

City of Ramsey
Agenda - CANCELED
Environmental Policy Board (EPB)
Monday, January 22, 2018
6:30 pm
The Lake Itasca Room, 7550 Sunwood Drive NW

- 1. Call to Order**
- 2. Citizen Input**
- 3. Approve Agenda**
- 4. Approve Minutes**
 1. Approve Meeting Minutes Dated December 18, 2017
- 5. Policy Board Business**
 1. Consider Landscape and Tree Preservation Plans for Rum River Prairie; Case of Rum River Prairie LLC
 2. 2018 Recycling Program
- 6. Board/Staff Input**
 1. Staff Input
- 7. Adjournment**

Environmental Policy Board (EPB)

4. 1.

Meeting Date: 01/22/2018

By: Chris Anderson, Community
Development

Information

Title:

Approve Meeting Minutes Dated December 18, 2017

Action:

Attachments

Meeting Minutes Dated December 18, 2017

Form Review

Inbox

Tim Gladhill

Form Started By: Chris Anderson

Final Approval Date: 01/19/2018

Reviewed By

JoAnn Shaw

Date

01/19/2018 12:28 PM

Started On: 01/19/2018 11:36 AM

**ENVIRONMENTAL POLICY BOARD
CITY OF RAMSEY
ANOKA COUNTY
STATE OF MINNESOTA**

On Monday, December 18, 2017, the Environmental Policy Board (EPB) met in the COR Conference Room at the Ramsey Municipal Center, 7550 Sunwood Drive N.W., Ramsey, Minnesota.

Members Present: Chairperson Thomas Stodola
 Board Member Jane Covart
 Board Member Michael Hiatt
 Board Member Lucas Trossen
 Board Member Michael Valentine

Members Absent: Board Member Colleen Anderson
 Board Member Reid Bernard

Also Present: City Planner Chris Anderson

1. CALL TO ORDER

Chairperson Stodola called the meeting to order at 6:30 p.m.

2. CITIZEN INPUT

None.

3. APPROVE AGENDA

Motion by Board Member Hiatt and seconded by Chairperson Stodola to approve the agenda as submitted.

Motion carried. Voting Yes: Chairperson Stodola, Board Member Hiatt, Covart, Trossen, and Valentine. Voting No: None. Absent: Board Members Anderson and Bernard.

4. APPROVE MINUTES

4.01: Approve Meeting Minutes Dated November 13, 2017

Motion by Board Member Covart and seconded by Chairperson Stodola to approve the regular meeting minutes dated November 13, 2017.

Motion carried. Voting Yes: Chairperson Stodola, Board Member Covart, Hiatt, Trossen, and Valentine. Voting No: None. Absent: Board Members Anderson and Bernard.

5. POLICY BOARD BUSINESS

5.01: Consider Landscape Plan for Affinity at Ramsey (Project No. 17-142); Case of Inland Group

City Planner Anderson presented the staff report. He stated that the City has a purchase agreement in place to sell about four acres of land adjacent to Municipal Plaza for a proposed residential apartment building. He stated that the City has received an application for Sketch Plan review of a new, 175-unit apartment building at the southwest corner of Ramsey Parkway and Center Street and would serve the 55+ demographic. He reviewed details of the proposed Landscape Plan associated with the project.

Board Member Hiatt asked if there would be surface parking as well.

City Planner Anderson highlighted the areas of surface parking, noting that the remainder of the parking would be included as the first, partially underground, floor of the building. He stated that staff recommends approval of the Landscape Plan contingent upon the compliance with the Staff Review Letter. He provided additional details on the transition to the electronic permit submittal and review system the City is using. He noted that the new system will allow all departments to review and provide comments at the same time, rather than waiting for one department to make comments before passing the plans on to another department.

Board Member Hiatt asked if the City has developed its plan for the greenway area nearby this area.

City Planner Anderson stated that staff recently received authorization from the City Council to proceed with the schematic design for the park area within The COR.

Board Member Hiatt asked for timing details, specifically whether this project would be constructed near the same time as the park improvements.

City Planner Anderson stated that he was unsure of the timeframe for the construction and completion of the park improvements and at this time is only aware of the authorization to prepare the schematic designs for the park improvements.

Motion by Board Member Valentine and seconded by Board Member Hiatt to recommend approval of the Landscape Plan contingent upon compliance with the Staff Review Letter.

Motion carried. Voting Yes: Chairperson Stodola, Board Member Valentine, Hiatt, Covart, and Trossen. Voting No: None. Absent: Board Members Anderson and Bernard.

5.02: Review Landscape Plan for New Elementary School

City Planner Anderson presented the staff report. He stated that the new elementary school is proposed to be constructed on Nowthen Boulevard, directly east of 170th Avenue. He noted that this will be in addition to the existing Ramsey Elementary School. He stated that the project includes a 90,000-square foot building footprint, plus outdoor play spaces, parking and a bus corral. He noted that the intention is for the new school to be open for the 2019-2020 school year. He reviewed the details of the proposed plans. He stated that staff recommends approval of the Landscape Plan contingent upon compliance with the Staff Review Letter. He noted that the

School District would like to bid the project as early as March, should they gain all necessary approvals.

Motion by Board Member Valentine and seconded by Board Member Covart to recommend approval of the Landscape Plan contingent upon compliance with the Staff Review Letter.

Motion carried. Voting Yes: Chairperson Stodola, Board Member Valentine, Covart, Hiatt, and Trossen. Voting No: None. Absent: Board Members Anderson and Bernard.

5.03: Review Draft Natural Resources Chapter of Comprehensive Plan

City Planner Anderson presented the staff report. He explained that the purpose of the case is to review the draft Natural Resources Chapter of the Comprehensive Plan and provide initial feedback to staff. He noted that the draft chapter was reviewed by the Steering Committee on December 11th. He provided a summary of the draft Chapter and noted that this will not be the last time the Board reviews this chapter. He asked for input from the Board, should they feel that something is lacking from the draft chapter.

Chairperson Stodola stated that the initial topics seemed to align with the topics from the Board's Workplan.

City Planner Anderson acknowledged that the Comprehensive Plan is a ten-year planning document but noted that staff and the Steering Committee also attempted to incorporate the broad topics from the Board's Workplan into the draft chapter.

Board Member Hiatt stated that he was pleased to see a mention of GreenStep, as he believed that there had been opposition to the program in the past. He asked if there has been any thought to wind energy. He acknowledged that solar energy is more common but asked if there should be a mention of wind energy, should that technology become more available in the next ten years.

City Planner Anderson noted that wind energy has been addressed in the zoning code, but acknowledged that there have been some advancements in technology since the ordinance has been written. He noted that another statement could be added to address future technologies that may emerge during the next ten years.

Board Member Valentine mentioned a newspaper article that he read today regarding solar energy and the remarkable growth that technology has encountered.

Board Member Hiatt stated that there are some really good ideas included in the draft chapter, noting that he was pleased to see the use of incentives for water reuse.

Board Member Covart asked if there are other programs similar to GreenStep that could be explored.

City Planner Anderson stated that there could be similar initiative programs out there.

Board Member Covart stated that she was not familiar with GreenStep but thought that it could be interesting for the Board to look for similar programs.

City Planner Anderson provided background information on the GreenStep program, noting that it is a voluntary program without commitment. He stated that the more items you accomplish voluntarily, the more recognition you would receive. He stated that the intention of the Board was for the City to look at its own initiatives and see what the City could be doing as a leader. He noted that there was some opposition and provided reasoning that was given.

Chairperson Stodola agreed that the City did not need to join GreenStep in order to explore initiatives and review policies.

Board Member Hiatt stated that he viewed the program as a resource that staff could use to gather additional Best Management Practices and other shared data.

City Planner Anderson confirmed the consensus of the Board that they are comfortable with the direction of the draft chapter.

6. BOARD / STAFF INPUT

- **Meeting Dates for January and February (due to Martin Luther King Jr. Day and Presidents Day, these meetings need to be rescheduled)**

City Planner Anderson stated that the January and February meeting dates will need to be re-scheduled as they fall on dates that City Hall will be closed. He noted that he will send out a poll to determine the best date for those meetings.

Board Member Valentine asked if there will be a future meeting when presentations will be received from the Resilient Communities Program.

City Planner Anderson stated that Community Development is working to develop an open house style meeting with all of the student groups on an evening prior to the City Council meeting where the Mayor provides the State of the City speech. He noted that will give the students an opportunity to present their information to all Board/Commission/Council members that would be interested, rather than attempt to schedule multiple meetings. He noted that once the dates are confirmed, he will pass that information to the Board. He confirmed that he will send out an email to confirm dates for the January and February meetings.

- **Possible Metropolitan Council Water Study**

City Planner Anderson stated that there is an opportunity, through the Metropolitan Council, to participate in a study that would look at ground water supply and aggressive conservation strategies. He noted that he passed the information on to the Board through email earlier today. He asked if there would be any objection from the Board in the City offering to participate in the study. He noted that the City may not be selected but he wanted to discuss the opportunity with the Board. He noted that additional information could be brought to the Board at their January meeting.

Board Member Hiatt asked and received confirmation that this study would only look at City wells and would not monitor private wells. He stated that data can never hurt and can only help to inform and therefore would support this opportunity.

Chairperson Stodola stated that he would be excited to be a part of a scientific study that could help the City to collect data as well.

Board Member Valentine agreed that it would be helpful to broaden the base of information that is available to policy makers. He stated that his only concern is what will be done with the information as he would want to ensure that the information would lead to equitable treatment of communities within the Metropolitan Council area. He used the example of Ramsey being stringent with their water use while perhaps a neighboring community does not follow that path and still obtains a cost savings in their water costs because of Ramsey's efforts. He stated that he would want to ensure that whatever is done following this study is applied to all communities in the Metropolitan Council's reach and not only to the cities that participate in the study.

Board Member Trossen asked if any neighboring communities are also on the list.

Board Member Covart noted that Andover was listed as the first community on the list and advised that Maple Grove and Brooklyn Park are also included on the list. She referenced a table that was included that listed communities that buy water from other communities. She asked the purpose of that table and specifically if that would mean that Ramsey could sell water to other communities, should the City manage their water well.

City Planner Anderson stated that he was unsure of the reason for including that table. He provided additional details on an upcoming meeting between the Ramsey City Engineer and a representative from the Metropolitan Council regarding possible surface water treatment options.

City Planner Anderson confirmed the consensus that the Board is open to participating in the study with the Metropolitan Council, should Ramsey be chosen, with the noted concern about equitable application of the results across the region.

7. ADJOURNMENT

Motion by Board Member Valentine and seconded by Chairperson Stodola to adjourn the meeting.

The meeting adjourned at 7:40 p.m.

Respectfully submitted,

Chris Anderson
City Planner

ATTEST:

JoAnn Shaw
Community Development Secretary

Drafted by Amanda Staple
TimeSaver Off Site Secretarial, Inc.

Environmental Policy Board (EPB)

5. 1.

Meeting Date: 01/22/2018

By: Chris Anderson, Community
Development

Information

Title:

Consider Landscape and Tree Preservation Plans for Rum River Prairie; Case of Rum River Prairie LLC

Purpose/Background:

The City has received an application for a Preliminary Plat and Variance for a proposed subdivision known as Rum River Prairie. The property is located both north and south of Armstrong Blvd west of Tiger St (the "Subject Property"). The Subject Property consists of about eighty (80) acres and is located within the R-1 Residential (Rural Developing) District. The EPB reviewed the Sketch Plan for this project at their October, 2017 meeting.

Observations/Alternatives:

The Preliminary Plat consists of twenty-five (25) single family residential lots. All lots are at least 2.5 acres with the exception of Lot 1, Block 4 (southwest corner of Armstrong Blvd and Tiger St), which is 1.37 acres in size. The Applicant has requested a variance to the minimum lot size to allow this to be a buildable lot. Since this land is already separated from the remainder of the Subject Property by Tiger Street and Armstrong Blvd, the request seems reasonable and, as part of Sketch Plan review by the Planning Commission, seemed to be generally supported by that Commission too.

Based on the Minnesota Land Cover Classification System (MLCCS), the Subject Property consists almost entirely of dry grassland cover type with a very small portion shown as wetland prairie. Per the City's Natural Resources Inventory (NRI), the majority of the Subject Property was classified as an Altered/Non-Native Plant Community (per MLCCS, this is considered a semi-natural community that does not qualify for natural quality ranking), with the very northern portion being classified as Native Species Present in an Altered/Non-Native Plant Community (implies that there were native species present but within a non-native plant community). The National Wetland Inventory (NWI) does identify two small 'pocket' wetlands within the Subject Property. There are no floodplain areas within the Subject Property.

The Tree Preservation Plan indicates that roughly twenty percent (20%) of the Significant Tree DBH inches would be removed as a result of the project. City Code requires that no more than sixty percent (60%) of the Significant Tree DBH inches be removed and thus, the project would be in full compliance with the preservation standards.

The Landscape Plan also appears to be in compliance with City Code. Each lot is shown as receiving two (2) new trees and the species proposed are acceptable and include both deciduous and evergreen trees. Staff has added an advisory comment to the Staff Review Letter stating that it may be warranted to consider additional landscaping in the rear yards of the lots adjacent to Armstrong Blvd to help mitigate potential noise from traffic. This could be in the form of a berm with plantings. This is not required by City Code, which is why this is only an advisory comment.

Staff would recommend approval of the Landscape and Tree Preservation Plans contingent upon compliance with the Staff Review Letter.

Funding Source:

All costs associated with this request are the responsibility of the Applicant.

Action:

Motion to recommend approval of the Landscape and Tree Preservation Plans.

Attachments

Site Location Map

Plan Set

Staff Review Letter

EPB Sketch Plan Minutes Dated October 16, 2017

Form Review

Inbox

Tim Gladhill

Form Started By: Chris Anderson

Final Approval Date: 01/18/2018

Reviewed By

Tim Gladhill

Date

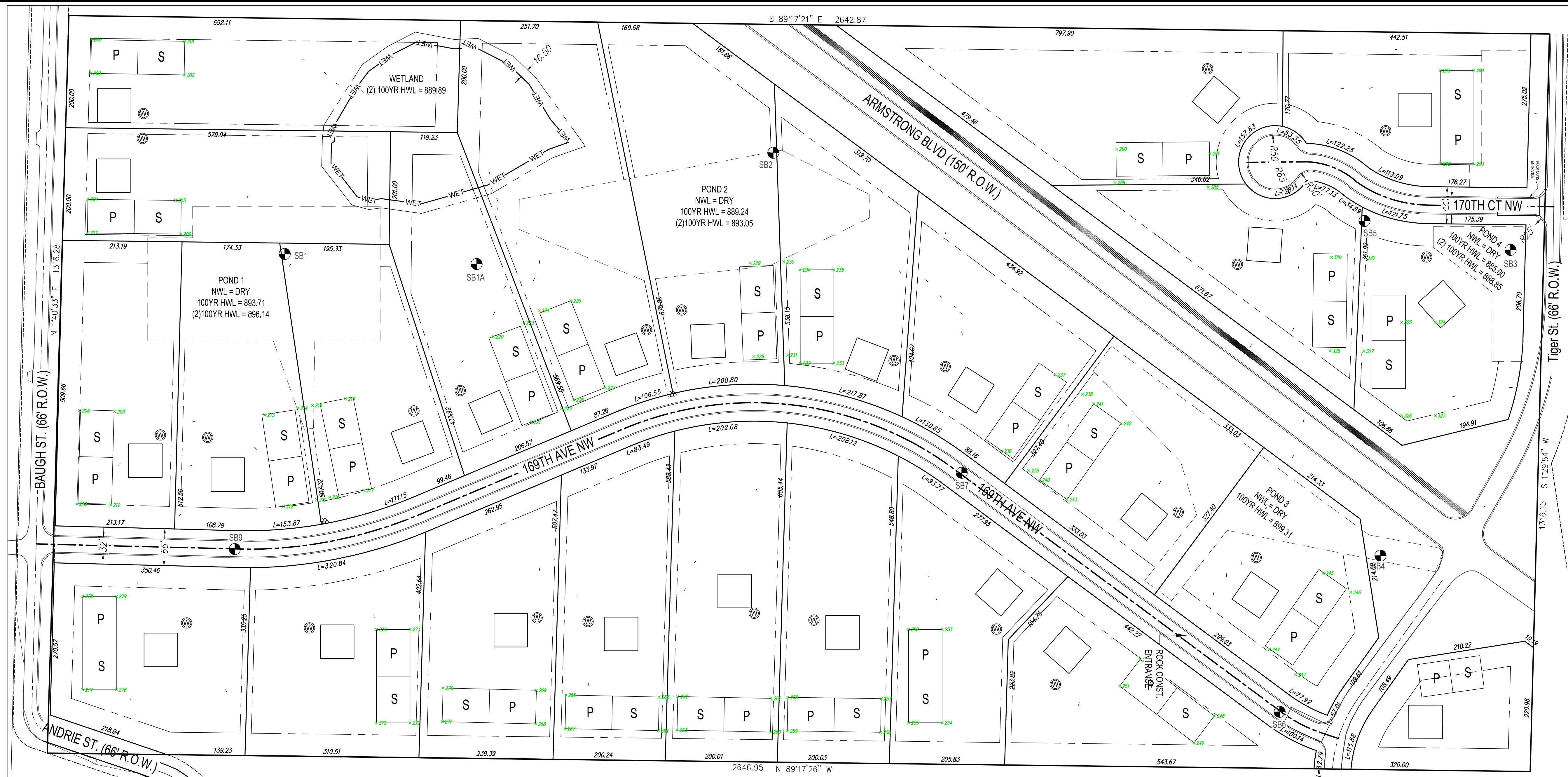
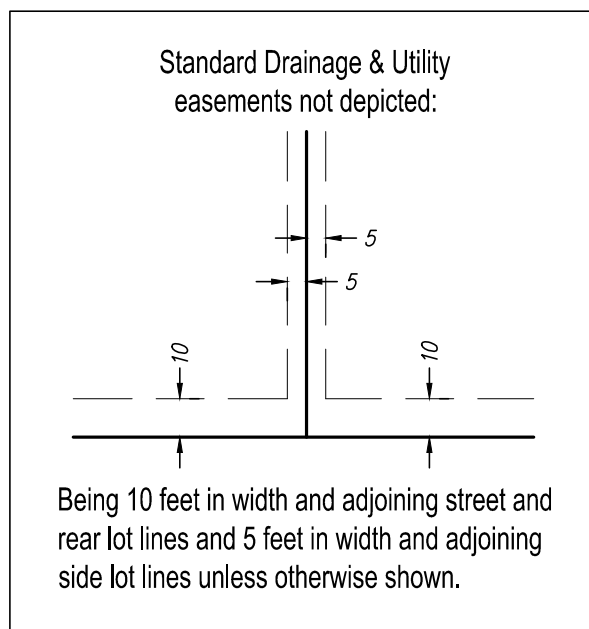
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PLOT DATE: 12/29/2017 10:45:30 AM FILE: C:\Users\bjh\min\Desktop\170163 Eric Thompsen Armstrong Blvd\600 Drawings\Survey\170163 preliminary plot 12-21-17.dwg

OWNER/DEVELOPER
RUM RIVER PRAIRIE, LLC.
ERIC THOMSEN
6210 GREEN VALLEY RD.
RAMSEY, MN 55303

STREET LENGTHS
169TH AVE NW - 2,549'
170TH CT NW - 615'



LINE TYPE & SYMBOL LEGEND

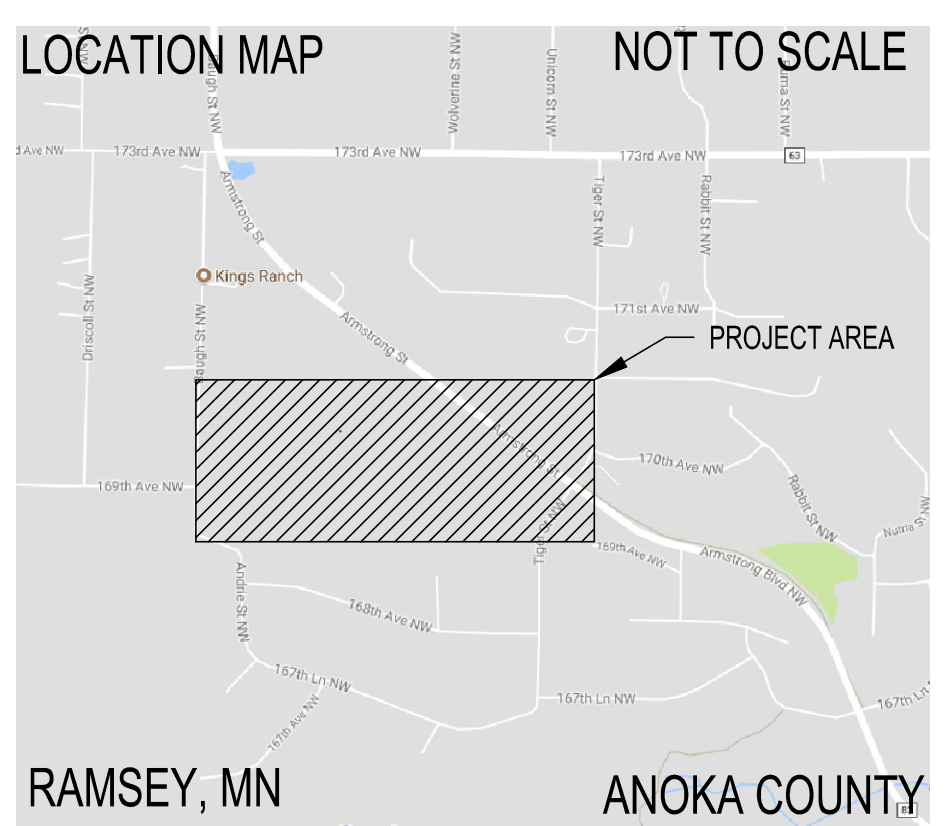
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	FLARED END SECTION
	CULVERT
	PROPOSED WELL LOC.
	SOIL BORING LOC. W/ NUMBER
	EXISTING TREE (PRESERVE)
	EXISTING TREE (REMOVE)
	DRAINAGE FLOW ARROW
	PLAT BOUNDARY
	LOT LINE
	RW
	SETBACK
	WETLAND EDGE
	PROPOSED CONTOUR
	EXISTING CONTOUR
	EASEMENT
	SILT FENCE
	TREE FENCE
	EDGE OF BIT. CENTERLINE
	FUTURE BIT. TRAIL

BUILDING PAD LEGEND

909.0	GARAGE FLOOR ELEVATION
FWO/MWO/SWO	TYPE OF BUILDING
FLO/MLO/F	LOWEST FLOOR ELEVATION
901.0	LOWEST OPENING ELEVATION

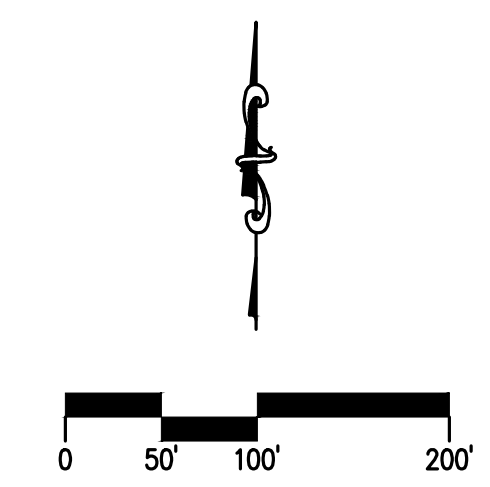
BUILDING PAD LEGEND

F	FULL BASEMENT
FWO	FULL BASEMENT WALKOUT
MWO	MODIFIED (NON STANDARD) WALKOUT BASEMENT
SWO	SPLIT ENTRY WALKOUT BASEMENT (6 COURSE)
FLO	FULL BASEMENT LOOKOUT ON COURSE 5
MLO	MODIFIED (NON STANDARD) LOOKOUT BASEMENT
	VARIABLE 5-12 COURSE BASEMENT



