

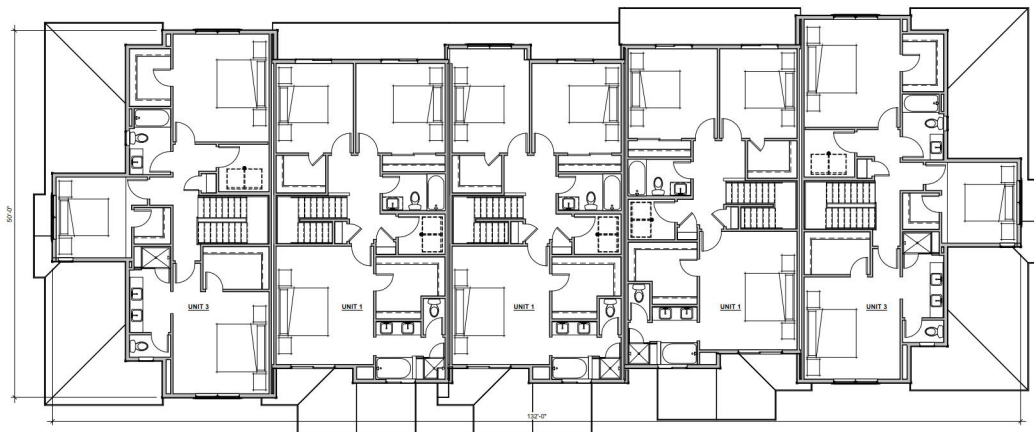
SEE WHAT COULD BE

RAMSEY 9TH

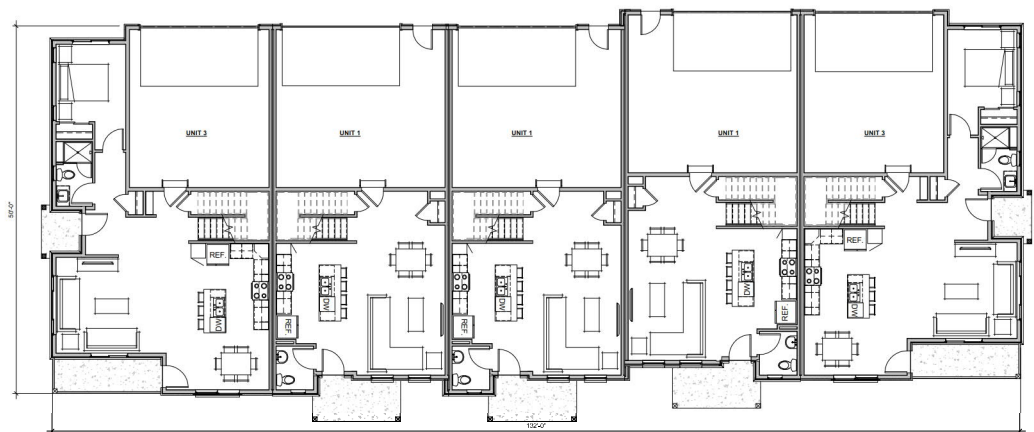
BUILDING PLANS

A1

11/30/2018



2 2ND LEVEL - FLAT LOTS
1/8" = 1'-0"



1 1ST LEVEL - FLAT LOTS
1/8" = 1'-0"



303.455.4437

5975 S. QUEBEC ST., STE. 250
CENTENNIAL, CO 80111

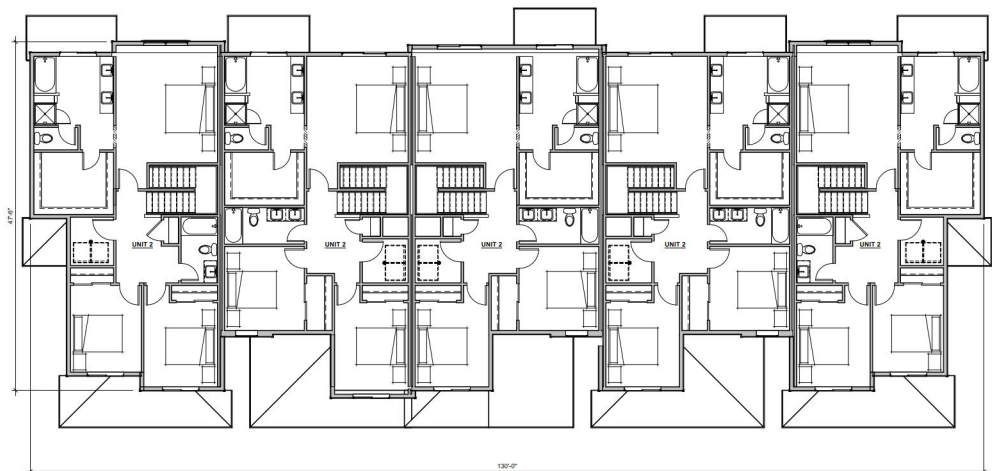
SEE WHAT COULD BE

RAMSEY 9TH

BUILDING PLANS

A2

11/30/2018



2 2ND LEVEL - LOOKOUT
1/8" = 1'-0"



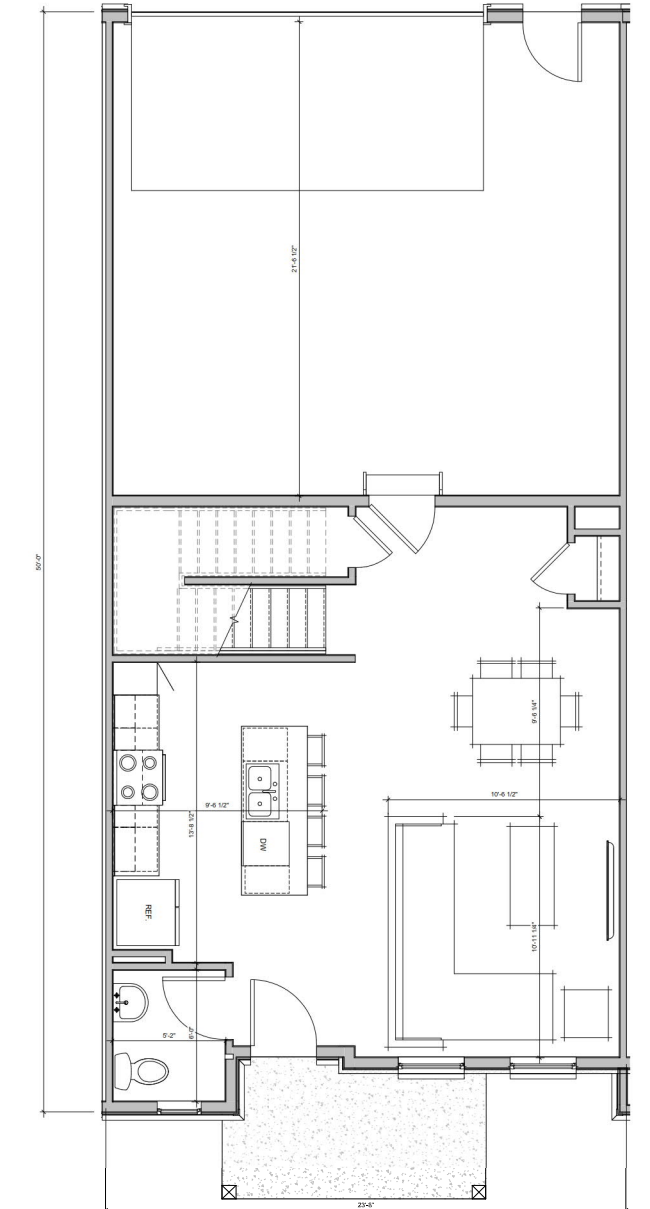
1 1ST LEVEL - LOOKOUT
1/8" = 1'-0"



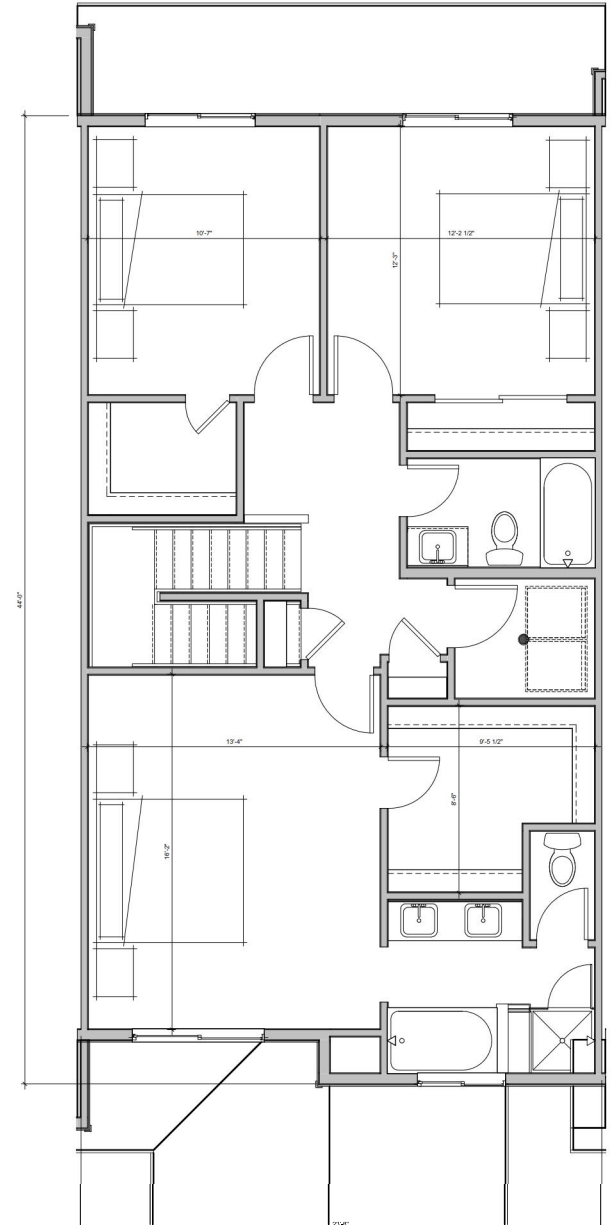
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CENTENNIAL, CO 80111

