No wetland delineation markers were observed in the process of conducting the fieldwork.
- Plottable offsite easements disclosed in documents provided to the surveyor are shown on the survey.

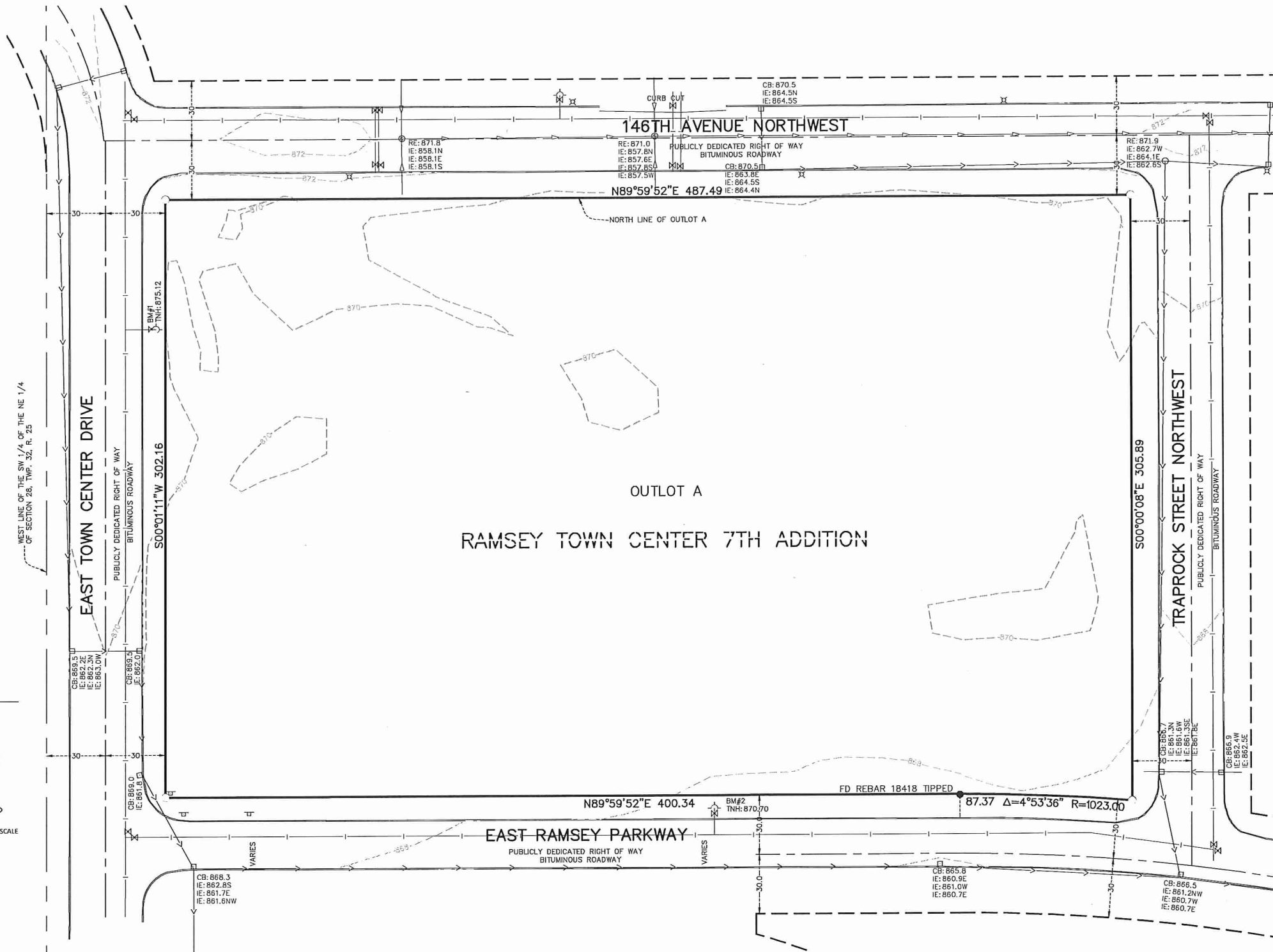
CERTIFICATION

To Aeon Portfolio II LLC, a Minnesota nonprofit corporation, its successors and/or assigns, and Commercial Partners Title LLC as agent for Old Republic National Title Insurance Company:

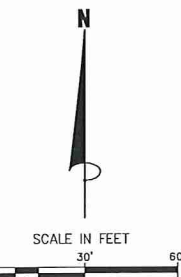
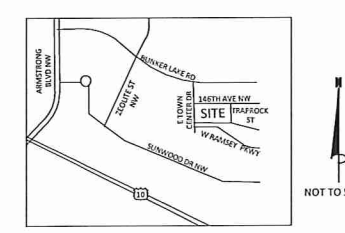
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2015 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11, 12, 13, 16, 17, 18, 19, and 20 of Table A thereof. The fieldwork was completed on February 23, 2017.

Date of Plat or Map: March 3, 2017  
 James R. Hill, Inc.

*Matcus F. Hampton*  
 Matcus F. Hampton, Land Surveyor, MN License No. 47481



VICINITY MAP



# GREENWAY TERRACE

CITY OF RAMSEY  
COUNTY OF ANOKA  
SEC. 28, T. 32, R. 25

KNOW ALL PERSONS BY THESE PRESENTS: That Aeon Portfolio II LLC, a Minnesota nonprofit corporation, owner of the following described property:

Outlot A, Ramsey Town Center 7th Addition, Anoka County Minnesota.

Has caused the same to be surveyed and platted as GREENWAY TERRACE and does hereby dedicate to the public for public use the drainage and utility easements as created on this plat.

In witness whereof said Aeon Portfolio II LLC, a Minnesota nonprofit corporation, has caused these presents to be signed by its proper officer this \_\_\_ day of \_\_\_\_\_, 20\_\_.

Aeon Portfolio II LLC

By: \_\_\_\_\_ its \_\_\_\_\_

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me on \_\_\_ day of \_\_\_\_\_, 20\_\_, by \_\_\_\_\_, the \_\_\_\_\_ of \_\_\_\_\_ of Aeon Portfolio II LLC, a Minnesota nonprofit corporation, on behalf of the corporation.

\_\_\_\_\_  
County, \_\_\_\_\_ Printed Name  
My commission expires \_\_\_\_\_

I, Marcus F. Hampton do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this \_\_\_ day of \_\_\_\_\_, 20\_\_

Marcus F. Hampton, Licensed Land Surveyor, Minnesota License No. 47481

STATE OF MINNESOTA  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me on this \_\_\_ day of \_\_\_\_\_, 20\_\_, by Marcus F. Hampton.

\_\_\_\_\_  
County, \_\_\_\_\_ Printed Name  
My commission expires January 31, \_\_\_\_\_

CITY COUNCIL, CITY OF RAMSEY, MINNESOTA

This plat of GREENWAY TERRACE was approved and accepted by the City Council of the City of Ramsey, Minnesota at a regular meeting thereof held this \_\_\_ day of \_\_\_\_\_, 20\_\_, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

By: \_\_\_\_\_ Mayor \_\_\_\_\_ Clerk

ANOKA COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this \_\_\_ day of \_\_\_\_\_, 20\_\_.

Larry D. Holm, Anoka County Surveyor

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20\_\_ on the land hereinbefore described have been paid. Also pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this \_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Property Tax Administrator

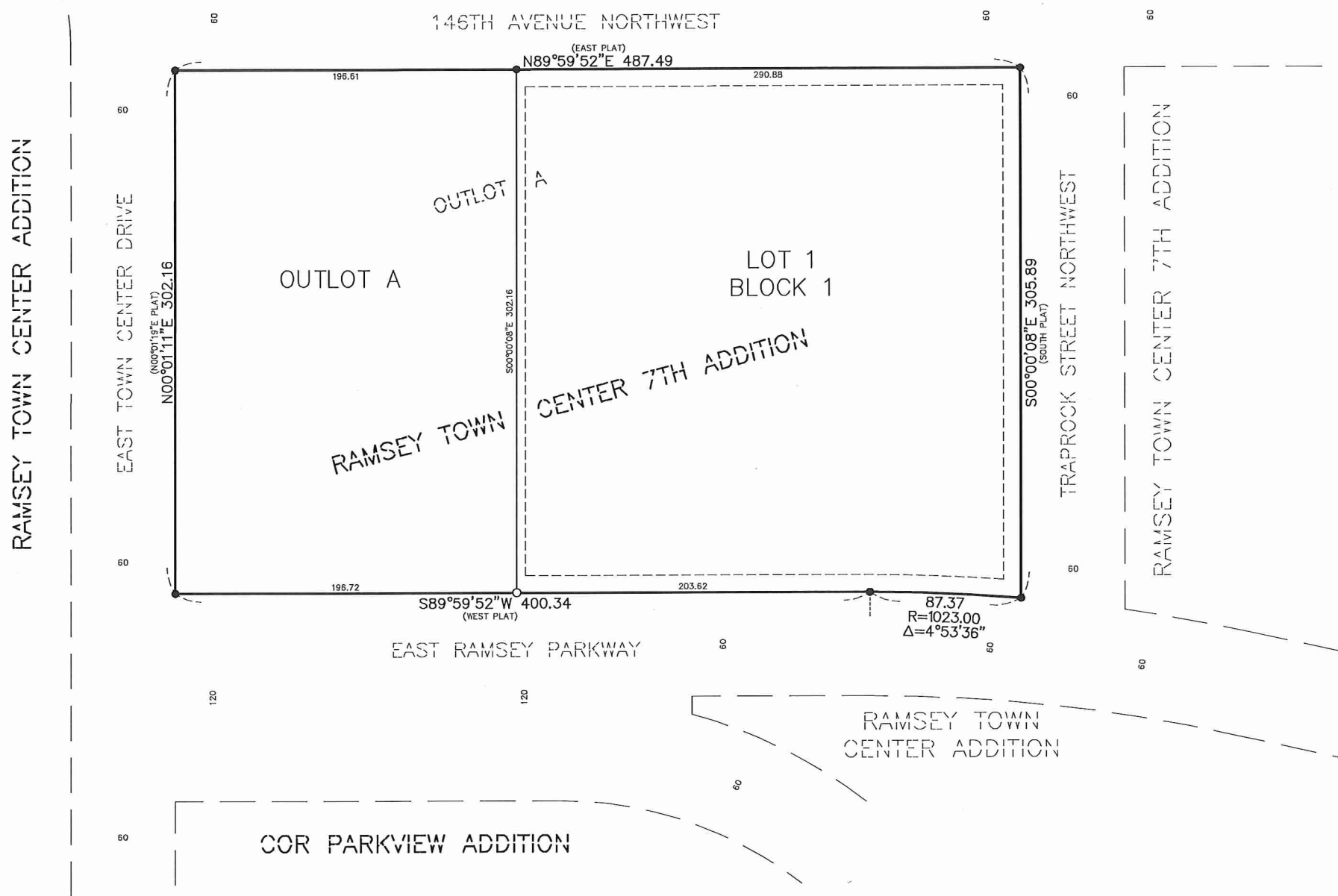
By: \_\_\_\_\_ Deputy

COUNTY RECORDER/REGISTRAR OF TITLES  
COUNTY OF ANOKA, STATE OF MINNESOTA

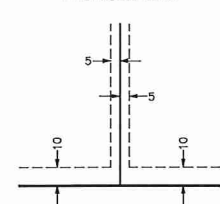
I hereby certify that this plat of GREENWAY TERRACE was filed in the office of the County Recorder/Registrar of Titles for public record on this \_\_\_ day of \_\_\_\_\_, 20\_\_, at \_\_\_ o'clock \_\_\_ M. and was duly filed in Book \_\_\_\_\_, Page \_\_\_\_\_, as Document Number \_\_\_\_\_.

\_\_\_\_\_  
County Recorder

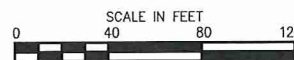
## RAMSEY TOWN CENTER 7TH ADDITION



DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



DRAINAGE AND UTILITY EASEMENTS BEING 5 FEET IN WIDTH, UNLESS OTHERWISE INDICATED, ADJOINING LOT LINES, AND BEING 10 FEET IN WIDTH, UNLESS OTHERWISE INDICATED, ADJOINING RIGHT OF WAY LINES, AS SHOWN ON THE PLAT.



BEARINGS ARE BASED ON THE NORTH LINE OF OUTLOT A, RAMSEY TOWN CENTER 7TH ADDITION WHICH IS ASSUMED TO HAVE A BEARING OF N 89°59'52\"/>

- DENOTES FOUND 1/2 INCH IRON MONUMENT WITH CAP MARKED R.L.S. NO. 47481, UNLESS OTHERWISE NOTED
- DENOTES SET 1/2 INCH IRON MONUMENT WITH CAP MARKED R.L.S. NO. 47481

PLAT DENOTES PLAT OF RAMSEY TOWN CENTER 7TH ADDITION

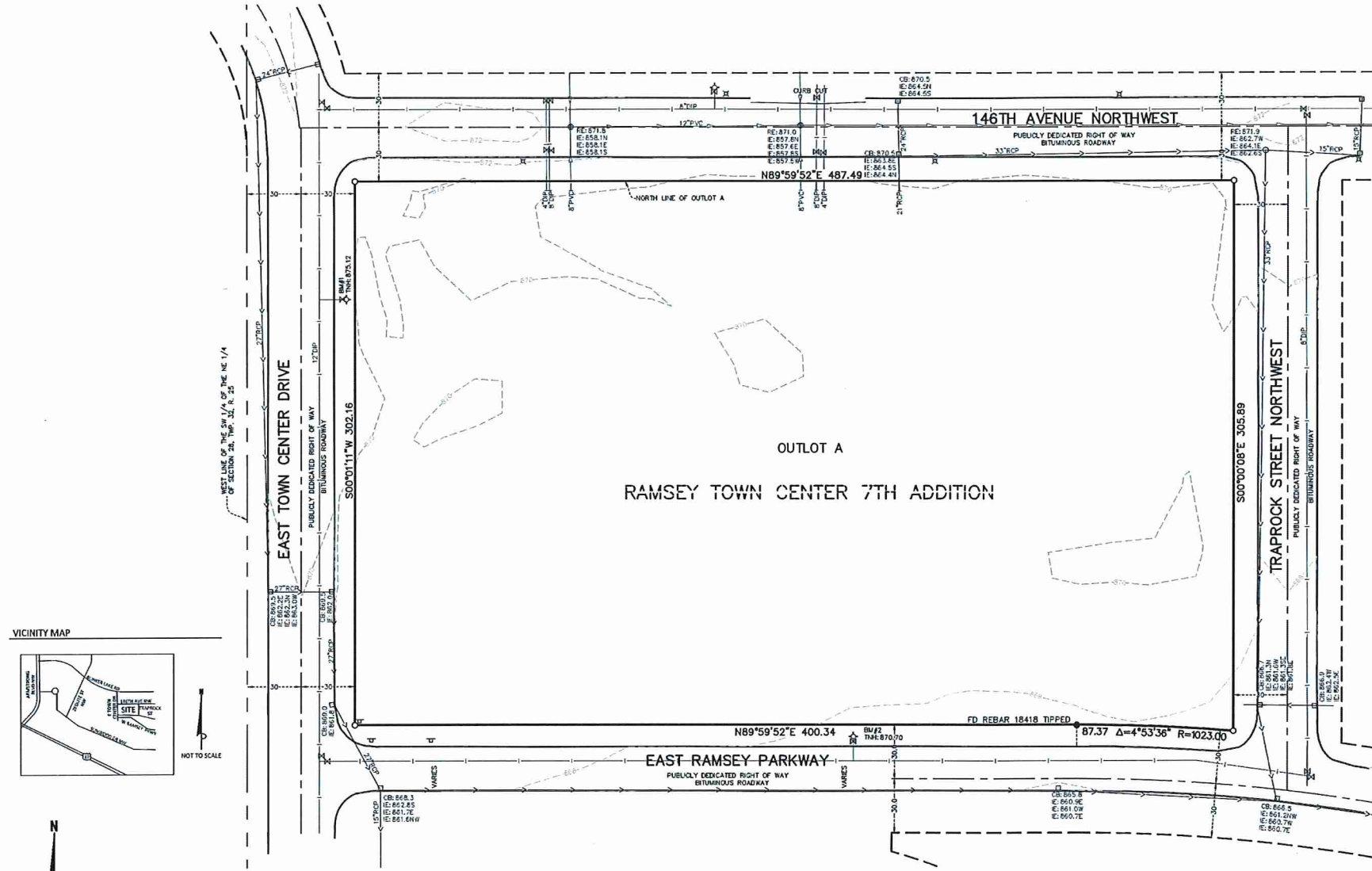
NOTE: NO MONUMENT SYMBOL SHOWN AT ANY STATUTE REQUIRED LOCATION INDICATES A PLAT MONUMENT THAT WILL BE SET WITHIN ONE YEAR FROM THE RECORDING DATE OF THIS PLAT. SAID MONUMENTS SHALL BE 1/2 INCH x 14 INCH IRON PIPES MARKED BY R.L.S. NO. 47481.

JAMES R. HILL, INC.

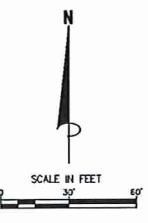
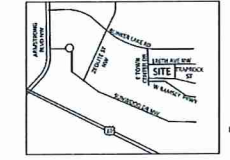


**LEGEND**

- SET MONUMENT
- FOUND MONUMENT
- SIGN
- HYDRANT
- GATE VALVE
- CATCH BASIN
- CATCH BASIN MANHOLE
- MANHOLE
- SANITARY SEWER MANHOLE
- EXISTING CONTOUR
- SANITARY SEWER
- STORM SEWER
- WATER MAIN



**VICINITY MAP**



**SURVEY NOTES**

- The bearing system is based on the North line of Outlot A, RAMSEY TOWN CENTER 7TH ADDITION, which is assumed to bear North 89 degrees 59 minutes 52 seconds East.
- Field work was completed on 2/23/2017.
- Utility information has been compiled as the result of a Gopher State One Call (GSOC) request for utility marks and/or maps. The pipe sizes shown hereon are per plans provided by the City of Ramsey. The plans provided are not Record or As-Built plans. Per the City, the plans provided are As-Bid plans; no As-Built plans were ever prepared. The facility operators as provided on the GSOC ticket are as follows:  
 Comcast 612-522-8141  
 City of Ramsey 763-433-9861  
 Centurylink 855-742-6062  
 Conquest Energy 763-323-4215  
 Center Point Energy 800-788-9140  
 Zayo Bandwidth 763-230-3870

**SURVEYED PROPERTY**

Description from title commitment (contains additional real estate):  
 Outlot A, Ramsey Town Center 7th Addition, Anoka County Minnesota.  
 Referencing Title Commitment No. 51391, dated 4/26/2016, that Commercial Partners Title, LLC as agent for Old Republic National Title Insurance Company has provided us. There are no exceptions items in Schedule B, Part II of the commitment which are survey related.