SHEET INDEX

- CO COVER SHEET
- STORM SEWER AND STREET CONSTRUCTION
- C1 ROAD PLAN & PROFILE (169TH AVE NW WEST END)
- C2 ROAD PLAN & PROFILE (169TH AVE NW EAST END)
- C3 ROAD PLAN & PROFILE (170TH CT NW)
- EROSION CONTROL, LANDSCAPING, AND DETAILS
- G1 SITE GRADING PLAN (WEST)
- G2 SITE GRADING PLAN (CENTER)
- G3 SITE GRADING PLAN (EAST)
- L1 TREE PLANTING PLAN
- T1 EXISTING TREE PLAN
- T2 SAVED TREES
- T3 REMOVED TREES
- D1 DETAILS
- SW1 STORMWATER POLLUTION PREVENTION PLAN
- SW2 STORMWATER POLLUTION PREVENTION PLAN



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 NAME: _____ LIC. NO. _____ DATE 00-00-2018

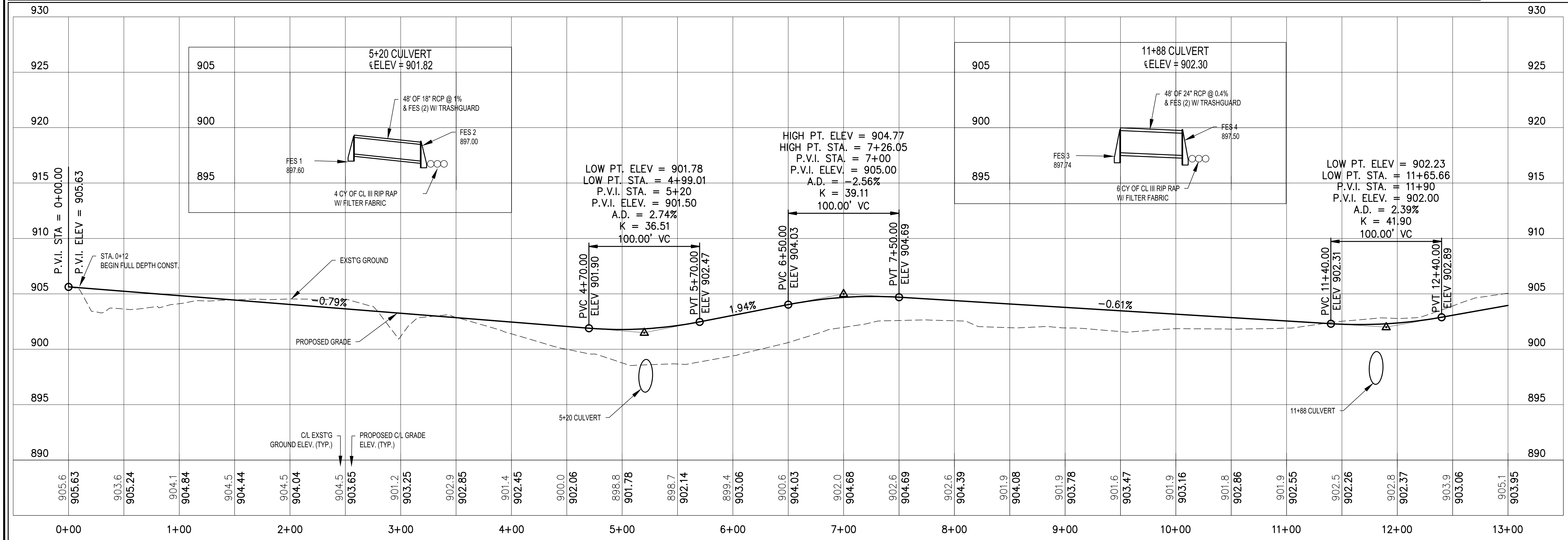
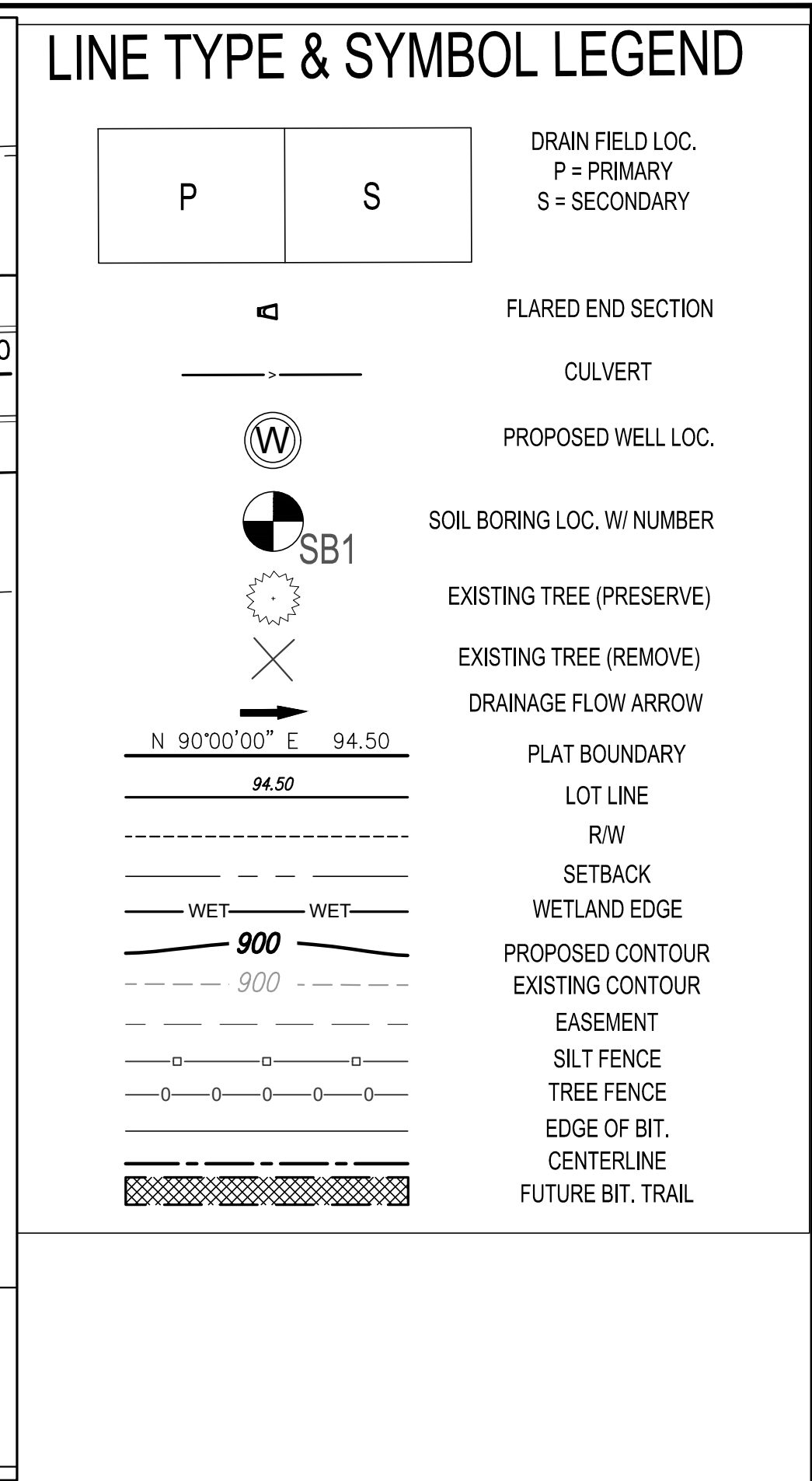
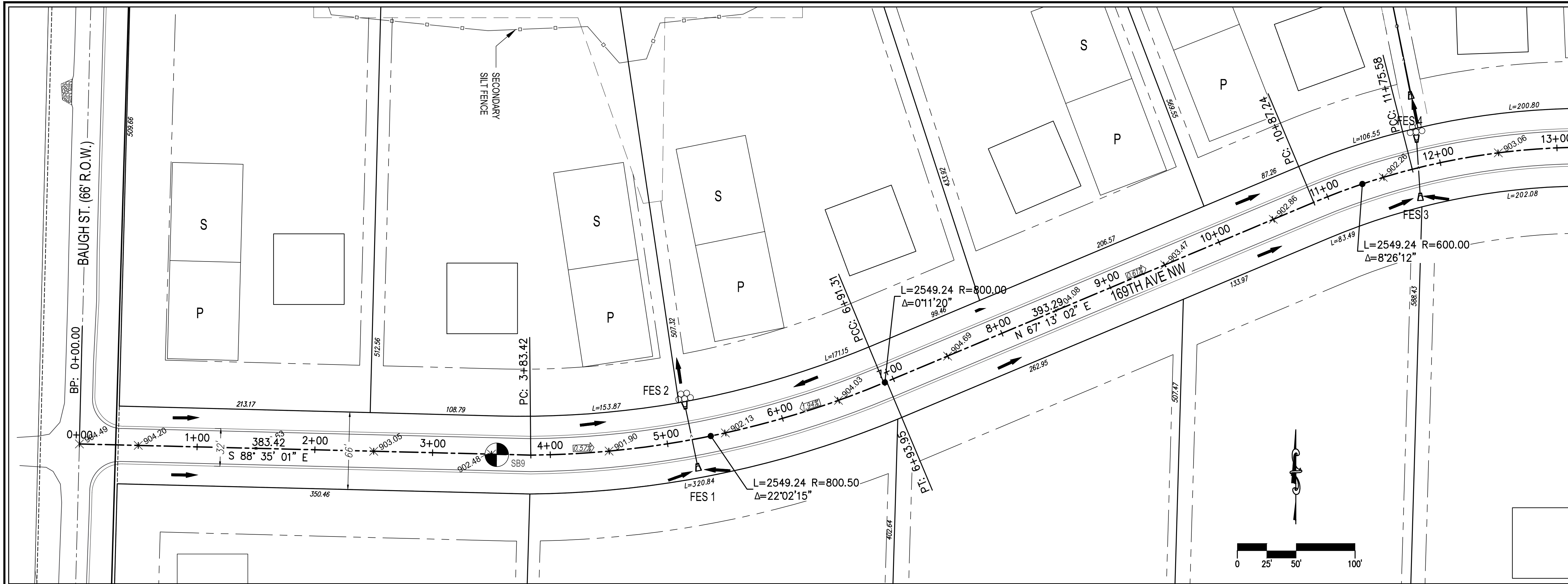
DESIGNED: BJH
 DRAWN: BJH
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RUM RIVER PRAIRIE DEVELOPMENT

COVER SHEET
SHEET C0

PLOT DATE: 12/29/2017 10:47:04 AM FILE: C:\Users\bjh\min\Desktop\170163 Eric Thompsons Armstrong Blvd\600 Drawings\Survey\170163 preliminary plot 12-21-17.dwg



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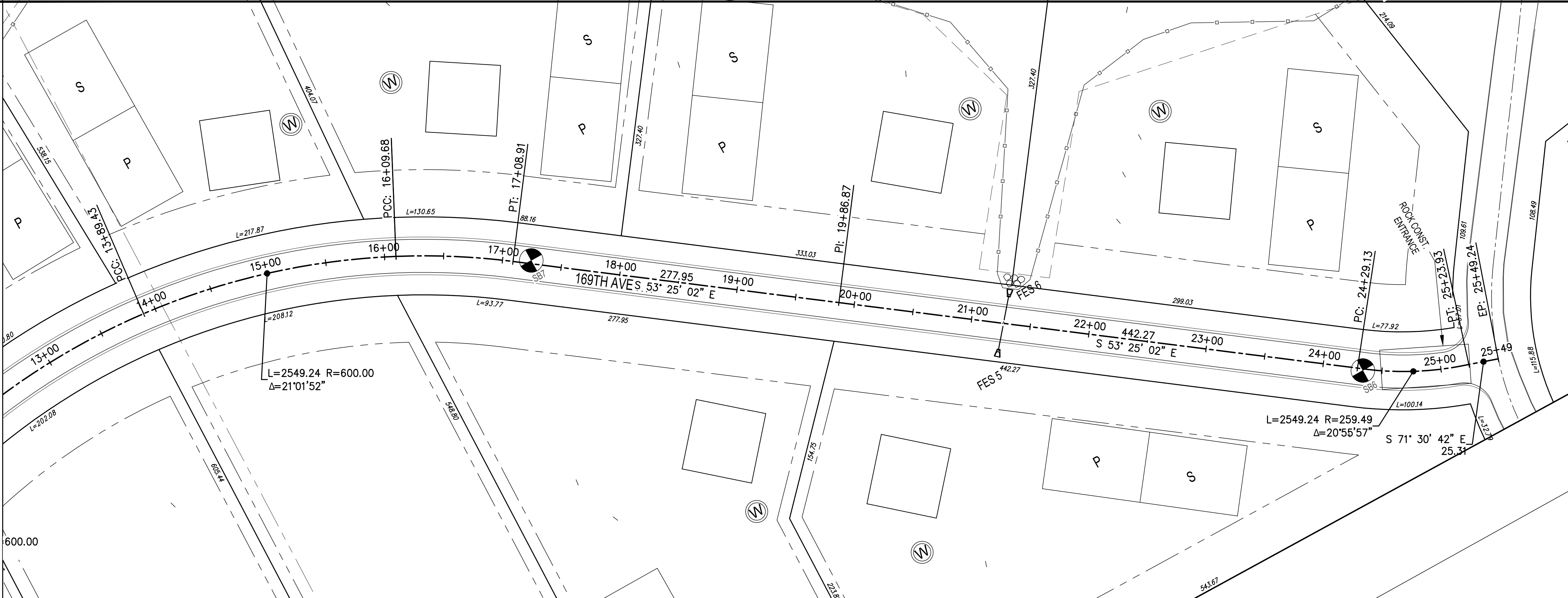
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RUM RIVER PRAIRIE DEVELOPMENT

ROAD PLAN & PROFILE

SHEET C1

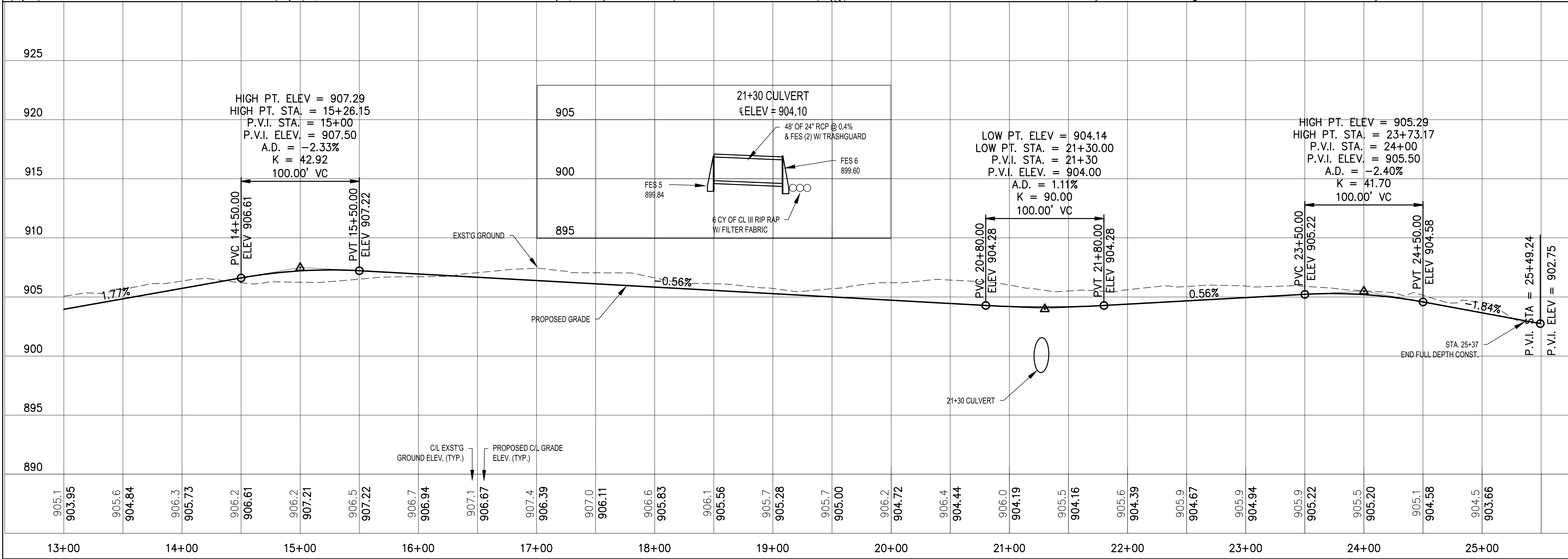
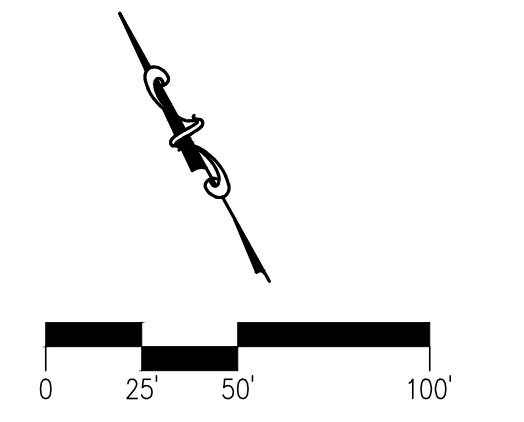
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LINE TYPE & SYMBOL LEGEND

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▲		FLARED END SECTION
— —		CULVERT
⊙		PROPOSED WELL LOC.
⊙	SB1	SOIL BORING LOC. W/NUMBER
⊙		EXISTING TREE (PRESERVE)
⊙		EXISTING TREE (REMOVE)
→		DRAINAGE FLOW ARROW
—		PLAT BOUNDARY
—		LOT LINE
—		R/W
—		SETBACK
—		WETLAND EDGE
—		PROPOSED CONTOUR
—		EXISTING CONTOUR
—		EASEMENT
—		SILT FENCE
—		TREE FENCE
—		EDGE OF BIT.
—		CENTERLINE
—		FUTURE BIT. TRAIL

N 90°00'00" E 94.50
94.50
WET WET
900 900



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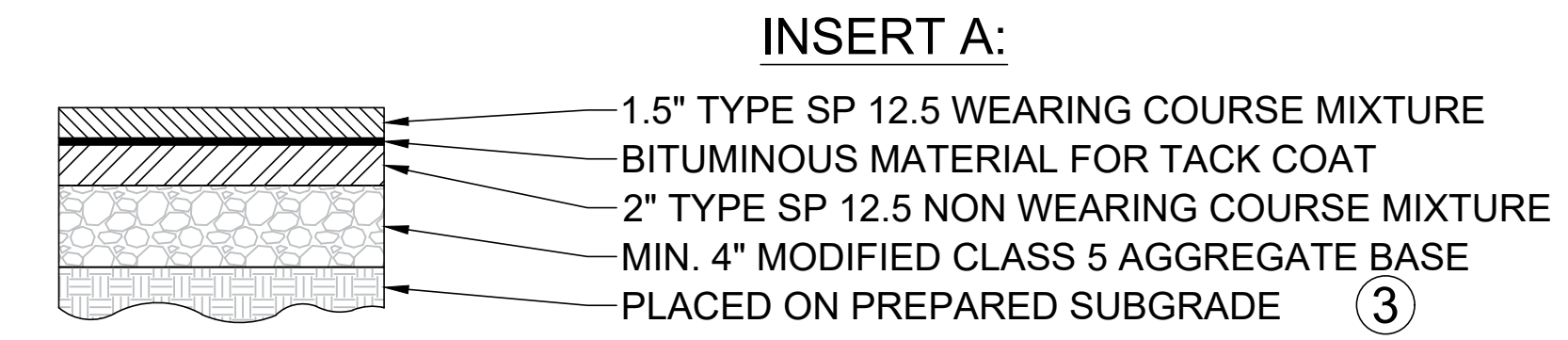
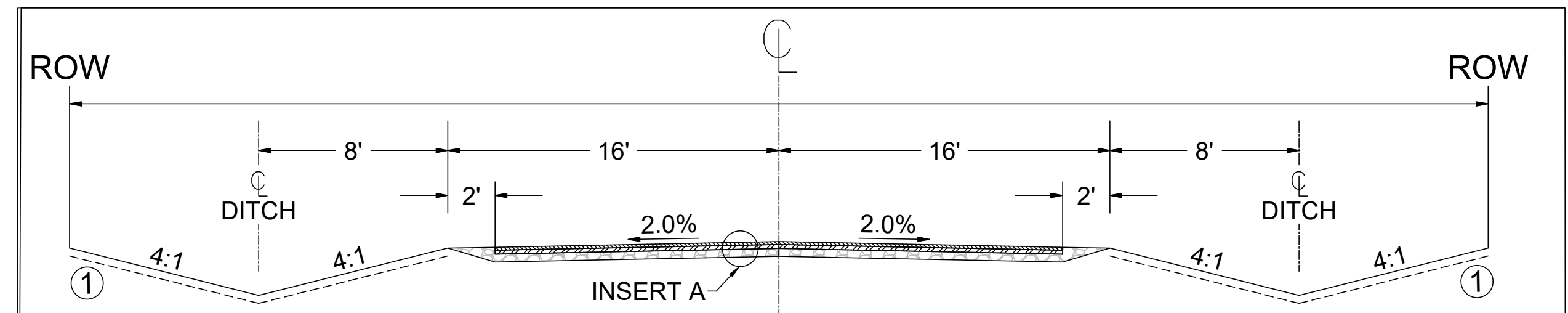
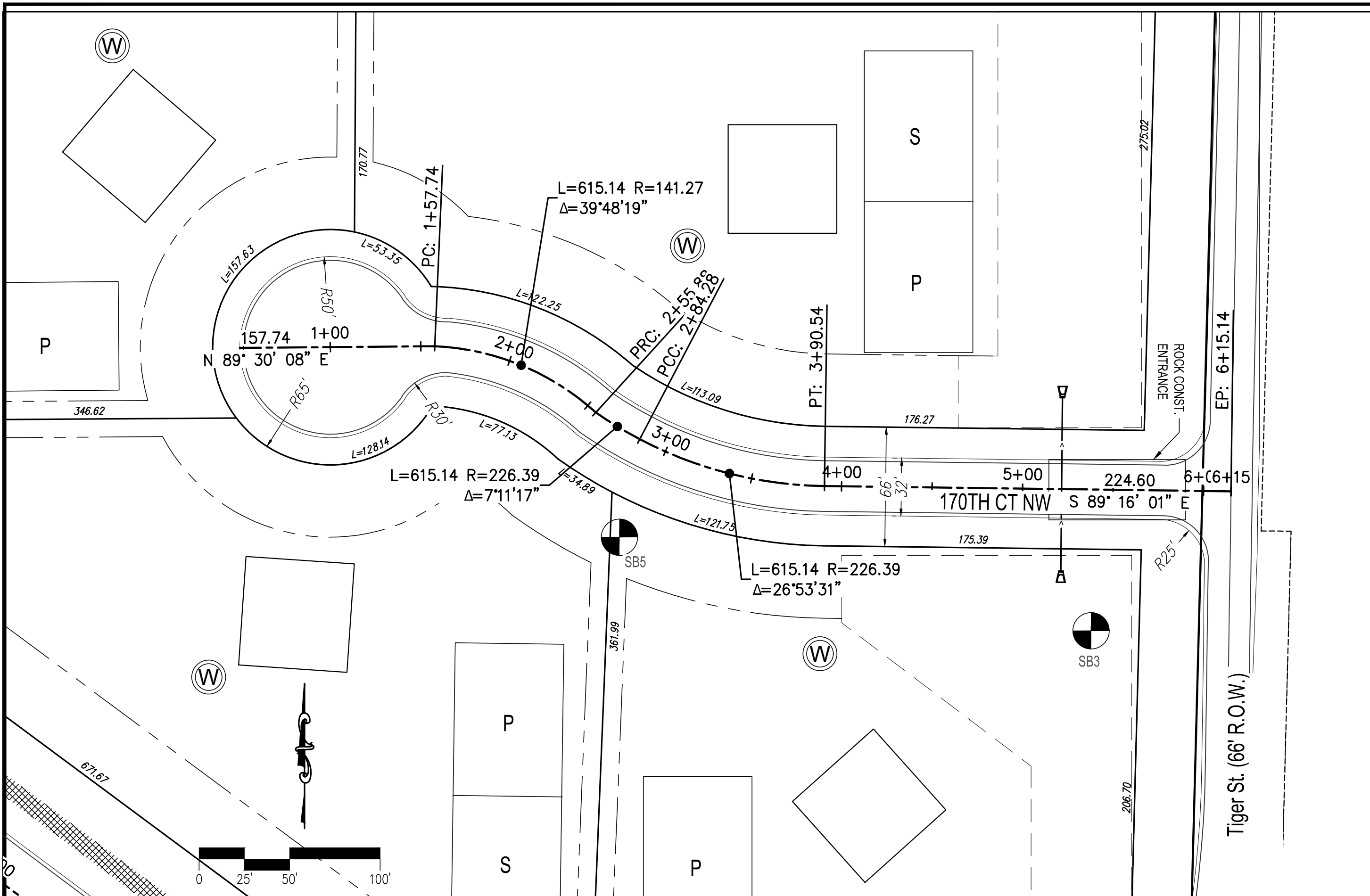
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RUM RIVER PRAIRIE DEVELOPMENT

