

Our Mission: To work together to responsibly grow our community, and to provide quality, cost-effective, and efficient government services.

## CC Regular Session

7.1.

**Meeting Date:** 02/28/2017

**Submitted For:** Tim Gladhill, Community Development

**By:** Eric Maass, Community Development

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### Information

#### **Title:**

Consider Request for Zoning Amendment, Comp Plan Amendment, Preliminary and Final Plat, and Site Plan for Regency Commons (Project No. 16-108); Case of National Self Storage, LLC

#### **Purpose/Background:**

The City has received an application for approval of a Zoning Amendment, Comprehensive Plan Amendment, Site Plan, Preliminary Plat, and Final Plat approval for Regency Commons. The project proposes to consolidate PID #s 27-32-25-22-0006, 27-32-25-22-0003, and 27-32-25-22-0002 (combined, the "Subject Property") into two (2) lots, one of which would be developed with a self-storage facility and the second would be available for future commercial development. The Planning Commission previously review the Sketch Plan for this project in November of 2016 and reviewed the above identified applications in addition to a variance at its February 2nd 2017 meeting. The Planning Commission approved a variance to the shoreland overlay district regarding the maximum allowed impervious area, and recommended approval of the requested Zoning Amendment, Comprehensive Plan Amendment, Site Plan, Preliminary Plat, and Final plat as presented.

#### **Notification:**

City Staff attempted to notify all property owners within 700 feet of the Subject Property of the request via U.S. mail and published a notice of public hearing in the Anoka Union Herald, the City's official newspaper.

#### **Observations/Alternatives:**

The proposed project is generally consist with the Zoning and Future Land Use maps; however, due to the consolidation of three (3) lots into two (2), the realigned property boundaries result in the need for the Zoning Amendment and Comprehensive Plan Amendment. The proposed self-storage facility is designed with exterior materials that are consistent with the E-1 Employment District standards and it also complies with the building coverage and height standards as well. The proposed improvements appear to comply with all other E-1 Employment District standards; the requested variance is to an overlay district standard.

The Preliminary and Final Plats also appear to meet the minimum bulk standards for both the E-1 Employment District and the B-1 Business District. Any necessary revisions are outlined in the Staff Review Letter. As had been discussed at the November Planning Commission meeting, the Applicant has provided a Landscape Plan that shows a bermed, landscaped bufferyard along the eastern boundary. There are three (3) different species of evergreen trees proposed within this area, with deciduous trees mixed in, which should provide a good buffer between the two uses.

The Engineering Department is in the process of reviewing the grading, drainage, erosion control, utility, and street plans and will provide a separate addendum to the Staff Review Letter with any necessary corrections/revisions to the plan set.

City Staff did meet with the Applicant shortly after the November Planning Commission meeting to discuss alternatives for 148th Ave. The Public Works Superintendent agreed to eliminate the requirement for a cul-de-sac under the following three (3) conditions (which the Applicant had agreed to):

- The City's standard residential road section, complete with curb, extend three (3) feet past sanitary manhole located in road centerline on 148<sup>th</sup> Ave leading into the east side of the property. Curbing matching existing conditions must be installed on all three (3) sides of the road extension.
- A twenty foot (20') maintenance easement granted to the City along the eastern property line, with no additional trees planted in easement. This easement is needed to provide access for maintenance to existing storm water structures.
- A written agreement, drafted by Developer and reviewed and approved by the City, to allow snow storage on Subject Properties from the dead end on 148<sup>th</sup> Ave. **Note**-most of the snow should be retained in the 20' maintenance easement, but in years with high snow volumes, it may be necessary to store the snow on private property. These conditions have been incorporated into the Staff Review Letter.

The City Council introduced ordinance number 17-05 at its meeting on February 14th, and that ordinance is now available for adoption.

Alternative 1: Approve the Zoning Amendment, Comprehensive Plan Amendment, Site Plan, Preliminary Plat and Final Plat requests. The proposed project appears to comply with the bulk standards in E-1 and B-1 zoning districts, the rezoning and re-guiding requests are due to a realignment of property boundaries rather than a proposed inconsistent use. The Applicant appears to have incorporated comments received during the Sketch Plan review into the plan set. Staff is supportive of this alternative contingent upon compliance with the Staff Review Letter.

Alternative 2: Approve the Zoning Amendment, Comprehensive Plan Amendment, Site Plan, Preliminary Plat and Final Plat requests with amendments. This alternative would be based upon discussion at the meeting and if any necessary revisions/additions were identified by the City Council.

Alternative 3: Do not approve the Zoning Amendment, Comprehensive Plan Amendment, Site Plan, Preliminary Plat and Final Plat. As previously noted, the proposed project appears consistent with provisions of City Code (with any necessary revisions outlined in the Staff Review Letter) and it appears that the Applicant attempted to address comments by the Planning Commission during review of the Sketch Plan. Staff does not support this alternative.

**Funding Source:**

All costs associated with this request are the responsibility of the Applicant.

**Recommendation:**

The Planning Commission has recommended approval of the project.

Subsequent to Planning Commission review, the City received official comment from Anoka County Highway Department. Anoka County prefers that the Ramsey Boulevard access be shifted to the north and the Bunker Lake Boulevard access be eliminated. However, Anoka County understands that the site is constrained and cannot force each scenario. Of key importance is the relocation of the Ramsey Boulevard access, which would have the effect of eliminating the smaller of the two buildings on the site. The City Council is legally able to approve the site plan as presented. However, plans will be required to be revised to incorporate the requested turn lanes as outlined in the Anoka County Review Letter.

Staff recommends the following actions, all contingent upon compliance with the Staff Review Letter and review and approval by Anoka County Highway Department:

- City Council adopt Ordinance #17-05 to rezone the Subject Property to E-1 Employment District and B-1 Business District; and
- City Council adopt Resolution #17-02-036 granting a Comprehensive Plan Amendment to re-guide the Subject Property as Business Park and Commercial, contingent upon approval by the Metropolitan Council; and
- City Council adopt Resolution #17-02-037 granting Site Plan approval; and

- City Council adopt Resolutions #17-02-038 and #17-02-039 approving the Preliminary and Final Plat approval.

**Action:**

Motion to waive the charter requirement to read the ordinance aloud and to adopt Ordinance #17-05 to rezone the Subject Property to E-1 Employment District and B-1 Business District.

Roll Call

- Councilmember Kuzma
- Councilmember Williams
- Councilmember Riley
- Councilmember Shryock
- Councilmember Letourneau
- Councilmember Johns
- Mayor Strommen

-and-

Motion to take the following actions, contingent upon compliance with the Staff Review Letter:

- Adopt Resolution #17-02-036 granting a Comprehensive Plan Amendment to re-guide the Subject Property as Business Park and Commercial, contingent upon approval by the Metropolitan Council; and
- Adopt Resolution #17-02-037 granting Site Plan approval; and
- Adopt Resolutions #17-02-038 and #17-02-039 approving the Preliminary and Final Plat approval.

**Attachments**

- Site Location Map
- Application Document
- Civil Plans for Site
- Building Elevations
- Planning Commission Meeting Minutes Dated November 3, 2016
- Staff Review Letter
- Rezoning Ordinance
- Res. 17-02-036: Comp Plan Amendment
- Res. 17-02-037: Site Plan
- Res. 17-02-038: Preliminary Plat
- Res. 17-02-039: Final Plat
- Anoka County Highway Comments

**Form Review**

| Inbox          | Reviewed By    | Date                |
|----------------|----------------|---------------------|
| Chris Anderson | Eric Maass     | 02/07/2017 02:57 PM |
| Chris Anderson | Eric Maass     | 02/07/2017 03:16 PM |
| Chris Anderson | Eric Maass     | 02/07/2017 04:10 PM |
| Tim Gladhill   | Eric Maass     | 02/07/2017 04:15 PM |
| Chris Anderson | Jo Thieling    | 02/09/2017 01:21 PM |
| Tim Gladhill   | Jo Thieling    | 02/09/2017 01:21 PM |
| Chris Anderson | Jo Thieling    | 02/09/2017 01:21 PM |
| Tim Gladhill   | Tim Gladhill   | 02/23/2017 09:48 AM |
| Kurt Ulrich    | JoAnn Shaw     | 02/23/2017 12:04 PM |
| Chris Anderson | Chris Anderson | 02/23/2017 12:20 PM |

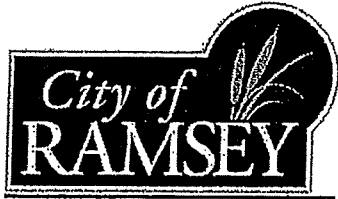
Tim Gladhill  
Kurt Ulrich  
Form Started By: Eric Maass  
Final Approval Date: 02/23/2017

Tim Gladhill  
Kurt Ulrich

02/23/2017 12:49 PM  
02/23/2017 03:08 PM  
Started On: 02/03/2017 12:25 PM

PREVIOUS CASE





**RECEIVED**  
 JAN 05 2017  
 BY: \_\_\_\_\_

**Land Use Application**

|   |   |  |
|---|---|--|
| <input type="checkbox"/> Plat – Sketch Plan             | <input checked="" type="checkbox"/> Plat – Preliminary Plat | <input checked="" type="checkbox"/> Plat – Final Plat            |
| <input type="checkbox"/> Administrative Plat            | <input checked="" type="checkbox"/> Site Plan Review        | <input type="checkbox"/> Easement/ROW Vacation                   |
| <input type="checkbox"/> Conditional Use Permit         | <input type="checkbox"/> Interim Use Permit                 | <input checked="" type="checkbox"/> Comprehensive Plan Amendment |
| <input checked="" type="checkbox"/> Zoning Amendment    | <input type="checkbox"/> Home Occupation Permit             | <input checked="" type="checkbox"/> Variance                     |
| <input type="checkbox"/> Dwelling Moving Permit         | <input type="checkbox"/> Environmental Permit               | <input type="checkbox"/> Registered Land Survey                  |
| <input type="checkbox"/> Non-Traditional Animal License | <input type="checkbox"/> Beekeeping License                 | <input type="checkbox"/> Private Kennel License                  |

**Applicant Contact Information**

*Please note: All official communication will be routed through this contact.*

|                                   |  |               |  |
|-----------------------------------|--|---------------|--|
| Name:                             | Troy Halvorson C/O National Self Storage |               |  |
| Street Address:                   | 2827 107th Avenue NE                     |               |  |
| City, State, ZIP:                 | Blaine, MN 55449                         |               |  |
| Home Phone:                       | (763) 898-7212                           | Work Phone:   |  |
| Email:                            | t.halver2@aol.com                        | Fax Number:   |  |
| Name of Business (if applicable): | National Self Storage, LLC               |               |  |
| Business Address (if applicable)  | Same as above.                           |               |  |
| Business City, State, ZIP         |  |               |  |
| Business Phone:                   |  | Business Fax: |  |

**Subject Property Information**

*(Location of Application)*

|                   |  |
|-------------------|--|
| Address           | Unassigned ( 27-32-25-22-0006) and 14725 Ramsey BLVD NW (27-32-25-22-0003, 27-32-25-22-0002) |
| PIN               | 27-32-25-22-0006, 27-32-25-22-0003, 27-32-25-22-0002   |
| Legal Description | See attached   |
| Zoning District   | E-1 Employment and B-1 General Business  |

Contact the Planning Division at 763-433-9824 or [planning@cityoframsey.com](mailto:planning@cityoframsey.com) to request a Zoning Verification

**Property Owner Information**  
(If different than Applicant)

|                   |                         |             |              |
|-------------------|-------------------------|-------------|--------------|
| Name:             | First Minnesota Bank    |             |              |
| Street Address:   | 11431 Jefferson Court N |             |              |
| City, State, ZIP: | Champlin, MN 55316      |             |              |
| Home Phone:       | N/A                     | Work Phone: | 763-488-1568 |
| Email:            | chuckb@firstmnbank.com  | Fax Number: | 763-488-3735 |

Please provide a detailed description of your request and attached a copy of a scaled site plan  
See attached narrative and plans.

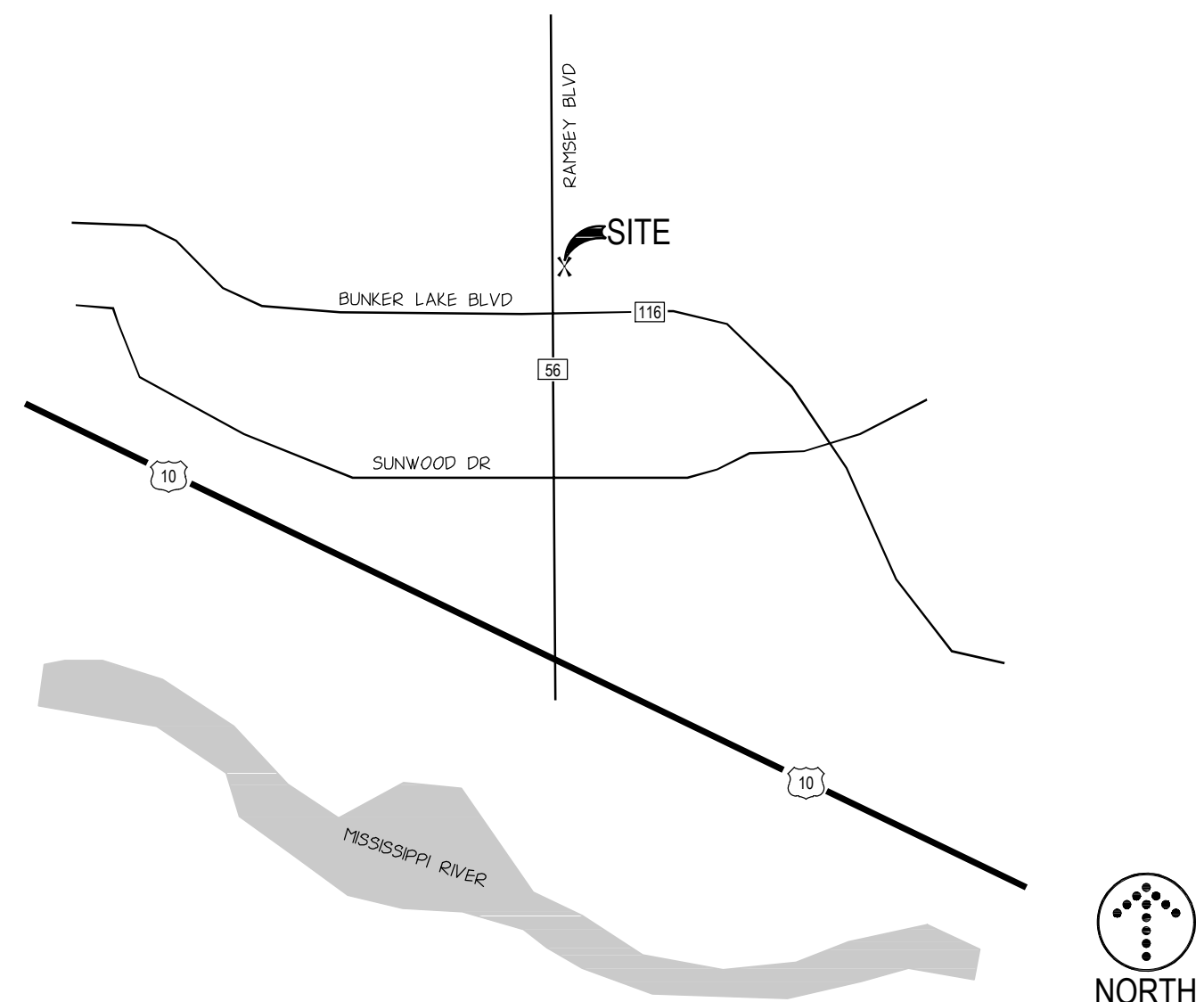
**A "Land Use Sign" will be placed on the Subject Property to allow Ramsey Residents the opportunity to obtain information about your request.**

|                     |                       |                        |  |
|---------------------|-----------------------|------------------------|--|
| Applicant Signature | <i>Troy Halverson</i> | Co-Applicant Signature |  |
| Printed Name        | Troy Halverson        | Printed Name           |  |
| Title               | <i>President</i>      | Title                  |  |
| Date                | <i>12-15-2016</i>     | Date                   |  |

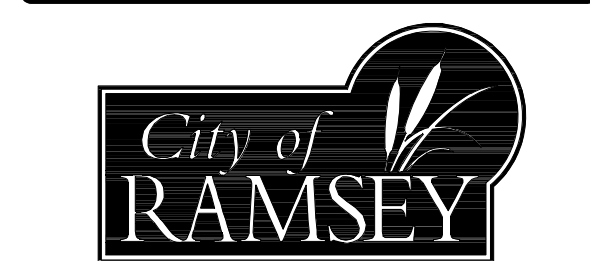
I understand that the application fee is non-refundable. All costs associated with the processing of this application are the responsibility of the applicant whether this application is approved or denied. Any excess of escrow account deposits over expenditures will be refunded at the time of account closure. I also understand that as the applicant, it is my responsibility to obtain all other permits or licenses required by any applicable regulatory agencies for this Land Use Application.

|                          |                      |                          |                          |
|--------------------------|----------------------|--------------------------|--------------------------|
| Property Owner Signature |                      | Property Owner Signature | <i>Charles C. Blair</i>  |
| Printed Name             | First Minnesota Bank | Printed Name             | Charles C. Blair         |
| Title                    |                      | Title                    | Executive Vice President |
| Date                     | December 15, 2016    | Date                     |                          |

I hereby certify that I am the fee title owner/contract for deed vendee of record for the above-mentioned property. Failure to prove ownership may void any agreements entered into the City and I will be held liable for any and all costs incurred by the City.



# NATIONAL SELF STORAGE REGENCY COMMONS RAMSEY, MN



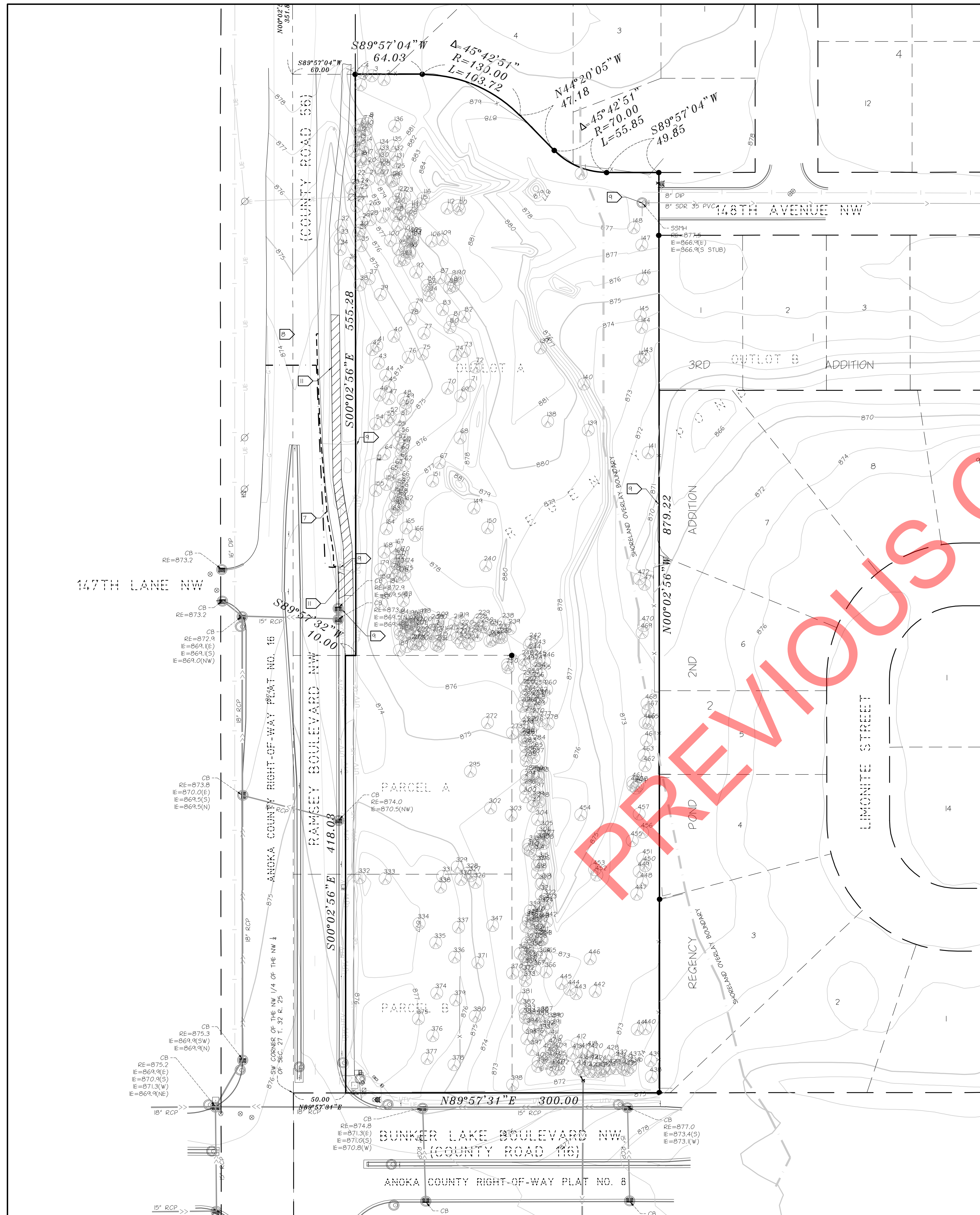
| SHEET  | TITLE                      |
|--------|----------------------------|
| C0.1   | CIVIL TITLE SHEET          |
| C0.2   | EXISTING CONDITIONS & DEMO |
| C0.3   | EXISTING CONDITIONS & DEMO |
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| C0.100 | EXISTING CONDITIONS & DEMO |

ABBREVIATIONS

|            |  |               |  |
|------------|--|---------------|--|
| D          | Angle                                  | L.F.          | Local Feet                             |
| &          | And                                    | L.P.          | Low Point / Liquid Petroleum           |
| 100 YR.    | 100 Year Flood Elevation               | LB.           | Local Government Unit                  |
| A.B.       | Anchor Bolt                            | LQU           | Longitudinal                           |
| A/C        | Air Conditioning Unit                  | LONG.         | Longitude                              |
| ADD.       | Addendum                               | LT.           | Latitude                               |
| ADDJ.      | Adjacent / Adjust                      | MAINT.        | Maintenance                            |
| ADJ.       | Adjacent / Adjust                      | MAS.          | Masonry                                |
| AH-U       | Air Handling Unit                      | MATL.         | Material                               |
| ALT.       | Alternate                              | MAX.          | Maximum                                |
| ALUM.      | Aluminum                               | MECH.         | Mechanical                             |
| ANOD.      | Anodized                               | MOD.          | Module / Modulus                       |
| APPROX.    | Approximate                            | MUN.          | Municipality                           |
| ARCH.      | Architectural                          | MUSC.         | Muscle                                 |
| AUTO.      | Automatic                              | M.T.S.        | Minnesota Department of Transportation |
| AVG.       | Average                                | MOD.          | Module / Modulus                       |
| B.C.       | Back of Curb                           | MUL.          | Mulch                                  |
| B/W        | Bottom of Wall                         | N.            | North                                  |
| BFE        | Basement Floor Elevation               | N.I.C.        | Not In Contract                        |
| BIT        | Bitumenous (Asphaltic)                 | NO. OR #      | Number                                 |
| BLDG       | Building                               | NTS           | Not to Scale                           |
| BSMT       | Basement                               | NWE           | Normal Water Elevation                 |
| C.F.       | Cubic Feet                             | NWL           | Normal Water Level                     |
| C.F.S.     | Cubic Feet Per Second                  | O.C.          | On Center                              |
| C.G.       | Corner Guard                           | O.D.          | Outside Dimension                      |
| C.J.       | Control Joint                          | O.E.          | Overhead Electric                      |
| C.M.U.     | Concrete Masonry Unit                  | O.H.          | Ordinary High Water Level              |
| C.O.       | Cleanout                               | O.P.N.G.      | Openings                               |
| C.O.E.     | U.S. Army Corps of Engineers           | ORIC.         | Ornamental                             |
| C.Y.       | Cubic Yards                            | P.C.          | Point of Curvature                     |
| CB         | Catch Basin                            | P.I.          | Point of Intersection                  |
| CBM        | Catch Basin Manhole                    | P.I.V.        | Post Indicator Valve                   |
| CEM.       | Cement                                 | P.L. OR P/L   | Property Line                          |
| CP         | Cast Iron Pipe                         | P.O.B.        | Point of Beginning                     |
| CMP        | Corrugated Metal Pipe                  | P.S.F.        | Pounds Per Square Foot                 |
| CONC.      | Concrete (Portland)                    | P.S.I.        | Pounds Per Square Inch                 |
| CONN.      | Connection                             | P.T.          | Point of Tangency                      |
| CONST.     | Construction                           | P.V.C.        | Point of Vertical Curvature            |
| CONT.      | Continuous                             | P.V.I.        | Point of Vertical Intersection         |
| CONTR.     | Contractor                             | P.V.T.        | Point of Vertical Tangency             |
| COP.       | Copper                                 | PE            | Polyethylene                           |
| CUB.       | Cubic                                  | PEF.          | Pedestal / Pedestrian                  |
| D.S.       | Down Spout                             | PERF.         | Perforated                             |
| DEG.       | Degrees                                | PREP.         | Preparation                            |
| DENO.      | Demolition / Denial                    | PROJ.         | Project                                |
| DEPT.      | Department                             | PROP.         | Proposed                               |
| DET.       | Detail                                 | PVC           | Poly-Vinyl-Chloride (Pena)             |
| DIA.       | Diameter                               | PVMT.         | Pavement                               |
| DIAG.      | Diagram                                | QTR.          | Quarter                                |
| DM         | Dimension                              | QTY.          | Quantity                               |
| DIP        | Ductile Iron Pipe                      | R             | Radius                                 |
| DN         | Down                                   | RAD.          | Radius                                 |
| DWG.       | Drawing                                | R.E.          | Radius Elevation (Costna)              |
| E.         | East                                   | R.D.          | Radius Point                           |
| E.J.       | Expansion Joint                        | R.E.          | Remove Existing                        |
| E.O.       | Emergency Overflow                     | R.O.P.        | Roof Opening                           |
| E.O.S.     | Emergency Overflow Sault               | R.P.          | Radius Point                           |
| E.W.       | Each Way                               | R.C.P.        | Reinforced Concrete Pipe               |
| EA.        | Each                                   | R.S.D.        | Roof Storm Drain                       |
| EL.        | Elevation                              | R.S.          | Reassembling                           |
| ELEC.      | Electrical                             | RE.           | Reinforced                             |
| ELEV.      | Elevation                              | REQ'D         | Required                               |
| EMER.      | Emergency                              | REV.          | Revision / Revised                     |
| ENGR.      | Engineer                               | R.G.U.        | Regulatory Government Unit             |
| ENTR.      | Entrance                               | R.O.W. OR R/W | Right of Way                           |
| EQ.        | Equal                                  | S             | Section                                |
| EQUIP.     | Equipment                              | S.F.          | Square Feet                            |
| EQUIV.     | Equivalent                             | SAN           | Sanitary Sewer                         |
| EXST.      | Existing                               | SECT.         | Section                                |
| EXP.       | Expansion                              | SE            | Side Exit                              |
| F.         | Furnish and Install                    | SEWO          | Sanitary Sewer Out                     |
| F. & I.    | Furnished by Others                    | SHT.          | Sheet                                  |
| F.B.O.     | Face of Curb                           | SM            | Swallow                                |
| F.D.       | Fire Department Connection             | SPLNT.        | Splint                                 |
| F.D.C.     | Field Verify                           | SPEC.         | Specification                          |
| F.V.       | Full Basement                          | SQ.           | Square                                 |
| FB         | Full Basement Walk Out                 | SSD           | Subsurface drain                       |
| FBLO       | Full Basement Look Out                 | STMH          | Storm Sever Manhole                    |
| FN         | Foundation                             | STD.          | Standard                               |
| FES        | Floored End Section                    | STRUCT.       | Structural                             |
| FEE        | Finished Floor Elevation               | SYN.          | Symmetrical                            |
| F.F.       | Floor                                  | T/R           | Thickness                              |
| FT. OR (') | Foot                                   | T/W           | Top of Wall                            |
| FUT.       | Future                                 | TEMP.         | Temporary                              |
| G.B.       | Grade Break                            | THK.          | Thick / Thickness                      |
| G.C.       | General Contractor                     | T.J.          | Tooled Joint                           |
| GAL.       | Gallon                                 | T.M.          | Top Man. Hydrant                       |
| GALV.      | Galvanized                             | TYP.          | Typical                                |
| GFE        | Garage Floor Elevation                 | UN.O.         | Unless Noted Otherwise                 |
| GL.        | Glass                                  | V.B.          | Vapor Barrier                          |
| GR.        | Grade                                  | V.C.          | Vertical Curve                         |
| H.         | Height                                 | V.F.          | Verify in Field                        |
| H.P.       | High Point                             | VERT.         | Vertical                               |
| HDPPEP     | High Density Polyethylene Pipe         | VEST.         | Vestibule                              |
| HGT        | Height                                 | W             | Width                                  |
| HORIZ.     | Horizontal                             | W.P.T.        | Working Point                          |
| HVAC       | Heating, Ventilation, Air Conditioning | W.W.F.        | Welded Wire Fabric                     |
| HYD.       | Hydrant                                | W/O           | Without                                |
| I.D.       | Inside Dimension                       | W/O           | Without                                |
| IE. or IE' | Invert Elevation                       | W/O           | Without                                |
| IN.        | Information                            | W/O           | Without                                |
| IN. OR (') | Inches                                 | W/O           | Without                                |
| INFO.      | Information                            | W/O           | Without                                |
| INSUL.     | Insulation                             | W/O           | Without                                |
| INT.       | Invert Elevation                       | W/O           | Without                                |
| JT.        | Joint                                  | W/O           | Without                                |

SYMBOLS

| EXISTING | DESCRIPTION       | NEW      | DESCRIPTION              |
|----------|-------------------|----------|--------------------------|
| 120      | MAJOR CONTOUR     | 120      | MAJOR CONTOUR            |
| 123      | MINOR CONTOUR     | 123      | MINOR CONTOUR            |
| 23.45    | SPOT ELEVATION    | 23.45    | SPOT ELEVATION           |
| [Symbol] | BUILDING          | [Symbol] | BUILDING                 |
| [Symbol] | CANOPY / OVERHANG | [Symbol] | CANOPY/OVERHANG          |
| [Symbol] | CONCRETE          | [Symbol] | UNDERGROUND STRUCTURE    |
| [Symbol] | BITUMINOUS        | [Symbol] | CONCRETE                 |
| [Symbol] | LANDSCAPING       | [Symbol] | CONCRETE CURB            |
| [Symbol] | GRAVEL            | [Symbol] | EDGE OF PAVEMENT         |
| [Symbol] | PAVING BLOCK      | [Symbol] | FENCING                  |
| [Symbol] | PAVING BLOCK      | [Symbol] | GUARD RAIL               |
| [Symbol] | PAVING BLOCK      | [Symbol] | CONCRETE RETAINING WALL  |
| [Symbol] | PAVING BLOCK      | [Symbol] | MODULAR RETAINING WALL   |
| [Symbol] | PAVING BLOCK      | [Symbol] | FELDSTONE RETAINING WALL |
| [Symbol] | PAVING BLOCK      | [Symbol] | EXIT LOCATION            |
| [Symbol] | PAVING BLOCK      | [Symbol] | LIGHT STANDARD           |
| [Symbol] | PAVING BLOCK      | [Symbol] | POWER POLE               |
| [Symbol] | PAVING BLOCK      | [Symbol] | SLOPE DIRECTION          |
| [Symbol] | PAVING BLOCK      | [Symbol] | CATCH BASIN              |
| [Symbol] | PAVING BLOCK      | [Symbol] | MANHOLE                  |
| [Symbol] | PAVING BLOCK      | [Symbol] | BOLLARD                  |
| [Symbol] | PAVING BLOCK      | [Symbol] | STORM SEWER              |
| [Symbol] | PAVING BLOCK      | [Symbol] | SANITARY SEWER-WASTE     |
| [Symbol] | PAVING BLOCK      | [Symbol] | FORCE MAIN               |
| [Symbol] | PAVING BLOCK      | [Symbol] | ROOF DRAIN SYSTEM        |
| [Symbol] | PAVING BLOCK      | [Symbol] | WATERMAN                 |
| [Symbol] | PAVING BLOCK      | [Symbol] | FIRE LINE (F SEPARATE)   |
| [Symbol] | PAVING BLOCK      | [Symbol] | FIRE DEPT. CONNECTION    |
| [Symbol] | PAVING BLOCK      | [Symbol] | SOIL SUBDRAIN            |
| [Symbol] | PAVING BLOCK      | [Symbol] | GAS LINE-UNDERGROUND     |
| [Symbol] | PAVING BLOCK      | [Symbol] | ELECTRIC-UNDERGROUND     |
| [Symbol] | PAVING BLOCK      | [Symbol] | TELEPHONE-UNDERGROUND    |
| [Symbol] | PAVING BLOCK      | [Symbol] | UNDERGROUND CABLE/TV     |
| [Symbol] | PAVING BLOCK      | [Symbol] | LAWN SPRINKLER SLEEVE    |
| [Symbol] | PAVING BLOCK      | [Symbol] | WATER SHUT-OFF VALVE     |
| [Symbol] | PAVING BLOCK      | [Symbol] | TRAFFIC SIGN             |
| [Symbol] | PAVING BLOCK      | [Symbol] | FLAG POLE                |
| [Symbol] | PAVING BLOCK      | [Symbol] | UNDERGROUND CABLE/TV     |
| [Symbol] | PAVING BLOCK      | [Symbol] | LAWN SPRINKLER SLEEVE    |
| [Symbol] | PAVING BLOCK      | [Symbol] | TRAFFIC SIGN             |
| [Symbol] | PAVING BLOCK      | [Symbol] | FLAG POLE                |
| [Symbol] | PAVING BLOCK      | [Symbol] | UNDERGROUND CABLE/TV     |
| [Symbol] | PAVING BLOCK      | [Symbol] | LAWN SPRINKLER SLEEVE    |
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| [Symbol] | PAVING BLOCK      | [Symbol] | TRAFFIC SIGN             |
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| [Symbol] | PAVING BLOCK      | [Symbol] | LAWN SPRINKLER SLEEVE    |
| [Symbol] | PAVING BLOCK      | [Symbol] | TRAFFIC SIGN             |
| [Symbol] | PAVING BLOCK      | [Symbol] | FLAG POLE                |
| [Symbol] | PAVING BLOCK      | [Symbol] | UNDERGROUND CABLE/TV     |
| [Symbol] | PAVING BLOCK      | [Symbol] | LAWN SPRINKLER SLEEVE    |
| [Symbol] | PAVING BLOCK      | [Symbol] | TRAFFIC SIGN             |
| [Symbol] | PAVING BLOCK      |          |                          |



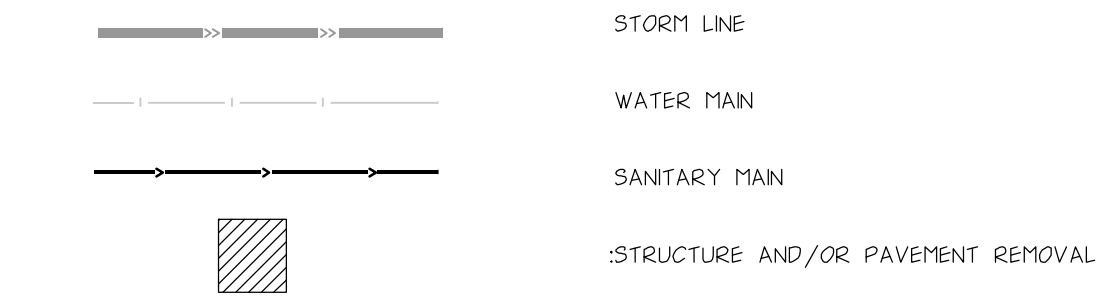
**EXISTING CONDITIONS**

1. BACKGROUND INFORMATION SHOWN IS FROM SURVEY BY LANDFORM, MINNEAPOLIS, MN, ON DECEMBER 07, 2015, EXPRESSLY FOR THIS PROJECT; CITY OF RAMSEY, MN RECORD DRAWINGS; AND UTILITY SERVICE PROVIDERS. LANDFORM OFFERS NO WARRANTY, EXPRESSED OR WRITTEN, FOR INFORMATION PROVIDED BY OTHERS. EXISTING PROJECT CONDITIONS SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ENGINEER.

**DEMOLITION AND CLEARING NOTES**

- OBTAIN PERMITS FOR DEMOLITION, CLEARING, AND DISPOSAL PRIOR TO BEGINNING.
- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING DEMOLITION AND CLEARING.
- SEE SHEET C3.1 FOR EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT MUST BE IN PLACE PRIOR TO DISTURBANCES TO SITE.
- DIMENSIONS SHOWN FOR REMOVAL ARE APPROXIMATE. COORDINATE WITH NEW CONSTRUCTION TO ENSURE APPROPRIATE REMOVAL OF EXISTING FACILITIES.
- REFER TO DETAILS FOR PAVEMENT SAWCUT. REMOVE CONCRETE WALKS AND CURBING TO THE NEAREST EXISTING JOINT BEYOND CONSTRUCTION LIMITS.
- COMPLETE DEMOLITION WITH MINIMAL DISRUPTION OF TRAFFIC AND PROVIDE ADVANCE NOTIFICATION TO AFFECTED EMERGENCY SERVICE PROVIDERS.
- PROVIDE BARRICADES, LIGHTS, SIGNS, TRAFFIC CONTROL, AND OTHER MEASURES NECESSARY FOR PROTECTION AND SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT CONSTRUCTION.
- PROTECT STRUCTURES, UTILITIES, TREES, PLANT MATERIAL, SOD, AND ADJACENT PROPERTY FROM DAMAGE DURING CONSTRUCTION UNLESS NOTED FOR REMOVAL. DAMAGE SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION AT NO ADDITIONAL COST.
- SEE SHEETS L1.1 AND L1.2 FOR TREE PRESERVATION PLAN.
- REMOVE EXISTING SITE FEATURES INCLUDING, BUT NOT LIMITED TO, PAVING, CURBING, WALKWAYS, AND APRONS, WITHIN THE CONSTRUCTION LIMITS UNLESS NOTED OTHERWISE.
- COORDINATE REMOVAL, RELOCATION, TERMINATION, AND RE-USE OF EXISTING PRIVATE UTILITY SERVICES AND APPURTENANCES WITH THE UTILITY COMPANIES. RESTORE ELECTRIC HANDHOLES, PULLBOXES, POWERPOLES, GUYLINES, AND STRUCTURES DISTURBED BY CONSTRUCTION IN ACCORDANCE WITH UTILITY OWNER REQUIREMENTS.
- EXISTING PIPING AND CONDUITS MAY BE ABANDONED IN-PLACE IF FILLED WITH SAND AND IF NOT IN LOCATION OF PROPOSED BUILDING OR IN CONFLICT WITH PROPOSED UTILITIES OR STRUCTURES. TERMINATE EXISTING SERVICES AT THE SUPPLY SIDE IN CONFORMANCE WITH PROVIDER'S STANDARDS.
- HALL DEMOLITION DEBRIS OFF-SITE TO A FACILITY APPROVED BY REGULATORY AUTHORITIES FOR THE HANDLING OF DEMOLITION DEBRIS, UNLESS NOTED OTHERWISE.

**LEGEND**



**DEVELOPER**

NATIONAL SELF-STORAGE, LLC  
2827 107TH AVENUE  
BLAINE, MN 55449

**MUNICIPALITY**



**PROJECT**

REGENCY COMMONS  
RAMSEY, MN

**SHEET INDEX**

| SHEET | TITLE   |
|-------|---|
| C0.1  | CIVIL TITLE SHEET   |
| C1.1  | EXISTING CONDITIONS & DEMO  |
| C2.1  | SITE PLAN   |
| C3.1  | EROSION, DRAINAGE & EROSION CONTROL PAVING PLAN & NOTES SWPPP NOTES |
| C3.2  | UTILITIES   |
| C4.1  | CIVIL CONSTRUCTION DETAILS  |
| C7.1  | CIVIL CONSTRUCTION DETAILS  |
| C7.2  | CIVIL CONSTRUCTION DETAILS  |
| C7.3  | CIVIL CONSTRUCTION DETAILS  |
| C7.4  | CIVIL CONSTRUCTION DETAILS  |
| C7.5  | CIVIL CONSTRUCTION DETAILS  |
| L1.1  | TREE PRESERVATION PLAN  |
| L1.2  | TREE PRESERVATION TABLE   |
| L2.1  | LANDSCAPE PLAN  |
| L2.2  | LANDSCAPE DETAILS   |

**ISSUE / REVISION HISTORY**

| DATE        | ISSUE / REVISION    | REVIEW |
|-------------|---------------------|--------|
| 03 JAN 2017 | SITE PLAN SUBMITTAL | XXX    |

**PROJECT MANAGER REVIEW**

BY XX DATE XXX/XXX/XX

**CERTIFICATION**

I hereby certify that this plan was prepared under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
Randall C. Hedlund  
License No: 19976  
Signature shown in this location of original. Web signed copy of this plan on file with the State of Minnesota. National Self-Storage, LLC office and is available upon request.