SEE WHAT COULD BE



1 UNIT 1 - 1ST LEVEL
3/8" = 1'-0"



2 UNIT 1 - 2ND LEVEL
3/8" = 1'-0"

RAMSEY 9TH

UNIT PLAN 1

A3

11/30/2018

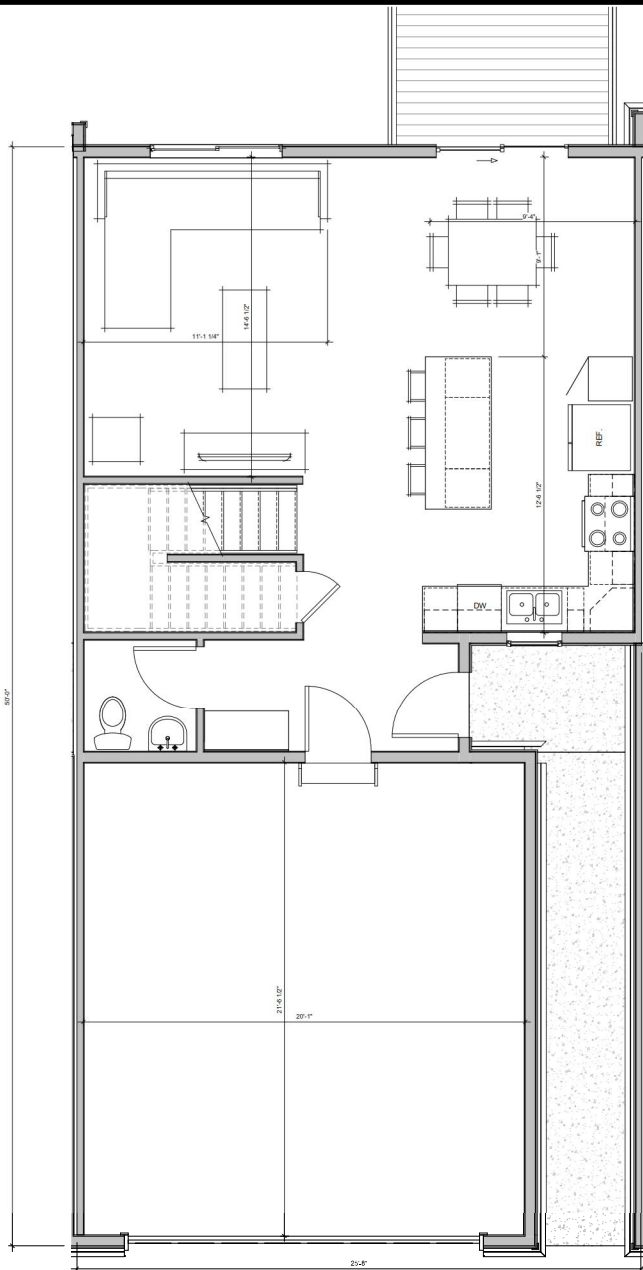


Godden Sudik
ARCHITECTS

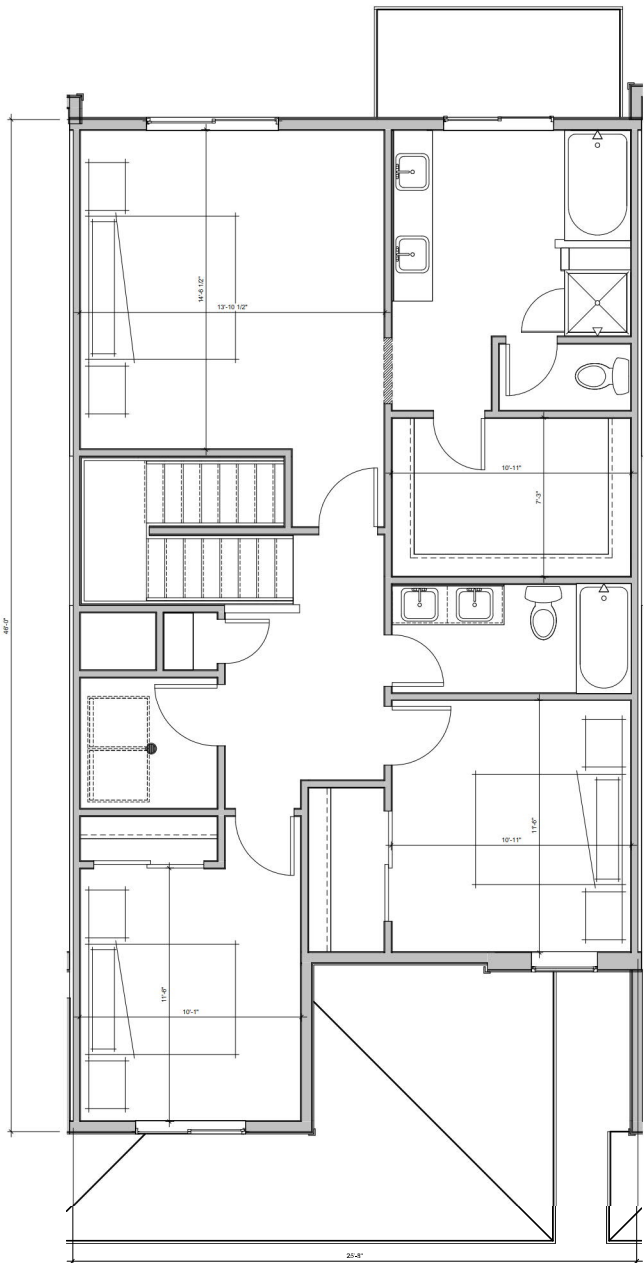
303.455.4437

5975 S. QUEBEC ST., STE. 250
CENTENNIAL, CO 80111

SEE WHAT COULD BE



1 UNIT 2 - INSIDE UNIT - 1ST LEVEL
3/8" = 1'-0"



2 UNIT 2 - INSIDE UNIT - 2ND LEVEL
3/8" = 1'-0"

RAMSEY 9TH

UNIT PLAN 2

A4a

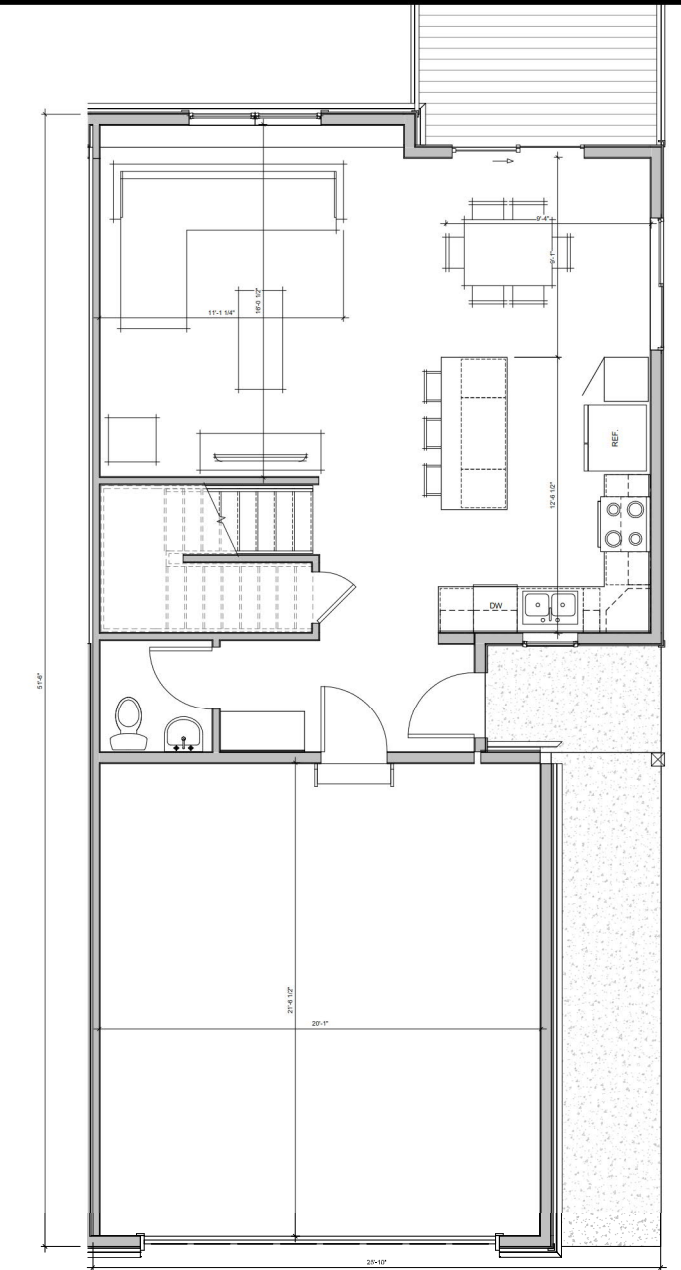
11/30/2018



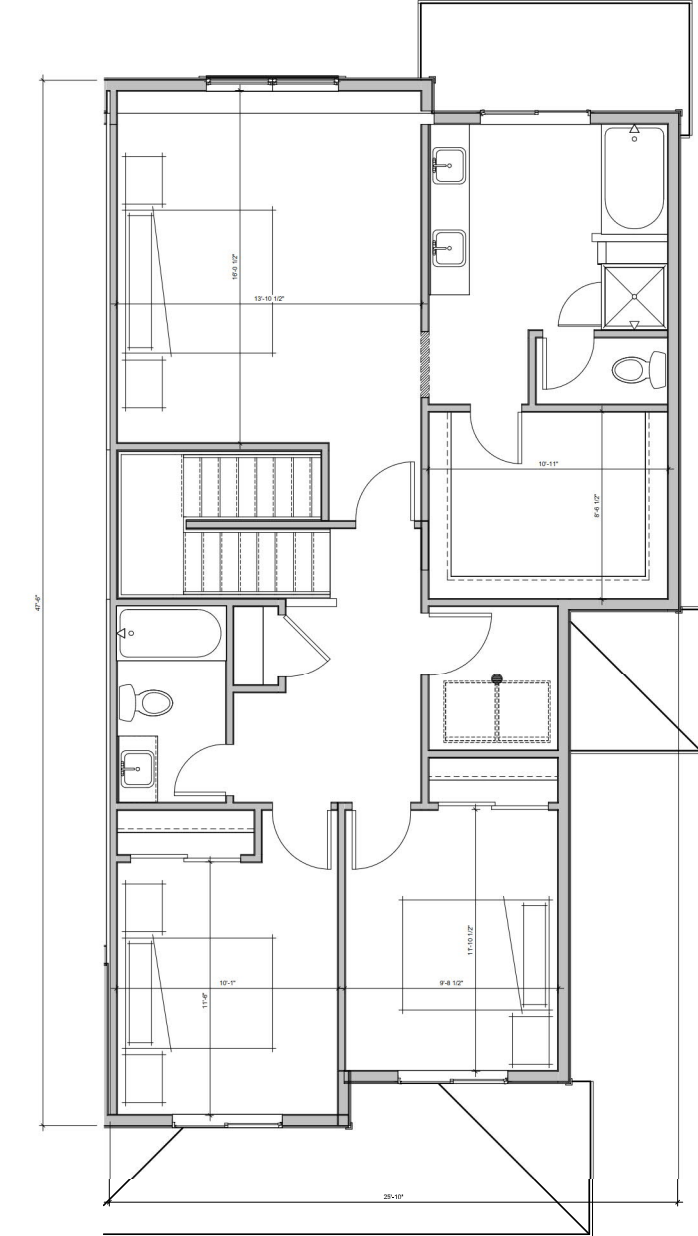
303.455.4437

5975 S. QUEBEC ST., STE. 250
CENTENNIAL, CO 80111

SEE WHAT COULD BE



1 UNIT 2 - END UNIT - 1ST LEVEL
3/8" = 1'-0"



2 UNIT 2 - END UNIT - 2ND LEVEL
3/8" = 1'-0"

RAMSEY 9TH

UNIT PLAN 2

A4b

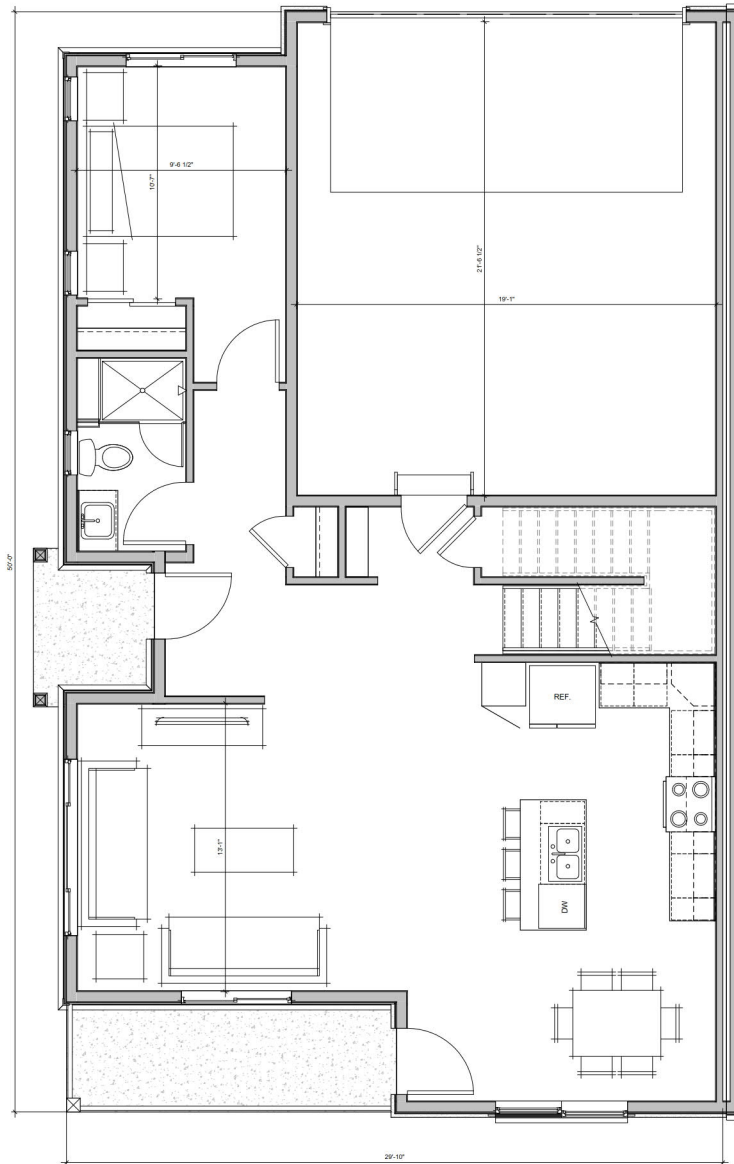
11/30/2018



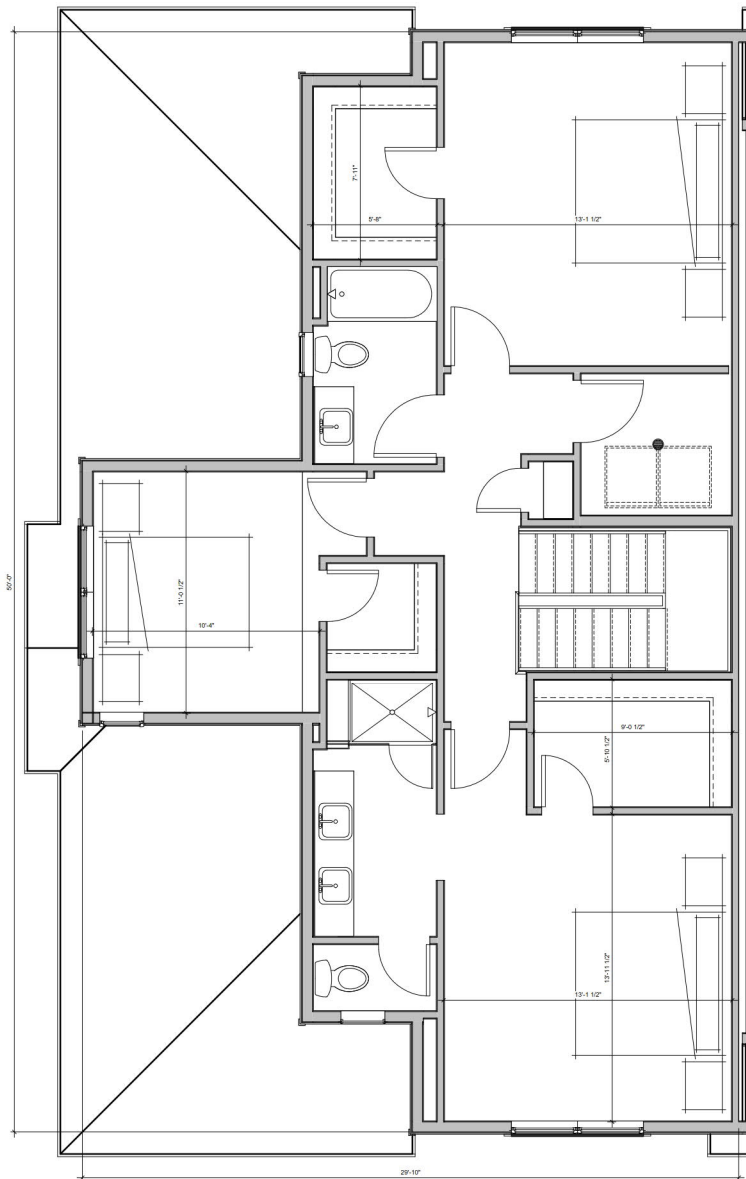
303.455.4437

5975 S. QUEBEC ST., STE. 250
CENTENNIAL, CO 80111

SEE WHAT COULD BE