**"TABLE A" NOTES**

- Monuments have been placed at all corners of the boundary of the property, unless already marked or referenced by existing monuments or witnesses in close proximity to the corner, as shown on the survey.
- The subject property address is 7582 146th Avenue NW, and its property identification number is 28-235-13-0033.
- The subject property lies within Flood Plain Zone X (areas determined to be outside the 0.2% annual chance flood plain) per Federal Insurance Rate Map No. 2700CO180E dated 12/16/2015.
- The gross area of the surveyed property is 3.384 Acres or 147,425 Square Feet.
- The vertical datum is based on NAD83 datum.  
 Benchmark #1  
 Top nut of hydrant located near the northwest corner of the property as shown. Elevation: 875.12  
 Benchmark #2  
 Top nut of hydrant located on south side of property as shown. Elevation: 870.70
- A zoning report or letter has not been provided to the surveyor.
- There are no buildings located on the property.
- Substantial features observed in the process of conducting the fieldwork are shown on the survey.
- There are no parking areas and striping on the property.
- Underground utilities are shown per:  
 Gopher State One Call, Ticket No. 170450913, dated 2/21/2017.  
 A Gopher State One Call (GSOC) request was placed on 2/24/2017 for utility locates on this site. Source information from plans and markings has been combined with observed evidence of utilities to develop a view of underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, some utility locate requests from surveyors may be ignored or result in an incomplete response. The surveyor has compiled the markings made on the ground, the maps provided, and the observed evidence to show utilities hereon. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary. Pursuant to MS 216.D contact Gopher State One Call at 651-454-0002 prior to any excavation.
- The names, address and property identification numbers of adjoining owners according to current public records are shown on the survey.
- There is no evidence of current earth moving work, building construction or building additions.
- There are no proposed changes in street right of way lines, per City of Ramsey website on 3/2/2017. There is no observed evidence of recent street or sidewalk construction or repairs.
- No wetland delineation markers were observed in the process of conducting the fieldwork.
- Floatable utility assessments disclosed in documents provided to the surveyor are shown on the survey.

**CERTIFICATION**

To Aeon Portfolio II LLC, a Minnesota nonprofit corporation, its successors and/or assigns, and Commercial Partners Title LLC as agent for Old Republic National Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11, 12, 13, 16, 17, 18, 19, and 20 of Table A thereof. The fieldwork was completed on February 23, 2017.

Date of Plat or Map: March 3, 2017  
 James R. Hill, Inc.

*Matthew F. Hampton*  
 Matthew F. Hampton, Land Surveyor, MN License No. 47481

**James R. Hill, Inc.**  
 PLANNERS / ENGINEERS / SURVEYORS  
 245 W. River Road, Suite 100, Minneapolis, MN 55437  
 PHONE: (612) 380-6244 FAX: (612) 380-6244  
 www.jrhinc.com

**RAMSEY APARTMENTS**  
 7582 146TH AVENUE NW, RAMSEY, MN  
**ALTA/NSPS LAND TITLE SURVEY**  
 AEOB  
 901 NORTH 3RD STREET, SUITE 100, MINNEAPOLIS, MN

<b>DRAWN BY</b>	JCB
<b>DATE</b>	3/3/2017
<b>REVISIONS</b>	3/24/17 Add Utility Info.
<b>CAD FILE</b>	23370M.DWG
<b>PROJECT NO.</b>	23370-00
<b>FILE NO.</b>	1-17-015
<b>SHEET 1 OF 1</b>	



**URBANWORKS**  
 CONSULTANT

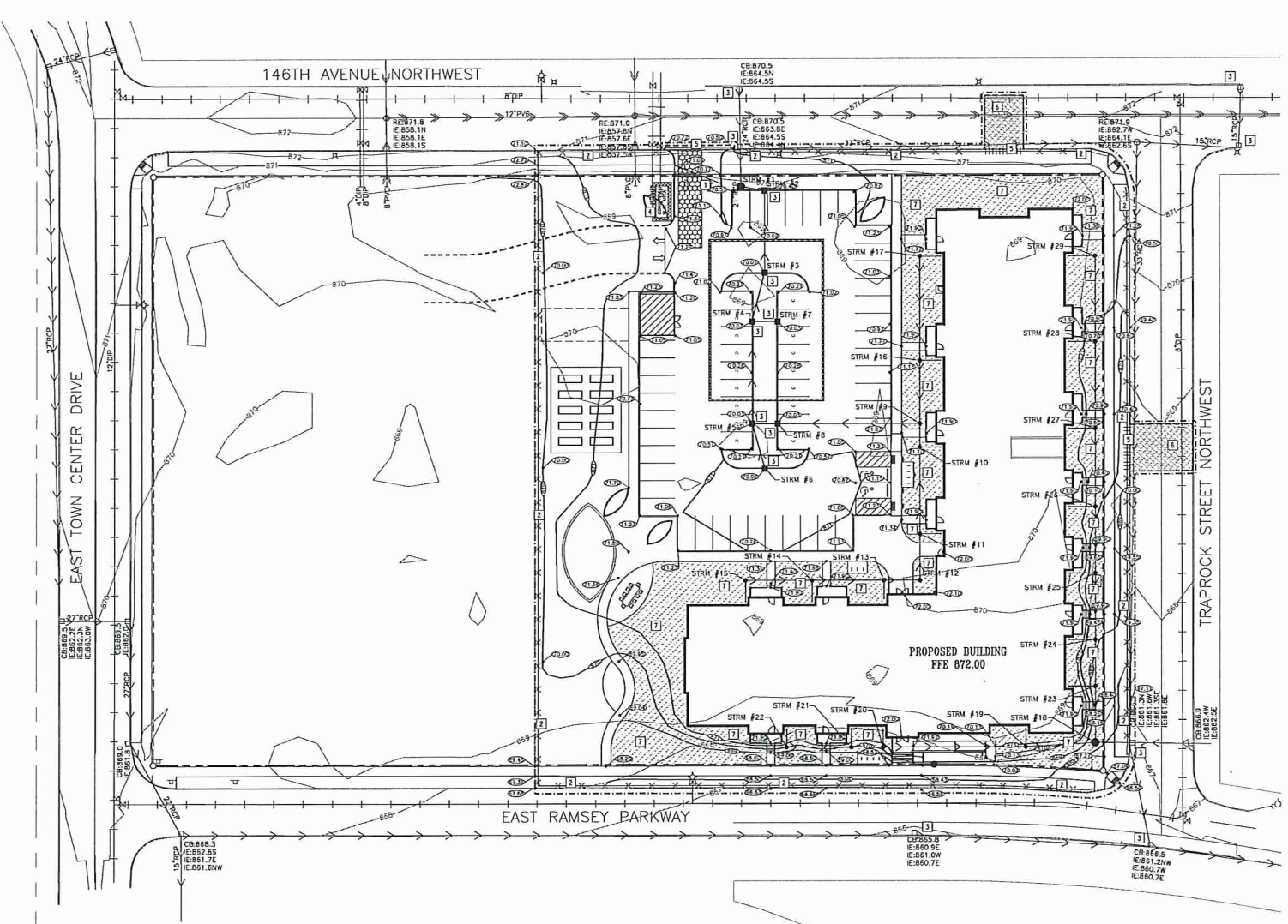
PRELIMINARY  
 NOT FOR CONSTRUCTION

REVISIONS

DATE	XX
PROJECT #	XX
PHASE	XX
DRAWN BY	XX
CHECKED BY	XX

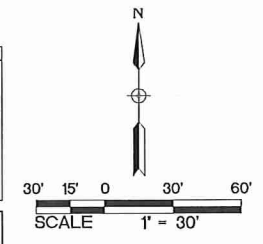
EXISTING SURVEY

C000



PROPOSED PLAN SYMBOLS	
CONSTRUCTION LIMITS	---
PERMETER EROSION CONTROL - SILT FENCE	---X---
PERMETER EROSION CONTROL - BO ROLL	---X---
PROPERTY LINE	---
SAWCUT LINE (APPROX.)	---
PROPOSED CONTOUR	---
DRAIN TILE	---
STORM SEWER	---
RETAINING WALL	---
CATCH BASIN	---
MANHOLE	---
EROSION CONTROL BLANKET (TEMPORARY)	---
BITUMINOUS REMOVAL	---
ROCK CONSTRUCTION ENTRANCE	---
DRAINAGE FLOW ARROW	---
SPOT ELEVATION	---
SOIL BORING	---
CONCRETE WASHOUT AREA	---

ABBREVIATIONS	
BUDG	Budget
BM	Bench Mark
CB	Catch Basin
CONC	Concrete
ELEV	Elevation
EX	Existing
FTE	Finished Floor Elevation
INVT	Invert
MAX	Maximum
MIN	Minimum
PVC	Polyvinyl Chloride
RCP	Reinforced Concrete Pipe
W.O.	Washout



NOTE: STORM SEWER INLETS NOT SHOWN ON PLAN MAY RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INSTALL INLET SEDIMENT PROTECTION PER DETAIL 4/C400 ON ALL STORM INLETS THAT MAY RECEIVE RUNOFF.

APPROXIMATE DISTURBED AREA IS 2.39 ACRES

- KEYED NOTES**
- KEYED NOTES ARE DENOTED BY [ ] ON PLAN.
- INSTALL ROCK CONSTRUCTION ENTRANCE. REFER TO DETAIL 1/C400.
  - INSTALL PERMETER EROSION CONTROL. REFER TO DETAILS 2/C400 AND 3/C400.
  - INSTALL INLET SEDIMENT PROTECTION. REFER TO DETAIL 4/C400.
  - APPROXIMATE LOCATION OF TEMPORARY CONTAINED CONCRETE WASH OUT BIN. REFER TO THE MINNESOTA'S NPDES/SUS GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY FOR MORE DETAILS. SIFT CONTAINED CONCRETE WASHOUTS ON CONCRETE DELIVERY TRUCKS IS AN ACCEPTABLE ALTERNATIVE TO ON-SITE CONCREMENT.
  - REMOVE CURB AND GUTTER IN ITS ENTIRETY TO THE EXTENT SHOWN. SAWCUT AND REMOVE AT NEAREST JOINT.
  - SAWCUT AND REMOVE BITUMINOUS PAVEMENT IN ITS ENTIRETY TO THE EXTENTS SHOWN.
  - INSTALL 1/4" DOT 3885 CATEGORY 2 TEMPORARY STRAW FIBER EROSION CONTROL BLANKET.

**1 DEMOLITION, GRADING, DRAINAGE, AND EROSION CONTROL PLAN**

- EROSION CONTROL NOTES:**
- ALL EROSION CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO ANY SITE GRADING OPERATIONS. THE CITY ENGINEERING DEPARTMENT AND THE LOWER RUM RIVER WATERSHED MANAGEMENT ORGANIZATION MUST BE NOTIFIED UPON COMPLETION OF THE INSTALLATION OF THE REQUIRED EROSION CONTROL FACILITIES AND PRIOR TO ANY GRADING OPERATION BEING COMMENCED. THE CONTRACTOR IS RESPONSIBLE TO SCHEDULE A PRE-CONSTRUCTION MEETING ON-SITE WITH THE CITY AND LOWER RUM RIVER WATERSHED MANAGEMENT ORGANIZATION. IF DAMAGED OR REMOVED DURING CONSTRUCTION, ALL EROSION CONTROL FACILITIES SHALL BE RESTORED AND IN PLACE AT THE END OF EACH DAY.
  - ANY EROSION CONTROL FACILITIES DEEMED NECESSARY BY THE CITY OF RAMSEY AND THE LOWER RUM RIVER WATERSHED MANAGEMENT ORGANIZATION AND BEFORE, DURING OR AFTER THE GRADING ACTIVITIES, SHALL BE INSTALLED AT THEIR REQUEST.
  - NO DEVIATIONS SHALL BE MADE FROM THE ELEVATIONS SHOWN ON THE APPROVED GRADING PLAN, WITHOUT PRIOR APPROVAL FROM THE CITY.
  - FOR SITES GREATER THAN 1.0 ACRE, AS REQUIRED BY THE MPCA PERMIT REQUIREMENTS, THE PERMIT APPLICANT MUST KEEP AN EROSION CONTROL INSPECTION LOG. INSPECTION MUST BE MADE ONCE EVERY SEVEN DAYS AND WITHIN 24 HOURS AFTER EVERY RAIN EVENT. THE INSPECTION RECORD MUST BE MADE AVAILABLE TO THE CITY LOWER RUM RIVER WATERSHED MANAGEMENT ORGANIZATION WITHIN 24 HOURS OF REQUEST.
  - FLOWS FROM DIVERSION CHANNELS OR PIPES (TEMPORARY OR PERMANENT) SHALL BE ROUTED TO SEDIMENTATION BASINS OR APPROPRIATE ENERGY DISSIPATORS TO PREVENT TRANSPORT OF SEDIMENT TO OUTFLOW TO LATERAL CONVEYORS AND TO PREVENT EROSION AND SEDIMENTATION WHEN RUNOFF FLOWS INTO THESE CONVEYORS.
  - SITE ACCESS ROADS SHALL BE GRADED OR OTHERWISE PROTECTED WITH SILT FENCES, DIVERSION CHANNELS, OR DYES AND PIPES TO PREVENT SEDIMENT FROM EXITING THE SITE VIA THE ACCESS ROADS. SITE-ACCESS ROADS/DRIVEWAYS SHALL BE SURFACED WITH CRUSHED ROCK WHERE THEY ADJOIN EXISTING PAVED ROADWAYS.
  - SOILS TRACKED FROM THE SITE BY MOTOR VEHICLES OR EQUIPMENT SHALL BE CLEANED DAILY FROM PAVED ROADWAY SURFACES, OR MORE FREQUENTLY IF REQUESTED BY CITY OR LOWER RUM RIVER WATERSHED MANAGEMENT ORGANIZATION THROUGHOUT THE DURATION OF CONSTRUCTION.
  - DUST CONTROL MEASURES SHALL BE PERFORMED PERIODICALLY WHEN CONDITIONS REQUIRE AND/OR AS DIRECTED BY THE CITY LOWER RUM RIVER WATERSHED MANAGEMENT ORGANIZATION.
  - ALL EROSION CONTROL MEASURES SHALL BE USED AND MAINTAINED FOR THE DURATION OF SITE CONSTRUCTION. IF CONSTRUCTION OPERATIONS OR NATURAL EVENTS DAMAGE OR INTERFERE WITH THESE EROSION CONTROL MEASURES, THEY SHALL BE RESTORED TO SERVE THEIR INTENDED FUNCTION AT THE END OF EACH DAY OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
  - ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED AS SOON AS POSSIBLE. ANY AREAS WHICH HAVE BEEN FINISHED GRADED OR AREAS THAT HAVE BEEN DISTURBED AND FOR WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT ACTIVELY UNDERWAY SHALL BE SEEDED AND MULCHED AS SET FORTH IN THE FOLLOWING PARAGRAPHS WITHIN 14 DAYS:
    - ALL SEEDING AREAS SHALL BE EITHER MULCHED AND DISC-ANCHORED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION. TEMPORARY STRAW MULCH SHALL BE DISC-ANCHORED AND APPLIED AT A UNIFORM RATE OF NOT LESS THAN TWO TONS PER ACRE AND NOT LESS THAN 80% COVERAGE.
    - IF THE GRADED AREA IS ANTICIPATED TO BE RE-DISTURBED/DEVELOPED WITHIN SIX MONTHS, PROVIDE A TEMPORARY VEGETATIVE COVER CONSISTING OF MINNESOTA DEPARTMENT OF TRANSPORTATION (MN/DOT) SEED MIXTURE 21-111 (OATS), OR 21-112 (WINTER WHEAT), AT A RATE OF 100 POUNDS PER ACRE.
    - IF GRADED AREA WILL NOT BE DEVELOPED FOR A PERIOD GREATER THAN SIX MONTHS, PROVIDE A SEMI-PERMANENT VEGETATIVE COVER OF SEED MIXTURE MN/DOT 22-112 AT A RATE OF 40 POUNDS PER ACRE.
    - GRADING BONDS OR THE EQUIVALENT SECURITIES SHALL BE RETAINED UNTIL TURF HAS GERMINATED AND SURVIVED A 60-DAY GROWING PERIOD.
    - ALL AREAS THAT WILL NOT BE MOVED OR MAINTAINED AS PART OF THE ULTIMATE DESIGN WILL BE PERMANENTLY RESTORED USING SEED MIXTURE MWDOT 23-141 AT A RATE OF 50 POUNDS PER ACRE.
    - UNLESS SPECIFIED ELSEWHERE WITHIN THE CONSTRUCTION DOCUMENTS (I.E. ARCHITECTURAL, SITE PLAN OR LANDSCAPE PLAN), PERMANENT TURF RESTORATION SHALL CONSIST OF MN/DOT SEED MIXTURE 23-131 (COMMERCIAL TURF GRASS) AT A RATE OF 220 POUNDS PER ACRE.
    - WHICHEVER OTHER EROSION AND SEDIMENT CONTROL PRACTICES ARE INADEQUATE, TEMPORARY ON-SITE SEDIMENT BASINS THAT CONFORM TO THE CRITERIA FOR ON-SITE DETENTION BASINS SHALL BE PROVIDED.
    - MULCH, HYDRO-MULCH, AND TECHNIQUES MAY NOT BE USED FOR STABILIZATION IN SHALES OR DRAINAGE DITCHES.
    - RUNOFF SHALL BE PREVENTED FROM ENTERING ALL STORM SEWER CATCH BASINS PROVIDING THEY ARE NOT NEEDED DURING CONSTRUCTION. WHERE STORM SEWER CATCH BASINS ARE NECESSARY FOR SITE DRAINAGE DURING CONSTRUCTION, A SILT FENCE OR SEDIMENT PROTECTION DEVICES AS DETAILED SHALL BE INSTALLED AND MAINTAINED AROUND ALL CATCH BASINS UNTIL THE TRIBUTARY AREA TO THE CATCH BASIN IS RESTORED.
  - GRADING ACTIVITIES PROPOSED TO BEGIN AFTER OCTOBER 15 WILL REQUIRE AN APPROVED PHASING SCHEDULE. THE AREA OF LAND THAT THE CITY WILL ALLOW TO BE DISTURBED AT THIS TIME OF YEAR WILL BE SEVERELY LIMITED. THE CITY WILL ALSO REQUIRE ADDITIONAL EROSION CONTROL DEVICES, I.E., TEMPORARY SEDIMENT BASINS, DOMINANT SEEDING AND HIGH RATES OF APPLICATION OF BOTH SEED AND MULCH.
  - TO MAINTAIN EROSION, ALL 3:1 SLOPES SHALL BE COVERED WITH AN MN/DOT 3885 CATEGORY 2 STRAW EROSION CONTROL BLANKETS OR STAKED SOO.
  - ACCUMULATION OF ALL SEDIMENT OCCURRING IN STORM SEWERS AND DITCHES SHALL BE REMOVED PRIOR TO, DURING AND AFTER COMPLETION OF GRADING ACTIVITIES.
  - EROSION CONTROL ITEMS AND DEVICES SHALL BE REMOVED ONLY AFTER THE AREA HAS RECEIVED FINAL STABILIZATION OR AS DIRECTED BY THE CITY AND WATERSHED.