**SITE PLAN SUBMITTAL**

01-03-2017

**LANDFORM**

From Site to Finish  
105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

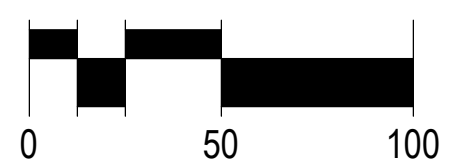
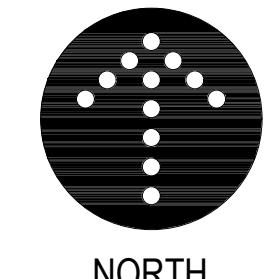
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PROJECT NO. NSS16001

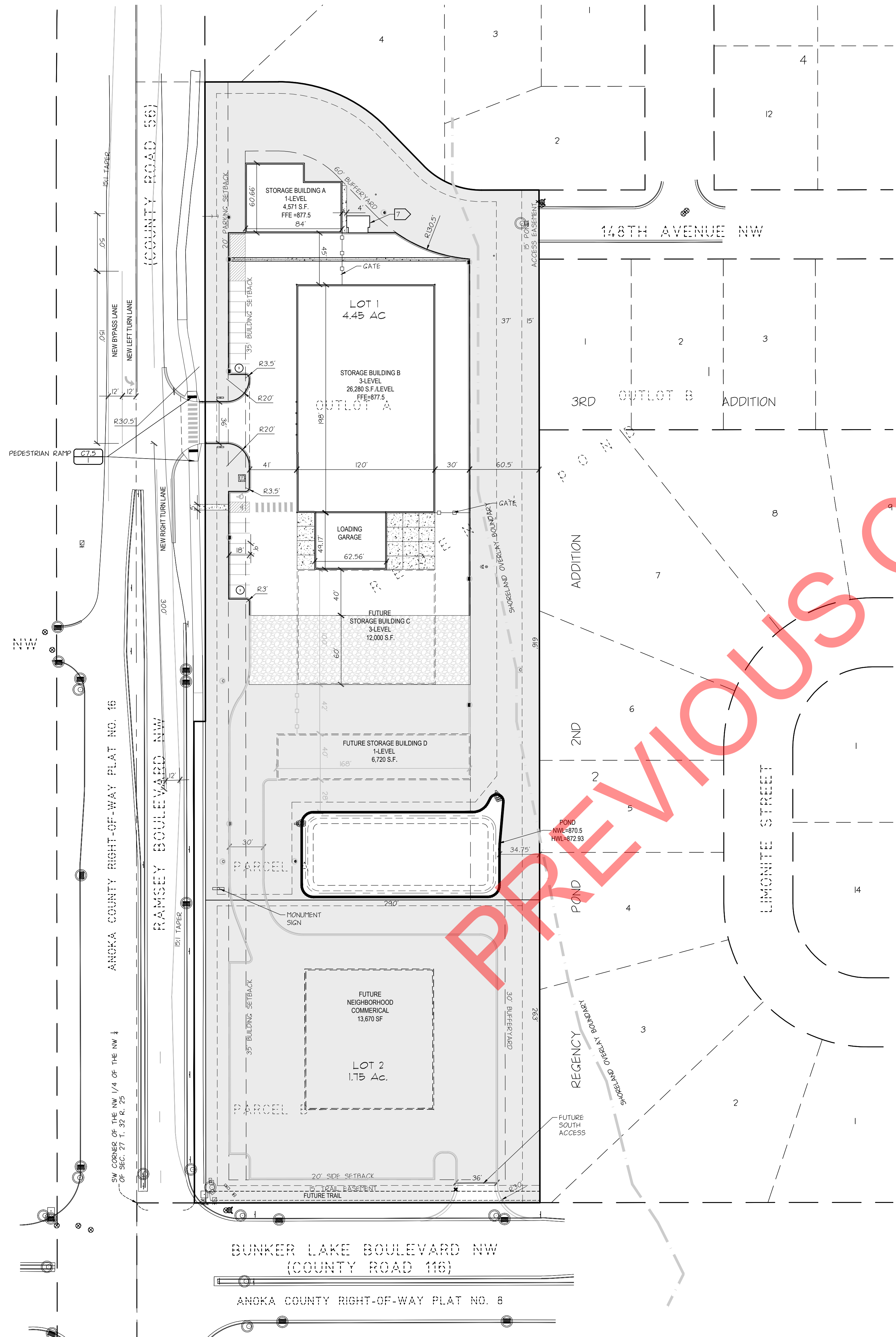
**EXISTING CONDITIONS AND DEMOLITION**

**C1.1**  
SHEET NO. 2/15



Know what's Below.  
Call before you dig.





- GENERAL NOTES**
- FOR CONSTRUCTION STAKING AND SURVEYING SERVICES CONTACT LANDFORM PROFESSIONAL SERVICES AT 612.252.9070.
- SITE PLAN NOTES**
- OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WITHIN, OR USE OF, PUBLIC RIGHT-OF-WAY.
  - THE DIGITAL FILE, WHICH CAN BE OBTAINED FROM THE ENGINEER, SHALL BE USED FOR STAKING. DISCREPANCIES BETWEEN THE DRAWINGS AND THE DIGITAL FILE SHALL BE REPORTED TO THE ENGINEER. THE BUILDING FOOTPRINT, AS SHOWN ON THESE DRAWINGS, AND THE DIGITAL FILE, SHALL BE COMPARED TO THE STRUCTURAL DRAWINGS PRIOR TO STAKING.
  - BUILDING LAYOUT ANGLES ARE PARALLEL WITH OR PERPENDICULAR TO THE PROPERTY LINE AT THE LOCATION INDICATED.
  - DIMENSIONS SHOWN ARE TO FACE OF CURB AND EXTERIOR FACE OF BUILDING UNLESS NOTED OTHERWISE.
  - DELINEATE PARKING STALLS WITH A 4-INCH WIDE WHITE PAINTED STRIPE. DELINEATE ACCESS AISLES WITH 4-INCH WIDE WHITE PAINTED STRIPES 18 INCHES ON CENTER AND AT 45 DEGREE ANGLE TO DIRECTION OF TRAVEL.
  - TRASH/RECYCLING AREAS: SEE ARCHITECTURAL DRAWINGS.
- GREEN SPACE (LANDSCAPE AREA)
  - CLASS 5 GRAVEL

**LOT SUMMARY**

|                        |                    |                 |
|------------------------|--------------------|-----------------|
| LOT 1                  | = 193,842 SQ.FT./- | 4.45 AC./-      |
| LOT 2                  | = 76,230 SQ.FT./-  | 1.75 AC./-      |
| ROW (RAMSEY BLVD)      | = 4,180 SQ.FT./-   | 0.096 AC./-     |
| TOTAL SITE AREA        | = 274,351 SQ.FT./- | 6.3 AC./-       |
| TOTAL GREEN SPACE AREA | = 171,764 SF       | 3.94 AC = 63.5% |

**PARKING SUMMARY**

**REQUIRED PARKING:**

|  |        |
|--|--------|
| 0.2 STALLS PER 1000 SF OF BUILDING       |        |
| 77,350 SF TOTAL                          |        |
| 77,350 SF/1000 = 77.35 (0.2) = 16 STALLS |        |
| TOTAL PARKING STALLS REQUIRED            | 16 EA. |

**PROVIDED PARKING:**

|                               |        |
|-------------------------------|--------|
| STANDARD STALLS (9x18)        | 17 EA. |
| HANDICAP STALLS (9x18)        | 1 EA.  |
| TOTAL PARKING STALLS PROVIDED | 18 EA. |

**LOT 1 AREA SUMMARY**

**EXISTING:**

|                 |              |        |
|-----------------|--------------|--------|
| PERVIOUS        | 193,842 S.F. | 100%   |
| IMPERVIOUS      | 0 S.F.       | 0%     |
| TOTAL (4.45 AC) | 193,842 S.F. | 100.0% |

**PROPOSED:**

|                 |              |        |
|-----------------|--------------|--------|
| PERVIOUS        | 108,902 S.F. | 56.2%  |
| IMPERVIOUS      | 84,940 S.F.  | 43.8%  |
| TOTAL (4.45 AC) | 193,842 S.F. | 100.0% |

**PROPOSED BUILDING FOOTPRINT**

|            |             |       |
|------------|-------------|-------|
| IMPERVIOUS | 30,851 S.F. | 15.9% |
|------------|-------------|-------|

**LOT 2 AREA SUMMARY**

**EXISTING:**

|                 |             |        |
|-----------------|-------------|--------|
| PERVIOUS        | 76,230 S.F. | 100%   |
| IMPERVIOUS      | 0 S.F.      | 0%     |
| TOTAL (1.75 AC) | 76,230 S.F. | 100.0% |

**PROPOSED:**

|                 |             |        |
|-----------------|-------------|--------|
| PERVIOUS        | 76,230 S.F. | 100%   |
| IMPERVIOUS      | 0 S.F.      | 0%     |
| TOTAL (1.75 AC) | 76,230 S.F. | 100.0% |

**ZONING AND SETBACK SUMMARY**

THE PROPERTY IS CURRENTLY ZONED : E-1 EMPLOYMENT DISTRICT, B-1 BUSINESS  
 PROPOSED ZONING : E-1 (LOT 1) B-1 BUSINESS (LOT 2)

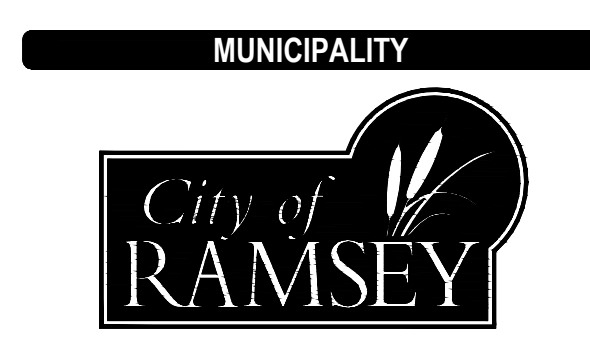
**MINIMUM LOT SIZE (E-1):**  
 LOT AREA = 1 AC.  
 LOT WIDTH = 200 FT.

**MINIMUM LOT SIZE (B-1):**  
 LOT AREA = 0.5 AC.  
 LOT WIDTH = 100 FT.  
 LOT DEPTH = 150 FT.

**SETBACK REQUIREMENTS:**  
 FRONT YARD = 35 FT.  
 REAR = 35 FT.  
 SIDE INTERIOR = 20 FT.  
 FROM RESIDENTIAL = 60 FT.  
 FROM ROADS = 60 FT. + FRONT SETBACK

**PARKING AND DRIVEWAY REQUIREMENTS:**  
 FRONT = 20 FT.  
 SIDE/STREET = 20 FT.  
 FROM RESIDENTIAL = 40 FT. -OFF STREET PARKING

**DEVELOPER**  
 NATIONAL SELF-STORAGE, LLC  
 2827 107TH AVENUE  
 BLAINE, MN 55449



**PROJECT**  
 REGENCY COMMONS  
 RAMSEY, MN

**SHEET INDEX**

| SHEET | TITLE                               |
|-------|-------------------------------------|
| C2.0  | CIVIL TITLE SHEET                   |
| C2.1  | EXISTING CONDITIONS & DEMO          |
| C2.2  | SITE PLAN                           |
| C2.3  | GRADING, DRAINAGE & EROSION CONTROL |
| C2.4  | PAVING PLAN & NOTES                 |
| C2.5  | SWPPP NOTES                         |
| C2.6  | UTILITIES                           |
| C2.7  | CIVIL CONSTRUCTION DETAILS          |
| C2.8  | CIVIL CONSTRUCTION DETAILS          |
| C2.9  | CIVIL CONSTRUCTION DETAILS          |
| C2.10 | CIVIL CONSTRUCTION DETAILS          |
| L1.1  | TREE PRESERVATION PLAN              |
| L1.2  | TREE PRESERVATION TABLE             |
| L2.1  | LANDSCAPE PLAN                      |
| L2.1  | LANDSCAPE DETAILS                   |

**ISSUE / REVISION HISTORY**

| DATE        | ISSUE / REVISION    | REVIEW |
|-------------|---------------------|--------|
| 03 JAN 2017 | SITE PLAN SUBMITTAL | XXX    |

**PROJECT MANAGER REVIEW**  
 BY: XX DATE: XXXXXX

**CERTIFICATION**

I hereby certify that this plan was prepared or under my direct supervision, and that I am a Professional Engineer under the laws of the State of Minnesota.

Randall C. Heald  
 License No: 19976

Signature shown in the location of original. Wet signed copy of this plan on file in the office of the Professional Services, LLC office and available upon request.

**PRELIMINARY NOT FOR CONSTRUCTION**

**SITE PLAN SUBMITTAL**  
 01-03-2017

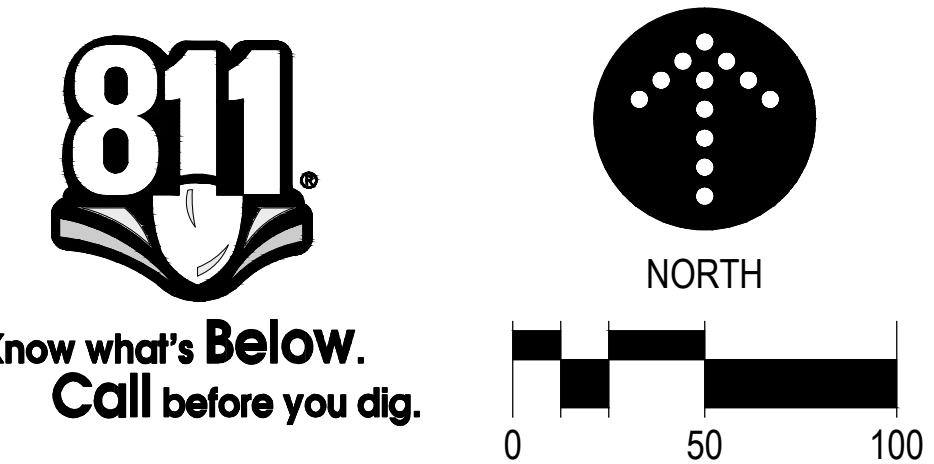
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 From Site to Finish

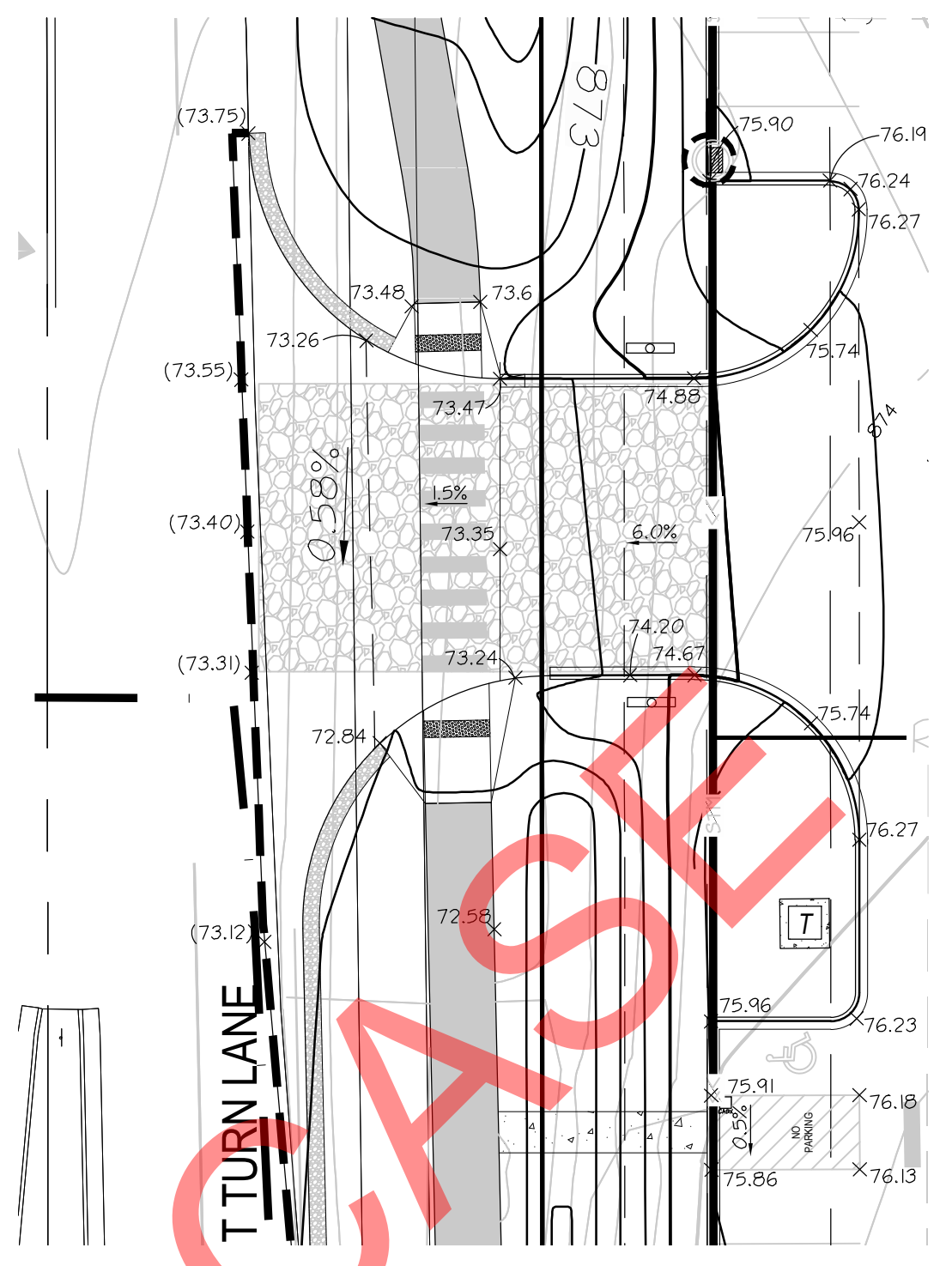
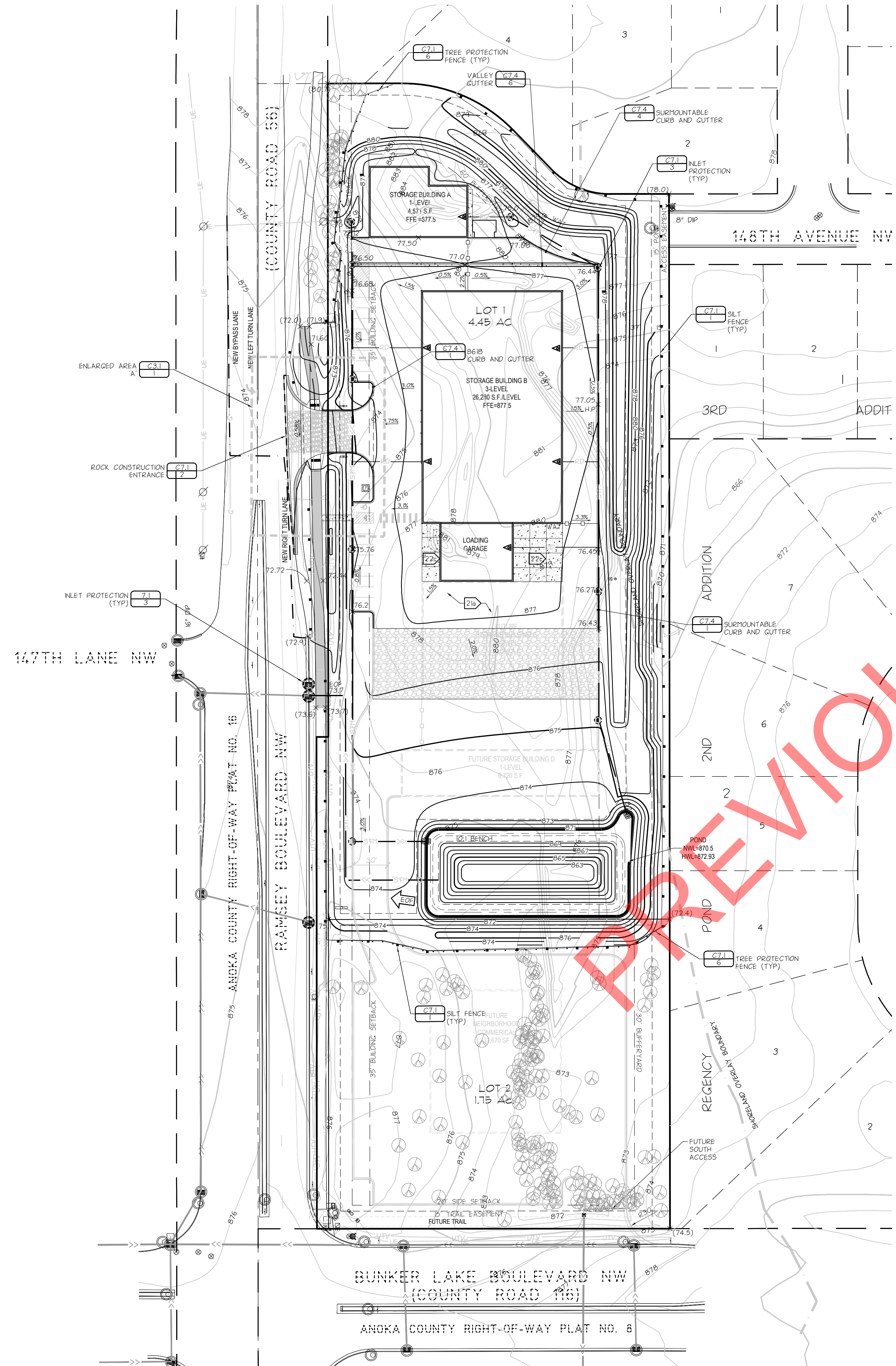
105 South Fifth Avenue Tel: 612-252-9070  
 Suite 513 Fax: 612-252-9077  
 Minneapolis, MN 55401 Web: landform.net

FILE NAME: C201NSS001.DWG  
 PROJECT NO.: NSS16001

**SITE PLAN**  
**C2.1**

SHEET NO. 3/15  
 Landform and Site to Finish are registered service marks of Landform Professional Services, LLC.





ENLARGED AREA 'A' 20 SCALE

**GENERAL NOTES**

1. FOR CONSTRUCTION STAKING AND SURVEYING SERVICES CONTACT LANDFORM PROFESSIONAL SERVICES AT 612.252.9070.

**EROSION PREVENTION AND SEDIMENT CONTROL NOTES**

- INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO BEGINNING WORK AND MAINTAIN FOR DURATION OF CONSTRUCTION. REMOVE CONTROLS AFTER AREAS CONTRIBUTING RUNOFF ARE PERMANENTLY STABILIZED AND DISPOSE OF OFF-SITE.
- LIMIT SOIL DISTURBANCE TO THE GRADING LIMITS SHOWN. SCHEDULE OPERATIONS TO MINIMIZE LENGTH OF EXPOSURE OF DISTURBED AREAS.
- MANAGEMENT PRACTICES SHOWN ARE THE MINIMUM REQUIREMENT. INSTALL AND MAINTAIN ADDITIONAL CONTROLS AS WORK PROCEEDS TO PREVENT EROSION AND CONTROL SEDIMENT CARRIED BY WIND OR WATER.
- EXCAVATE PONDS EARLY IN THE CONSTRUCTION SEQUENCE. REMOVE SEDIMENT FROM PONDS PERIODICALLY AND AFTER AREAS CONTRIBUTING RUNOFF ARE PERMANENTLY STABILIZED.
- ALL EXPOSED SOIL AREAS MUST BE STABILIZED WITHIN 72 HOURS OF COMPLETION OF WORK IN EACH AREA.
- SEED, SOIL, MULCH AND FERTILIZER SHALL MEET THE FOLLOWING SPECIFICATIONS, AS MODIFIED.
 

| ITEM  | SPECIFICATION NUMBER |
|---|----------------------|
| SEED  | INDOT 38751          |
| FERTILIZER  | INDOT 3876           |
| MULCH (INDOT TYPE 1 @ 2 TON/AC, DISC ANCHORED) INDOT 3882 | INDOT 3861           |
| GENERAL PLACEMENT   | INDOT 2575           |
- SEE LANDSCAPE SHEETS FOR PERMANENT TURF AND LANDSCAPE ESTABLISHMENT.
- SCRAPE ADJACENT STREETS CLEAN DAILY AND SWEEP CLEAN WEEKLY.

**GRADING NOTES**

- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING GRADING.
- REMOVE TOPSOIL FROM GRADING AREAS AND STOCKPILE SUFFICIENT QUANTITY FOR REUSE. MATERIALS MAY BE MINED FROM LANDSCAPE AREAS FOR USE ON SITE AND REPLACED WITH EXCESS ORGANIC MATERIAL WITH PRIOR OWNER APPROVAL.
- REMOVE SURFACE AND GROUND WATER FROM EXCAVATIONS. PROVIDE INITIAL LIFTS OF STABLE FOUNDATION MATERIAL IF EXPOSED SOILS ARE WET AND UNSTABLE.
- ROUGH GRADE BUILDING PAD TO 12 INCHES BELOW FINISHED FLOOR ELEVATION (877.5).
- REFER TO STRUCTURAL SPECIFICATIONS FOR EARTHWORK REQUIREMENTS FOR BUILDING PADS.
- AN INDEPENDENT TESTING FIRM SHALL VERIFY THE REMOVAL OF ORGANIC AND UNSUITABLE SOILS, SOIL CORRECTION, AND COMPACTION AND PROVIDE PERIODIC REPORTS TO THE OWNER.
- PLACE AND COMPACT FILL USING LIFT THICKNESSES MATCHED TO SOIL TYPE AND COMPACTION EQUIPMENT TO OBTAIN SPECIFIED COMPACTION THROUGHOUT THE LIFT.
- COMPACT COHESIVE SOILS IN PAVED AREAS TO 95% OF MAXIMUM DRY DENSITY, STANDARD PROCTOR (ASTM D698) EXCEPT THE TOP 3 FEET WHICH SHALL BE COMPACTED TO 100%. COMPACT TO 98% DENSITY WHERE FILL DEPTH EXCEEDS 10 FEET. THE SOILS SHALL BE WITHIN 3% OF OPTIMUM MOISTURE CONTENT. IN GRANULAR SOILS ALL PORTIONS OF THE EMBANKMENT SHALL BE COMPACTED TO NOT LESS THAN 95% OF MODIFIED PROCTOR DENSITY (ASTM D1557).
- COORDINATE WITH ARCHITECTURAL FOR BUILDING STOOP LOCATIONS, SLOPES SHOWN ON ADJACENT WALKS AND PAVEMENTS SHOULD CONTINUE OVER STOOPS.
- REFER TO DETAIL C7.4/1 FOR TOPSOIL REQUIREMENTS

**PAVING NOTES**

- SPOT ELEVATIONS AT CURBLINES INDICATE FLOWLINES UNLESS NOTED OTHERWISE. SEE SHEET C4.1 FOR RM ELEVATIONS OF CATCH BASINS.
- GRADES BETWEEN PROPOSED SPOT ELEVATIONS SHALL BE CONTINUOUS AND NON-VARIABLE. SPOT ELEVATIONS SHALL GOVERN OVER CONTOUR LINES.
- PAVING SECTIONS (PRELIMINARY)
  - a. BITUMINOUS PAVING (LIGHT DUTY)
    - 1.5-INCH BITUMINOUS WEAR (INDOT 2360, SPWEA240B)
    - TACK COAT (INDOT 2397)
    - 2.5-INCH BITUMINOUS BASE (INDOT 2360, SPWB230B)
    - 10-INCH AGGREGATE BASE (INDOT 3138, CLASS 5)
    - COMPACTED SUBSOIL
  - b. CONCRETE JOINTS
    - INSTALL JOINTS AS SHOWN AND ALIGN ACROSS SIDEWALKS, CURBS, AND PAVEMENT.
    - PAVING ATTENTION TO SPACING OF EXPANSION JOINTS. JOINT SPACING SHALL BE AS FOLLOWS:
      - a. TOOLED JOINTS: DIVIDE PANELS INTO NOMINALLY EQUAL AREAS UNLESS SHOWN OTHERWISE.
      - b. EXPANSION JOINTS: SIDEWALKS - 40 FEET MAX.; CURBS - 60 FEET MAX.; PAVEMENT: 80 FEET MAX.; ADJACENT TO BUILDING FOUNDATIONS AND STOOPS.
      - c. CONTRACTION JOINTS: SIDEWALKS - 8 TO 10 FEET; CURBS AND APRONS - 12 TO 15 FEET.

**NPDES AREA SUMMARY**

| LOT 1      | EXISTING   | PROPOSED   | ULTIMATE   |
|------------|------------|------------|------------|
| PERVIOUS   | 4.45 ACRES | 2.5 ACRES  | 2.05 ACRES |
| IMPERVIOUS | 0.0 ACRES  | 1.95 ACRES | 2.4 ACRES  |
| TOTAL      | 4.45 ACRES | 4.45 ACRES | 4.45 ACRES |

| LOT 2      | EXISTING   | PROPOSED   | ULTIMATE   |
|------------|------------|------------|------------|
| PERVIOUS   | 1.75 ACRES | 1.75 ACRES | 0.65 ACRES |
| IMPERVIOUS | 0.0 ACRES  | 0.0 ACRES  | 1.1 ACRES  |
| TOTAL      | 1.75 ACRES | 1.75 ACRES | 1.75 ACRES |

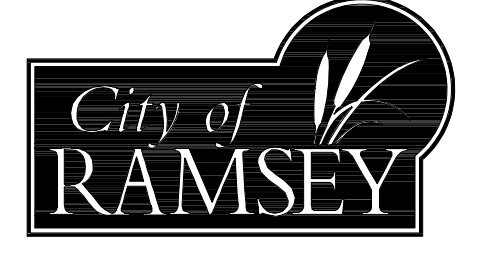
**LEGEND**

| SYMBOL | DESCRIPTION                 | ESTIMATED QUANTITY |
|--------|-----------------------------|--------------------|
|        | INLET PROTECTION            | 11 EACH            |
|        | SILT FENCE                  | 1,760 FEET         |
|        | TREE FENCE                  | 550 FEET           |
|        | VEHICLE TRACKING PAD        | 1 EACH             |
|        | PAVEMENT SAWCUT             |                    |
|        | CONSTRUCTION LIMITS         |                    |
|        | GATE                        |                    |
|        | DENOTES EMERGENCY OVERFLOW  |                    |
|        | DENOTES ROOF DRAIN LOCATION |                    |

**DEVELOPER**

NATIONAL SELF-STORAGE, LLC  
2827 107TH AVENUE  
BLAINE, MN 55449

**MUNICIPALITY**



**PROJECT**

REGENCY COMMONS  
RAMSEY, MN

**SHEET INDEX**

| SHEET | TITLE                               |
|-------|-------------------------------------|
| C0.1  | CIVIL TITLE SHEET                   |
| C0.2  | EXISTING CONDITIONS & DEMO          |
| C0.3  | EROSION, DRAINAGE & EROSION CONTROL |
| C0.4  | PAVING PLAN & NOTES                 |
| C0.5  | SWPPP NOTES                         |
| C0.6  | UTILITIES                           |
| C0.7  | CIVIL CONSTRUCTION DETAILS          |
| C0.8  | CIVIL CONSTRUCTION DETAILS          |
| C0.9  | CIVIL CONSTRUCTION DETAILS          |
| C1.0  | CIVIL CONSTRUCTION DETAILS          |
| L1.1  | TREE PRESERVATION PLAN              |
| L1.2  | TREE PRESERVATION TABLE             |
| L1.3  | LANDSCAPE PLAN                      |
| L1.4  | LANDSCAPE DETAILS                   |

**ISSUE / REVISION HISTORY**

| DATE        | ISSUE / REVISION    | REVIEW |
|-------------|---------------------|--------|
| 03 JAN 2017 | SITE PLAN SUBMITTAL | XXX    |

**PROJECT MANAGER REVIEW**

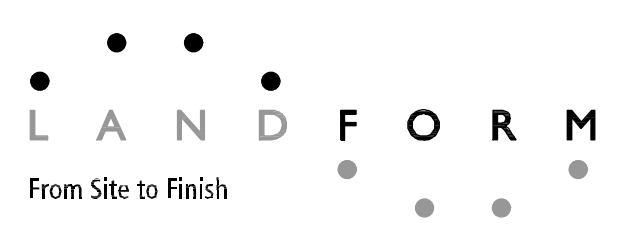
BY XX DATE XXX/XXX/XX

**CERTIFICATION**

I hereby certify that this plan was prepared under my direct supervision, and that I am a Professional Engineer under the laws of the State of Minnesota.  
Randall C. Hedlund  
License No: 19976

Signature shown in red is a scan of original. Web signed copy of this plan on file with the State of Minnesota, Professional Services, LLC office and is available upon request.

**SITE PLAN SUBMITTAL**  
01-03-2017



105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

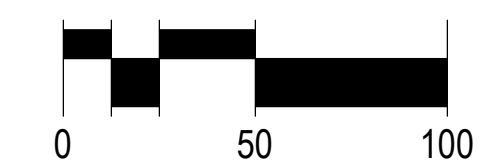
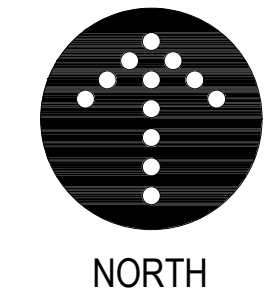
FILE NAME C301KR2001.DWG  
PROJECT NO. NSS16001

**GRADING PLAN**

**C3.1**



Know what's Below.  
Call before you dig.





| SHEET | TITLE  |
|-------|--|
| C01   | CIVIL TITLE SHEET                                |
| C02   | EXISTING CONDITIONS & DEMO                       |
| C03   | SITE PLAN  |
| C04   | GRADING, DRAINAGE & EROSION CONTROL PLAN & NOTES |
| C05   | SWPPP NOTES                                      |
| C06   | UTILITIES  |
| C07   | PERMITS  |
| C08   | CIVIL CONSTRUCTION DETAILS                       |
| C09   | CIVIL CONSTRUCTION DETAILS                       |
| C10   | CIVIL CONSTRUCTION DETAILS                       |
| C11   | CIVIL CONSTRUCTION DETAILS                       |
| C12   | TREE PRESERVATION PLAN                           |
| C13   | LANDSCAPE PLAN                                   |
| C14   | LANDSCAPE PLAN                                   |
| C15   | LANDSCAPE PLAN                                   |
| C16   | LANDSCAPE PLAN                                   |
| C17   | LANDSCAPE PLAN                                   |
| C18   | LANDSCAPE PLAN                                   |
| C19   | LANDSCAPE PLAN                                   |
| C20   | LANDSCAPE PLAN                                   |

**NPDES PERMIT AND SWPPP COMPONENTS**

1. THE CURRENT NPDES PERMIT DATED AUGUST 1, 2013 IS REFERENCED IN THIS DOCUMENT AS THE PERMIT.

**THE SWPPP INCLUDES THE FOLLOWING COMPONENTS:**

- CONSTRUCTION DOCUMENTS PREPARED BY LANDFORM
- STORMWATER MANAGEMENT PLAN/NARRATIVE
- MAINTENANCE PLAN FOR PERMANENT STORMWATER BMPs

**SITE EVALUATION/ASSESSMENT/PLANNING**

**CONTACT INFORMATION/RESPONSIBLE PARTIES**

THE OPERATOR SHALL HAVE PRIMARY RESPONSIBILITY AND SIGNIFICANT AUTHORITY FOR THE DEVELOPMENT, IMPLEMENTATION, MAINTENANCE, INSPECTION AND AMENDMENTS TO THE APPROVED SWPPP. DUTIES INCLUDE BUT ARE NOT LIMITED TO:

- ENSURING FULL COMPLIANCE WITH THE SWPPP AND THE PERMIT
- IMPLEMENTING ALL ELEMENTS OF THE SWPPP INCLUDING BUT NOT LIMITED TO:
  - IMPLEMENTING PROMPT AND EFFECTIVE EROSION AND SEDIMENT CONTROL MEASURES
  - IMPLEMENTING ALL NON-STORM WATER MANAGEMENT, AND GOOD HOUSEKEEPING BMPs ENSURING THAT NO MATERIALS OTHER THAN STORM WATER ARE DISCHARGED IN QUANTITIES WHICH WILL HAVE AN ADVERSE EFFECT ON RECEIVING WATERS OR STORM DRAIN SYSTEMS, ETC.
- CONDUCTING ROUTINE INSPECTIONS AND MAINTENANCE
- ENSURING ELIMINATION OF ALL UNAUTHORIZED DISCHARGES
- COORDINATING TO ASSURE ALL OF THE NECESSARY CORRECTIONS/REPAIRS ARE MADE IMMEDIATELY, AND THAT THE PROJECT COMPLIES WITH THE SWPPP, THE PERMIT, AND APPROVED PLANS AT ALL TIMES.

**STORMWATER POLLUTION PREVENTION MANAGEMENT MEASURES**

1. OWNER/OPERATOR MUST DEVELOP POLLUTION PREVENTION MANAGEMENT MEASURES, IMPLEMENT GOOD HOUSEKEEPING BMPs, MUST FOLLOW ALL APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES, OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA), AND THE GENERAL CONDITIONS AND GENERAL REQUIREMENTS OF THE CONSTRUCTION CONTRACT.
2. THE OPERATOR SHALL MINIMIZE THE EXPOSURE TO STORMWATER OF ANY OF THE PRODUCTS, MATERIAL, OR WASTES STORED ON SITE.
3. BUILDING PRODUCTS THAT HAVE THE POTENTIAL TO LEACH POLLUTANTS MUST BE UNDER COVER.
4. CHEMICALS AND LANDSCAPE MATERIALS SHALL BE UNDER COVER TO PREVENT THE DISCHARGE OF POLLUTANTS.
5. OPERATOR TO TRACK PROGRESS OF THE FOLLOWING ITEMS ON SITE MAPS:
  - PORTABLE TOILETS
  - MATERIAL STORAGE AREAS
  - VEHICLE AND EQUIPMENT FUELING AND MAINTENANCE AREAS
  - CONCRETE WASHOUTS
  - PAINT AND STUCCO WASHOUTS
  - DUMPSTERS OR OTHER TRASH AND DEBRIS CONTAINERS
  - SPILL KITS
  - STOCKPILES
  - ANY OTHER NON-STRUCTURAL NON-STORM WATER MANAGEMENT BMPs
  - ANY TEMPORARILY REMOVED STRUCTURAL BMPs
  - ANY CHANGES TO THE STRUCTURAL BMPs
6. SOLID WASTE: COLLECTED SEDIMENT, ASPHALT AND CONCRETE MILLINGS, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION AND DEMOLITION DEBRIS AND OTHER WASTES MUST BE DISPOSED OF PROPERLY AND MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.
7. HAZARDOUS WASTE: OIL, GASOLINE, PAINT AND ANY HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED, INCLUDING SECONDARY CONTAINMENT, TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM. STORAGE AND DISPOSAL OF HAZARDOUS WASTE OR MATERIALS MUST BE IN COMPLIANCE WITH MINN. R. CH. 7045 INCLUDING SECONDARY CONTAINMENT AS APPLICABLE.
8. PORTABLE TOILETS MUST BE POSITIONED SO THAT THEY ARE SECURE AND WILL NOT BE TIPPED OR KICKED OVER.
9. CONCRETE AND OTHER WASHOUT WASTE: OPERATOR MUST PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THE CONTAINMENT MUST BE DESIGNED SO THAT IT DOES NOT RESULT IN RUNOFF FROM THE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA RULES. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY THAT REQUIRES SITE PERSONNEL TO UTILIZE THE PROPER FACILITIES FOR DISPOSAL OF CONCRETE AND OTHER WASHOUT WASTES.
10. EXTERNAL VEHICLE WASHING: EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF MUST BE CONTAINED AND WASTE PROPERLY DISPOSED OF. NO ENGINE DEGREASING IS ALLOWED ON SITE.

**SWPPP CONTACT AND TRAINING INFORMATION**

1. OWNER:  
NATIONAL SELF STORAGE  
ATTN: TROY HALVERSON  
2827 107TH AVENUE  
BLAINE, MN 55449  
763-898-7212  
T.HALVER2@AOL.COM
2. OPERATOR:  
TO BE DETERMINED. CONTACT OWNER UNTIL CONTRACTOR IS SELECTED.
3. LONG TERM MAINTENANCE AND OPERATION:  
NATIONAL SELF STORAGE  
TROY HALVERSON  
2827 107TH AVENUE  
BLAINE, MN 55449  
763-898-7212  
T.HALVER2@AOL.COM
4. SWPPP DESIGNER:  
RANDY HEDLUND, P.E.,  
LANDFORM PROFESSIONAL SERVICES  
105 SOUTH FIFTH AVENUE, SUITE 513  
MINNEAPOLIS, MN 55401  
612-252-9070  
RHEDLUND@LANDFORM.NET  
CERTIFICATION: U OF MN, DESIGN OF CONSTRUCTION SWPPP, EXP. MAY 31, 2019
5. SWPPP INSPECTOR/MANAGER:  
FRED VOLZ, LANDFORM PROFESSIONAL SERVICES  
105 SOUTH FIFTH AVENUE, SUITE 513  
MINNEAPOLIS, MN 55401  
612-252-9070  
FVOLZ@LANDFORM.NET  
CERTIFICATION: U OF MN, DESIGN OF CONSTRUCTION SWPPP, EXP. 2018
6. BMP INSTALLATION AND REPAIR:  
TO BE DETERMINED. CONTACT OWNER UNTIL BMP INSTALLER AND MAINTANER IS SELECTED.  
CERTIFICATION: EXP.

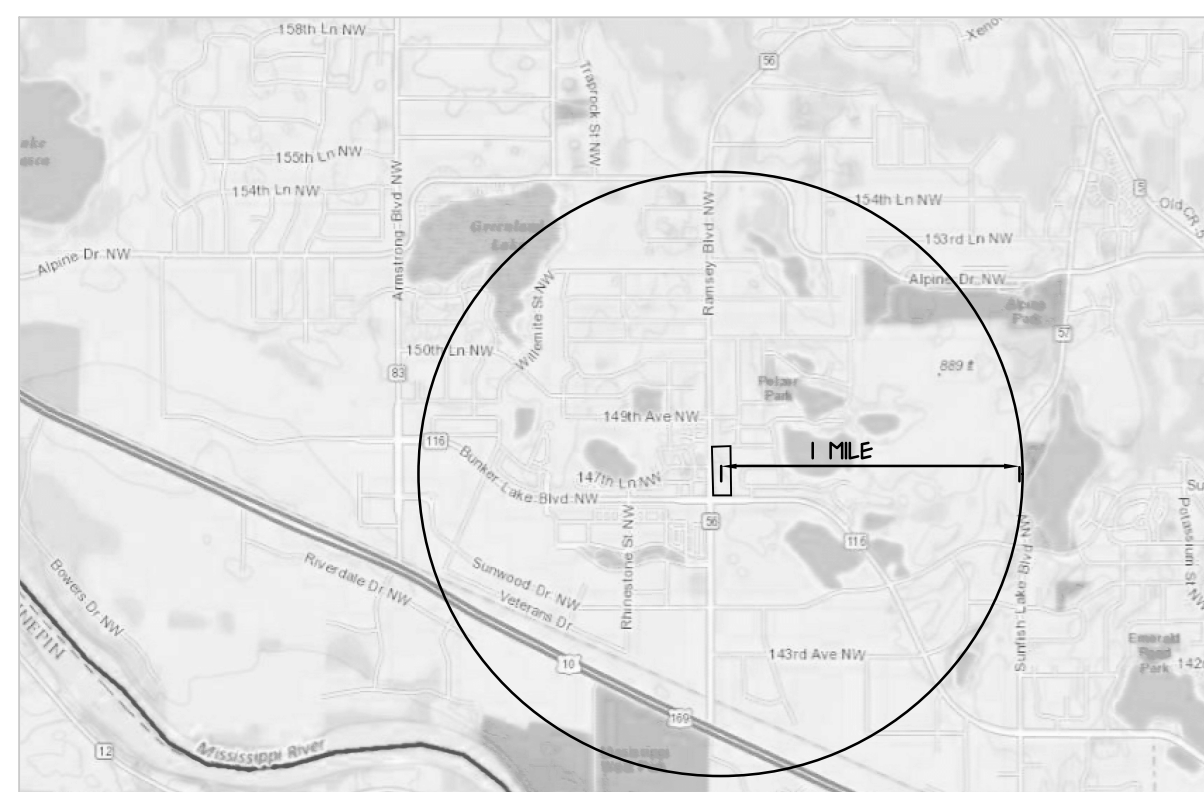
**DESCRIPTION OF CONSTRUCTION ACTIVITY**

1. CONSTRUCTION ACTIVITY INCLUDES EROSION AND SEDIMENT CONTROL BMPs INSTALLATION, CLEARING AND GRUBBING, SITE GRADING, UTILITY INSTALLATION, BUILDING CONSTRUCTION, PAVING, AND LANDSCAPING.