1 UNIT 3 - 1ST LEVEL
3/8" = 1'-0"



2 UNIT 3 - 2ND LEVEL
3/8" = 1'-0"

RAMSEY 9TH

UNIT PLAN 3

A5

11/30/2018



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SEE WHAT COULD BE

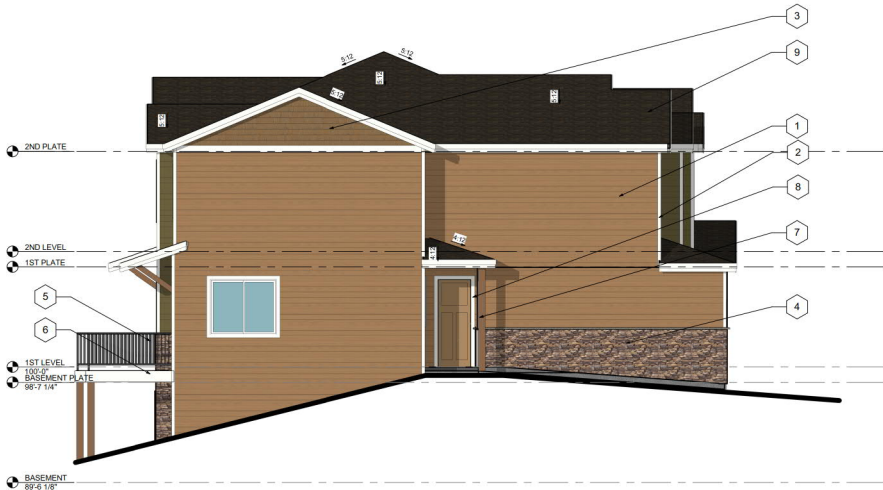
- EXTERIOR MATERIALS**
- 1 VINYL SIDING
 - 2 TRIM
 - 3 SHAKES
 - 4 STONE ACCENTS
 - 5 ALUMINUM DECK RAILING
 - 6 MAINTENANCE FREE DECKING
 - 7 8x8 POSTS
 - 8 WINDOW TRIM
 - 9 30-YEAR SHINGLES

RAMSEY 9TH

LOOKOUT ELEVATIONS

A6

11/30/2018



2 SIDE ELEVATION- LOOKOUT
3/16" = 1'-0"



1 FRONT ELEVATION - LOOKOUT
3/16" = 1'-0"



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SEE WHAT COULD BE

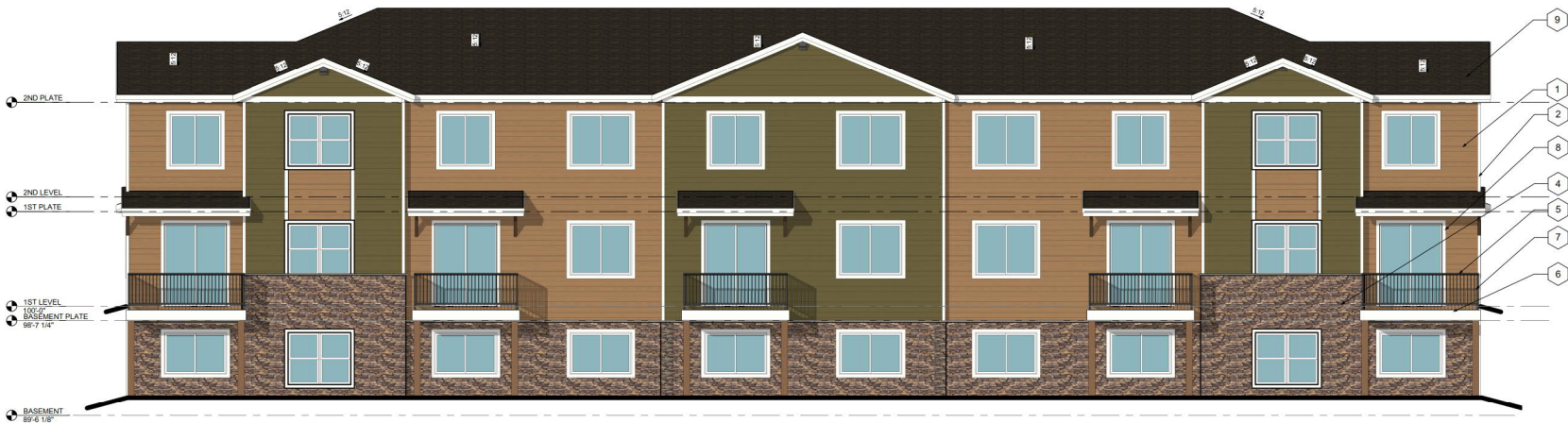
- EXTERIOR MATERIALS**
- 1 VINYL SIDING
 - 2 TRIM
 - 3 SHAKES
 - 4 STONE ACCENTS
 - 5 ALUMINUM DECK RAILING
 - 6 MAINTENANCE FREE DECKING
 - 7 8x8 POSTS
 - 8 WINDOW TRIM
 - 9 30-YEAR SHINGLES

RAMSEY 9TH

LOOKOUT
ELEVATIONS

A7

11/30/2018



1 REAR ELEVATION

3/16" = 1'-0"