- GRADING NOTES:**
- THE CONTRACTOR SHALL VISIT THE SITE, REVIEW ALL CONSTRUCTION DOCUMENTS AND FIELD VERIFY THE EXISTING CONDITIONS PRIOR TO BIDDING. NO ADDITIONAL COMPENSATION WILL BE GIVEN FOR WORK THAT COULD HAVE BEEN IDENTIFIED BY A SITE VISIT OR CONSTRUCTION DOCUMENT REVIEW.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT OR OWNER DOES NOT GUARANTEE THAT ALL THE UTILITIES ARE MAPPED, OR IF MAPPED, ARE SHOWN CORRECTLY. CONTACT Gopher One at 651-454-0002 FOR FIELD LOCATING EXISTING UTILITIES. CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.
  - PROTECT ALL EXISTING STRUCTURES AND UTILITIES WHICH ARE NOT SCHEDULED FOR REMOVAL.
  - NOTIFY CITY BUILDING INSPECTOR BEFORE TRENCHING AND EXCAVATION WORK COMMENCES. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS FROM THE CITY OF RAMSEY PRIOR TO START OF CONSTRUCTION.
  - ALL SPOT ELEVATIONS SHOWN AS 87.45, FOR EXAMPLE, ARE TO BE UNDERSTOOD TO MEAN 87.45.
  - ALL SPOT ELEVATIONS ALONG THE CURB-LINE INDICATE THE ELEVATION OF THE GUTTER, UNLESS NOTED OTHERWISE.
  - NO LANDSCAPED SLOPES ARE TO EXCEED 3:1 (3 FEET HORIZONTAL TO 1 FOOT VERTICAL) UNLESS NOTED OTHERWISE.
  - ACCESSIBLE PARKING AREAS SHALL NOT HAVE SLOPES IN ANY DIRECTION THAT EXCEED 2%.
  - PROVIDE POSITIVE DRAINAGE FROM BUILDINGS AT ALL TIMES.
  - UPON COMPLETION OF THE GRADING AND UTILITY WORK, THE CONTRACTOR SHALL CERTIFY THAT ALL GRADING AND UTILITY WORK WAS PERFORMED IN ACCORDANCE WITH THE APPROVED GRADING AND UTILITY PERMITS. AN AS-BUILT GRADING AND UTILITY PLAN SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND DISTRIBUTION.
  - PRIOR TO ISSUANCE OF BUILDING PERMITS, ALL NECESSARY EROSION CONTROL DEVICES MUST BE IN PLACE AND FUNCTIONING. THE CITY OF RAMSEY AND LOWER RUM RIVER WATERSHED MANAGEMENT ORGANIZATION WILL INSPECT THE SITE TO DETERMINE ITS SUITABILITY FOR BUILDING ACTIVITIES. IF THE PUBLIC UTILITIES HAVE NOT BEEN INSTALLED AT THIS POINT, IT MAY BE NECESSARY TO WITHHOLD BUILDING PERMITS FOR VARIOUS LOTS TO ALLOW THE CONTRACTOR ADEQUATE SPACE TO PERFORM THIS WORK.
  - ALL DEBRIS CREATED IN THE PROCESS OF CLEARING AND GRADING THE SITE SHALL BE REMOVED FROM THE SITE. THIS INCLUDES TREES AND SHRUBS. UNDER NO CIRCUMSTANCES SHALL THIS TYPE OF MATERIAL BE BURIED OR BURNED ON THE SITE.
  - THE INTENT IS TO STRIP AND SALVAGED TOPSOIL FOR POTENTIAL RE-SPREADING ON THE SITE, IF APPROVED BY THE LANDSCAPE ARCHITECT AND/OR SPECIFICATIONS. SIX INCHES OF TOPSOIL - AFTER COMPACTION - SHALL BE RE-SPREAD PRIOR TO SEEDING AND MULCHING. EXCESS TOPSOIL MAY BE REMOVED FROM THE SITE, PROVIDING THERE IS ADEQUATE TOPSOIL REMAINING TO PROPERLY FINISH THE SITE AS NOTED ABOVE. THE TOPSOIL, STRIPPING, STOCKPILING AND RE-SPREADING SHALL BE DONE IN ACCORDANCE TO, AND NOTED ON, THE APPROVED GRADING PLAN AND SPECIFICATIONS. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE DRAWINGS AND SPECIFICATIONS FOR ANY SPECIAL TOPSOIL OR PLANTING REQUIREMENTS.
  - ALL GRADING OPERATIONS SHALL BE CONDUCTED IN A MANNER TO MINIMIZE THE POTENTIAL FOR SITE EROSION. EROSION CONTROL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM RUNNING OFF ONTO ADJACENT PROPERTIES. ANY DAMAGE TO ADJACENT PROPERTIES MUST BE CORRECTED AND RESTORED AS SOON AS PERMISSION IS GRANTED FROM THE ADJACENT PROPERTY OWNERS.
  - IF CONSTRUCTION OF THE SITE WORK PROCEEDS THROUGH THE WINTER MONTHS, ANY DISTURBED AREAS OUTSIDE THE BUILDING FOOTPRINTS ARE TO BE MANUALLY STABILIZED PRIOR TO MARCH 1, AS FOLLOWS: AREAS PLANNED TO RECEIVE PAVEMENTS ARE TO HAVE CLASS 5 BASE INSTALLED; ALL OTHER DISTURBED AREAS ARE TO BE SEEDED, STRAW MULCH PLACED, AND DISC-ANCHORED.
  - WINTER MULCHING:
    - SNOW MULCHING SHALL BE DEFINED AS MULCH MATERIAL SPREAD OVER THE TOP OF SNOW SO THAT THE MULCH SELTS THROUGH THE SNOW AND STICKS TO THE EXPOSED SOILS.
    - FROZEN GROUND MULCHING SHALL BE DEFINED AS MULCH MATERIAL SPREAD OVER FROZEN GROUND. MULCH MATERIALS THAT DO NOT REQUIRE DISC-ANCHORING INTO THE SOIL MAY BE PLACED WITHOUT MODIFICATION. MULCH MATERIALS THAT REQUIRE DISC-ANCHORING MUST BE ANCHORED WITH HYDRAULIC SOIL STABILIZERS OR MAY BE FROZEN TO THE SOIL BY APPLYING WATER, AT A RATE OF 2000 GALLONS PER ACRE, OVER THE MULCH AS A SUBSTITUTION FOR DISC-ANCHORING.
  - THE CONTRACTOR SHALL LIMIT THE DISTURBED AREA AS MUCH AS POSSIBLE.

- DEMOLITION AND REMOVAL NOTES:**
- PRIOR TO START OF DEMOLITION, ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY OF RAMSEY AND ANOKA COUNTY. ALL SILT FENCES SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY CONSTRUCTION ACTIVITY. SILT FENCES SHALL BE INSTALLED ALONG THE CONTOUR.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT OR OWNER DOES NOT GUARANTEE THAT ALL THE UTILITIES ARE MAPPED, OR IF MAPPED, ARE SHOWN CORRECTLY. CONTACT Gopher One call at 651-454-0002 FOR FIELD LOCATING EXISTING UTILITIES. CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.
  - PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR IS TO CLEARLY IDENTIFY IN THE FIELD THE WETLAND PERIMETERS THAT ARE NOT TO BE IMPACTED SO THAT NO ENCRUSTMENT OCCURS. AFTER THE PERIMETERS ARE CLEARLY MARKED IN THE FIELD, THE CONTRACTOR SHALL CONTACT LOWER RUM RIVER WATERSHED MANAGEMENT ORGANIZATION TO CONTROL AND APPROVE NO ENCRUSTMENT LIMITS.
  - THERE MAY BE MISCELLANEOUS ITEMS TO BE REMOVED THAT ARE NOT IDENTIFIED ON THESE PLANS. THE CONTRACTOR SHALL VISIT THE SITE AND REVIEW THE DOCUMENTS TO OBTAIN A CLEAR UNDERSTANDING OF THE INTENDED SCOPE OF WORK.
  - PRIOR TO START OF CONSTRUCTION, DISCONNECT ALL GAS AND ELECTRIC SERVICES. COORDINATE DISCONNECTION OF EACH UTILITY WITH THE UTILITY OWNER. REMOVE ALL GAS AND ELECTRIC LINES UNDER PROPOSED BUILDING FOOTPRINT.
  - ANY UTILITIES NOT INDICATED FOR REMOVAL OR ABANDONMENT, ARE TO BE PROTECTED AT ALL TIMES.
  - ALL EXISTING CURB AND GUTTER IS TO BE REMOVED WITHIN THE SCOPE OF THE PROJECT FROM THE SAW CUT LINES TO THE NEAREST JOINT.
  - THE BACKGROUND INFORMATION WAS PREPARED BY JAMES R. HILL, INC. (952) 890-0044.
  - ALL WORK IN THE PUBLIC RIGHT OF WAY IS TO BE COORDINATED WITH THE CITY OF RAMSEY, ROADWAY REPAIRS, BOULEVARD REPAIRS, AND TRAFFIC CONTROL ARE TO BE PER CITY OF RAMSEY STANDARDS AND SPECIFICATIONS.

- GENERAL NOTES:**
- CONCRETE CURB AND GUTTER REMOVAL, PAVEMENT REMOVAL, AND UTILITY REMOVAL LIMITS ARE TO BE COORDINATED WITH THE CITY OF RAMSEY AND UTILITY OWNER. REFER TO ALL CONSTRUCTION DOCUMENTS.
  - THE CONTRACTOR SHALL DEVELOP AND IMPLEMENT A TRAFFIC CONTROL PLAN WHILE WORKING WITHIN THE RIGHT-OF-WAY. THE TRAFFIC CONTROL PLAN SHALL BE APPROVED BY THE CITY ENGINEERING DEPARTMENT PRIOR TO STREET ENCROACHMENT.
  - CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND REVIEW ALL CONSTRUCTION DOCUMENTS AND GEOTECHNICAL REPORTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR ITEMS THAT SHOULD HAVE BEEN ANTICIPATED BY PERFORMING THE ABOVE.
  - THE ROCK CONSTRUCTION ENTRANCE INDICATED ON THE PLAN IS SHOWN IN AN APPROXIMATE LOCATION. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR IS TO COORDINATE WITH THE CITY OF RAMSEY FOR THE EXACT ROCK CONSTRUCTION ENTRANCE LOCATION.

URBANWORKS  
GREENWAY TERRACE

URBANWORKS

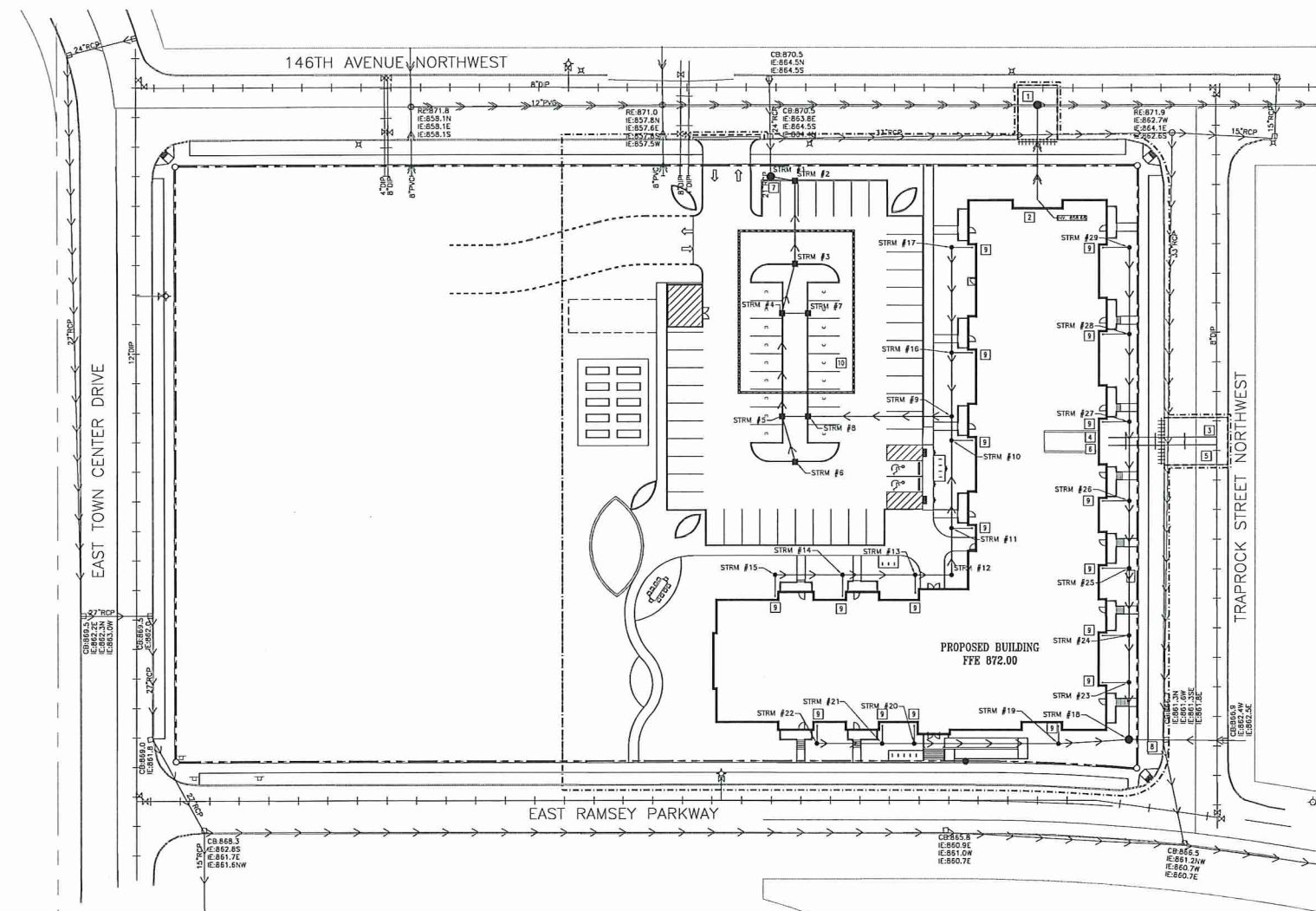
CONSULTANT  
**BKBM**  
6500 Brooklyn Boulevard  
Minneapolis, MN 55426-2518  
Phone: (763) 843-0400  
Fax: (763) 843-0421  
www.bkbn.com

PRELIMINARY  
NOT FOR CONSTRUCTION

REVISIONS

DATE 06/01/2017  
PROJECT # 17260  
DWG DD  
DRAWN BY VJH  
CHECKED BY KAM

DEMOLITION,  
GRADING,  
DRAINAGE,  
AND EROSION  
CONTROL PLAN



**PROPOSED PLAN SYMBOLS**

**CONSTRUCTION LIMITS**

**PROPERTY LINE**

**SHOULDER LINE (APPROX.)**

**SANITARY SEWER**

**WATER PIPE**

**DRAIN TILE**

**STORM SEWER**

**RETAINING WALL**

**GATE VALVE**

**CLEANOUT**

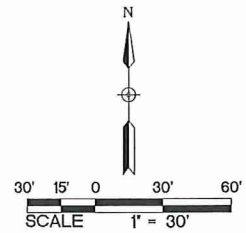
**CATCH BASIN**

**MANHOLE**

**SEWER INVERT ELEVATION**

**ABBREVIATIONS**

BLDG Building  
BM Bench Mark  
CB Catch Basin  
CONC Concrete  
DIP Ductile Iron Pipe  
ELEV Elevation  
FTE Finished Floor Elevation  
HDPE High Density Polyethylene  
INV Invert  
MAX Maximum  
MANH Manhole  
MIN Minimum  
PIP Post Indicator Valve  
PVC Polyvinyl Chloride  
RCP Reinforced Concrete Pipe  
RD Down Spout Drain



\*NOTE: CONSTRUCTION LIMITS ARE ANTICIPATED TO BE PROPERTY LINE UNLESS OTHERWISE SHOWN.

- KEYED NOTES**
- CONSTRUCT MANHOLE OVER EXISTING 8-INCH PVC SANITARY SEWER, INV WAE=857.62, INV S=857.62, AND RE=871.00, FOLLOW ALL CITY OF RAMSEY STANDARDS AND SPECIFICATIONS. REFER TO DETAIL 5/C490.
  - INSTALL 48-FOOT OF 6-INCH PVC PIPE AT 2.0% TO INVERT OF 858.68, STUB TO WITHIN 5-FOET OF PROPOSED BUILDING. COORDINATE EXACT LOCATION AND INVERT ELEVATION WITH MECHANICAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
  - WETAP EXISTING 8-INCH WATER MAIN FOR 6-INCH FIRE SERVICE. REFER TO DETAIL 14/C400. COORDINATE ALL WORK WITH CITY OF RAMSEY. CONTRACTOR SHALL SUBMIT TRAFFIC CONTROL PLANS TO CITY OF RAMSEY PRIOR TO CONSTRUCTION.
  - STUB 6-INCH FIRE PROTECTION LINE TO WITHIN 5-FOET OF PROPOSED BUILDING. FOLLOW ALL CITY OF RAMSEY STANDARDS AND SPECIFICATIONS.
  - WETAP EXISTING 8-INCH WATER MAIN FOR 4-INCH DOMESTIC WATER SERVICE. REFER TO DETAIL 14/C400. COORDINATE ALL WORK WITH CITY OF RAMSEY. CONTRACTOR SHALL SUBMIT TRAFFIC CONTROL PLANS TO CITY OF RAMSEY PRIOR TO CONSTRUCTION.
  - STUB 4-INCH DOMESTIC WATER SERVICE TO WITHIN 5-FOET OF PROPOSED BUILDING. FOLLOW ALL CITY OF RAMSEY STANDARDS AND SPECIFICATIONS.
  - REMOVE CAP AND CONSTRUCT MANHOLE OVER EXISTING 21-INCH RCP STORM SEWER STUB AT INV. 854.58. FOLLOW ALL CITY OF RAMSEY STANDARDS AND SPECIFICATIONS. REFER TO DETAIL 11/C400. CONTRACTOR TO POT-HOLE AND DETERMINE INVERT OF STORM SEWER STUB PRIOR TO CONSTRUCTION.
  - REMOVE PLUG AND CONNECT TO EXISTING 18-INCH RCP STORM SEWER STUB AT INV. 851.77. FOLLOW ALL CITY OF RAMSEY STANDARDS AND SPECIFICATIONS. CONTRACTOR TO POT-HOLE AND DETERMINE INVERT OF STORM SEWER STUB PRIOR TO CONSTRUCTION.
  - LOCATION OF PROPOSED DOWNSPOUT DRAIN WITH SPLASH GUARD. REFER TO DETAIL 13/C400. REFER TO STORM SEWER TABLE FOR INVERT ELEVATION AND PIPE SIZES. COORDINATE EXACT LOCATION AND INVERT ELEVATION WITH MECHANICAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
  - STORM SEWER TREATMENT SYSTEM SHOWN FOR REFERENCE ONLY. CONTRACTOR TO FACE SYSTEM FOR CONSTRUCTION. SYSTEM IS NOT TO BE CONSTRUCTED. REFER TO DETAIL 2/C600.

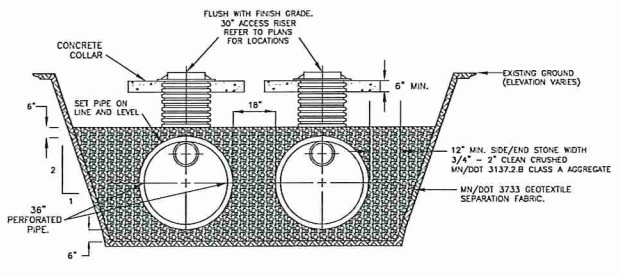
- UTILITY NOTES FOR WORK IN PUBLIC RIGHT-OF-WAY:**
- FOLLOW ALL CITY OF RAMSEY STANDARDS AND SPECIFICATIONS.
  - PRIOR TO CONSTRUCTION, CONTRACTORS ARE TO COORDINATE ALL WORK WITHIN RIGHT OF WAY AND OBTAIN ALL APPLICABLE PERMITS.