ROAD PLAN & PROFILE
SHEET C2

PLOT DATE: 12/29/2017 10:49:01 AM FILE: C:\Users\jrunin\Desktop\170163 Eric Thompsons Armstrong Blvd\600 Drawings\Survey\170163 preliminary plat 12-21-17.dwg

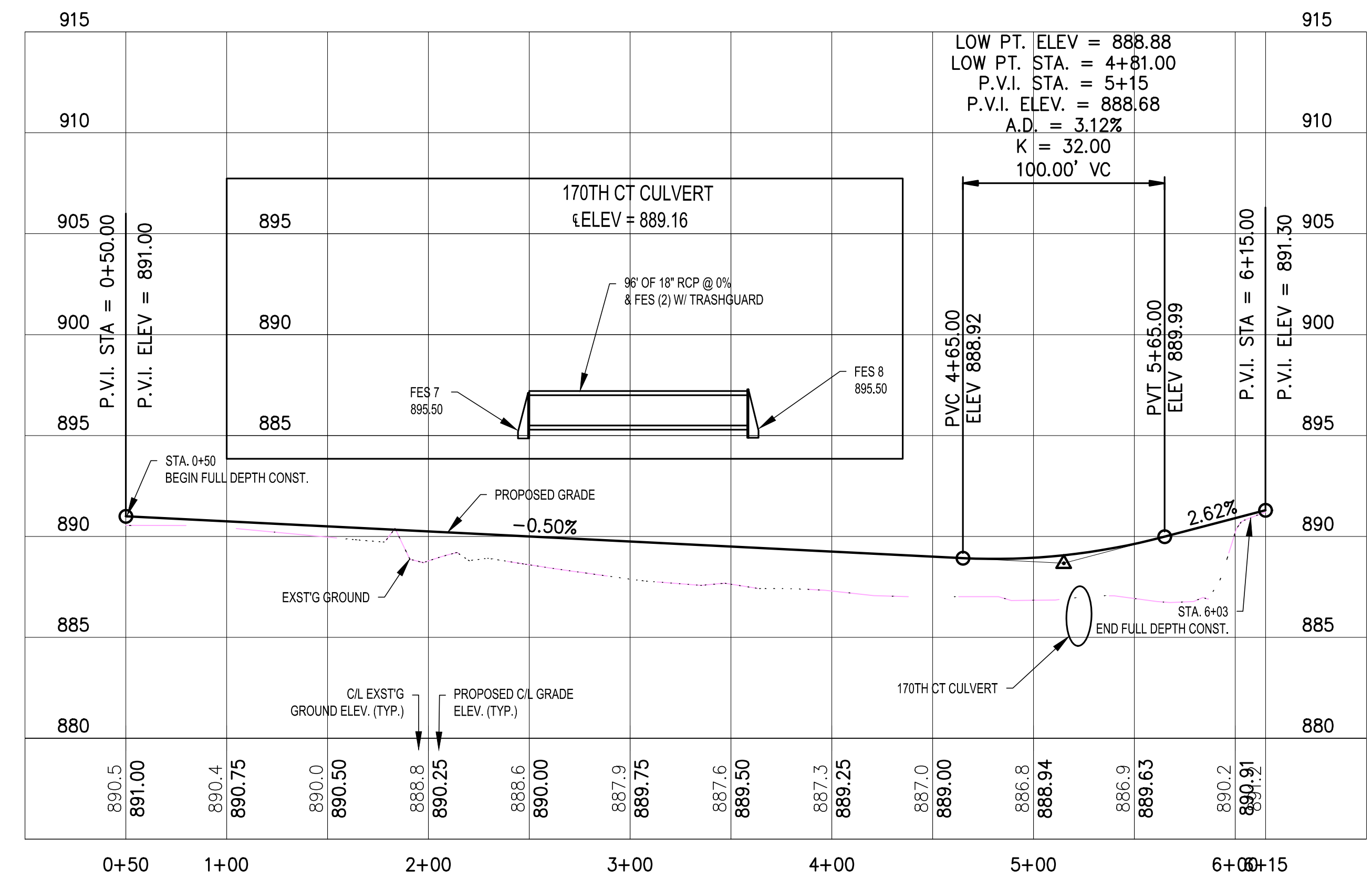


- REFERENCE NOTES:**
- ① GRADE TO MATCH EXISTING SURFACE MINIMUM 4" COMMON TOPSOIL BORROW, SEED AND MULCH IN ALL DISTURBED AREAS. SEE CITY PLATE No. ERO-6
 - ② CLASS 5 GRADATION IS MODIFIED PER CITY PLATE No. STR-26
 - ③ CONTRACTOR SHALL SCARIFY AND COMPACT, ACCORDING TO THE SPECIFIED DENSITY METHOD, THE TOP 12 INCHES OF MATERIAL PRIOR TO PLACING ANY FILL MATERIALS OR CLASS 5 AGGREGATE BASE.

APPROVED: 4 - 2016	CITY PLATE No. STR-6	STANDARD DETAILS: 28' - RURAL STREET
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LINE TYPE & SYMBOL LEGEND

P	S	DRAIN FIELD LOC. P = PRIMARY S = SECONDARY
▲		FLARED END SECTION
—		CULVERT
⊙		PROPOSED WELL LOC.
⊙ SB1		SOIL BORING LOC. W/ NUMBER
⊙		EXISTING TREE (PRESERVE)
⊙		EXISTING TREE (REMOVE)
→		DRAINAGE FLOW ARROW
—		PLAT BOUNDARY
—		LOT LINE
---		R/W
---		SETBACK
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---		SILT FENCE
---		TREE FENCE
---		EDGE OF BIT.
---		CENTERLINE
---		FUTURE BIT. TRAIL



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DESIGNED: BJH
 DRAWN: BJH
 CHECKED: _____

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RUM RIVER PRAIRIE DEVELOPMENT

PLOT DATE: 12/29/2017 10:55:50 AM FILE: C:\Users\bjh\OneDrive\Desktop\170163 Eric Thompsons Armstrong Blvd\600 Drawings\Survey\170163 preliminary plot 12-21-17.dwg

THE PLANTING DEPTH OF EACH TREE WILL BE INSPECTED. ANY TREE PLANTED TOO DEEPLY OR WITH 1ST PRIMARY ROOTS BURIED WILL BE REJECTED.

1. ALL TREES TO BE PREMIUM QUALITY, NO "PARK GRADE" TREES ARE PERMITTED.
2. AFTER INSTALLATION, TRIM OUT DEADWOOD AND/OR DEFORMED TWIGGS. DO NOT CUT LEADER.
3. AMENDED SOIL SHALL CONTAIN 5% ORGANIC MATTER BY VOLUME.
4. DIAMETER OF HOLE SHALL BE 1'-2" LARGER THAN THE DIAMETER OF THE ROOTBALL OR ROOT MASS.
5. ORGANIC MATTER SHALL NOT BE BANKED AGAINST THE STEM OR TRUNK OF THE TREE.
6. TREE SHALL NOT BE STAKED UNLESS IT IS ABSOLUTELY NECESSARY TO DO SO.
7. ALL TWIGG BANS, AND WIRES SHALL BE REMOVED FROM THE TREE IMMEDIATELY AFTER PLANTING.
8. THE TREE SHALL BE WATERED AS NECESSARY TO PREVENT WILTING AND PROMOTE GROWTH.
9. A PHOTO DEGRADABLE TREE TUBE OR EQUIVALENT SHALL BE INSTALLED AROUND ALL NEWLY PLANTED TREES.
10. PULL BURLAP AWAY FROM TREE STEM.
11. STAKES AND GUY WIRES MANDATORY ONLY FOR BAB TREES WITH 4" CALIBER OR GREATER, ALL WIND PRONE SITES AND ALL BARE ROOT TREES.
12. COORDINATE STAKING TO INSURE UNIFORM ORIENTATION OF GUY WIRES AND STAKES, IF NECESSARY.
13. REMOVE SOIL FROM TOP OF ROOT BALL TO EXPOSE TOP OF 1ST SET OF PRIMARY ROOTS. 1ST SET OF PRIMARY ROOTS ARE AT FINISHED GRADE.
14. AFTER SETTING ROOT BALL IN PIT, BACKFILL TO WITHIN 12" OF TOP OF ROOT BALL, AND WATER IN. CUT AND REMOVE TO BACKFILL LINE ALL TWINE AND/OR BURLAP. BACK FILL UNTIL PIT IS FULL, WATER AGAIN. FULL EXCESSIVE SOIL OFF THE TOP OF BRANCH ROOT SYSTEM. IF SOIL IN ROOT BALL IS THE CONSISTENCY OF CATMAY, DUE TO EXCESSIVE HANDLING, CONTRACTOR SHALL STAKE THE TREE.
15. SHREDDED HARDWOOD MULCH - 1"-4" DEPTH, 5" DIAMETER. PULL AWAY FROM TRUNK OF TREE.
16. BACKFILL WITH 1/2 NATIVE SOILS AND 1/2 PLANTING SOIL. MIX THOROUGHLY. SEE SPEC.
17. GUY ASSEMBLY: 16" POLYPROPYLENE OR POLYETHYLENE (40 MIL) 1 1/2" WIDE STRIP - (TYP) DOUBLE STRAND 14 GA WIRE & 3 STEEL STAKES OR SIGN POSTS @ 120 DEGREE O.C.
18. GUY ASSEMBLY OPTIONAL BUT CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR MAINTAINING TREE IN A PLUMB POSITION FOR THE DURATION OF THE GUARANTEE PERIOD.

PHOTO DEGRADABLE TREE TUBE STURDY STAKE

UNDISTURBED SOIL OR COMPACTED SUBGRADE

SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING

SEE NOTES: 6,11,12,14,17,18

APPROVED: 5 - 1997

STANDARD DETAILS: TREE PLANTING

CITY PLATE No. PARK-2

UPHILL

DOWNHILL

FILTER FABRIC

POST

IMBED 6"

FABRIC ANCHORAGE TRENCH BACKFILL WITH TAMPED NATURAL SOIL

MINIMUM TRENCH 6" wide by 6" deep

INSTALL AS PER FILTER FABRIC MANUFACTURER'S RECOMMENDATIONS

SILT FENCE DETAIL

NO SCALE

APPROVED: 1 - 2016

STANDARD DETAILS: SILT FENCE

CITY PLATE No. ERO-1

ON SLOPES 4:1 OR GREATER, ANCHOR OR STRAIGHT DISKED STRAW MULCH, SEEDING NETTING, FABRIC, OR MATTING SUCH AS EXCELSIOR SHALL BE USED TO STABILIZE DISTURBED SOILS. THESE EXPOSED SOILS MUST BE STABILIZED IMMEDIATELY AFTER GRADING OF SOIL IS COMPLETE.

EROSION CONTROL FABRIC/MATTING/MULCH

RIPRAP

SILT FENCE

CLASS 3 RIPRAP REQUIREMENTS /DIAMETER OF PIPE

12" TO 24" 4 CUBIC YARDS

27" TO 33" 8 CUBIC YARDS

36" TO 48" 12 CUBIC YARDS

54" AND UP 16 CUBIC YARDS (ONE CUBIC YARD IS APPROX. 2,800 LBS.)

A SKIRTING OF EROSION CONTROL FABRIC OR MULCH MUST BE USED TO PROTECT OUTLETS AS ILLUSTRATED REGARDLESS OF SLOPE

SECTION A-A

SECTION B-B

RIP-RAP AT R.C.P. OUTLET

NO SCALE

APPROVED: 1 - 2016

STANDARD DETAILS: RIP-RAP

CITY PLATE No. ERO-3

NOTE: GUARDS MUST BE INCORPORATED ON ALL INSTALLATIONS EXCEPT WHERE SPECIFICALLY ALLOWED OTHERWISE BY THE CITY ENGINEER.

IMPORTANT

HINGED CONNECTIONS (TO BE FREE OF RIP RAP AND BACKFILL)

6" MAX.

ALL GUARDS TO HAVE (1) CROSS BAR - 60" AND UP TO HAVE (2) EQUALLY SPACED

PIPE SIZE	BOLT DIA.	BAR SIZE
12"-24"	5/8"	5/8"
27"-48"	3/4"	3/4"
54"-90"	1"	1"
22"-29"	5/8"	5/8"
36"-59"	3/4"	3/4"
65"-88"	1"	1"

NOTE: COATINGS ARE AS SPECIFIED ELSEWHERE

IMPORTANT

BOLT LOCATIONS

APPROVED: 2 - 2006

STANDARD DETAILS: TRASH GUARD

CITY PLATE No. STO-8

HWYS SURFACE

PUBLIC ROAD

GEOTEXTILE FABRIC

RIPRAP

MINIMUM 6" DEPTH 1"-2" WASHED ROCK

ENTRANCE WIDTH AS REQUIRED

MINIMUM - 50'

NOTE:

1. MINIMUM CONSTRUCTION ENTRANCE WIDTH EQUAL TO PROPOSED ROADWAY WIDTH.
2. WIDTH OF RADIUS AS REQUIRED TO ENSURE VEHICLES DO NOT TRACK ONTO PUBLIC ROAD.
3. MAINTENANCE AS REQUIRED TO PREVENT TRACKING ONTO PUBLIC ROADS. THIS MAY REQUIRE TOP DRESSING WITH ADDITIONAL ROCK OR REMOVAL AND REINSTALLATION OF THE ENTRANCE AS NEEDED.

NOT TO SCALE

APPROVED: 1 - 2016

STANDARD DETAILS: ROCK CONSTRUCTION ENTRANCE

CITY PLATE No. ERO-5

TABLE A

MODIFIED CLASS 5 SPECIFICATIONS

% PASSING

1"	100
3/4"	90 - 100
3/8"	50 - 80
No.4	35 - 70
No.10	20 - 60
No.40	10 - 35
No.200	5 - 10

NOTES:

1. THE AGGREGATE BASE CONSTRUCTION WILL BE ACCEPTED FOR PAYMENT IN ACCORDANCE WITH THE PROVISIONS IN TABLE A.
2. IF THE AGGREGATE BASE FAILS TO MEET THE REQUIREMENTS OF TABLE A THE MATERIAL CAN BE CORRECTED IN PLACE OR REMOVED AND REPLACED WITH MATERIAL THAT MEET THE REQUIREMENTS OF TABLE A.
3. IN THE EVENT THAT RECYCLED MATERIAL IS USE IT MUST MEET MNDOT REQUIREMENTS FOR RECYCLED BASE.

APPROVED: 2 - 2003

STANDARD DETAILS: MODIFIED CLASS 5 SPECIFICATIONS

CITY PLATE No. STR-26

MNDOT 2016 SPEC

MNDOT 2016 SPEC TABLE 3877-1 COMMON TOPSOIL BORROW

REQUIREMENT	RANGE	TEST METHOD
MATERIAL PASSING THE 3/4 IN [19MM]	100%	ASTM D 422
MATERIAL PASSING NO. 4 [4.75MM]	>85%	-
CLAY	5% - 35%	ASTM D 422
SILT	5% - 70%	ASTM D 422
SAND	10% - 75%	ASTM D 422
ORGANIC MATTER	3% - 15%	ASTM D 2974
pH	6.1-7.8	ASTM G 51

NOTE:

1. INSTALLATION OF 4" OF TOPSOIL MEETING MNDOT SPECIFICATION 3877A COMMON TOPSOIL BORROW, MAY BE REQUIRED ACROSS ALL DISTURBED AREAS.
2. A SOIL CERTIFICATION FROM A GEOTECHNICAL FIRM MUST BE PROVIDED VERIFYING THE TOPSOIL MEETS SPECIFICATION ALONG WITH LOAD TICKETS TO VERIFY THE SOURCE OF MATERIAL AND QUANTITY.
3. TOPSOIL MUST COME FROM A CITY APPROVED SOURCE.

APPROVED: 1 - 2016

CITY PLATE No. ERO-6

STANDARD DETAILS: TOPSOIL REQUIREMENTS

TYPICAL SECTION

DITCH SECTION

NOTES:

1. SEE CITY PLATE STR-26
2. SEE CITY PLATE ERO-6
3. APPROVED TOPSOIL MUST MEET ORGANIC CONTENT SPECIFICATIONS FOR ENTIRE BOULEVARD IN AREAS INCLUDING BOULEVARD TREES.

NOTE: NOT TO SCALE

APPROVED: 1 - 2016

CITY PLATE No. PARK-1

STANDARD DETAILS: BITUMINOUS TRAIL

EDGE OF PAVEMENT

TRUNCATED DOME PANELS

4" THICK CONCRETE WALK TO EDGE OF PAVEMENT

TRUNCATED DOME 2"X2" PANEL

4" THICK CONCRETE WALK

NOTE:

1. SAWCUT BIT FULL DEPTH / REMOVE BIT.
2. PLACE 6" THICK CONCRETE FOR TRUNCATED DOMES UP TO EDGE OF PAVEMENT.
3. MEDIUM BROOM FINISH ON CONCRETE.
4. MAINTAIN 3" FROM EDGE OF TRUNCATED DOMES AND CONCRETE EDGE.
5. IT MAY BE NECESSARY TO TRIM TRUNCATED DOME PANELS.

NOTE: NOT TO SCALE

APPROVED: 7 - 2015

STANDARD DETAILS: TRUNCATED DOME PLACEMENT - BITUMINOUS TRAIL NO CURB

CITY PLATE No. STR-28

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NAME: _____ LIC. NO. ____ DATE 00-00-2018

DESIGNED: BJH

DRAWN: BJH

CHECKED: ..

PERFORMANCE DRIVEN DESIGN

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RUM RIVER PRAIRIE DEVELOPMENT

DETAILS

SHEET D1

LINE TYPE & SYMBOL LEGEND

P	S	DRAIN FIELD LOC. P = PRIMARY S = SECONDARY
A		FLARED END SECTION
		CULVERT
		PROPOSED WELL LOC.
		SOIL BORING LOC. W/ NUMBER
		EXISTING TREE (PRESERVE)
		EXISTING TREE (REMOVE)
		DRAINAGE FLOW ARROW
		PLAT BOUNDARY
		LOT LINE
		R/W
		SETBACK
		WETLAND EDGE
		PROPOSED CONTOUR
		EXISTING CONTOUR
		EASEMENT
		SILT FENCE
		TREE FENCE
		EDGE OF BIT.
		CENTERLINE
		FUTURE BIT. TRAIL

POND NOTES
INFILTRATION PONDS SHALL BE EXCAVATED BY USE OF BACKHOE WITH A TOOTHED BUCKET.

BOTTOM OF PONDS SHALL NOT BE COMPACTED.

NO TOPSOIL TO BE PLACED IN PONDS.

PONDS TO BE SEEDED WITH MnDOT SEED MIX 33-262 (44 lb/ac).

PLACE SILT FENCE (SECONDARY) IMMEDIATELY AFTER GRADING COMPLETION. THIS FENCING TO REMAIN IN PLACE UNTIL VEGETATION IS ESTABLISHED IN THE PONDS.

ACCESS TO PONDS SHALL BE MAINTAINED VIA EASEMENTS.

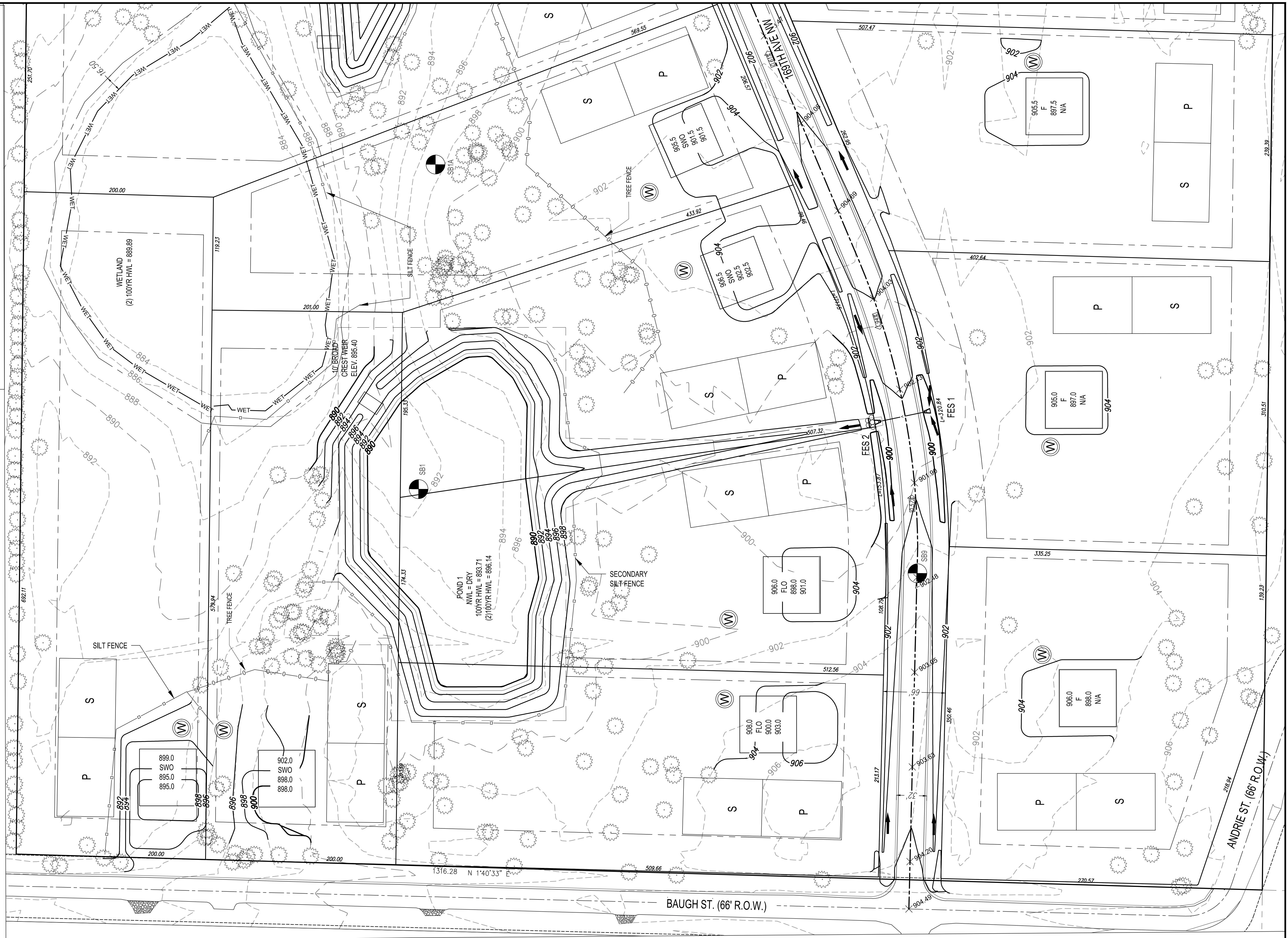
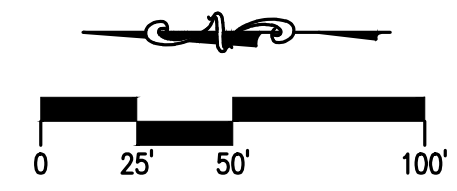
NOTE: STREETS TO BE SWEEPED DAILY OR AS DIRECTED BY THE CITY ENGINEER.

NOTE: NO ACTIVITY, OTHER THAN POND CONSTRUCTION, SHALL BE ALLOWED IN THE INFILTRATION POND AREAS.

NOTE: TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITY BY MEANS OF FENCING OR OTHER APPROVED METHOD. TREE FENCING TO BE PLACED BY HAND AND PRIOR TO SILT FENCE PLACEMENT.

NOTE: BUILDING PADS & DRAINFIELD SITE FOR GRAPHICAL PURPOSES ONLY. ACTUAL LOCATIONS MAY VARY.