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5975 S. QUEBEC ST., STE. 250
CENTENNIAL, CO 80111

SEE WHAT COULD BE

- EXTERIOR MATERIALS**
- 1 VINYL SIDING
 - 2 TRIM
 - 3 SHAKES
 - 4 STONE ACCENTS
 - 5 ALUMINUM DECK RAILING
 - 6 MAINTENANCE FREE DECKING
 - 7 8x8 POSTS
 - 8 WINDOW TRIM
 - 9 30-YEAR SHINGLES

RAMSEY 9TH

FLAT LOT ELEVATIONS

A8

11/30/2018



2 LEFT SIDE ELEVATION-FLAT LOTS
3/16" = 1'-0"



1 FRONT ELEVATION - FLAT LOTS
3/16" = 1'-0"



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5975 S. QUEBEC ST., STE. 250
CENTENNIAL, CO 80111

SEE WHAT COULD BE

- EXTERIOR MATERIALS**
- 1 VINYL SIDING
 - 2 TRIM
 - 3 SHAKES
 - 4 STONE ACCENTS
 - 5 ALUMINUM DECK RAILING
 - 6 MAINTENANCE FREE DECKING
 - 7 6x6 POSTS
 - 8 WINDOW TRIM
 - 9 30-YEAR SHINGLES

RAMSEY 9TH

FLAT LOT ELEVATIONS

A9

11/30/2018



1 REAR ELEVATION-FLAT LOTS

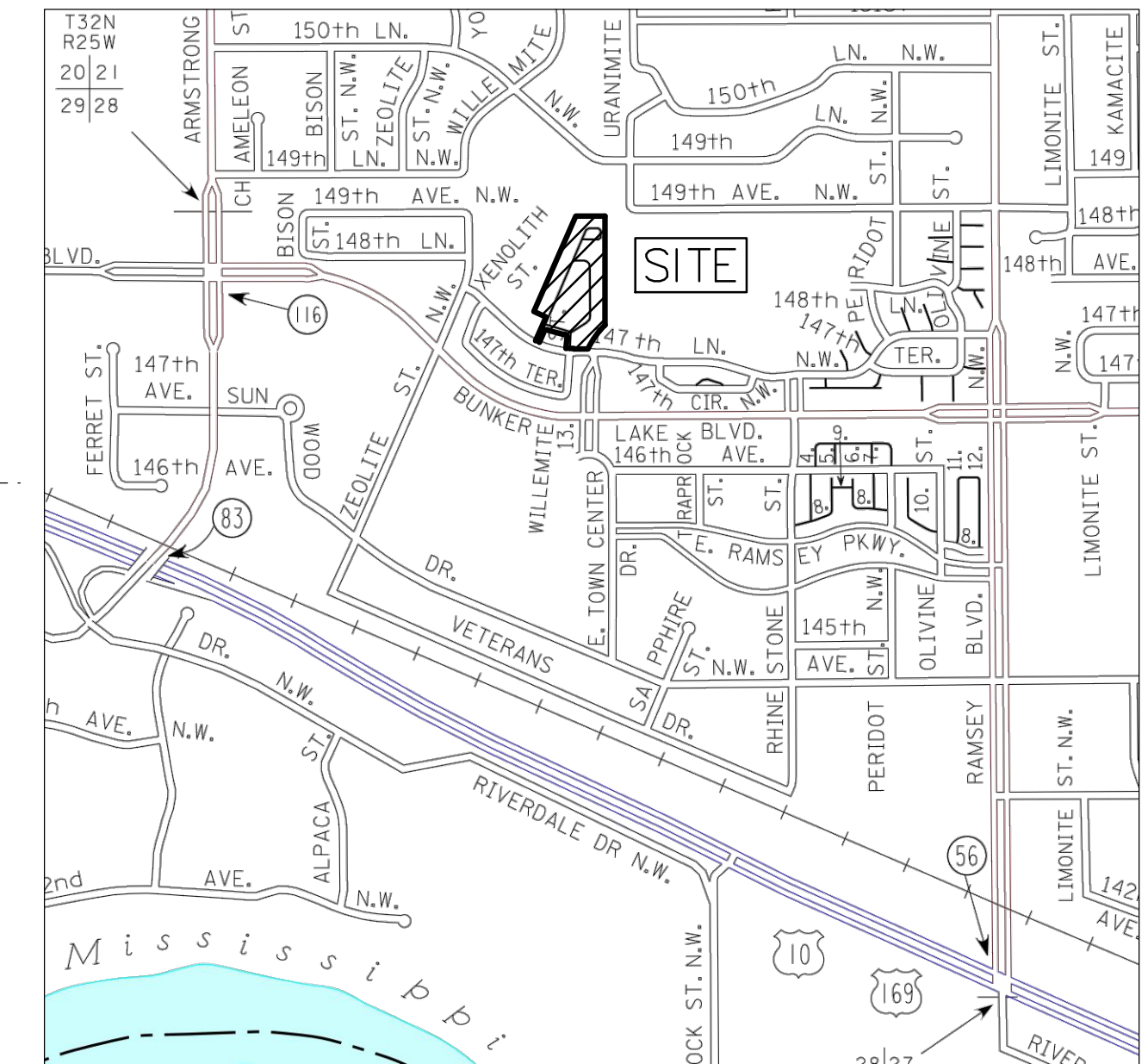
3/16" = 1'-0"



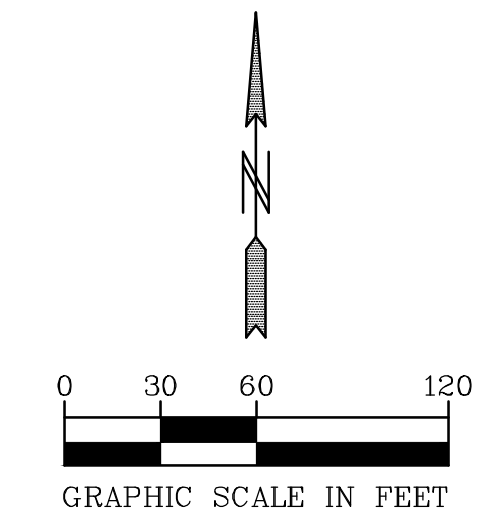
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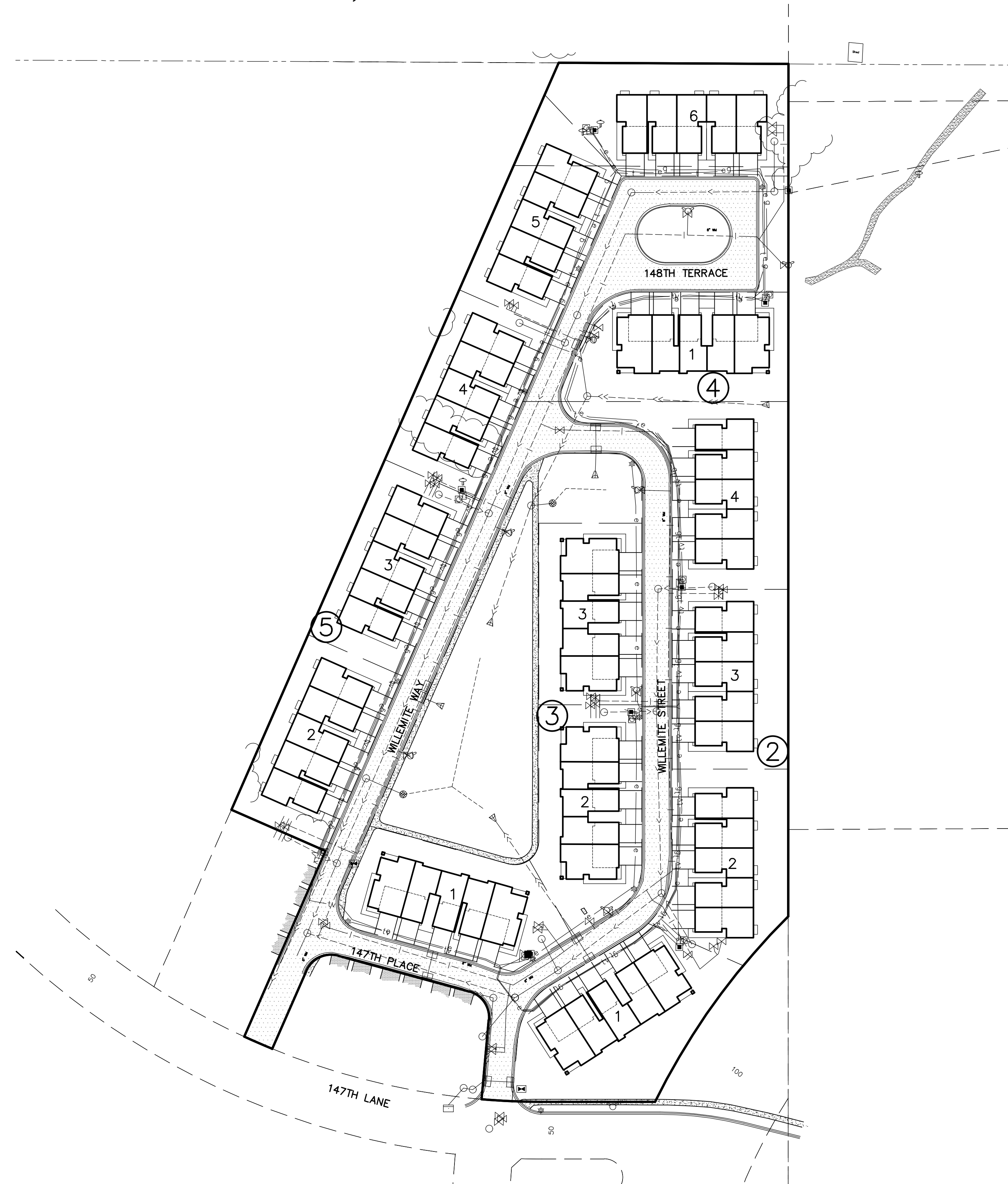
RAMSEY TOWN CENTER 9TH ADDITION SITE PLAN RAMSEY, MINNESOTA



LOCATION MAP



PREPARED BY PIONEER ENGINEERING, P.A.
 JOHN M. MOLINARO
 REGISTERED PROFESSIONAL CIVIL ENGINEER
 45831
 REG. NO.
 PETER J. HAWKINSON
 REGISTERED PROFESSIONAL LAND SURVEYOR
 42299
 REG. NO.
 DEVELOPER
 TATE BAXTER
 CENTRA HOMES, LLC
 11460 ROBINSON DR NW
 COON RAPIDS, MN 55433



- SHEET INDEX**
- 1. COVER SHEET
 - 2. LEGEND
 - 3. EXISTING CONDITIONS
 - 4. SITE PLAN
 - 5. LANDSCAPE PLAN/TREE PRESERVATION
 - 6. UTILITY PLAN
 - 7. GRADING PLAN



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www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: John M. Molinaro
 Reg. No.: 45831
 Date: 10-09-2018