- UTILITY NOTES:**
- COORDINATE SERVICE CONNECTION LOCATIONS AT THE BUILDING WITH THE MECHANICAL CONTRACTOR PRIOR TO CONSTRUCTION. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR UNCOORDINATED WORK.
  - COORDINATE UTILITY INSTALLATION WITH STRUCTURAL PRIOR TO START OF CONSTRUCTION. UTILITIES SHALL NOT BE INSTALLED WITHIN THE ZONE OF INFLUENCE OF ANY STRUCTURAL ELEMENTS. NO ADDITIONAL COMPENSATION WILL BE PROVIDED FOR UNCOORDINATED WORK.
  - ALL SEWER SERVICE CONNECTIONS WITH LESS THAN 5 FEET OF COVER OVER THE TOP OF PIPE SHALL BE INSULATED. INSULATION SHALL BE INSTALLED FROM THE CONNECTION OF THE SERVICE AT THE BUILDING TO THE POINT WHICH THE SERVICE ATTAINS 5 FEET OF COVER. CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION FROM ARCHITECT OR ENGINEER PRIOR TO INSTALLATION OF INSULATION.
  - PROTECT ALL EXISTING STRUCTURES AND UTILITIES WHICH ARE NOT SCHEDULED TO BE REMOVED.
  - ALL SEWER AND WATER CROSSINGS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 1.5 FEET AND HORIZONTAL SEPARATION OF 10 FEET. FOLLOW ALL HEALTH DEPARTMENT AND CITY OF RAMSEY AND ANOKA COUNTY STANDARDS.
  - ALL WATER MAINS SHALL BE DUCTILE IRON PIPE, CLASS 52, UNLESS NOTED OTHERWISE.
  - ALL WATER MAIN SHALL HAVE A MINIMUM DEPTH OF COVER OF 7.5 FEET OVER TOP OF WATER MAIN.
  - PROVIDE THRUST BLOCKING ON ALL WATER MAIN PER CITY OF RAMSEY. PROVIDE MECHANICAL JOINT RESTRAINTS ON ALL BENDS, VALVES, TEES, PLUGS AND HYDRANT LEADS.
  - SANITARY SEWER PIPING SHALL BE 50R 26 PVC UNLESS NOTED OTHERWISE.
  - STORM SEWER PIPING SHALL BE SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE), UNLESS NOTED OTHERWISE. HDPE PIPE SHALL CONFORM TO ASTM F2506.
  - STORM SEWER PIPING SHALL BE 50R 26 POLY VINYL CHLORIDE (PVC), UNLESS NOTED OTHERWISE. ALL STORM SEWER PIPE THAT IS EXTENDED TO THE BUILDING FOR ROOF DRAIN SERVICES IS TO BE SCHEDULE 40 PVC PIPE AND FITTINGS SHALL CONFORM TO THE REQUIREMENTS OF ASTM D3034 (ASTM D2665 FOR SCHEDULE 40).
  - CONTRACTORS SHALL COORDINATE ALL WORK WITH GAS, ELECTRIC, TELEVISION AND TELEPHONE COMPANIES PRIOR TO START OF CONSTRUCTION.
  - ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10-FOET OF THE BUILDING OR WATER SERVICE LINE SHALL BE TESTED IN ACCORDANCE WITH MN PLUMBING CODE.
  - ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GAS TIGHT OR WATER TIGHT IN ACCORDANCE TO MN PLUMBING CODE. APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATER TIGHT CONNECTIONS TO MANHOLES, CATCH BASINS, AND OTHER STRUCTURES. GROUT RINGS ARE AN ACCEPTABLE ALTERNATIVE. CEMENT MORTAR JOINTS ARE PERMITTED ONLY FOR REPAIRS AND CONNECTIONS OF EXISTING LINES CONSTRUCTED WITH SUCH JOINTS.

1 UTILITY PLAN  
200 1" = 30'

STRUCTURE ID	STRUCTURE DIMENSION (INCHES)	NEENAH CASTING TYPE	RM ELEVATION	INVERT ELEVATION(S)	PIPE LENGTH, DIAMETER, SLOPE & NEXT UPSTREAM STRUCTURE
STRM #1	48" STMH	R-1733	871.20	E = 884.56	12 L.F. OF 18" HDPE @ 0.48%, STRM #2
STRM #2	48" CBWH	R-3067	869.43	W = 864.82 S = 864.82 E = 864.82	42 L.F. OF 15" HDPE @ 0.50%, STRM #3
STRM #3	48" CBWH	R-3067	870.02	N = 864.83 S = 864.83	28 L.F. OF 15" HDPE @ 0.50%, STRM #4
STRM #4	48" CBWH	R-3067	870.03	N = 864.96 S = 864.96 E = 864.96	52 L.F. OF 15" HDPE @ 0.50%, STRM #5 13 L.F. OF 12" HDPE @ 12.00%, STRM #7
STRM #5	48" CBWH	R-3067	870.03	N = 865.22 S = 865.22 E = 865.22	24 L.F. OF 12" HDPE @ 0.46%, STRM #6 13 L.F. OF 15" HDPE @ 0.54%, STRM #8
STRM #6	24"x36" CB	R-3067	870.02	N = 866.53	-----
STRM #7	24"x36" CB	R-3067	870.03	W = 866.53	-----
STRM #8	48" CBWH	R-3067	870.03	W = 865.29 E = 865.29	73 L.F. OF 12" HDPE @ 2.01%, STRM #9
STRM #9	10" x 10" TEE	NA	NA	W = 866.75 S = 866.75 N = 867.15	12 L.F. OF 8" HDPE @ 0.49%, STRM #10 32 L.F. OF 10" HDPE @ 0.49%, STRM #16
STRM #10	10" x 6" WYE	NA	NA	N = 866.81 S = 866.81	45 L.F. OF 10" HDPE @ 0.49%, STRM #11
STRM #11	10" x 6" WYE	NA	NA	N = 867.03 S = 867.03	24 L.F. OF 10" HDPE @ 0.51%, STRM #12
STRM #12	10" x 6" WYE	NA	NA	N = 867.15 W = 867.15	18 L.F. OF 10" HDPE @ 0.49%, STRM #13
STRM #13	10" x 6" WYE	NA	NA	E = 867.24 W = 867.24	37 L.F. OF 10" HDPE @ 0.49%, STRM #14
STRM #14	10" x 6" WYE	NA	NA	E = 867.42 W = 867.42	34 L.F. OF 10" HDPE @ 0.50%, STRM #15
STRM #15	10" x 6" WYE	NA	NA	E = 867.59	-----
STRM #16	10" x 6" WYE	NA	NA	S = 867.31 N = 867.31	54 L.F. OF 10" HDPE @ 0.50%, STRM #17
STRM #17	10" x 6" WYE	NA	NA	S = 867.58	-----

STRUCTURE ID	STRUCTURE DIMENSION (INCHES)	NEENAH CASTING TYPE	RM ELEVATION	INVERT ELEVATION(S)	PIPE LENGTH, DIAMETER, SLOPE & NEXT UPSTREAM STRUCTURE
STRM #18	48" MH	R-1733	867.75	N = 861.82	29 L.F. OF 10" HDPE @ 2.00%, STRM #23
STRM #19	10" x 6" WYE	R-4360	863.71	E = 862.00 W = 862.00	73 L.F. OF 10" HDPE @ 0.51%,
STRM #20	10" x 6" WYE	NA	NA	W = 862.37	16 L.F. OF 10" HDPE @ 0.49%, STRM #21
STRM #21	10" x 6" WYE	NA	NA	E = 862.45 W = 862.45	33 L.F. OF 10" HDPE @ 0.51%, STRM #22
STRM #22	10" x 6" WYE	NA	NA	E = 862.62	-----
STRM #23	10" x 6" WYE	NA	NA	S = 862.40 N = 862.40	24 L.F. OF 10" HDPE @ 2.01%, STRM #24
STRM #24	10" x 6" WYE	NA	NA	S = 862.88 N = 862.88	34 L.F. OF 10" HDPE @ 1.99%, STRM #25
STRM #25	10" x 6" WYE	NA	NA	S = 863.56 N = 863.56	34 L.F. OF 10" HDPE @ 1.99%, STRM #26
STRM #26	10" x 6" WYE	NA	NA	S = 864.24 N = 864.24	40 L.F. OF 10" HDPE @ 1.99%, STRM #27
STRM #27	10" x 6" WYE	NA	NA	S = 865.04 N = 865.04	45 L.F. OF 10" HDPE @ 2.00%, STRM #28
STRM #28	10" x 6" WYE	NA	NA	S = 865.93 N = 865.93	44 L.F. OF 10" HDPE @ 2.00%, STRM #29
STRM #29	10" x 6" WYE	NA	NA	S = 866.81	-----



- UTILIZE CARE WHEN LOWERING UNIT INTO THE TRENCH. HANDLE USING NYLON SLINGS AND TWO PICK POINTS.
  - PLACE BACKFILL AROUND THE UNIT IN UNIFORM 8"-12" LIFTS, COMPACTED TO 95% SPO.
  - WHEN THE UNIT CONSISTS OF 2 SECTIONS, PLACE THE DOWNSTREAM SECTION FIRST. CONNECT AND HOME THE REMAINING SECTIONS.
  - ALL CONNECTION POINTS ARE TO BE SOE PROOF.
  - ACCESS RISERS AND CONCRETE COLLARS SHALL BE DESIGNED TO WITHSTAND HS25 LOADS.
- ROW LENGTH: 107 FEET  
NUMBER OF ROWS: 14  
NUMBER OF HEADERS: 2  
FILTRATION VOLUME: 3,397 CUBIC FEET  
TOTAL STORAGE VOLUME: 17,249 CUBIC FEET

2 INFILTRATION TANK DETAIL  
200 NOT TO SCALE



URBANWORKS



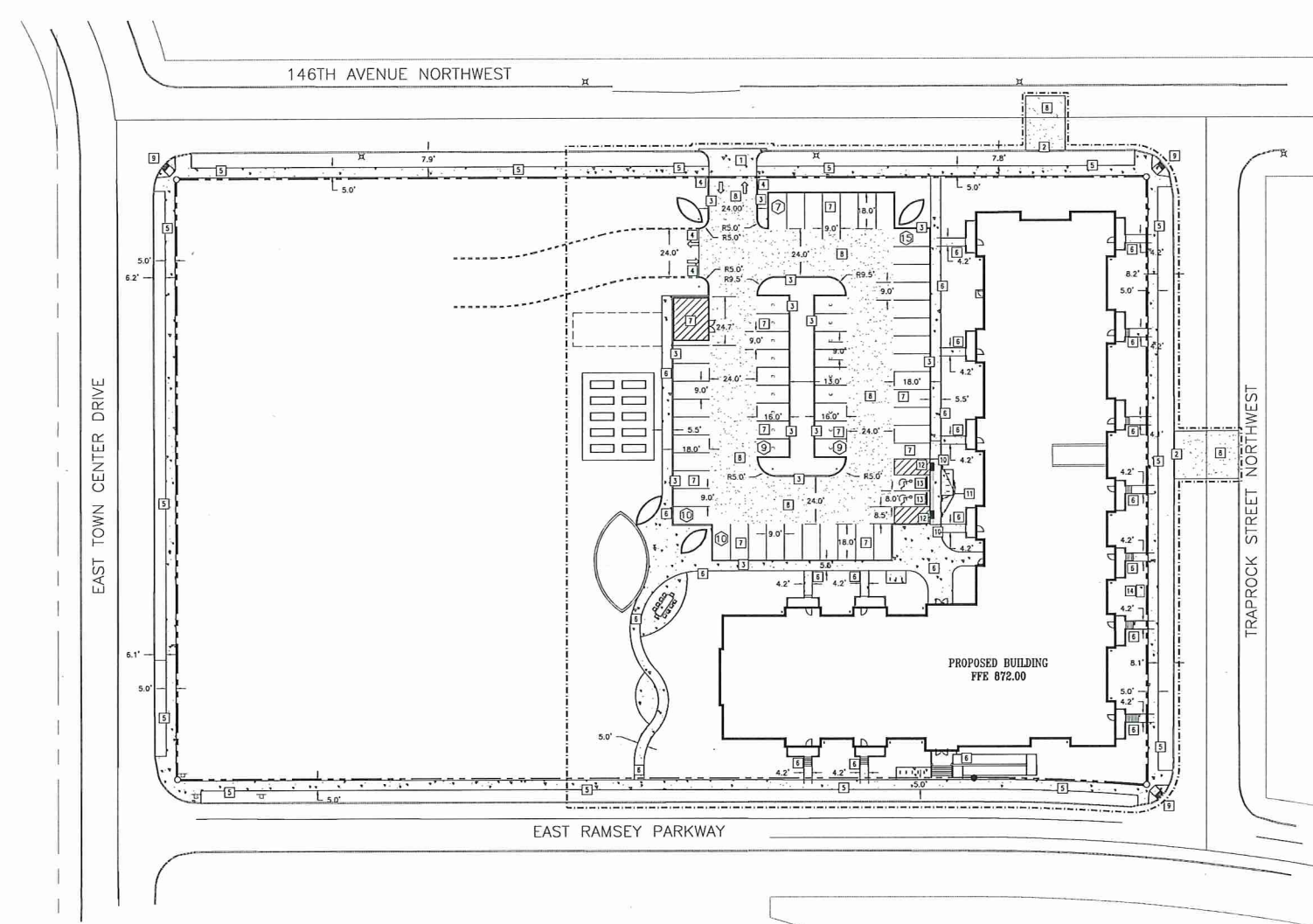
PRELIMINARY  
NOT FOR CONSTRUCTION

REVISIONS

DATE	06.01.2017
PROJ.ECT #	17260
PHASE	DD
DRAWN BY	YKH
CHECKED BY	KAM

UTILITY PLAN

C200

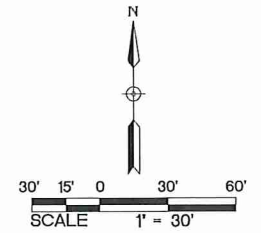


**PROPOSED PLAN SYMBOLS**

CONSTRUCTION LIMITS	---
PROPERTY LINE	---
SAFETY LINE (APPROX.)	---
HEAVY-DUTY BITUMINOUS PAVEMENT	[Symbol]
CONCRETE PAVEMENT/SIDEWALK	[Symbol]
FLAT CURB AND GUTTER	[Symbol]
PEDESTRIAN CURB RAMP	[Symbol]
ACCESSIBLE PARKING STALL	[Symbol]
SIGN	[Symbol]
PARKING STALL COUNT	[Symbol]

**ABBREVIATIONS**

BUILD	Building
B.M.	Bench Mark
CONC	Concrete
ELEV	Elevation
EX	Existing
F.F.E.	Finished Floor Elevation
MAX	Maximum
MIN	Minimum
R	Radius
TYP.	Typical
MNUTCD	Minnesota Manual on Uniform Traffic Control Devices



\*NOTE: CONSTRUCTION LIMITS ARE ANTICIPATED TO BE PROPERTY LINE UNLESS OTHERWISE SHOWN.

**KEYED NOTES**

- KEYED NOTES ARE DENOTED BY [Symbol] ON PLAN.
- [1] INSTALL CONCRETE DRIVE ENTRANCE. REFER TO DETAIL 3/C401.
  - [2] INSTALL B618 CONCRETE CURB AND GUTTER. REFER TO DETAIL 1/C401.
  - [3] INSTALL B612 CONCRETE CURB AND GUTTER. REFER TO DETAIL 1/C401.
  - [4] INSTALL HOSE-DOWN CURB SECTION. REFER TO DETAIL 5/C401.
  - [5] INSTALL 6-INCH CONCRETE WALK. REFER TO DETAIL 2/C401.
  - [6] INSTALL 4-INCH CONCRETE WALK. REFER TO DETAIL 8/C401. REFER TO LANDSCAPE PLANS FOR CONCRETE FINISH AND JOINTING.
  - [7] INSTALL LIGHT-DUTY BITUMINOUS PAVEMENT. REFER TO DETAIL 7/C401.
  - [8] INSTALL HEAVY-DUTY BITUMINOUS PAVEMENT FOR REPAIRS IN THE PUBLIC ROW. COORDINATE WITH THE CITY OF RAMSEY FOR WEARING COURSE INSTALLATION. REFER TO DETAIL 8/C401.
  - [9] INSTALL PEDESTRIAN CURB RAMP. REFER TO DETAIL 12/C401. REFER TO MN/DOT STANDARD PLAN 5-297.250 AND WI/DOT STANDARD PLATE 7038.
  - [10] INSTALL PARALLEL CURB RAMP. REFER TO DETAIL 11/C401. REFER TO MN/DOT STANDARD PLAN 5-297.250 AND WI/DOT STANDARD PLATE 7038.
  - [11] INSTALL ACCESSIBLE PARKING SIGN. REFER TO DETAIL 13/C401.
  - [12] INSTALL FLAT CURB SECTION. REFER TO DETAIL 6/C401.
  - [13] INSTALL PRECAST WHEEL STOP. REFER TO DETAIL 10/C401.
  - [14] INSTALL TRANSFORMER PAD. REFER TO MANUFACTURERS SPECIFICATIONS.

**PAVING NOTES:**

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
2. ALL CURB AND GUTTER IS TO BE B612 CONCRETE CURB AND GUTTER UNLESS NOTED OTHERWISE.
3. NO SIDEWALK IS TO HAVE MORE THAN A 2% CROSS SLOPE OR MORE THAN A 5% LONGITUDINAL SLOPE.
4. REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING LAYOUT.
5. FOLLOW ALL CITY OF RAMSEY RULES, REGULATIONS AND SPECIFICATIONS WHEN WORKING IN PUBLIC RIGHT OF WAY.
6. ALL PARKING STALLS, EXCEPT ACCESSIBLE STALLS, ARE TO BE 9 FEET WIDE BY 18 FEET LONG.
7. ACCESSIBLE STALLS SHALL BE STRIPED PER MN CODE (SECTION 502), WHERE "NO PARKING" SIGNAGE WOULD OBSTRUCT A CURB RAMP OR ACCESSIBLE ROUTE, "NO PARKING" SHALL BE PRINTED ON THE SURFACE OF THE ACCESS AISLE.
8. THE CONTRACTOR IS TO CONTACT THE CITY OF RAMSEY FIRE MARSHAL FOR THE EXACT PLACEMENT OF FIRE LANES, YELLOW-PAINTED CURBING AND NO PARKING AREAS FOR FIRE PROTECTION PURPOSES.
9. REFER TO STRUCTURAL PLANS FOR STOOD DETAILS. ALL WALKS ARE TO BE CENTERED ON THE DOORS.
10. INSTALL APPROPRIATE EXPANSION MATERIAL WHERE CONCRETE IS ADJACENT TO BUILDING FACE.
11. MATCH NEW PAVEMENT INTO EXISTING PAVEMENT. NO ABRUPT GRADE TRANSITIONS OR PONDING OF WATER WILL BE ALLOWED.
12. MATCH NEW CONCRETE CURB AND GUTTER INTO EXISTING. NO ABRUPT GRADE TRANSITIONS OR PONDING OF WATER WILL BE ALLOWED.
13. MATCH NEW SIDEWALK INTO EXISTING SIDEWALK. NO ABRUPT GRADE TRANSITIONS OR PONDING OF WATER WILL BE ALLOWED.
14. MATCH EXISTING PAVEMENT, SIDEWALK AND CURB AND GUTTER TO NEAREST JOINT. COORDINATE REMOVAL LIMITS WITH SITE RENOVATION CONTRACTOR AND CONSTRUCTION MANAGER.
15. INSTALL DRIVE ENTRANCE PER CITY OF RAMSEY STANDARDS AND SPECIFICATIONS. FOLLOW ALL CITY OF RAMSEY REQUIREMENTS FOR TRAFFIC CONTROL.
16. REFER TO SPECIFICATIONS FOR GRADE VERIFICATION SURVEY REQUIREMENTS PRIOR TO PLACEMENT OF SUB-BASE MATERIAL, BASE MATERIAL, AND PAVEMENT/SIDEWALKS.