NOTE: DRAINFIELD LOCATIONS, WHEN DETERMINED, SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES.



PLOT DATE: 12/29/2017 10:50:05 AM FILE: C:\Users\lghamin\Desktop\170163 Eric Thompson Armstrong Blvd\600 Drawings\Survey\170163 preliminary plot 12-21-17.dwg

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 NAME: _____ LIC. NO. _____ DATE 00-00-2018

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RUM RIVER PRAIRIE DEVELOPMENT

SITE GRADING PLAN

SHEET G1

LINE TYPE & SYMBOL LEGEND

P	S	DRAIN FIELD LOC. P = PRIMARY S = SECONDARY
A		FLARED END SECTION
— —		CULVERT
(W)		PROPOSED WELL LOC.
SB1		SOIL BORING LOC. W/ NUMBER
(Tree Symbol)		EXISTING TREE (PRESERVE)
(Tree Symbol)		EXISTING TREE (REMOVE)
(Arrow)		DRAINAGE FLOW ARROW
N 90°00'00" E 94.50		PLAT BOUNDARY
94.50		LOT LINE
---		RW
---		SETBACK
WET WET		WETLAND EDGE
900		PROPOSED CONTOUR
900		EXISTING CONTOUR
---		EASEMENT
---		SILT FENCE
---		TREE FENCE
---		EDGE OF BIT.
---		CENTERLINE
---		FUTURE BIT. TRAIL

POND NOTES
INFILTRATION PONDS SHALL BE EXCAVATED BY USE OF BACKHOE WITH A TOOTHED BUCKET.

BOTTOM OF PONDS SHALL NOT BE COMPACTED.

NO TOPSOIL TO BE PLACED IN PONDS.

PONDS TO BE SEEDED WITH MnDOT SEED MIX 33-262 (44 lb/ac).

PLACE SILT FENCE (SECONDARY) IMMEDIATELY AFTER GRADING COMPLETION. THIS FENCING TO REMAIN IN PLACE UNTIL VEGETATION IS ESTABLISHED IN THE PONDS.

ACCESS TO PONDS VIA EASEMENTS.

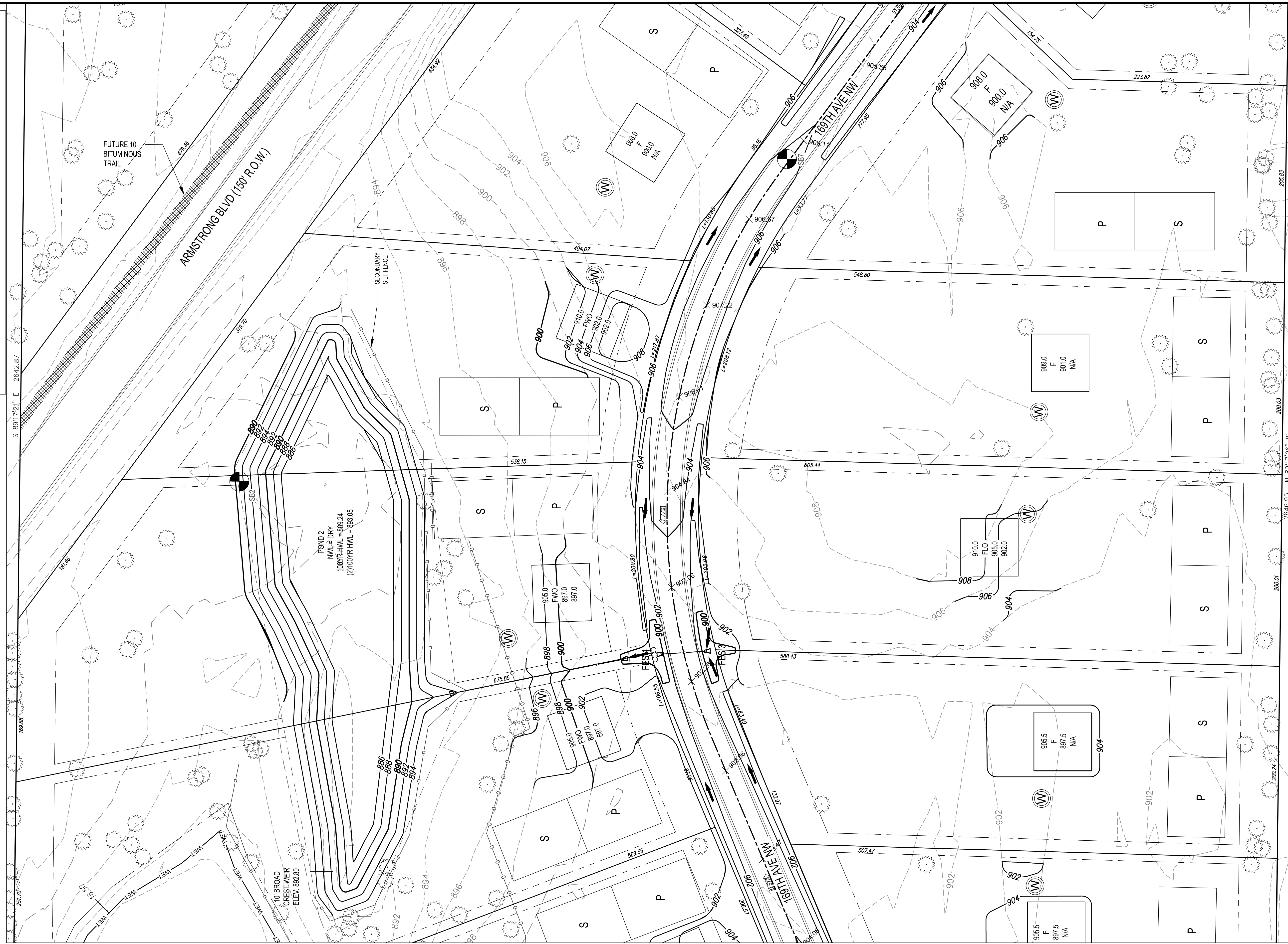
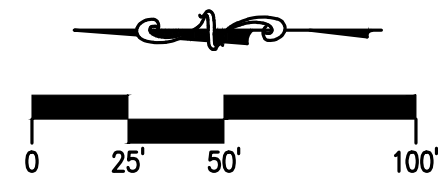
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NOTE: TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITY BY MEANS OF FENCING OR OTHER APPROVED METHOD. TREE FENCING TO BE PLACED BY HAND AND PRIOR TO SILT FENCE PLACEMENT.

NOTE: BUILDING PADS & DRAINFIELD SITE FOR GRAPHICAL PURPOSES ONLY. ACTUAL LOCATION MAY VARY.

NOTE: DRAINFIELD LOCATIONS, WHEN DETERMINED, ARE TO BE PROTECTED FROM CONSTRUCTION ACTIVITIES.



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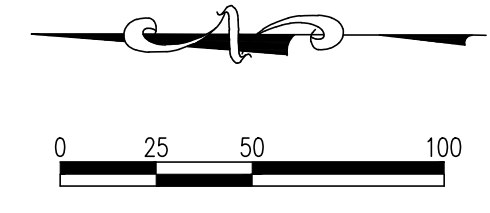
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DATE	

RUM RIVER PRAIRIE DEVELOPMENT

SITE GRADING PLAN

SHEET G2

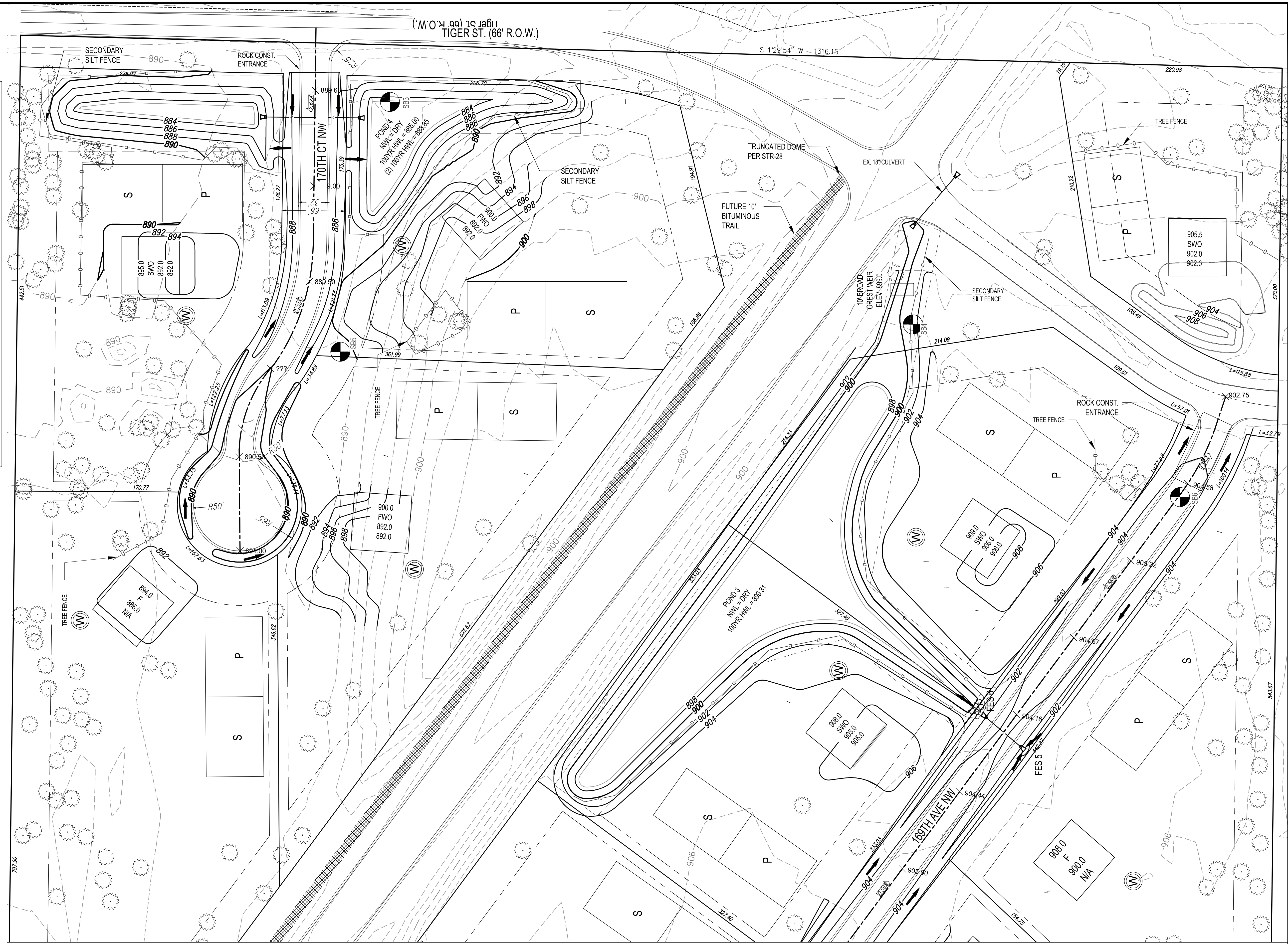
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LINE TYPE & SYMBOL LEGEND

P	S	DRAIN FIELD LOC. P = PRIMARY S = SECONDARY
A		FLARED END SECTION
		CULVERT
W		PROPOSED WELL LOC.
SB1		SOIL BORING LOC. W/ NUMBER
(Tree symbol)		EXISTING TREE (PRESERVE)
(Tree symbol with X)		EXISTING TREE (REMOVE)
(Arrow)		DRAINAGE FLOW ARROW
(Dashed line)		PLAT BOUNDARY
(Dashed line)		LOT LINE
(Dashed line)		R/W
(Dashed line)		SETBACK
(Dashed line)		WETLAND EDGE
(Dashed line)		PROPOSED CONTOUR
(Dashed line)		EXISTING CONTOUR
(Dashed line)		EASEMENT
(Dashed line)		SILT FENCE
(Dashed line)		TREE FENCE
(Dashed line)		EDGE OF BIT.
(Dashed line)		CENTERLINE
(Dashed line)		FUTURE BIT. TRAIL

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 ACCESS TO PONDS VIA EASEMENTS.
 NOTE: STREETS TO BE SWEEP DAILY OR AS DIRECTED BY THE CITY ENGINEER.
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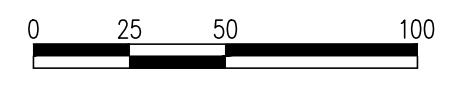
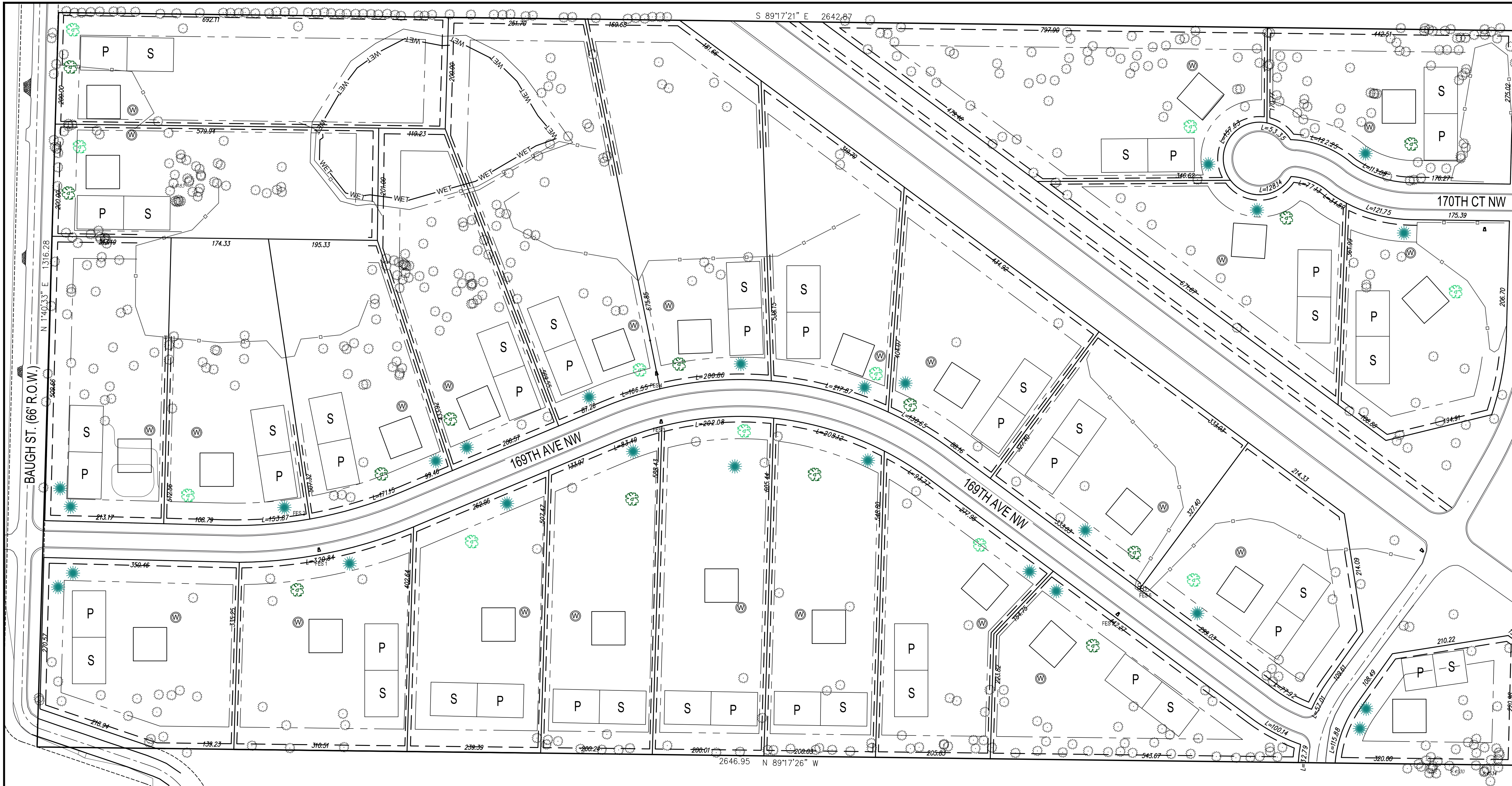
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RUM RIVER PRAIRIE DEVELOPMENT

SITE GRADING PLAN
 SHEET G3

PLOT DATE: 12/29/2017 10:53:33 AM FILE: C:\Users\bjhumin\Desktop\170163 Eric Thompson Armstrong Blvd\600 Drawings\Survey\170163 preliminary plat 12-21-17.dwg



TREE PROTECTION FENCE SHALL BE INSTALLED AND THE LOCATION APPROVED BY THE CITY BEFORE COMMENCEMENT OF OTHER WORK, INCLUDING SILT FENCE INSTALLATION.

AN ARBORIST SHALL BE CONSULTED TO DEVELOP A PLAN TO PROTECT EXISTING OAK TREES FROM OAK WILT.

ANY CLEARING OF OAK TREES SHALL BE PERFORMED PRIOR TO APRIL 15TH OR AFTER JULY 15TH TO MINIMIZE EXPOSURE OR INTRODUCTION OF OAK WILT.

PLANTING DEPTH SHALL BE SUCH THAT THE 1ST SITE OF PRIMARY ROOTS IS AT FINISHED GRADE.

ONLY PRUNE OUT DEAD/BROKEN/DEFORMED BRANCHES AT TIME OF INSTALLATION.

REMOVAL OF UPPER PORTION OF WIRE BASKET AND BURLAP AFTER BEING PLACED IN PLANTING HOLE IF USING B&B STOCK.

2-4 INCHES OF WOOD CHIP MULCH SHALL BE INCLUDED AROUND ALL TREES. MULCH SHALL NOT BE PILED AGAINST THE TRUNK OF TREES.

TOPSOIL: EACH INDIVIDUAL LOT WILL NEED TO HAVE FOUR (4) INCHES OF TOPSOIL MEETING THE CITY'S TOPSOIL SPECIFICATION. A TOPSOIL INSPECTION IS REQUIRED PRIOR TO LANDSCAPING BEING INSTALLED AND COPIES OF THE LOAD TICKETS ARE REQUIRED AS WELL. THIS IS REVIEWED AT TIME OF BUILDING PERMIT APPLICATION AND REQUEST FOR CERTIFICATE OF OCCUPANCY FOR EACH INDIVIDUAL LOT.

PLANTING REQUIREMENTS

TREES:
OVERSTORY DECIDUOUS TREES 1" DIAMETER MEASURE 6' FROM THE BASE AT PLANTING

CONIFEROUS TREES MUST HAVE A MINIMUM HEIGHT OF 6'

- MINIMUM 25% DECIDUOUS AND CONIFEROUS

PROPOSED CONIFEROUS TREES/QTY

DENOTES BLACK HILLS SPRUCE (PICEA GLAUCA DENSATA) 26 EACH

PROPOSED DECIDUOUS TREES/QTY

DENOTES RED MAPLE (ACER RUBRUM) 11 EACH

DENOTES AMERICAN LINDEN (TILIA AMERICANA) 13 EACH

LINE TYPE & SYMBOL LEGEND

		DRAIN FIELD LOC. P = PRIMARY S = SECONDARY
		FLARED END SECTION
		CULVERT
		PROPOSED WELL LOC.
		SOIL BORING LOC. W/ NUMBER
		EXISTING TREE (PRESERVE)
		EXISTING TREE (REMOVE)
		DRAINAGE FLOW ARROW
		PLAT BOUNDARY
		LOT LINE
		RW
		SETBACK
		WETLAND EDGE
		PROPOSED CONTOUR
		EXISTING CONTOUR
		EASEMENT
		SILT FENCE
		TREE FENCE
		EDGE OF BIT.
		CENTERLINE
		FUTURE BIT. TRAIL

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NAME: _____ LIC. NO. ____ DATE 00-00-2018

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RUM RIVER PRAIRIE DEVELOPMENT

TREE PLANTING PLAN

SHEET L1

PRELIMINARY PLAT OF: RUM RIVER PRAIRIE

OWNER/DEVELOPER

Brookview Estates, LLC
6210 Green Valley Road
Ramsey, MN 55303

PROPERTY DESCRIPTION

S 1/2 of the NE 1/4 of Section 7, Township 32, Range 25

NOTE

Proposed septic areas shown hereon are approximate and for informational purposes only. It is the responsibility of the landowner to determine a final location for the septic area.

NET DENSITY

25 Single-Family dwellings
1 Dwelling per 2.67 Acres (Including Block 4 Lot 1, which has a variance to allow smaller area)

ZONING

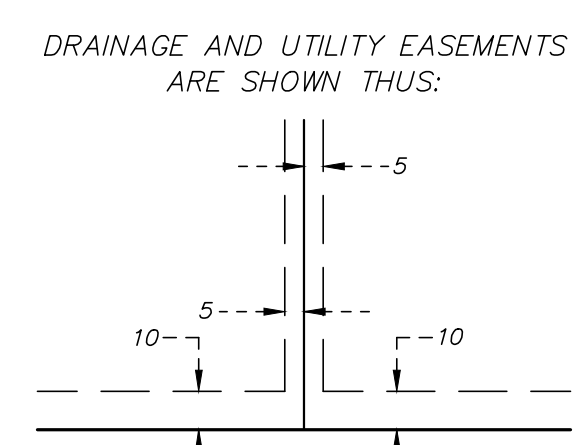
Rum River Prairie - R-1: Rural Developing (outside MUSA)

East, North, and West - R-1: Rural Developing (outside MUSA)

South - PUD: Planned Unit Development

SETBACKS

Front: 40'
Side: 10'
Rear: 40'



BEING 5 FEET IN WIDTH AND ADJOINING SIDE LOT LINES, ALSO BEING 10 FEET IN WIDTH AND ADJOINING RIGHT-OF-WAY AND REAR LOT LINES, UNLESS OTHERWISE SHOWN ON THIS PLAT.

LOT AREA TABULATION

Block/Lot	Area (s.f.)	Area (Acres)
BLOCK 1		
LOT 1	139,816 s.f.	3.21 Acres
LOT 2	116,856 s.f.	2.68 Acres
LOT 3	108,955 s.f.	2.50 Acres
LOT 4	111,933 s.f.	2.57 Acres
LOT 5	108,937 s.f.	2.50 Acres
LOT 6	109,299 s.f.	2.51 Acres
LOT 7	175,192 s.f.	4.02 Acres
LOT 8	158,816 s.f.	3.65 Acres
LOT 9	108,959 s.f.	2.50 Acres
LOT 10	108,900 s.f.	2.50 Acres
LOT 11	109,830 s.f.	2.52 Acres
LOT 12	108,901 s.f.	2.50 Acres
BLOCK 2		
LOT 1	110,919 s.f.	2.55 Acres
LOT 2	111,266 s.f.	2.55 Acres
LOT 3	108,917 s.f.	2.50 Acres
LOT 4	110,202 s.f.	2.53 Acres
LOT 5	120,579 s.f.	2.77 Acres
LOT 6	116,740 s.f.	2.68 Acres
LOT 7	109,148 s.f.	2.51 Acres
LOT 8	108,972 s.f.	2.50 Acres
BLOCK 3		
LOT 1	108,935 s.f.	2.50 Acres
LOT 2	109,019 s.f.	2.51 Acres
LOT 3	161,200 s.f.	3.70 Acres
LOT 4	108,974 s.f.	2.50 Acres
BLOCK 4		
LOT 1	59,760 s.f.	1.37 Acres
R.O.W.	570,582 s.f.	13.10 Acres
TOTAL	3,481,607 s.f.	79.93 Acres

LEGEND

- DENOTES BUILDING SETBACK LINE
- DENOTES DRAINAGE AND UTILITY EASEMENT
- x 250 SEPTIC BORING LOCATION AND NUMBER

I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

Kyle J. Roddy
KYLE J. RODDY, MN LIC. NO. 42627 DATED: 12/26/17

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STORM WATER POLLUTION PREVENTION PLAN (SWPPP) NARRATIVE

1. GENERAL

THE MINNESOTA POLLUTION CONTROL AGENCY (MPCA) REGULATES STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY DISTURBING LAND EQUAL TO OR GREATER THAN ONE ACRE THROUGH A GENERAL PERMIT (PERMIT NO. MN R100001) AUTHORIZING THE DISCHARGE OF STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY TO WATERS OF THE STATE IN COMPLIANCE WITH THE CLEAN WATER ACT AND THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM/STATE DISPOSAL SYSTEM (NPDES/SDS) PROGRAM. THE GENERAL PERMIT (PERMIT) REQUIRES THE DEVELOPMENT AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP). THE SWPPP IS A COMBINATION OF NARRATIVE, PLANS SHEETS, AND STANDARD DETAIL SHEETS THAT ADDRESS THE FORESEEABLE CONDITIONS AT ANY STAGE IN THE CONSTRUCTION OR POST-CONSTRUCTION ACTIVITIES.