Revisions

Date: 10-09-18
 Designed: JMM
 Drawn: JMM

COVER SHEET

CENTRA HOMES, LLC
 11460 ROBINSON DR. NW
 COON RAPIDS, MN 55433

RAMSEY TOWN CENTER 9TH ADD.
 RAMSEY, MINNESOTA

1 OF 7

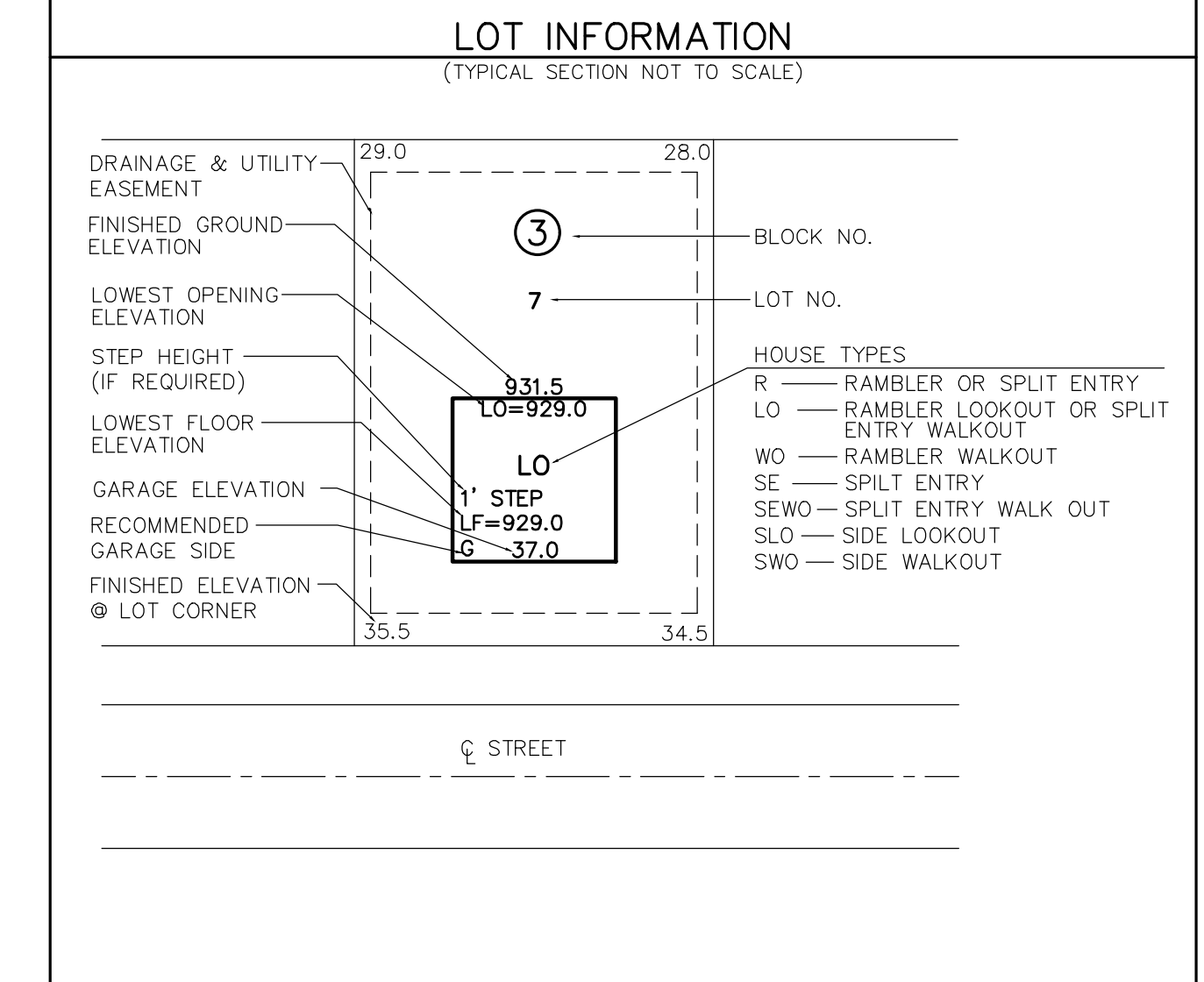
LEGEND			
UTILITY LINES		DESCRIPTION	
EXISTING	PROPOSED	FUTURE	
SANITARY MANHOLE SANITARY SEWER (SANITARY & WATERMAIN PLANS) SANITARY SEWER (STORM SEWER PLANS) FORCE MAIN HYDRANT GATE VALVE REDUCER CURB STOP WATERMAIN (SANITARY & WATERMAIN PLANS) WATERMAIN (STORM SEWER PLANS) CATCH BASIN BEEHIVE STORM MANHOLE FLARED END SECTION CONTROL STRUCTURE STORM SEWER (SANITARY & WATERMAIN PLANS) STORM SEWER (STORM SEWER PLANS) CULVERT PERFORATED DRAINTILE SOLID DRAINTILE SERVICE CASING UNDERGROUND ELECTRIC LINE UNDERGROUND FIBER OPTIC LINE UNDERGROUND GAS PIPELINE UNDERGROUND PETROLEUM PIPELINE UNDERGROUND TELEPHONE LINES UNDERGROUND TELEVISION LINE OVERHEAD UTILITY LINES			
SITE LINES		DESCRIPTION	
EXISTING	PROPOSED	FUTURE	
SURMOUNTABLE CURB & GUTTER B-STYLE CURB & GUTTER RIBBON CURB & GUTTER EDGE OF BITUMINOUS YELLOW PAVEMENT STRIPING (SINGLE/DOUBLE) WHITE PAVEMENT STRIPING (SINGLE/DOUBLE) PHASE LINE CENTERLINE 2' CONTOUR LINE 10' CONTOUR LINE BASIN OUTLET LINE BASIN HIGH WATER LINE PROPOSED SPOT ELEVATION EMERGENCY OVERFLOW DRAINAGE FLOW ARROW DELINEATED / PROPOSED WETLAND LINE WETLAND BUFFER TREE LINE FEMA FLOODPLAIN BOUNDARY RETAINING WALL FENCE (BARBED WIRE) FENCE (CHAIN LINK) FENCE (WOOD) CONSERVATION AREA SIGN WETLAND BUFFER SIGN TYPE III BARRICADE LIGHT POLE STREET SIGNS PEDESTRIAN RAMP			
SURVEY LINES		DESCRIPTION	
EXISTING	PROPOSED	FUTURE	
BOUNDARY RIGHT OF WAY LOT LINE EASEMENT SET BACK LINE SECTION LINE RESTRICTED ACCESS			
HATCH PATTERNS			
	GRAVEL SURFACE		WETLAND
	BITUMINOUS SURFACE		WETLAND UPLAND BUFFER
	CONCRETE SURFACE		WETLAND MITIGATION
	RIP RAP (CLASS IV FIELDSTONE)		PERMANENT TURF RESTORATION
	SELECT BACKFILL MATERIAL		PERMANENT WET BASIN SEEDING
	EROSION CONTROL BLANKET MNDOT CATEGORY PER PLAN		UPLAND/NATURAL AREA SEEDING

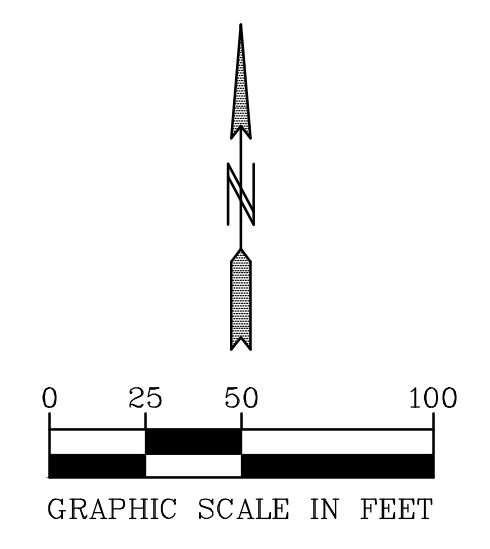
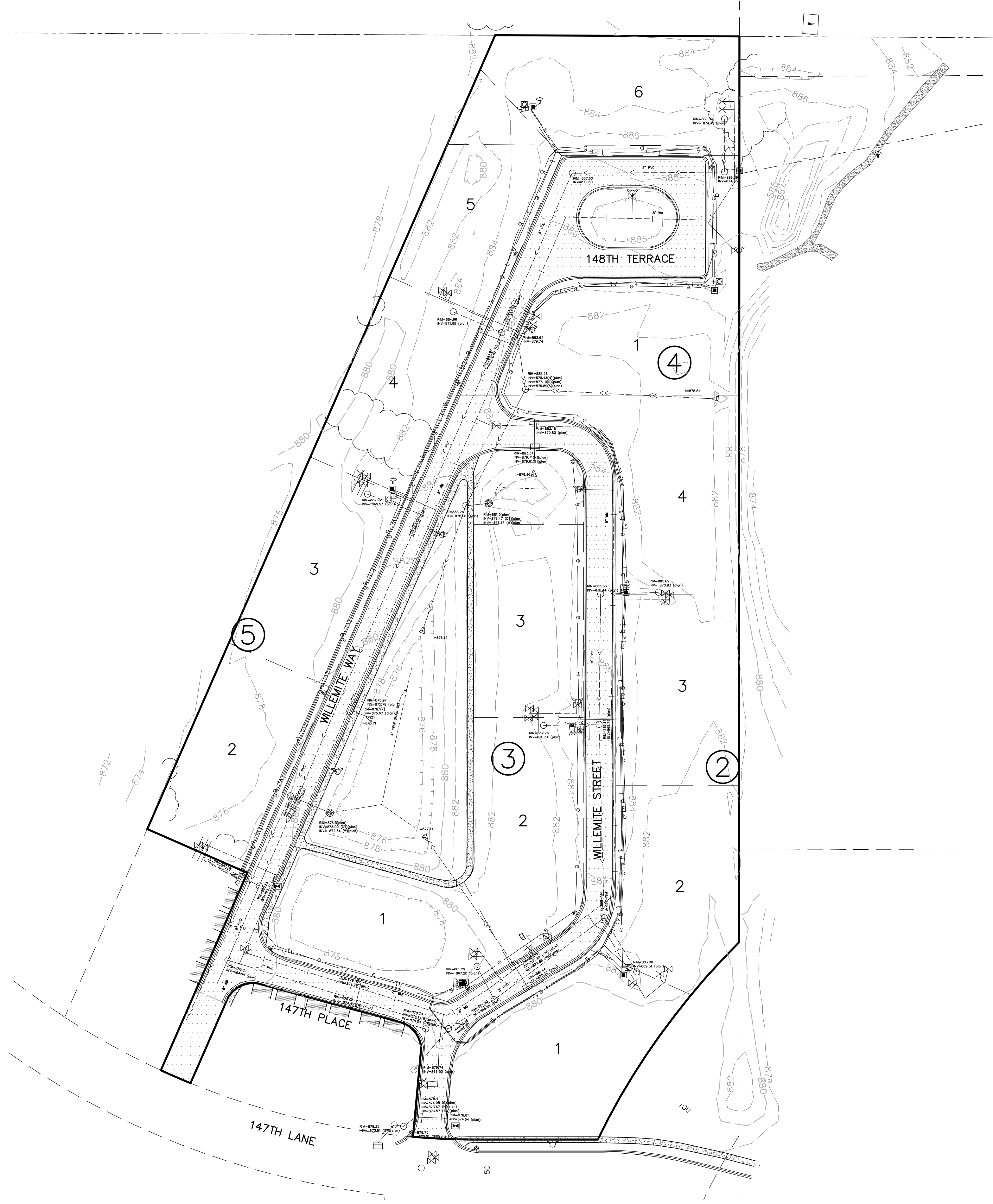
TOPOGRAPHIC SYMBOLS	
	CATCH BASIN
	CATCH BASIN BEEHIVE
	FLARED END SECTION
	GATE VALVE
	HYDRANT
	WATER SERVICE
	WATER WELL
	MONITORING WELL
	CLEANOUT
	HAND HOLE
	MANHOLE OTHER THAN SANITARY OR STORM
	SANITARY OR STORM MANHOLE
	LAWN SPRINKLER VALVE
	LAWN SPRINKLER HEAD
	UTILITY POLE
	TRANSFORMER BOX
	FIBER OPTIC BOX
	ELECTRIC BOX
	NATURAL GAS METER
	LIGHT POLE
	SEMAPHORE
	TELEPHONE BOX
	CABLE BOX
	CAST IRON MONUMENT
	FOUND IRON PIPE
	JUDICIAL LAND MARK
	PK NAIL
	CONTROL POINT
	SPIKE
	FLAG POLE
	TEST HOLE
	MAILBOX
	SIGN
	BOLLARD
	CONSERVATION POST
	DECIDUOUS TREE
	CONIFEROUS TREE
	SHRUB / BUSH