**SCHEDULE OF BMP INSTALLATION AND CONSTRUCTION ACTIVITY**

1. INSTALL PERIMETER SEDIMENT CONTROL BMPs PRIOR TO START OF OTHER SITE WORK. REFER TO GRADING, DRAINAGE, PAVING AND EROSION CONTROL SHEETS(S) FOR INITIAL LOCATIONS OF BMPs.
2. CONSTRUCT PERMANENT SEDIMENTATION BASINS PRIOR TO UPLAND DISTURBANCE. INSTALL PERIMETER SEDIMENT CONTROL BMPs AROUND NORMAL WATER LEVEL.
3. STABILIZE OUTLETS FROM PERMANENT SEDIMENTATION BASINS.
4. PERFORM WORK IN PHASES TO MINIMIZE DISTURBED AREA AT ANY ONE TIME.
5. STOP TOPSOIL FROM AREAS TO BE DISTURBED AND STOCKPILE WITH PERIMETER SEDIMENT CONTROL BMPs. PROVIDE STABILIZATION IF LEFT LONGER THAN 14 DAYS.
6. ROUGH GRADE SITE.
7. INSTALL UTILITIES.
8. FINAL GRADE PAVEMENT AREAS AND COMPACT SUBGRADE.
9. LAY DOWN PAVEMENT AGGREGATE AND COMPACT.
10. INSTALL CURB AND GUTTER. BACKFILL AFTER A MINIMUM OF THREE DAYS.
11. CONSTRUCT BUILDING/ADDITION AND SITE FEATURES.
12. CONSTRUCT SITE WALKS AND PATIOS.
13. PROVIDE FINAL STABILIZATION.
14. CONNECT NJRP POND TO STORM SEWER INLETS.
15. REMOVE TEMPORARY BMPs.

**WATERS WITHIN ONE MILE OF SITE**



**IMPAIRED WATERS - REQUIRED TMDLS**

1. THERE ARE NO IMPAIRED WATERS WITHIN 1 MILE OF THE SITE

**TEMPORARY SEDIMENTATION BASIN(S)**

1. THIS PROJECT DOES NOT HAVE MORE THAN 10 ACRES DRAINING TO A COTTON LOCATION AND THEREFORE A TEMPORARY SEDIMENT BASIN IS NOT REQUIRED.
2. TEMPORARY SEDIMENT BASINS SHALL PROVIDE TREATMENT TO RUNOFF BEFORE IT LEAVES THE CONSTRUCTION SITE OR ENTERS SURFACE WATERS. THE CONTRACTOR SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
  - A. SEDIMENTATION BASINS MUST PROVIDE LIVE STORAGE OF RUNOFF RESULTING FROM THE 2-1/2" 24-HR RAINFALL EVENT FROM EACH ACRES DRAINING TO THE BASIN WITH A MINIMUM OF 1800 CF/ACRE LIVE STORAGE VOLUME. (WHERE NO CALCULATION HAS BEEN PERFORMED, EACH BASIN SHALL PROVIDE AT LEAST 3600 CF/ACRE OF LIVE STORAGE). SEDIMENTATION BASINS MUST INCLUDE A STABILIZED EMERGENCY OVERFLOW TO PREVENT BASIN INTEGRITY FAILURE.
  - B. DISCHARGE FROM TEMPORARY SEDIMENTATION BASINS WILL BE WITHDRAWN FROM THE SURFACE IN ORDER TO MINIMIZE THE DISCHARGE OF POLLUTANTS.
3. DISCHARGE FROM BASIN DRAINING SHALL NOT ADVERSELY AFFECT THE RECEIVING WATER OR DOWNSTREAM PROPERTIES. CONTRACTOR WILL VISUALLY CHECK TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED AND THAT NUISANCE CONDITIONS WILL NOT RESULT FROM THE DISCHARGE.
4. ANY DISCHARGE OBSERVED TO BE OCCURRING DURING THE INSPECTION SHALL BE RECORDED, DESCRIBED, AND PHOTOGRAPHED.

**EROSION PREVENTION AND SEDIMENT CONTROL**

1. SEE GRADING, DRAINAGE, PAVING AND EROSION CONTROL SHEETS FOR THE LOCATION AND TYPE OF TEMPORARY EROSION PREVENTION AND SEDIMENT CONTROL BMPs. SEE GRADING AND DRAINAGE, UTILITY, PLANNING, AND LANDSCAPE SHEETS FOR THE LOCATION AND TYPE OF PERMANENT EROSION PREVENTION AND SEDIMENT CONTROL BMPs.

**MINIMIZE DISTURBED AREAS AND PROTECT NATURAL FEATURES AND SOIL**

APPROPRIATE CONSTRUCTION PRACTICES (E.G. CONSTRUCTION PHASING, VEGETATIVE BUFFER STRIPS, HORIZONTAL SLOPE GRADING) SHALL BE USED TO MINIMIZE EROSION. AREAS NOT TO BE DISTURBED WILL BE DELINEATED (E.G. WITH FLAGS, STAKES, SIGNS, SILT FENCE ETC.) BEFORE WORK BEGINS.

OPERATOR SHALL DEVELOP METHODS TO MINIMIZE SOIL COMPACTION OUTSIDE OF BUILDING PADS, PAVEMENT AREAS AND UTILITY TRENCHES AND SHALL USE TRACKED EQUIPMENT WHEREVER PRACTICABLE.

TOPSOIL SHALL BE SALVAGED AND REUSED TO THE EXTENT PRACTICABLE.

**PHASE CONSTRUCTION ACTIVITY**

SEDIMENT CONTROL PRACTICES SHALL BE ESTABLISHED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UPGRADE LAND DISTURBING ACTIVITIES BEGIN. THESE PRACTICES SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION HAS BEEN ESTABLISHED IN ACCORDANCE WITH THE PERMIT.

THE TIMING OF THE INSTALLATION OF SEDIMENT CONTROL PRACTICES MAY BE ADJUSTED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING OR GRUBBING, OR PASSAGE OF VEHICLES. ANY SHORT-TERM ACTIVITY MUST BE COMPLETED AS QUICKLY AS POSSIBLE AND THE SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED IMMEDIATELY AFTER THE ACTIVITY IS COMPLETED. HOWEVER, SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED BEFORE THE NEXT PRECIPITATION EVENT EVEN IF THE ACTIVITY IS NOT COMPLETE.

**CONTROL STORM WATER FLOWING ONTO AND THROUGH THE PROJECT**

THE NORMAL WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE THAT DRAINS WATER FROM ANY PORTION OF THE CONSTRUCTION SITE, OR DIVERTS WATER AROUND THE SITE, SHALL BE STABILIZED WITHIN 200 LINEAL FEET FROM THE PROPERTY EDGE, OR FROM THE POINT OF DISCHARGE INTO ANY SURFACE WATER.

STABILIZATION OF THE LAST 200 LINEAL FEET SHALL BE COMPLETED WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER.

STABILIZATION OF THE REMAINING PORTIONS OF ANY TEMPORARY OR PERMANENT DITCHES OR SWALES SHALL BE COMPLETE WITHIN 14 DAYS AFTER CONNECTING TO A SURFACE WATER AND CONSTRUCTION IN THAT PORTION OF THE DITCH HAS TEMPORARILY OR PERMANENTLY CEASED.

TEMPORARY OR PERMANENT DITCHES OR SWALES THAT ARE BEING USED AS A SEDIMENT CONTAINMENT SYSTEM (WITH PROPERLY DESIGNED ROCK DITCH CHECKS, BIO ROLLS, SILT DIKES ETC.) DO NOT NEED TO BE STABILIZED. THESE AREAS SHALL BE STABILIZED WITHIN 24 HOURS AFTER NO LONGER BEING USED AS A SEDIMENT CONTAINMENT SYSTEM.

**STABILIZE SOILS**

ALL EXPOSED SOIL AREAS (INCLUDING STOCKPILES) MUST BE STABILIZED IMMEDIATELY TO LIMIT SOIL EROSION WHEN THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED AND WILL NOT RESUME FOR 7 CALENDAR DAYS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT SILT (CLAY OR ORGANIC COMPONENTS (E.G. CLEAN AGGREGATE STOCKPILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES) AND THE CONSTRUCTED BASE COMPONENTS OF ROADS, PARKING LOTS AND SIMILAR SURFACES ARE EXEMPT FROM THIS REQUIREMENT.

TEMPORARY SOIL STOCKPILES SHALL HAVE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS, AND CANNOT BE PLACED IN SURFACE WATERS, INCLUDING STORM WATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS, OR CONDUITS AND DITCHES UNLESS THERE IS A BYPASS IN PLACE FOR THE STORM WATER.

WHEN THE SITE HAS A DISCHARGE POINT WITHIN ONE MILE OF AND FLOWS TO, A SPECIAL OR IMPAIRED WATERS, ALL EXPOSED SOIL AREAS SHALL BE STABILIZED IMMEDIATELY TO LIMIT SOIL EROSION IN THAT PORTION OF THE SITE WHERE CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED.

**PROTECT SLOPES**

OPERATOR SHALL AVOID WORK ON SLOPES WITH A GRADE OF 3:1 OR GREATER WHEN PRACTICABLE. GRADING ON SLOPES WITH A GRADE OF 3:1 OR STEEPER WILL REQUIRE TECHNIQUES SUCH AS PHASING AND STABILIZATION PRACTICES DESIGNED FOR STEEP SLOPES (E.G., SLOPE DRAINING AND TERRACING).

**PROTECT STORM DRAIN INLETS**

ALL STORM DRAIN INLETS SHALL BE PROTECTED BY APPROPRIATE BMPs DURING CONSTRUCTION UNTIL ALL SOURCES WITH POTENTIAL FOR DISCHARGING TO THE INLET HAVE BEEN STABILIZED. INLET PROTECTION MAY BE TEMPORARILY REMOVED IF A SPECIFIC SAFETY CONCERN HAS BEEN IDENTIFIED.

**ESTABLISH PERIMETER CONTROLS AND SEDIMENT BARRIERS**

**RETAIN SEDIMENT ON-SITE AND CONTROL DEWATERING PRACTICES**

DEWATERING OR BASIN DRAINING OF TURBID OR SEDIMENT LADEN WATER RELATED TO CONSTRUCTION ACTIVITIES SHALL BE DISCHARGED TO A TEMPORARY OR PERMANENT SEDIMENTATION BASIN OR TREATED WITH THE APPROPRIATE BMP PRIOR TO ENTERING THE SURFACE WATER.

DISCHARGE SHALL NOT CAUSE NUISANCE CONDITIONS, EROSION IN RECEIVING CHANNELS, ADVERSELY AFFECT RECEIVING WATER OR IMPACT WETLANDS, OR DOWNSTREAM PROPERTIES. DISCHARGE POINTS SHALL BE ADEQUATELY PROTECTED FROM EROSION AND SCOUR BY ACCEPTED ENERGY DISSIPATION MEASURES.

DISCHARGE WATER CONTAINING OIL OR GREASE SHALL BE TREATED TO REMOVE OIL OR GREASE PRIOR TO DISCHARGE TO SURFACE WATERS.

REFER TO PERMIT REQUIREMENTS FOR TEMPORARY OR PERMANENT SEDIMENT BASINS.

**ESTABLISH STABILIZED CONSTRUCTION EXITS**

VEHICLE TRACKING PADS SHALL BE ESTABLISHED AS SHOWN ON THE GRADING, DRAINAGE, PAVING AND EROSION CONTROL SHEET TO MINIMIZE TRACKING OF SEDIMENT FROM THE CONSTRUCTION SITE ONTO ADJACENT STREETS.

**POST CONSTRUCTION BMPs**

1. SEE GRADING AND DRAINAGE, UTILITY, AND LANDSCAPE SHEETS FOR POST CONSTRUCTION BMPs.

**INSPECTIONS AND MAINTENANCE**

1. INSPECTIONS OF THE CONSTRUCTION SITE SHALL BE CONDUCTED ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS, AND WITHIN SEVEN (7) DAYS AFTER THAT. REFER TO THE PERMIT FOR INSPECTION AND MAINTENANCE REQUIREMENTS.

2. INSPECTIONS SHALL INCLUDE STABILIZED AREAS, EROSION PREVENTION AND SEDIMENT CONTROL BMPs, AND INFILTRATION AREAS.

3. BMP MAINTENANCE:

- FOLLOW THE DESIGNER'S OR MANUFACTURER'S RECOMMENDED MAINTENANCE PROCEDURES FOR ALL BMPs.
- REMOVE SEDIMENT FROM BMPs WHEN THE DEPTH OF SEDIMENT HAS REACHED 1/2 THE HEIGHT OF THE BMP AND PROPERLY DISPOSE OF SEDIMENT INTO CONTROLLED AREAS TO PREVENT SOIL FROM RETURNING TO THE BMP DURING SUBSEQUENT RAIN EVENTS.
- REMOVE SEDIMENT FROM PAVED ROADWAYS AND FROM AROUND BMPs PROTECTING STORM DRAIN INLETS.
- ENSURE THAT CONSTRUCTION SUPPORT ACTIVITIES, INCLUDING BORROW AREAS, WASTE AREAS, CONTRACTOR WORK AREAS, AND MATERIAL STORAGE AREAS AND DEDICATED CONCRETE AND ASPHALT BATCH PLANTS ARE CLEANED AND MAINTAINED.
- REPLACE DAMAGED BMPs THAT NO LONGER OPERATE EFFECTIVELY.

**RECORDKEEPING/RECORD RETENTION**

1. THE SWPPP (ORIGINAL OR COPIES) INCLUDING, ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS SHALL BE KEPT AT THE SITE DURING CONSTRUCTION BY THE OWNER/OPERATOR WHO HAS OPERATIONAL CONTROL OF THAT PORTION OF THE SITE. THE SWPPP CAN BE KEPT IN EITHER THE FIELD OFFICE OR IN AN ON SITE VEHICLE DURING NORMAL WORKING HOURS.

2. ALL OWNER(S) MUST KEEP THE SWPPP, ALONG WITH THE FOLLOWING ADDITIONAL RECORDS, ON FILE FOR THREE (3) YEARS AFTER SUBMITTAL OF THE NOTICE OF TERMINATION (NOT). THIS DOES NOT INCLUDE ANY RECORDS AFTER SUBMITTAL OF THE NOT.

3. THE FOLLOWING IS A LIST OF RECORDS THAT SHALL BE KEPT AT THE PROJECT SITE AVAILABLE FOR INSPECTORS TO REVIEW:

- COPY OF THE SWPPP, WITH ANY MODIFICATIONS
- INSPECTION AND MAINTENANCE RECORDS
- PERMANENT OPERATION AND MAINTENANCE AGREEMENTS
- CALCULATIONS FOR THE DESIGN OF TEMPORARY AND PERMANENT STORM WATER MANAGEMENT SYSTEMS
- ANY OTHER PERMITS REQUIRED FOR THE PROJECT
- RECORDS OF ALL INSPECTION AND MAINTENANCE CONDUCTED DURING CONSTRUCTION
- ALL PERMANENT OPERATION AND MAINTENANCE AGREEMENTS THAT HAVE BEEN IMPLEMENTED, INCLUDING ALL RIGHT OF WAY, CONTRACTS, COVENANTS AND OTHER BINDING REQUIREMENTS REGARDING PERPETUAL MAINTENANCE; AND
- ALL REQUIRED CALCULATIONS FOR DESIGN OF THE TEMPORARY AND PERMANENT STORM WATER MANAGEMENT SYSTEMS.

**LOG OF CHANGES TO THE SWPPP/AMENDMENTS**

1. THE OWNER/OPERATOR(S) MUST AMEND THE SWPPP AS NECESSARY TO INCLUDE ADDITIONAL REQUIREMENTS, SUCH AS ADDITIONAL OR MODIFIED BMPs, DESIGNED TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS AS DETAILED IN THE PERMIT.

**FINAL STABILIZATION**

1. THE OWNER/OPERATOR(S) MUST ENSURE FINAL STABILIZATION OF THE SITE. FINAL STABILIZATION AS DEFINED IN THE PERMIT.

**TERMINATION OF COVERAGE**

1. OWNER/OPERATOR(S) WISHING TO TERMINATE COVERAGE UNDER THIS PERMIT MUST SUBMIT A NOTICE OF TERMINATION (NOT) TO THE MPCA. COMPLIANCE WITH THIS PERMIT IS REQUIRED UNTIL A NOT IS SUBMITTED. REFER TO THE PERMIT FOR DETAILS.

**ISSUE / REVISION HISTORY**

| DATE        | ISSUE / REVISION    | REVIEW |
|-------------|---------------------|--------|
| 03 JAN 2017 | SITE PLAN SUBMITTAL | XXX    |

**PROJECT MANAGER REVIEW**

BY: XX DATE: XXX/XXX/XXX

**CERTIFICATION**

I hereby certify that this plan was prepared under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Randy C. Hedlund  
License No: 19976

Signature shown in red is a reproduction of original. Web signed copy of this plan on file at the Minnesota Department of Transportation, LLC office and is available upon request.

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE THIS SHEET HAS BEEN REPRODUCED FROM A SOURCE OF UNRELIABLE QUALITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

**SITE PLAN SUBMITTAL**

01-03-2017

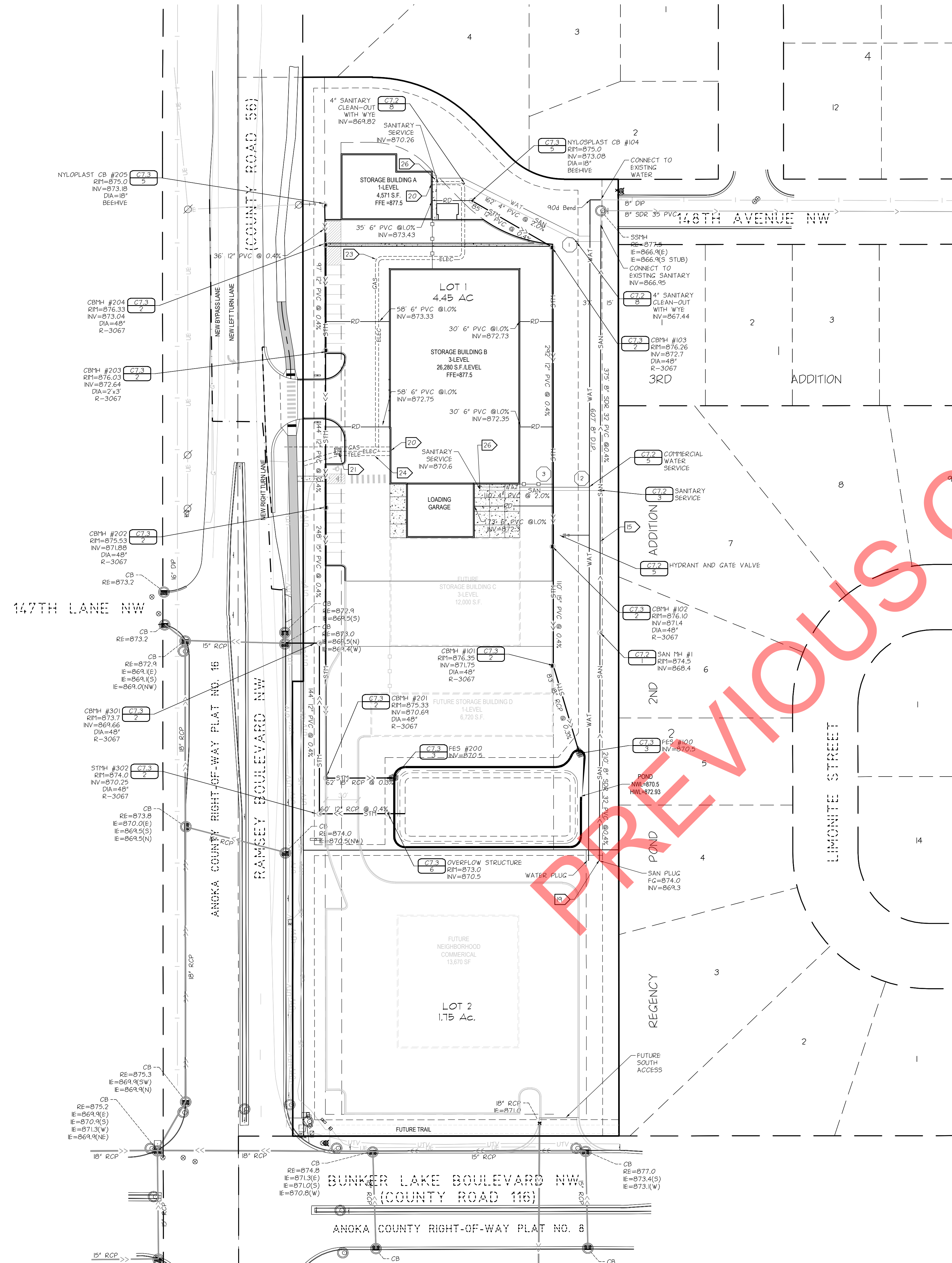


105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME: C302NSS001.DWG  
PROJECT NO.: NSS16001

**SWPPP**

**C3.2**



**GENERAL NOTES**

- FOR CONSTRUCTION STAKING AND SURVEYING SERVICES CONTACT LANDFORM PROFESSIONAL SERVICES AT 612.252.9070.

**UTILITY NOTES**

- PIPE MATERIALS  
WATERMAIN: 6-8" DP CLASS 52  
WATER SERVICE: 1" COPPER TYPE K (ASTM B88) (BUILDING A)  
SANITARY SEWER: 6" FIRE SERVICE (BUILDING B)  
SAN. SEWER SERVICE: PVC SDR 35  
STORM SEWER: PVC SDR 35, SDR 26, SCHEDULE 40  
ROP 12"-18" CLASS 5 (ASTM C76)  
PVC 12"-15"
- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING.
- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL UTILITY POINTS OF CONNECTION PRIOR TO CONSTRUCTION OF ANY PROPOSED UTILITIES. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF THERE IS ANY DISCREPANCY.
- CONTRACTOR TO POT-HOLE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION OF NEW UTILITIES TO VERIFY DEPTHS OF EXISTING LINES. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE DISCOVERED.
- PROVIDE MEANS AND MEASURES TO PROTECT ADJACENT PROPERTY FROM DAMAGE DURING UTILITY INSTALLATION.
- PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE OR END OF END SECTION.
- INSTALL TRACER WIRE WITH ALL NON-CONDUCTIVE UTILITIES.
- CONNECT TO CITY UTILITIES IN ACCORDANCE WITH CITY OF RAMSEY STANDARDS.
- CONTACT CITY OF RAMSEY PUBLIC WORKS FOR WET TAP INSPECTION.
- MAINTAIN 7.5 FEET OF COVER ON WATER.
- DEFLECT WATER TO MAINTAIN 18-INCH MINIMUM SEPARATION AT SEWER CROSSINGS. CENTER PIPE LENGTHS TO PROVIDE GREATEST SEPARATION BETWEEN JOINTS.
- CONTACT GRANT RIEHER, CITY OF RAMSEY PUBLIC WORKS DEPARTMENT, AT 763-433-4863 FOR FLUSHING AND PRESSURE TEST INSPECTIONS.
- THE WATER DISTRIBUTION SYSTEM SHALL BE DISINFECTED PER MINNESOTA RULES, PART 4715.2250.
- PROVIDE 4-INCH RIGID FOAM (ASTM D1621) INSULATION ON SANITARY SEWER LESS THAN 8 FEET DEEP. SEE DETAIL C7.2.4
- ALL PORTIONS OF THE STORM SEWER SYSTEM, LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED IN ACCORDANCE WITH MINNESOTA RULES, PART 4715.2820.
- ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATER TIGHT. APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATER TIGHT CONNECTIONS TO MANHOLES, CATCH BASINS, AND OTHER STRUCTURES.
- CATCH BASINS IN CURB AND GUTTER ARE SUPPLIED 2 INCHES BELOW THE GUTTER GRADE. REFER TO DETAIL B ON SHEET C7.2.
- EXTEND INSULATION 4' BEYOND PLUG
- COORDINATE WITH PRIVATE UTILITIES TO PROVIDE ELECTRIC, NATURAL GAS, AND COMMUNICATIONS SERVICES TO BUILDING.
- THE PRIMARY ELECTRIC FEED, TRANSFORMER, AND METER ARE PROVIDED AND INSTALLED BY CONEXUS ENERGY. THE TRANSFORMER PAD DESIGN IS PROVIDED BY THE UTILITY AND CONSTRUCTION IS BY THE CONTRACTOR. CONTACT UTILITY FOR PAD DETAIL. THE SECONDARY ELECTRIC AND CONDUITS SHALL BE INSTALLED BY THE ELECTRICAL CONTRACTOR.
- SEE ELECTRICAL SITE PLAN FOR ADDITIONAL INFORMATION.
- CENTER POINT WILL FURNISH AND INSTALL GAS SERVICE PIPING FROM THE MAINLINE TO THE METER. GAS SERVICE FROM THE METER SHALL BE INSTALLED BY THE MECHANICAL CONTRACTOR.
- COORDINATE TELEPHONE WITH CENTURY LINK TO PROVIDE TELEPHONE SERVICE. CONTRACTOR TO PROVIDE AND INSTALL A 4" PVC CONDUIT WITH FULL STRENGTH SWEEPING BENDS ONLY (NO 90 DEGREE BENDS), FROM PROPERTY LINE TO THE BUILDING.
- PROVIDE CONDUITS FOR CABLE TELEVISION AND OTHER ELECTRONIC COMMUNICATION.
- COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR LOCATIONS OF SERVICE CONNECTIONS AND CONTINUATION OF SERVICES WITHIN BUILDING.
- COMPACT COHESIVE SOILS IN PAVED AREAS TO 95% OF MAXIMUM DRY DENSITY, STANDARD PROCTOR (ASTM D698) EXCEPT THE TOP 3 FEET WHICH SHALL BE COMPACTED TO 100%. COMPACT TO 98% DENSITY WHERE FILL DEPTH EXCEEDS 10 FEET. THE SOILS SHALL BE WITHIN 3% OF OPTIMUM MOISTURE CONTENT. IN GRANULAR SOILS ALL PORTIONS OF THE EMBANKMENT SHALL BE COMPACTED TO NOT LESS THAN 95% OF MODIFIED PROCTOR DENSITY (ASTM D1557).
- ADJUST STRUCTURES TO FINAL GRADE WHERE DISTURBED. COMPLY WITH REQUIREMENTS OF UTILITY. MEET REQUIREMENTS FOR TRAFFIC LOADING IN PAVED AREAS.

**UTILITY CROSSINGS**

- CROSSING 1  
SANITARY SEWER SERVICE TOP = 867.5  
WATERMAIN BOT = 870.37
- CROSSING 2  
SANITARY SEWER SERVICE TOP = 868.4  
WATERMAIN BOT = 870.37
- CROSSING 3  
STORM SEWER INV. = 871.64  
SANITARY SERVICE TOP = 869.06  
WATER SERVICE TOP = 869.1

**DEVELOPER**

NATIONAL SELF-STORAGE, LLC  
2827 107TH AVENUE  
BLAINE, MN 55449

**MUNICIPALITY**



**PROJECT**

REGENCY COMMONS  
RAMSEY, MN

**SHEET INDEX**

| SHEET | TITLE                               |
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**ISSUE / REVISION HISTORY**

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**PROJECT MANAGER REVIEW**

**CERTIFICATION**

I hereby certify that this plan was prepared under my direct supervision, and that I am a Professional Engineer under the laws of the State of Minnesota.  
Randall C. Hedlund  
License No: 19976  
Signature shown in this location of original. Web signed copy of this plan on file with the Minnesota Professional Services, LLC office and available upon request.

**SITE PLAN SUBMITTAL**  
01-03-2017

LANDFORM  
From Site to Finish

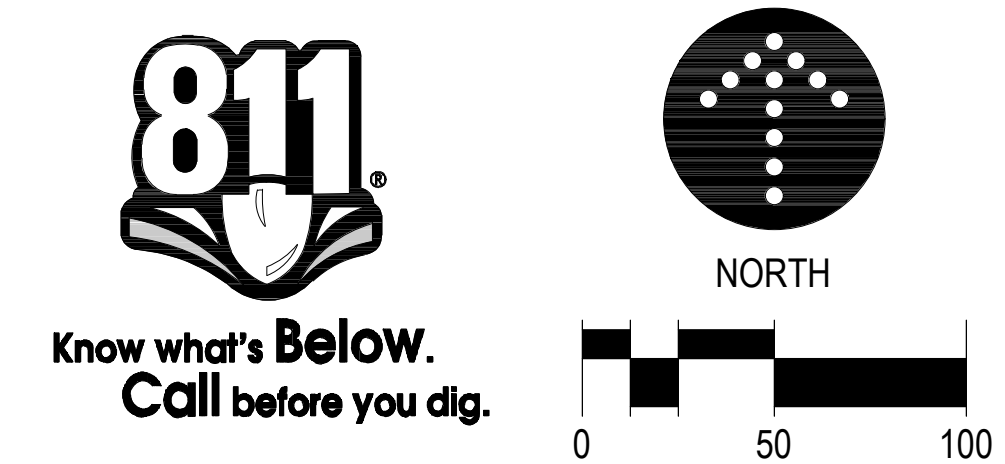
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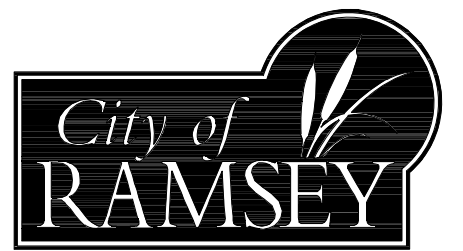
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PROJECT NO.: NSS16001

**UTILITY PLAN**

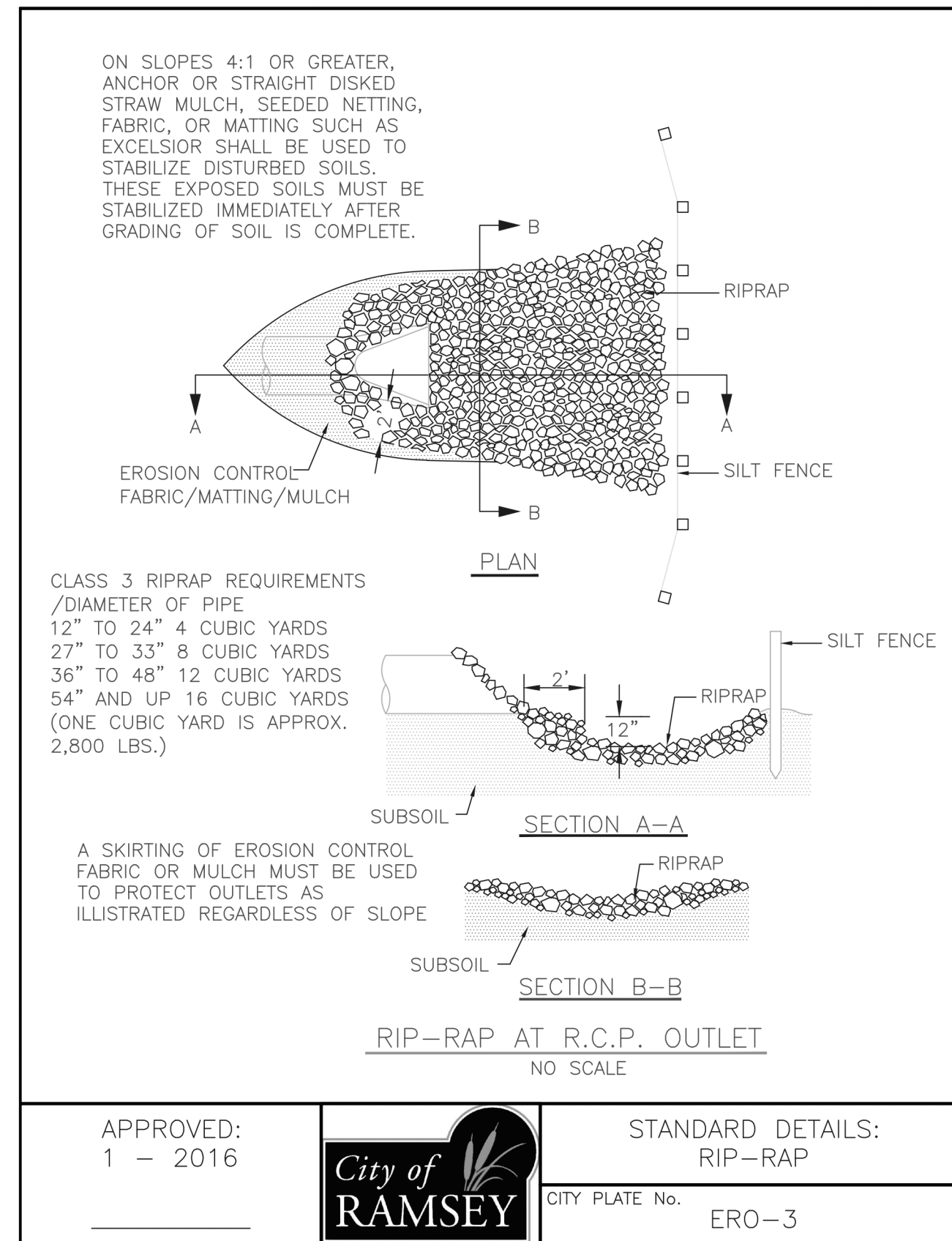
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SHEET NO. 6/15  
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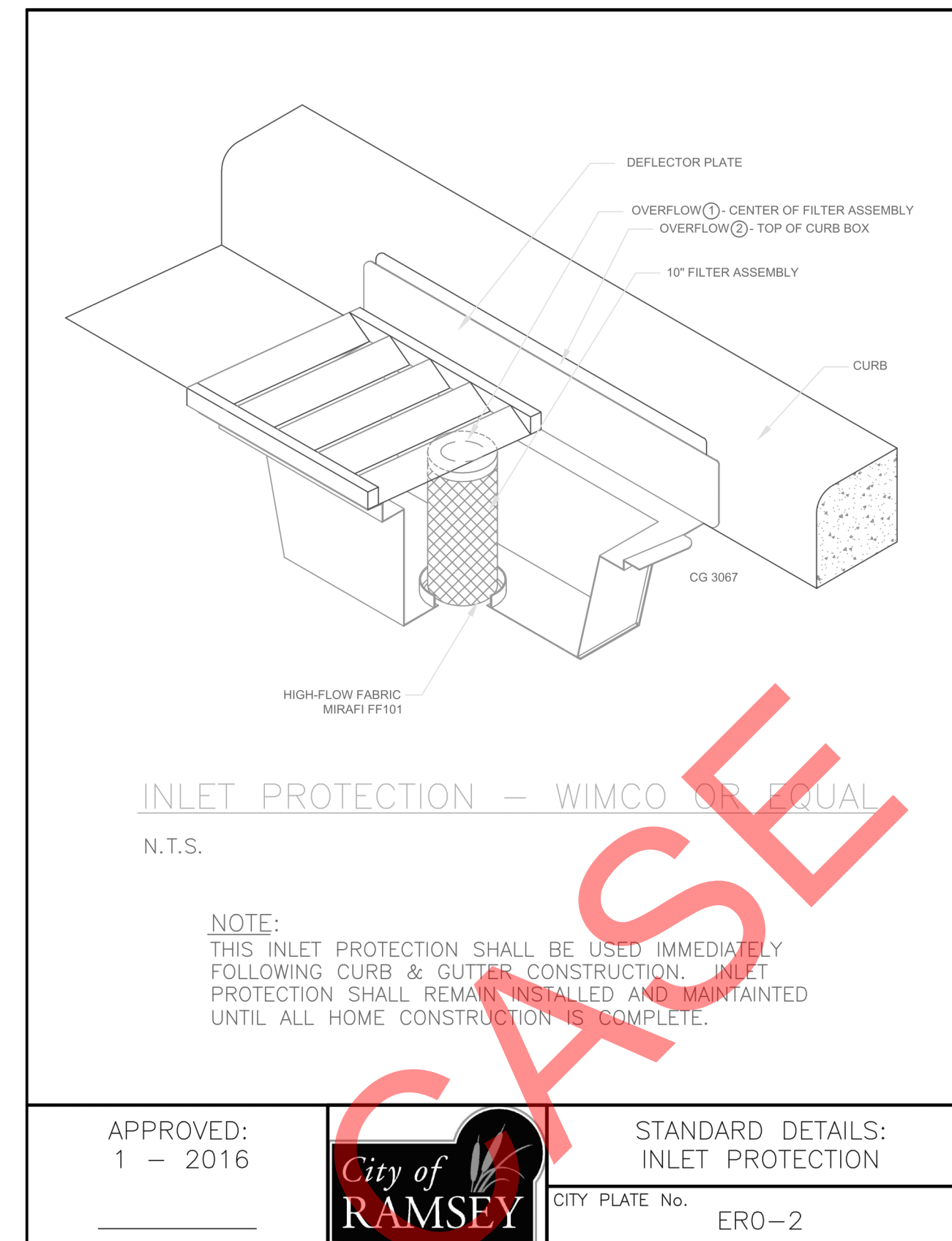




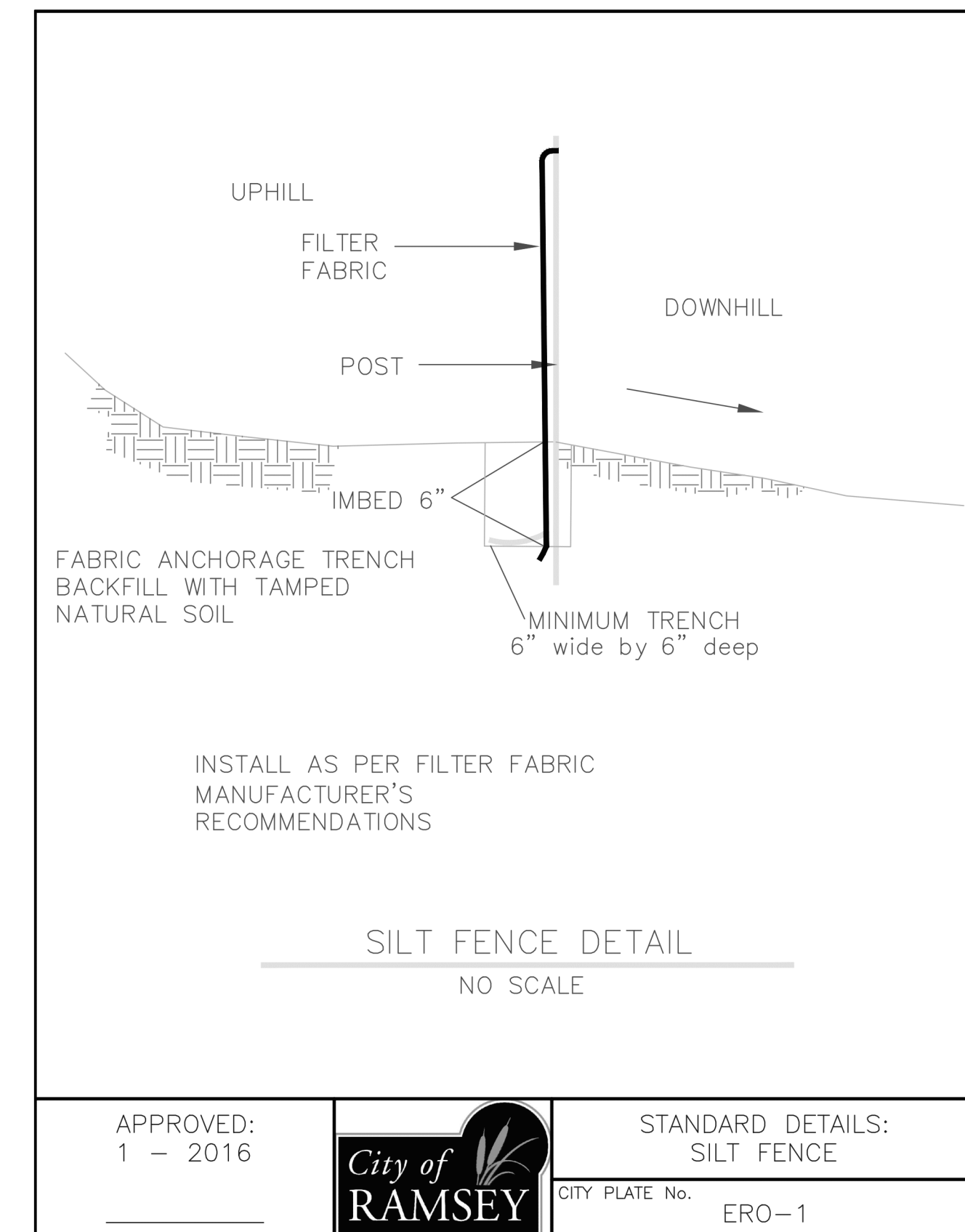
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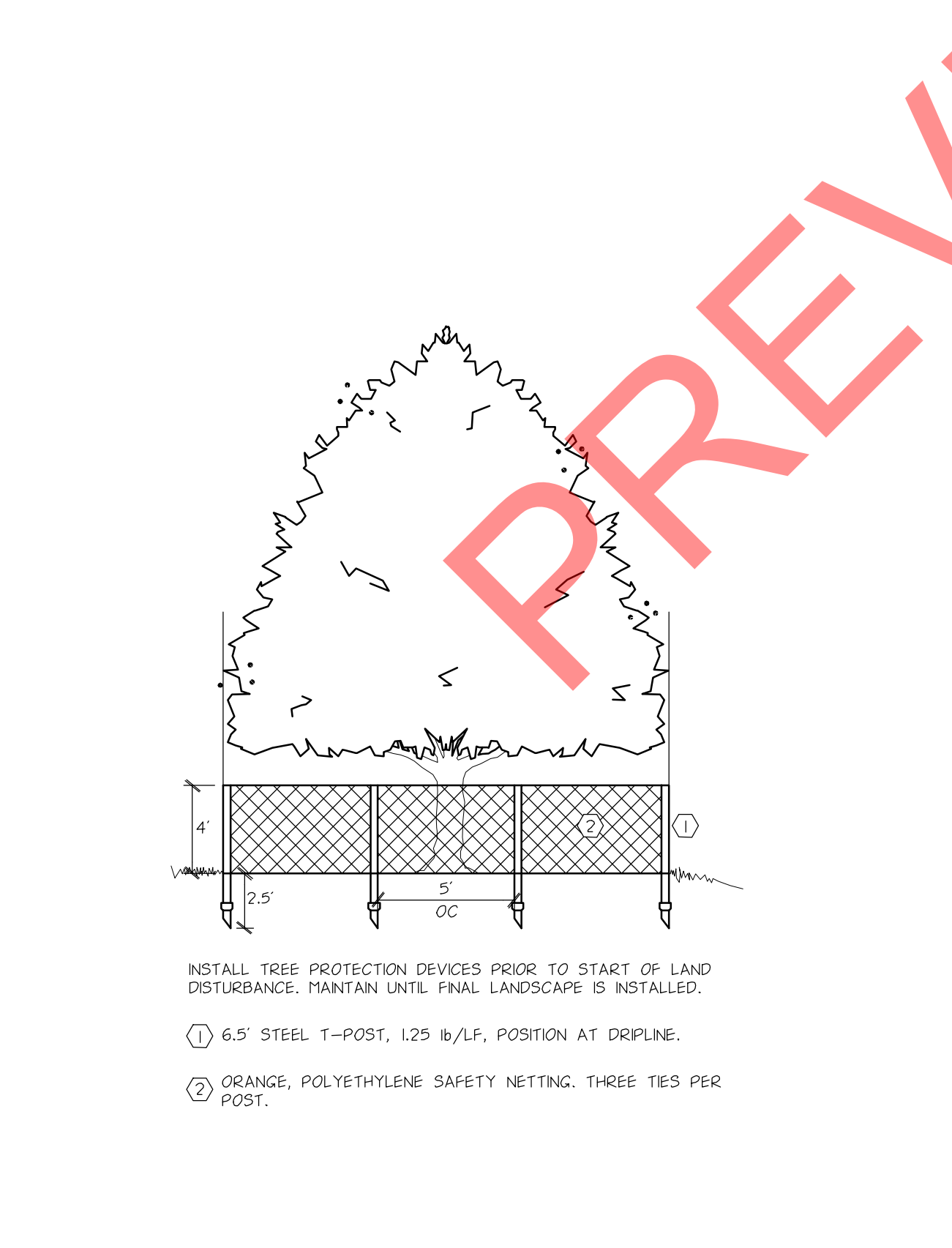
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3 INLET PROTECTION NO SCALE