2. ADMINISTRATIVE REQUIREMENTS

- A. **RESPONSIBLE PARTIES:** THE OWNER AND GENERAL CONTRACTOR (CONTRACTOR) ARE CO-PERMITTEES OF THE PERMIT AND ARE JOINTLY RESPONSIBLE FOR COMPLIANCE WITH TERMS AND CONDITIONS OF THE PERMIT. OBTAIN A COPY OF THE PERMIT AND COMPLY WITH PARTS II.B, II.C, II.B-F, IV, V, AND APPLICABLE CONSTRUCTION ACTIVITY REQUIREMENTS FOUND IN APPENDIX A, PART C OF THE PERMIT. VERIFY THAT PERMIT REQUIREMENTS ARE SATISFIED AND COMPLETE THE BLANKS ON THIS SWPPP SHEET.
- B. **PERMIT APPLICATION:** THE CONTRACTOR IS RESPONSIBLE FOR COMPLETING THE PERMIT APPLICATION ON-LINE AND PAYING THE APPLICATION FEE. OWNER AND CONTRACTOR MUST BOTH SIGN THE APPLICATION. OBTAIN A COPY OF THE PERMIT AND APPLY ON-LINE AT THE MPCA CONSTRUCTION STORM WATER WEBSITE: <http://www.pca.state.mn.us/water/stormwater/stormwater-c.html>.
- C. **PERMIT COVERAGE:** PERMIT COVERAGE TYPICALLY BECOMES EFFECTIVE SEVEN (7) CALENDAR DAYS AFTER THE ELECTRONIC SUBMITTAL DATE. DO NOT BEGIN LAND DISTURBING CONSTRUCTION ACTIVITIES UNTIL PERMIT COVERAGE IS EFFECTIVE. THE START OF ANY LAND DISTURBING ACTIVITIES SIGNIFIES THAT THE CONTRACTOR IS ASSUMING RESPONSIBILITY FOR PERMIT COVERAGE AND HAS COMPLIED WITH PERMIT REQUIREMENTS.
- D. **NOTIFICATION OF COVERAGE:** THE CONTRACTOR WILL RECEIVE A NOTIFICATION OF COVERAGE FROM THE MPCA (E.G., VIA EMAIL, ONLINE NOTIFICATION, OR LETTER). KEEP OR POST A COPY OF THE NOTIFICATION OF COVERAGE WITH THE SWPPP AT THE PROJECT SITE. PROVIDE COPIES TO THE OWNER AND ENGINEER.
- E. **CHANGE OF COVERAGE FOR NEW OWNER OR NEW OPERATOR (CONTRACTOR):** FOR A NEW OWNER OR OPERATOR, THE CURRENT OWNER, AND NEW OWNER OR OPERATOR, MUST SUBMIT A PERMIT MODIFICATION FORM PRIOR TO THE NEW OWNER OR OPERATOR COMMENCING CONSTRUCTION ACTIVITY. CONTACT THE MPCA AT 800-657-3864 FOR THIS FORM. THE CURRENT OWNER MUST ALSO SUBMIT A NOTICE OF TERMINATION (NOT) FORM AS NOTED BELOW WHEN THE OWNERSHIP OF THE PROPERTY CHANGES, AS NOTED BELOW.
- F. **TERMINATION OF COVERAGE:** THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE OWNER AND TERMINATING PERMIT COVERAGE BY COMPLETING AND SUBMITTING A NOTICE OF TERMINATION (NOT) FORM TO THE MPCA. A NOTICE OF TERMINATION MUST BE SUBMITTED WITHIN 30 DAYS AFTER FINAL STABILIZATION HAS BEEN ESTABLISHED FOR THE SITE AND CONSTRUCTION ACTIVITY IS COMPLETE, OR WHEN THE OWNER OR OPERATOR CHANGES. COMPLIANCE WITH PERMIT REQUIREMENTS IS REQUIRED UNTIL SUBMISSION OF A NOTICE OF TERMINATION.
- G. **RECORD RETENTION:** THE CONTRACTOR SHALL KEEP A COPY OF THE SWPPP, INCLUDING ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS ON SITE DURING CONSTRUCTION. THIS DOCUMENTATION MUST BE KEPT ON FILE FOR 3 YEARS AFTER SUBMITTAL OF THE NOTICE OF TERMINATION. COORDINATE TRANSFER OF THIS DOCUMENTATION TO THE OWNER AT PROJECT COMPLETION.
- H. **CHANGES (AMENDMENTS) TO SWPPP:** UPDATE AND DOCUMENT CHANGES TO THE SWPPP AS NECESSARY DURING CONSTRUCTION, AND AS REQUIRED BY THE PERMIT ACCORDING TO PART III.B OF THE PERMIT.

3. CONSTRUCTION ACTIVITY REQUIREMENTS

- A. **GENERAL:** COMPLY WITH PART IV.A OF THE PERMIT TO IMPLEMENT THE SWPPP AND THE REQUIREMENTS OF THE PERMIT. THE BEST MANAGEMENT PRACTICES (BMPs) IDENTIFIED IN THE SWPPP AND PERMIT MUST BE SELECTED, INSTALLED, AND MAINTAINED IN AN APPROPRIATE AND FUNCTIONAL MANNER IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, MANUFACTURER RECOMMENDATIONS, AND ACCEPTED ENGINEERING PRACTICES.
- B. **EROSION PREVENTION PRACTICES:** PLAN FOR AND IMPLEMENT CONSTRUCTION PRACTICES TO SATISFY PART IV.B OF THE PERMIT. STABILIZE EXPOSED SOIL AREAS AS SOON AS POSSIBLE, BUT IN NO CASE LATER THAN 14 DAYS AFTER CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. AMEND SWPPP BY INDICATING THE LOCATION OF AREAS WHERE CONSTRUCTION WILL BE PHASED TO MINIMIZE DURATION OF EXPOSED SOIL AREAS. COMMON EROSION PREVENTION PRACTICES INCLUDE:
 - 1) MARKING AND DELINEATING AREAS OF THE SITE NOT TO BE DISTURBED (WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC.).
 - 2) STABILIZE THE LAST 200 LINEAL FEET OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE WITHIN 24 HOURS AFTER CONNECTING TO RECEIVING SURFACE WATER OR STORM SEWER INLET.
 - 3) "INITIATE IMMEDIATELY" (SEE APPENDIX B FOR DEFINITION) SOIL STABILIZATION AS SOON AS EARTH-DISTURBING ACTIVITIES HAVE CEASED.
 - 4) PROVIDE TEMPORARY OR PERMANENT ENERGY DISSIPATION TO PIPE OUTLETS WITHIN 24 HOURS OF CONNECTING TO A SURFACE WATER.
 - 5) WHERE FEASIBLE THE DESIGN OF THE SITE DIRECTS STORMWATER TO VEGETATED AREAS, TO INCREASE SEDIMENT REMOVAL.
- C. **SEDIMENT CONTROL PRACTICES:** PLAN FOR AND IMPLEMENT CONSTRUCTION PRACTICES THAT MINIMIZE SEDIMENT FROM ENTERING SURFACE WATERS, INCLUDING BUT NOT LIMITED TO, CURB AND GUTTER SYSTEMS AND STORM SEWER INLETS TO SATISFY PART IV.C OF THE PERMIT. PROVIDE TEMPORARY SEDIMENTATION BASINS WHERE 5 OR MORE ACRES OF DISTURBED SOIL DRAIN TO A COMMON LOCATION AS APPROVED BY LHB (SEE PART III.C OF THE PERMIT FOR BASIN REQUIREMENTS). COMMON SEDIMENT CONTROL PRACTICES INCLUDE:
 - 1) MINIMIZE SOIL COMPACTION AND PRESERVE TOPSOIL.
 - 2) ALL SEDIMENT CONTROL BMPs MUST BE ESTABLISHED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UPGRADIENT LAND DISTURBING ACTIVITIES CAN BEGIN AND SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION IS ESTABLISHED.
 - 3) THE TIMING FOR SEDIMENT CONTROL BMPs MAY BE ADJUSTED TO ACCOMMODATE SHORT-TERM CONSTRUCTION ACTIVITIES, SUCH AS PASSAGE OF VEHICLES, AND MUST BE COMPLETED AS QUICKLY AS POSSIBLE. SEDIMENT CONTROL BMPs MUST BE INSTALLED IMMEDIATELY AFTER SHORT-TERM

CONSTRUCTION IS COMPLETE, OR BEFORE THE NEXT PRECIPITATION EVENT IF THE ACTIVITY IS NOT COMPLETE.

- 4) PROTECT ALL STORM DRAIN INLETS WITH APPROPRIATE BMPs DURING CONSTRUCTION UNTIL ALL SOURCES WITH POTENTIAL FOR DISCHARGING TO THE INLET HAVE BEEN STABILIZED. INLET PROTECTION MAY ONLY BE REMOVED EARLIER IF SPECIFIC SAFETY CONCERNS (STREET FLOODING/FREEZING) HAVE BEEN BROUGHT FORTH IN WRITING BY JURISDICTIONAL AUTHORITY.
- 5) TEMPORARY STOCKPILES MUST HAVE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS, AND CANNOT BE PLACED IN ANY SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS OR DITCHES.
- 6) TEMPORARY SEDIMENT BASIN OUTLET STRUCTURES MUST BE DESIGNED TO WITHDRAW WATER FROM THE SURFACE.
- 7) ALL VEHICLE TRACKING OF SEDIMENT FROM THE CONSTRUCTION SITE, OR ONTO STREETS WITHIN THE SITE, MUST BE MINIMIZED BY BMPs SUCH AS STONE PADS, CONCRETE OR STEEL WASH RACKS, OR EQUIVALENT SYSTEMS. STREET SWEEPING MUST BE PERFORMED IF BMPs ARE NOT ADEQUATE TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE STREETS / ROADWAYS.
- D. **DEWATERING AND BASIN DRAINING:** COMPLY WITH PART IV.D OF THE PERMIT. ENSURE THAT ALL WATER FROM DEWATERING OR BASIN DRAINING ACTIVITIES IS DISCHARGED IN A MANNER THAT DOES NOT CAUSE NUISANCE CONDITIONS, EROSION IN RECEIVING CHANNELS OR DOWNSLOPE PROPERTIES, OR INUNDATION IN WETLANDS CAUSING SIGNIFICANT ADVERSE IMPACTS TO THE WETLANDS. ANY TURBID OR SEDIMENT LADEN DISCHARGE WATER MUST BE ADEQUATELY TREATED BY DISCHARGING TO A SEDIMENTATION BASIN WHENEVER FEASIBLE, OR TREATED WITH APPROPRIATE BMPs IF THE WATER CANNOT BE DISCHARGED TO A SEDIMENT BASIN. THE CONTRACTOR MUST VISUALLY CHECK THE TREATED STORMWATER PRIOR TO DISCHARGING TO RECEIVING WATERS TO ENSURE ADEQUATE TREATMENT IS BEING MET AND THAT THE DISCHARGE POINTS ARE ADEQUATELY PROTECTED FROM EROSION AND SCOUR. BACKWASH WATER FROM FILTRATION MUST BE INCORPORATED INTO THE SITE IN A NON-EROSIVE MANNER, OR DISCHARGED TO THE SANITARY SEWER WITH PERMISSION FROM THE SANITARY SEWER AUTHORITY. SEE SHEET 0.10 FOR ADDITIONAL REQUIREMENTS.
- E. **INSPECTIONS:** THE CONTRACTOR MUST ROUTINELY INSPECT THE ENTIRE CONSTRUCTION SITE AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS DURING CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES OVER 24 HOURS. CONTRACTOR SHALL PROVIDE A RAIN GAGE OR ANOTHER METHOD TO MEASURE RAINFALL. INSPECTION OF AREAS WITH PERMANENT COVER MAY BE REDUCED TO ONCE PER MONTH. THE CONTRACTOR SHALL RECORD IN WRITING WITHIN 24 HR ALL INSPECTION AND MAINTENANCE ACTIVITY ON FORMS WITH INFORMATION REQUIRED BY PART IV.E.2 OF THE GENERAL STORMWATER PERMIT. THESE RECORDS SHALL BE RETAINED WITH THE SWPPP. RECORDS OF EACH INSPECTION AND MAINTENANCE ACTIVITY SHALL INCLUDE:
 - 1) DATE AND TIME OF INSPECTIONS
 - 2) NAME OF PERSON(S) CONDUCTING INSPECTIONS
 - 3) FINDINGS OF INSPECTIONS, INCLUDING THE SPECIFIC LOCATION WHERE CORRECTIVE ACTIONS ARE NEEDED
 - 4) CORRECTIVE ACTIONS TAKEN (INCLUDING DATES, TIMES, AND PARTY COMPLETING MAINTENANCE ACTIVITIES)
 - 5) DATE AND AMOUNT OF ALL RAINFALL EVENTS GREATER THAN 1/2 INCH (0.5 INCHES) IN 24 HOURS. RAINFALL AMOUNTS MUST BE OBTAINED BY A PROPERLY MAINTAINED RAIN GAUGE INSTALLED ONSITE, A WEATHER STATION THAT IS WITHIN 1 MILE OF THE PROJECT SITE OR A WEATHER REPORTING SYSTEM THAT PROVIDES SITE SPECIFIC RAINFALL DATA FROM RADAR SUMMARIES.
 - 6) IF ANY DISCHARGE IS OBSERVED TO BE OCCURRING DURING THE INSPECTION, A RECORD OF ALL POINTS OF THE PROPERTY FROM WHICH THERE IS A DISCHARGE MUST BE MADE, AND THE DISCHARGE SHOULD BE DESCRIBED (I.E., COLOR, ODOR, FLOATING, SETTLED, OR SUSPENDED SOLIDS, FOAM, OIL SHEEN, AND OTHER OBVIOUS INDICATORS OF POLLUTANTS) AND PHOTOGRAPHED.
 - 7) ANY AMENDMENTS TO THE SWPPP PROPOSED AS A RESULT OF THE INSPECTION MUST BE DOCUMENTED AS REQUIRED IN PART III.B. WITHIN SEVEN (7) CALENDAR DAYS.
- F. **MAINTENANCE:** ALL NONFUNCTIONAL BMPs MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WITH FUNCTIONAL BMPs WITHIN 24 HOURS AFTER DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS. COMMON ROUTINE MAINTENANCE ACTIVITIES INCLUDE:
 - 1) ALL SILT FENCE MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/3 OF THE FENCE HEIGHT WITHIN 24 HOURS OF DISCOVERY OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
 - 2) DRAIN ALL TEMPORARY AND PERMANENT SEDIMENTATION BASINS AND REMOVE SEDIMENT WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES ½ THE STORAGE VOLUME WITHIN 72 HOURS OF DISCOVERY OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
 - 3) INSPECT AND REMOVE ALL DEPOSITED SEDIMENT FROM STORMWATER CONVEYANCE SYSTEMS (DITCHES, CURB AND GUTTERS, CATCH BASINS, ETC.) AND RESTABILIZE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL WITHIN 7 DAYS OF DISCOVERY OR AFTER OBTAINING PERMISSION FROM JURISDICTIONAL AUTHORITIES.
 - 4) REMOVE ANY TRACKED SEDIMENT FROM ALL PAVED SURFACES WITHIN 24 HOURS AFTER DISCOVERY OR SOONER AS REQUIRED FOR PERMIT COMPLIANCE.
 - 5) REMOVE ANY SEDIMENT THAT ESCAPES THE CONSTRUCTION SITE IN A MANNER AND AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS AND SAFETY HAZARDS.
 - 6) PROTECT INFILTRATION AREAS FROM COMPACTION DUE TO CONSTRUCTION EQUIPMENT PATHS AND PREVENT SEDIMENT FROM REACHING INFILTRATION AREAS.
 - 7) OPERATE, MAINTAIN, AND INSPECT ANY TEMPORARY OR PERMANENT WATER QUALITY MANAGEMENT BMPs TO ENSURE ADEQUATE TREATMENT IS BEING MET.
- G. **POLLUTION PREVENTION MANAGEMENT MEASURES:** COMPLY WITH PART IV.F OF THE PERMIT.
- H. **FINAL STABILIZATION:** ESTABLISH FINAL STABILIZATION FOR THE SITE AS DESCRIBED IN PART IV.G OF THE PERMIT. SPECIFIC CONDITIONS REQUIRED FOR FINAL STABILIZATION INCLUDE:
 - 1) SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND SOILS ARE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OVER THE ENTIRE PERVIOUS SURFACE AREA, OR OTHER EQUIVALENT MEANS NECESSARY TO PREVENT SOIL FAILURE UNDER EROSION CONDITIONS.
 - 2) PERMANENT STORMWATER MANAGEMENT SYSTEMS ARE OPERATIONAL AND SEDIMENT IS REMOVED FROM TEMPORARY AND PERMANENT SEDIMENTATION BASINS AND CONVEYANCE SYSTEMS, AND DITCHES ARE STABILIZED WITH FINAL COVER.
 - 3) ALL TEMPORARY SYNTHETIC AND STRUCTURAL EROSION PREVENTION AND SEDIMENT CONTROL BMPs ARE

REMOVED. BMPs DESIGNED TO DECOMPOSE MAY BE LEFT IN PLACE.

- 4. SWPPP RESPONSIBILITIES (THE OWNER IS RESPONSIBLE FOR PREPARING AND AMENDING THE SWPPP).
 - A. ON BEHALF OF THE OWNER, THE FOLLOWING PERSON PREPARED THE SWPPP AND IS TRAINED IN SWPPP DESIGN:

NAME:	DAVID POLSON / LHB, INC.
TRAINING DATE/INSTRUCTOR:	CERTIFICATION 2/15 (EXPIRES 5-31-18)
TRAINING CONTENT/HOURS:	DESIGN OF CONSTRUCTION SWPPP

- B. ON BEHALF OF THE OWNER, THE CONTRACTOR WILL OVERSEE SWPPP IMPLEMENTATION, REVISE AND AMEND THE SWPPP, PERFORM INSPECTIONS, AND SUPERVISE THE INSTALLATION, MAINTENANCE AND REPAIR OF BMPs BEFORE AND DURING CONSTRUCTION. THE FOLLOWING CONTRACTOR REPRESENTATIVE IS TRAINED TO PERFORM THESE DUTIES AND WILL ASSUME THESE RESPONSIBILITIES:

NAME: _____
TRAINING DATE/INSTRUCTOR: _____
TRAINING CONTENT/HOURS: _____

- C. THE OWNER IS RESPONSIBLE FOR THE LONG-TERM OPERATION AND MAINTENANCE OF THE PERMANENT STORMWATER MANAGEMENT SYSTEM. THE FOLLOWING PERSON IS DESIGNATED TO PERFORM THESE DUTIES:

NAME/TITLE: _____
MAINTENANCE PLAN: N/A

- D. **CHAIN OF RESPONSIBILITY:** THE GENERAL CONTRACTOR IS IN CHARGE OF ALL SWPPP IMPLEMENTATION ON THE CONSTRUCTION SITE AND IS ACCOUNTABLE FOR SUBCONTRACTORS AND OTHER CONTRACTORS WORKING ON SITE AND THEIR COMPLIANCE WITH GENERAL STORMWATER PERMIT AND SWPPP REQUIREMENTS. NOTIFY THE OWNER OF ANY AMENDMENT NEEDED TO THE SWPPP.

5. REGULATORY AGENCIES AND PERMITS

- A. COMPLY WITH REQUIREMENTS OF ALL REGULATORY AGENCIES AND PERMITS HAVING JURISDICTION DURING CONSTRUCTION ACTIVITIES. THE FOLLOWING ADDITIONAL REGULATORS AND PERMITS ARE KNOWN TO HAVE SITE JURISDICTION:

- 1) ANOKA COUNTY
- 2) CITY OF RAMSEY

6. DESCRIPTION OF THE CONSTRUCTION ACTIVITY / SWPPP COMPONENTS

- A. **NARRATIVE:**
 - 1) PROJECT SUMMARY: THE PROJECT INVOLVES THE DEVELOPMENT OF 80 ACRES INTO 25 LOTS TO BE SOLD FOR BUILDING OF HOMES. SPECIFIC WORK INCLUDES:
 - a. CLEARING PORTIONS OF THE LAND OF EXISTING VEGETATION.
 - b. GRADING TO SUPPORT CONSTRUCTION OF ROADS, HOUSE PADS, AND STORMWATER INFILTRATION PONDS.
 - c. CONSTRUCTION OF STORMWATER INFILTRATION PONDS AND ACCOMPANYING CULVERTS.
 - d. CONSTRUCTION OF ROADS, AND GRADING FOR HOUSEPADS. .
 - 2) TIMING FOR INSTALLATION OF EROSION & SEDIMENTATION BMPs AND PERMANENT STORMWATER MANAGEMENT SYSTEMS, IN GENERAL SEQUENTIAL ORDER FROM FIRST TO LAST:
 - a. INLET PROTECTION FOR EXISTING INLETS / SILT FENCE / DELINATION AREAS NOT TO BE DISTURBED / ROCK CONSTRUCTION ENTRANCE / TEMPORARY SEDIMENTATION BASIN: PROVIDE PRIOR TO CONSTRUCTION; MAINTAIN DURING CONSTRUCTION.
 - b. SILT FENCE AROUND STOCKPILES: DURING CONSTRUCTION.
 - c. PORTABLE SEDIMENT CONTAINMENT SYSTEMS FOR TREATING WATER FROM DEWATERING OPERATIONS : PROVIDE DURING CONSTRUCTION.
 - d. INLET PROTECTION FOR NEW INLETS: AS CONSTRUCTED.
 - e. HARD SURFACING (E.G., BUILDING ROOFS, PAVEMENTS): AS CONSTRUCTED.
 - f. VEGETATIVE COVER / EROSION CONTROL BLANKETS: AFTER FINAL TOPSOIL PLACEMENT AND FINISH GRADING.
 - g. REMOVAL OF TEMPORARY BMPs: AFTER FINAL STABILIZATION IS ESTABLISHED.



**PERFORMANCE
DRIVEN DESIGN.**
LHBcorp.com

21 W. Superior St., Ste. 500 | Duluth, MN 55802 | 218.727.8446

CLIENT:
NATIONAL GROWTH, LLC.
16521 ROYAL RD.
RAMSEY, MN 55303

RAMSEY, MN

THIS SQUARE APPEARS 1/2" x 1/2" ON FULL SIZE SHEETS.