**1 PAVING AND GEOMETRIC PLAN**  
1" = 30'



801 NORTH THIRD STREET, SUITE 150  
MINNEAPOLIS, MN 55401

**URBANWORKS**

© URBANWORKS ARCHITECTURE LLC 2017  
801 NORTH THIRD STREET, SUITE 145, MINNEAPOLIS, MN 55401

CONSULTANT



PRELIMINARY  
NOT FOR  
CONSTRUCTION

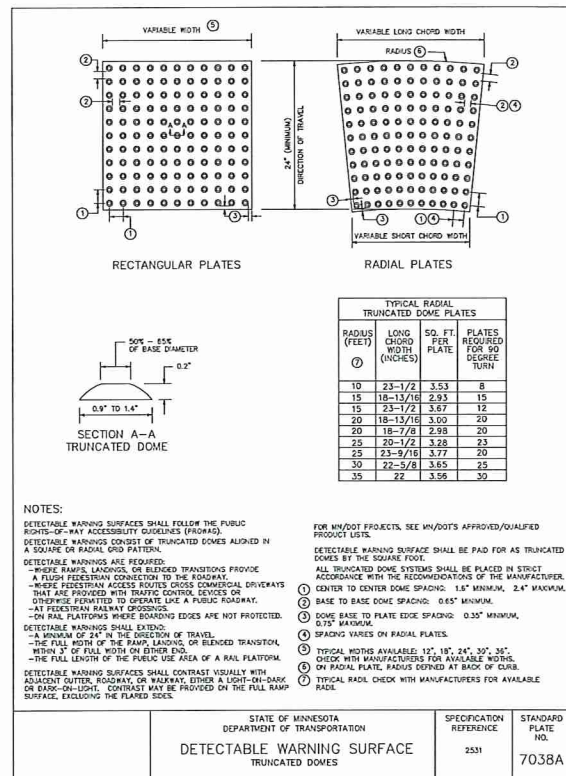
REVISIONS

DATE	06.01.2017
PROJECT #	17260
PHASE	DD
DRAWN BY	VH
CHECKED BY	KAM

PAVING AND  
GEOMETRIC  
PLAN

**C300**

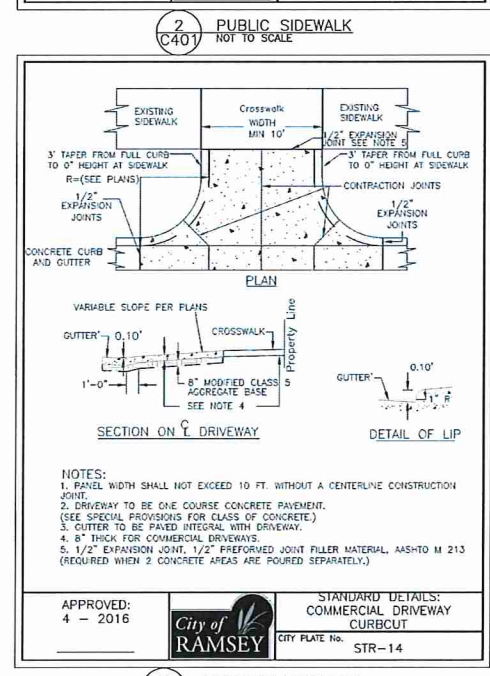
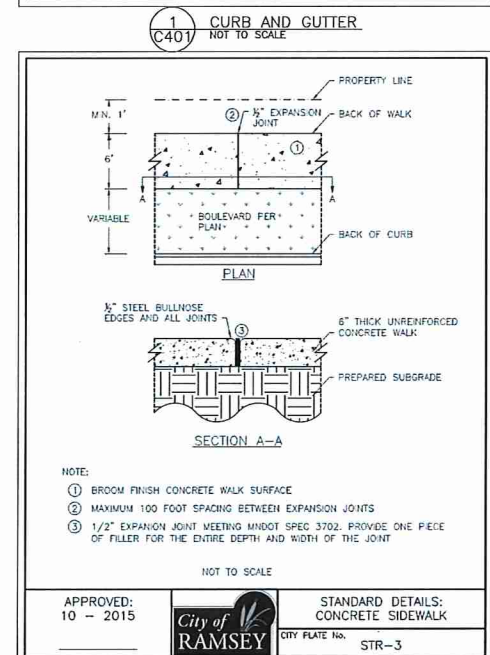
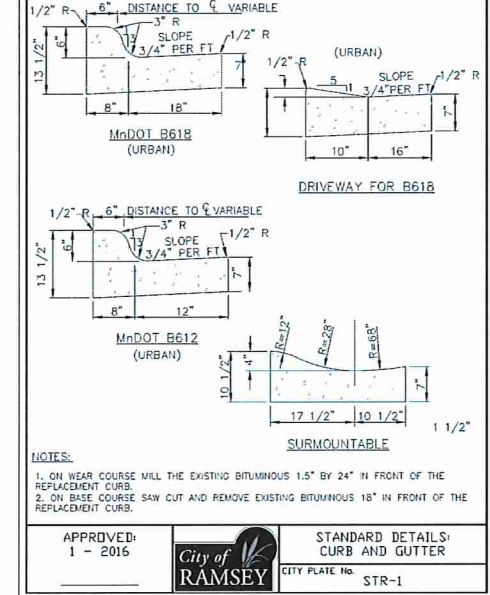
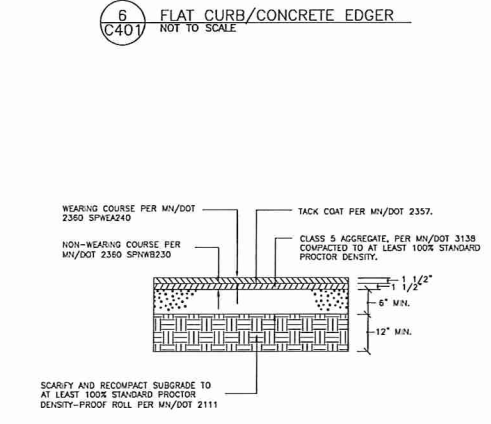
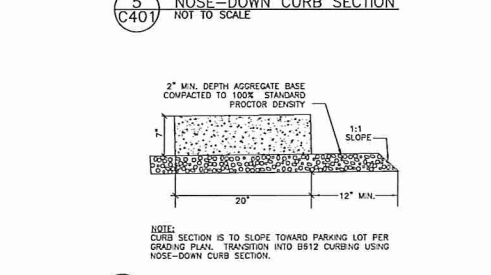
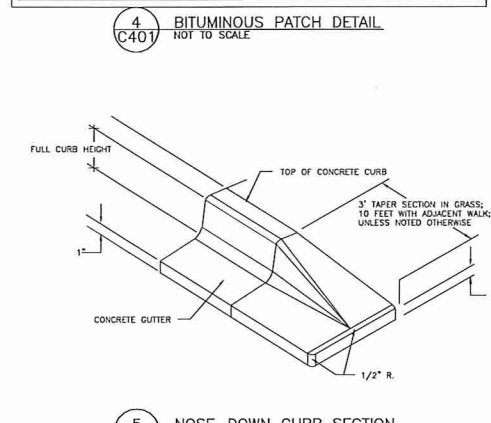
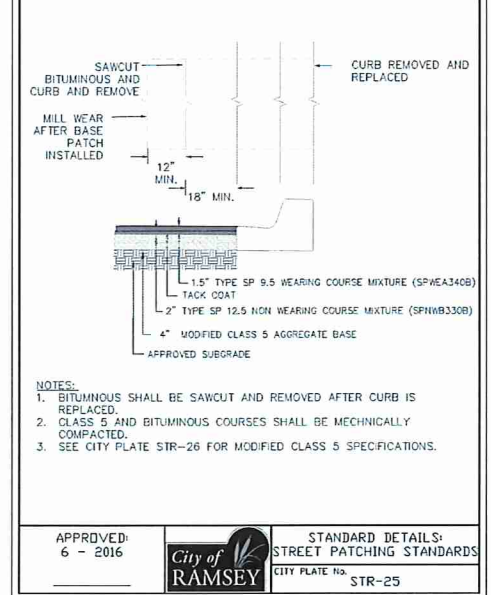
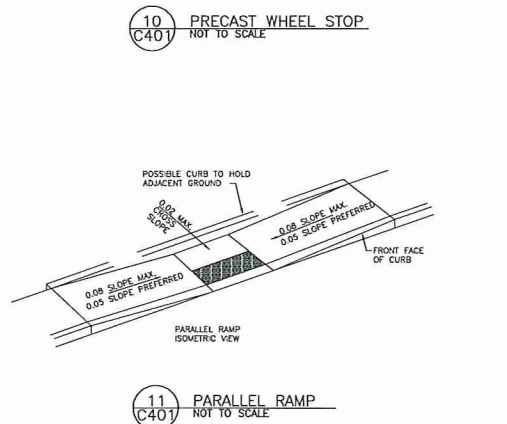
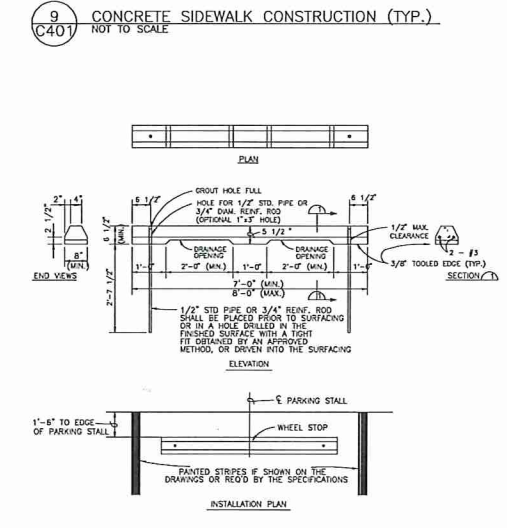
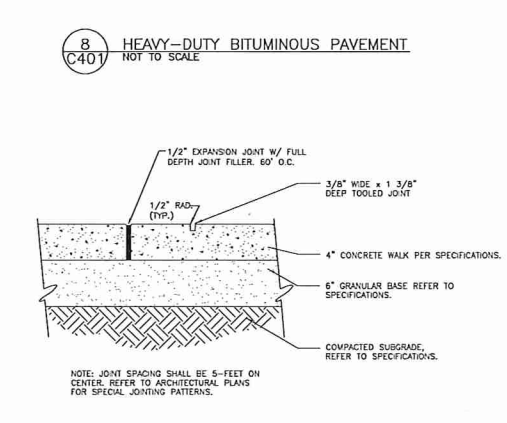
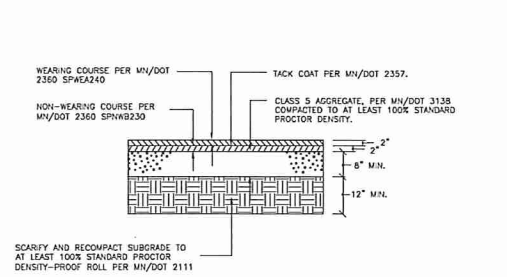
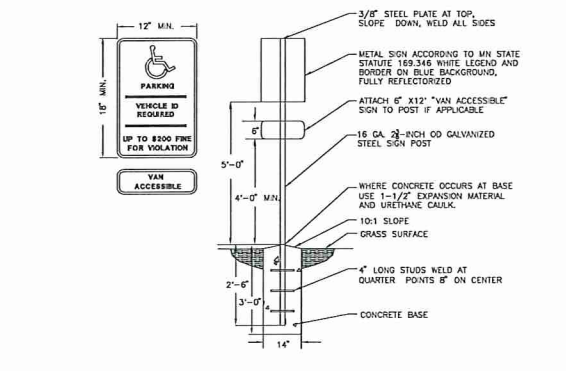
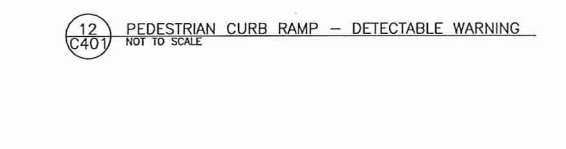




STATE OF MINNESOTA  
DEPARTMENT OF TRANSPORTATION  
**DETECTABLE WARNING SURFACE**  
TRUNCATED DOMES

SPECIFICATION REFERENCE: 2531  
STANDARD PLATE NO.: 7038A

NOTE:  
FOR ADA COMPLIANT PEDESTRIAN RAMPS, REFER TO MN/DOT STANDARD PLAN 5-297.250 PEDESTRIAN CURB RAMP DETAILS AT THE FOLLOWING WEB ADDRESS:  
[HTTP://STANDARDPLATES.DOT.STATE.MN.US/STPLATE.ASPX](http://STANDARDPLATES.DOT.STATE.MN.US/STPLATE.ASPX)



AGON  
GREENWAY TERRACE

URBANWORKS

CONSULTANT  
BKBM

PRELIMINARY  
NOT FOR CONSTRUCTION

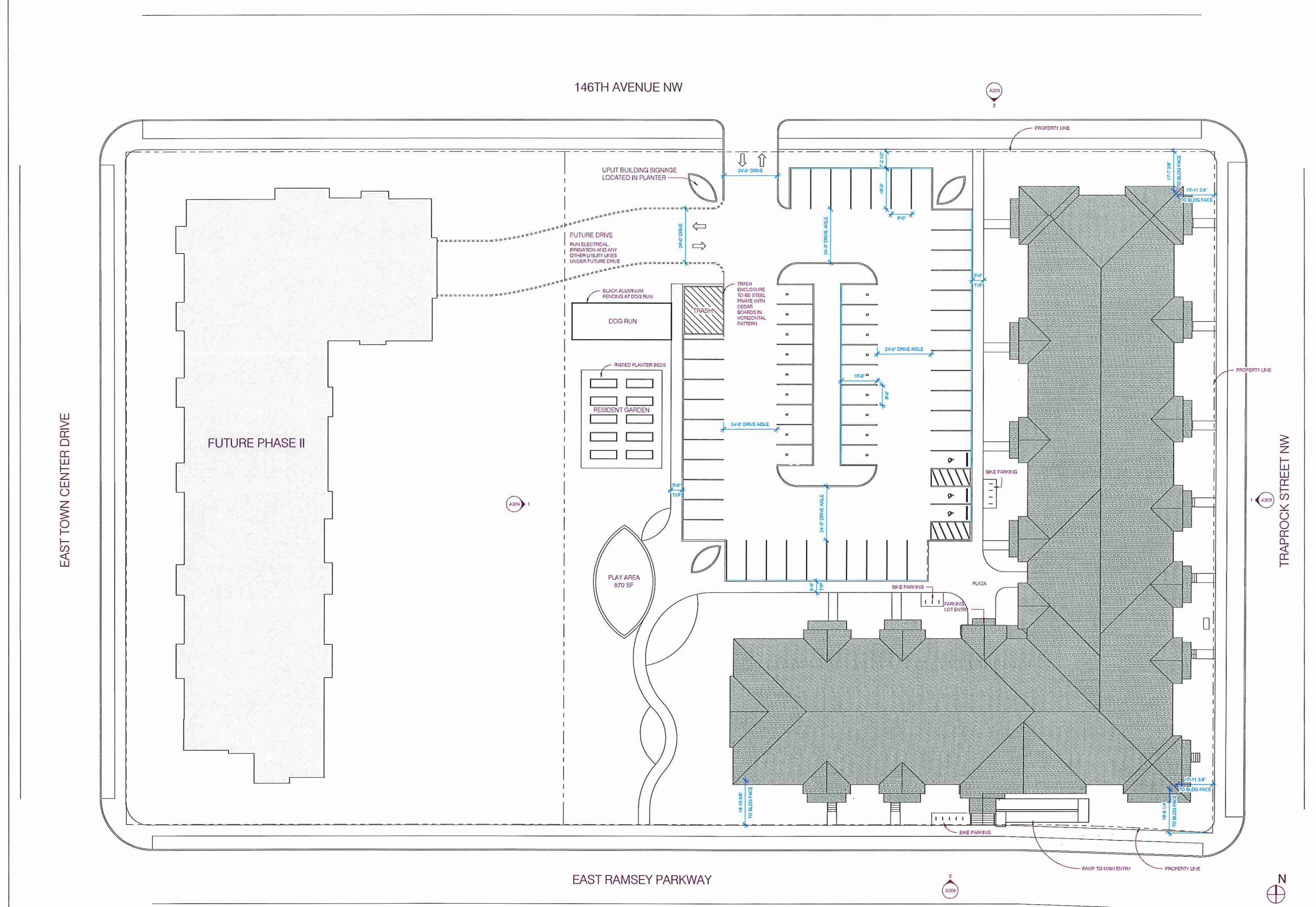
REVISIONS

DATE PROJECT # PHASE DRAWN BY CHECKED BY

CIVIL DETAIL SHEET

C401





146TH AVENUE NW

EAST TOWN CENTER DRIVE

FUTURE PHASE II

EAST RAMSEY PARKWAY

TRAPROCK STREET NW

UPLIFT BUILDING SIGNAGE  
LOCATED IN PLANTER

FUTURE DRIVE  
RUN ELECTRICAL,  
IRRIGATION AND ANY  
OTHER UTILITY LINES  
UNDER FUTURE DRIVE

BLACK ALUMINUM  
FENCING AT DOG RUN

DOG RUN

RAISED PLANTER BEDS

RESIDENT GARDEN

PLAY AREA  
870 SF

TRASH  
ENCLOSURE  
TO BE STEEL  
FRAME WITH  
CEDAR  
BOARDS IN  
HORIZONTAL  
PATTERN

BIKE PARKING

PLAZA

PARKING  
LOT ENTRY

BIKE PARKING

RAMP TO MAIN ENTRY

TREES



Acer platanoides 'Emerald Lustre'    Acer x freemanii 'Armstrong'    Amelanchier x grandiflora 'Autumn Brilliance'    Celtis occidentalis



Gleditsia triacanthos 'Skyline'    Pinus strobus    Quercus x 'Regal Prince'    Ulmus x morton 'Accolade'

SHRUBS



Cornus hessei 'Garden Glow'    Diervilla lonicera    Hydrangea arborescens 'Annabelle'    Physocarpus opulifolius 'Little Devil'    Rhus aromatica 'Gro-Low'



Ribes alpinum    Sorbaria sorbifolia 'Sem'    Spiraea betulifolia 'Tor'    Spiraea x bumalda 'Anthony Waterer'



Syringa pubescens 'Miss Kim'    Weigela florida 'Minuet'

PERENNIALS / GARDEN PLANTERS



Calamagrostis x acutiflora 'Karl Foerster'    Hemerocallis x 'Bodacious Returns'    Asclepias tuberosa    Echinacea purpurea    Liatris spicata



Nepeta faassenii    Panicum vergatum    Perovskia atriplicifolia    Rudbeckia hirta    Salvia x 'Bee's Bliss'

EVERGREEN SHRUBS



Juniperus chinensis 'Mint Julep'    Juniperus scopulorum 'Bailligh'    Taxus x media 'Tauntoni'    Thuja occidentalis 'Techny'