1 SILT FENCE NO SCALE



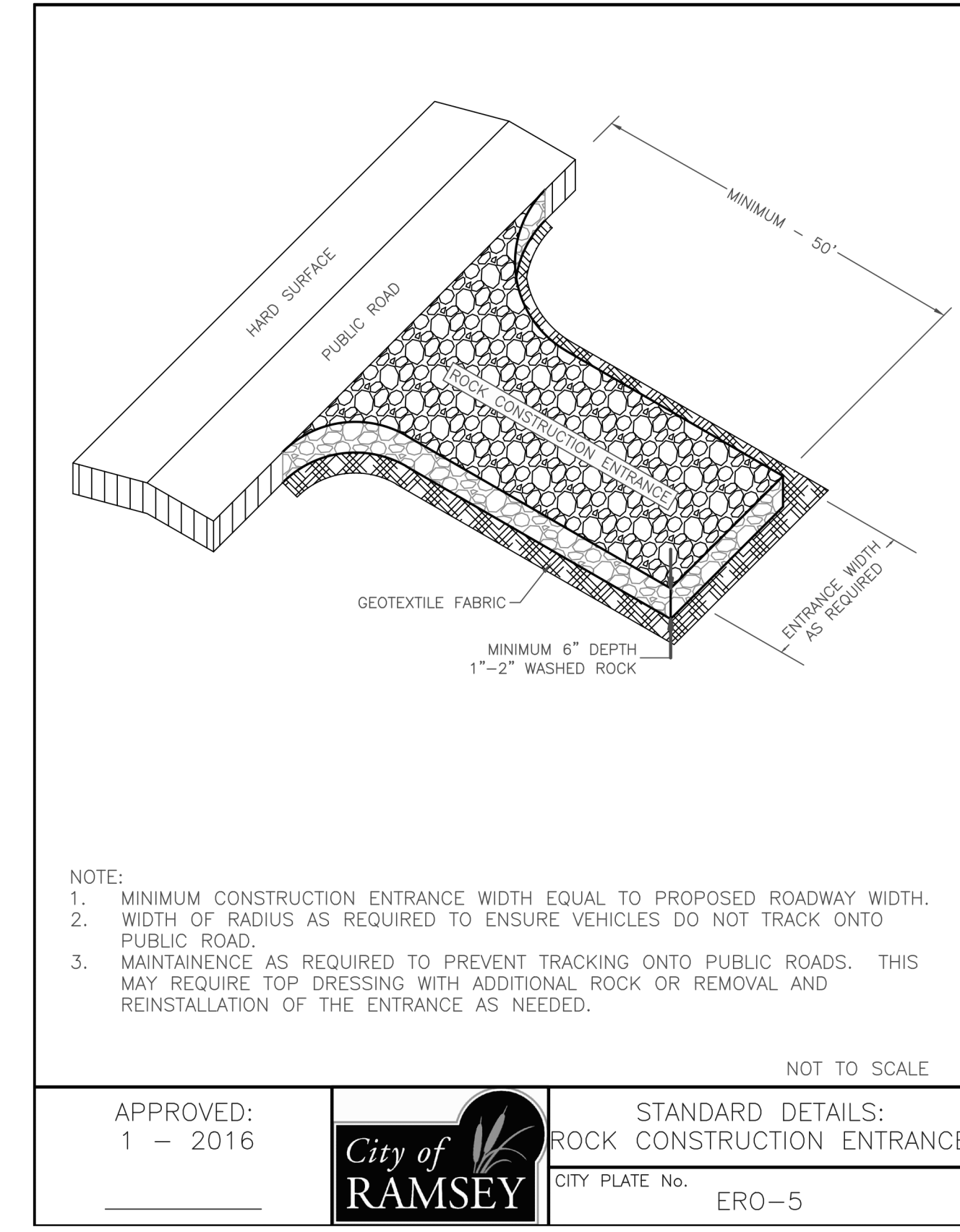
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NOTE:  
1. INSTALLATION OF 4" OF TOPSOIL MEETING MNDOT SPECIFICATION 3877A COMMON TOPSOIL BORROW, MAY BE REQUIRED ACROSS ALL DISTURBED AREAS.  
2. A SOIL CERTIFICATION FROM A GEOTECHNICAL FIRM MUST BE PROVIDED VERIFYING THE TOPSOIL MEETS SPECIFICATION ALONG WITH LOAD TICKETS TO VERIFY THE SOURCE OF MATERIAL AND QUANTITY.  
3. TOPSOIL MUST COME FROM A CITY APPROVED SOURCE.

| MNDOT 2016 SPEC TABLE 3877-1 COMMON TOPSOIL BORROW REQUIREMENT | RANGE     | TEST METHOD |
|--|-----------|-------------|
| MATERIAL PASSING THE 3/4" IN [19MM]                            | 100%      | ASTM D 422  |
| MATERIAL PASSING NO. 4 [4.75MM]                                | >85%      | -           |
| CLAY   | 5% - 35%  | ASTM D 422  |
| SILT   | 5% - 70%  | ASTM D 422  |
| SAND   | 10% - 75% | ASTM D 422  |
| ORGANIC MATTER   | 3% - 15%  | ASTM D 2974 |
| pH   | 6.1 - 7.8 | ASTM G 51   |

APPROVED: 1 - 2016  
City of Ramsey  
CITY PLATE No. ERO-6  
STANDARD DETAILS: TOPSOIL REQUIREMENTS

4 TOPSOIL REQUIREMENTS NO SCALE



2 ROCK CONSTRUCTION ENTRANCE NO SCALE

ISSUE / REVISION HISTORY

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| 03 JAN 2017 | SITE PLAN SUBMITTAL | XXXX   |

PROJECT MANAGER REVIEW

| BY | DATE   |
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| XX | XXXXXX |

CERTIFICATION

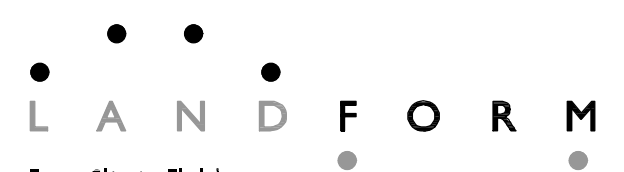
I hereby certify that this plan was prepared under my direct supervision, and that I am a Professional Engineer under the laws of the State of Minnesota.  
Randall C. Hedlund  
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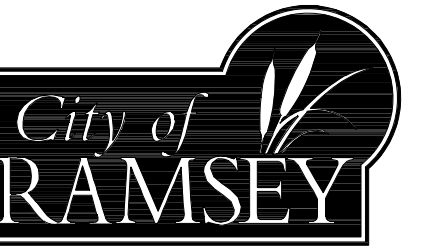
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105 South Fifth Avenue Suite 513 Minneapolis, MN 55401  
Tel: 612-252-9070 Fax: 612-252-9077 Web: landform.net

FILE NAME: C701NSS001.DWG

PROJECT NO.: NSS16001

CIVIL CONSTRUCTION DETAILS  
**C7.1**



PROJECT  
**REGENCY COMMONS  
RAMSEY, MN**

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 License No: 19976

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SITE PLAN SUBMITTAL

01-03-2017

LANDFORM

From Site to Finish

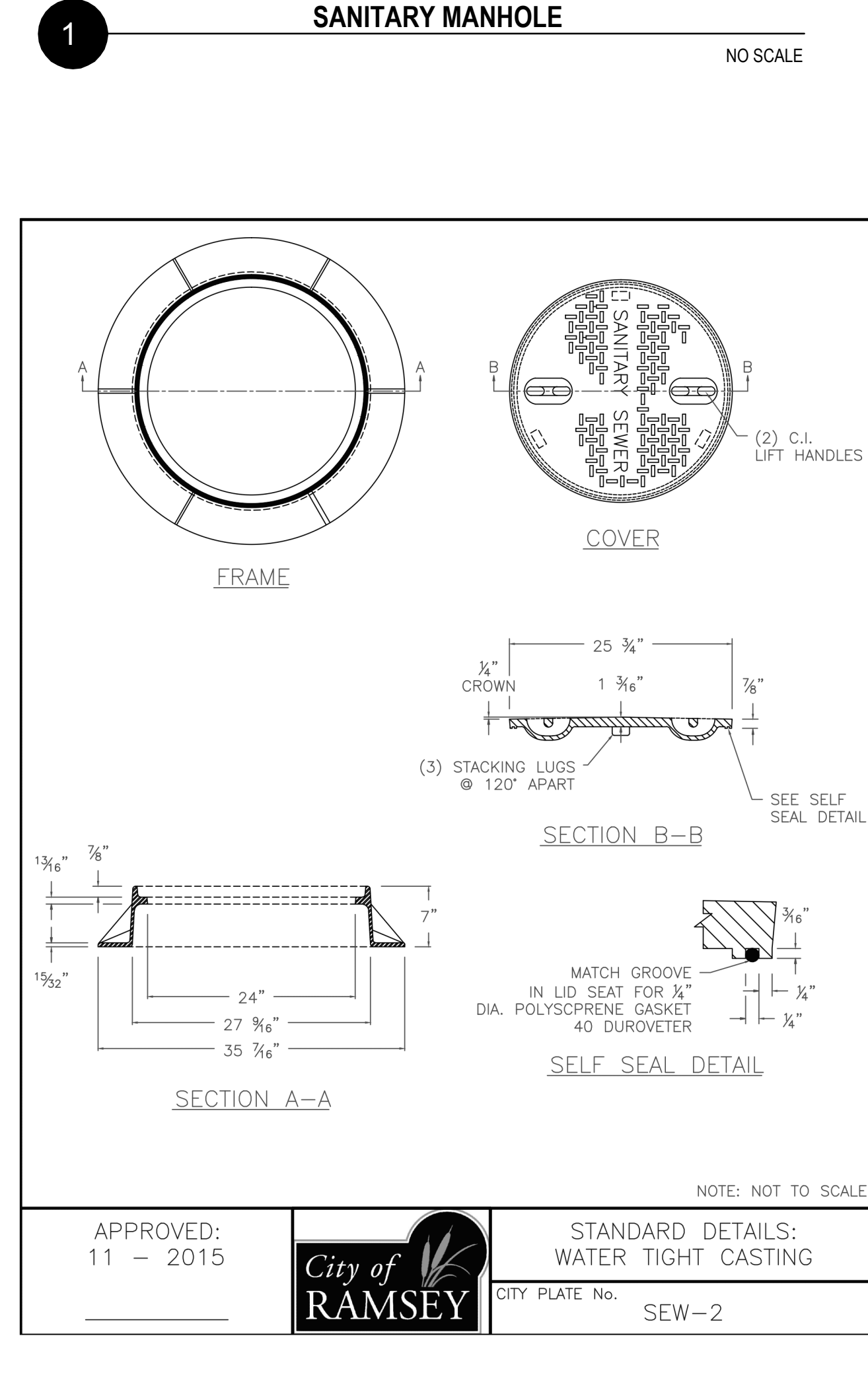
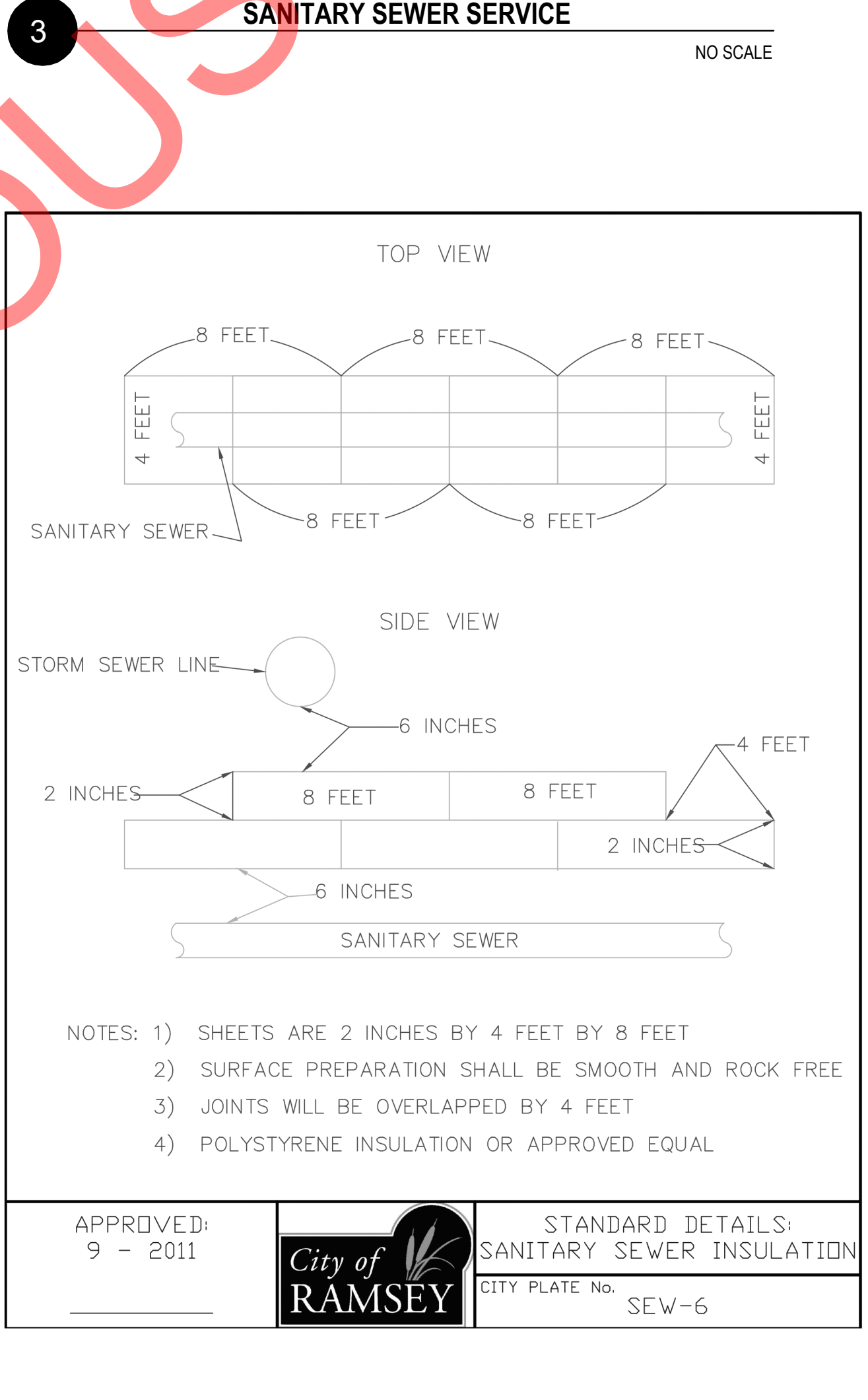
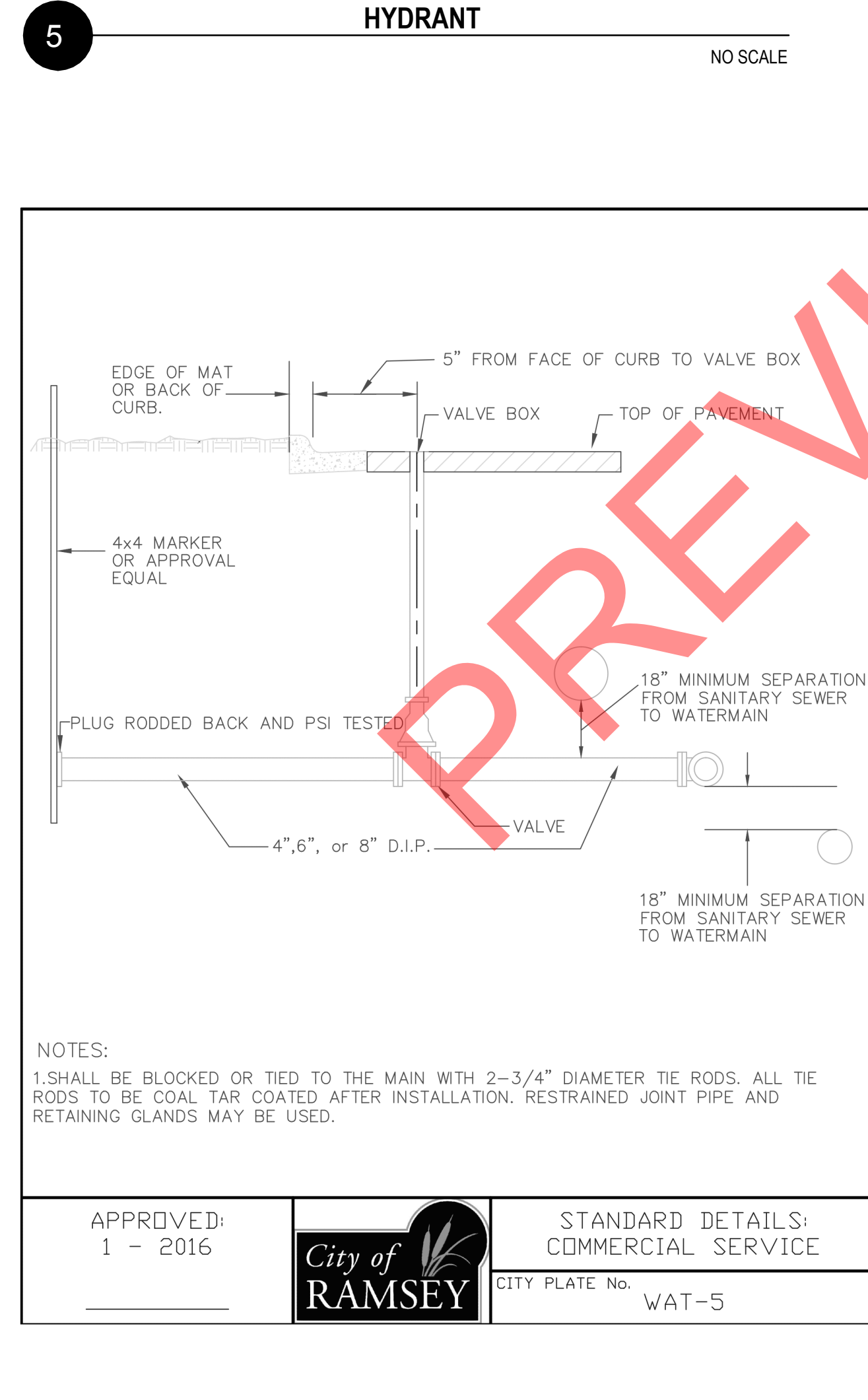
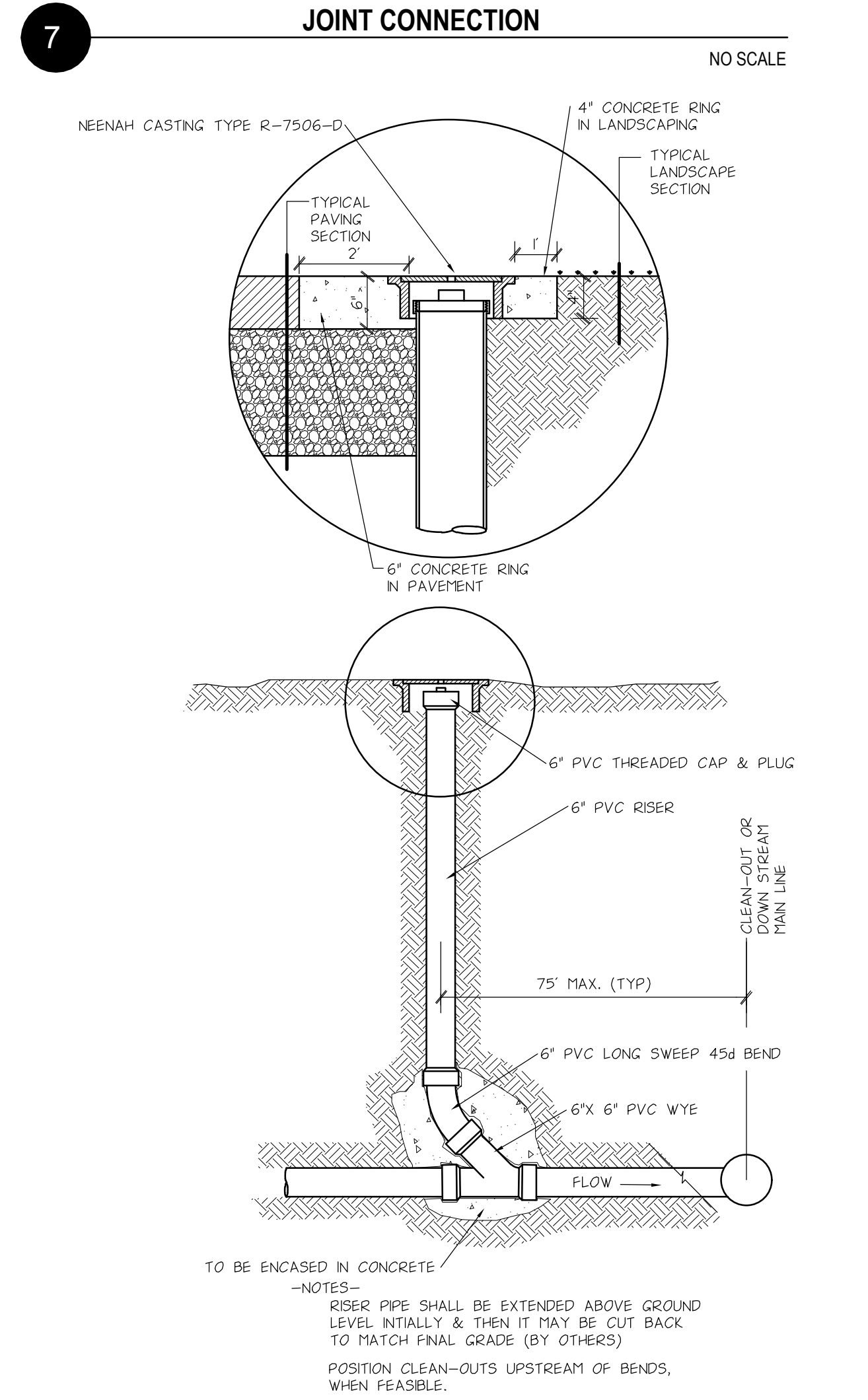
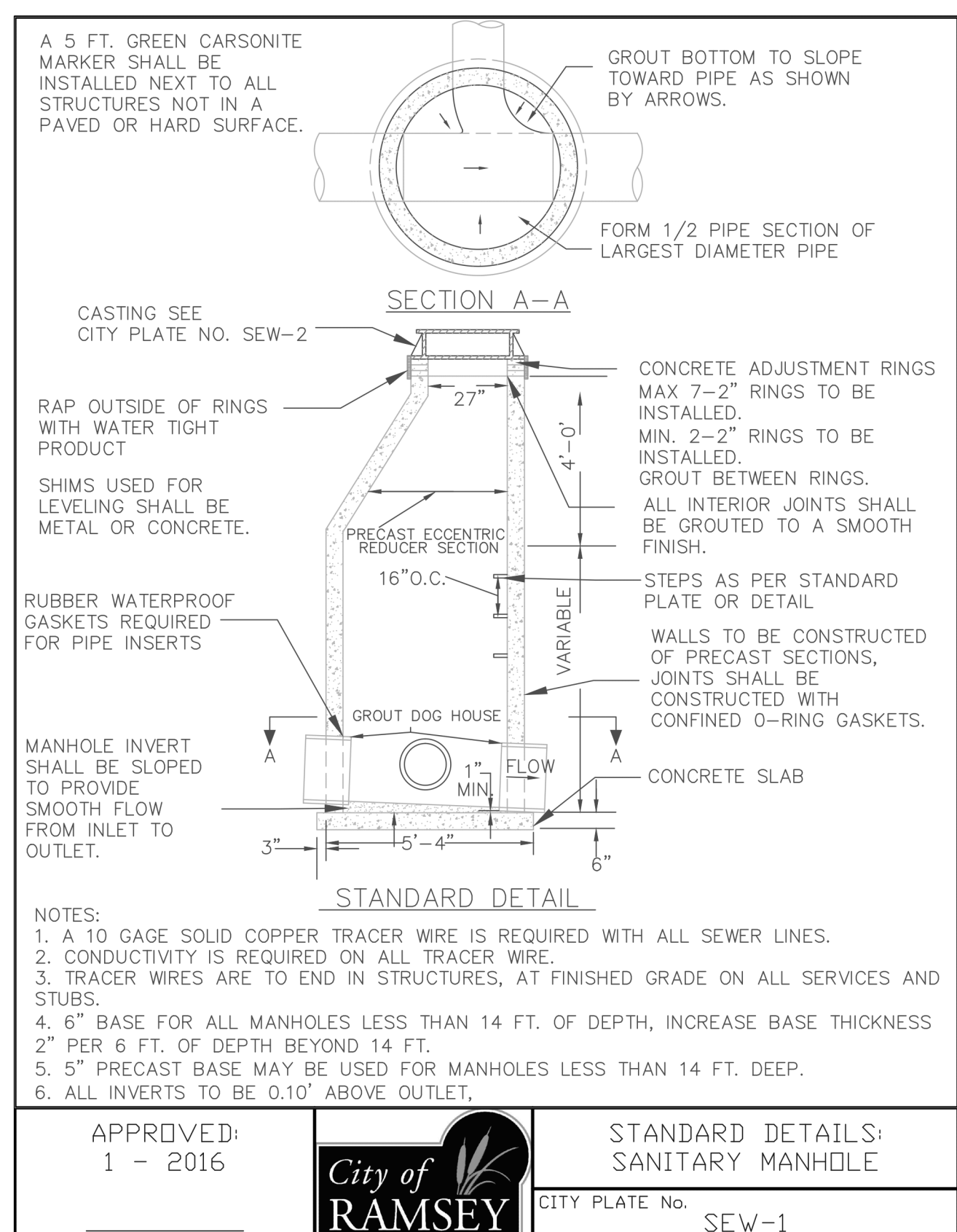
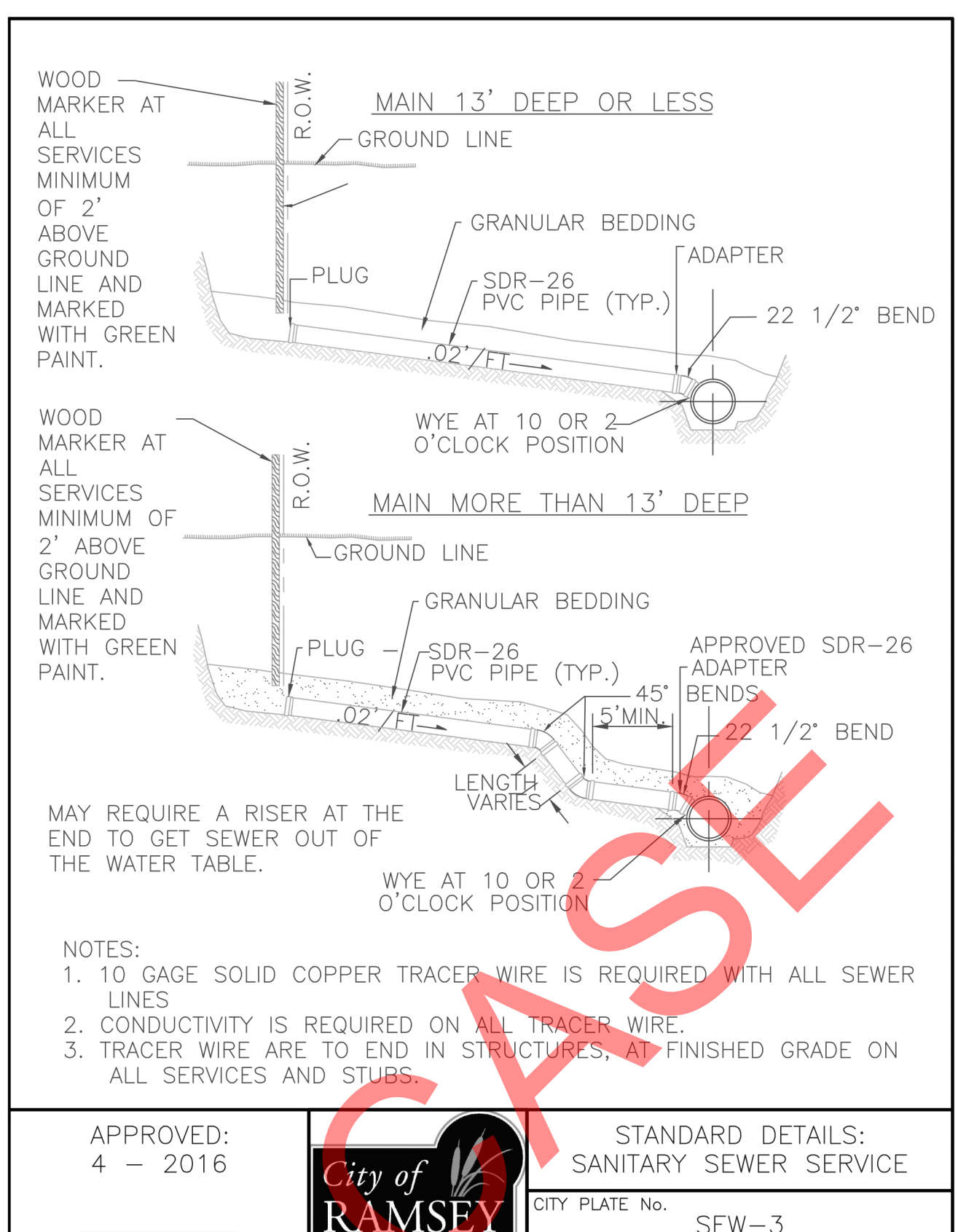
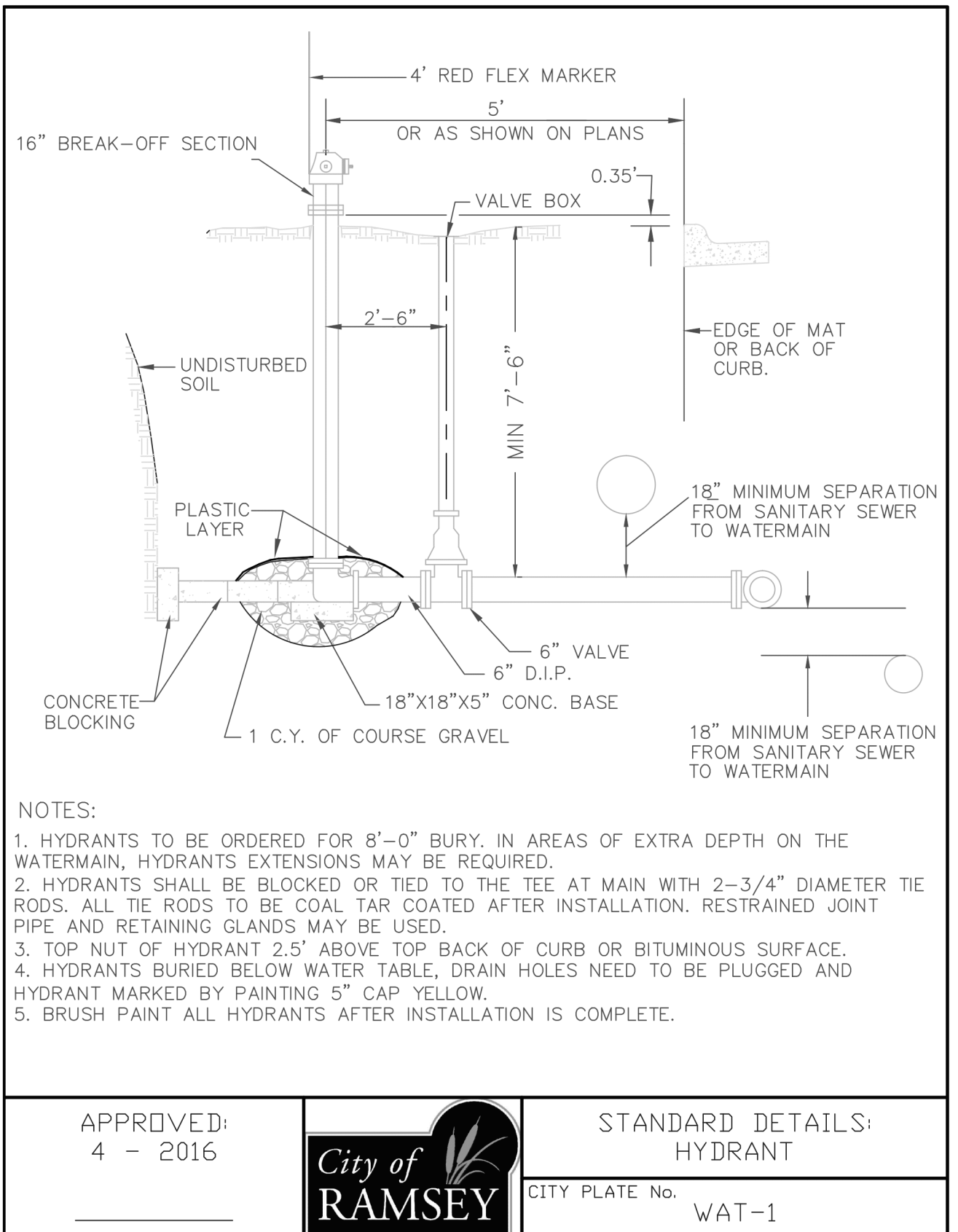
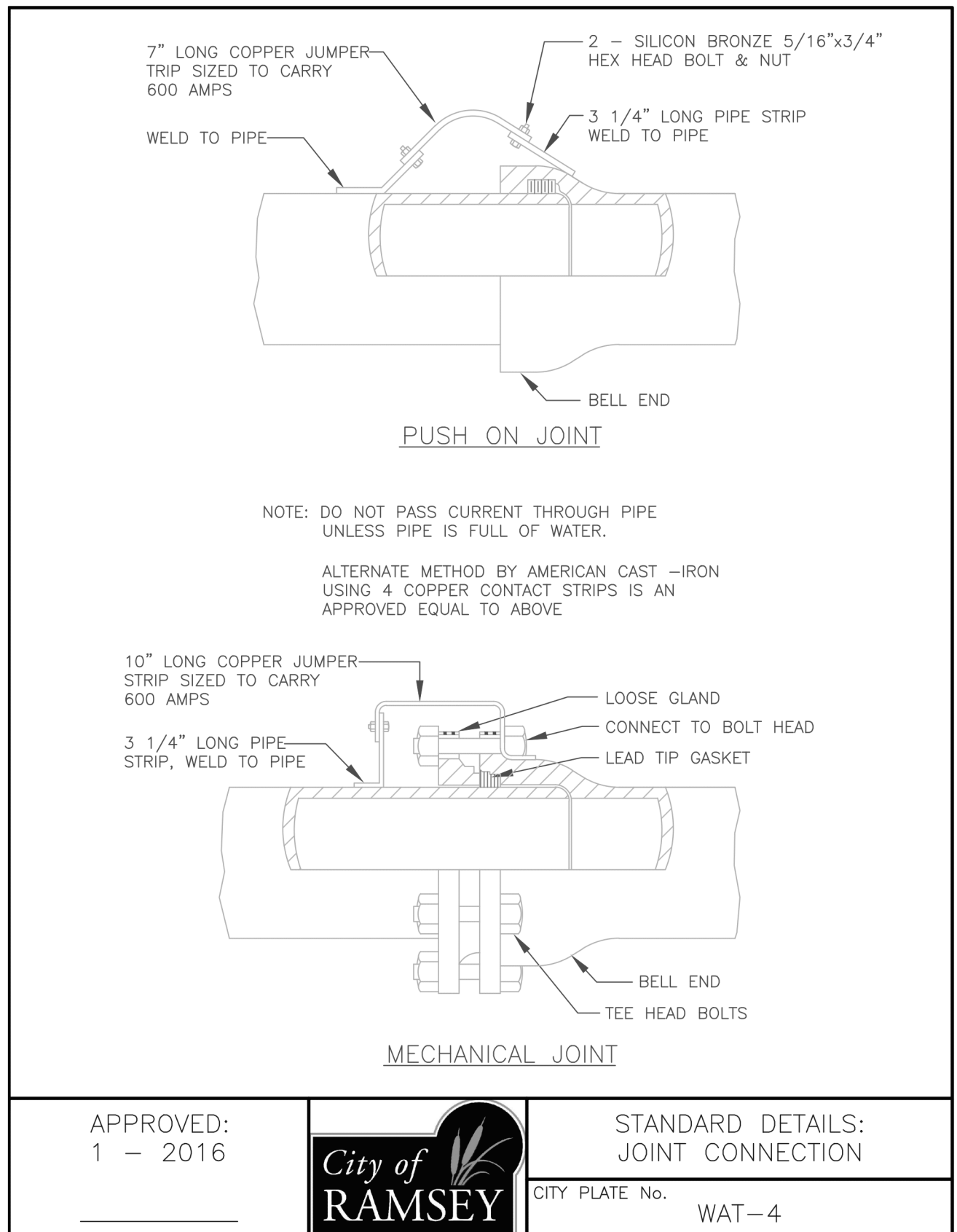
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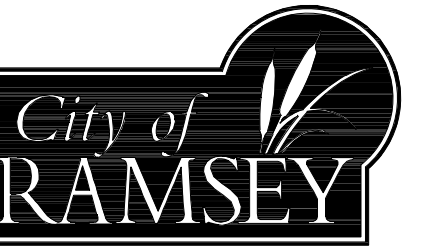
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PROJECT NO. NSS16001

CIVIL CONSTRUCTION DETAILS

C7.2





PROJECT  
**REGENCY COMMONS  
RAMSEY, MN**

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| C1.5  | CIVIL CONSTRUCTION DETAILS                              |
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| L1.2  | TREE PRESERVATION TABLE                                 |
| L2.1  | LANDSCAPE PLAN  |
| L2.1  | LANDSCAPE DETAILS                                       |

**ISSUE / REVISION HISTORY**

| DATE        | ISSUE / REVISION    | REVIEW |
|-------------|---------------------|--------|
| 03 JAN 2017 | SITE PLAN SUBMITTAL | XXX    |

**PROJECT MANAGER REVIEW**

BY: XX DATE: XXX/XXX/XX

**CERTIFICATION**

I hereby certify that this plan was prepared under my direct supervision, and that I am a Professional Engineer under the laws of the State of Minnesota.  
Randall C. Hedlund  
License No: 19976  
Signature shown in the location of original. Web signed copy of this plan on file with the Minnesota Department of Transportation, LLC office and is available upon request.