NO	DATE	ISSUED FOR

NO	DATE	REVISION

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

SIGNATURE: _____

TYPED OR PRINTED NAME: _____

DATE: _____ REG. NO.: _____

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PROJECT NAME:
**RUM RIVER PRAIRIE
DEVELOPMENT**

DRAWING TITLE:
SWPPP NARRATIVE

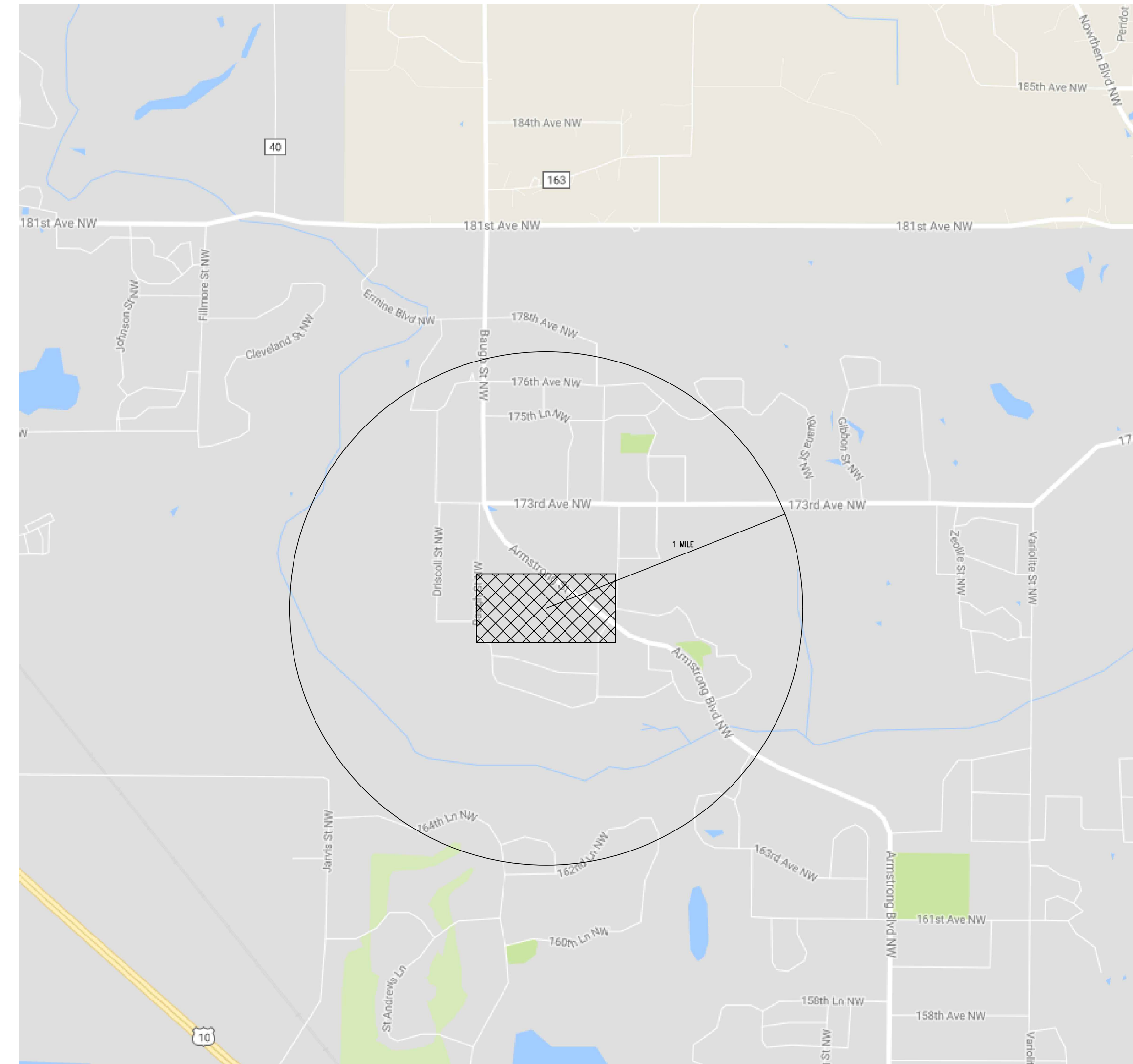
FILE: .les201710163 Eric Thompen Armstrong Blvd600 Drawings\C1170163 SWPP
DRAWN BY: BJH
CHECKED BY:
PROJ. NO: les20
DRAWING NO:

SW1

SWPPP NARRATIVE (CONT.)

7. PROCEDURES FOR ESTABLISHING ADDITIONAL BMPs FOR SITE CONDITIONS DURING CONSTRUCTION
 - A. IF ANY DOWN GRADIENT TREATMENT SYSTEM IS OVERLOADED, ADDITIONAL UP GRADIENT SEDIMENT CONTROL OR REDUNDANT BMPs MUST BE INSTALLED BY THE CONTRACTOR TO ELIMINATE THE OVERLOADING CONDITION.
8. METHODS OF FINAL STABILIZATION
 - A. FINAL STABILIZATION WILL BE ACCOMPLISHED BY IMPERVIOUS SURFACING (CONCRETE PAVING, SIDEWALKS, CURB AND GUTTER, ASPHALT PARKING LOTS, ETC.) AND VEGETATIVE GROUND COVERS (SODDING AND SEEDING/MULCHING). SPECIFIC CONSTRUCTION METHODS ARE DESCRIBED IN THE PLANS AND SPECIFICATIONS.
9. PERMANENT STORMWATER MANAGEMENT SYSTEMS
 - A. FOUR INFILTRATION POND SYSTEMS ARE TO BE CONSTRUCTED IN ORDER TO CONTROL STORMWATER RUNOFF.
10. STANDARDS SPECIFICATIONS FOR CONSTRUCTION:

UNLESS OTHERWISE NOTED IN CONTRACT DOCUMENTS, ALL MATERIAL AND CONSTRUCTION REQUIREMENTS FOR TEMPORARY SEDIMENT CONTROL AND EROSION PREVENTION SHALL BE IN ACCORDANCE WITH THE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.



ESTIMATED QUANTITIES OF BMPs		
BMP	UNIT	QUANTITY
SILT FENCE	LF	686
INLET PROTECTION	EA	9
MNDOT CATEGORY 2 EROSION CONTROL BLANKET	SY	0



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 16521 ROYAL RD.
 RAMSEY, MN 55303

RAMSEY, MN

THIS SQUARE APPEARS 1/2" x 1/2" ON FULL SIZE SHEETS.

NO DATE ISSUED FOR

NO DATE REVISION

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

SIGNATURE: _____

TYPED OR PRINTED NAME: _____

DATE: _____ REG. NO.: _____

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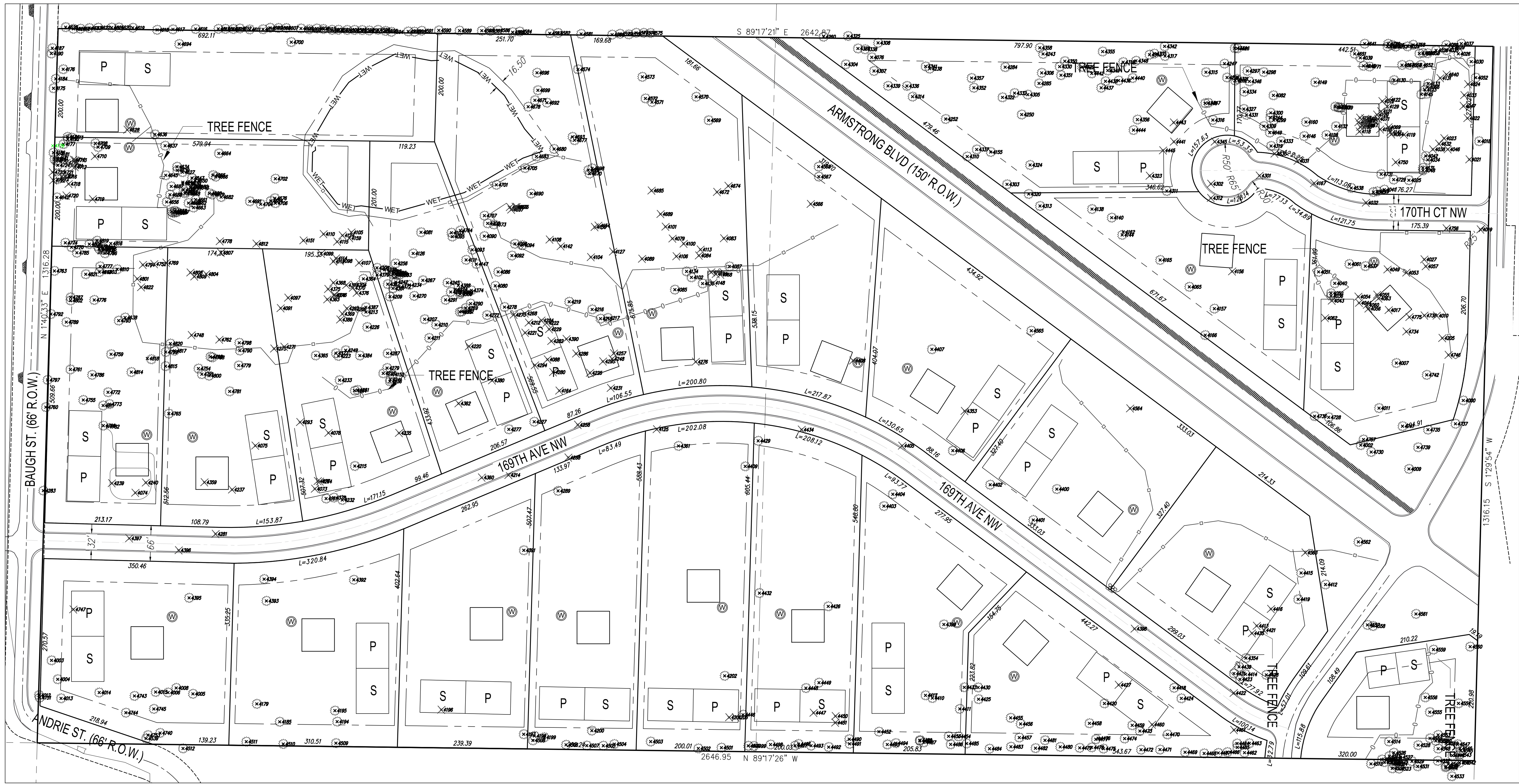
PROJECT NAME:
RUM RIVER PRAIRIE DEVELOPMENT

DRAWING TITLE:
SWPPP NARRATIVE AND EXHIBIT

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 DRAWN BY: DRP
 CHECKED BY: DGS
 PROJ. NO: les20
 DRAWING NO:

SW2

PLOT DATE: 12/29/2017 10:54:24 AM FILE: C:\Users\bjh\min\Desktop\170163 Eric Thompsons Armstrong Blvd\600 Drawings\Survey\170163 preliminary plot 12-21-17.dwg



LINE TYPE & SYMBOL LEGEND	
	DRAIN FIELD LOC. P = PRIMARY S = SECONDARY
	FLARED END SECTION
	CULVERT
	PROPOSED WELL LOC.
	SOIL BORING LOC. W/NUMBER
	EXISTING TREE (PRESERVE)
	EXISTING TREE (REMOVE)
	DRAINAGE FLOW ARROW

	PLAT BOUNDARY
	LOT LINE
	R/W
	SETBACK
	WETLAND EDGE
	PROPOSED CONTOUR
	EXISTING CONTOUR
	EASEMENT
	SILT FENCE
	TREE FENCE
	EDGE OF BIT.
	CENTERLINE
	FUTURE BIT. TRAIL

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 NAME: _____ LIC. NO. _____ DATE 00-00-2018

DESIGNED BJH	 PERFORMANCE DRIVEN DESIGN <small>LDBcorp.com 21 W. Superior St., Ste. 500 Duluth, MN 55802 218.727.8446</small>
DRAWN BJH	
CHECKED ...	

RUM RIVER PRAIRIE DEVELOPMENT

SITE TREE PLAN
SHEET T1

SAVED TREES

Tag ID	Species	DBH	Notes	Tag ID	Species	DBH	Notes	Tag ID	Species	DBH	Notes	Tag ID	Species	DBH	Notes	Tag ID	Species	DBH	Notes	Tag ID	Species	DBH	Notes				
4000	Cottonwood	21		4176	Boxelder	12		4305	Red Cedar	7		4418	Red pine	4	diseased	4521	Red oak	4		4613	Colorado blue spruce	6		4727	Red Cedar	4	
4001	Red Cedar	8		4177	Burr oak	6		4306	Red Cedar	5		4419	Red Cedar	8		4522	Red oak	5		4614	Colorado blue spruce	5		4728	Red Cedar	4	
4002	Red Cedar	5		4178	Burr oak	42		4307	Red Cedar	5		4420	Red Cedar	6		4523	Red oak	5		4615	Colorado blue spruce	5		4729	Siberian Elm	8	
4003	Red Cedar	6		4179	Red Cedar	6		4308	Red Cedar	6		4423	Red Cedar	6		4524	Red oak	5		4616	Colorado blue spruce	4		4730	Siberian Elm	9	
4004	Red Cedar	6		4180	Burr oak	4		4309	Red Cedar	7		4424	Red Cedar	4		4525	Red oak	5		4617	Colorado blue spruce	7		4731	Siberian Elm	17	
4005	Scots pine	7		4181	Red oak	8		4310	Red Cedar	6		4425	Scots pine	8		4526	Red oak	4		4618	Colorado blue spruce	6		4732	Red Cedar	7	
4006	Red Cedar	6		4182	Burr oak	14		4311	Red Cedar	6		4426	Red Cedar	7		4527	Red oak	4		4619	White Spruce	6		4733	Siberian Elm	10	
4007	Red Cedar	5		4183	Red oak	24		4313	Red Cedar	7		4428	Red Cedar	5		4528	Red oak	8		4620	Colorado blue spruce	6		4735	Red Cedar	7	
4008	Red Cedar	6		4184	Boxelder	15		4314	Red Cedar	5		4429	Red Cedar	5		4529	Boxelder	15		4621	Colorado blue spruce	4		4736	Red Cedar	5	
4009	Red Cedar	10		4185	Siberian Elm	8		4315	Red Cedar	6		4430	Red Cedar	5		4530	Burr oak	30	dying	4622	Colorado blue spruce	7		4737	Red Cedar	7	
4011	Red Cedar	6		4186	Burr oak	5		4316	Red Cedar	7		4431	Red Cedar	6		4531	Black cherry	14	dying	4623	Colorado blue spruce	5		4739	Red Cedar	10	
4012	Red Cedar	4		4187	Boxelder	10		4317	Red Cedar	5		4432	Red Cedar	6		4532	Boxelder	8		4624	Colorado blue spruce	7		4740	Red Cedar	5	
4013	Red Cedar	6		4188	Burr oak	4	dead	4318	Red Cedar	7		4433	Red Cedar	9		4533	Red oak	9		4625	Colorado blue spruce	6		4741	Red Cedar	6	
4014	Scots pine	8		4189	Burr oak	11		4319	Red Cedar	7		4436	Red Cedar	9		4534	Red oak	22	rotting	4626	Colorado blue spruce	5		4742	Red Cedar	5	
4015	Red Cedar	8		4190	Boxelder	11		4320	Red Cedar	6		4437	Red Cedar	4		4535	Red oak	16	rotting	4627	Burr oak	12		4743	Red Cedar	5	
4018	Red Cedar	5		4191	Burr oak	8		4321	Siberian Elm	13		4438	Red Cedar	4		4536	Red oak	12	dying	4629	Siberian Elm	10		4744	Red Cedar	8	
4020	Red Cedar	9		4192	Red Cedar	7		4322	Red Cedar	8		4439	Red Cedar	5		4537	Siberian Elm	22	dying	4630	Burr oak	7		4745	Red Cedar	4	
4025	Red Cedar	6		4193	Burr oak	5		4324	Red Cedar	4		4440	Red Cedar	7		4538	Siberian Elm	8		4631	Siberian Elm	8		4749	Siberian Elm	9	
4026	Red Cedar	11		4194	Scots pine	18		4325	Red Cedar	5		4442	Red Cedar	4		4539	Siberian Elm	10		4633	Hackberry	17		4751	Red Cedar	5	dying
4028	Red Cedar	5		4195	Red Cedar	7		4326	Red Cedar	6		4444	Red Cedar	8		4540	Burr oak	23	dying	4634	Red oak	4		4753	Red Cedar	5	
4029	Red Cedar	6		4197	Red Cedar	4		4327	Siberian Elm	14		4446	Red Cedar	6		4541	Black cherry	8		4636	Red Cedar	10		4754	Scots pine	5	
4030	Red Cedar	8		4198	Scots pine	5		4328	Red Cedar	9		4448	Siberian Elm	8		4542	Boxelder	14		4637	Red Cedar	10		4755	Red Cedar	4	
4034	Red Cedar	8		4199	Siberian Elm	10		4329	Red Cedar	7		4449	Red Cedar	5		4543	Red oak	4		4638	Siberian Elm	20		4757	Red Cedar	4	
4035	Red Cedar	8		4200	Red Cedar	5		4330	Red Cedar	7		4452	Red Cedar	4		4544	Burr oak	5		4639	Red oak	6		4758	Red Cedar	6	
4036	Red Cedar	5		4202	Red Cedar	6		4331	Siberian Elm	8		4453	Scots pine	6	dead	4545	Boxelder	15		4641	Red Cedar	7		4759	Red Cedar	8	
4037	Red Cedar	10		4207	Red Cedar	7		4332	Red Cedar	5	top broken off	4454	Scots pine	5		4546	Boxelder	8	dead	4642	Burr oak	4		4760	Red Cedar	6	
4039	Red Cedar	4		4208	Scots pine	4		4333	Red Cedar	5		4455	Red Cedar	5		4547	Boxelder	9		4643	Burr oak	9		4761	Red Cedar	8	
4040	Red Cedar	6		4209	Scots pine	5		4334	Siberian Elm	12		4456	Red Cedar	6		4548	Red oak	5		4644	Burr oak	9		4763	Red Cedar	4	
4041	Red Cedar	5		4210	Red Cedar	4		4335	Red Cedar	5		4457	White Pine	9		4549	Red oak	5		4645	Red Cedar	5		4764	Red Cedar	7	
4042	Red Cedar	6		4211	Red Cedar	7		4336	Red Cedar	6		4458	Red Cedar	5		4550	Red oak	7		4646	Red Cedar	10		4765	Red Cedar	8	
4045	Red Cedar	8		4213	Red Cedar	4		4337	Red Cedar	6		4459	White Pine	9		4551	Red oak	9		4647	Burr oak	14		4766	Red Cedar	5	
4048	Red Cedar	6		4215	Red pine	9		4338	Red Cedar	6		4462	Burr oak	10		4552	Red oak	14	diseased	4648	Burr oak	16		4767	Red Cedar	10	
4050	Red Cedar	6		4216	Red Cedar	7		4339	Red Cedar	5		4463	Red oak	4		4553	Siberian Elm	8	diseased	4649	Siberian Elm	15		4768	Red Cedar	4	
4051	Red Cedar	4		4217	Scots pine	11		4340	Red Cedar	5		4464	Red oak	5		4554	Scots pine	7		4650	Burr oak	27		4770	Red Cedar	8	
4052	Red Cedar	5		4218	White Pine	15		4341	Red Cedar	6		4465	Red oak	5		4555	Red Cedar	5		4651	Siberian Elm	16		4771	Red Cedar	10	
4058	Red Cedar	5		4219	Red Cedar	6		4342	Red Cedar	8		4466	Burr oak	5	dying	4556	Siberian Elm	8		4652	Siberian Elm	8		4772	Red Cedar	6	
4059	Red Cedar	9		4223	Red Cedar	4		4343	Red Cedar	6		4467	Colorado blue spruce	14		4557	Siberian Elm	15		4653	Burr oak	6	dying	4773	Red Cedar	4	
4061	Red Cedar	5		4226	Red Cedar	7		4344	Red Cedar	7		4468	Burr oak	14		4558	Siberian Elm	13	diseased	4654	Red oak	11		4774	Red Cedar	8	
4065	Red Cedar	5		4227	Red Cedar	12		4346	Siberian Elm	10		4469	Colorado blue spruce	16	cut branches	4559	Scots pine	11		4655	Red oak	8		4776	Red Cedar	6	
4066	Red Cedar	7		4228	Scots pine	12		4347	Siberian Elm	10		4470	Siberian Elm	8		4560	Red oak	8		4656	Burr oak	8		4777	Red Cedar	8	
4076	Red Cedar	10		4230	Red Cedar	8		4348	Red Cedar	6		4471	colorado bl	14		4561	Siberian Elm	12		4657	re doa	9		4779	Red Cedar	8	
4080	Siberian Elm	8		4232	Scots pine	4	dying	4349	Red Cedar	7		4472	Colorado blue spruce	15	cut branches	4562	Siberian Elm	14		4658	Red oak	9		4780	Red Cedar	8	
4081	Siberian Elm	9		4233	Red Cedar	4		4350	Red Cedar	5		4473	Siberian Elm	10		4565	Siberian Elm	12	diseased	4659	Red oak	8		4781	Red Cedar	6	
4082	Red Cedar	7		4234	Scots pine	4		4351	Red Cedar	7		4474	White Pine	8		4567	Red Cedar	5		4660	Black cherry	8		4782	Red Cedar	6	
4085	Red Cedar	5		4236	Scots pine	4		4352	Red Cedar	8		4476	Scots pine	6		4568	Red Cedar	4		4661	Burr oak	16		4783	Red Cedar	5	
4086	Red Cedar	4		4238	Red Cedar	6		4354	Red Cedar	7		4477	White Pine	4		4569	Red Cedar	4		4662	Burr oak	23		4784	Red Cedar	5	
4087	Red Cedar	4		4241	Scots pine	4		4355	Red Cedar	5		4478	Scots pine	4		4570	Red Cedar	4		4663	Burr oak	12		4785	Red Cedar	10	
4090	Red Cedar	8		4242	Scots pine	10		4356	Red Cedar	7		4479	Colorado blue spruce	15	diseased	4571	Red Cedar	5		4664	Red Cedar	6		4786	Red Cedar	8	
4092	Red Cedar	5		4243	Red Cedar	6		4357	Red Cedar	7		4480	Colorado blue spruce	17	diseased	4572	Red Cedar	4		4665	Red oak	4		4787	Red Cedar	5	
4093	Red Cedar	6		4244	Red Cedar	5		4358	Red Cedar	6		4481	Red pine	5		4573	Red Cedar	4		4666	Scots pine	16		4788	Scots pine	5	
4094	Red Cedar	6		4245	Red Cedar	7		4361	Siberian Elm	9		4482	Colorado green spruce	12		4574	Red Cedar	5		4667	Red Cedar	7		4789	Red Cedar	8	
4095	Red Cedar	6		4247	Red Cedar	6		4364	Red Cedar	5		4483	White Spruce	13		4575	Red Cedar	4		4668	Red Cedar	4		4790	Scots pine	4	
4096	Red Cedar	10		4249	Red Cedar	4		4365	Scots pine	13		4484	White Spruce	12		4576	Colorado blue spruce	8	diseased	4670	Red Cedar	5		4791	Scots pine	10	
4102	Red Cedar	5		4250	Red Cedar	5		4366	Scots pine	4		4485	White Spruce	9		4577	Colorado blue spruce	5	diseased	4671	Red Cedar	4		4792	Red Cedar	4	
4103	Red Cedar	4		4251	Red Cedar	4		4367	Red Cedar	7		4486	White Pine	5		4578	White Spruce	6	diseased	4673	Red Cedar	10		4793	Red Cedar	5	
4106	Red Cedar	6		4252	Red Cedar	6		4371	Red Cedar	6		4487	White Pine	4		4579	Colorado blue spruce	5	diseased	4675	Red Cedar	5		4795	Red Cedar	5	
4111	Scots pine	5		4253	Scots pine	5		4372	Scots pine	4		4488	White Pine	4		4580	Colorado blue spruce	5	diseased	4676	Scots pine	4		4796	Scots pine	8	
4123	Siberian Elm	8		4254	Red Cedar	4		4374	Red Cedar	11		4489	Siberian Elm	8		4581	Colorado blue spruce	6	diseased	4677	Red Cedar	6		4797	Red Cedar	7	
4126	Red Cedar	6		4255	Scots pine	5		4377	Red Cedar	4		4490	Red Cedar	4		4582	White Spruce	5	diseased	4678	Red Cedar	5		4798	Red Cedar	6	
4128	Red Cedar	9		4256	Red Cedar	7		4378	Scots pine	4		4491	White Spruce	8		4583	Colorado blue spruce	4		4679	Red Cedar	6		4799	Red Cedar	10	
4130	Red Cedar	7		4259	Scots pine	4		4379	Red Cedar	7		4492	White Spruce	12	diseased	4584	Colorado blue spruce	5	diseased	4680	Red Cedar	6		4800	Red Cedar	5	
4132	Red Cedar	9		4260	Red Cedar	5		4381	Scots pine	5		4493	White Spruce	9		4585	Colorado blue spruce	5	diseased	4681	Red Cedar	8		4802	Red Cedar	6	
4133	Siberian Elm	9		4261	Red pine	9		4382	Scots pine	4		4494	White Pine	4		4586	Colorado blue spruce	4	diseased	4682	Red Cedar	5		4803	Red Cedar	8	
4																											

PLOT DATE: 12/29/2017 10:55:26 AM FILE: C:\Users\bjhunin\Desktop\170163 Eric Thompsons Armstrong Blvd\600 Drawings\Survey\170163 preliminary plat 12-21-17.dwg