EROSION & SEDIMENT CONTROL	
	STANDARD EROSION CONTROL
	HEAVY-DUTY EROSION CONTROL
	SECONDARY EROSION CONTROL FENCE
	EROSION CONTROL AT BACK OF CURB
	TREE FENCE
	TEMPORARY DIVERSION DITCH
	CATCH BASIN INLET PROTECTION
	STRAW BIO ROLLS
	ROCK BERM
	SUMPED RIP RAP PERMANENT ENERGY DISSIPATER
	DISCHARGE LOCATION
	GRAVEL CONSTRUCTION ENTRANCE
	TEMPORARY OUTLET FLOATING SKIMMER
	BASIN ACCESS 8% SLOPE MAX.
	STABILIZED EMERGENCY OVERFLOW

CURB LEGEND	
	= TOP OF CURB ELEVATION FOR SURMOUNTABLE CURB
	= TOP OF CURB ELEVATION FOR SURMOUNTABLE CURB (TIP OUT GUTTER)
	= TOP OF CURB ELEVATION FOR B618 CURB
	= TOP OF CURB ELEVATION FOR B618 CURB (TIP OUT GUTTER)
	= BITUMINOUS ELEVATION

ABBREVIATIONS	
A	ALGEBRAIC DIFFERENCE
B-B	BACK TO BACK
BV	BUTTERFLY VALVE
BOC	BACK OF CURB
BFE	BASE FLOOD ELEVATION
BMP	BEST MANAGEMENT PRACTICE
CL	CENTER LINE
CB	CATCHBASIN
CBMH	CATCHBASIN MANHOLE
CMP	CORRUGATED METAL PIPE
CO	CLEAN OUT
CS	CURB STOP
DIP	DUCTILE IRON PIPE
DT	DRAINTILE
EL/ELEV	ELEVATION
EX	EXISTING
FES	FLARED END SECTION
F-F	FACE TO FACE
FM	FORCEMAIN
GB	GRADE BREAK
GND	GROUND
GV	GATE VALVE
HP	HIGH POINT
HYD	HYDRANT
HWL	HIGH WATER LEVEL
INV	INVERT
INV	CURVE COEFFICIENT
K	LENGTH
LF	LOWEST FLOOR
LO	LOOKOUT
LO	LOWEST OPENING
LP	LIQUID PETROLEUM
LP	LOW POINT
MH	MANHOLE
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
PRC	POINT OF REVERSE CURVATURE
PVT	POINT OF TANGENCY
PVC	POINT OF VERTICAL CURVATURE
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
R	RADIUS
R	RAMBLER
RCP	REINFORCED CONCRETE PIPE
ROW	RIGHT OF WAY
SSWR	SANITARY SEWER
STA	STATION
STRM	STORM SEWER
SWPPP	STORM WATER POLLUTION PROTECTION PLAN
TNH	TOP NUT HYDRANT
TYP	TYPICAL
WM	WATER MAIN
WO	WALKOUT





SITE NOTES:
LEGAL DESCRIPTION:
 LOTS 1-5 BLK 2, LOTS 1-3 BLK 3, LOTS 1-6 BLK 4,
 OUTLOT A, B & C, RAMSEY TOWN CENTER 9TH
 ADDITION.
 #EMPLOYEES: NA
 SIGNIFICANT FEATURES: NA
 SITE ACCESS: PRIVATE ROAD
 LOADING DOCKS: NA
 OFFSTREET PARKING: NA
 PRIVATE DRIVE LENGTHS: 20.5' (TYP.)

SITE DATA:
 TOTAL AREA: 7.04 ACRES
 NET AREA: 4.88 ACRES
 LOT AREA: 4.88 ACRES
 OUTLOT AREA: 2.16 ACRES

PROPOSED DEVELOPMENT ZONING
 COR
 TOTAL MULTI FAMILY UNITS: 65
 GROSS DENSITY: 9.23 UNITS/ACRE
 NET DENSITY: 13.32 UNITS/ACRE
PROPOSED DEVELOPMENT PHASING
 1 PHASE

SETBACKS COR
 Front:
 Garage foundation to R-O-W =20'
 House foundation to R-O-W =20'
 Garage foundation to Curb =20.5'
 House foundation to Curb =20.5'
 Side:
 Garage =5'
 House =5'
 Foundation to Foundation =20'
 Rear =10'
 Corner =10'

BUILDINGS:
BUILDING TYPE A (RED):
 TOTAL UNITS: 25
 BASEMENT SQFT: 3820 per 5-UNIT
 GARAGE SQFT: 2264 per 5-UNIT
BUILDING TYPE B (BLUE):
 TOTAL UNITS: 40
 BASEMENT SQFT: 3458 per 5-UNIT
 GARAGE SQFT: 2544 per 5-UNIT

BUILDING COVERAGE:
 TOTAL: 78,436 SQFT
 BUILDING COVERAGE: 25.6%

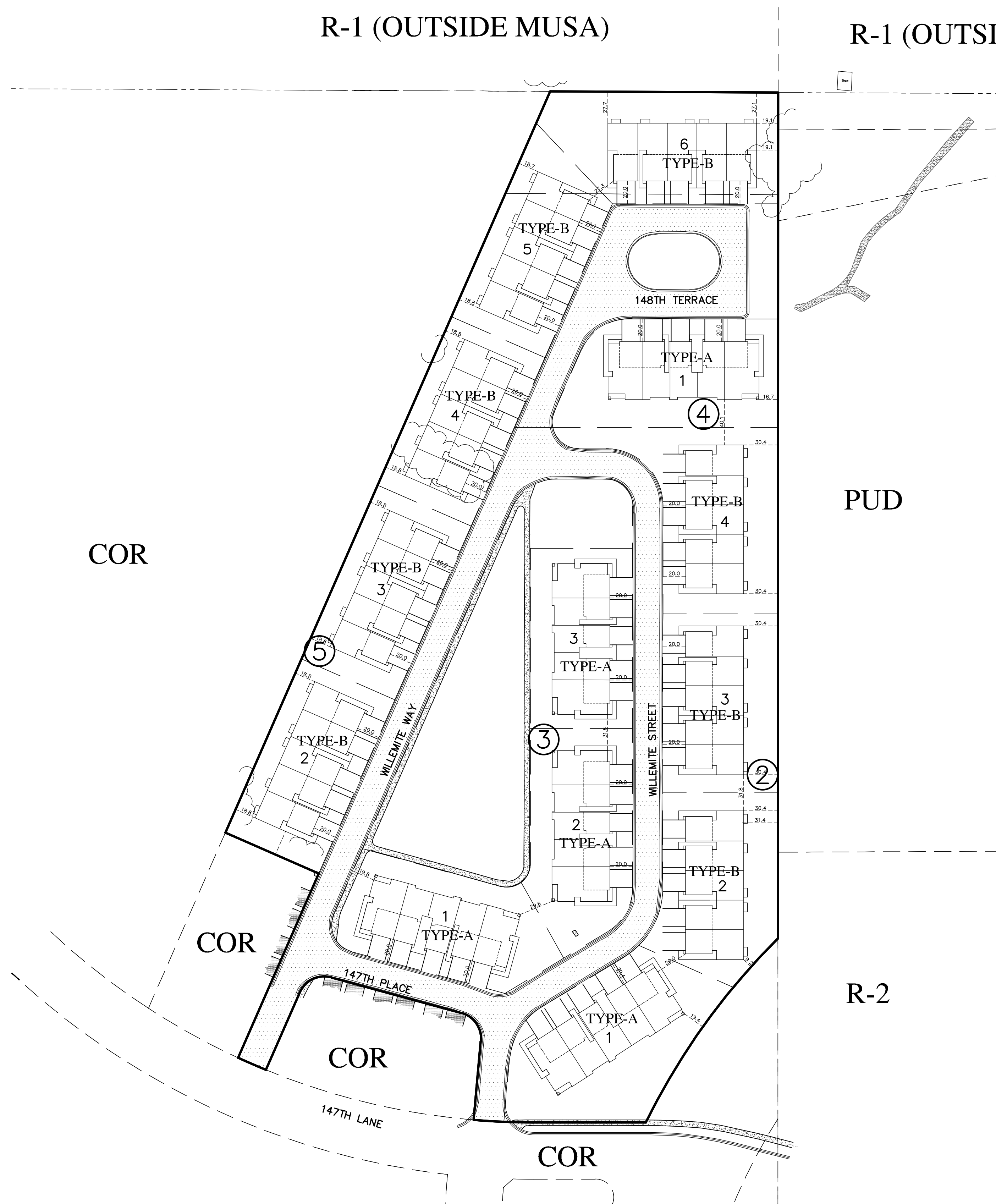
IMPERVIOUS SURFACE COVERAGE:
 EXISTING IMPERVIOUS: 1.34 ACRES
 PROPOSED IMPERVIOUS: 2.63 ACRES
 TOTAL IMPERVIOUS: 3.97 ACRES
 IMPERVIOUS COVERAGE: 56.4%