PLANT SCHEDULE

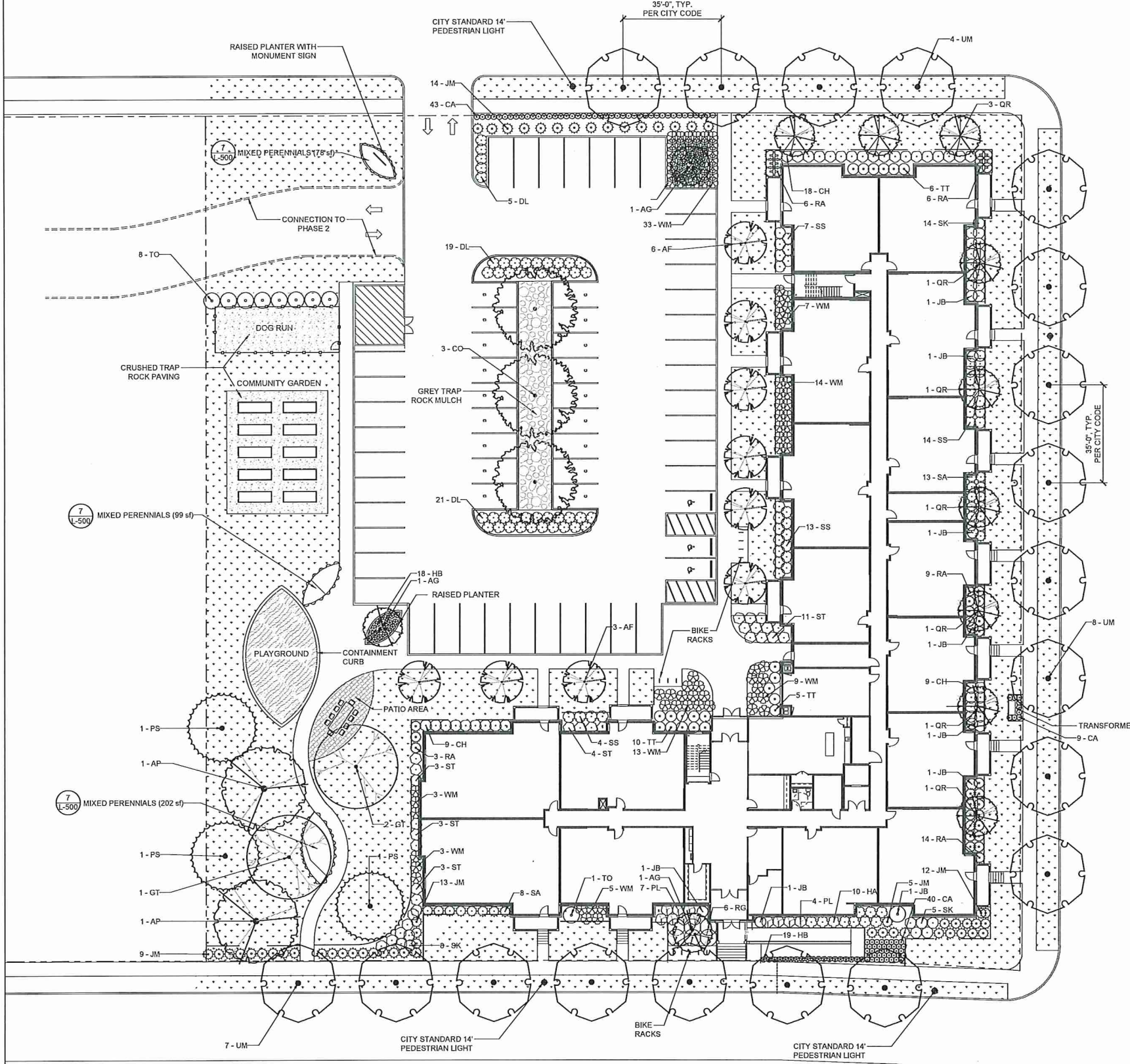
TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	CONT.	NOTES	NATIVE STATUS	
	AP	2	ACER PLATANOIDES 'EMERALD LUSTRE' / NORWAY MAPLE	3" CAL.	B&B	SINGLE LEADER, WELL BRANCHED		
	AF	9	ACER X FREEMANII 'ARMSTRONG' / ARMSTRONG FREEMAN MAPLE	3" CAL.	B&B	SINGLE LEADER, WELL BRANCHED	NATIVE CULTIVAR	
	AG	3	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / 'AUTUMN BRILLIANCE' SERVICEBERRY	10' HEIGHT	B&B	CLUMP FORM	NATIVE CULTIVAR	
	CO	3	CELTIS OCCIDENTALIS / COMMON HACKBERRY	3" CAL.	B&B	SINGLE LEADER, WELL BRANCHED	NATIVE CULTIVAR	
	GT	2	GLEDITSIA TRIACANTHOS 'SKYLINE' / SKYLINE HONEY LOCUST	3" CAL.	B&B	SINGLE LEADER, WELL BRANCHED	NATIVE CULTIVAR	
	PS	3	PINUS STROBUS / WHITE PINE	8' HEIGHT	B&B	NATURAL, FULL FORM	NATIVE	
	QR	9	QUERCUS X 'REGAL PRINCE' / REGAL PRINCE PAK	2.5" CAL.	B&B	SINGLE LEADER, WELL BRANCHED	NATIVE CULTIVAR	
	UM	19	ULMUS X 'MORTON' / ACCOLADE	2.5" CAL.	B&B	SINGLE LEADER, WELL BRANCHED	NATIVE	
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	CONT.	NOTES	NATIVE STATUS	
	CH	36	CORNUS HESSEI 'GARDEN GLOW' / DOGWOOD	#5	CONT.	PLAN SPACING PER PLAN	NATIVE CULTIVAR	
	DL	45	DIERVILLA LONICERA / DWARF BUSH HONEYSUCKLE	#5	CONT.	PLAN SPACING PER PLAN	NATIVE	
	HA	10	HYDRANGEA ARBORESCENS 'ANNABELLE' / ANNABELLE SMOOTH HYDRANGEA	#5	CONT.	PLAN SPACING PER PLAN	NON-NATIVE	
	PL	11	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' TM / DWARF MINEBARK	#5	CONT.	PLAN SPACING PER PLAN	NATIVE CULTIVAR	
	RG	6	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	#5	CONT.	SPACE 5'-0" O.C.	NATIVE CULTIVAR	
	RA	38	RIBES ALPINUM / ALPINE CURRAINT	#5	CONT.	PLAN SPACING PER PLAN	NON-NATIVE	
	SS	38	SORBARIA SORBIFOLIA 'SEM' / SEM FALSE SPIREA	#1	CONT.	PLAN SPACING PER PLAN	NON-NATIVE	
	ST	24	SPIRAEA BETULIFOLIA 'TOR' / BIRCHLEAF SPIREA	#2	CONT.	PLAN SPACING PER PLAN	NATIVE CULTIVAR	
	SA	21	SPIRAEA X BUMALDA 'ANTHONY WATERER' / ANTHONY WATERER SPIRAEA	#5	CONT.	PLAN SPACING PER PLAN	NATIVE	
	SK	27	SYRINGA PUBESCENS 'MISS KIM' / MISS KIM KOREAN LILAC	#5	CONT.	PLAN SPACING PER PLAN	NON-NATIVE	
	WM	87	WEIGELA FLORIDA 'MINUET' / MINUET WEIGELA	#5	CONT.	PLAN SPACING PER PLAN	NON-NATIVE	
ANNUALS/PERENNIALS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	CONT.	NOTES	NATIVE STATUS	
	CA	92	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	#1	CONT.	PLAN SPACING PER PLAN	NON-NATIVE	
	HB	57	HEMEROCALLIS X 'BODACIOUS RETURNS' / DAYLILY	#1	CONT.	PLAN SPACING PER PLAN	NATIVE	
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	CONT.	NOTES	NATIVE STATUS	
	JM	54	JUNIPERUS CHINENSIS 'MINT JULEP' / MINT JULEP JUNIPER	#5	CONT.	PLAN SPACING PER PLAN	NON-NATIVE	
	JB	8	JUNIPERUS SCOPULORUM 'BAILIGH' / SKY HIGH JUNIPER	#10	CONT.	PLAN SPACING PER PLAN	NON-NATIVE	
	TT	21	TAXUS X MEDIA 'TAUNTONI' / TAUNTON YEW	#5	CONT.	PLAN SPACING PER PLAN	NATIVE CULTIVAR	
	TO	10	THUJA OCCIDENTALIS 'TECHNY' / TECHNY ARBORVITAE	6' HGT	CONT.	PLAN SPACING PER PLAN	NATIVE CULTIVAR	
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	CONT.	NOTES	NATIVE STATUS	SPACING
	Sod	26,499 SF	SOD	NONE	SOD			

GARDEN PLANTER SCHEDULE

	MIXED PERENNIALS	379 SF	
	ASCLEPIAS TUBEROSA / BUTTERFLY MILKWEED	21 SF	#1 @ 18" oc
	ECHINACEA PURPUREA / PURPLE CONEFLOWER	21 SF	#1 @ 18" oc
	LIATRIS SPICATA / SPIKE GAYFEATHER	21 SF	#1 @ 18" oc
	NEPETA FAASSENI / CATMINT	21 SF	#1 @ 18" oc
	PANICUM VIRGATUM / SWITCH GRASS	21 SF	#1 @ 18" oc
	PEROVSKIA ATRIPLICIFOLIA / RUSSIAN SAGE	21 SF	#1 @ 18" oc
	RUDBECKIA HIRTA / BLACK-EYED SUSAN	21 SF	#1 @ 18" oc
	SALVIA X 'BEE'S BLISS' / SAGE	21 SF	#1 @ 18" oc

REFER TO DETAIL FOR PLANTING PATTERN

146TH AVENUE NORTHWEST



EAST RAMSEY PARKWAY

TRAPROCK STREET NORTHWEST

QUICK REFERENCE SCHEDULE	
TREES	BOTANICAL NAME
AP	ACER PLATANOIDES 'EMERALD LUSTRE'
AF	ACER X FREEMANII 'ARMSTRONG'
AG	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'
CO	CELTIS OCCIDENTALIS
GT	GLEDITSIA TRIACANTHOS 'SKYLINE'
PS	PINUS STROBUS
QR	QUERCUS X 'REGAL PRINCE'
UM	ULMUS X 'MORTON'
SHRUBS	BOTANICAL NAME
CH	CORNUS HESSEI 'GARDEN GLOW'
DL	DIERVILLA LONICERA
HA	HYDRANGEA ARBORESCENS 'ANNABELLE'
PL	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' TM
RG	RHUS AROMATICA 'GRO-LOW'
RA	RIBES ALPINUM
SS	SORBARIA SORBIFOLIA 'SEM'
ST	SPIRAEA BETULIFOLIA 'TOR'
SA	SPIRAEA X BUMALDA 'ANTHONY WATERER'
SK	SYRINGA PUBESCENS 'MISS KIM'
WM	WEIGELA FLORIDA 'MINUET'
ANNUALS/PERENNIALS	BOTANICAL NAME
CA	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'
HB	HEMEROCALLIS X 'BODACIOUS RETURNS'
EVERGREEN SHRUBS	BOTANICAL NAME
JM	JUNIPERUS CHINENSIS 'MINT JULEP'
JB	JUNIPERUS SCOPULORUM 'BAILIGH'
TT	TAXUS X MEDIA 'TAUNTONII'
TO	THUJA OCCIDENTALIS 'TECHNY'
GROUND COVERS	BOTANICAL NAME
Sod	SOD



URBANWORKS  
GREENWAY TERRACE



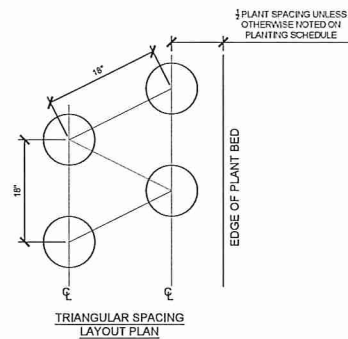
PRELIMINARY  
NOT FOR CONSTRUCTION

REVISIONS

DATE: 8.1.2017  
PROJECT #: 16-011  
PHASE: SD  
DRAWN BY: B. Dworkin  
CHECKED BY: J. Szymanski

LANDSCAPE PLANTING PLAN

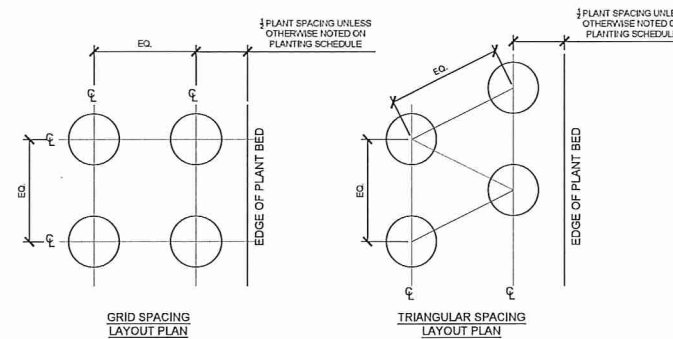
C:\Users\jbarrett\Desktop\Project Files\16-011\_A17\16-011\_A17\_rmy\_barrett.rvt 4/16/2017 9:11:24 AM



NOTE:  
 1. ALTERNATE EACH PLANTING AS SHOWN IN THE GARDEN PLANTER SCHEDULE  
 2. RANDOMIZE PLANTING ORDER THROUGHOUT PLANTERS

7 GARDEN PLANTER SPACING  
 3/4" = 1'-0"

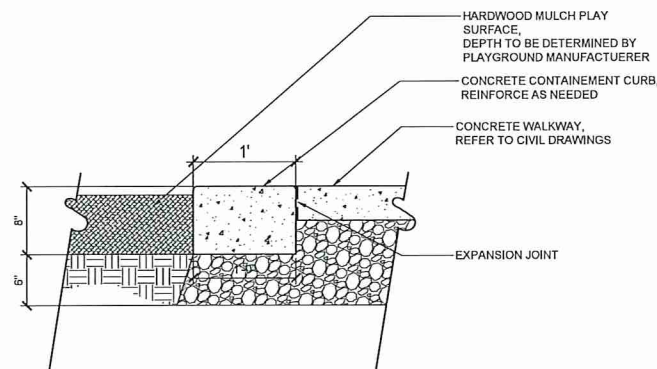
P-17 113-03



NOTE:  
 1. REFER TO PLANTING SCHEDULE FOR PLANT SPACING.  
 2. SEE SPECIFICATION SECTION 32-9300 "EXTERIOR PLANTS" FOR MORE INFORMATION.

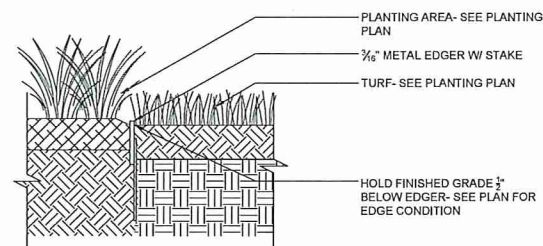
3 PLANT SPACING  
 3/4" = 1'-0"

P-17 113-08



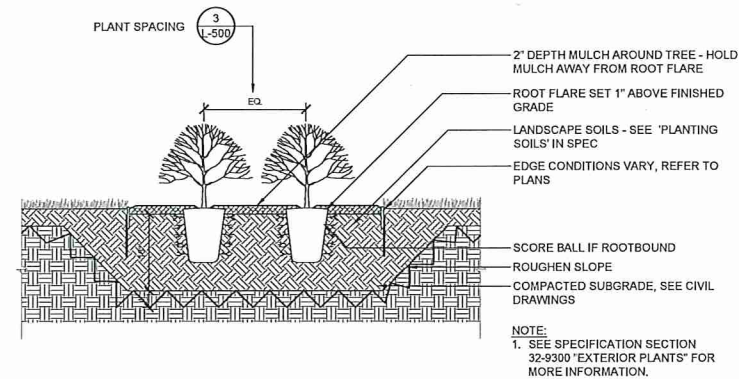
10 CONTAINMENT CURB AT PLAYGROUND  
 1/2" = 1'-0"

P-17 113-24



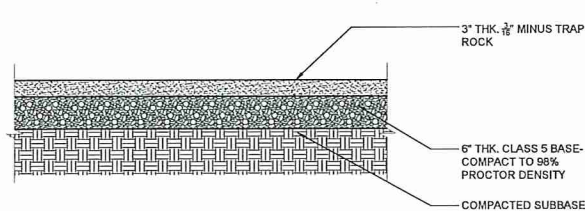
6 STEEL EDGING  
 1/2" = 1'-0"

P-17 113-09



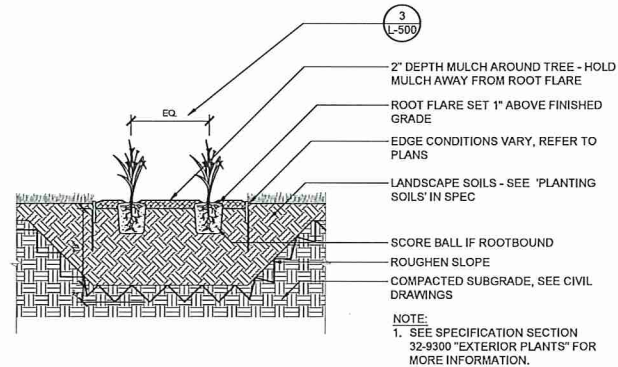
2 SHRUB PLANTING  
 3/4" = 1'-0"

P-17 113-20



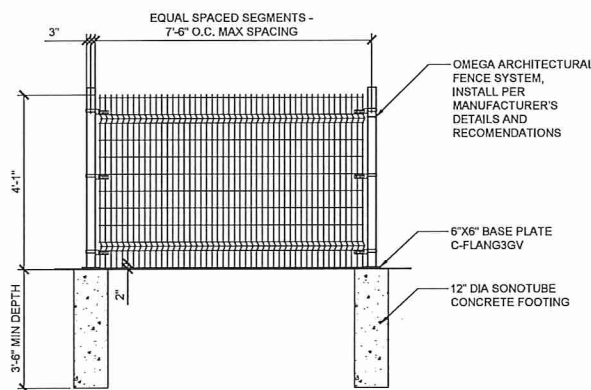
9 CRUSHED STONE PAVING  
 1" = 1'-0"

P-17 113-19



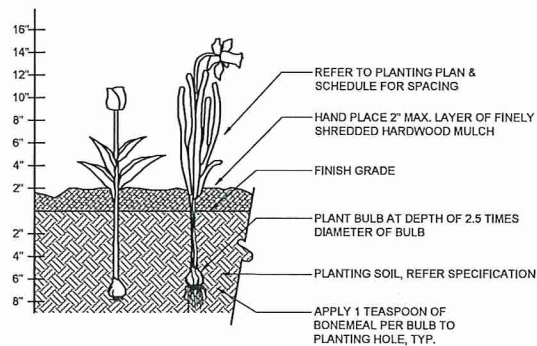
5 PERENNIAL PLANTING  
 3/4" = 1'-0"

P-17 113-05



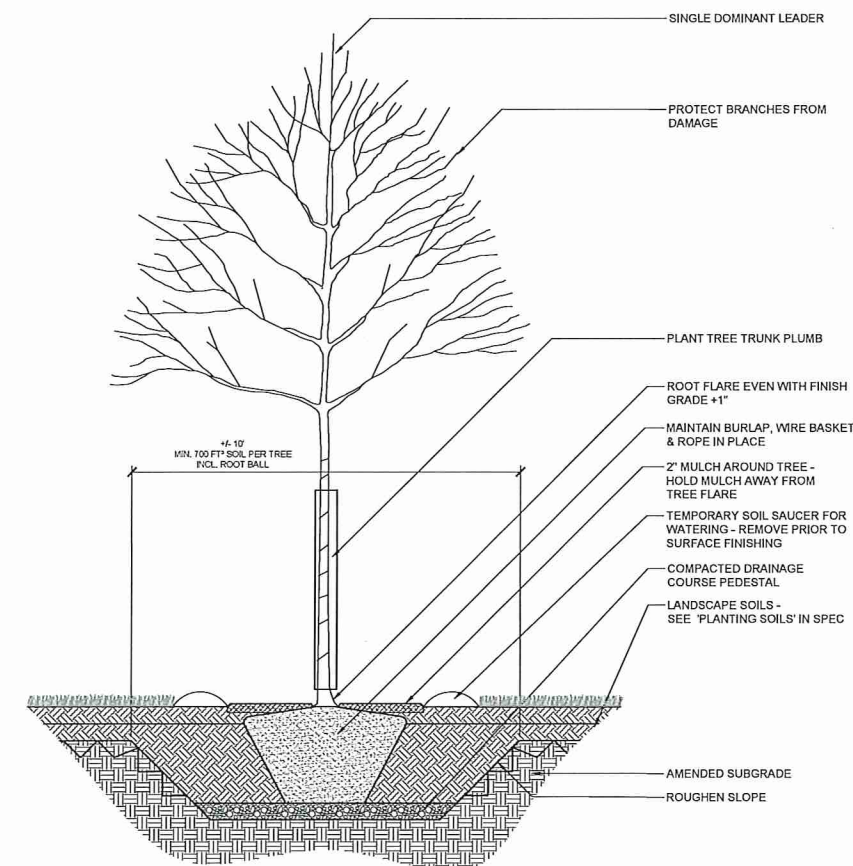
8 EXTERIOR FENCE - 4' HEIGHT  
 1/2" = 1'-0"