**SITE PLAN SUBMITTAL**

01-03-2017

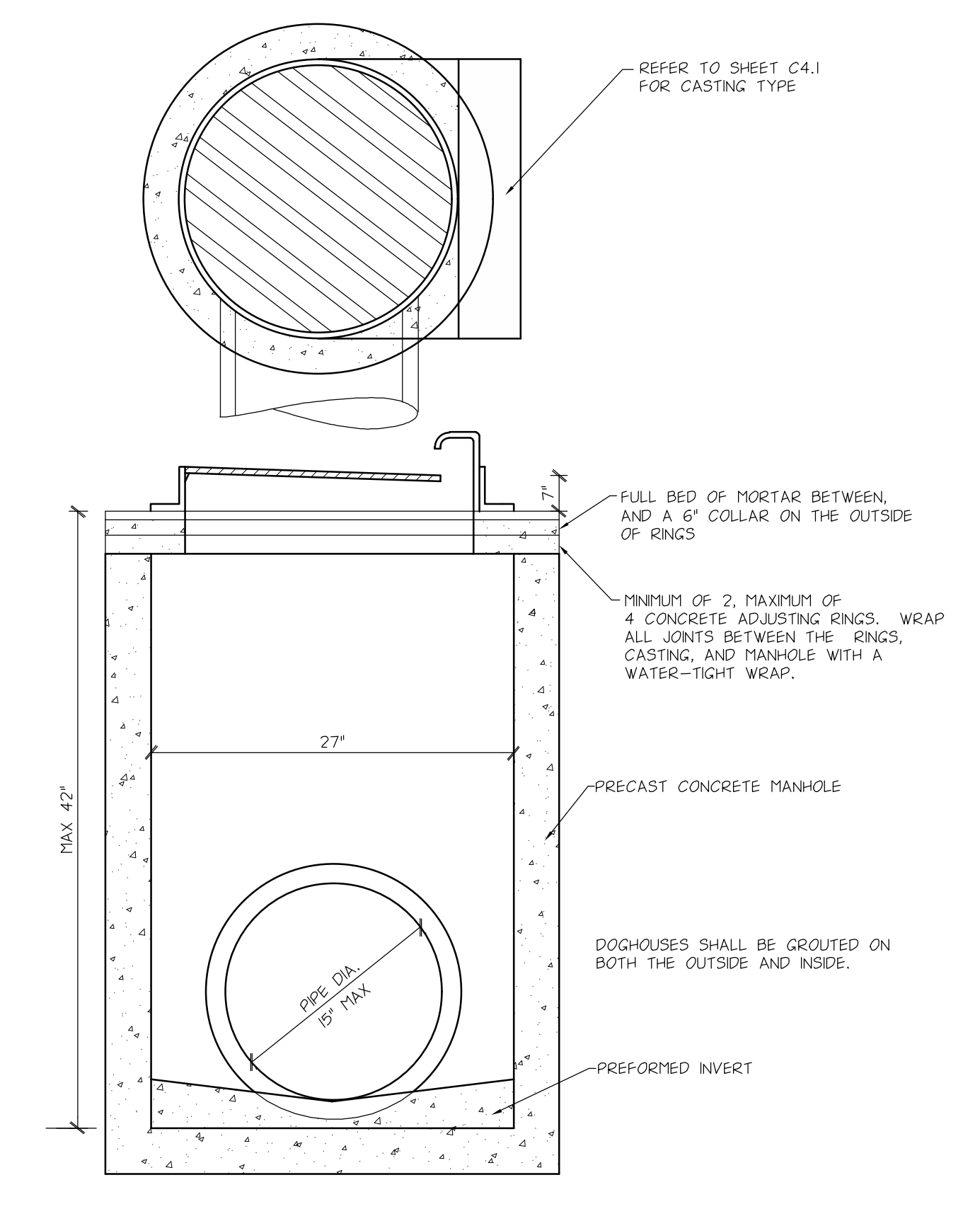
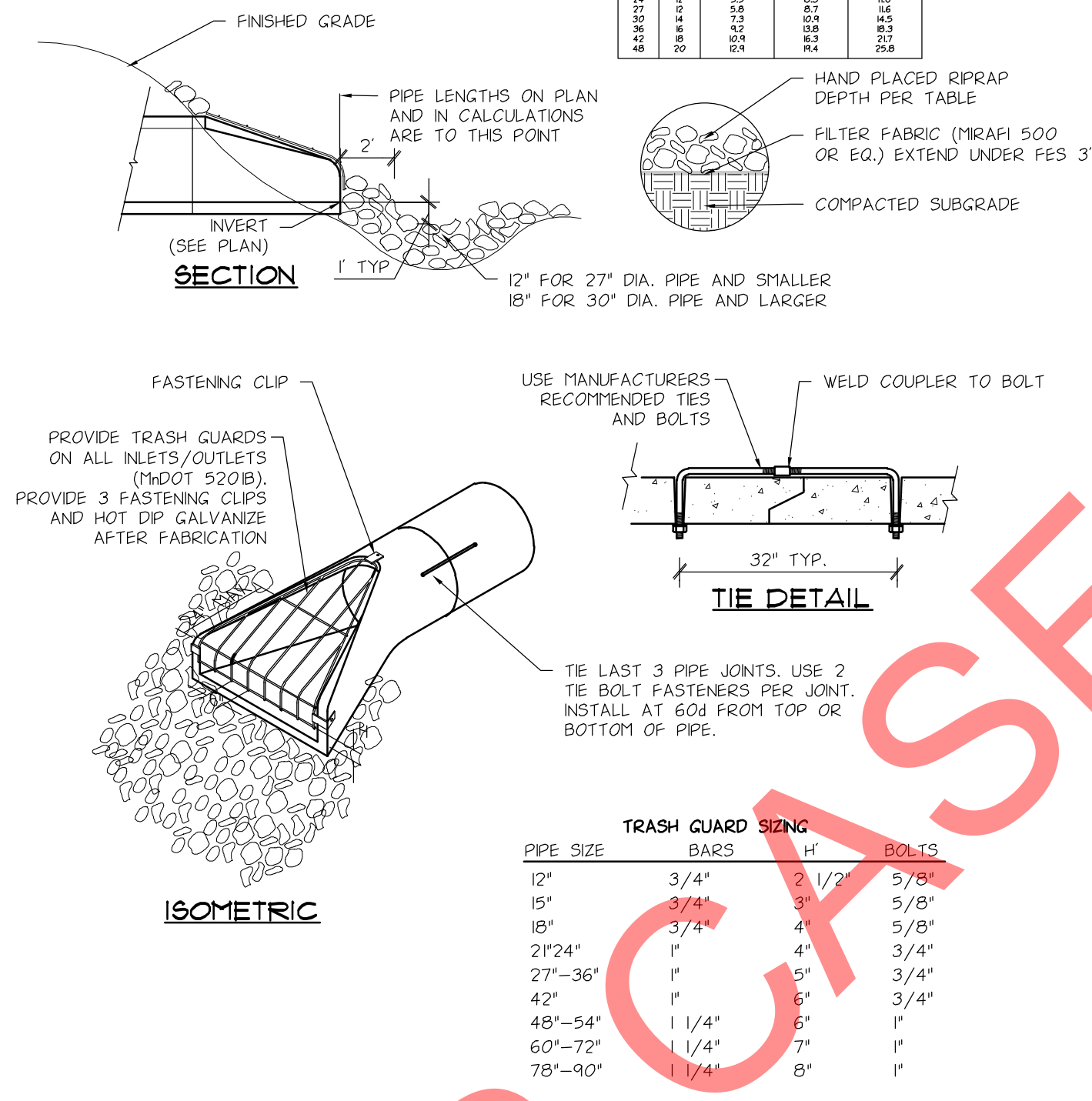
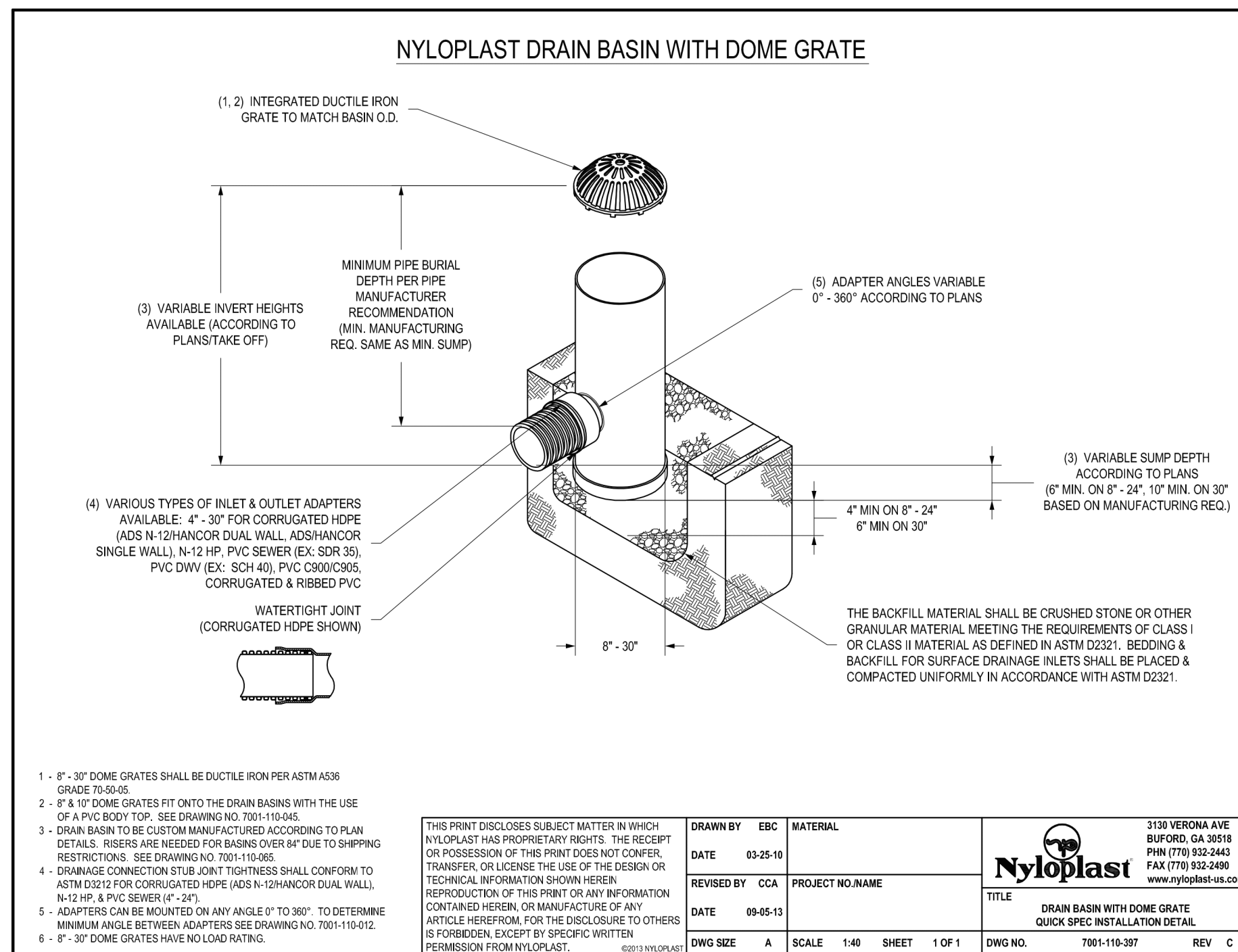


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FILE NAME: C703NSS001.DWG  
PROJECT NO.: NSS16001

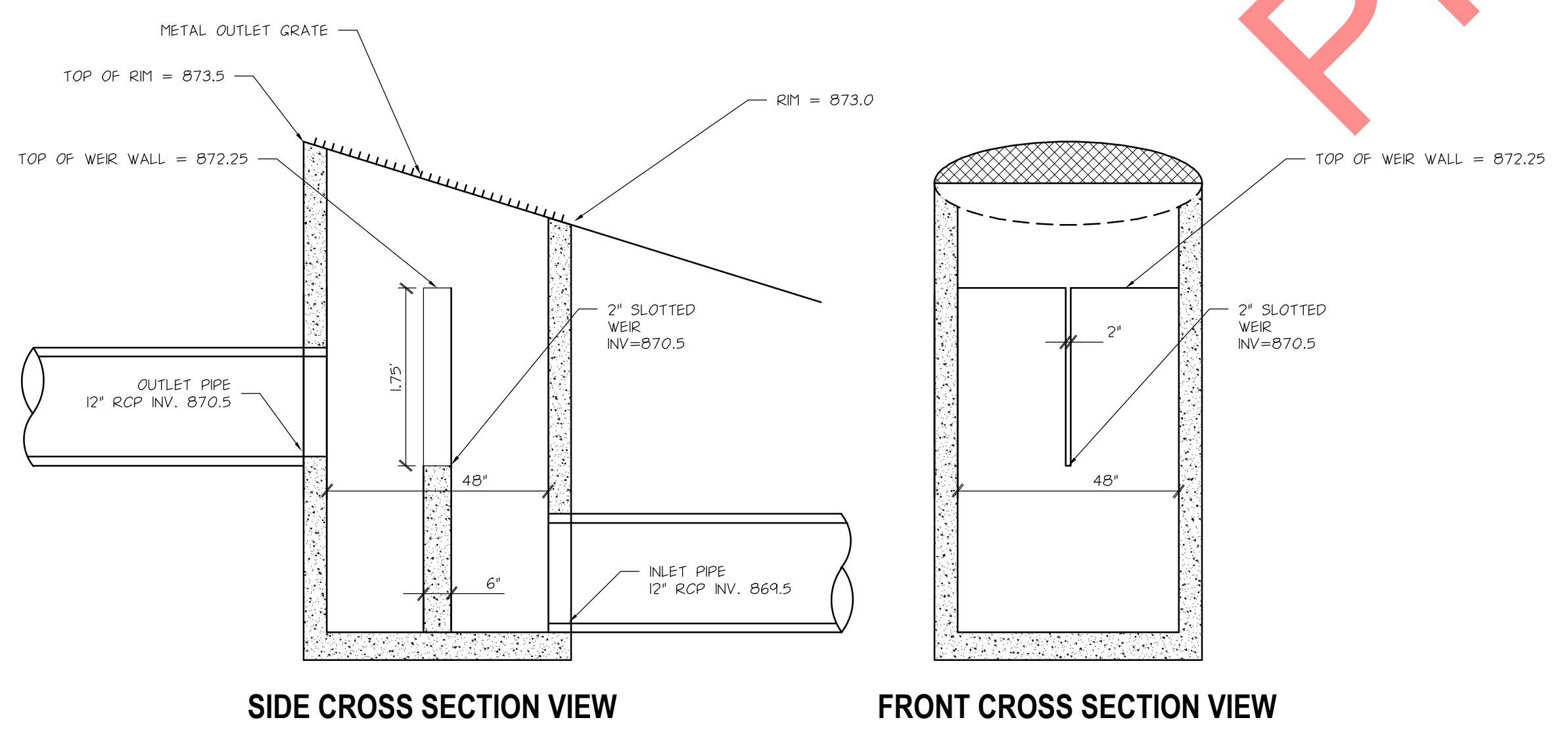
**CIVIL CONSTRUCTION  
DETAILS  
C7.3**



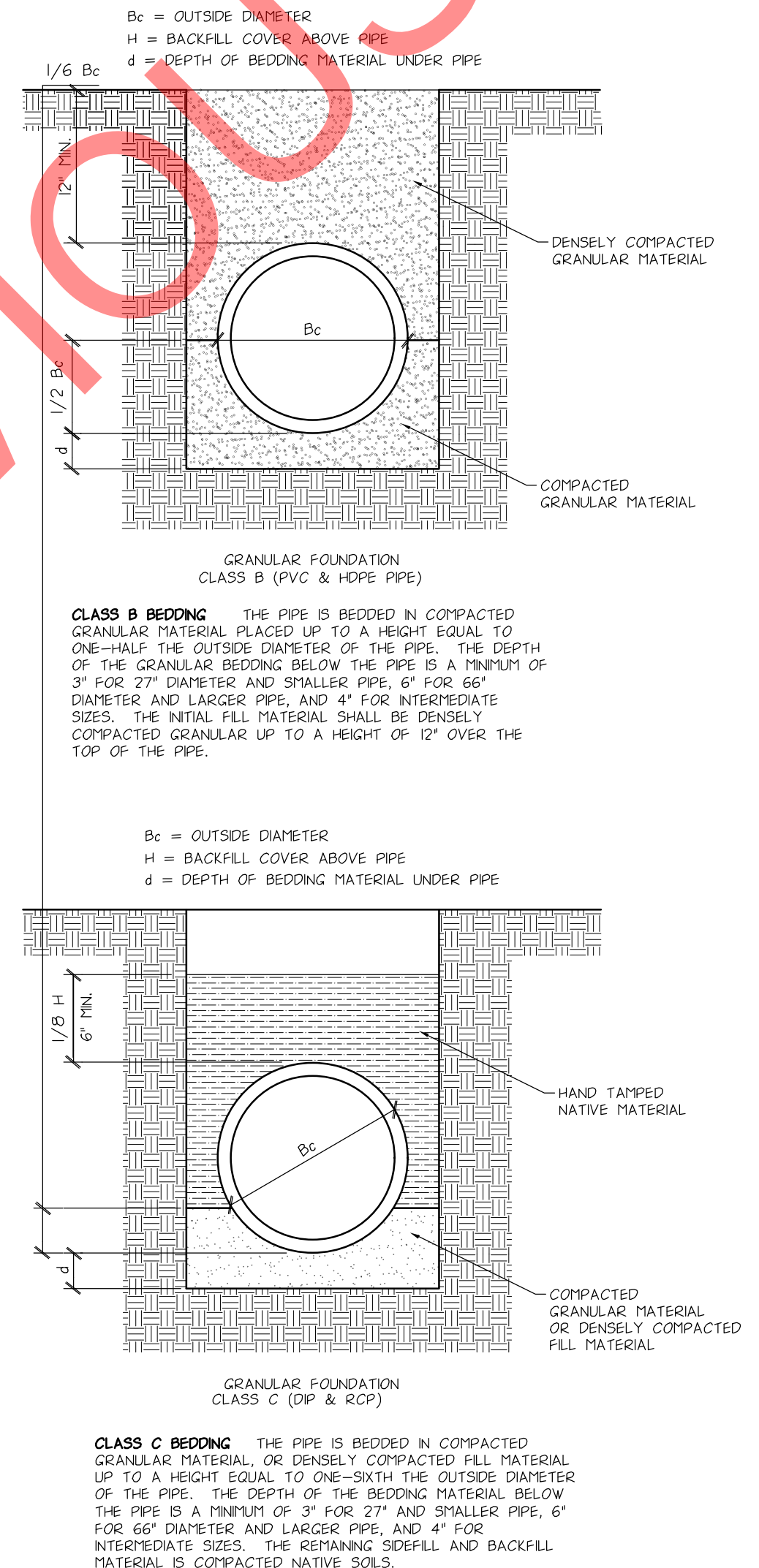
**5 NYLOPLAST CATCHBASIN**  
NO SCALE

**3 FLARED END SECTION AND TRASH GUARD WITH RIP RAP**  
NO SCALE

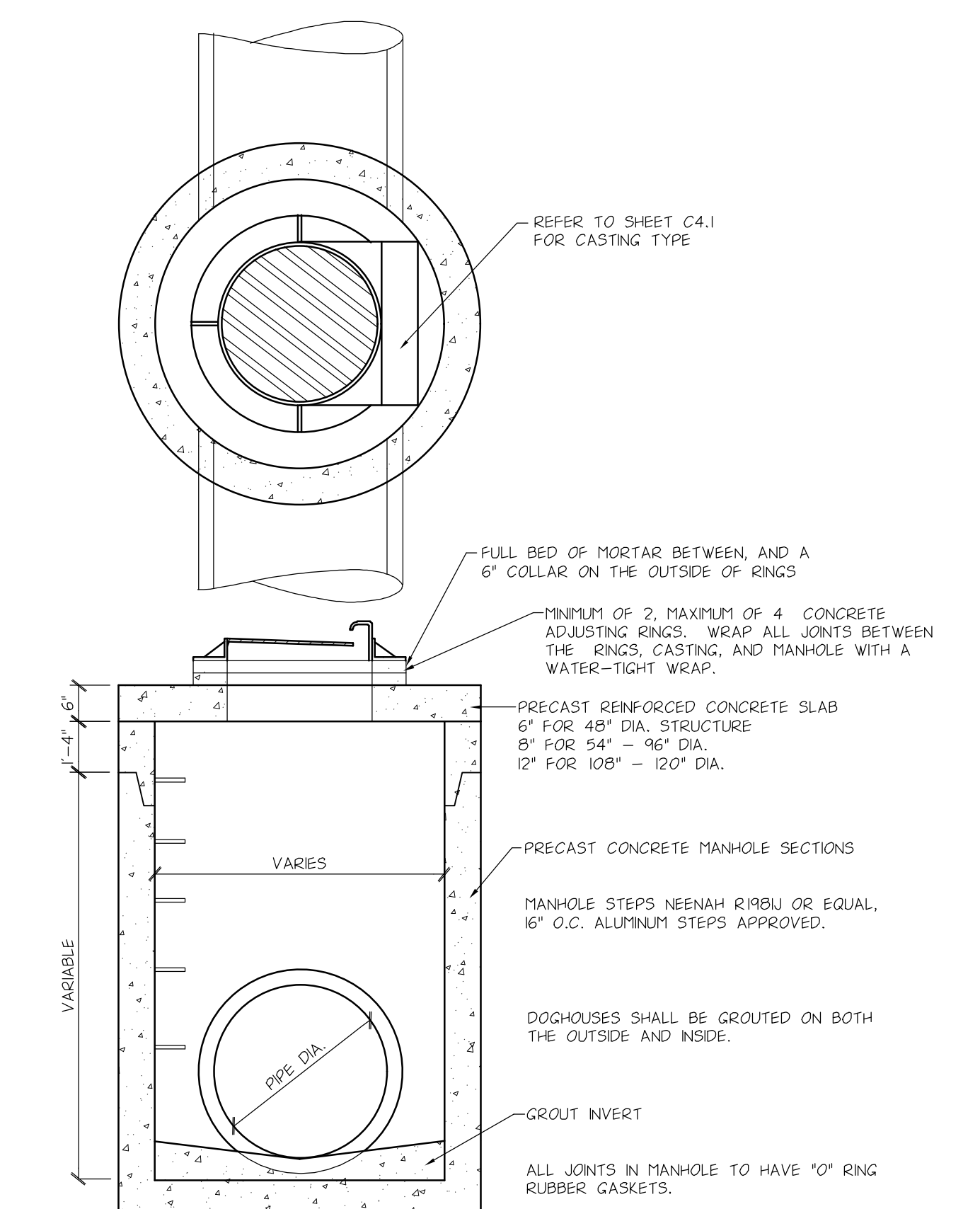
**1 27" STORM SEWER CATCH BASIN**  
NO SCALE



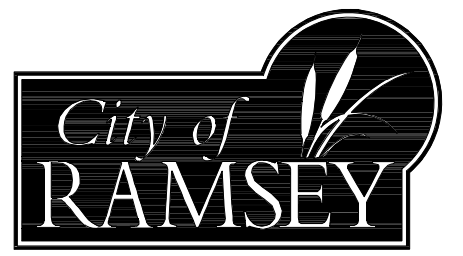
**6 OUTLET CONTROL STRUCTURE**  
NO SCALE



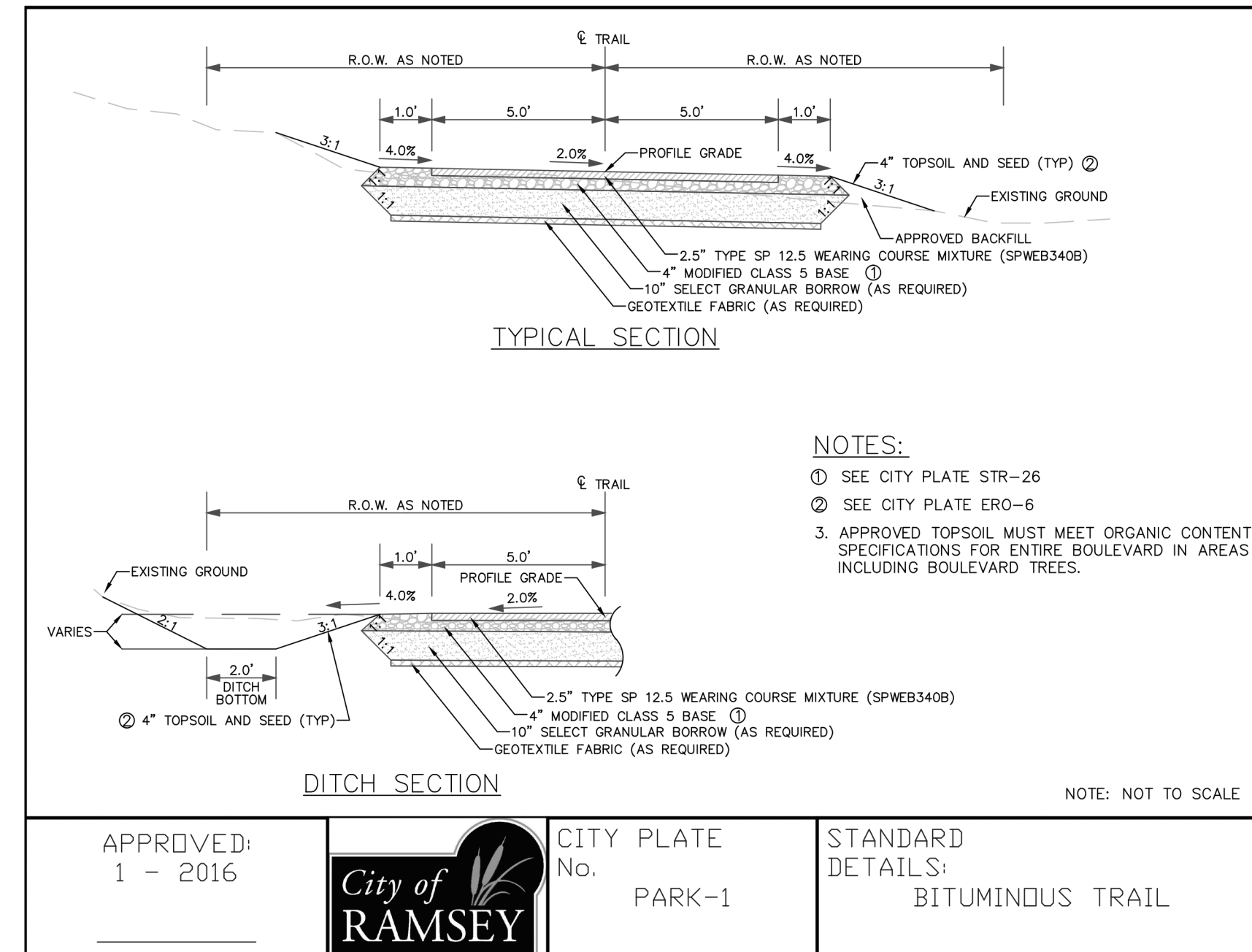
**4 PIPE BEDDING**  
NO SCALE



**2 STORM SEWER CATCH BASIN MANHOLE**  
NO SCALE

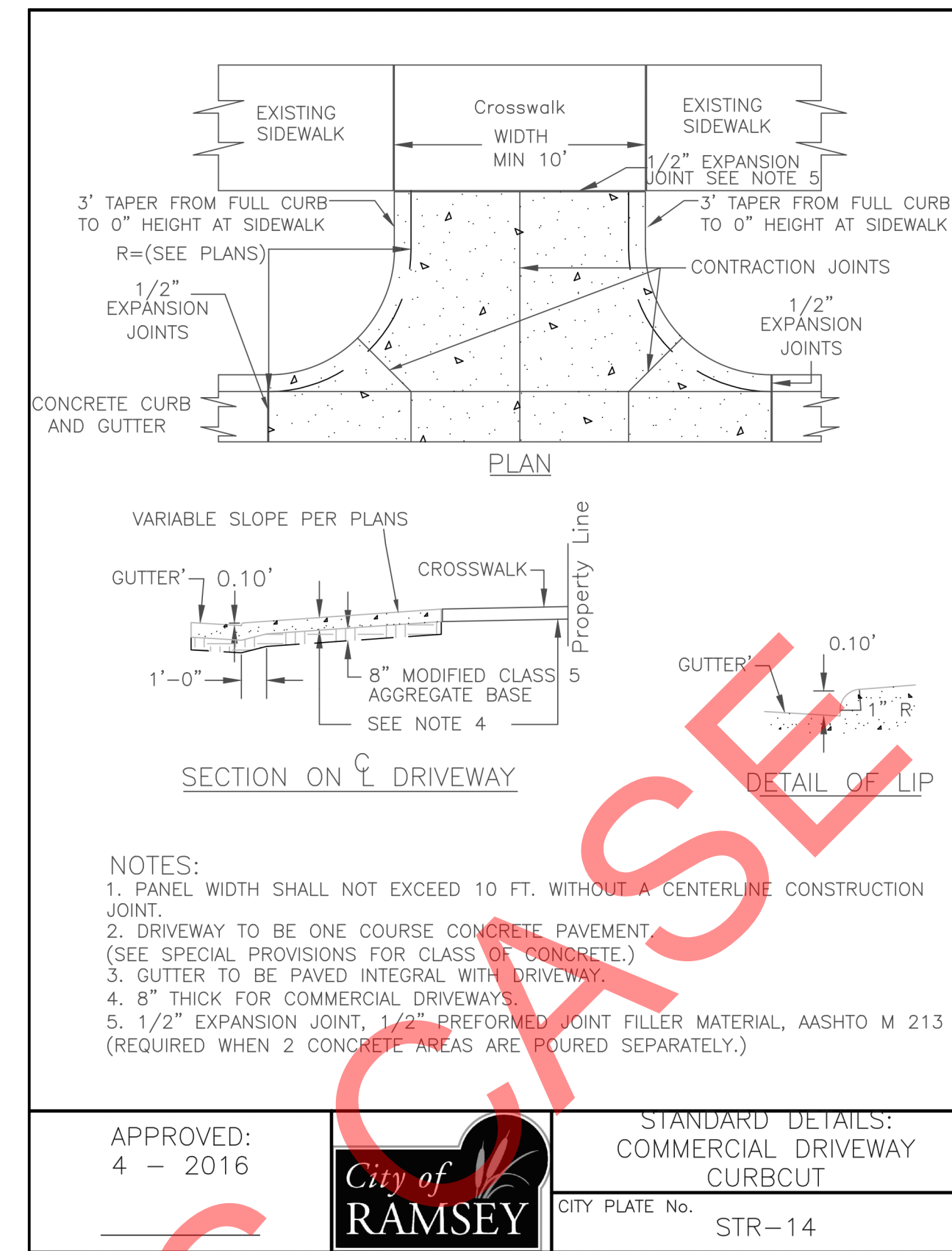


| SHEET | TITLE                               |
|-------|-------------------------------------|
| C01   | CIVIL TITLE SHEET                   |
| C01.1 | EXISTING CONDITIONS & DEPICT        |
| C01.2 | SITE PLAN                           |
| C01.3 | GRADING, DRAINAGE & EROSION CONTROL |
| C02   | PAVING PLAN & NOTES                 |
| C03   | SWPPP NOTES                         |
| C04   | UTILITIES                           |
| C04.1 | CIVIL CONSTRUCTION DETAILS          |
| C04.2 | CIVIL CONSTRUCTION DETAILS          |
| C04.3 | CIVIL CONSTRUCTION DETAILS          |
| C04.4 | CIVIL CONSTRUCTION DETAILS          |
| C04.5 | CIVIL CONSTRUCTION DETAILS          |
| L01   | TREE PRESERVATION PLAN              |
| L02   | TREE PRESERVATION TABLE             |
| L03   | LANDSCAPE PLAN                      |
| L04   | LANDSCAPE DETAILS                   |



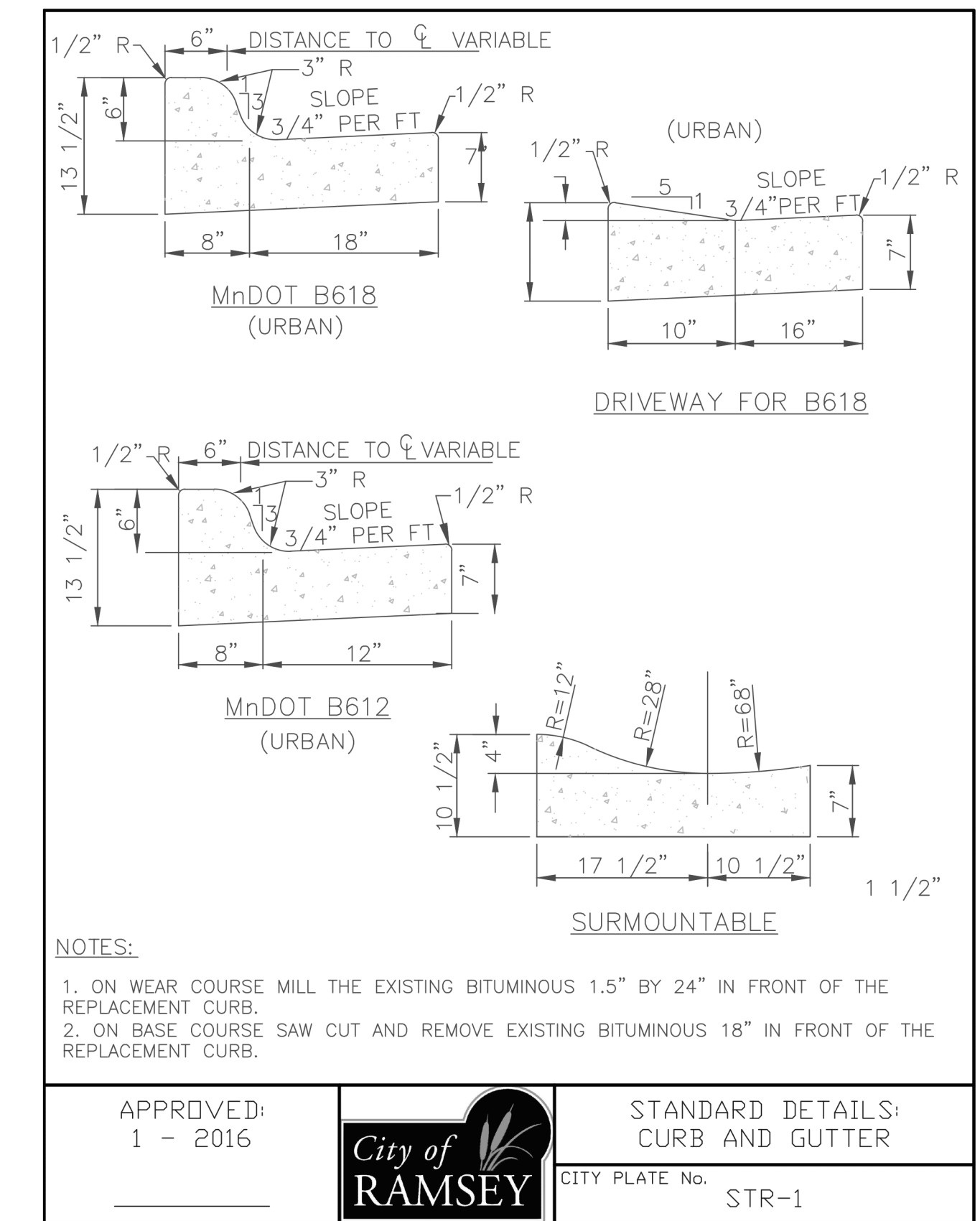
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|-----------------------|--|--------------------------|---------------------------------------|
| APPROVED:<br>1 - 2016 |  | CITY PLATE No.<br>PARK-1 | STANDARD DETAILS:<br>BITUMINOUS TRAIL |
|-----------------------|--|--------------------------|---------------------------------------|

5 BITUMINOUS TRAIL NO SCALE



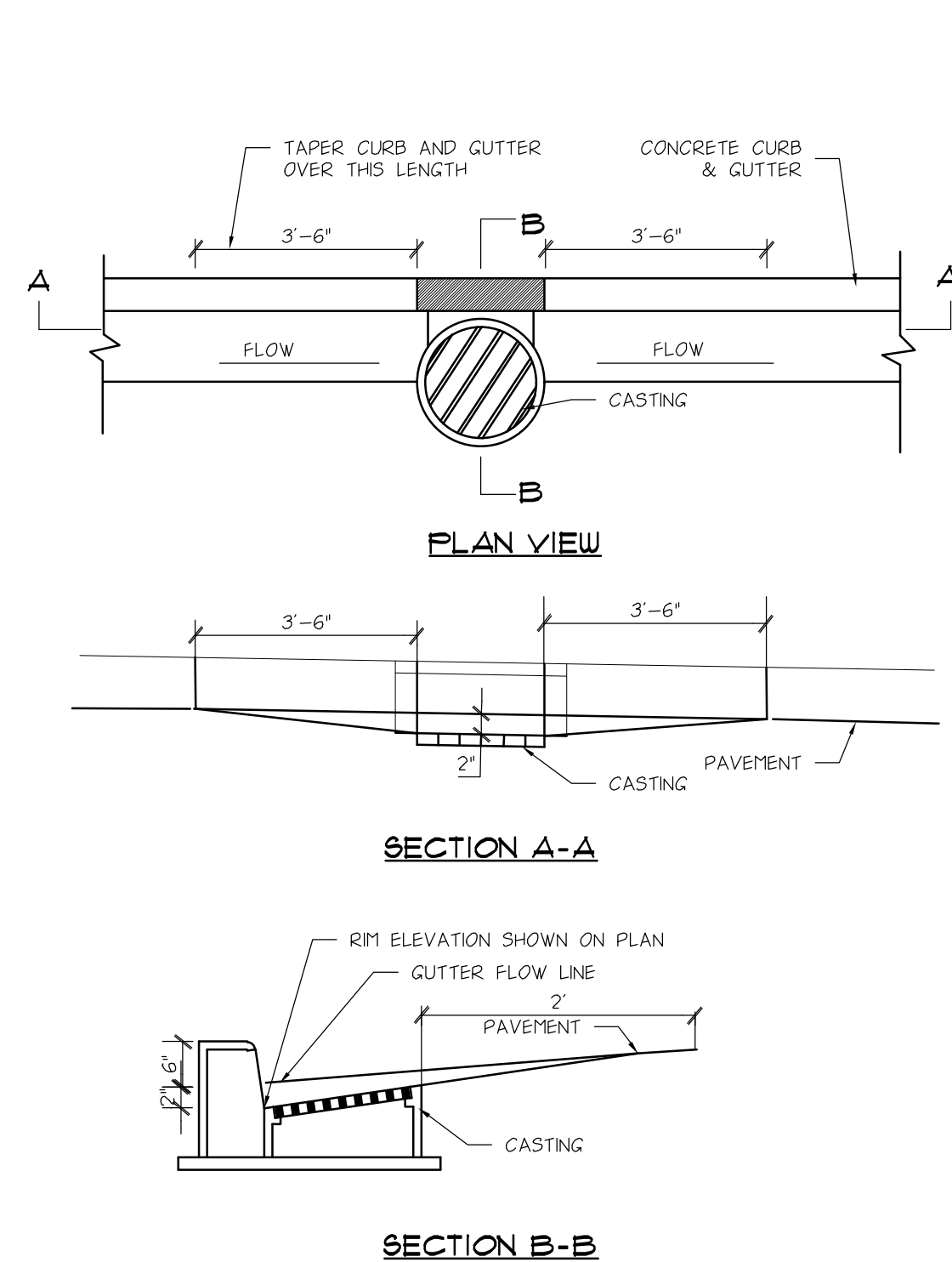
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|-----------------------|--|--|
| APPROVED:<br>4 - 2016 |  | STANDARD DETAILS:<br>COMMERCIAL DRIVEWAY CURBCUT |
|                       |  | CITY PLATE No.<br>STR-14                         |

3 COMMERCIAL DRIVEWAY CURBCUT NO SCALE

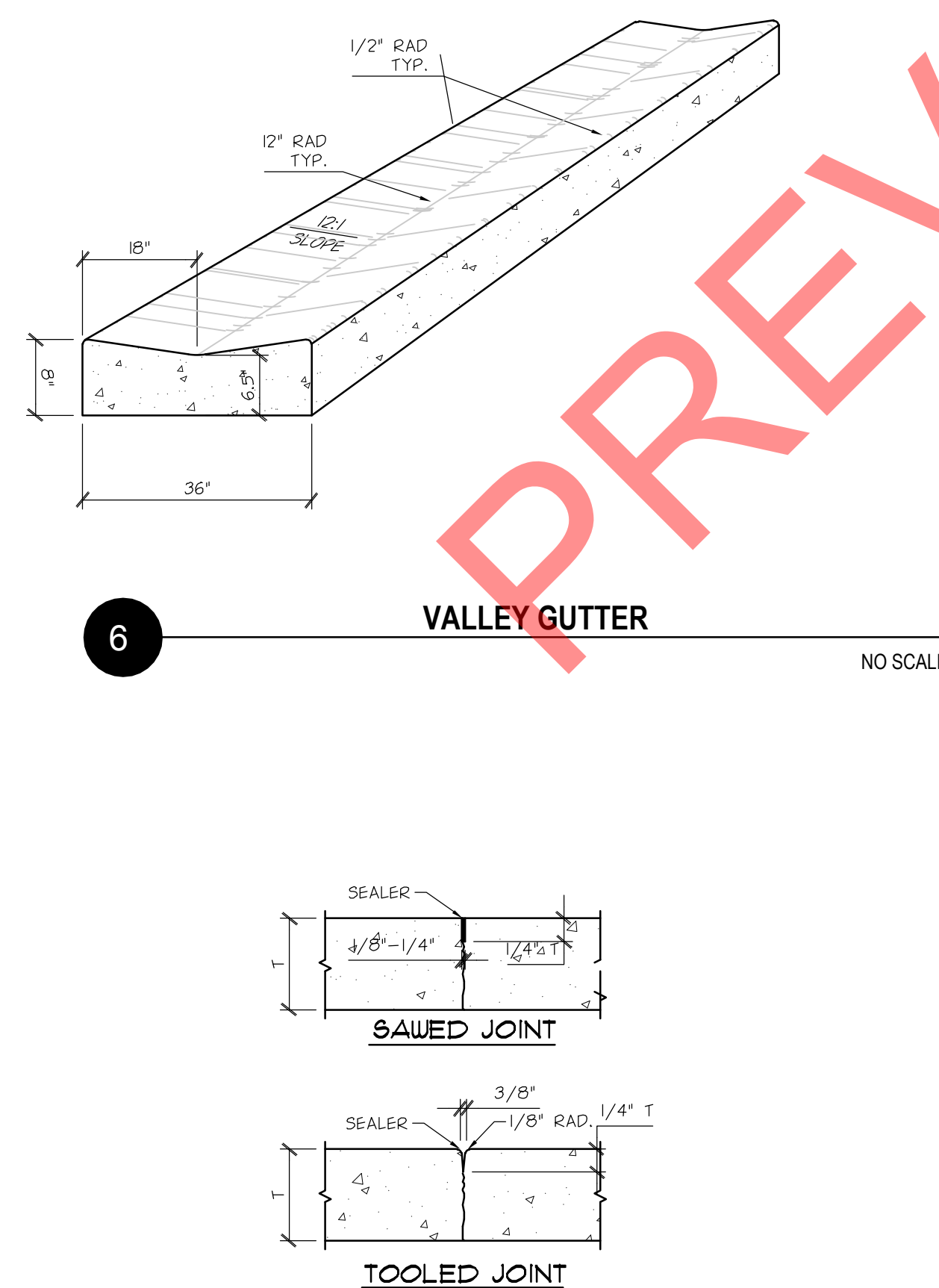


|                       |  |                                      |
|-----------------------|--|--------------------------------------|
| APPROVED:<br>1 - 2016 |  | STANDARD DETAILS:<br>CURB AND GUTTER |
|                       |  | CITY PLATE No.<br>STR-1              |

1 CURB AND GUTTER NO SCALE

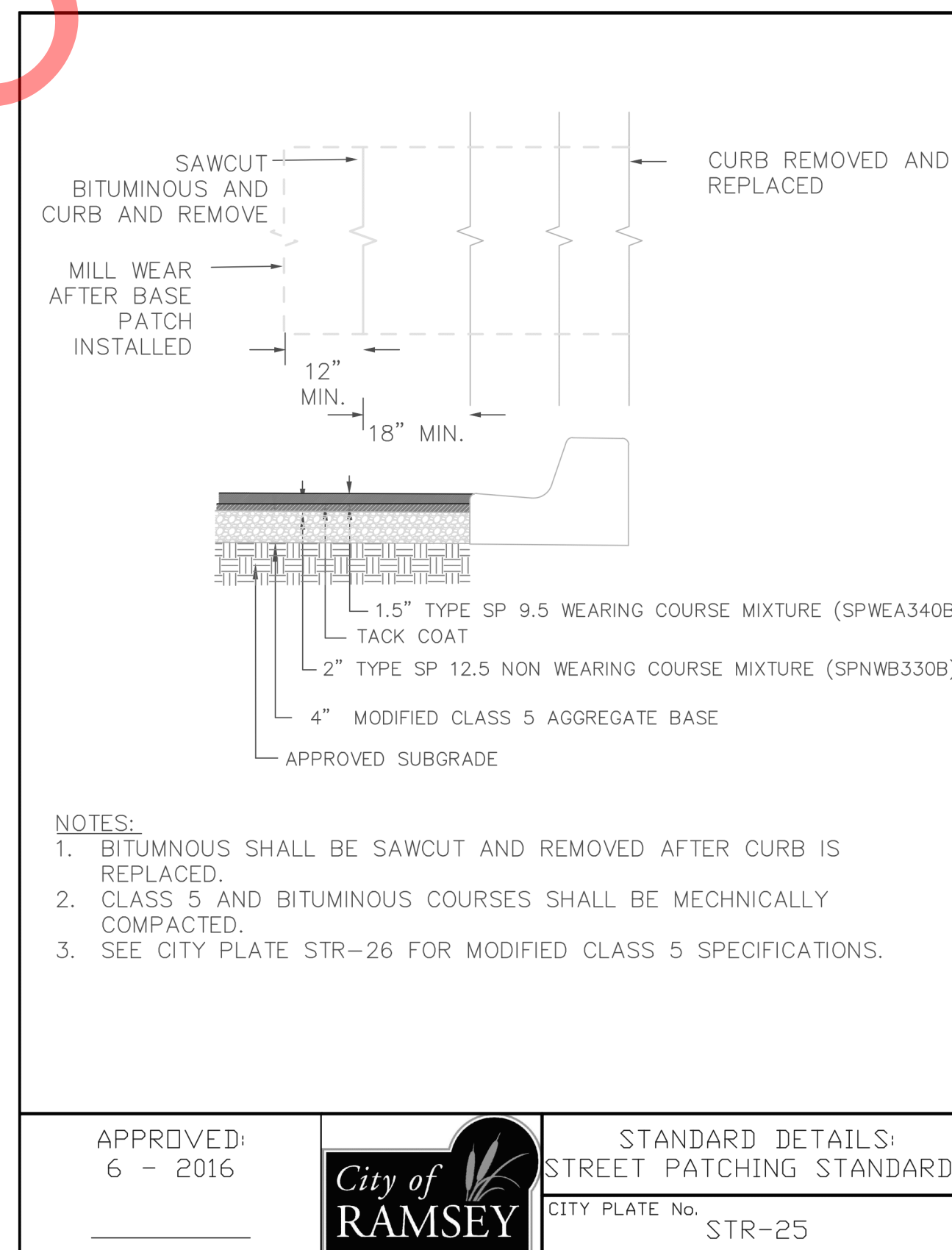


8 CATCH BASIN CASTING SUMP AT CONCRETE CURB AND GUTTER NO SCALE



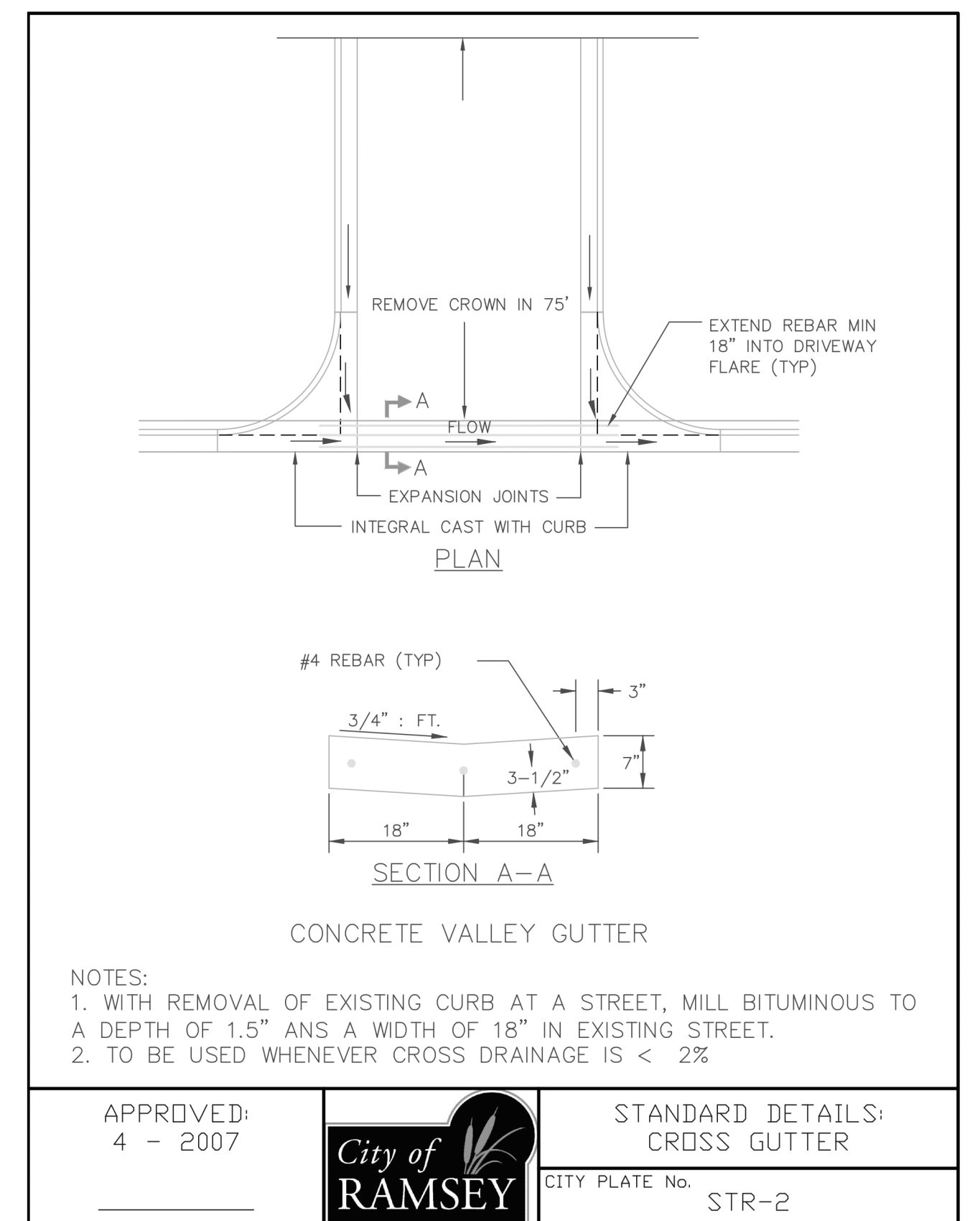
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|-----------------------|--|--|
| APPROVED:<br>6 - 2016 |  | STANDARD DETAILS:<br>STREET PATCHING STANDARDS |
|                       |  | CITY PLATE No.<br>STR-25                       |