GREEN SPACE:
 TOTAL AREA: 7.04 ACRES
 TOTAL GREEN SPACE: 3.07 ACRES
 GREEN SPACE COVERAGE: 43.6%

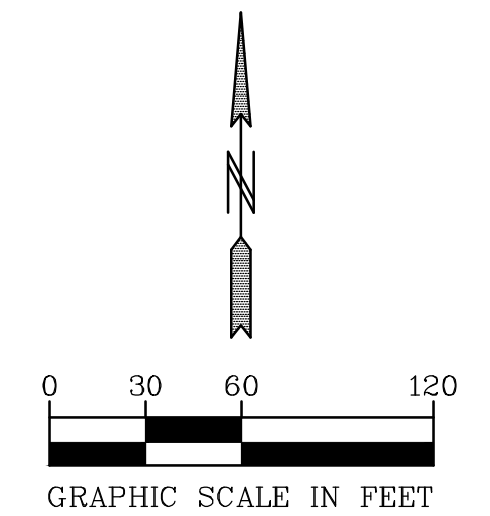
TRAFFIC ANALYSIS:
 ITE Trip Generation 6th Add.
 Total Multi-Family Units: 65
 Trips Generated per Day: 5.86
 Total Trips per Day For Proposed Development: 380

R-1 (OUTSIDE MUSA)

R-1 (OUTSIDE MUSA)

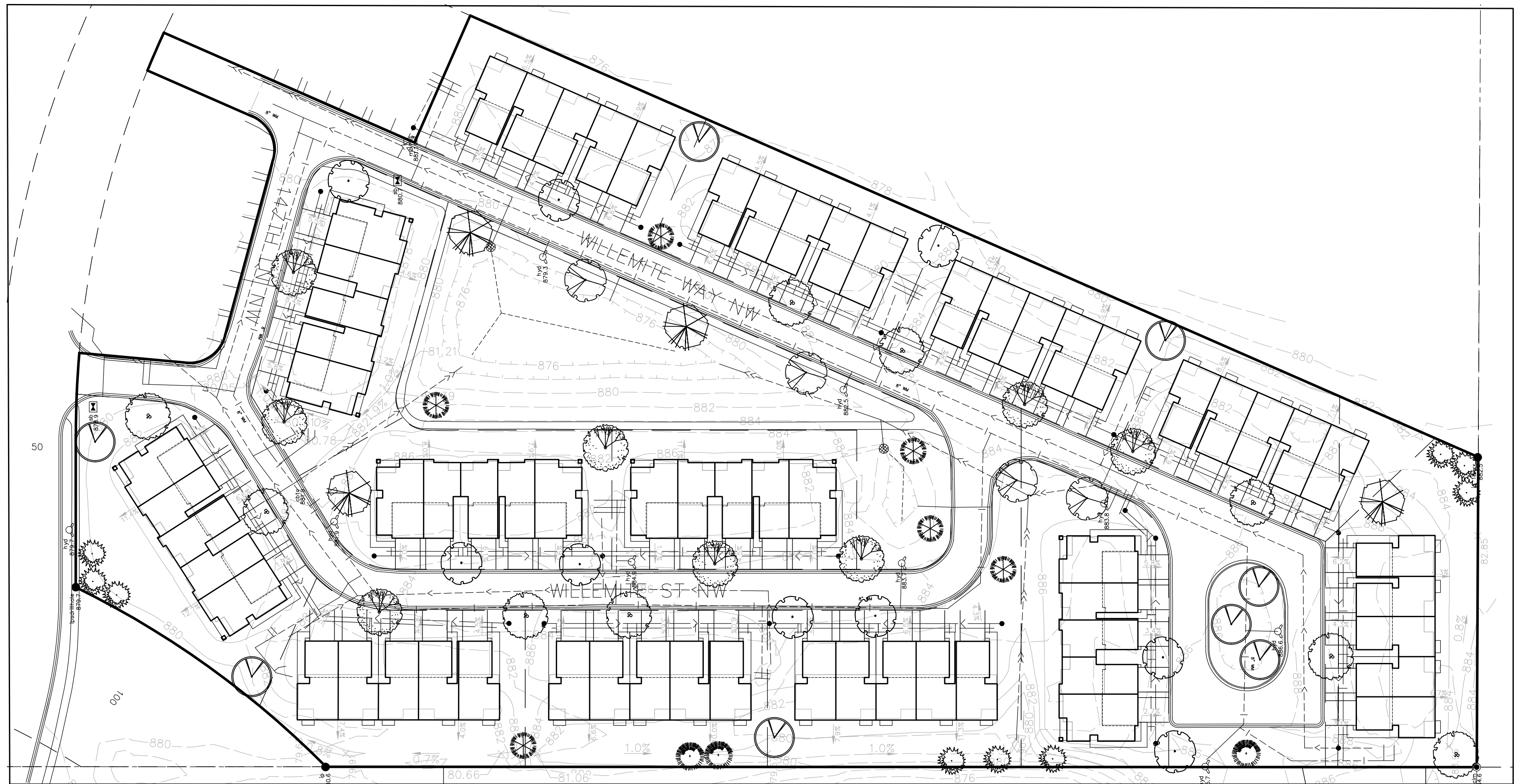


PROJECTED WATER USAGE:
 NUMBER OF HOMES: 65 homes
 GAL PER HOME PER DAY: 2.74per/home * 100
 gal/per = 274 gal/hm/day
 TOTAL RESIDENTIAL FLOW: 17,810 gal/day
TOTAL RESIDENTIAL BOD5:
 65 hm * 0.17 lb/per/day * 2.74 per/day = 30.277 lb/day



TREE PRESERVATION NOTES:
 SITE WAS FULLY DEVELOPED IN 2005. ALL
 TREES WERE CLEARED AT THAT TIME. ANY
 TREES REMAINING ON SITE ARE VOLUNTEERS
 AND NOT OF SIGNIFICANT CONDITIONS.

HYDROLOGY NOTES:
 SITE WAS IMPROVED AND STORMWATER
 TREATMENT SYSTEM WAS INSTALLED IN 2005.
 NO MODIFICATIONS ARE PROPOSED FOR THE
 STORMWATER TREATMENT SYSTEM.



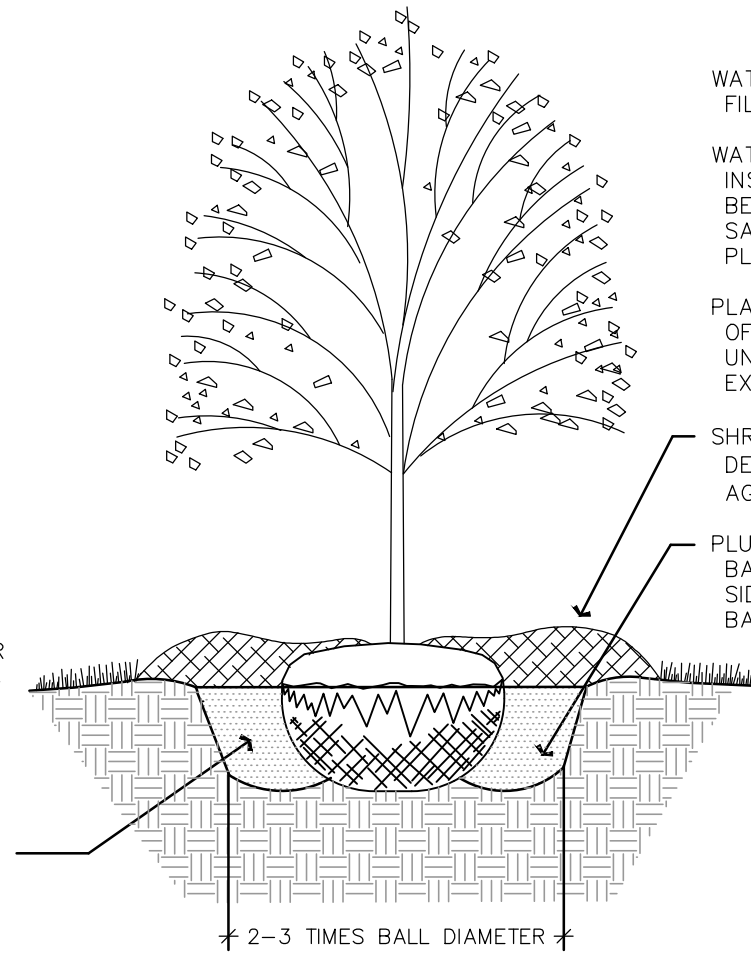
DECIDUOUS TREE PLANTING DETAIL

TRIM OUT DEAD WOOD AND WEAK AND/OR DEFORMED TWIGS. DO NOT CUT A LEADER. DO NOT PAINT CUTS.

SET PLANT ON UNDISTURBED NATIVE SOIL OR THOROUGHLY COMPACTED BACKFILL SOIL. INSTALL PLANT SO THE ROOT FLARE IS AT OR UP TO 2" ABOVE THE FINISHED GRADE.

PLACE PLANT IN PLANTING HOLE WITH BURLAP AND WIRE BASKET, (IF USED), INTACT. BACKFILL WITHIN APPROXIMATELY 12" OF THE TOP OF ROOTBALL. WATER PLANT. REMOVE TOP 1/3 OF THE BASKET OR THE TOP TWO HORIZONTAL RINGS, WHICHEVER IS GREATER. REMOVE ALL BURLAP AND NAILS FROM TOP 1/2 OF THE BALL. REMOVE ALL TWINE.

SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.



WATER TO SETTLE PLANTS AND FILL VOIDS.

WATER WITHIN TWO HOURS OF INSTALLATION. WATERING MUST BE SUFFICIENT TO THOROUGHLY SATURATE ROOT BALL AND PLANTING HOLE.

PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.

SHREDDED WOOD MULCH MIN. 4" DEEP (DO NOT PLACE MULCH AGAINST TRUNK OF TREE).

PLUMB AND BACKFILL WITH BACKFILL SOIL. BREAK DOWN SIDES OF HOLE WHEN BACKFILLING.