P-17 113-23



4 BULB PLANTING DETAIL  
 1" = 1'-0"


P-17 113-05



1 TREE PLANTING IN SOFTSCAPE - FLAT  
 1/2" = 1'-0"

P-17 113-04

**GENERAL NOTES:**

1. DIMENSIONS AT EXTERIOR WOOD STUD WALLS ARE TO OUTSIDE FACE OF SHEATHING
2. DIMENSIONS AT EXTERIOR CMU WALLS ARE TO FACE OF CMU
3. DIMENSIONS AT UNIT DIMENSIONS ARE TO CENTERLINE OF WALLS
4. DIMENSIONS AT INTERIOR WALLS ARE TO FACE OF WALL UNLESS NOTED BY THE SYMBOL  INDICATING CENTERLINE OF WALL
5. RESIDENTIAL DIMMING WALLS ARE TYPE V3, V8, AND V8 1-HR FIRE RATING WITH ACOUSTIC RATING
6. RESIDENTIAL CORRIDOR WALLS ARE TYPE V6 AND V8 1-HR FIRE RATING WITH ACOUSTIC RATING
7. EXTERIOR WOOD STUDS ARE FIRE TREATED D-8'S UNLESS NOTED OTHERWISE
8. EXTEND ALL SHAFTS TO UNDERSIDE OF ROOF SHEATHING OR TOP OF ROOF PENETRATIONS WHERE APPLICABLE
9. EXTEND 1-HR FIRE BARRIERS TO UNDERSIDE OF SHEATHING WHERE APPLICABLE
10. NO PENETRATIONS OR OPENINGS ALLOWED IN SHAFT WALLS UNLESS THEY EXPRESSLY SERVE THE SHAFT
11. PROVIDE NON-COMBUSTIBLE MATERIALS IN RETURN FLEXWAYS (WALLS ON SOFFIT)
12. ALL UNITS ARE TYPE B ACCESSIBLE UNLESS OTHERWISE NOTED AS TYPE A
13. REFER TO INTERIOR FINISH SCHEDULE FOR FLOOR FINISH KEY
14. LAUNDRY EQUIPMENT SHOWN FOR REFERENCE ONLY; EQUIPMENT PROVIDED BY OWNER

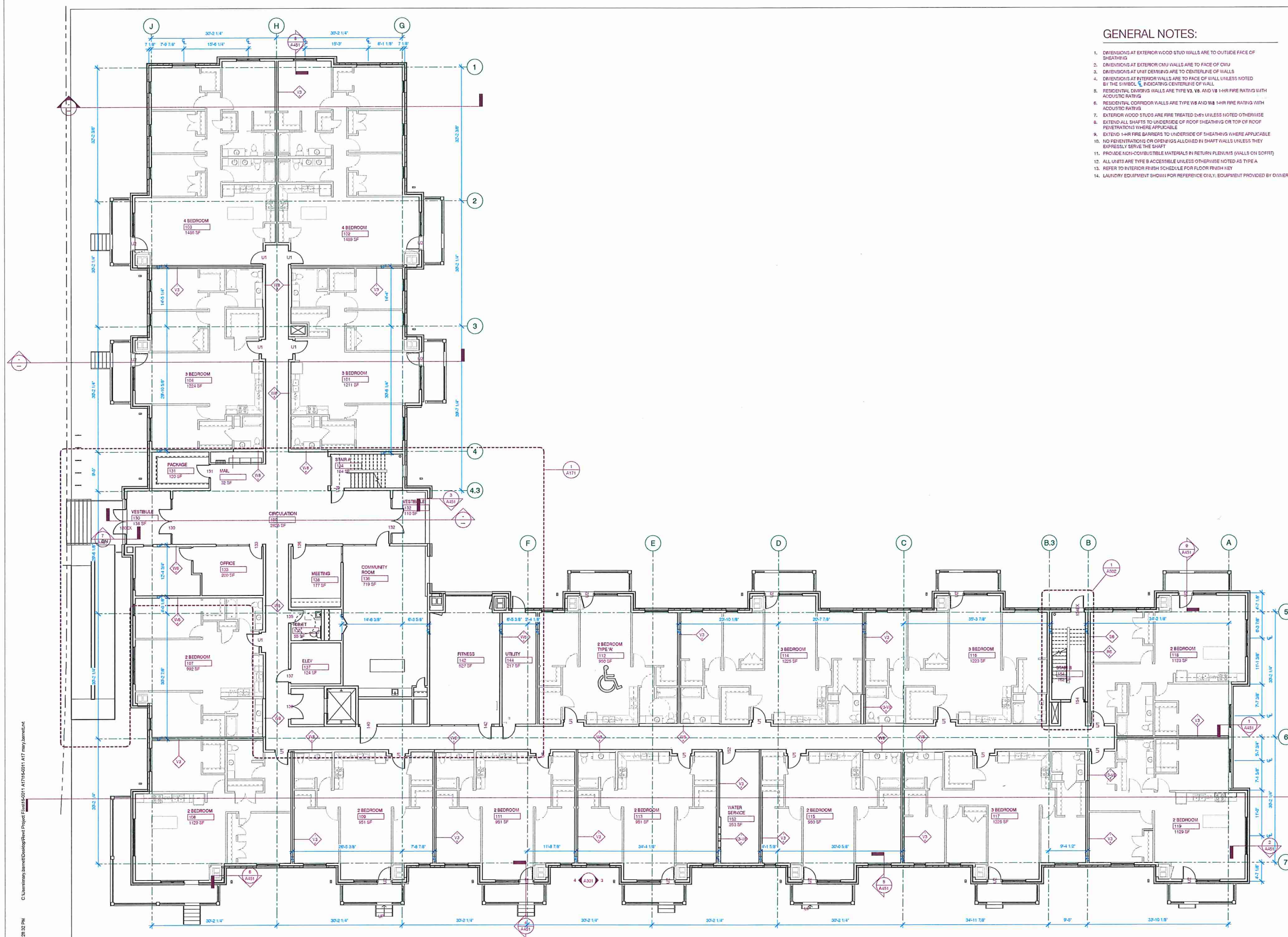
CONSULTANT

PRELIMINARY  
 NOT FOR CONSTRUCTION

REVISIONS

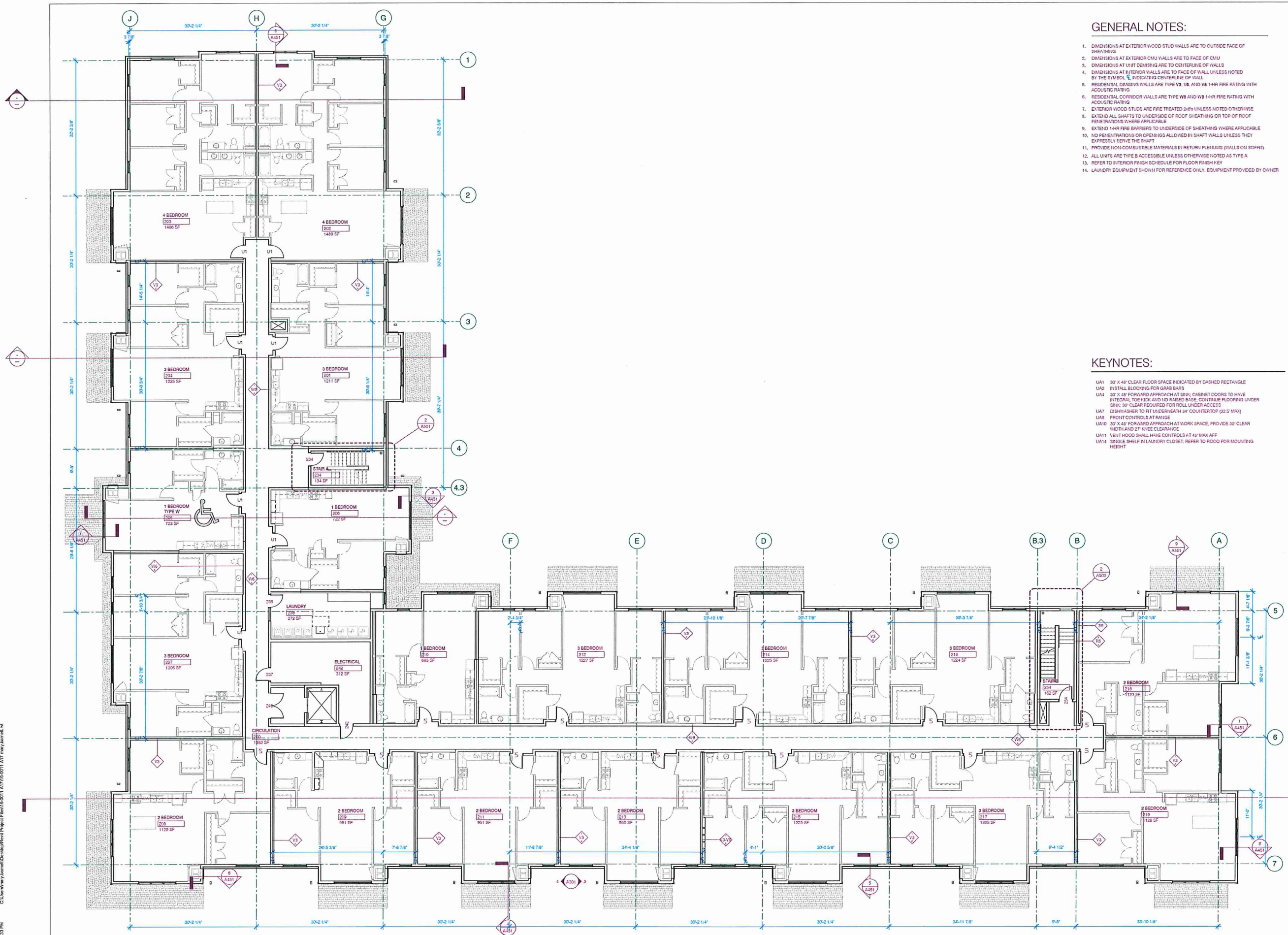
DATE: 6/12/2017  
 PROJECT #: 16-0011  
 PHASE: DD  
 DRAWN BY: MEB  
 CHECKED BY: DPH

**LEVEL 1 PLAN - OVERALL**



**1 A101 - LEVEL 1 PLAN**  
 A101 1/8" = 1'-0"

6/12/2017 1:28:32 PM C:\Users\jarnett\Desktop\Project Files\160011 A17 final\jarnett.vrt



**GENERAL NOTES:**

1. DIMENSIONS AT EXTERIOR WOOD STUD WALLS ARE TO OUTSIDE FACE OF SHEATHING
2. DIMENSIONS AT EXTERIOR CMU WALLS ARE TO FACE OF CMU
3. DIMENSIONS AT UNIT DEMISING ARE TO CENTERLINE OF WALLS
4. DIMENSIONS AT INTERIOR WALLS ARE TO FACE OF WALL UNLESS NOTED BY THE SYMBOL  $\nabla$  INDICATING CENTERLINE OF WALL
5. RESIDENTIAL DEMISING WALLS ARE TYPE V3, V6, AND V8 1-HR FIRE RATING WITH ACOUSTIC RATING
6. RESIDENTIAL CORRIDOR WALLS ARE TYPE W8 AND W8 1-HR FIRE RATING WITH ACOUSTIC RATING
7. EXTERIOR WOOD STUDS ARE FIRE TREATED 24% UNLESS NOTED OTHERWISE
8. EXTEND ALL SHAFTS TO UNDERSIDE OF ROOF SHEATHING OR TOP OF ROOF PENETRATIONS WHERE APPLICABLE
9. EXTEND 1-HR FIRE BARRIERS TO UNDERSIDE OF SHEATHING WHERE APPLICABLE
10. NO PENETRATIONS OR OPENINGS ALLOWED IN SHAFT WALLS UNLESS THEY EXPRESSLY SERVE THE SHAFT
11. PROVIDE NON-COMBUSTIBLE MATERIALS IN RETURN FLEETS (WALLS ON ROOF)
12. ALL UNITS ARE TYPE B ACCESSIBLE UNLESS OTHERWISE NOTED AS TYPE A
13. REFER TO INTERIOR FINISH SCHEDULE FOR FLOOR FINISH KEY
14. LAUNDRY EQUIPMENT SHOWN FOR REFERENCE ONLY. EQUIPMENT PROVIDED BY OWNER

**KEYNOTES:**

- UA1 30" X 48" CLEAR FLOOR SPACE INDICATED BY DASHED RECTANGLE
- UA2 INSTALL BLOCKING FOR GRAB BARS
- UA4 30" X 48" FORWARD APPROACH AT SINK, CABINET DOORS TO HAVE INTEGRAL TOE KICK AND NO RAISED BASE. CONTINUE FLOORING UNDER SINK. 30" CLEAR REQUIRED FOR ROLL UNDER ACCESS
- UA7 DISHWASHER TO FIT UNDER COUNTER TOP (32.5" MAX)
- UA8 FRONT CONTROLS AT RANGE
- UA10 30" X 48" FORWARD APPROACH AT WORK SPACE. PROVIDE 30" CLEAR WIDTH AND 27" KNEE CLEARANCE
- UA11 VEIL HOOD SHALL HAVE CONTROLS AT 48" MAX AFF
- UA14 SINGLE SHELF IN LAUNDRY CLOSET. REFER TO ROOD FOR MOUNTING HEIGHT

**aeon**  
 Smart Change Everything  
 GREENWAY TERRACE

**URBANWORKS**

CONSULTANT

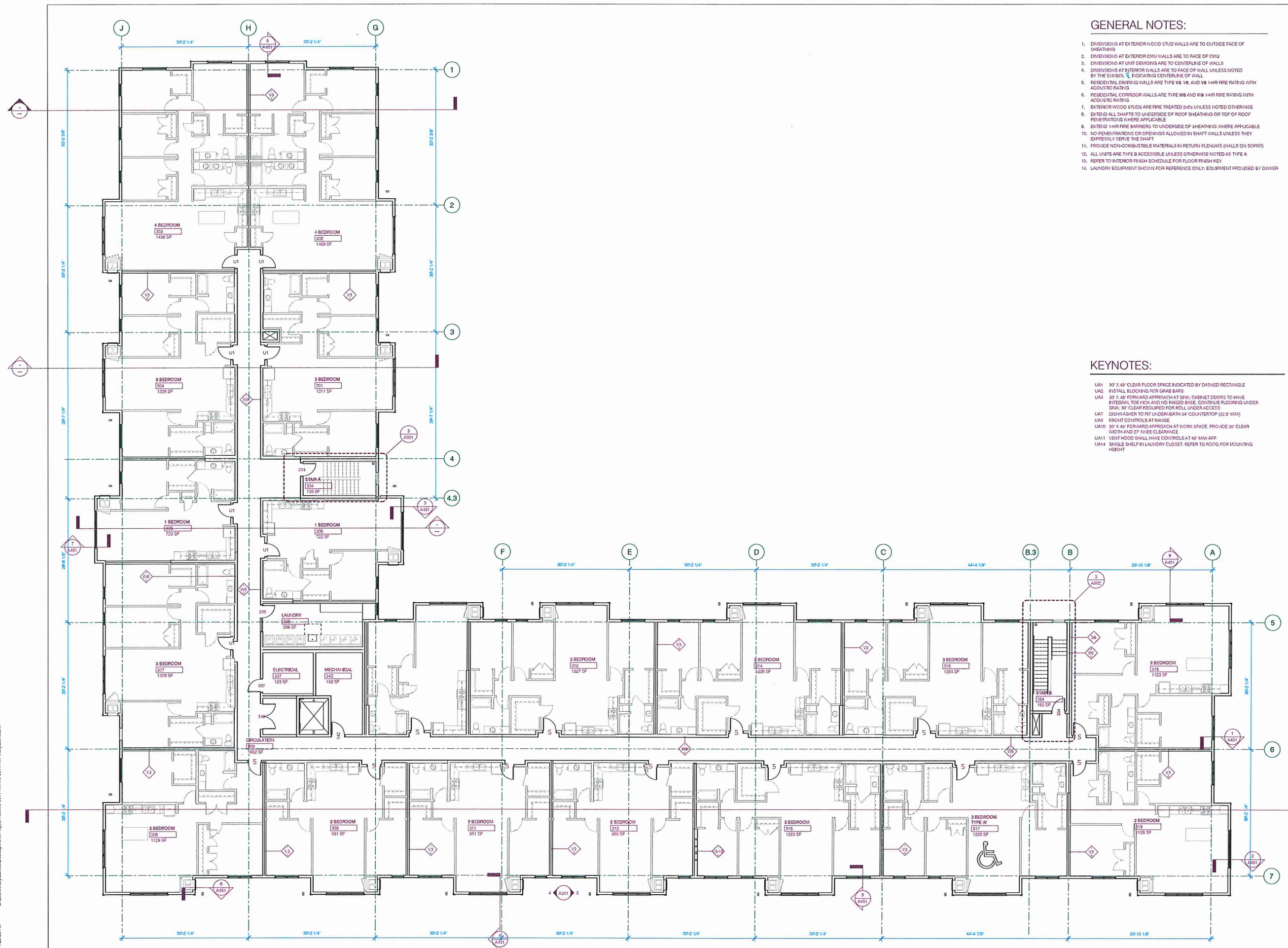
PRELIMINARY  
 NOT FOR CONSTRUCTION

REVISIONS

DATE: 6.15.2017  
 PROJECT #: 16-0011  
 PHASE: DD  
 DRAWN BY: MEB  
 CHECKED BY: DREH

LEVEL 2 PLAN - OVERALL

**1** A102 - LEVEL 2 PLAN  
 1/8" = 1'-0"



**GENERAL NOTES:**

1. DIMENSIONS AT EXTERIOR WOOD STUD WALLS ARE TO OUTSIDE FACE OF SHEATHING
2. DIMENSIONS AT EXTERIOR CMU WALLS ARE TO FACE OF CMU
3. DIMENSIONS AT UNIT DIMENSIONS ARE TO CENTERLINE OF WALLS
4. DIMENSIONS AT INTERIOR WALLS ARE TO FACE OF WALL UNLESS NOTED BY THE SYMBOL  $\nabla$  INDICATING CENTERLINE OF WALL
5. RESIDENTIAL DWELLING WALLS ARE TYPE V3, V6, AND V8 1-HR FIRE RATING WITH ACOUSTIC RATING
6. RESIDENTIAL CORRIDOR WALLS ARE TYPE W9 AND W8 1-HR FIRE RATING WITH ACOUSTIC RATING
7. EXTERIOR WOOD STUDS ARE FIRE TREATED 2x6 UNLESS NOTED OTHERWISE
8. EXTEND ALL SHAFTS TO UNDERSIDE OF ROOF SHEATHING OR TOP OF ROOF PENETRATIONS WHERE APPLICABLE
9. EXTEND 1-HR FIRE BARRIER TO UNDERSIDE OF SHEATHING WHERE APPLICABLE
10. NO PENETRATIONS OR OPENINGS ALLOWED IN SHAFT WALLS UNLESS THEY EXPRESSLY SERVE THE SHAFT
11. PROVIDE NON-COMBUSTIBLE MATERIALS IN RETURN FLEXJUMS (WALLS ON SOFFIT)
12. ALL UNITS ARE TYPE B ACCESSIBLE UNLESS OTHERWISE NOTED AS TYPE A
13. REFER TO INTERIOR FINISH SCHEDULE FOR FLOOR FINISH KEY
14. LAUNDRY EQUIPMENT SHOWN FOR REFERENCE ONLY; EQUIPMENT PROVIDED BY OWNER

**KEYNOTES:**

- UA1 30' X 48" CLEAR FLOOR SPACE INDICATED BY DASHED RECTANGLE
- UA2 INSTALL BLOCKING FOR GRAB BARS
- UA3 30' X 48" FORWARD APPROACH AT SINK, CABINET DOORS TO HAVE INTERNAL TOE KICK AND 180 RAISED BASE, CONTINUE FLOORING UNDER SINK, 30" CLEAR REQUIRED FOR ROLL UNDER ACCESS
- UA7 DISHWASHER TO FIT UNDERBATH 34" COUNTERTOP (32.5" MAX)
- UA8 FRONT CONTROLS AT RANGE
- UA10 30' X 48" FORWARD APPROACH AT WORK SPACE, PROVIDE 30" CLEAR WIDTH AND 27" KNEE CLEARANCE
- UA11 VENT HOOD SHALL HAVE CONTROLS AT 48" MAX AFF.
- UA14 SINGLE SHELF IN LAUNDRY CLOSET; REFER TO ROOM FOR MOUNTING HEIGHT