7 CONCRETE PAVEMENT CONTRACTION JOINTS NO SCALE



|                       |  |                                   |
|-----------------------|--|-----------------------------------|
| APPROVED:<br>4 - 2007 |  | STANDARD DETAILS:<br>CROSS GUTTER |
|                       |  | CITY PLATE No.<br>STR-2           |

4 STREET PATCHING STANDARDS NO SCALE



|                       |  |                                   |
|-----------------------|--|-----------------------------------|
| APPROVED:<br>4 - 2007 |  | STANDARD DETAILS:<br>CROSS GUTTER |
|                       |  | CITY PLATE No.<br>STR-2           |

2 CROSS GUTTER NO SCALE

ISSUE / REVISION HISTORY

| DATE        | ISSUE / REVISION    | REVIEW |
|-------------|---------------------|--------|
| 03 JAN 2017 | SITE PLAN SUBMITTAL | XXXX   |

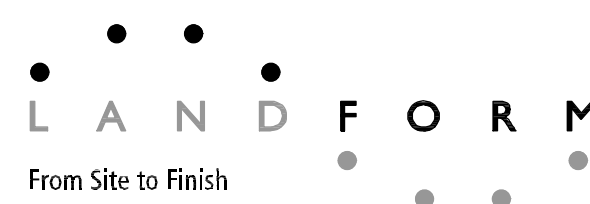
PROJECT MANAGER REVIEW

|       |                 |
|-------|-----------------|
| BY XX | DATE XXXX/XX/XX |
|-------|-----------------|

CERTIFICATION

I hereby certify that this plan was prepared under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
Randall C. Hedlund  
License No: 19976

SITE PLAN SUBMITTAL  
01-03-2017

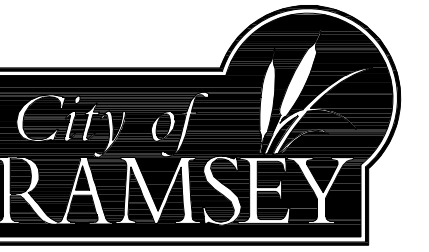


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FILE NAME C704KR2001.DWG  
PROJECT NO. NSS16001

CIVIL CONSTRUCTION  
DETAILS  
C7.4

PREVIOUS EDITIONS

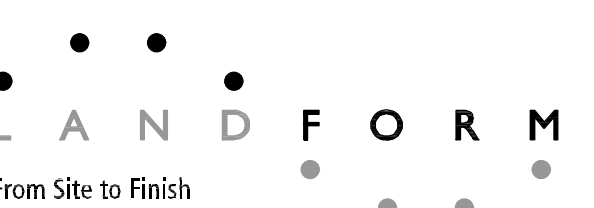


| SHEET | TITLE                               |
|-------|-------------------------------------|
| C01   | CIVIL TITLE SHEET                   |
| C02   | EXISTING CONDITIONS & DEFO          |
| C03   | GRADING, DRAINAGE & EROSION CONTROL |
|       | PAVING PLAN & NOTES                 |
|       | SWEEP NOTES                         |
| C3.2  | UTILITIES                           |
| C7.1  | CIVIL CONSTRUCTION DETAILS          |
| C7.2  | CIVIL CONSTRUCTION DETAILS          |
| C7.3  | CIVIL CONSTRUCTION DETAILS          |
| C7.4  | CIVIL CONSTRUCTION DETAILS          |
| C7.5  | CIVIL CONSTRUCTION DETAILS          |
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| L1.2  | TREE PRESERVATION TABLE             |
| L2.1  | LANDSCAPE PLAN                      |
| L7.1  | LANDSCAPE DETAILS                   |

| DATE        | ISSUE / REVISION    | REVIEW |
|-------------|---------------------|--------|
| 03 JAN 2017 | SITE PLAN SUBMITTAL | XXXX   |

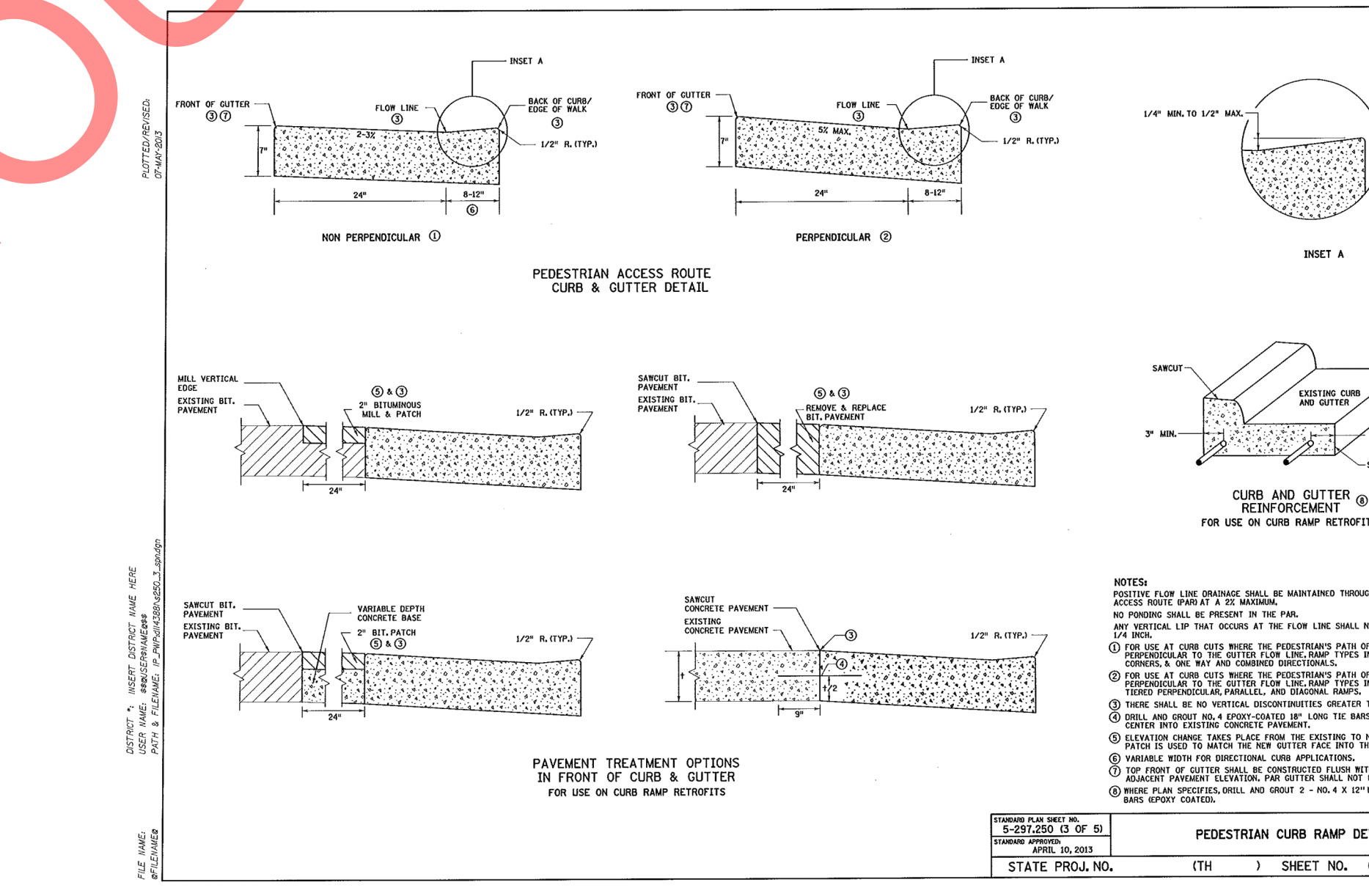
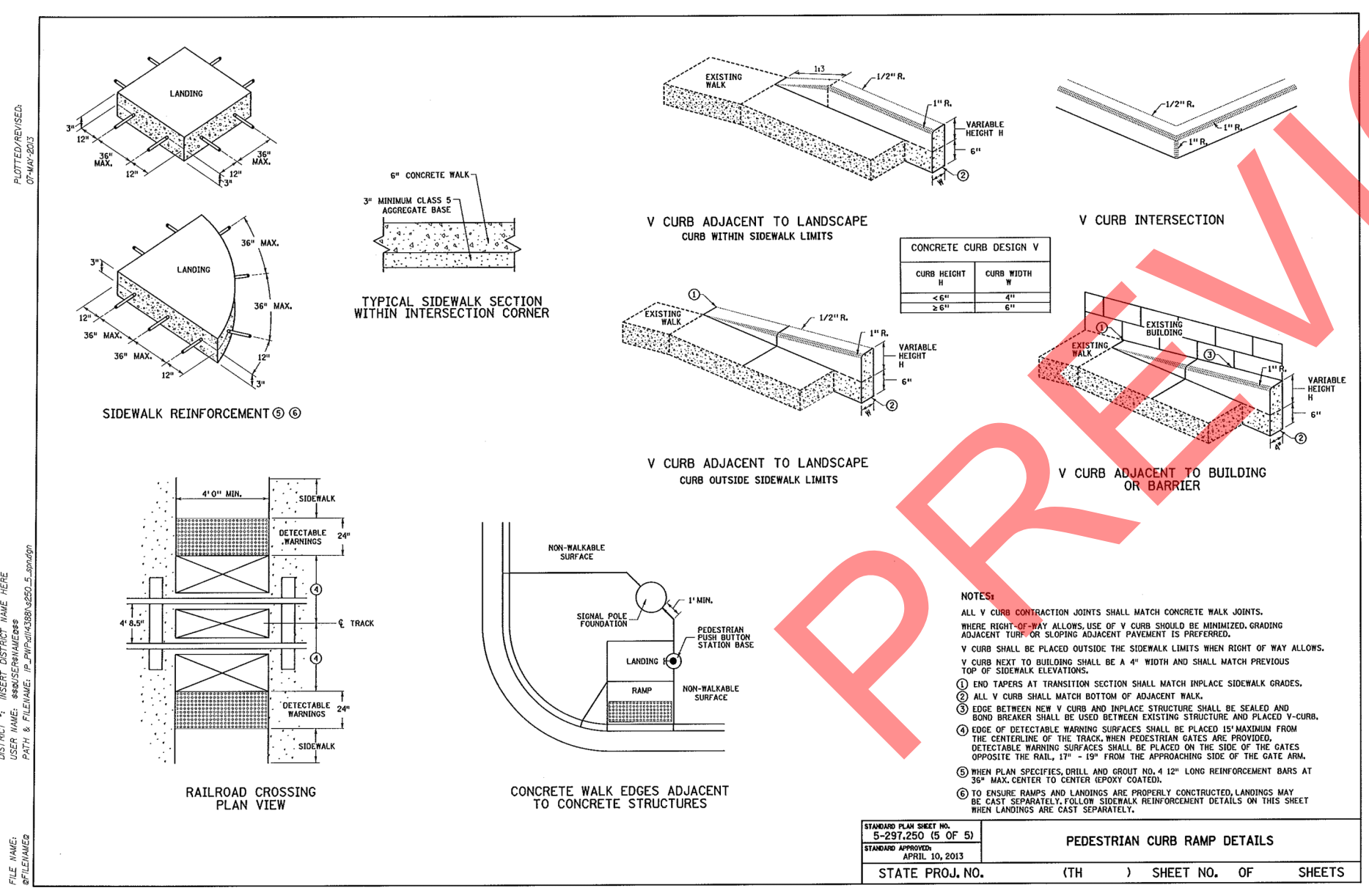
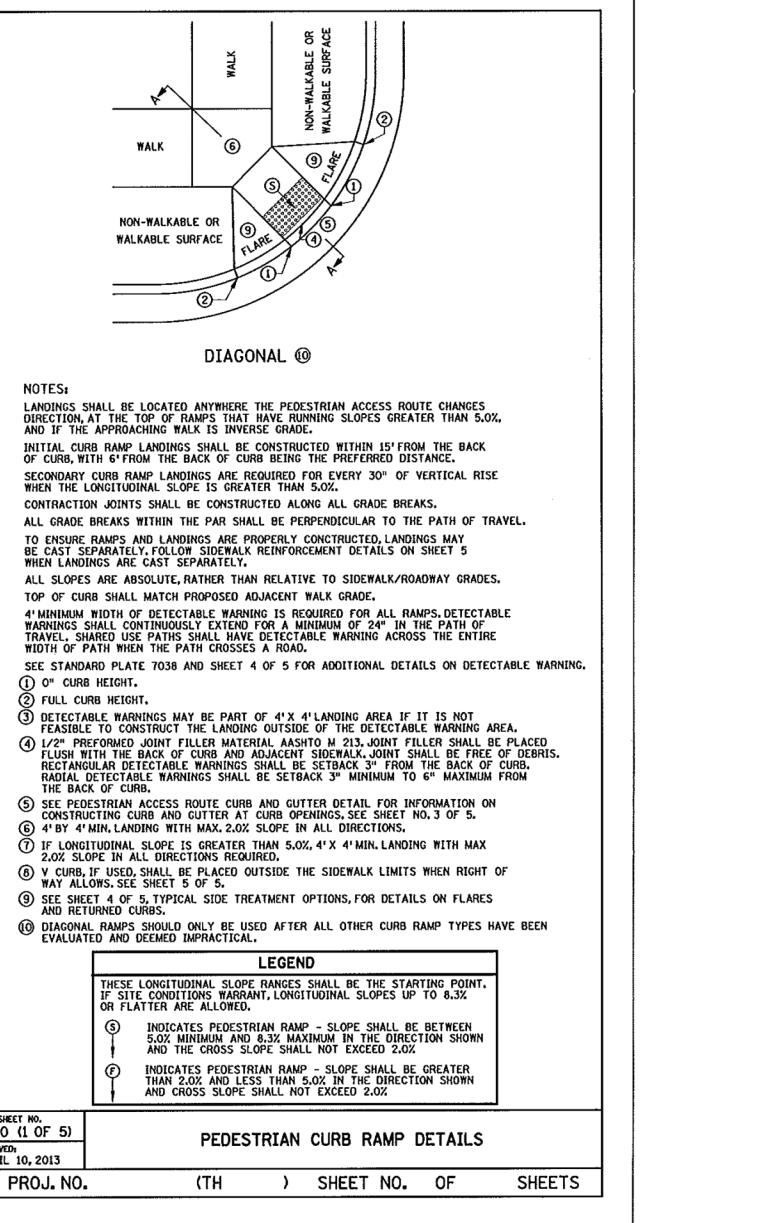
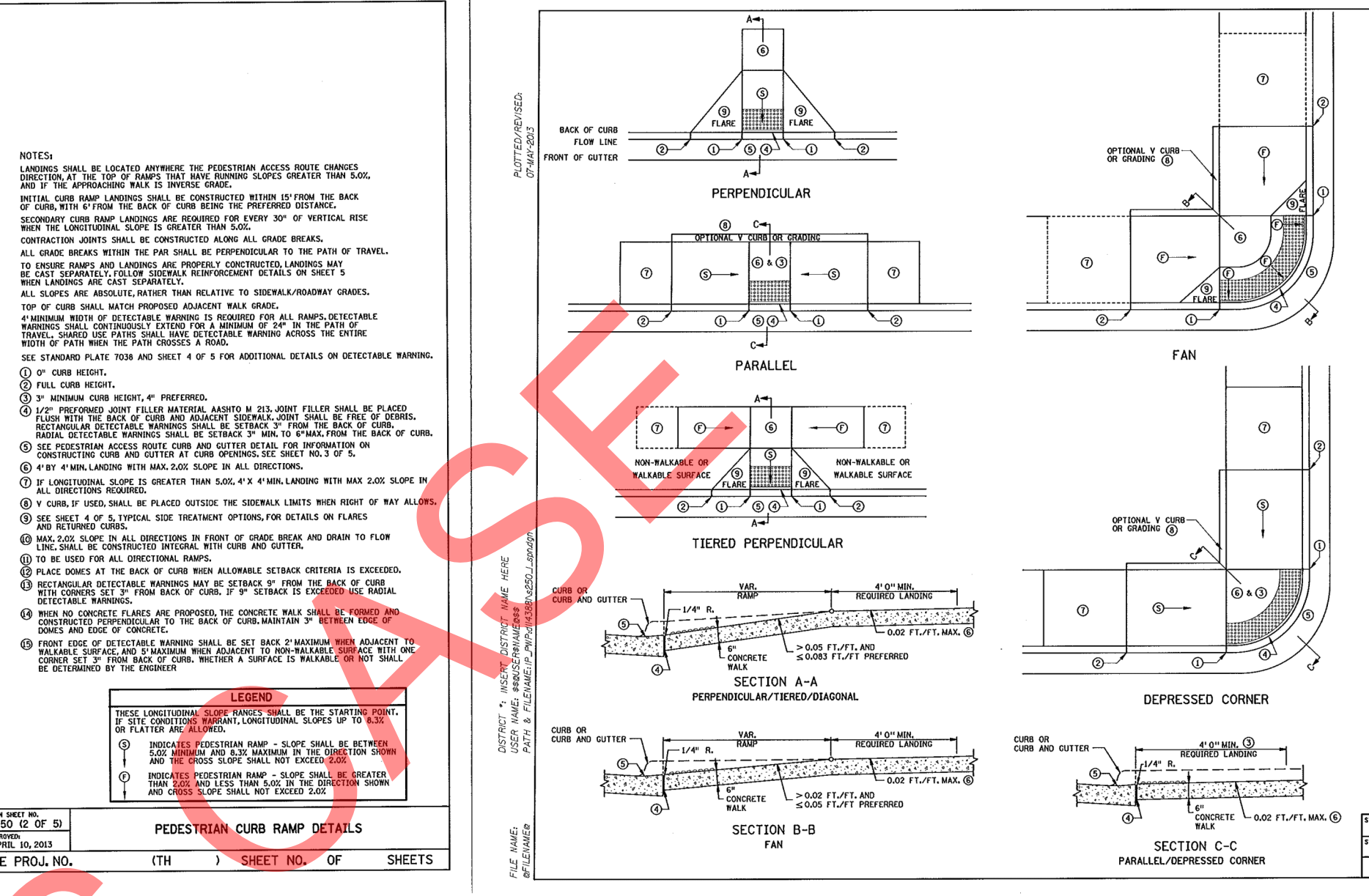
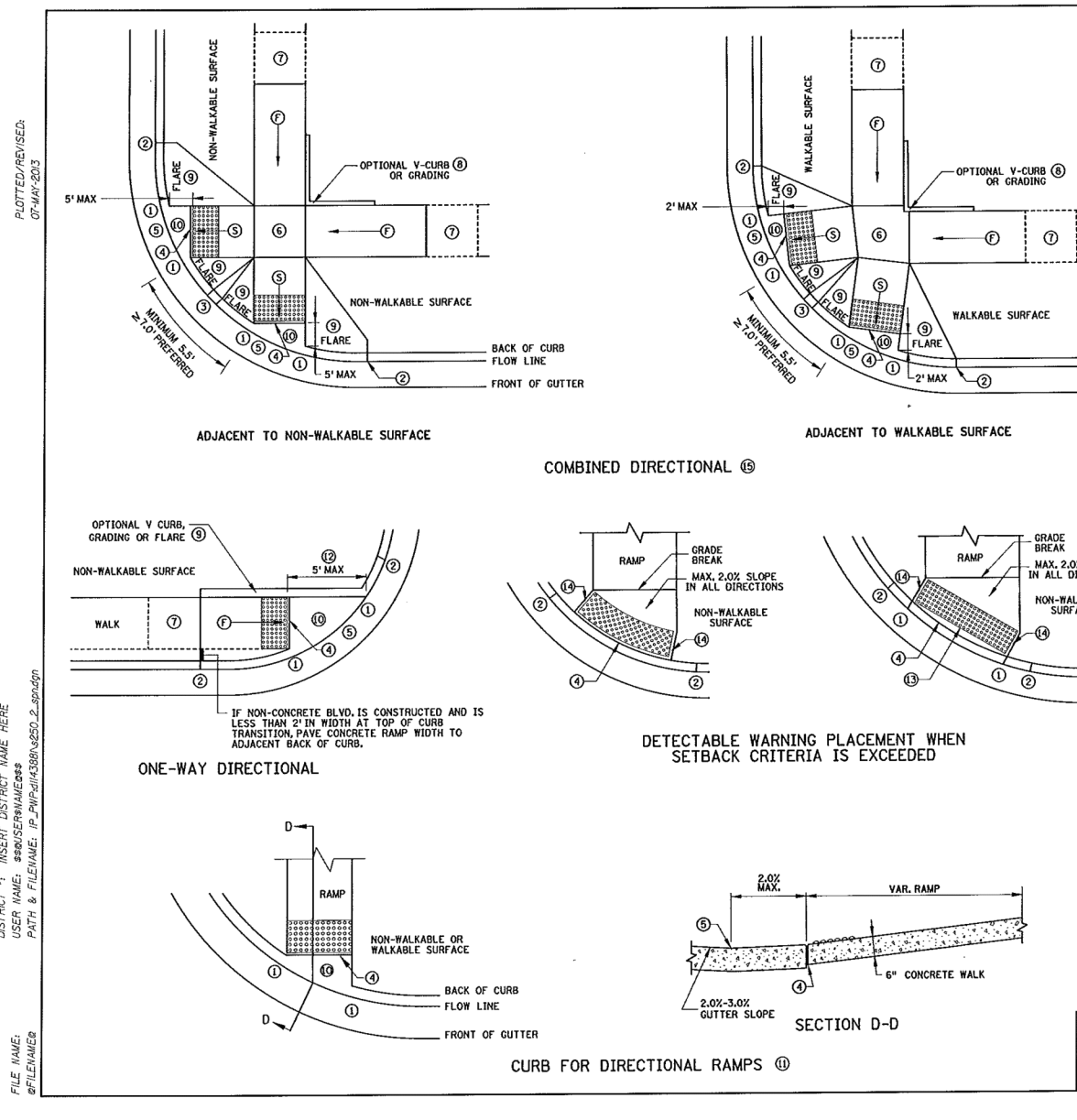
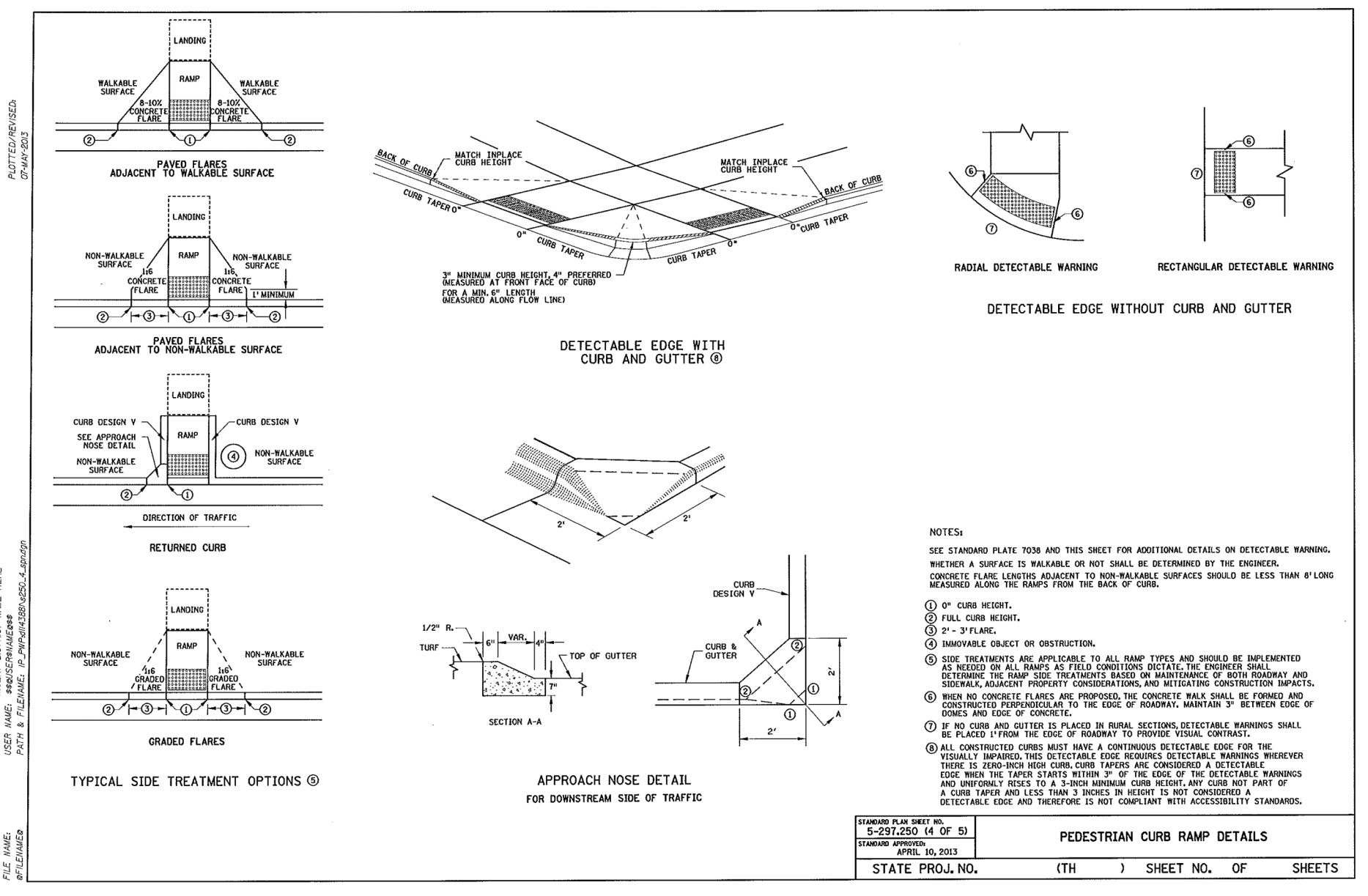
I hereby certify that this plan was prepared under my direct supervision, and that I am a Professional Engineer under the laws of the State of Minnesota.  
 License No: 19976  
 Signature shown in this plan is a reproduction of original. Web signed copy of this plan on the National Self-Storage, LLC office and is available upon request.

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FILE NAME: C705KRZ001.DWG  
 PROJECT NO.: NSS16001





| MITIGATION NUMBERS                            |         |
|---|---------|
| Total Sig. Tree Inches:                       | 4272.5  |
| Total Sig. Tree Inches (Exempt):              | 386     |
| Net Sig. Tree Inches:                         | 3886.5  |
| 70% allowable sig. tree removals (threshold): | 2720.55 |
| Removal inches (Non-exempt):                  | 2223.0  |
| Removal Inches above threshold:               | 0       |
| Removal Percentage:                           | 57.2%   |
| Replacement inches:                           | 0.00    |

**EXISTING CONDITIONS**

BACKGROUND INFORMATION SHOWN IS FROM SURVEY BY LANDFORM, MINNEAPOLIS, MN, ON DECEMBER 07, 2015, EXPRESSLY FOR THIS PROJECT, CITY OF RAMSEY, MN RECORD DRAWINGS; AND UTILITY SERVICE PROVIDERS. LANDFORM OFFERS NO WARRANTY, EXPRESSED OR WRITTEN, FOR INFORMATION PROVIDED BY OTHERS. EXISTING PROJECT CONDITIONS SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ENGINEER.

SEE SHEET L1.2 FOR TREE REMOVAL TABLE

| LEGEND |   |
|--------|---|
|        | CLEARING AND GRUBBING LIMITS ( 2.5 ACRES) |

**DEVELOPER**

NATIONAL SELF-STORAGE, LLC  
2827 107TH AVENUE  
BLAINE, MN 55449

**MUNICIPALITY**

**PROJECT**

REGENCY COMMONS  
RAMSEY, MN

**SHEET INDEX**

| SHEET | TITLE                               |
|-------|-------------------------------------|
| C0.1  | CIVIL TITLE SHEET                   |
| C0.2  | EXISTING CONDITIONS & DEFO          |
| C0.3  | GRADING, DRAINAGE & EROSION CONTROL |
| C0.4  | PAVING PLAN & NOTES                 |
| C0.5  | SWPPP NOTES                         |
| C0.6  | UTILITIES                           |
| C0.7  | CIVIL CONSTRUCTION DETAILS          |
| C0.8  | CIVIL CONSTRUCTION DETAILS          |
| C0.9  | CIVIL CONSTRUCTION DETAILS          |
| C0.10 | CIVIL CONSTRUCTION DETAILS          |
| C0.11 | CIVIL CONSTRUCTION DETAILS          |
| C0.12 | CIVIL CONSTRUCTION DETAILS          |
| C0.13 | CIVIL CONSTRUCTION DETAILS          |
| C0.14 | CIVIL CONSTRUCTION DETAILS          |
| C0.15 | CIVIL CONSTRUCTION DETAILS          |
| L1.1  | TREE PRESERVATION PLAN              |
| L1.2  | TREE PRESERVATION TABLE             |
| L1.3  | LANDSCAPE PLAN                      |
| L1.4  | LANDSCAPE DETAILS                   |

**ISSUE / REVISION HISTORY**

| DATE        | ISSUE / REVISION    | REVIEW |
|-------------|---------------------|--------|
| 03 JAN 2017 | SITE PLAN SUBMITTAL | XXX    |

**PROJECT MANAGER REVIEW**

| BY | DATE       |
|----|------------|
| XX | XX/XX/XXXX |

**CERTIFICATION**

I hereby certify that this plan was prepared under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Randall C. Hedlund  
License No: 19976

Signature shown in this location of original. Web signed copy of this plan on file with the City of Ramsey, MN. Original shown in the office of the National Self-Storage, LLC office and is available upon request.

**SITE PLAN SUBMITTAL**  
01-03-2017

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**TREE PRESERVATION PLAN**

**L1.1**

SHEET NO. 13/15

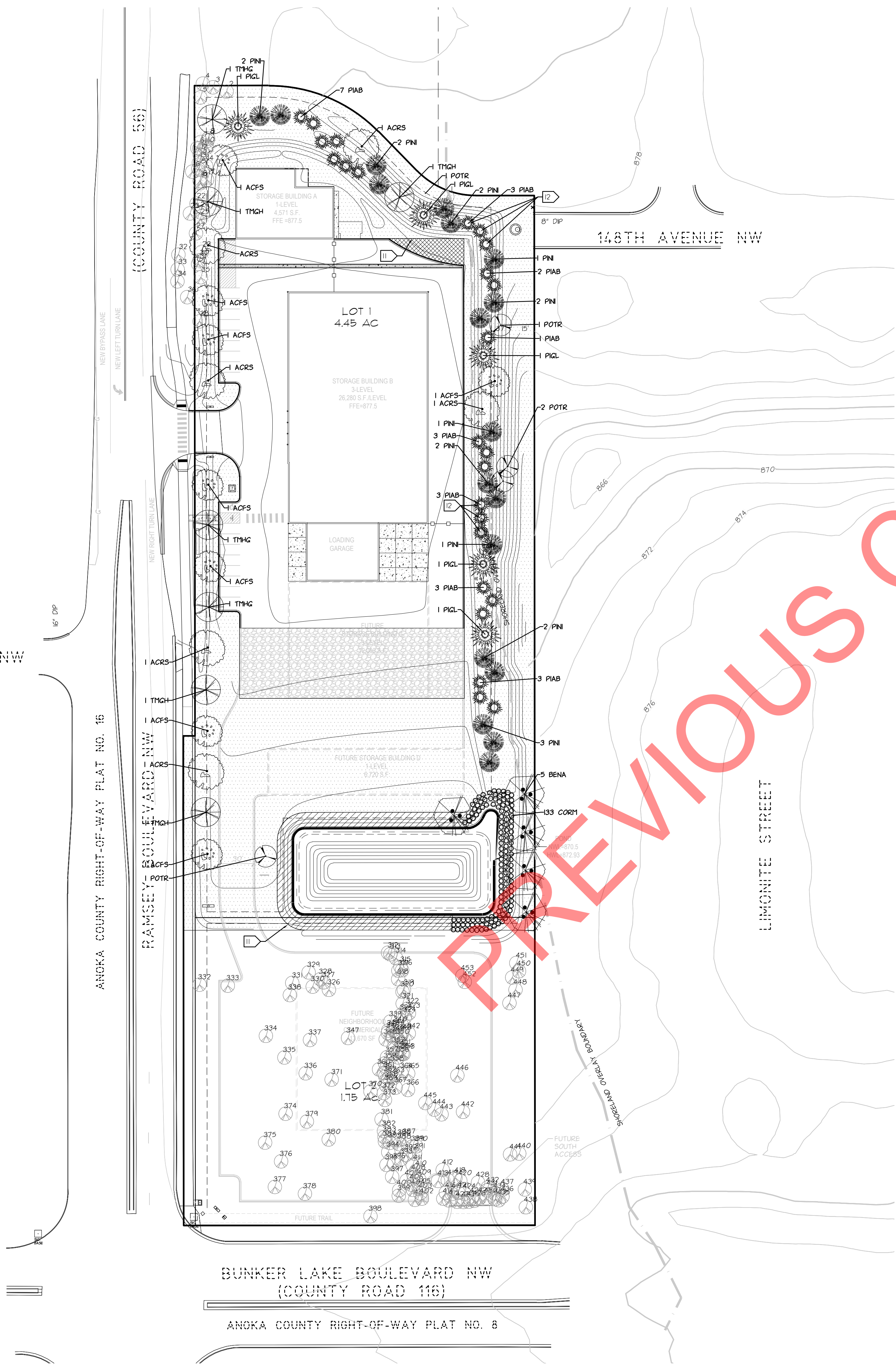
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| Tree # | Species       | Cal. In. | Condition | Removed |
|--------|---------------|----------|-----------|---------|
| 1      | Elm, Siberian | 10.0     | Fair      |         |
| 2      | Elm, Siberian | 9.5      | Good      |         |
| 3      | Pine, Scots   | 18.0     | Good      |         |
| 4      | Elm, Siberian | 10.0     | Fair      |         |
| 5      | Elm, Siberian | 8.0      | Fair      |         |
| 6      | Boxelder      | 10.0     | Fair      |         |
| 7      | Elm, Siberian | 8.0      | Good      |         |
| 8      | Pine, Scots   | 13.5     | Fair      |         |
| 9      | Pine, Scots   | 11.5     | Fair      |         |
| 10     | Pine, Scots   | 13.0     | Good      |         |
| 11     | Pine, Scots   | 14.5     | Good      |         |
| 12     | Pine, Scots   | 11.5     | Good      |         |
| 13     | Pine, Scots   | 10.0     | Good      |         |
| 14     | Pine, Scots   | 21.0     | Fair      |         |
| 15     | Pine, Scots   | 10.5     | Good      |         |
| 16     | Elm, Siberian | 10.0     | Fair      |         |
| 17     | Pine, Scots   | 10.0     | Fair      |         |
| 18     | Pine, Scots   | 5.0      | Fair      |         |
| 19     | Pine, Scots   | 16.0     | Good      |         |
| 20     | Pine, Scots   | 14.0     | Good      | X       |
| 21     | Pine, Scots   | 12.0     | Fair      | X       |
| 22     | Pine, Scots   | 15.0     | Fair      |         |
| 23     | Elm, Siberian | 14.0     | Fair      |         |
| 24     | Pine, Scots   | 11.5     | Good      |         |
| 25     | Pine, Scots   | 16.5     | Good      |         |
| 26     | Pine, Scots   | 10.0     | Good      | X       |
| 27     | Elm, Siberian | 9.5      | Good      |         |
| 28     | Pine, Scots   | 17.0     | Good      | X       |
| 29     | Pine, Scots   | 14.5     | Good      | X       |
| 30     | Pine, Scots   | 14.5     | Good      | X       |
| 31     | Pine, Scots   | 14.0     | Good      | X       |
| 32     | Elm, Siberian | 9.0      | Fair      |         |
| 33     | Elm, Siberian | 10.5     | Good      |         |
| 34     | Elm, Siberian | 10.5     | Good      |         |
| 35     | Pine, Scots   | 13.5     | Good      |         |
| 36     | Elm, Siberian | 13.5     | Fair      |         |
| 37     | Pine, Scots   | 19.0     | Fair      |         |
| 38     | Elm, Siberian | 17.0     | Fair      |         |
| 39     | Elm, Siberian | 37.0     | Fair      | X       |
| 40     | Elm, Siberian | 9.5      | Fair      | X       |
| 41     | Elm, Siberian | 13.5     | Fair      | X       |
| 42     | Elm, Siberian | 19.0     | Fair      | X       |
| 43     | Elm, Siberian | 18.0     | Fair      | X       |
| 44     | Elm, Siberian | 11.0     | Fair      | X       |
| 45     | Pine, red     | 5.0      | Good      | X       |
| 46     | Elm, Siberian | 11.5     | Good      | X       |
| 47     | Pine, red     | 5.5      | Good      | X       |
| 48     | Pine, red     | 6.0      | Good      | X       |
| 49     | Pine, red     | 5.0      | Good      | X       |
| 50     | Pine, red     | 4.5      | Good      | X       |
| 51     | Pine, red     | 6.0      | Fair      | X       |
| 52     | Elm, Siberian | 13.0     | Fair      | X       |
| 53     | Elm, Siberian | 12.0     | Fair      | X       |
| 54     | Elm, Siberian | 12.0     | Fair      | X       |
| 55     | Pine, red     | 5.0      | Good      | X       |
| 56     | Pine, red     | 5.0      | Good      | X       |
| 57     | Pine, red     | 4.5      | Good      | X       |
| 58     | Pine, red     | 5.0      | Good      | X       |
| 59     | Pine, red     | 4.5      | Good      | X       |
| 60     | Pine, red     | 5.5      | Good      | X       |
| 61     | Pine, red     | 6.0      | Good      | X       |
| 62     | Pine, red     | 5.0      | Good      | X       |
| 63     | Pine, Scots   | 4.5      | Fair      | X       |
| 64     | Elm, Siberian | 9.0      | Fair      | X       |
| 65     | Elm, Siberian | 13.0     | Good      | X       |
| 66     | Pine, red     | 5.5      | Good      | X       |
| 67     | Pine, Scots   | 6.5      | Good      | X       |
| 68     | Elm, Siberian | 9.0      | Good      | X       |
| 69     | Elm, Siberian | 13.0     | Fair      | X       |
| 70     | Elm, Siberian | 12.0     | Fair      | X       |
| 71     | Elm, Siberian | 17.0     | Fair      | X       |
| 72     | Elm, Siberian | 16.0     | Fair      | X       |
| 73     | Pine, Scots   | 13.5     | Good      | X       |
| 74     | Elm, Siberian | 14.0     | Fair      | X       |
| 75     | Ash, green    | 10.5     | Fair      | X       |
| 76     | Elm, Siberian | 12.0     | Fair      | X       |
| 77     | Pine, red     | 5.0      | Good      | X       |
| 78     | Pine, red     | 7.5      | Good      | X       |
| 79     | Elm, Siberian | 15.0     | Fair      | X       |
| 80     | Pine, Scots   | 9.0      | Good      | X       |
| 81     | Pine, Scots   | 11.0     | Fair      | X       |
| 82     | Pine, Scots   | 10.0     | Fair      | X       |
| 83     | Pine, Scots   | 7.5      | Fair      | X       |
| 84     | Pine, red     | 5.5      | Good      | X       |
| 85     | Pine, red     | 4.5      | Good      | X       |
| 86     | Pine, red     | 4.5      | Good      | X       |
| 87     | Elm, Siberian | 8.0      | Fair      | X       |
| 88     | Elm, Siberian | 12.0     | Fair      | X       |
| 89     | Pine, Scots   | 8.5      | Good      | X       |
| 90     | Pine, Scots   | 12.0     | Good      | X       |
| 91     | Pine, Scots   | 15.0     | Fair      | X       |
| 92     | Elm, Siberian | 16.0     | Fair      | X       |
| 93     | Pine, red     | 5.0      | Good      | X       |
| 94     | Pine, red     | 4.5      | Good      | X       |
| 95     | Pine, red     | 4.5      | Good      | X       |