TREES REMOVED
HOME CONSTRUCTION

Tag ID	Species	DBH	Notes	Tag ID	Species	DBH	Notes
4010	Red Cedar	5		4710	Red Cedar	7	
4017	Red Cedar	5		4711	Scots pine	7	
4043	Red Cedar	5		4712	Red Cedar	4	
4044	Red Cedar	5		4713	Red Cedar	4	
4054	Red Cedar	6		4714	Red Cedar	4	
4055	Red Cedar	6		4715	Red Cedar	12	diseased
4056	Red Cedar	7		4716	Red Cedar	12	
4060	Red Cedar	7		4717	Red oak	6	
4062	Red Cedar	5		4718	Red Cedar	4	
4063	Red Cedar	6		4719	Red Cedar	7	
4064	Red Cedar	5		4720	Red Cedar	5	
4067	Red Cedar	7		4721	Red oak	7	
4068	Red Cedar	7		4722	Burr oak	7	
4069	Red Cedar	7		4723	Red Cedar	7	
4070	Red Cedar	5		4734	Red Cedar	5	
4071	Red Cedar	7		4738	Red Cedar	8	
4072	Red Cedar	6		4747	Red Cedar	6	
4073	Scots pine	20		4750	Siberian Elm	10	
4074	Red Cedar	10		4775	Red Cedar	8	
4075	Scots pine	10		TOTAL	CALIPER INCHES	755	
4077	Scots pine	4					
4078	Red Cedar	10					
4088	White Pine	11					
4109	Red Cedar	6					
4116	Red Cedar	6					
4117	Siberian Elm	11					
4118	Siberian Elm	9					
4119	Siberian Elm	10					
4120	Siberian Elm	12					
4121	Siberian Elm	10					
4122	Siberian Elm	10					
4129	Red Cedar	7					
4135	Red Cedar	6					
4141	Red Cedar	5					
4143	Red Cedar	7					
4148	Red Cedar	6					
4153	Red Cedar	6					
4156	Red Cedar	6					
4158	Red Cedar	5					
4164	Red pine	7					
4168	Red Cedar	5					
4169	Red Cedar	7					
4196	Red Cedar	6					
4201	White Pine	12					
4203	Siberian Elm	8					
4212	Red Cedar	6					
4220	Red Cedar	4					
4221	Red Cedar	8					
4222	Red Cedar	7					
4224	Red Cedar	6					
4225	Red Cedar	6					
4229	Red Cedar	5					
4231	Red Cedar	7					
4235	Red Cedar	7					
4237	Red Cedar	8					
4239	Red pine	8					
4240	Scots pine	4	diseased				
4248	Scots pine	9					
4257	White Pine	4					
4264	White Pine	4					
4268	Red Cedar	5					
4273	Red Cedar	4					
4276	Red Cedar	4					
4280	Red Cedar	6					
4282	Red Cedar	6					
4286	Red Cedar	8					
4293	Red Cedar	6					
4294	Red Cedar	8					
4295	White Pine	15					
4323	Red Cedar	6					
4353	Red Cedar	6					
4359	Scots pine	8					
4362	Black cherry	8					
4380	Red Cedar	4					
4390	Red Cedar	6					
4408	Scots pine	5	dead				
4413	Red Cedar	9					
4416	Red Cedar	6					
4421	Red Cedar	8					
4427	Red Cedar	5					
4435	Red Cedar	4					
4441	Red Cedar	9					
4443	Red Cedar	12					
4445	Red Cedar	5					
4447	Red Cedar	6					
4450	Red Cedar	6					
4451	Red Cedar	6					
4460	Siberian Elm	10	dying				
4628	Red Cedar	8					

TREES REMOVED
PONDS

Tag ID	Species	DBH	Notes
4021	Red Cedar	6	
4022	Red Cedar	4	
4023	Red Cedar	7	
4024	Red Cedar	5	
4027	Red Cedar	4	
4033	Red Cedar	10	
4038	Red Cedar	6	
4046	Red Cedar	8	
4047	Red Cedar	6	
4049	Red Cedar	12	
4053	Red Cedar	6	
4057	Red Cedar	4	
4079	Red Cedar	6	
4083	Red Cedar	6	
4084	Red Cedar	7	
4089	Red Cedar	5	
4091	Red Cedar	7	
4097	Red Cedar	5	
4098	Red Cedar	6	
4099	Red Cedar	6	
4100	Red Cedar	6	
4101	Red Cedar	5	
4104	Red Cedar	5	
4105	Red Cedar	7	
4107	Red Cedar	7	
4108	Red Cedar	6	
4110	Red Cedar	6	
4112	Red Cedar	6	
4113	Red Cedar	4	
4114	Red Cedar	6	
4115	Red Cedar	6	
4124	Red Cedar	7	
4127	Red Cedar	6	
4131	Red Cedar	7	
4142	Red Cedar	5	
4150	Red Cedar	5	
4151	Red Cedar	7	
4154	Red Cedar	5	
4159	Red Cedar	6	
4204	Red Cedar	5	
4205	Siberian Elm	15	
4206	Red Cedar	6	
4246	Red Cedar	5	
4271	Scots pine	5	
4275	Red Cedar	7	
4292	Red Cedar	6	
4363	Scots pine	4	
4368	Red Cedar	4	
4369	Red Cedar	6	
4370	Red pine	13	
4373	Red Cedar	5	
4375	Red Cedar	5	
4376	Red Cedar	10	
4389	Scots pine	12	
4475	Colorado blue spruce	18	diseased
4563	Red Cedar	4	
4564	Red Cedar	7	
4566	Red Cedar	6	
4632	Siberian Elm	13	
4640	Siberian Elm	10	
4669	Red Cedar	12	
4672	Red Cedar	7	
4674	Red Cedar	4	
4675	Red Cedar	5	
4685	Red Cedar	4	
4689	Red Cedar	14	
4695	Red Cedar	4	
4697	Red Cedar	10	
4746	Red Cedar	6	
4748	Scots pine	11	
4752	Red pine	12	
4762	Red Cedar	5	
4769	Red pine	7	
4778	Red Cedar	10	
4794	Scots pine	4	
4801	Red Cedar	10	
4804	Red Cedar	8	
4807	red cce	8	
4808	Red Cedar	4	
4809	Scots pine	4	
4812	Red Cedar	6	
4822	Red pine	8	
TOTAL	CALIPER INCHES	567	

TREES REMOVED
ROADS

Tag ID	Species	DBH	Notes
4016	Red Cedar	8	
4019	Red Cedar	5	
4031	Red Cedar	9	
4032	Red Cedar	5	
4125	Red Cedar	5	
4167	Red Cedar	5	
4214	Scots pine	5	dead
4258	Red Cedar	6	
4281	Red Cedar	5	
4288	Scots pine	12	
4301	Siberian Elm	8	
4302	Siberian Elm	8	
4312	Red Cedar	6	
4345	Siberian Elm	10	
4360	Siberian Elm	8	
4396	Red Cedar	5	
4397	Red Cedar	4	
4398	Red Cedar	5	
4405	Siberian Elm	8	
4422	Red Cedar	5	
4434	Red Cedar	4	
4461	Red oak	6	
4635	Siberian Elm	12	
4756	Red Cedar	6	
TOTAL	CALIPER INCHES	160	

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
NAME: _____ LIC. NO. ____ DATE 00-00-2018

DESIGNED
B/JH
DRAWN
B/JH
CHECKED
..



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RUM RIVER PRAIRIE DEVELOPMENT

SITE TREE PLAN

SHEET T3

CITY OF RAMSEY LAND USE APPLICATION
TECHNICAL REVIEW FILE

DATE	JANUARY 18, 2018	PROJECT ADDRESS	NORTH AND SOUTH OF ARMSTRONG STREET AND WEST OF TIGER STREET NW
PROJECT. TITLE	RUM RIVER PRAIRIE PRELIMINARY PLAT AND VARIANCE		
ESCROW #	115968		
DEPARTMENT:	Community Development: Planning Division (Zoning Code)		
TECHNICAL REVIEWER:	Name: Chris Anderson, City Planner Phone: 763-433-9817 Email: canderson@cityoframsey.com		

The proposed subdivision would create twenty-five (25) new single family residential lots in the R-1 Residential (Rural Developing) District. Minimum lot size is 2.5 acres and the homes would be serviced with private wells and septic systems. One of the lots would require a variance to the lot size standard (Lot 1, Block 4) as it is only 1.37 acres in size. At the time of Sketch Plan review, the Planning Commission has expressed support for this since this land is separated from the rest of the project by existing roadways (Armstrong Boulevard and Tiger Street).

We offer the following comments on the fifteen (15) page plan set prepared by LHB.

Sheet L1

- Each lot is required to have two (2) front yard trees installed. While each lot is showing two (2) trees, some lots, such as Lot 1, Block 3, has one of the trees positioned along the side of the home. At the time of installation, trees must clearly be in the front yard.
- Revisions to the proposed tree save fencing must be incorporated so that there is no confusion or uncertainty in the field, for either the contractor(s) or inspector(s), as to what trees are to be saved and what trees can be removed.
- Note that any land disturbed as a part of development is subject to the topsoil requirement. While the topsoil standard is already listed on the plan sheet, Staff would like to remind the developer that minimizing the area(s) disturbed throughout construction will reduce the amount, and therefore the cost, of compliance with this standard.
- ADVISORY COMMENT: Additional landscaping may be warranted in the rear yards of those lots backing up to Armstrong Blvd, in the form of a possible berm and evergreen trees. This likely would help reduce noise generated from traffic on Armstrong Blvd (may also be identified in the noise study).
- ADVISORY COMMENT: Staff would encourage the Developer and/or builder and/or homeowner to not establish turf grass across all portions of the new lots but rather consider either maintaining the existing vegetation in the rear portions of the lots and/or seeding with an appropriate native seed mix. This would not only reduce the need for irrigation but would also reduce the amount of mowing in the future while also creating a more pollinator friendly landscape.

Sheet T1

- Tree save fencing must be installed no closer than the dripline of a tree or group of trees to be preserved (not next to the tree trunk) to protect the critical root zone.

- Revisions to the proposed tree save fencing must be incorporated so that there is no confusion or uncertainty in the field, for either the contractor(s) or inspector(s), as to what trees are to be saved and what trees can be removed.
- There are multiple instances where trees are shown to be saved but in reality may not make sense. Examples would be trees located between two primary drainfields and trees directly adjacent to a house pad. Due to the excavation that would be required, this may result in significant root damage. These trees should likely be removed or the location of the house pad and/or drainfield should be adjusted.
- If there are adjustments made, than Sheets T2 and T3 must be updated accordingly.

Sheet G1-G3

- Update the tree save fencing on these sheets in accordance with the comments noted above regarding Sheet T1 and L1.

5.03: Consider Sketch Plan for Rum River Prairie

City Planner Anderson presented the staff report. He stated that the purpose of tonight's case is to introduce the EPB to a proposed Sketch Plan for Rum River Prairie. He advised that the proposed development is located along both sides of Armstrong Boulevard, north of Tiger Street. He stated that the proposed development would include 21 single-family lots that would meet the requirements of the underlying zoning district and therefore would not appear to require a Comprehensive Plan or zoning amendment. He reviewed information on the natural resources inventory in relation to the property. He identified a potential lot width concern with one five-acre lot and the size of Outlot A. He noted that this request seems pretty straight forward with the potential for one variance for the lot width on the five-acre lot on the cul-de-sac. He noted that there are wetlands on the site that will need to be delineated. He stated that the developer is working hard to minimize the amount of impact.

Board Member Anderson asked for input on a symbol used on the sketch.

City Planner Anderson noted that he would follow up to determine the meaning of the symbol. He reviewed the elements that would be part of the next phase of review.

Chairperson Stodola asked and received consensus that the overall goals for the last two cases would carry forward.

Board Member Hiatt asked if the developer has a positive history with the community.

City Planner Anderson provided details on the developer's experience within Ramsey.

Councilmember LeTourneau asked for a refresh on the criteria that were recommended for the previous cases that could carry forward to this case.

City Planner Anderson noted that in the past cases there was a mention of the possibility to reuse stormwater pond water for irrigation. He stated that element may only be applicable for cases with a homeowners' association and not so much in this type of case where the properties are individually owned and there are not common areas. He summarized the other comments including the use of rain gardens and native plantings. He noted that the boulevard trees and density transitioning may not be applicable in this situation.

Environmental Policy Board (EPB)

5. 2.

Meeting Date: 01/22/2018

By: Chris Anderson, Community Development

Information

Title:

2018 Recycling Program

Purpose/Background:

Funding for the City's recycling program is provided by the State of Minnesota through SCORE (the Select Committee on Recycling and the Environment). Monies are disbursed to each county who can then determine how those funds are utilized. Anoka County disburses the funds to each municipality with a base of \$10,000 plus an additional \$5.00 per household. There are also enhancement funds available as well. In past years, these were broken into specific categories (e.g. drop off center, parks recycling, multi-unit recycling, organics, etc.); however, for 2018, the County has modified the funding allocation to simply things. The following categories still exist: Drop-Off events, Organics, and General Enhancements. There is now also an "Additional Grant Program" category, which a municipality can request up to an additionally \$30,000 for potential projects.

Staff does not have any specific, large scale recycling projects in mind. But, we wanted to provide the EPB an opportunity to provide some input on potential programming that it feels would be beneficial to the residents AND increase the amount of materials recycled. Staff will be pursuing funding to continue with our Parks Recycling, our Organics Drop-off Program, and potentially to fund some sort of yard waste drop-off opportunity in the fall. This is an opportunity for the Board to give some input and feedback on other possible programming and/or projects that could be considered. Applications are due to the County no later than January 31, 2018.

Action:

Based on discussion but if the Board does identify additional recycling programming and/or projects, a motion to support pursuing that would be helpful.

Attachments

Funding Presentation from Anoka County

Funding Allocation for 2018

Enhancement Application

Form Review

Inbox

Tim Gladhill

Form Started By: Chris Anderson

Final Approval Date: 01/19/2018

Reviewed By

JoAnn Shaw

Date

01/19/2018 12:28 PM

Started On: 01/19/2018 11:30 AM

2018 ANOKA COUNTY MUNICIPAL FUNDING AND GOALS

11-15-17 RECYCLING COORDINATOR MEETING

Metro Residential Recycling Program Funding Comparison

County	2016 Population	2016 Households	2018 Total Funding Available to Communities	2018 Funding Provided Per Household	% of SCORE Funds to Communities	LRDG Funds	Other Funding Sources
Washington	253,128	94,044	\$ 432,582	\$ 4.60	None	Yes	Yes
Anoka	348,652	128,135	\$ 1,537,522	\$ 12.00	100%	Yes	Yes
Dakota	418,432	160,890	\$ 536,679	\$ 3.34	None	Yes	Yes
Ramsey	540,653	212,672	\$ 1,291,709	\$ 6.07	84%	No	No
Hennepin	1,237,604	511,519	\$ 3,520,049	\$ 6.88	100%	No	No

ANOKA COUNTY FUNDING

- Base Funding \$10,000 + \$5.00/Household (HH)
- Enhancement Funding:
 - Drop-off \$10,000 or \$15,000
 - General \$1/HH
 - Organics \$.50/HH or \$1/HH
 - Additional Enhancements \$30,000



2017 ENHANCEMENT FUNDING COMPARED TO 2018 ENHANCEMENT FUNDING

2017 Enhancement Funding Categories					
Monthly or quarterly drop-off	Full service drop-off	Park and Community Event	Curbside and Multi-family	General Enhancement	Organics Grant
\$10,000 or \$15,000	\$30,000 for those that qualified	\$1,000 to \$3,000	\$2,000 to \$6,000	\$0.50/HH	\$1/HH

2018 Enhancement Funding Categories				
Monthly or quarterly drop-off	General Enhancement	Organics Grant	Organics Grant	Additional Grant Program
\$10,000 or \$15,000	\$1/HH	\$0.50/HH – those without programs	\$1/HH – those with organics programs	Up to \$30,000 for those that apply and projects qualify

TOTAL FUNDS BUDGETED FOR MUNICIPAL FUNDING

- 2017 \$1,536,699
- 2018 \$1,537,522
- County funds this by SCORE funds plus some LRDG and SWMC funds

RECYCLING GOALS

- State Goal: 75% recycling rate by 2030
- County sets municipal recycling goals
- Municipalities develop residential recycling programs
- County supports municipal residential programs with grant funding and technical assistance

Anoka County Resources Managed in 2016 and State Objectives

Program Area	Actual			State Objectives		
	2014	2015***	2016***	2020	2025	2030
Waste Reduction/ Reuse	NA*	NA*	NA*	2-4%	3-5%	4-6%
Recycling	50%	51%	52%**	51-59%	55-66%	75%
Resource Recovery	30%	26%	26%	32-33%	30-31%	24-28%
Landfill	20%	24%	23%	17%	15%	9%

Waste Reduction and Reuse measurement to be determined by the MPCA

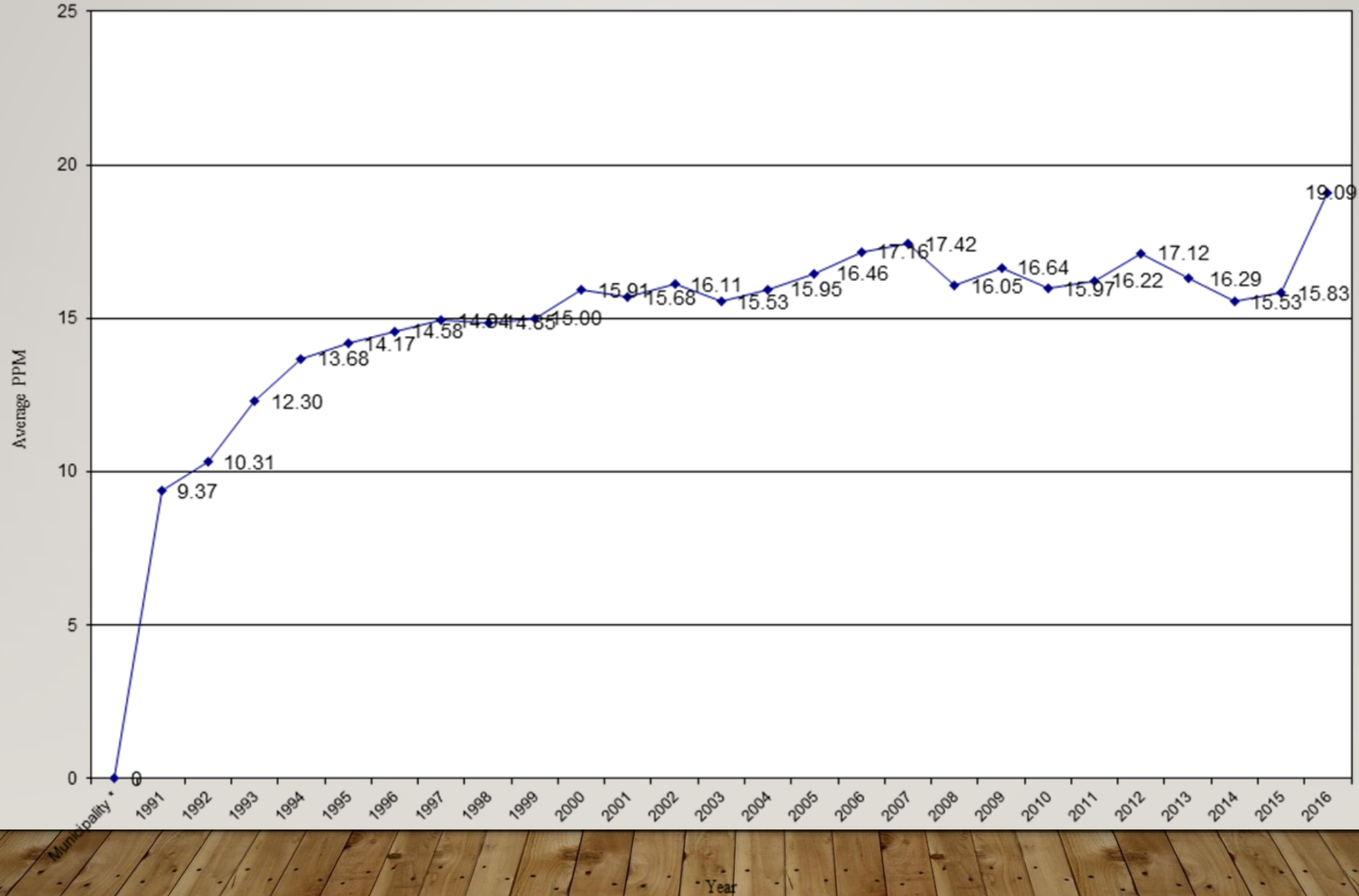
2016 52% (Recycling 44% + Organics 8%)

Due to rounding, the 2015 and 2016 totals do not total 100%

2018 RECYCLING GOALS

- 160 pounds per person multi-family (same as 2017)
 - Multi-family units with 5 or more units
- 210 pounds per person single family (10 pound increase)
 - Single family
 - Townhomes
 - Duplex, triplex and quad homes

Anoka County Pounds per Person per Month (Residential Drop-off and Curbside Recycling)



MUNICIPAL RECYCLING PROGRAM REQUIREMENTS

The recycling program shall be operated in compliance with all applicable federal, state, and local laws, ordinances, rules and regulations.

- Minn. Stat. § 115A.551 Defines recycling and sets goals
- Minn. Stat. § 115A.552 Describes opportunity to recycle

MUNICIPAL RECYCLING PROGRAM REQUIREMENTS

Each household (including multi-unit households) in the Municipality shall have the opportunity to recycle at least four broad types of materials, such as paper (including cardboard/ paperboard cartons), glass, plastic, metal and textiles.



PUBLIC ENTITY RECYCLING AND WASTE

- The Municipality shall provide recycling opportunities in all municipal buildings including but not limited to, city offices, public meeting rooms and parks, as required by Minn. Stat. § 115A.151.
- If items collected through the Municipal recycling program prove to be contaminated or not recyclable, those items shall be treated as public entity waste and must be processed at a resource recovery facility.

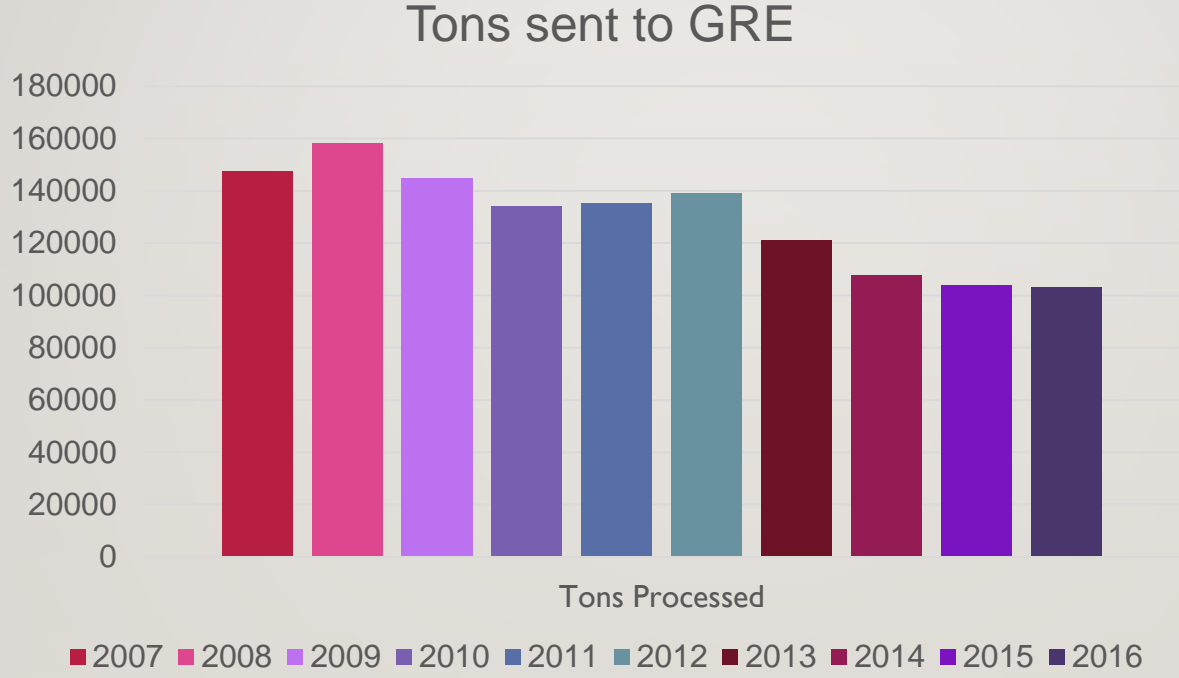


MUNICIPAL DISPOSAL REQUIREMENTS

State Statutes Regarding Disposal

- Minn. Stat. § 115A.46 Solid Waste Master Plan requirements reducing land disposal of Municipal Solid Waste (MSW)
- Minn. Stat. § 115A.471 Public entities; management of solid waste
- Minn. Stat. § 473.848 Restriction on disposal

PROCESSING TONS 2007 - 2016



ELIGIBLE EXPENSES

- Expenses for recycling projects/programs to assist the municipality in meeting its recycling goal
 - Collection
 - Equipment
 - Promotion
- Cost of salaries and legal costs of personnel who are directly working on the planning, implementation and promotion of eligible activities

PUBLIC INFORMATION PROGRAM SHALL INCLUDE

- One promotion is to be mailed to each household focused exclusively on the Municipality's recycling program;
- One promotion advertising recycling opportunities available for residents is to be included in the Municipality's newsletter or local newspaper; and
- Two community outreach activities at municipal events to inform residents about recycling opportunities.