**aeon**  
Interior Climate Revolving  
GREENWAY TERRACE

148TH AVE NW & TIMPICOOK STREET NW  
HOBART, MN 55350

**URBANWORKS**

6 URBANWORKS ARCHITECTURE LLC 207  
80 NORTH THIRD STREET, SUITE 105, MINNEAPOLIS, MN 55401

CONSULTANT

PRELIMINARY  
NOT FOR CONSTRUCTION

REVISIONS

DATE PROJECT #  
PHASE  
DRAWN BY  
CHECKED BY

6.1.2017  
16-0011  
DO  
MEB  
DFEH

LEVEL 3 PLAN - OVERALL

**A103**

C:\Users\my.james\Desktop\Project Files\16-0011\_A171650011\_A17\_mey.james.rvt  
6/1/2017 1:28:30 PM

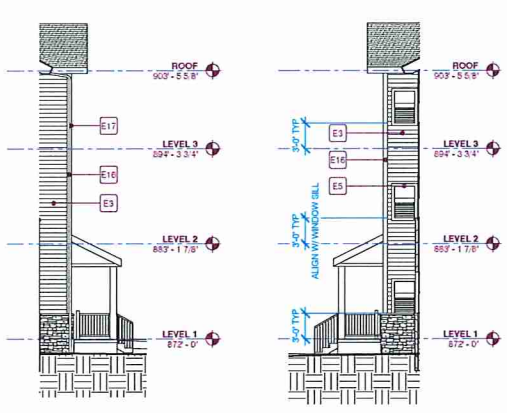
**1** A103 - LEVEL 3 PLAN  
A103 | 1/8" = 1'-0"

**KEYNOTES:**

- E1 NORMAN FACE BRICK, 1/3 RUNNING BOND, COLOR - TBD
- E2 MASOURY Y-DEER, ANCHOR BRANDED CHISELED FACE, PATTERN 'P'
- E3 ALLURA FIBER CEMENT LAP SIDING 6" REVEAL, COLOR - WHITE
- E4 ALLURA FIBER CEMENT LAP SIDING 10" REVEAL, COLOR - TBD
- E5 MECHANICAL LOUVER, FINISH TO MATCH ADJACENT SIDING. REFER TO PLANS FOR LOCATIONS
- E6 ALUMINUM STOREFRONT, PAINTED KYIAR FRESH WHITE
- E7 COMPOSITE FIBERGLASS WINDOW
- E8 ALUMINUM RAILING
- E9 HOT-DIP GALVANIZED & POWDER-COATED STEEL RAILING
- E10 INSULATED HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT SIDING
- E11 PORCH ROOF WITH INTEGRAL LED DOWNLIGHTS. PROVIDE SWITCH WITH REEL
- E12 BIKE RACK, ZERO ICON HITCH WITH OWNER LOGO, RED. REFER TO LANDSCAPE PLANS FOR LOCATIONS AND QUANTITY
- E13 ASPHALT SHINGLE ROOF
- E14 2" FIBER CEMENT TRIM
- E15 6" FIBER CEMENT TRIM
- E16 PREFINISHED METAL DOWNSPOUT
- E17 EXPANSION CONTROL JOINT
- E18 STEP LIGHTING AT STAIRS AND RAMP. REFER TO ELECTRICAL PLANS
- E19 INSULATED FIBERGLASS ENTRY DOOR
- E20 CAST STONE SILL, REFER TO DETAILS FOR PROFILE
- E21 ALLURA FIBER CEMENT PANEL SIDING, COLOR - TBD
- E22 CONCRETE RAMP TO MAIN ENTRY. PROVIDE STEP LIGHTS IN WALL AND RAILING



**1 NORTH**  
A301 1/8" = 1'-0"



**3 ELEVATION - INSET**  
A301 1/8" = 1'-0"

**4 ELEVATION - INSET LOUVER**  
A301 1/8" = 1'-0"



**2 EAST**  
A301 1/8" = 1'-0"

**aeon**  
Architectural  
GREENWAY TERRACE

146TH AVE NW & TRAPROCK STREET NW  
FARMET, MN 55303

**URBANWORKS**

© URBANWORKS ARCHITECTURE LLC 2017  
891 NORTH THIRD STREET, SUITE 145, MINNEAPOLIS, MN 55401

CONSULTANT

PRELIMINARY  
NOT FOR  
CONSTRUCTION

REVISIONS

DATE 6.1.2017  
PROJECT # 16-0011  
PHASE DD  
DRAWN BY MEB  
CHECKED BY DPEH

**BUILDING  
ELEVATIONS**

**A301**

C:\Users\jannet\Desktop\Rev\Project Files\16-0011\_A1716-0011\_A17.mxd/jannet.dwg 6/1/2017 1:29:40 PM

**KEYNOTES:**

- E1 NORMAN FACE BRICK, 1-3 RUNNING BOND, COLOR - TBD
- E2 MASONRY VENEER, ANCHOR BRAVOSI CHISELED FACE, PATTERN 1"
- E3 ALLURA FIBER CEMENT LAP SIDING 6" REVEAL, COLOR - WHITE
- E4 ALLURA FIBER CEMENT LAP SIDING 10" REVEAL, COLOR - TBD
- E5 MECHANICAL COVER, FINISH TO MATCH ADJACENT SIDING, REFER TO PLANS FOR LOCATIONS
- E6 ALUMINUM STOREFRONT, PAINTED KYNAR FINISH WHITE
- E7 COMPOSITE FIBERGLASS WINDOW
- E8 ALUMINUM RAILING
- E9 HOT-DIP GALVANIZED & POWDER-COATED STEEL RAILING
- E10 INSULATED HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT SIDING
- E11 PORCH ROOF WITH INTEGRAL LED DOWNLIGHTS, PROVIDE SWITCH WITH LEAST
- E12 BIKE RACK, DERO ICON HITCH WITH OWNER LOGO, RED, REFER TO LANDSCAPE PLANS FOR LOCATIONS AND QUANTITY
- E13 ASPHALT SHINGLE ROOF
- E14 3" FIBER CEMENT TRIM
- E15 6" FIBER CEMENT TRIM
- E16 PREFINISHED METAL DOWNSPOUT
- E17 EXPANSION CONTROL JOINT
- E18 STEP LIGHTING AT STAIRS AND RAMP, REFER TO ELECTRICAL PLANS
- E19 INSULATED FIBERGLASS ENTRY DOOR
- E20 CAST STONE SILL, REFER TO DETAILS FOR PROFILE
- E21 ALLURA FIBER CEMENT PANEL SIDING, COLOR - TBD
- E22 CONCRETE RAMP TO MAIN ENTRY, PROVIDE STEP LIGHTS IN WALL AND RAILING



**2 SOUTH**  
A302 1/8" = 1'-0"



**1 WEST**  
A302 1/8" = 1'-0"

**aeon**  
Floor Plans  
GREENWAY TERRACE  
146TH AVE NW & TIMPICOCK STREET NW  
HAMBEY, MN 55030

**URBANWORKS**  
CONSULTANT  
PRELIMINARY  
NOT FOR CONSTRUCTION  
REVISIONS  
DATE PROJECT # PHASE DRAWN BY CHECKED BY  
6/1/2017 16-0011 DD MEB DREH  
© URBANWORKS ARCHITECTURE, LLC 2017  
801 NORTH THIRD STREET, SUITE 145, MINNEAPOLIS, MN 55401

**BUILDING ELEVATIONS**  
A302

C:\Users\mry\Documents\Projects\16-0011\_A17\16-0011\_A17.mxd  
6/1/2017 1:28:44 PM

**KEYNOTES:**

- E1 NORMAN FACE BRICK; 1-3 RUMMING BOND; COLOR - TBD
- E2 MASONRY VENEER, ANCHOR BRASSI CHEELED FACE, PATTERN 'F'
- E3 ALLURA FIBER CEMENT LAP SIDING 6" REVEAL, COLOR - WHITE
- E4 ALLURA FIBER CEMENT LAP SIDING 10" REVEAL, COLOR - TBD
- E5 MECHANICAL LOWER, FINISH TO MATCH ADJACENT SIDING, REFER TO PLANS FOR LOCATIONS
- E6 ALUMINUM STOREFRONT, PAINTED KYNAR FINISH, WHITE
- E7 COMPOSITE FIBERGLASS WINDOW
- E8 ALUMINUM RAILING
- E9 HOT-DIP GALVANIZED & POWDER-COATED STEEL RAILING
- E10 INSULATED HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT SIDING
- E11 PORCH ROOF WITH INTEGRAL LED DOWNLIGHTS, PROVIDE SWITCH WITHIN UNIT
- E12 BIKE RACK, DECK JOCK MATCH WITH OWNER LOGO, RED, REFER TO LANDSCAPE PLANS FOR LOCATIONS AND QUANTITY
- E13 ASPHALT SHINGLE ROOF
- E14 3" FIBER CEMENT TRIM
- E15 6" FIBER CEMENT TRIM
- E16 PRE-FINISHED METAL DOWNSPOUT
- E17 EXPANSION CONTROL JOINT
- E18 STEP LIGHTING AT STAIRS AND RAMP, REFER TO ELECTRICAL PLANS
- E19 INSULATED FIBERGLASS ENTRY DOOR
- E20 CAST STONE SILL, REFER TO DETAILS FOR PROFILE
- E21 ALLURA FIBER CEMENT PANEL SIDING, COLOR - TBD
- E22 CONCRETE RAMP TO MAIN ENTRY, PROVIDE STEP LIGHTS IN WALL AND RAILING



**2 NORTH Color**  
A303 1/8" = 1'-0"



**1 EAST Color**  
A303 1/8" = 1'-0"

**aeon**  
Build. Change. Inspire.  
GREENWAY TERRACE

146TH AVE NW & TIMPICO STREET NW  
HAMLET, MN 55031

URBANWORKS

© URBANWORKS ARCHITECTURE LLC 2017  
901 NORTH THIRD STREET, SUITE 145, MINNEAPOLIS, MN 55401

CONSULTANT

PRELIMINARY  
NOT FOR  
CONSTRUCTION

REVISIONS

DATE: 6.1.2017  
PROJECT #: 16-0011  
PHASE: DD  
DRAWN BY: MEB  
CHECKED BY: DREH

BUILDING  
ELEVATIONS

A303

C:\Users\james\Desktop\Fleet\Fleet16-0011\_A1716-0011\_A17\_mey.jam2.rvt 9/1/2017 1:28:54 PM

**KEYNOTES:**

- E1 NORMAN FACE BRICK, 1-3 RUNNING BOND, COLOR - TBD
- E2 MASOUDI YEMER, ANCHOR BRANES CHASED FACE, PATTERN 'F'
- E3 ALLURA FIBER CEMENT LAP SIDING 6" REVEAL, COLOR - WHITE
- E4 ALLURA FIBER CEMENT LAP SIDING 10" REVEAL, COLOR - TBD
- E5 MECHANICAL LOWER, FINISH TO MATCH ADJACENT SIDING, REFER TO PLANS FOR LOCATIONS
- E6 ALUMINUM STOREFRONT, PAINTED KYNAR FINISH, WHITE
- E7 COMPOSITE FIBERGLASS WINDOW
- E8 ALUMINUM RAILING
- E9 HOT-DIP GALVANIZED & POWDER-COATED STEEL RAILING
- E10 INSULATED HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT SIDING
- E11 PORCH ROOF WITH INTEGRAL LED DOWNLIGHTS; PROVIDE SWITCH WITH 4" LIT
- E12 BIRCH BRICK, ZERO JOCK HITCH WITH OWNER LOGO, RED, REFER TO LANDSCAPE PLANS FOR LOCATIONS AND QUANTITY
- E13 ASPHALT SHINGLE ROOF
- E14 3" FIBER CEMENT TRIM
- E15 6" FIBER CEMENT TRIM
- E16 PREFINISHED METAL DOWNSPOUT
- E17 EXPANSION CONTROL JOINT
- E18 STEP LIGHTING AT STAIRS AND RAMP, REFER TO ELECTRICAL PLANS
- E19 INSULATED FIBERGLASS ENTRY DOOR
- E20 CAST STONE SILL, REFER TO DETAILS FOR PROFILE
- E21 ALLURA FIBER CEMENT PANEL SIDING, COLOR - TBD
- E22 CONCRETE RAMP TO MAIN ENTRY, PROVIDE STEP LIGHTS IN WALL AND RAILINGS



**2 SOUTH Color**  
A304 | 1/8" = 1'-0"



**1 WEST Color**  
A304 | 1/8" = 1'-0"



146TH AVE NW & TIMPICOOK STREET NW  
FARMLEY, MN 55030

URBANWORKS

© URBANWORKS ARCHITECTURE LLC 2017  
891 NORTH THIRD STREET, SUITE 145, MINNEAPOLIS, MN 55401

CONSULTANT

PRELIMINARY  
NOT FOR  
CONSTRUCTION

REVISIONS

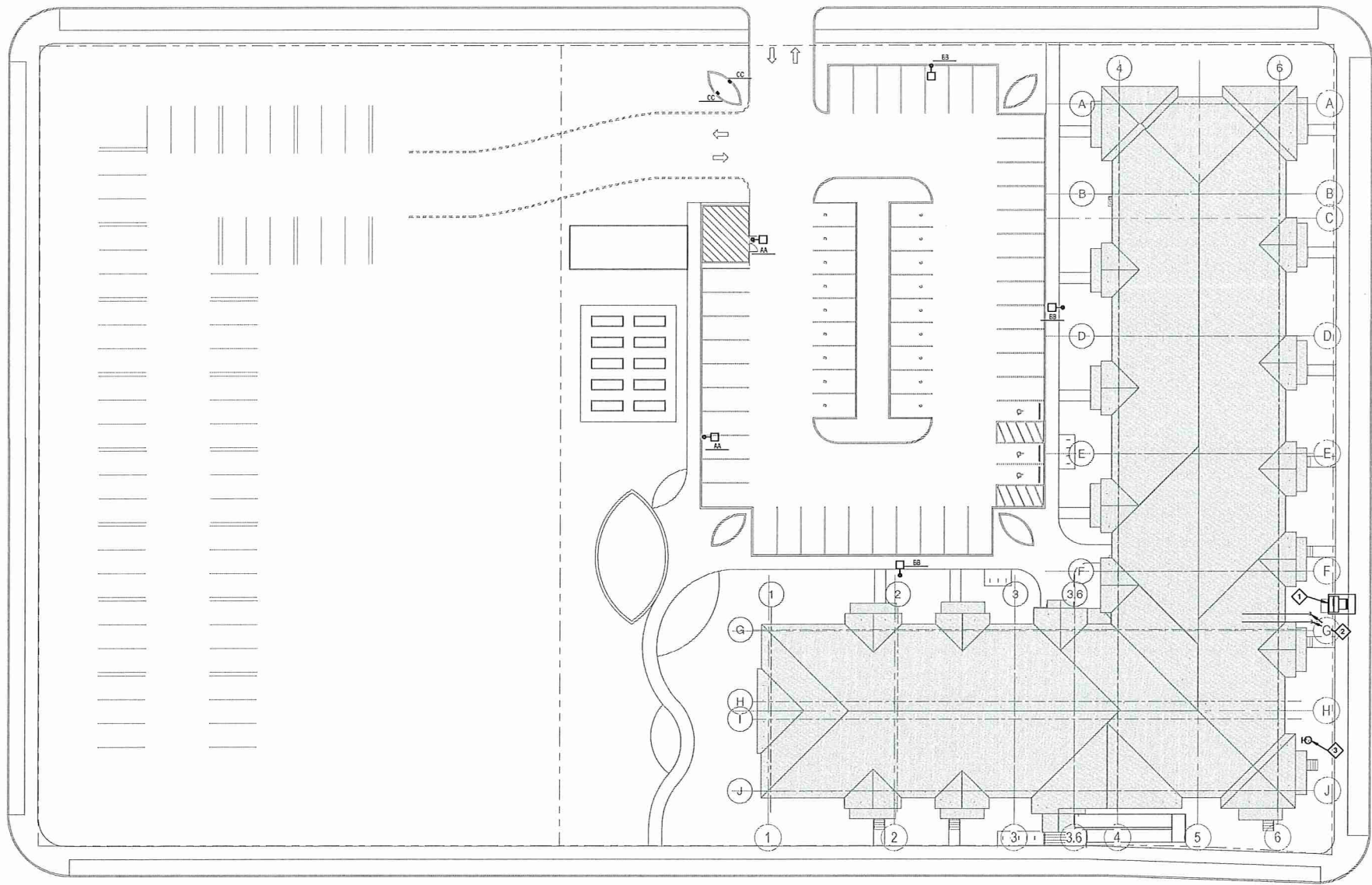
DATE 6.12.2017  
PROJECT # 160011  
PHASE DO  
DRAWN BY MEB  
CHECKED BY DPMH

BUILDING  
ELEVATIONS

9/12/2017 1:29:04 PM C:\Users\james\Documents\Project Files\16-0011\_A1716-0011\_A17\_mey.james\A304

- SPECIFIC ELECTRICAL SITE NOTES**
1. UTILITY TRANSFORMER, PROVIDE CONCRETE PAD AND CONDUIT STUB OUTS. INSTALL PER LOCAL UTILITY REQUIREMENTS.
  2. PROVIDE SEPARATE 4" CONDUIT FROM TELEPHONE BACKBOARD AND CATV BACKBOARD TO PROPERTY LINE.
  3. PHOTO CONTROL FOR EXTERIOR LIGHTS. MOUNT AS HIGH AS POSSIBLE ON WALL.
  4. MAKE CONNECTION TO SIGN. VERIFY LOCATION WITH ARCHITECT.
  5. RECEPTACLE BOLLARD, PROVIDE SEPARATE 120 VOLT CIRCUIT TO EACH DUPLEX RECEPTACLE. REFER TO DETAIL.

- GENERAL SITE ELECTRICAL NOTES**
- A. ALL LIGHTING AND POWER CONDUCTORS SHALL BE INSTALLED BETWEEN 24" (MINIMUM) AND 36" (MAXIMUM) BELOW FINISHED GRADE.
  - B. ALL COMMUNICATIONS CONDUIT AND CABLES SHALL BE INSTALLED 36" (MINIMUM) BELOW FINISHED GRADE.
  - C. ALL CONDUCTORS FOR EXTERIOR LIGHTING AND POWER CIRCUITS SHALL BE #10 AWG MINIMUM.
  - D. PROVIDE TRANSFORMER BASE AT ALL POLE MOUNTED FIXTURES. TAP 2 LEGS OF THREE PHASE FEEDER (CIRCUITS DENOTED). PROVIDE BALLAST FUSES AT TAP, AND PROVIDE BRANCH CIRCUITS TO FIXTURES.



1 ELECTRICAL SITE PLAN  
T = 20'-0"

**claeon**  
New Change Everything  
Greenway Terrace

801 NORTH THIRD STREET, SUITE 150  
MINNEAPOLIS, MN 55401

URBANWORKS

© URBANWORKS ARCHITECTURE LLC 2017.  
801 NORTH THIRD STREET, SUITE 145, MINNEAPOLIS, MN 55401

**STEEN**  
ENGINEERING INC.  
763-585-6742  
763-585-6757 fax  
Email: steen@steeneng.com  
5430 Douglas Drive North  
Crystal, MN 55429

PRELIMINARY  
NOT FOR  
CONSTRUCTION

LAND USE 06.01.2017

REVISIONS

DATE: June 1, 2017  
PROJECT #: UWB201703  
PHASE:  
DRAWN BY: LSL  
CHECKED BY: SMT

ELECTRICAL SITE  
PLAN

E011