| Tree # | Species       | Cal. In. | Condition | Removed |
|--------|---------------|----------|-----------|---------|
| 96     | Pine, red     | 5.5      | Good      | X       |
| 97     | Pine, red     | 4.5      | Good      | X       |
| 98     | Pine, red     | 4.0      | Good      | X       |
| 99     | Pine, Scots   | 5.0      | Good      | X       |
| 100    | Pine, Scots   | 6.5      | Good      | X       |
| 101    | Pine, Scots   | 5.5      | Good      | X       |
| 102    | Pine, Scots   | 8.0      | Good      | X       |
| 103    | Pine, Scots   | 6.5      | Fair      | X       |
| 104    | Pine, Scots   | 11.0     | Good      | X       |
| 105    | Pine, Scots   | 10.5     | Good      | X       |
| 106    | Pine, Scots   | 4.0      | Good      | X       |
| 107    | Pine, Scots   | 6.0      | Good      | X       |
| 108    | Pine, Scots   | 6.0      | Good      | X       |
| 109    | Elm, Siberian | 16.0     | Fair      | X       |
| 110    | Elm, Siberian | 9.5      | Fair      | X       |
| 111    | Elm, Siberian | 28.0     | Fair      | X       |
| 112    | Elm, Siberian | 11.0     | Fair      | X       |
| 113    | Pine, Scots   | 9.0      | Good      | X       |
| 114    | Elm, Siberian | 11.0     | Good      | X       |
| 115    | Pine, Scots   | 4.0      | Good      | X       |
| 116    | Pine, Scots   | 4.5      | Fair      | X       |
| 117    | Pine, Scots   | 8.0      | Good      | X       |
| 118    | Pine, Scots   | 4.5      | Good      | X       |
| 119    | Elm, American | 10.0     | Fair      | X       |
| 120    | Pine, Scots   | 11.5     | Good      | X       |
| 121    | Pine, Scots   | 8.0      | Good      | X       |
| 122    | Pine, Scots   | 5.0      | Fair      | X       |
| 123    | Elm, Siberian | 8.5      | Fair      | X       |
| 124    | Pine, Scots   | 8.0      | Good      | X       |
| 125    | Elm, Siberian | 9.5      | Good      | X       |
| 126    | Pine, Scots   | 4.0      | Fair      | X       |
| 127    | Pine, Scots   | 5.5      | Fair      | X       |
| 128    | Pine, Scots   | 6.5      | Fair      | X       |
| 129    | Pine, Scots   | 7.0      | Fair      | X       |
| 130    | Pine, Scots   | 4.5      | Fair      | X       |
| 131    | Pine, Scots   | 8.0      | Fair      | X       |
| 132    | Elm, Siberian | 12.0     | Fair      | X       |
| 133    | Pine, Scots   | 8.5      | Good      | X       |
| 134    | Pine, Scots   | 9.0      | Good      | X       |
| 135    | Elm, Siberian | 13.0     | Good      | X       |
| 136    | Elm, Siberian | 20.0     | Fair      | X       |
| 137    | Elm, Siberian | 8.0      | Fair      | X       |
| 138    | Cottonwood    | 11.0     | Good      | X       |
| 139    | Elm, Siberian | 10.0     | Fair      | X       |
| 140    | Elm, Siberian | 8.5      | Good      | X       |
| 141    | Elm, Siberian | 8.0      | Good      | X       |
| 142    | Elm, Siberian | 8.5      | Good      | X       |
| 143    | Cottonwood    | 8.5      | Good      | X       |
| 144    | Elm, Siberian | 12.0     | Fair      | X       |
| 145    | Elm, Siberian | 8.5      | Good      | X       |
| 146    | Elm, Siberian | 9.0      | Good      | X       |
| 147    | Elm, Siberian | 16.0     | Fair      | X       |
| 148    | Elm, Siberian | 9.0      | Fair      | X       |
| 149    | Elm, Siberian | 15.5     | Fair      | X       |
| 150    | Elm, Siberian | 26.0     | Fair      | X       |
| 151    | Elm, Siberian | 9.0      | Fair      | X       |
| 152    | Pine, red     | 5.5      | Good      | X       |
| 153    | Pine, red     | 4.5      | Good      | X       |
| 154    | Pine, red     | 4.5      | Good      | X       |
| 155    | Elm, Siberian | 17.0     | Fair      | X       |
| 156    | Pine, red     | 4.5      | Good      | X       |
| 157    | Pine, red     | 5.5      | Good      | X       |
| 158    | Pine, red     | 5.5      | Good      | X       |
| 159    | Pine, red     | 4.5      | Good      | X       |
| 160    | Pine, red     | 4.0      | Good      | X       |
| 161    | Pine, red     | 5.0      | Good      | X       |
| 162    | Pine, red     | 6.5      | Good      | X       |
| 163    | Elm, Siberian | 13.0     | Fair      | X       |
| 164    | Pine, red     | 6.5      | Fair      | X       |
| 165    | Elm, Siberian | 9.0      | Fair      | X       |
| 166    | Pine, Scots   | 6.5      | Good      | X       |
| 167    | Pine, red     | 9.0      | Fair      | X       |
| 168    | Pine, red     | 5.5      | Good      | X       |
| 169    | Pine, red     | 4.5      | Good      | X       |
| 170    | Pine, red     | 4.5      | Good      | X       |
| 171    | Pine, red     | 4.5      | Good      | X       |
| 172    | Pine, red     | 6.0      | Good      | X       |
| 173    | Pine, red     | 5.0      | Good      | X       |
| 174    | Elm, Siberian | 11.0     | Fair      | X       |
| 175    | Pine, red     | 5.0      | Fair      | X       |
| 176    | Pine, red     | 4.5      | Good      | X       |
| 177    | Pine, red     | 5.5      | Good      | X       |
| 178    | Pine, red     | 4.0      | Good      | X       |
| 179    | Elm, Siberian | 10.0     | Fair      | X       |
| 180    | Elm, Siberian | 10.5     | Fair      | X       |
| 181    | Pine, red     | 5.0      | Good      | X       |
| 182    | Elm, Siberian | 16.0     | Fair      | X       |
| 183    | Pine, red     | 5.0      | Good      | X       |
| 184    | Pine, red     | 6.0      | Good      | X       |
| 185    | Pine, Scots   | 8.0      | Good      | X       |
| 186    | Pine, red     | 4.0      | Fair      | X       |
| 187    | Pine, red     | 4.0      | Good      | X       |
| 188    | Pine, red     | 4.5      | Good      | X       |
| 189    | Cottonwood    | 11.0     | Good      | X       |
| 190    | Pine, red     | 4.0      | Good      | X       |
| 191    | Pine, red     | 4.5      | Good      | X       |

| Tree # | Species       | Cal. In. | Condition | Removed |
|--------|---------------|----------|-----------|---------|
| 192    | Pine, red     | 4.0      | Good      | X       |
| 193    | Pine, red     | 4.5      | Good      | X       |
| 194    | Pine, red     | 4.5      | Good      | X       |
| 195    | Pine, red     | 6.0      | Good      | X       |
| 196    | Pine, red     | 4.5      | Good      | X       |
| 197    | Pine, red     | 5.5      | Good      | X       |
| 198    | Pine, red     | 6.0      | Good      | X       |
| 199    | Pine, red     | 5.5      | Good      | X       |
| 200    | Pine, red     | 6.5      | Good      | X       |
| 201    | Pine, red     | 4.5      | Good      | X       |
| 202    | Pine, red     | 4.5      | Good      | X       |
| 203    | Pine, red     | 5.5      | Good      | X       |
| 204    | Pine, red     | 4.5      | Good      | X       |
| 205    | Pine, red     | 4.5      | Good      | X       |
| 206    | Pine, red     | 6.0      | Good      | X       |
| 207    | Pine, red     | 5.5      | Good      | X       |
| 208    | Pine, red     | 4.5      | Good      | X       |
| 209    | Pine, red     | 6.0      | Good      | X       |
| 210    | Pine, red     | 5.5      | Good      | X       |
| 211    | Pine, red     | 6.5      | Good      | X       |
| 212    | Pine, red     | 4.5      | Good      | X       |
| 213    | Pine, red     | 6.0      | Good      | X       |
| 214    | Pine, red     | 7.0      | Fair      | X       |
| 215    | Pine, red     | 5.0      | Good      | X       |
| 216    | Pine, red     | 4.5      | Good      | X       |
| 217    | Pine, red     | 4.5      | Good      | X       |
| 218    | Pine, red     | 4.5      | Good      | X       |
| 219    | Pine, red     | 7.5      | Good      | X       |
| 220    | Pine, red     | 6.5      | Good      | X       |
| 221    | Pine, red     | 4.0      | Good      | X       |
| 222    | Pine, red     | 4.5      | Good      | X       |
| 223    | Pine, red     | 6.5      | Good      | X       |
| 224    | Pine, red     | 4.0      | Good      | X       |
| 225    | Elm, Siberian | 8.0      | Good      | X       |
| 226    | Pine, red     | 4.0      | Good      | X       |
| 227    | Pine, red     | 5.5      | Good      | X       |
| 228    | Pine, red     | 5.5      | Good      | X       |
| 229    | Pine, red     | 5.5      | Good      | X       |
| 230    | Pine, red     | 4.5      | Good      | X       |
| 231    | Pine, red     | 5.5      | Good      | X       |
| 232    | Pine, red     | 4.5      | Good      | X       |
| 233    | Cottonwood    | 21.5     | Good      | X       |
| 234    | Cottonwood    | 14.5     | Good      | X       |
| 235    | Pine, red     | 5.5      | Good      | X       |
| 236    | Pine, red     | 5.0      | Good      | X       |
| 237    | Pine, red     | 6.0      | Good      | X       |
| 238    | Pine, red     | 6.5      | Good      | X       |
| 239    | Pine, red     | 12.0     | Fair      | X       |
| 240    | Elm, Siberian | 22.0     | Fair      | X       |
| 241    | Pine, red     | 7.0      | Good      | X       |
| 242    | Pine, red     | 11.5     | Fair      | X       |
| 243    | Pine, red     | 4.5      | Good      | X       |
| 244    | Pine, red     | 9.0      | Good      | X       |
| 245    | Pine, red     | 7.0      | Good      | X       |
| 246    | Pine, red     | 4.5      | Fair      | X       |
| 247    | Pine, red     | 7.0      | Good      | X       |
| 248    | Pine, red     | 7.5      | Good      | X       |
| 249    | Pine, red     | 7.5      | Good      | X       |
| 250    | Elm, American | 14.0     | Good      | X       |
| 251    | Boxelder      | 22.0     | Fair      | X       |
| 252    | Pine, red     | 6.0      | Fair      | X       |
| 253    | Pine, red     | 7.0      | Good      | X       |
| 254    | Elm, Siberian | 16.0     | Good      | X       |
| 255    | Pine, red     | 4.5      | Good      | X       |
| 256    | Pine, red     | 11.5     | Fair      | X       |
| 257    | Pine, red     | 7.5      | Good      | X       |
| 258    | Pine, red     | 4.5      | Good      | X       |
| 259    | Pine, red     | 7.0      | Good      | X       |
| 260    | Pine, red     | 6.5      | Good      | X       |
| 261    | Elm, Siberian | 13.0     | Fair      | X       |
| 262    | Pine, red     | 7.0      | Good      | X       |
| 263    | Pine, red     | 5.0      | Good      | X       |
| 264    | Pine, red     | 9.0      | Good      | X       |
| 265    | Pine, red     | 8.0      | Good      | X       |
| 266    | Pine, red     | 7.5      | Good      | X       |
| 267    | Pine, red     | 7.5      | Good      | X       |
| 268    | Pine, red     | 7.0      | Good      | X       |
| 269    | Pine, red     | 4.0      | Fair      | X       |
| 270    | Pine, red     | 7.5      | Good      | X       |
| 271    | Pine, red     | 8.5      | Good      | X       |
| 272    | Boxelder      | 26.0     | Fair      | X       |
| 273    | Boxelder      | 21.0     | Fair      | X       |
| 274    | Pine, red     | 7.0      | Good      | X       |
| 275    | Pine, red     | 6.5      | Good      | X       |
| 276    | Pine, red     | 8.0      | Good      | X       |
| 277    | Pine, red     | 6.0      | Good      | X       |
| 278    | Pine, red     | 11.5     | Good      | X       |
| 279    | Pine, red     | 7.5      | Good      | X       |
| 280    | Pine, red     | 6.5      | Good      | X       |
| 281    | Pine, red     | 4.5      | Good      | X       |
| 282    | Pine, red     | 6.5      | Fair      | X       |
| 283    | Pine, red     | 7.5      | Good      | X       |
| 284    | Pine, red     | 10.5     | Good      | X       |
| 285    | Pine, red     | 6.5      | Fair      | X       |
| 286    | Pine, red     | 8.0      | Good      | X       |
| 287    | Pine, red     | 9.0      | Good      | X       |

| Tree # | Species   | Cal. In. | Condition | Removed |
|--------|-----------|----------|-----------|---------|
| 288    | Pine, red | 8.0      | Good      | X       |
| 289    | Pine, red | 6.0      | Good      | X       |
| 290    | Pine, red | 8.0      | Good      | X       |
| 291    | Pine, red | 6.0      | Good      | X       |
| 292    | Pine, red | 6.5      | Good      | X       |
| 293    | Pine, red | 10.0     | Good      | X       |
| 294    | Pine, red | 7.0      | Good      | X       |
| 295    | Boxelder  | 18.0     | Fair      | X       |
| 296    | Pine, red | 10.5     | Good      | X       |
| 297    | Pine, red | 8.0      | Good      | X       |
| 298    | Pine, red | 11.0     |           |         |



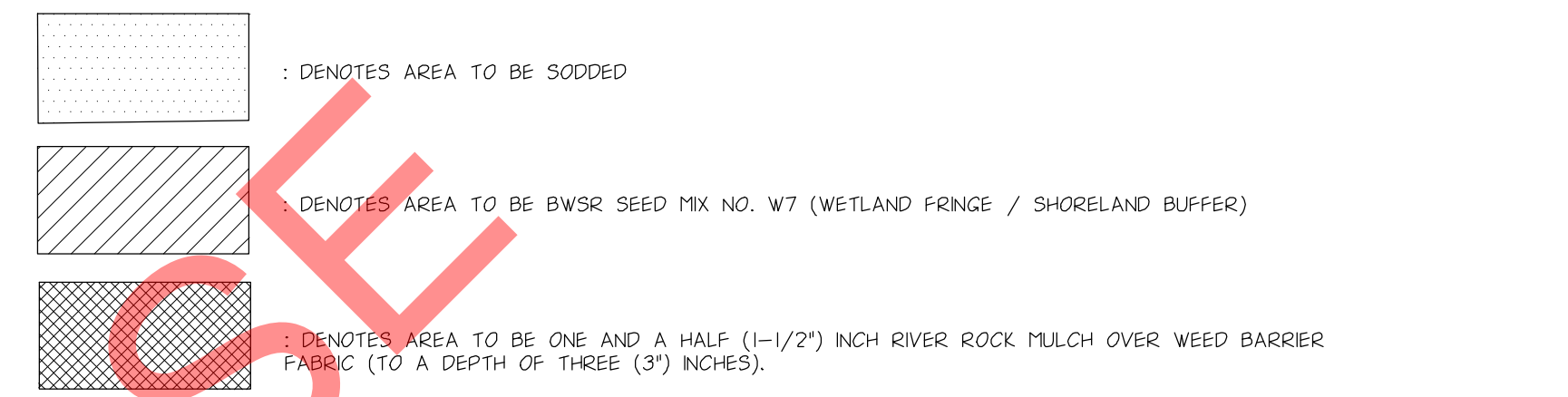
**LANDSCAPE REQUIREMENTS**

CITY OF RAMSEY, MN CITY CODE:  
 1 TREE PER 50 LINEAL FEET OF SITE PERIMETER (GREATER THAN BUILDING FOOTPRINT AREA REQUIREMENTS) = 45 TREES  
 BUFFERYARDS REQUIRE A 30% (OF TOTAL REQUIREMENTS) ADDITIONAL INCREASE OF LANDSCAPE PLANTINGS = 13.5 TREES  
 TOTAL TREES REQUIRED = 59  
 PROPOSED PLAN = 78 TREES  
 1 SHRUB PER 300 SQUARE FEET OF BUILDING FOOTPRINT AREA (GREATER THAN THE SITE PERIMETER REQUIREMENTS) = 102 SHRUBS  
 BUFFERYARD ADDITIONAL REQUIREMENTS = 31 SHRUBS  
 TOTAL SHRUBS REQUIRED = 133  
 PROPOSED PLAN = 133 SHRUBS

**LANDSCAPE SCHEDULE**

| KEY  | COUNT | SCIENTIFIC NAME                | COMMON NAME                   | MATURE SIZE | PLANTING SIZE | ROOT COND. |
|------|-------|--------------------------------|-------------------------------|-------------|---------------|------------|
| ACFS | 8     | ACER X FREEMANI 'SIENNA'       | SIENNA GLEN MAPLE             | 50'H X 30"W | 2.5" CAL      | B&B        |
| ACRS | 6     | ACER RUBRUM 'RED SUNSET'       | RED SUNSET RED MAPLE          | 50'H X 40"W | 2.5" CAL      | B&B        |
| THGC | 7     | TILIA MONGOLICA 'HARVEST GOLD' | HARVEST GOLD MONGOLIAN LINDEN | 40'H X 30"W | 2.5" CAL      | B&B        |
| BENA | 5     | BETULA NIGRA                   | RIVER BIRCH                   | 60'H X 45"W | 2.5" CAL      | B&B        |
| POTR | 4     | POPULUS TREMULOIDES            | QUAKING ASPEN                 | 50'H X 20"W | 2.5" CAL      | B&B        |
| PIAB | 25    | PICEA ABIES                    | NORWAY SPRUCE                 | 50'H X 25"W | 6"            | B&B        |
| PIGL | 5     | PICEA GLAUCA                   | WHITE SPRUCE                  | 50'H X 20"W | 6"            | B&B        |
| PNI  | 18    | PNUS NIGRA                     | AUSTRIAN PINE                 | 50'H X 30"W | 6"            | B&B        |
| CORM | 133   | CORNUS RACEMOSA 'MUSZAT'       | MUSKINGUM GRAY DOGWOOD        | 3'H X 5"W   | #5            | CONT.      |

**LEGEND**



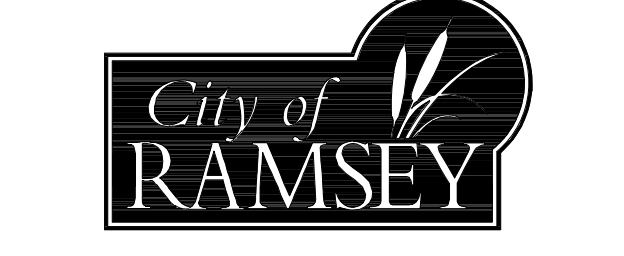
**LANDSCAPE NOTES**

- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING.
- COORDINATE INSTALLATION WITH CONTRACTORS PERFORMING RELATED WORK.
- SEED MIXTURES SHALL BE AS DEFINED IN CURRENT MNDOT SEEDING MANUAL. NATIVE SEEDS SHALL BE OF MINNESOTA (OR AS SPECIFIED) ORIGIN AND CERTIFIED BY THE MINNESOTA CROP IMPROVEMENT ASSOCIATION (MCI). PROVIDE VERIFYING DOCUMENTATION TO THE OWNER 30 DAYS MINIMUM PRIOR TO INSTALLATION.
- PLANT MATERIAL SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND BE OF HARDY STOCK, FREE FROM DISEASE, INFESTATION, DAMAGE, AND DISFIGURATION. FOR DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE SCHEDULE AND THE NUMBER SHOWN ON THE DRAWING, THE DRAWING SHALL GOVERN.
- PLANTING SOIL SHALL CONSIST OF 4 PARTS TOPSOIL TO 1 PART PEAT HUMUS, WITH 3 POUNDS OF COMMERCIAL FERTILIZER ADDED PER CUBIC YARD.
- SPREAD A MINIMUM OF 6 INCHES OF TOPSOIL AND SEED/SOD ALL TURF AREAS DISTURBED BY CONSTRUCTION.
- PLACE PLANTS ACCORDING TO LAYOUT WITH PROPER NOMINAL SPACING.
- SEE DETAILS FOR DEPTH OF PLANTING SOIL.
- INSTALL 3-4 INCH SHREDDED HARDWOOD MULCH AROUND SHRUBS.
- INSTALL A 4-FOOT DIAMETER SHREDDED HARDWOOD MULCH DISH AROUND TREES VINYL EDGING IS NOT REQUIRED, UNLESS NOTED OTHERWISE.
- AREA TO BE EDGED WITH 6-INCH BLACK VINYL EDGING (BLACK DIAMOND OR APPROVED EQUAL).
- 4"-18" NORWAY SPRUCE OR WHITE SPRUCE TREES TO BE SPADED IN PER DEVELOPER.

**DEVELOPER**

NATIONAL SELF-STORAGE, LLC  
 2827 107TH AVENUE  
 BLAINE, MN 55449

**MUNICIPALITY**



**PROJECT**

REGENCY COMMONS  
 RAMSEY, MN

**SHEET INDEX**

| SHEET | TITLE                               |
|-------|-------------------------------------|
| C01   | CIVIL TITLE SHEET                   |
| C11   | EXISTING CONDITIONS & DEMO          |
| C21   | SITE PLAN                           |
| C31   | GRADING, DRAINAGE & EROSION CONTROL |
| C32   | PAVING PLAN & NOTES                 |
| C33   | SWPPP NOTES                         |
| C41   | UTILITIES                           |
| C71   | CIVIL CONSTRUCTION DETAILS          |
| C72   | CIVIL CONSTRUCTION DETAILS          |
| C73   | CIVIL CONSTRUCTION DETAILS          |
| C74   | CIVIL CONSTRUCTION DETAILS          |
| C75   | CIVIL CONSTRUCTION DETAILS          |
| L11   | TREE PRESERVATION PLAN              |
| L12   | TREE PRESERVATION TABLE             |
| L21   | LANDSCAPE PLAN                      |
| L21   | LANDSCAPE DETAILS                   |

**ISSUE / REVISION HISTORY**

| DATE        | ISSUE / REVISION    | REVISION |
|-------------|---------------------|----------|
| 03 JAN 2017 | SITE PLAN SUBMITTAL | XXX      |

**PROJECT MANAGER REVIEW**

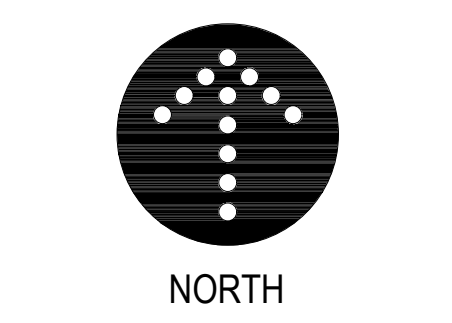
BY XX DATE XXXXXXXX

**CERTIFICATION**

I hereby certify that this plan was prepared under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.  
 License No: 19976  
 Signature shown on this plan is a true and correct copy of original. Wet signed copy of this plan on file at National Self-Storage, LLC office and available upon request.

**SITE PLAN SUBMITTAL**  
 01-03-2017

LANDFORM  
 From Site to Finish  
 105 South Fifth Avenue Tel: 612-252-9070  
 Suite 513 Fax: 612-252-9077  
 Minneapolis, MN 55401 Web: landform.net



PROJECT NO. NSS16001  
**LANDSCAPE PLAN**  
**L2.1**  
 SHEET NO. 15/15  
 Landform/Seed Site to Finish/Plan registered service marks of Landform Professional Services, LLC

PREVIOUS CASE

**SHEET INDEX**

| SHEET | TITLE                               |
|-------|-------------------------------------|
| C01   | CIVIL TITLE SHEET                   |
| C02   | EXISTING CONDITIONS & DEMO          |
| C03   | SITE PLAN                           |
| C04   | GRADING, DRAINAGE & EROSION CONTROL |
| C05   | PAVING PLAN & NOTES                 |
| C06   | SWPPP NOTES                         |
| C07   | UTILITIES                           |
| C08   | CIVIL CONSTRUCTION DETAILS          |
| C09   | CIVIL CONSTRUCTION DETAILS          |
| C10   | CIVIL CONSTRUCTION DETAILS          |
| C11   | CIVIL CONSTRUCTION DETAILS          |
| C12   | CIVIL CONSTRUCTION DETAILS          |
| C13   | CIVIL CONSTRUCTION DETAILS          |
| C14   | CIVIL CONSTRUCTION DETAILS          |
| C15   | CIVIL CONSTRUCTION DETAILS          |
| L01   | TREE PRESERVATION PLAN              |
| L02   | TREE PRESERVATION TABLE             |
| L03   | LANDSCAPE PLAN                      |
| L04   | LANDSCAPE DETAILS                   |

**ISSUE / REVISION HISTORY**

| DATE        | ISSUE / REVISION    | REVIEW |
|-------------|---------------------|--------|
| 03 JAN 2017 | SITE PLAN SUBMITTAL | XXXX   |

**PROJECT MANAGER REVIEW**

BY: XX DATE: XXX/XXX/XX

**CERTIFICATION**

I hereby certify that this plan was prepared under my direct supervision, and that I am a Professional Engineer under the laws of the State of Minnesota.  
 Signature shown in red is a reproduction of original. Web signed copy of this plan on file at National Self-Storage, LLC office and is available upon request.  
 License No: 19976

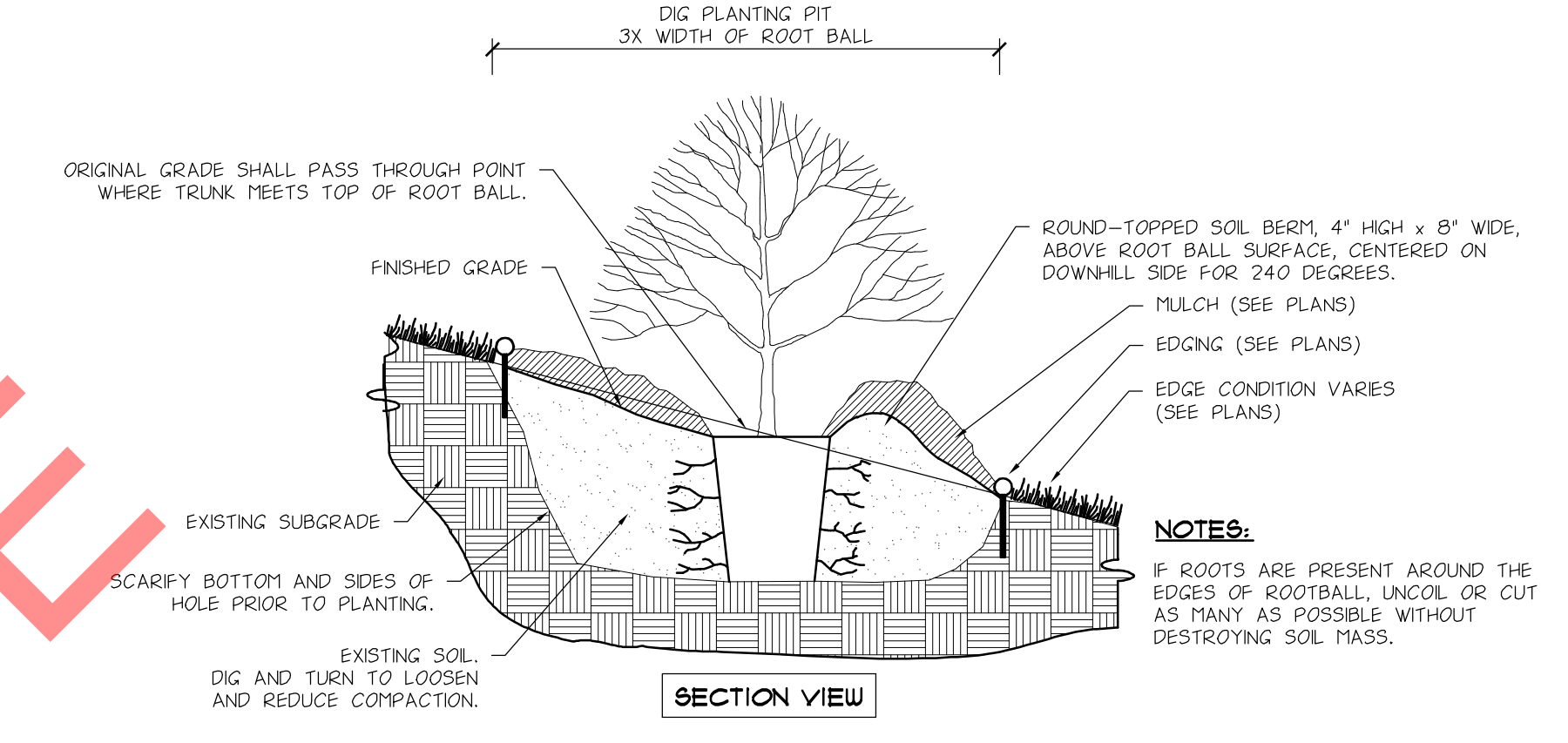
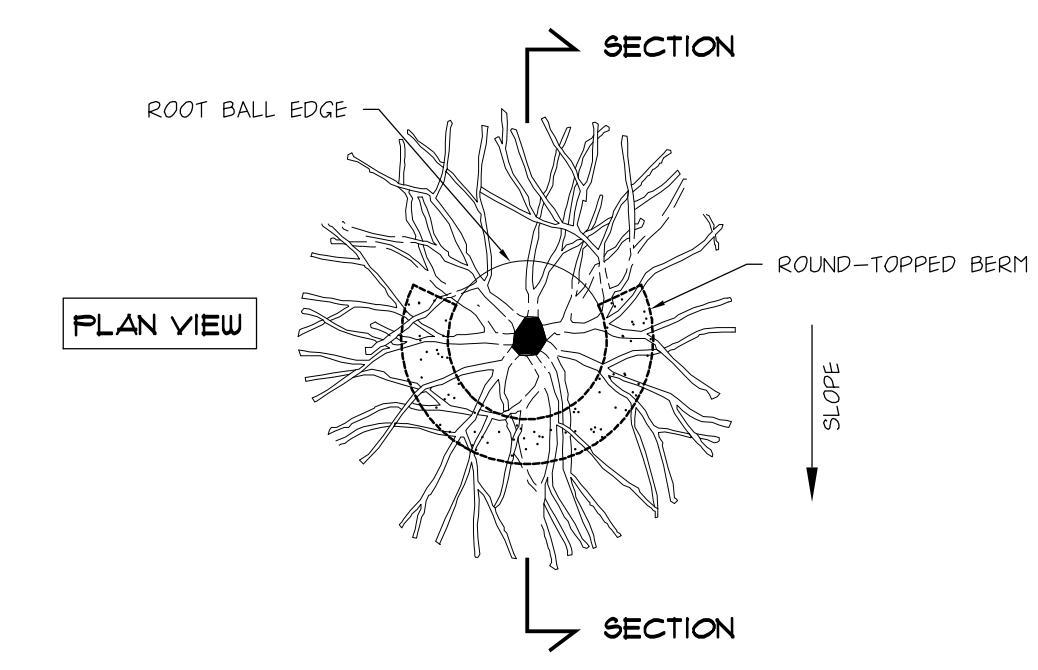
**SITE PLAN SUBMITTAL**  
 01-03-2017

**LANDFORM**  
 From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070  
 Suite 513 Fax: 612-252-9077  
 Minneapolis, MN 55401 Web: landform.net

FILE NAME: L701KR2001.DWG  
 PROJECT NO: NSS16001

**LANDSCAPE DETAILS**  
**L7.1**  
 SHEET NO. 15/15  
 Landform Paid Site to Finish™ is a registered service mark of Landform Professional Services, LLC.

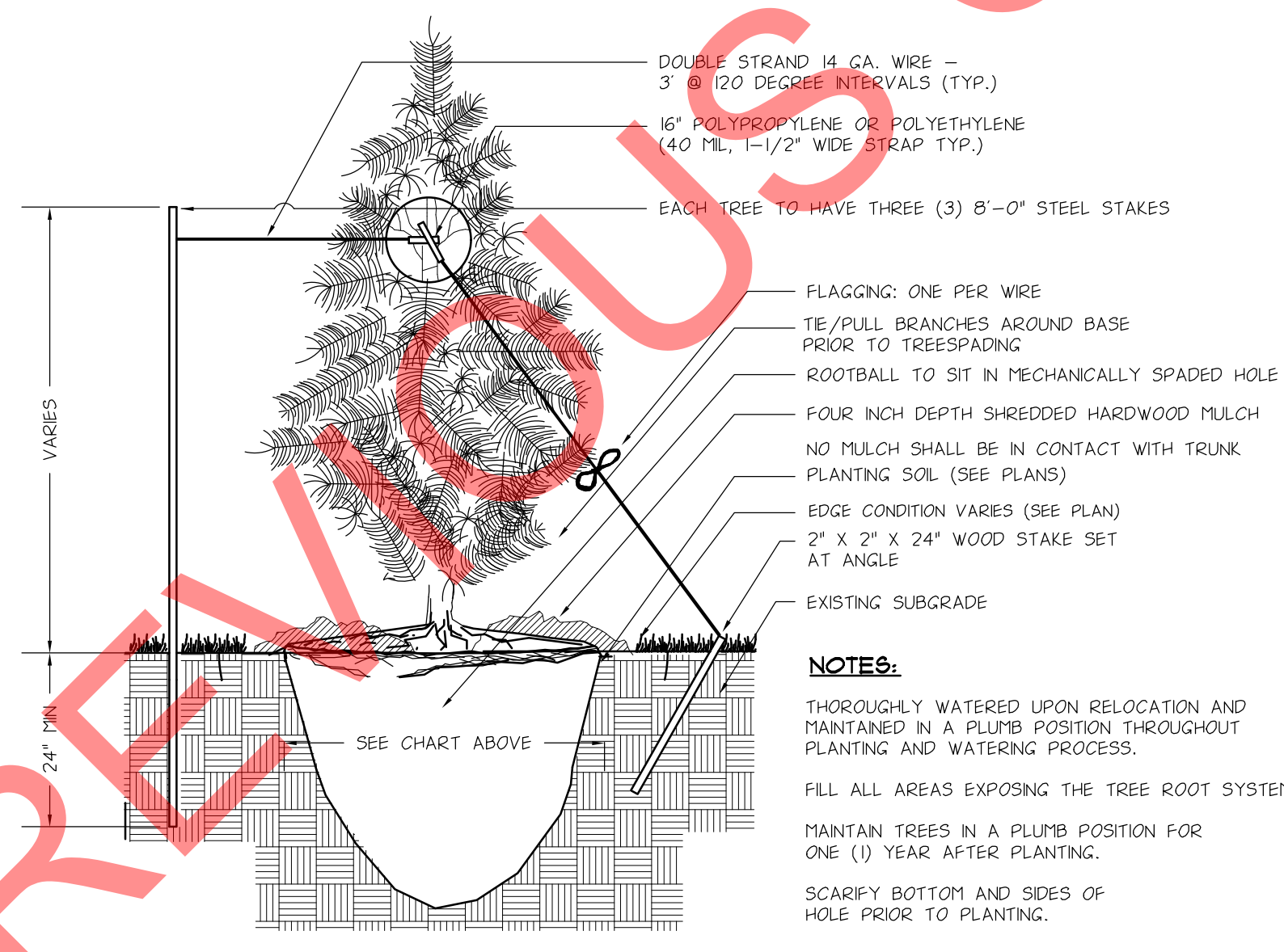


**5 STEEP SLOPE PLANTING**  
 NO SCALE

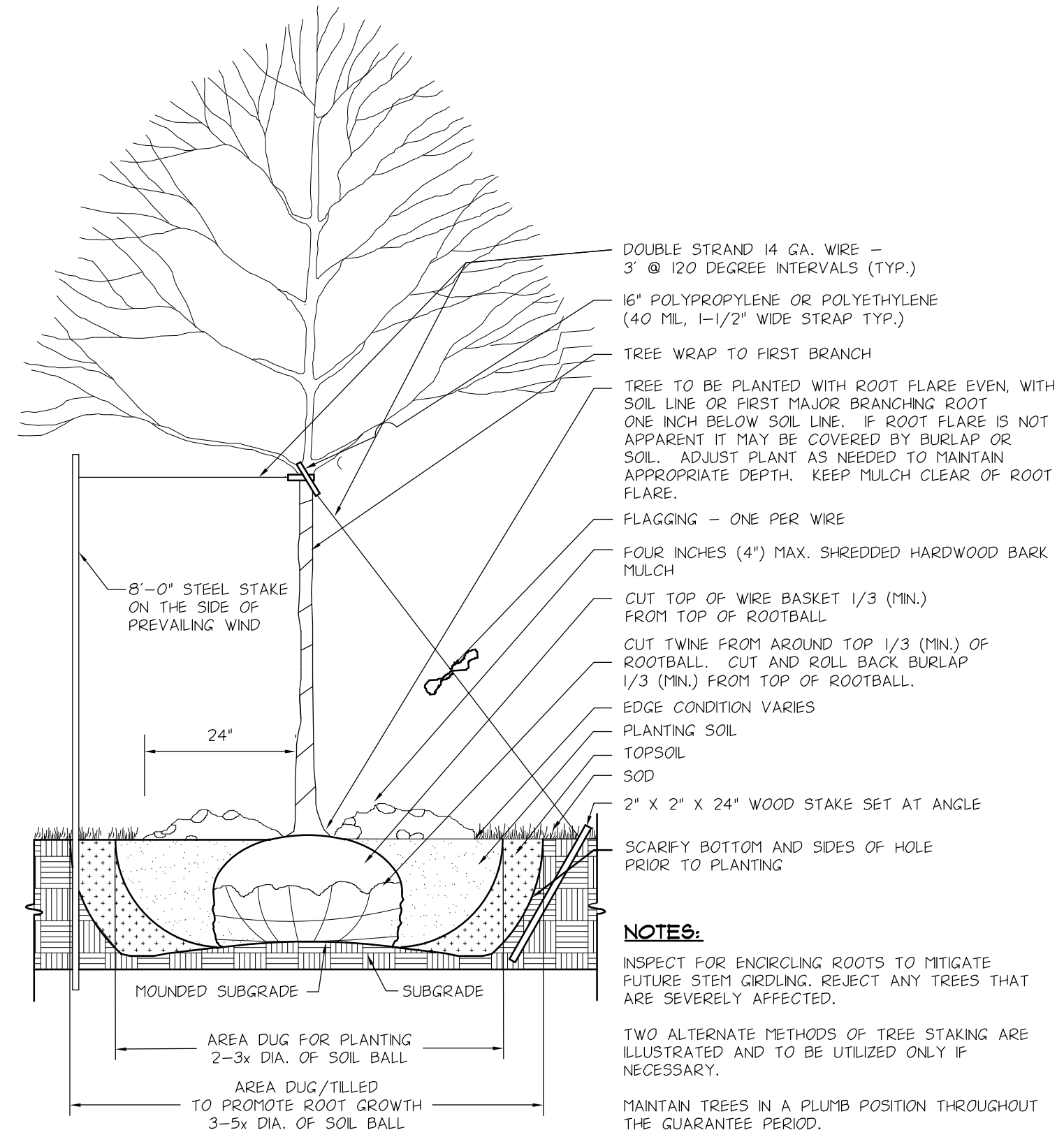
**TREE SPADE NOTES**

- COORDINATE PROPOSED RELOCATION OF EXISTING TREES WITH GRADING CONTRACTOR. STAGING OF TREE SPADING AND RELOCATION WILL BE DETERMINED BY GRADING PROCESS. TREE SPADE CONTRACTOR IS TO DETERMINE BEST STAGING PROCESS TO MAINTAIN HEALTH AND VIABILITY OF TREES TO BE RELOCATED.
- IF TEMPORARY HOLDING AREA IS NECESSARY FOR SPADED TREES, LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR WATERING, MULCHING AND FERTILIZING TO MAINTAIN EXISTING HEALTH AND VIABILITY OF TREES UNTIL FINAL LOCATION ON SITE IS MET.
- FINAL SETTING OF RELOCATED TREES SHALL BE DETERMINED WITH THE FOLLOWING PARAMETERS IN MIND:
  - MAINTAIN ORIGINAL ORIENTATION OF TREES. EXISTING NORTH FACING SIDE OF TREE SHALL BE NORTH FACING SIDE OF TREE IN NEW LOCATION.
  - CONSIDERATION OF EXISTING SLOPE AROUND ORIGINAL SITE OF TREE SHALL BE IMITATED AS CLOSELY AS POSSIBLE TO MAINTAIN ORIGINAL SLOPE AND DRAINAGE CONDITIONS.
  - RELOCATE TREES AS CLOSE AS POSSIBLE TO ORIGINAL LOCATION TO MAINTAIN ORIGINAL SOIL CONDITIONS.
- TREES TO BE RELOCATED SHALL BE TAGGED AND/OR PAINTED ON SITE.
- TAKE CARE TO MINIMIZE DAMAGE TO LIMBS AND GENERAL HEALTH OF TREES. WRAP OR TIE TREES BEFORE SPADEING TO MINIMIZE DAMAGE DURING RELOCATION. IF SIGNIFICANT DAMAGE OCCURS DUE TO IMPROPER PROCEDURES LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR EQUIVALENT REPLACEMENT OF DAMAGED TREE.
- INSPECTION AND GUARANTEE OF RELOCATED TREES ARE AS DEFINED IN LANDSCAPE PLANS AND SPECIFICATIONS.
- TRANSPLANTED DECIDUOUS/CONIFEROUS TREES SHALL BE TRIMMED OF ALL DEAD WOOD AND PRUNED TO NATURAL AND UNIFORM APPEARANCE.
- TRANSPLANTED DECIDUOUS TREES RELOCATED IN PEDESTRIAN/VEHICULAR CIRCULATION AREAS SHALL BE TRIMMED FREE OF BRANCHES FROM GRADE TO HEIGHT OF 6'-8'.