2-3 TIMES BALL DIAMETER

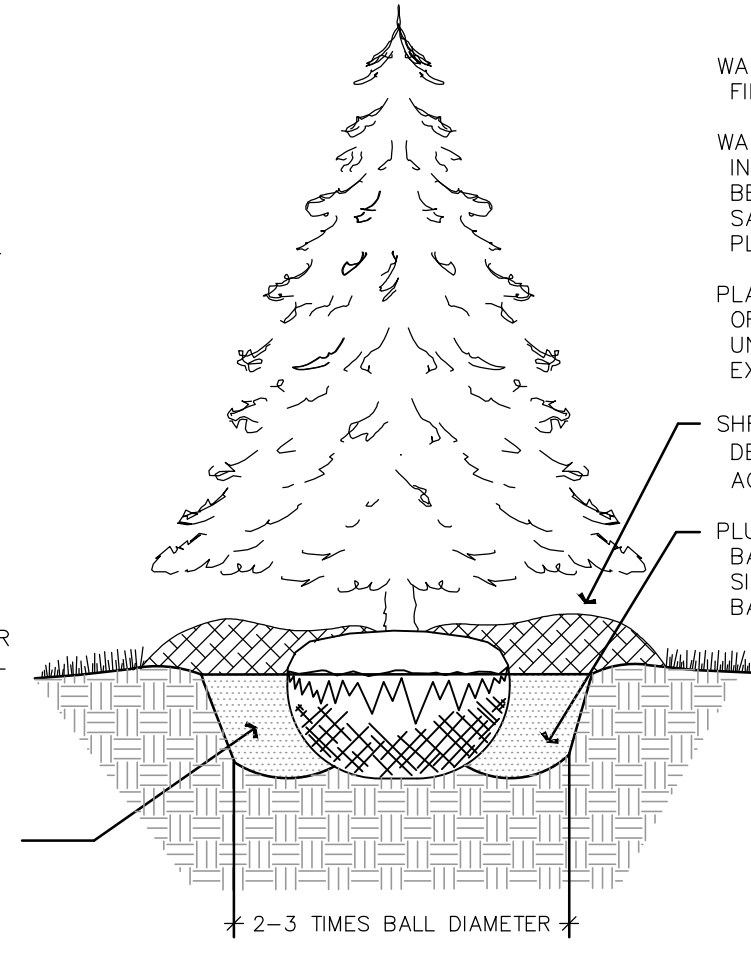
CONIFEROUS TREE PLANTING DETAIL

TRIM OUT DEAD WOOD AND WEAK AND/OR DEFORMED TWIGS. DO NOT CUT A LEADER. DO NOT PAINT CUTS.

SET PLANT ON UNDISTURBED NATIVE SOIL OR THOROUGHLY COMPACTED BACKFILL SOIL. INSTALL PLANT SO THE ROOT FLARE IS AT OR UP TO 2" ABOVE THE FINISHED GRADE.

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PLUMB AND BACKFILL WITH BACKFILL SOIL. BREAK DOWN SIDES OF HOLE WHEN BACKFILLING.

BENCH MARK
TNH xxx' WEST OF
xxx & xxx
ELEV=xxx

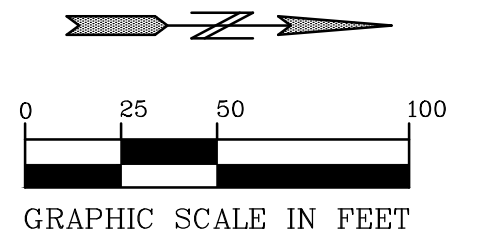
2-3 TIMES BALL DIAMETER

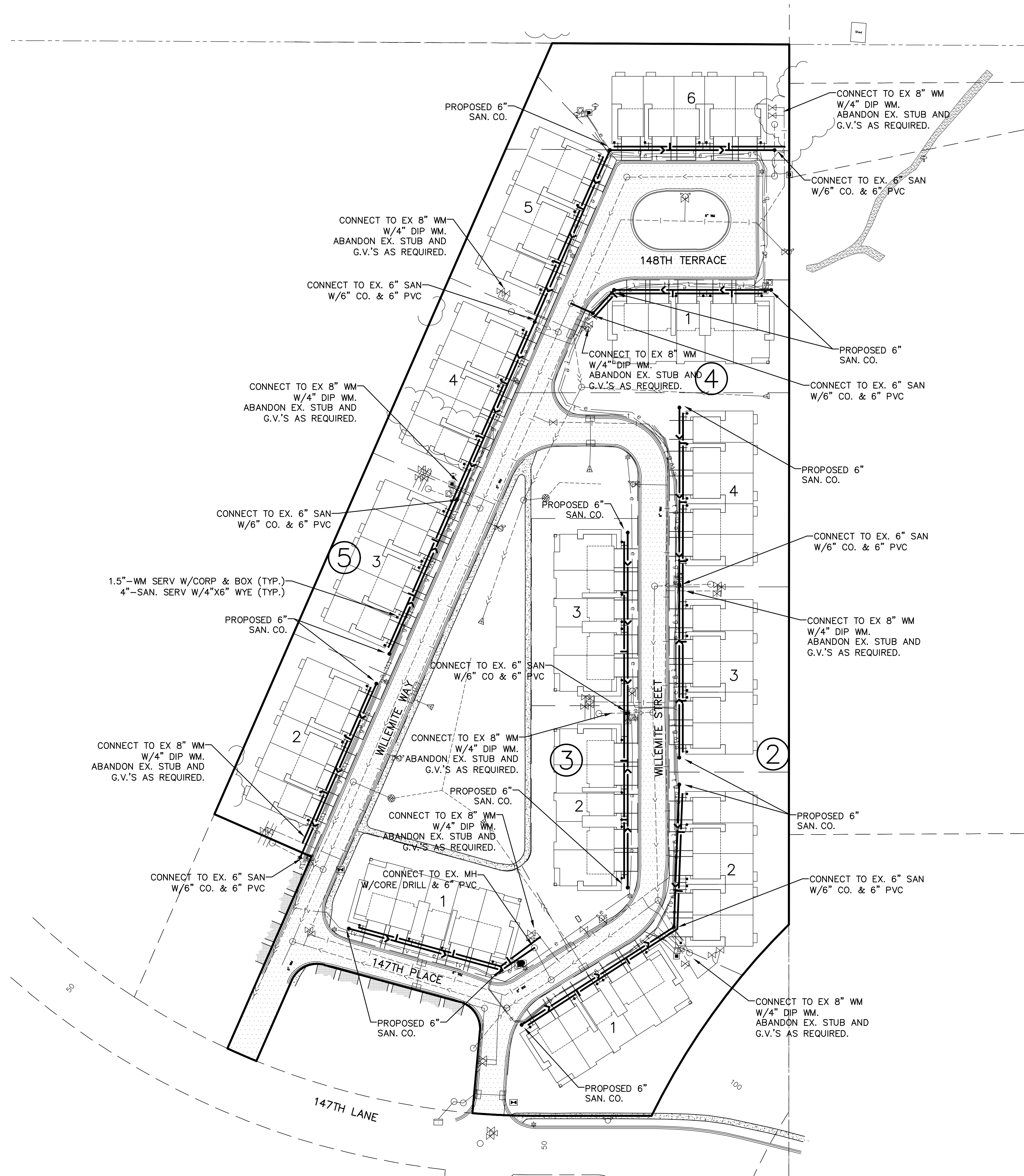
LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL VISIT THE PROJECT SITE TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF PROPOSED PHYSICAL START DATE AT LEAST 7 DAYS IN ADVANCE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FIELD VERIFICATION OF ALL EXISTING UTILITY LOCATIONS ON THE PROJECT SITE WITH GOPHER STATE ONE CALL 1-800-252-1166 PRIOR TO COMMENCING WORK. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF EXISTING UTILITIES DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
- GRADING TO BE PERFORMED BY OTHERS.
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL PLANT MATERIAL SHALL MEET THE STANDARDS FOUND IN THE AMERICAN ASSOCIATION OF NURSERYMEN-AMERICAN STANDARD FOR NURSERY STOCK.
- ALL CONTAINER MATERIAL TO BE GROWN IN THE CONTAINER A MINIMUM OF SIX (6) MONTHS PRIOR TO PLANTING ON SITE.
- DECIDUOUS AND CONIFEROUS TREES SHALL NOT BE STAKED, BUT THE LANDSCAPE CONTRACTOR MUST GUARANTEE STABILITY TO A WIND SPEED OF 60 M.P.H.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM GUARANTEE OF ONE YEAR ONE TIME REPLACEMENT ON NEW PLANT MATERIALS. GUARANTEE SHALL BE AGREED UPON BY DEVELOPER/BUILDER AND LANDSCAPE CONTRACTOR.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING OR AFTER INSTALLATION.
- IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER SHOWN ON THE PLANT LIST, THE NUMBER SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE WORK SHOWN ON THE PLAN. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THE PLANT SCHEDULE.
- COMMERCIAL GRADE POLY LAWN EDGING SHALL BE INSTALLED WHERE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL REPAIR ALL DAMAGE TO THE SITE CAUSED BY THE PLANTING OPERATION AT NO COST TO THE OWNER.
- THE LANDSCAPE CONTRACTOR SHALL KEEP PAVEMENTS CLEAN UNSTAINED. ALL PEDESTRIAN AND VEHICLE ACCESS TO BE MAINTAINED THROUGHOUT CONSTRUCTION PERIOD. ALL WASTES SHALL BE PROMPTLY REMOVED FROM THE SITE. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS AND PERMITS GOVERNING THE WORK.
- STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.

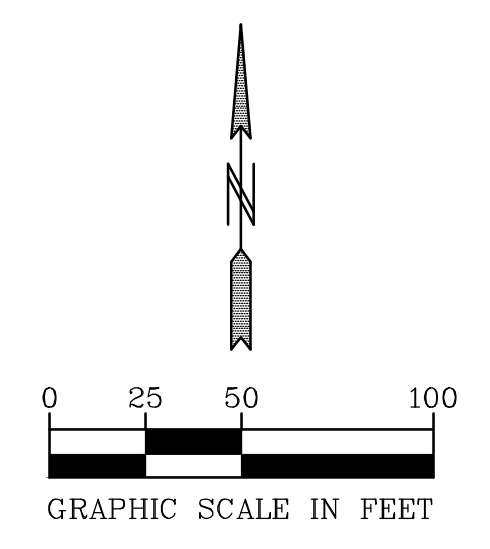
PLANTING SCHEDULE

KEY	COMMON NAME/SCIENTIFIC NAME	ROOT	QUANTITY	MATURE HT. & SPREAD
OVERSTORY TREES				
	OHIO BUCKEYE/AESCLUS GLABRA	2.5" B&B	4	35 X 30
	AUTUMN BLAZE MAPLE/ACER X FREEMANII	2.5" B&B	8	60 X 40
	SWAMP WHITE OAK/QUERCUS BICOLOR	2.5" B&B	4	60 X 45
	COMMON HACKBERRY/CELTIS OCCIDENTALIS	2.5" B&B	9	60 X 45
	YELLOW BIRCH/BETULA ALLEGHANIENSIS	10' B&B	9	60 X 40
	DOWNY HAWTHORN/CRATAEGUS MOLLIS	2.5" B&B	8	35 X 35
EVERGREEN TREES				
	NORWAY SPRUCE/PICEA ABIES	6' B&B	6	80 X 40
	BLACK HILLS SPRUCE/PICEA GLAUCA DENSATA	6' B&B	9	40 X 20
	EASTERN WHITE PINE/PINUS STROBUS	6' B&B	3	40 X 20





- UTILITY NOTES:**
- CONNECT TO EX. 6" SANITARY SERVICE STUBS WITH 6" CLEANOUTS AND 6" PVC SEWER PIPE.
 - PROPOSED SANITARY SERVICE SHALL BE 4" PVC
 - CONNECT TO EX. 6" WATERMAIN SERVICE STUBS WITH 4" DIP WATERMAIN.
 - PROPOSED WATER SERVICE SHALL BE 1.5" COPPER OR HDPE



Know what's below.
 Call before you dig.