PUBLIC INFORMATION MATERIALS

Municipalities Shall:

- Provide public information materials to the county for review prior to publication
- Focus on all recyclable materials and the various opportunities to reduce, reuse, recycle and compost within the Municipality
- Incorporate Rethink Recycling images and use toolkits provided when preparing promotional materials
- Identify new residents and provide detailed information on the recycling opportunities available to these new residents

ACKNOWLEDGE FUNDING ON PROMOTIONS

- The Municipality shall acknowledge the financial assistance of the County on all promotional materials, reports and publications relating to the activities funded under this Agreement, by including the following acknowledgement: “Funded by the Anoka County Board of Commissioners and State SCORE (Select Committee on Recycling and the Environment) funds.”
- The Municipality shall provide copies of all promotional materials funded by SCORE funds.

PUBLICATIONS: COUNTY FACILITY INFORMATION

- The County shall provide all printed public information pieces about County programs. A municipality shall not modify County publications related to business recycling, household hazardous waste management or the County compost sites.
- Information about the County's business recycling program, household hazardous waste management program or County compost sites that a municipality plans to publish in a municipal communication, printed or electronic, shall be provided to the County for review and approved by the County prior to publication to ensure accuracy and consistency.

VARIOUS ENHANCEMENT ACTIVITIES



ADDITIONAL RECYCLING OPPORTUNITIES

- Provide the opportunity for citizens to engage in recycling and organics activities at municipal and quasi-municipal facilities and events
- Develop enhanced recycling promotion and assistance for multi-units
- Organize monthly/quarterly recycling drop-offs which can be held in conjunction with neighboring municipality(ies) on a cooperative basis for the citizens of both/all municipalities



SOURCE SEPARATED ORGANICS OPPORTUNITIES

- Develop additional opportunities for source-separated organics drop-offs
- Implement curbside organics collection
- Add organics collection at city/town halls
- Promote organics collection to residents



REVIEW OF CONTRACT AND FORMS

- Contract
- Attachment A
- Attachment B
- Reporting forms

ANOKA COUNTY WANTS TO SUPPORT YOUR EFFORTS AND WORK COLLABORATIVELY



Attachment A

2018 Funding for Municipal Waste Abatement Programs

Municipality	2018 Base Funding and Goals							2018 Additional Enhancement Funds Available*						
	Base Funding: \$10,000 + \$5 Per HH (Household)						Goals: 160 PP MF + 210 PP SF	Monthly /Quarterly Drop-off Events		General Enhancement Grant \$1/HH	Organics Grant \$0.50/HH	Organics Grant \$1/HH	Additional Grant Program	Total Funds Available for Base + Drop-off, General Enhancement and Organics Enhancement Funds
	Contract Number	Total Pop	HH	\$10,000 Base	\$5.00/HH	Total		Up to 4,999 households	5,000 + households	All municipalities are eligible equally	Municipalities that do not have curbside or drop-off programs	Municipalities that have curbside or drop-off programs	If awarded, amount will be added to total funds available	
							\$10,000	\$15,000				up to \$30,000		
Andover	C0006176	32,335	10,391	\$ 10,000.00	\$ 51,955.00	\$ 61,955.00	3,371		\$ 15,000	\$ 10,391	\$ 5,195.50		\$ 92,541.50	
Anoka	C0006177	17,995	7,436	\$ 10,000.00	\$ 37,180.00	\$ 47,180.00	1,726		\$ 15,000	\$ 7,436	\$ 3,718.00		\$ 73,334.00	
Bethel	C0006178	461	174	\$ 10,000.00	\$ 870.00	\$ 10,870.00	48	\$ 10,000		\$ 174	\$ 87.00		\$ 21,131.00	
Blaine	C0006179	64,188	23,586	\$ 10,000.00	\$ 117,930.00	\$ 127,930.00	6,488		\$ 15,000	\$ 23,586	\$ 11,793.00		\$ 178,309.00	
Centerville	C0006180	3,958	1,351	\$ 10,000.00	\$ 6,755.00	\$ 16,755.00	409	\$ 10,000		\$ 1,351	\$ 675.50		\$ 28,781.50	
Circle Pines	C0006181	4,909	2,021	\$ 10,000.00	\$ 10,105.00	\$ 20,105.00	502	\$ 10,000		\$ 2,021	\$ 1,010.50		\$ 33,136.50	
Columbia Heights	C0006182	20,158	8,155	\$ 10,000.00	\$ 40,775.00	\$ 50,775.00	2,030		\$ 15,000	\$ 8,155		\$ 8,155	\$ 82,085.00	
Columbus	C0006183	3,870	1,425	\$ 10,000.00	\$ 7,125.00	\$ 17,125.00	406	\$ 10,000		\$ 1,425		\$ 1,425	\$ 29,975.00	
Coon Rapids	C0006184	62,726	24,235	\$ 10,000.00	\$ 121,175.00	\$ 131,175.00	6,330		\$ 15,000	\$ 24,235		\$ 24,235	\$ 194,645.00	
East Bethel	C0006185	11,788	4,155	\$ 10,000.00	\$ 20,775.00	\$ 30,775.00	1,219	\$ 10,000		\$ 4,155	\$ 2,077.50		\$ 47,007.50	
Fridley	C0006186	28,631	11,578	\$ 10,000.00	\$ 57,890.00	\$ 67,890.00	2,770		\$ 15,000	\$ 11,578	\$ 5,789.00		\$ 100,257.00	
Ham Lake	C0006187	15,891	5,406	\$ 10,000.00	\$ 27,030.00	\$ 37,030.00	1,642		\$ 15,000	\$ 5,406		\$ 5,406	\$ 62,842.00	
Hilltop	C0006188	784	394	\$ 10,000.00	\$ 1,970.00	\$ 11,970.00	68	\$ 10,000		\$ 394	\$ 197.00		\$ 22,561.00	
Lexington	C0006189	2,018	782	\$ 10,000.00	\$ 3,910.00	\$ 13,910.00	200	\$ 10,000		\$ 782	\$ 391.00		\$ 25,083.00	
Lino Lakes	C0006190	20,803	6,529	\$ 10,000.00	\$ 32,645.00	\$ 42,645.00	2,158		\$ 15,000	\$ 6,529		\$ 6,529	\$ 70,703.00	
Linwood Township	C0006191	5,359	1,959	\$ 10,000.00	\$ 9,795.00	\$ 19,795.00	558	\$ 10,000		\$ 1,959		\$ 1,959	\$ 33,713.00	
Nowthen	C0006192	4,548	1,494	\$ 10,000.00	\$ 7,470.00	\$ 17,470.00	477	\$ 10,000		\$ 1,494	\$ 747.00		\$ 29,711.00	
Oak Grove	C0006193	8,360	2,861	\$ 10,000.00	\$ 14,305.00	\$ 24,305.00	874	\$ 10,000		\$ 2,861	\$ 1,430.50		\$ 38,596.50	
Ramsey	C0006194	26,251	8,973	\$ 10,000.00	\$ 44,865.00	\$ 54,865.00	2,696		\$ 15,000	\$ 8,973		\$ 8,973	\$ 87,811.00	
Spring Lake Park	C0006195	6,219	2,607	\$ 10,000.00	\$ 13,035.00	\$ 23,035.00	622	\$ 10,000		\$ 2,607		\$ 2,607	\$ 38,249.00	
St. Francis	C0006196	7,400	2,623	\$ 10,000.00	\$ 13,115.00	\$ 23,115.00	751	\$ 10,000		\$ 2,623	\$ 1,311.50		\$ 37,049.50	
		348,652	128,135	\$ 210,000.00	\$ 640,675.00	\$ 850,675.00	35,347	\$ 120,000	\$ 135,000	\$ 128,135	\$ 34,423.00	\$ 59,289	\$ 210,000	\$ 1,537,522.00

2018 Total Allocation includes state SCORE and LRDG funds and additional budgeted program funding.
 Population and Household Counts are based on 2016 Met Council Estimates
 Goals are based on 210 pounds/person/year single family home up to 4 units and 160 pounds/person/year multi-units 5 units or more

*For all enhancement funds, municipalities must complete Attachment B and qualify.

Attachment B

2018 Grant Funding

Applications due January 31, 2018

The City or Town of _____ is requesting the following funding for their municipal program abatement efforts in 2018.

General Instructions

Eligible Expenses:

Staffing: Salary and benefits to cover a portion of full-time or part-time recycling program staff who are directly working on the planning, implementation and promotion of waste reduction, recycling and composting programs can be covered with base funding.

Collection Costs: If residents are charged recycling fees for curbside or recycling events, waste abatement funds will reimburse the difference between the fees collected and the cost of recycling or composting the materials.

Equipment: The cost to purchase, maintain and repair equipment that is used exclusively to operate the recycling or composting program.

Containers: The cost for recycling or organics containers.

Promotion: The percentage of cost for the portion of a municipal newsletter dedicated to waste reduction, recycling or composting information.

Ineligible Expenses:

The following costs should not be submitted for reimbursement from dedicated waste abatement funds (SCORE, LRDG and SWMC).

General Municipal Staff: Administrative, clerical, finance and legal staff that provide general support to municipal employees at the city or town.

General Operational Costs/Building Overhead: Since most of the municipal recycling coordinators are part-time positions and staff serve multiple roles at the city/township, it is assumed that the general cost of space, office equipment and basic office supplies would need to be provided with or without the recycling program, therefore, these costs are not eligible for reimbursement.

Project Costs: Specific to energy or ground water protection.

Collection Costs: General waste and recycling costs for the collection of materials from municipal buildings, trash costs when accepted at a recycling/cleanup day or costs associated with road side cleanup of illegally dumped materials.

Attachment B

2018 Base Funding Grant Application Form

Since the start of SCORE (Select Committee On Recycling and the Environment) funding, a similar formula has been distributed to municipalities, \$10,000 base and \$5/household.

This amount should pay for the basic program elements including the percentage of time the recycling coordinator spends on recycling duties, regular curbside collection costs, general operations of a drop-off center, costs for spring and fall recycling days, basic promotion costs and yard waste collection costs.

BASE FUNDING REQUESTED+A35:CA35:B77	Dollar Amount
Administration	
% of time for Recycling Coordinator	
Other Staff that directly administer the recycling program	
Office supplies needed for recycling program	
Training/Mileage/Dues	
<i>Subtotal</i>	\$ -
Curbside Collection	
Estimated curbside collection contract costs	
Estimated curbside collection revenue	
<i>Difference that requires funding</i>	<i>Subtotal</i> \$ -
Regular Drop-off Expenses	
Equipment - standard equipment maintenance	
Facility costs e.g. electricity, rent, supplies, trash removed from recyclables	
Service Providers/collection costs	
Labor	
Estimated revenue	
<i>Difference that requires funding</i>	<i>Subtotal</i> \$ -
Promotion	
Printing	
Postage	
Advertising	
Incentive products	
Contracted performances e.g. Climb, Tricia and the Toonies	
<i>Subtotal</i>	\$ -
Yard Waste	
Special Collections for leaves/grass and tree waste	
Estimated Curbside Collection Contract Costs	
Estimated Curbside Collection Revenue	
<i>Difference that requires funding</i>	<i>Subtotal</i> \$ -
Problem Materials	
Tires	
Oil	
Estimated revenue from oil	
<i>Difference that requires funding</i>	<i>Subtotal</i> \$ -
Total Base Funding Requested	
	\$ -

Attachment B

2018 Municipal Program Enhancement Grant Application

There is \$686,847 available for enhancement activities. When the county started offering additional enhancement grants, the intent was to make these funds available to collect more materials to help the county meet its 75% recycling/composting goal by 2030. This attachment is an application form. All communities must apply for these funds and explain what projects they are proposing that meet the following categories.

Monthly/Quarterly Drop-off Events Grant

- \$10,000 is available for communities with up to 4,999 households
- \$15,000 is available for communities with 5,000 or more households

Additional Drop-off Collection Programs

From the list of targeted materials, it is expected that spring and fall drop-off recycling events will accept appliances, automotive products, bicycles, carpet, confidential paper, electronics, fluorescent lamps, household batteries, mattresses and scrap metal from residents. This funding is provided for additional events beyond the regularly scheduled spring and fall recycling days.

Program Costs for Collecting the Following Targeted Materials

Examples of materials that can be collected for reuse/recycling/composting:

Standard Recyclable Materials Collected at Drop-off Events		Additional Items
Appliances	Fluorescent Bulbs	Block n Shape Polystyrene
Automotive Products	Household Batteries	Furniture*
Bicycles	Mattresses*	Small Household Goods
Carpet*	Scrap Metal	Source Separated Organics
Confidential Paper		Vinyl Siding
Electronics		Yard Waste

None of these materials should be advertised and then collected as trash, specifically those items marked with the *.

Items that should be evaluated for reuse prior to recycling:

Bicycles	Clothing	Furniture	Mattresses
----------	----------	-----------	------------

Special Monthly/Quarterly Drop-off Events	
Equipment	
Service Providers/Collection Costs	
Promotional Coupon Costs	
Labor - Staff/organizations	
Other	
Full Service Drop-off Center	
Equipment	
Service Providers/Collection Costs	
Additional staffing requirements	
Total Drop-off Program Request	\$ -

Please describe the additional drop-off activities and how they will increase the amount of material collected for recycling.

Attachment B

General Enhancement Grant – \$1/household – all municipalities are all eligible for this regardless of size

Eligible categories are listed below. Staffing for multi-family outreach, park recycling or dedicated recycling program interns, event recycling expenses, new recycling containers and promotional materials for additional recycling opportunities are some examples of eligible expenses.

Park Recycling		
-- Recycling Containers	Price/container	
-- Recycling Bags		
Service Providers/Collection Costs		
Labor - Staff costs needed for collection		
<i>Park Recycling Subtotal</i>		\$ -
Event Recycling - Please list any organics costs in organics section.		
-- Recycling Containers	Price/container	
-- Recycling Bags		
Service Providers/Collection Costs		
Labor - Staff costs needed for collection		
<i>Event Recycling Subtotal</i>		\$ -
Special Curbside Recycling Pickups		
Collection Costs		
Subsidy to resident -- # of items collected x _____		
<i>Special Curbside Subtotal</i>		\$ -
Multi-Unit Recycling Outreach		
Equipment/Promotion		
Staff costs		
<i>Multi-unit Enhancement Subtotal</i>		\$ -
Additional Promotion Costs		
Promotion/Printing/Postage/Advertising		
<i>Promotion Subtotal</i>		\$ -
Total General Enhancement Request		\$ -

Please describe the additional general enhancement activities and how they will increase the amount of material collected for reuse or recycling.

Organics Grant

- \$0.50/household for municipalities that do not have a permanent organics program
- \$1/household for municipalities that have a permanent organics drop-off(s) or a curbside program

Organics Program Costs		
Equipment		
-- Organics Containers/Starter Kits	Price/container	
-- Compostable Bags		
-- Compostable Serving Ware - cups/bowls/utensils		
-- Container rental or collection costs		
Promotional costs		
Labor - Staff/organizations # of hours		
Total Organics Program Request		\$ -

Please describe the additional organics activities planned and how they will increase the amount of material collected for composting.

Attachment B

Additional Grant Program Request

\$30,000 is available based on need. If more applications are received than funds available, applications will be reviewed and those projects with the greatest potential to increase materials collected for recycling will receive the funding. Eligible costs for this category are expenses that cannot be funded by all the other categories. Preference will be given to those communities that are currently spending all enhancement funding on innovative, new program ideas and need additional funds to continue to expand program opportunities throughout 2018 to meet their recycling goal.

Project Description:

Provide a brief, one page or less, project description. The project description should address:

- project scope and design;
- expected outcomes - increased materials collected, increased tons from this project;
- if the project will benefit multiple municipalities or the county;
- key individuals participating in project activities, including any project collaborators;
- overall project timeline; and
- why project is compelling and worthy of funding

Project Budget:

Tasks/Items	Costs
Total Additional Grant Program Request	\$ -

Total Funding Requested

Total Base Funding*	\$ -
Total Enhancement Funding	
• Monthly/Quarterly Drop-off Funding*	\$ -
• General Enhancement Funding*	\$ -
• Organics Program Funding	\$ -
• Additional Grant Program	\$ -
Total Funding Requested	\$ -

* These amounts are eligible for up to 10% change order if unexpected costs exceed budgeted amounts.

Environmental Policy Board (EPB)

6. 1.

Meeting Date: 01/22/2018

By: Chris Anderson, Community Development

Information

Title:

Staff Inupt

Purpose/Background:

There are multiple items that Staff wanted to communicate to the Board.

RCP Open House

As a reminder, there is an Open House for the fall semester RCP Projects scheduled for Tuesday, January 23 from 5-7pm at the Ramsey Municipal Center. This will be in place of a specific presentation to the EPB as the logistics just couldn't be worked out. See the attached flyer for more information.

2018 Rain Barrel and Compost Bin Sale

The Recycling Association of Minnesota (RAM) is coordinating rain barrel and compost bin sale events across the Twin Cities this spring/summer and are seeking partners to host the distribution events. While this does not provide any specific discount for residents, if Ramsey were interested (and selected by RAM) in hosting a distribution event, it would be more convenient for residents to pick up their purchased products. Staff wanted to gauge the EPB's interest/support in pursuing this opportunity. Staff has not yet obtained the specific details, but Ramsey did host an event a couple years back and there was no additional costs to the City and RAM staff handled all pre-sales and inquiries. At that time at least, the City's only obligation was to help promote the event (could do so through the Ramsey Resident, Ramsey Recycler, and website) and provide space for the distribution event (used the same site that our recycling events use).

Photo Contest

The City sponsored a Photo Contest in 2017 as a form of public engagement for our Comprehensive Plan Update. There were multiple categories for photos including: Nature of Ramsey, Parks and Trails, Industry and Commerce, and Life in Ramsey. As one of the advisory boards/commissions in the City, the Environmental Policy Board is being invited to assist with the voting process as it relates to the Nature in Ramsey category. Sometime prior to the February EPB meeting, Staff will forward the photos to the Board for review as well as with instructions on how to place your vote. More info will be available in the coming weeks.

Action:

Attachments

RCP Open House Flyer

Rain Barrel & Compost Bin Info

Photo Contest Flyer

Form Review

Inbox

Tim Gladhill

Form Started By: Chris Anderson

Final Approval Date: 01/19/2018

Reviewed By

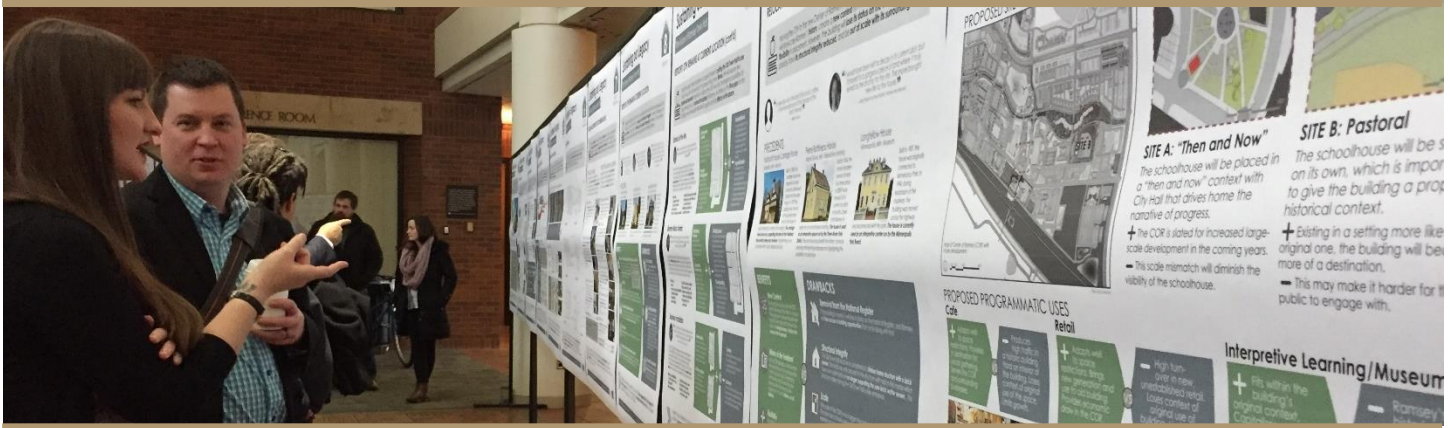
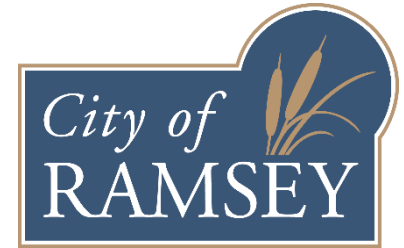
JoAnn Shaw

Date

01/19/2018 12:28 PM

Started On: 01/19/2018 10:43 AM

Resilient Communities Project OPEN HOUSE



Join the City of Ramsey for an Open House featuring student work from the University of Minnesota's Resilient Communities Project

Over the course of the semester, approximately 150 students from the University of Minnesota's Resilient Communities Project have partnered with the City of Ramsey on 21 real world projects that address various topics from Transportation to Economic Development to Natural Resources. The partnership is an innovative and cost effective way to advance the initiatives of the City of Ramsey's Strategic Plan and Comprehensive Plan.

Students with the Resilient Communities Project partnership will present their final projects at this Open House. For more information on these projects and the City's partnership with the University of Minnesota, visit www.cityoframsey.com/RCP.

Event:

University of Minnesota
Resilient Communities Project
Open House

Date:

Tuesday, January 23, 2018

Time:

5:00 – 7:00 pm

Location:

Ramsey City Hall
7550 Sunwood Drive NW
Ramsey, MN 55303

For More Information:

Tim Gladhill
tgladhill@cityoframsey.com
763-433-9826

2018 Rain Barrel and Compost Bin Sales



There's still time to join RAM and be a host site for the 2018 rain barrel and compost bin sale season. For inquiries or to set up a sale event, contact Beth at beth@recycleminnesota.org or (651) 641-4589

Why host a sale?

- Encourages and promotes waste reduction
- Educates residents on waste reduction best management practices
- Closes the loop on recycling by promotion and use of recycled products
- Engage in direct communication with residents of your district
- Offers tangible items to residents of your community

New products!

This year, in partnership with Recycling Connections, RAM will be selling the Home Composter; bigger than the previously sold Earth Machine.



Ramsey
Parks &
Recreation
presents:

2017 Ramsey Photo Contest

Showcase what you love about Ramsey!

The City of Ramsey is holding a Photo Contest in search for beautiful photos from the community to supplement the City's Comprehensive Plan and the Parks Master Plan. Submit your photos that highlight what you love about life in Ramsey! Winners will be announced in February 2018.

Categories include: Nature of Ramsey, Parks and Trails, Industry and Commerce, and Life in Ramsey.

Prepare

- Read and review all contest rules at cityoframsey.com/PhotoContest
- Submit photos by 4:30 pm on Tuesday, January 2, 2018.
- Complete an entry form for each photo submitted.
- Complete photograph release form for photos that show recognizable faces.
- Email digital entries and accompanying forms to PhotoContest@cityoframsey.com

Awards

- Photos will be evaluated based on creativity, quality, composition, and expression of category theme.
- Overall grand-prize of \$100. First runner-up in each of the four categories with a prize of \$50 each.
- Winning photos will be featured in City publications

To learn more: cityoframsey.com/PhotoContest

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