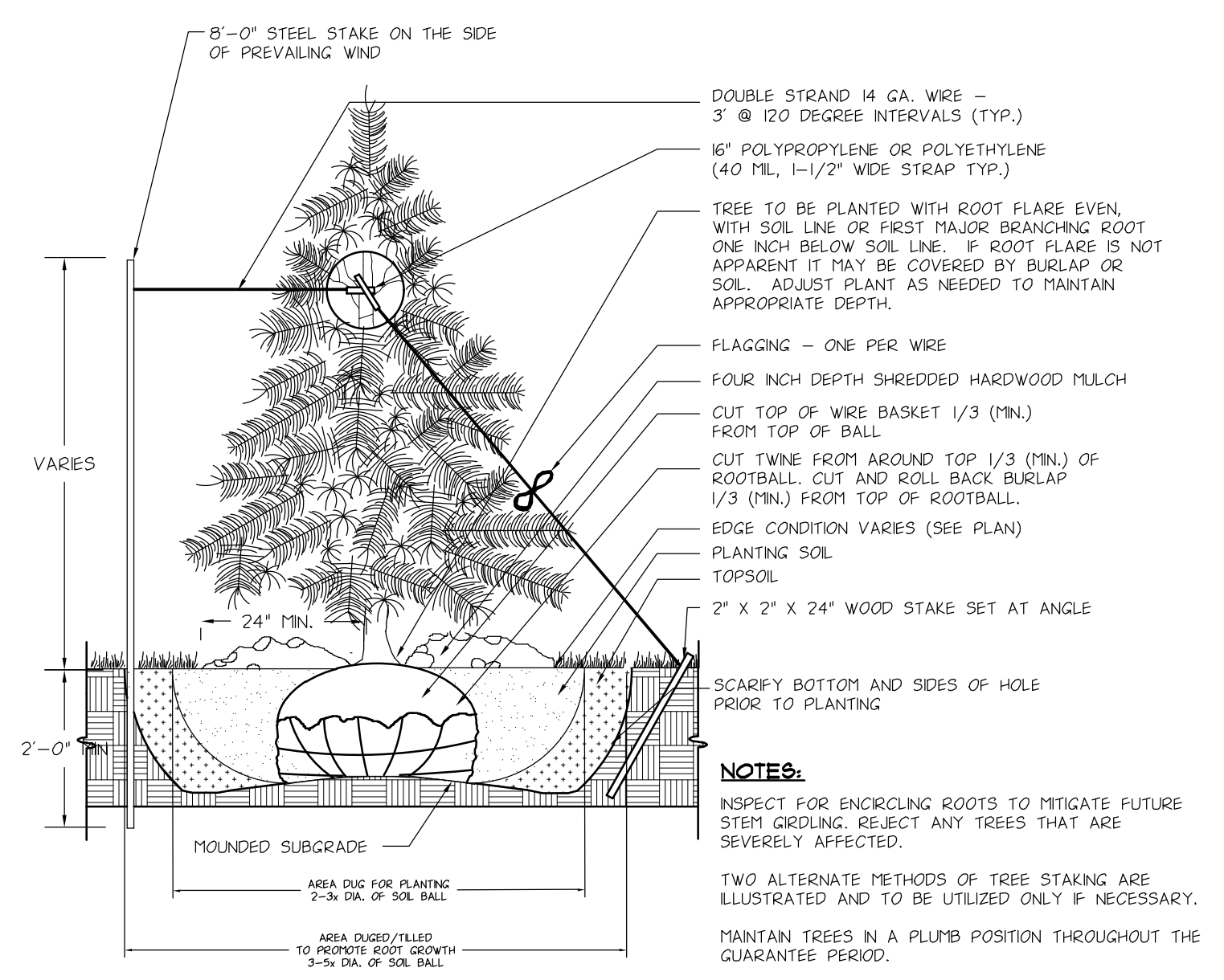
| CALIPER SIZE | SPADE DIAMETER |              | SPADE DEPTH  |                 |
|--------------|----------------|--------------|--------------|-----------------|
|              | MINIMUM DIA.   | MAXIMUM DIA. | MINIMUM DIA. | MAXIMUM DIA.    |
| 1" CALIPER   | 12"            | 10"          | 8"           | 10"             |
| 2" CALIPER   | 20"            | 18"          | 13"          | 18"             |
| 3" CALIPER   | 30"            | 24"          | 23"          | 24"             |
| 4" CALIPER   | 40"            | 30"          | 30"          | 40"             |
| 5" CALIPER   | 50"            | 36"          | 36"          | 48"             |
| 6" CALIPER   | 60"            | 43"          | 43"          | (OPTIMAL SPADE) |
| 7" CALIPER   | 70"            | 51"          | 51"          | (OPTIMAL SPADE) |
| 8" CALIPER   | 80"            | 57"          | 57"          | (OPTIMAL SPADE) |
| 9" CALIPER   | 90"            | 63"          | 63"          | (OPTIMAL SPADE) |
| 10" CALIPER  | 100"           | 68"          | 68"          | (OPTIMAL SPADE) |



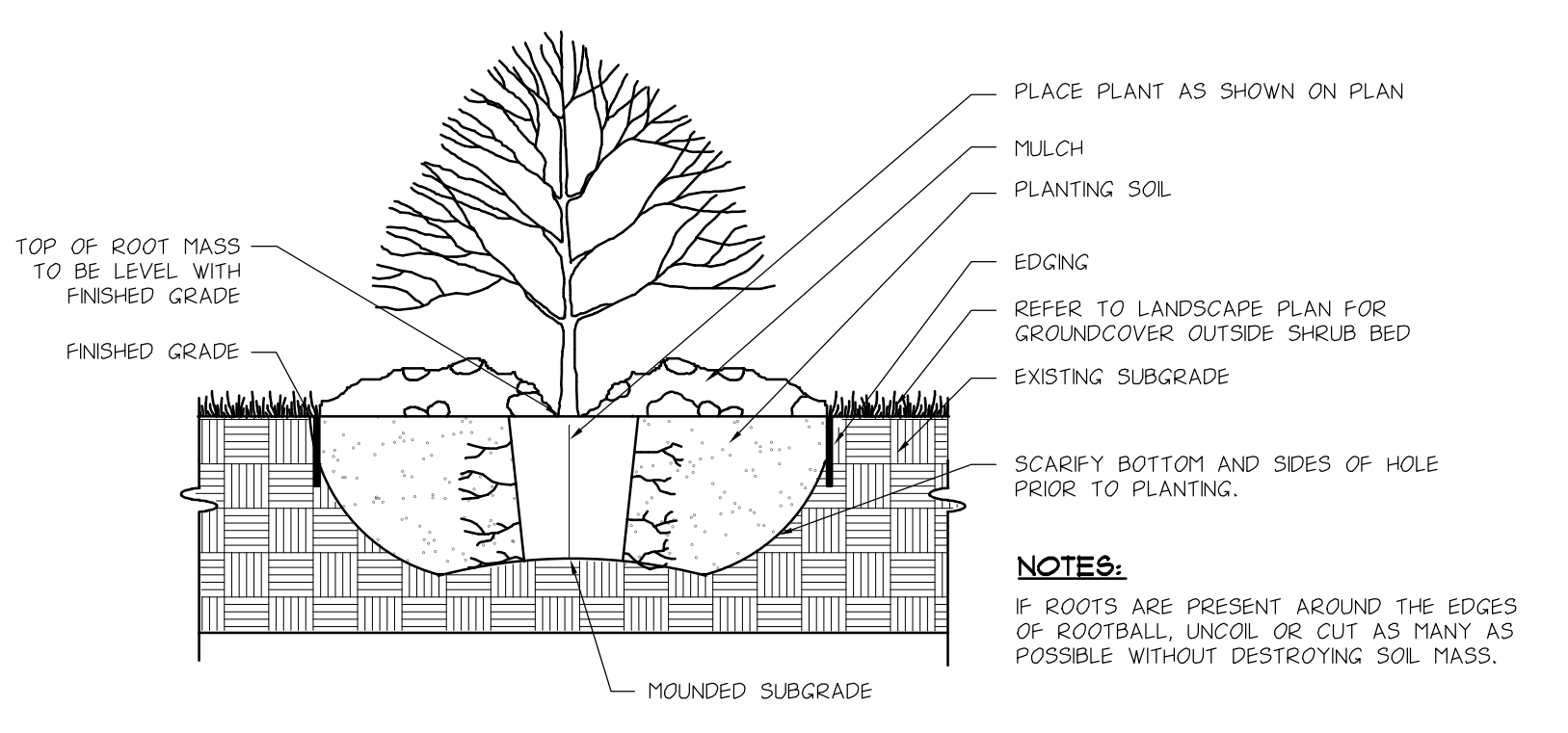
**4 SPADE-RELOCATION FOR CONIFEROUS/DECIDUOUS TREE**  
 NO SCALE



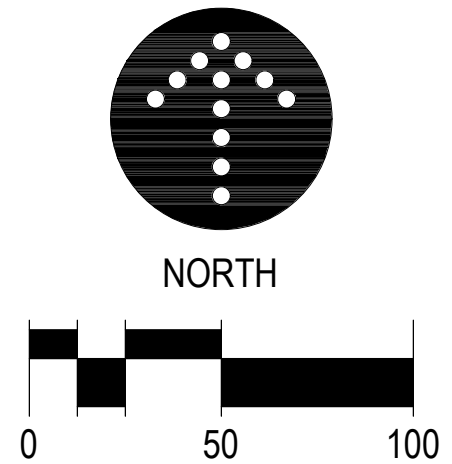
**1 DECIDUOUS TREE PLANTING**  
 NO SCALE



**2 CONIFEROUS TREE PLANTING**  
 NO SCALE



**3 SHRUB PLANTING**  
 NO SCALE





1 ENTRY RENDERING  
R1.1



2 SITE RENDERING  
R1.1



3 SITE RENDERING 2  
R1.1

**5.02: Review Sketch Plan for proposed Plat “Regency Commons” generally located at 14725 Ramsey Boulevard NW (Project No. 16-108); Case of National Self Storage LLC**

**Presentation**

Community Development Director Gladhill presented the staff report stating the purpose of this file is to review the official Sketch Plan prepared by Landform for the purpose of combining three (3) existing lots into two (2) buildable lots at the northeast corner of Ramsey Boulevard and Bunker Lake Boulevard. The three (3) parcels are identified as PID #27-32-25-22-0006, #27-32-25-22-0003, and #27-32-25-22-0002 (together referred to as the "Subject Property"). The Sketch Plan Review process affords the Planning Commission the opportunity to provide early direction on the layout of the proposed plat, before a developer prepares detailed Preliminary Plat plans. A key decision will occur at Preliminary Plat, in which the layout will be approved, subject to approving final construction plans and Final Plat documents. At that time, the City will review items including, but not limited to, Grading and Drainage Plans, Utility Plan, Landscape Plan, and Street Light Plan. Staff requested feedback from the Commission on the Sketch Plan.

**Commission Business**

Chairperson Levine requested further information on the location of this project.

Community Development Director Gladhill reviewed the project site with the Commission.

Commissioner VanScoy asked if the cul-de-sac issue had been resolved.

Community Development Director Gladhill reported staff sees a benefit to having a cul-de-sac, however the bank that currently owns the property does not see value in constructing a cul-de-sac. He anticipated some sort of hybrid cul-de-sac would need to be built to access the area. He discussed which plow truck would have to be used to access this area. He explained staff would need additional feedback from the Commission regarding the cul-de-sac.

Commissioner Bauer believed the cul-de-sac benefited the City more than the applicant. The recommended the City be responsible for the construction of the cul-de-sac given the fact the applicant was willing to donate the land.

Karen Albu, 14732 Limonite Street, reported she submitted a two-page letter to staff regarding the Sketch Plan. She hoped that the wildlife would be able to remain moving through this area.

Community Development Director Gladhill reported the next step for this case would be to hold a public hearing in the coming months in order to take comment from residents.

Commissioner Brauer inquired if the City had received a landscaping plan. He recommended conifers be planted on this property to provide additional screening.

Community Development Director Gladhill explained the City would be reviewing a landscaping plan in the next step.

Curtis Foster, 7121 148<sup>th</sup> Lane NW, asked how property values would be impacted by the proposed project.

Community Development Director Gladhill explained staff does not have any empirical evidence that the project would negatively affect property values. He believed there was enough separation that this would not be a concern. He explained City staff could speak with the Council anecdotally regarding the adjacent property values.

Commissioner Brauer stated he wouldn't mind living next to the proposed facility given the fact there would be little noise or traffic and there would be a good-sized buffer in place.

Chairperson Levine requested comment from the applicant.

Reid Schulz, Landform Professional Services, introduced himself to the Planning Commission. He discussed the success of Troy Halverson and National Self Storage. He thanked staff for their assistance with the Sketch Plan. He explained this plan was not requesting a variance within the buffer yard. He reported he was willing to work with the neighbors and would not be contributing to any of the drainage concerns. He described how a hammerhead turnaround was used and questioned the benefit of the hybrid cul-de-sac that was being proposed by the City. He explained he was more than happy to dedicate land to the City for a cul-de-sac but stated he would be seeking a reduction in the park dedication fees if this were to proceed. It was his recommendation that the cul-de-sac not be required.

Commissioner Bauer asked if the two large garage doors would accommodate semi-trucks.

Mr. Schulz indicated the two larger doors would allow for climate controlled access into the facility for patrons visiting the site during the winter months. He described how access would be controlled by the gates and noted now outdoor storage would be allowed.

Commissioner VanScoy questioned how the pond would be accessed.

Mr. Schulz described how maintenance vehicles would access the pond through the stub street.

Community Development Director Gladhill stated in the past there was openness for the applicant to dedicate property to the City. He explained he would be interested in holding further conversations with the applicant regarding the cul-de-sac. He understood the cul-de-sac would be awkward in shape, but the City saw value in completing this project. He recommended staff speak with the applicant and bring forward a recommendation to the Commission at a future meeting. He suggested the Public Works Superintendent attend the next meeting to review the cul-de-sac concerns in further detail with the Commission.

Commissioner Surma questioned how high the proposed building would be.

Mr. Schulz reported the building would be under 35 feet in height.

Commissioner Surma asked if the City had notified adjacent property owners to make them aware of the proposal.

Community Development Director Gladhill explained the City had notified property owners within 700 feet of the subject property.

Commissioner Surma looked forward to hearing from the Public Works Director but stated he did not oppose to leaving the roadway as is.

Commissioner Nosan questioned how many entrances to the site would have.

Mr. Schulz explained the property would have a full access of off Ramsey Boulevard and a right in right out off of Bunker Lake Boulevard.

Motion by Commissioner Bauer, seconded by Commissioner VanScoy, to approve the Sketch Plan and direct the Applicant to proceed to preparing a Preliminary Plat, with the considerations listed in this staff report and those raised by the Planning Commission, contingent upon review by City staff.

Motion Carried. Voting Yes: Chairperson Levine, Commissioners Bauer, VanScoy, Anderson, Brauer, Nosan, and Surma. Voting No: None. Absent: None.

**5.03: Review Sketch Plan for Three (3) Lot Subdivisions at 7131 166<sup>th</sup> Avenue NW (Project No. 16-32); Case of CTW Group Inc.**

**Presentation**

Community Development Director Gladhill presented the staff report stating the purpose of this file is to review the official Sketch Plan prepared by Advance Surveying & Engineering, Co. for the purpose of creating three (3) new lots at 7131 166<sup>th</sup> Avenue NW (the "Subject Property"). The Sketch Plan Review process affords the Planning Commission the opportunity to provide early direction on the layout of the proposed plat, before a developer prepares detailed Preliminary Plat plans. A key decision will occur at Preliminary Plat, in which the layout will be approved, subject to approving final construction plans and Final Plat documents. At that time, the City will review items including, but not limited to, Grading and Drainage Plans, Utility Plan, Landscape Plan, and Street Light Plan. Staff requested feedback from the Commission on the Sketch Plan.

**Commission Business**

Commissioner Bauer asked how much of a concern the rear yard of Lot 1 would be.

**CITY OF RAMSEY LAND USE APPLICATION  
TECHNICAL REVIEW FILE**

|                            |  |                        |                      |
|----------------------------|--|------------------------|----------------------|
| <b>DATE</b>                | JANUARY 27, 2017<br><br>REVISED: FEB. 24,<br>2017  | <b>PROJECT ADDRESS</b> | 14725 RAMSEY BLVD NW |
| <b>PROJECT. TITLE</b>      | REGENCY COMMONS: COMPREHENSIVE PLAN AMENDMENT, ZONING AMENDMENT, SITE PLAN, VARIANCE. PRELIMINARY PLAT AND FINAL PLAT REQUESTS |                        |                      |
| <b>ESCROW #</b>            | 115441   |                        |                      |
| <b>DEPARTMENT:</b>         | Community Development: Planning Division (Zoning Code)   |                        |                      |
| <b>TECHNICAL REVIEWER:</b> | Name: Eric Maass, Consultant City Planner<br>Phone: (763) 576-4306<br>Email: EMAass@wsbeng.com                                 |                        |                      |

We offer the following comments regarding the submittal for Preliminary Plat, Final Plat, Comprehensive Plan Amendment, Zoning Amendment, Site Plan, and Variance (to shoreland overlay district standards) approval for Regency Commons. The plan set consists of fifteen (15) sheets, prepared by Landform and dated January 3, 2017. Revised building elevations were provided to the City on February 22, 2017.

**Based on the plan set provided, Staff has the following comments that require revision:**

1. *Sheet C2.1 and subsequent relevant sheets should show an extension of 148<sup>th</sup> Avenuw NW. The City's standard residential road section, complete with curb, extended 3 feet past sanitary manhole located in road centerline on 148<sup>th</sup> Ave leading into the east side of the property. Curbing will be required to match existing conditions and must be installed on all 3 sides of the road extension. This was discussed and agreed to in meeting on November 14, 2016.*
2. *Sheet C2.1 currently indicates a fifteen (15) foot access easement. This should be revised to a twenty (20) foot maintenance easement. This was discussed and agreed to in meeting on November 14, 2016.*

**Based on the plan set provided, Staff has the following comments that require discussion and possible revision:**

1. *Revised building elevations submitted to the City show a parapet wall that has been increased in height to allow for space that would support the instillation of a wall sign that would read "National Self Storage". This increased height appears to be within the maximum height allowed (60 feet) within the E-1 Employment district; however, because this is new to the City and the local residents the aesthetic of this increase in height and inclusion of a sign will need to be discussed between the Applicant and City Staff.*

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**Preliminary and Final Plat**

The applicant is requesting review of a Preliminary and Final Plat that contemplates platting PID #'s 27-32-25-22-0006, #27-32-25-22-0003, and #27-32-25-22-0002 (the "Subject Properties") into two lots. Lot 1 is shown to contain two 3-level indoor storage buildings and two 1-level storage buildings. Only one of the 3-level indoor storage buildings and one of the 1-level storage buildings would be initially constructed. Lot 2 is shown as undeveloped and would be held for possible future development. It is not known at this time what that possible future development would be, but the plan set indicates "Future Neighborhood Commercial".

Currently there are three parcels located on the subject site. The parcel on the northern portion of the subject site is guided Business Park and zoned E-1 Employment. The other two parcels located in the southwest corner of the site are guided Commercial and zoned B-1 Business. The Applicant has proposed a reconfiguration of the existing lots to create more traditional lot shapes. Phase 1 of the project would occur on Lot 1.

Parcels within the E-1 Employment District are required to meet the following dimensional standards in accordance with City Code Section

| <b>LOT 1</b> | Required | Proposed      |
|--------------|----------|---------------|
| Lot Area     | 1 acre   | 4.45 Acre +/- |
| Lot Width    | 200 feet | 290 feet +/-  |

Parcels within the B-1 Business District are required to meet the following dimensional standards

| <b>LOT 2</b> | Required (with municipal utilities) | Proposed      |
|--------------|-------------------------------------|---------------|
| Lot Area     | ½ acre                              | 1.75 Acre +/- |
| Lot Depth    | 150 feet                            | 263 feet +/-  |
| Lot Width    | 100 feet                            | 290 feet +/-  |

**Development Fees.** Development Fees will be due with the Plat including, but not limited to, Park Dedication, Trail Development, and Stormwater Management. These fees are collected at the time the Final Plat is recorded and at the rate in effect when the plat is recorded.

**Development Agreement.** Upon approval of a Final Plat, an executed Development Agreement will be required prior to releasing the plat for recording.

Staff recommends approval of the Preliminary and Final Plat.

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**Comprehensive Plan Amendment and Re-Zoning Application Review**

As a result of the re-platting of the Subject Properties, the Applicant is proposing that the existing zoning classification boundaries be re-configured to match the proposed parcel shapes. As such, Lot 1 would be

rezoned to E-1 Employment District, and Lot 2 would be rezoned to B-1 Business District. Due to the reorganization of parcel lines and zoning districts, the designations for these parcels must be adjusted to as well.

As proposed, Regency Commons would result in zero (0) additional lots being added to the Municipal Urban Service Area (MUSA) boundary. Generally, it is required that adjacent communities review the proposal and provide comment; however, if the proposed amendment is able to meet the following criteria, then that adjacent community review may be waived by the metropolitan council.

- The Amendment involves a site of 40 acres or less
- The amendment does not change the community's growth forecasts for 2010 - 2030 or the TAZ allocations
- The amendment site is either more than one quarter of a mile from an adjacent jurisdiction or is beyond the distance or area which the community's adopted ordinances require notice to adjacent or affected property owners, whichever distance is less.

The proposed amendment meets the above criteria.

Staff finds that the proposed request for a Comprehensive Plan Amendment would not have an adverse effect on public infrastructure or safety and recommends approval of the Comprehensive Plan Amendment and Re-Zoning of the Subject property.

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#### **Shoreland Overlay Variance Review**

The Applicant is currently proposing a site plan that would result in Lot 1 of Regency Commons having a total impervious area of 54.7%. City Code Section 117-225 Subd. (g)(4) b. 1. limits the amount of impervious surface of the lot area to 25% when any portion of the lot is located in the Shoreland Overlay District.

In reviewing the site plan as proposed, the portion of Lot 1 located within the Shoreland Overlay District is shown as remaining completely pervious as it is within the required sixty (60) foot landscape buffer. In addition, the E-1 Employment District has a maximum lot (building) coverage requirement of 45% which the Applicant is also required to meet.

Information was sent to the MN DNR for review and comment and Staff has not received a response yet.

Staff recommends approval of the Shoreland Overlay variance as requested.

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#### **Site Plan Review**

Staff offers the following comments as a general staff review of the Site Plan in comparison to the City's zoning code.

**Lot Coverage Calculations.** The E-1 district allows a maximum lot coverage of 45%. The Applicant is currently showing a lot coverage calculation of 54.7% (which includes parking surfaces and buildings). However, the building coverage, including the two (2) ‘future’ buildings, is well below the 45% threshold.

**Setbacks:** The required setbacks are outlined below.

| Setbacks  |  |
|---|--|
| Front Building Setback: 35 feet   | 80 feet  |
| Rear Building Setback: 35 feet  | 90.5 feet  |
| Side Building Setback: 20 feet  | 95 feet  |
| Major and minor arterials and county and state roadways: 60 feet from centerline of road right-of-way plus the local applicable setback (60 feet + 35 feet = 95 feet) | 138 feet   |
| Setbacks when adjacent to residential district:   | Proposed:  |
| Buildings: 60 feet  | 90.5 feet  |
| Off-street parking, storage areas, and driveways: 40 feet   | 60.5 feet  |
| Parking and paving setback from street right-of-way: 20 feet  | 20 feet  |
| Maximum Building Height: 65 feet  | 44 feet  |
| Minimum lot (building) coverage: 45 percent   | 25.57%   |
| Lighting – must deflect light away from adjoining residential district.   | Photometric plan provided which indicated no light emitting past the site boundaries. Shop drawing of downcast fixtures with recessed bulbs shown. |

**Building Elevations:** Zoning limits building height in the E-1 Employment District to 65 feet. The building elevations show a mixture of brick, masonry block, glass, colored metal paneling, and stucco. The E-1 District allows for the following materials: Face brick; Stucco; Glass; Wood; Natural Stone; specifically designed pre-cast concrete units whose surfaces have been integrally treated with an applied decorative material or texture; and other materials as may be approved by the City. The identifiable materials of brick, masonry block, stucco, and glass meet the requirements of the zoning district. Staff finds the proposed materials of colored metal paneling to be acceptable and provides an additional aesthetic element and color to the façade.

Revised building elevations show that the parapet wall has been increased in height to provide for area that a sign reading “National Self Storage” could be mounted. Staff would like to work with Applicant to try and reduce the added height from the parapet wall as it appears that the sole purpose of it is to provide additional space for signage.

**Streets:** Sheet C.2 shows a singular access onto Ramsey Boulevard NW (County Road 56). This access is acceptable to the County. Previous plans for a mini storage facility on this site have shown a cul-de-sac constructed at the current termination of 148<sup>th</sup> Avenue NW. A cul-de-sac is no longer being shown as a result of discussion between the Applicant and the City. The City’s Public Works Superintendent offered the following proposal, which the Applicant was agreeable to; however, the plans to date do not reflect the proposed improvements.

In place of the cul-de-sac at the end of 148<sup>th</sup> Ave, the City would accept the following improvements, installed and paid for by the Developer, included in the project:

- The City's standard residential road section, complete with curb, extended three (3) feet past sanitary manhole located in road centerline on 148<sup>th</sup> Ave leading into the east side of the property. Curbing matching existing conditions must be installed on all three (3) sides of the road extension.
- A twenty foot (20') maintenance easement granted to the City along the eastern property line, with no additional trees planted in easement. This easement is needed to provide access for maintenance to existing storm water structures.
- A written agreement, drafted by Developer and reviewed and approved by the City, to allow snow storage on Subject Properties from the dead end on 148<sup>th</sup> Ave. **Note**-most of the snow should be retained in the 20' maintenance easement, but in years with high snow volumes, it may be necessary to store the snow on private property.

City Staff and Anoka County Highway Staff continue to discuss the proposed access point off CSAH 56. The outcome of these discussions may impact the proposed location of access. If so, revised plans will be necessary and would need to be routed back through City Council for consideration and approval.

**Grading and Drainage:** Engineering Staff will provide specific review related to grading and drainage on the site. However, initially, it would seem that the proposed grading of the eastern edge of the site behind Lots 6 and 7 of Regency Pond 2<sup>nd</sup> Addition will need to be revised as the grades as shown are too steep to allow for maintenance vehicles to adequately access the rear easement. The siting of proposed trees may need to be revised to ensure accessibility for public works equipment to navigate the easement.

**Stormwater:** Engineering Staff will provide specific review related to stormwater. However, a stormwater permit from the Lower Rum River Watershed Management Organization (LRRWMO) may be required. Any plan sets to be submitted to the LRRWMO for permit review must first be submitted to the City for review.

**Landscaping:** One (1) deciduous or coniferous tree is required for every fifty (50) lineal feet of site perimeter or one (1) tree per 1,000 square feet of building footprint area, whichever is greater. For shrubs, one (1) shrub per lineal foot of site perimeter or one (1) per three hundred square feet of building footprint area, whichever is greater. Deciduous trees are required to be 2.5 inches in diameter as measured three feet above ground. Coniferous trees are to be 6 feet in height. Deciduous shrubs are to be 2 feet in height. Evergreen shrubs are to be 2 feet in height or 2 feet in width, whichever applies. Ornamental trees are to be 1.5 inches in diameter as measured three feet above ground.

#### Base Landscaping Requirements

- 45 trees to meet the 1 tree per 50 linear feet of site perimeter
- 14 trees to meet the 30% of total requirement additional increase of landscape plantings for the buffer yard requirement
- 59 total trees required
- 102 shrubs to meet the 1 shrub per 300 square feet of building footprint area
- 31 shrubs to meet the 30% of total requirement additional increase of landscape plantings for the buffer yard requirement

#### Landscaping Shown

- 78 trees
- 133 shrubs

Note that Parking Lots have specific landscaping requirements including:

- 1 tree per every ten parking spaces (18 parking spaces shown).
    - (2 trees for parking + 59 trees for base landscaping requirements = 61 trees. 78 trees are proposed.)
  - Every overstory tree planted shall be provided with a planting area of 162 square feet
  - Acceptable ground cover materials include sod, mulch, and other natural ground cover. Landscaping rock and plastic underlayment is not allowed.
  - All parking lot planting areas shall include underground irrigation systems.
- A planting detail must be included with the landscape plan (another option is to incorporate the City's tree planting detail). At a minimum, it should state:
    - Planting depth shall be such that the 1<sup>st</sup> set of primary roots is at finished grade
    - Only prune out dead/broken/deformed branches at time of installation
    - Removal of upper portion of wire basket and burlap after being placed in planting hole if using B & B stock.
    - 2-4 inches of wood chip mulch shall be included around all trees. Mulch shall not be piled against the trunk of trees.

**Topsoil:** All exposed ground areas of a site not occupied by building, parking or storage, excluding natural areas that are left undisturbed, shall be covered with four inches of topsoil meeting the City's topsoil specification. Note that copies of the load tickets are required and a topsoil inspection is required before any landscaping is installed.

**Tree Preservation:** A detailed tree inventory identifying all significant trees, as defined in City Code [Section 117-327](#) (and outlined below), was submitted. At least thirty percent (30%) of the inches of existing significant tree DBH must be preserved on site. The tree preservation plan submitted appears to comply with the removal threshold for the entire site. However, when Lot 2 is developed, it appears that additional reforestation efforts may be needed as the majority of the preserved trees are on that lot.

**CITY OF RAMSEY LAND USE APPLICATION  
TECHNICAL REVIEW FILE**

|                                |   |                        |  |
|--------------------------------|---|------------------------|--|
| <b>DATE</b>                    | FEBRUARY<br>24, 2017  | <b>PROJECT ADDRESS</b> | EAST OF RAMSEY BLVD,<br>NORTH OF BUNKER LAKE<br>BLVD |
| <b>PROJECT. TITLE</b>          | NATIONAL SELF STORAGE, REGENCY POND   |                        |  |
| <b>ESCROW #</b>                | 115441  |                        |  |
| <b>DEPARTMENT:</b>             | Engineering   |                        |  |
| <b>TECHNICAL<br/>REVIEWER:</b> | Name: Leonard Linton<br>Phone: 763 433-9834<br>Email: llinton@ci.ramsey.mn.us |                        |  |

We offer the following comments regarding the Site Plan Submittal Exhibits for National Self Storage, Regency Ponds. The submittal consists of 15 sheets prepared by Landform Professional Services dated January 3, 2017. We offer the following general comments on these plans:

1. A legend showing all symbols used on that sheet must be added to **each** sheet.
2. Ramsey City Details must be included in the plans for all applicable items that will be installed on the project. The details are available on the City website in .dwg and .pdf format.
3. All sidewalks in public right-of-way must be shown as 6 feet wide and 6 inches thick.
4. Class 5 shall meet the Ramsey modified gradation. This gradation must be included in the details.
5. Add note: "All DIP 6" and smaller shall be Class 53."

Sheet specific comments follow:

**C 0.1**

1. Update the benchmark information to reference a benchmark within the City of Ramsey.

**C 1.1**

1. Revise note 13 to read "All abandoned pipe must be removed from site".

**C 2.1**

1. Per general comment #1, a legend is required showing all symbols used on the sheet.
2. The legend symbol for Class 5 gravel must be the same scale as the plan view symbol. More contrast must be used between the green space and class 5 shadings.

**C 3.1**

1. Per general comment #1, a legend is required showing all symbols used on the sheet.
2. A clay liner must be installed in the pond below the 100-year HWL. A liner is required to comply with the current rules for no infiltration on this project.
3. Add the following to note 9. "Streets must be swept within 3 hours of notification from the City that sweeping is required."

**C 3.2**

1. Add the following under termination of coverage "The City must approve the Notice of Termination prior to submittal. All Erosion Control inspection logs must be submitted to the City prior issuance of the Certificate of Occupancy."

**C 4.1**

1. Note 13 the correct City contact is Mike McDowall.

**Stormwater Calculations**

A stormwater summary report was submitted and reviewed. The report identifies 3 drainage areas on the existing site and tabulates the runoff for the existing condition for the 2, 10 and 100 year storm. The discharge points for the drainage areas are Ramsey Boulevard, Bunker Lake Boulevard and the existing pond in the Regency Pond development to the east. The report also tabulates the proposed runoff for these same drainage areas. The City finds that the proposed runoff rates are different than reported in the table. The table below shows the difference observed for Ramsey Boulevard.

| Event   | Ramsey Boulevard (2S, 5P) |          |            |
|---------|---------------------------|----------|------------|
|         | Existing                  | Proposed | Difference |
| 2 yr.   | 0                         | 0.9      | +0.9       |
| 10 yr.  | 0.1                       | 1.6      | +1.5       |
| 100 yr. | 1.8                       | 4.3      | +2.5       |

The Ramsey Boulevard and Bunker Lake Boulevard storm sewers were not designed to accommodate runoff from the adjacent properties. An analysis of these systems will be required to demonstrate that adding water to the system will not increase the spread on the pavement.

This project will be required to contribute to the infiltration mitigation fund in lieu of installing infiltration on site. The amount of the contribution is the estimated cost to construct an infiltration basin sized for this project. The project engineer prepares the calculations and the City reviews the calculations and recommends the amount to be included in the Development Agreement.

*Review File: National Self Storage, Regency Ponds  
Site Plan Submittal  
Engineering Review  
February 7, 2017  
Page 3 of 3*

The pond should be designed to accommodate the runoff from Lot 2. Designing a pond just for Lot 2 will require more area than the incremental increase of directing the runoff to a central pond and will require more structures.

The pipe sizing calculations meet the City requirements.

A project manual which includes the bid form, contract and specifications must be submitted for the project. Shop Drawings must be submitted for City Review.

PREVIOUS CASE

**ORDINANCE #17-05**

**CITY OF RAMSEY  
ANOKA COUNTY  
STATE OF MINNESOTA**

**AN AMENDMENT TO CHAPTER 117 WHICH IS KNOWN AS THE ZONING AND SUBDIVISIONS CHAPTER OF THE CITY CODE OF RAMSEY, MINNESOTA.**

**AN ORDINANCE AMENDING SECTION 117-90 "MAP" OF CHAPTER 117 OF THE CITY CODE OF RAMSEY, MINNESOTA.**

**SECTION 1. AMENDMENT**

The following legally described properties or portions thereof, are hereby rezoned from B-1 Business District to E-1 Employment District.

Lot 1, Regency Commons, Anoka County, Minnesota; and

(the "Subject Property")

**SECTION 2. AMENDMENT**

The following legally described properties or portions thereof, are hereby rezoned from E-1 Employment District to B-1 Business District.

Lot 2, Regency Commons, Anoka County, Minnesota; and

(the "Subject Property")

**SECTION 3. MAP**

The City is hereby instructed to cause this amendment to be shown on the "City of Ramsey Zoning Map", which map was adopted pursuant to Section 117-90 of the Ramsey City Code.

**SECTION 4. EFFECTIVE DATE**

This ordinance becomes effective 30 days after its passage and publication, subject to City Charter Section 5.04.

PASSED by the City Council of the City of Ramsey, Minnesota the \_\_\_\_\_ day of \_\_\_\_\_, 2017.

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
City Administrator

Introduction date:

Posting dates:

Adoption date:

Publication date:

Effective date:

PREVIOUS CASE

Councilmember \_\_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #17-02-036**

**A RESOLUTION IDENTIFYING FINDINGS, APPROVING A COMPREHENSIVE PLAN AMENDMENT, CONTINGENT UPON METROPOLITAN COUNCIL APPROVAL, TO AMEND LAND USE DESIGNATION ON THE SUBJECT PROPERTY TO ALIGN WITH REVISED PROPERTY BOUNDARIES, AND AUTHORIZING CITY STAFF TO SUBMIT AN APPLICATION TO THE METROPOLITAN COUNCIL FOR AN AMENDMENT TO THE COMPREHENSIVE PLAN**

**WHEREAS**, National Self Storage, LLC, hereinafter referred to as “Applicant”, properly applied to the City of Ramsey (the “City”) requesting an amendment to the Comprehensive Plan to amend the future land use designation of the subject parcels to align with the newly proposed lot configuration. The properties in question are currently guided as “Places to Work” and “Places to Shop”. Those two designations will remain in place; however, the parcel lines they are correlated to will be altered as shown in the site plan. This change is for the following legally described property:

Parcel A: That part of the Northwest Quarter of the Northwest Quarter (NW 1/4 of the NW 1/4) of section twenty-seven (27), Township Thirty-two (32), Range twenty-five (25), that is described as follows, to-wit:

Commencing at a point on the west line of said section which point is two hundred nine (209) feet north of the southwest corner of said northwest quarter of northwest quarter (nw 1/4 of nw 1/4) as measured along said west line; thence proceeding east and parallel to the south line of said section for a distance of two hundred nine (209) feet; thence proceeding north and parallel to the west line of said section for a distance of two hundred nine (209) feet; thence proceeding west and parallel to first course to the west line of said section; thence proceeding south along the west line of said section to point of commencement, Except Anoka County Highway Right-of-Way Plat No. 16.

And

Parcel B: That part of the Northwest Quarter of the Northwest Quarter (NW 1/4 of the NW 1/4) of section twenty-seven (27), Township Thirty-two (32), Range twenty-five (25), that is described as follows, to-wit:

Commencing at a point on the west line of said section which point is two hundred nine (209) feet north of the southwest corner of said northwest quarter of northwest quarter (nw 1/4 of nw 1/4) as measured along said west line; thence proceeding east and parallel to the south line of said section for a distance of two hundred nine (209) feet; thence proceeding south and parallel to the west line of said section for a distance of two hundred nine (209) feet; thence proceeding west and parallel to first course to the west line of said section; thence proceeding north along the west line of said section to point of commencement, Except Anoka County Highway Right-of-Way Plat No. 16

And

Outlot A, Regency Pond, Anoka County, Minnesota

Or after platting

Lot 1, Regency Commons, Anoka, Minnesota

And

Lot 2, Regency Commons, Anoka, Minnesota  
(the "Subject Property")

**AND WHEREAS**, the Comprehensive Plan approved in 2010 shows the Subject Property designated land use as Business Park and Commercial; and

**WHEREAS**, the Applicant is requesting that the designated land uses be realigned with the revised property lines as shown on the Regency Commons plat and outlined in the above legal descriptions.

**WHEREAS**, the Ramsey Planning Commission met on February 2<sup>nd</sup>, 2017, conducted a public hearing, and considered the Applicant's request for a Comprehensive Plan Amendment.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:**

- 1) That the Ramsey City Council hereby approves the request for a land use designation change to reflect the adjustment in lot line configuration for areas identified above and guided as Business Park and Commercial.
- 2) That the Ramsey City Council hereby authorizes City Staff to submit the necessary documentation to Metropolitan Council for an amendment to the 2010 Comprehensive Plan to change the land use designation to Business Park and Commercial.
- 3) That this land use change shall become effective concurrent with the City's receipt of notification of approval from Metropolitan Council.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the \_\_\_\_\_ day of \_\_\_\_\_, 2017.

\_\_\_\_\_  
Mayor

**ATTEST:**

\_\_\_\_\_  
City Clerk

PREVIOUS CASE

Councilmember \_\_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #17-02-037**

**RESOLUTION GRANTING SITE PLAN APPROVAL FOR NATIONAL SELF STORAGE, LLC**

**WHEREAS**, on January 5, 2017, the City received an application and plans from National Self Storage, LLC for Site Plan Review; and

**WHEREAS**, on February 2, 2017, the Planning Commission reviewed the Site Plan, and recommended that the City Council approve/deny said Site Plan; and

**WHEREAS**, on February 14, 2017, the City Council considered approval of the Site Plan for the building expansion.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA:**

- 1) That the City Council of the City of Ramsey does approve the Site Plan for National Self Storage LLC, contingent upon compliance with the Staff Review Letter dated January 27, 2017, review and approval by the City Engineer, and the Developer executing a Development Agreement with the City.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_, and upon vote being taken thereon, the following voted in favor thereof:

and voted against the same:

and the following abstained:

and the following were absent:

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council the 14<sup>th</sup> day of February, 2017.

\_\_\_\_\_  
Mayor

**ATTEST:**

\_\_\_\_\_  
City Clerk

Councilmember \_\_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION # 17-02-038**

**RESOLUTION GRANTING PRELIMINARY PLAT APPROVAL OF REGENCY COMMONS**

**WHEREAS**, National Self Storage, LLC, hereafter referred to as “Developer”, properly applied for final preliminary approval of the following described property located in the City of Ramsey:

Parcel A: That part of the Northwest Quarter of the Northwest Quarter (NW 1/4 of the NW 1/4) of section twenty-seven (27), Township Thirty-two (32), Range twenty-five (25), that is described as follows, to-wit:

Commencing at a point on the west line of said section which point is two hundred nine (209) feet north of the southwest corner of said northwest quarter of northwest quarter (nw ¼ of nw ¼) as measured along said west line; thence proceeding east and parallel to the south line of said section for a distance of two hundred nine (209) feet; thence proceeding north and parallel to the west line of said section for a distance of two hundred nine (209) feet; thence proceeding west and parallel to first course to the west line of said section; thence proceeding south along the west line of said section to point of commencement, Except Anoka County Highway Right-of-Way Plat No. 16.

And

Parcel B: That part of the Northwest Quarter of the Northwest Quarter (NW 1/4 of the NW 1/4) of section twenty-seven (27), Township Thirty-two (32), Range twenty-five (25), that is described as follows, to-wit:

Commencing at a point on the west line of said section which point is two hundred nine (209) feet north of the southwest corner of said northwest quarter of northwest quarter (nw ¼ of nw ¼) as measured along said west line; thence proceeding east and parallel to the south line of said section for a distance of two hundred nine (209) feet; thence proceeding south and parallel to the west line of said section for a distance of two hundred nine (209) feet; thence proceeding west and parallel to first course to the west line of said section; thence proceeding north along the west line of said section to point of commencement, Except Anoka County Highway Right-of-Way Plat No. 16

And

Outlot A, Regency Pond, Anoka County, Minnesota

(the ‘Subject Property’);

**WHEREAS**, the City of Ramsey received a sketch plan for Regency Commons from National Self Storage, LLC; and

**WHEREAS**, the Planning Commission reviewed the sketch plan on November 3, 2016; and;

**WHEREAS**, on February 2, 2017, the Ramsey Planning Commission conducted a public hearing regarding the proposed preliminary plat; and

**WHEREAS**, on February 14, 2017, the City Council reviewed the preliminary plat; and

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:**

- 1) That the Ramsey City Council hereby grants preliminary plat approval of Regency Commons in accordance with relevant City Codes, subject to the following conditions:
  - a) Compliance with City Staff Review Letter dated January 27, 2017.
  - b) Compliance with Review and Comments from City Engineering Staff.
  - c) The Developer entering into a Development Agreement with the City.
  - d) Metropolitan Council approving the request for a Comprehensive Plan Amendment.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this 14<sup>th</sup> day of February, 2017.

\_\_\_\_\_  
Mayor

**ATTEST:**

\_\_\_\_\_  
City Clerk

Councilmember \_\_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #17-02-039**

**RESOLUTION GRANTING FINAL PLAT APPROVAL OF REGENCY COMMONS**

**WHEREAS**, National Self Storage, LLC, hereafter referred to as “Developer”, properly applied for final plat approval of the following described property located in the City of Ramsey:

Parcel A: That part of the Northwest Quarter of the Northwest Quarter (NW 1/4 of the NW 1/4) of section twenty-seven (27), Township Thirty-two (32), Range twenty-five (25), that is described as follows, to-wit:

Commencing at a point on the west line of said section which point is two hundred nine (209) feet north of the southwest corner of said northwest quarter of northwest quarter (nw ¼ of nw ¼) as measured along said west line; thence proceeding east and parallel to the south line of said section for a distance of two hundred nine (209) feet; thence proceeding north and parallel to the west line of said section for a distance of two hundred nine (209) feet; thence proceeding west and parallel to first course to the west line of said section; thence proceeding south along the west line of said section to point of commencement, Except Anoka County Highway Right-of-Way Plat No. 16.

And

Parcel B: That part of the Northwest Quarter of the Northwest Quarter (NW 1/4 of the NW 1/4) of section twenty-seven (27), Township Thirty-two (32), Range twenty-five (25), that is described as follows, to-wit:

Commencing at a point on the west line of said section which point is two hundred nine (209) feet north of the southwest corner of said northwest quarter of northwest quarter (nw ¼ of nw ¼) as measured along said west line; thence proceeding east and parallel to the south line of said section for a distance of two hundred nine (209) feet; thence proceeding south and parallel to the west line of said section for a distance of two hundred nine (209) feet; thence proceeding west and parallel to first course to the west line of said section; thence proceeding north along the west line of said section to point of commencement, Except Anoka County Highway Right-of-Way Plat No. 16

And

Outlot A, Regency Pond, Anoka County, Minnesota

(Subject Property)

**WHEREAS**, on February 2, 2017, the Planning Commission conducted a Public Hearing on the Preliminary Plat for REGENCY COMMONS; and

**WHEREAS**, on February 14, 2017, the City Council approved the Preliminary Plat; and

WHEREAS, on January 5, 2017, the Developer submitted the Final Plat for Regency Commons.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:**

That the Ramsey City Council hereby grants final plat approval to REGENCY COMMONS in accordance with relevant City Codes contingent upon the following conditions:

1. Compliance with City Staff Review Letter dated January 27, 2017.
2. Compliance with Review and Comments from City Engineering Staff.
3. Developer entering into a Development Agreement with the City.
4. Review and approval of construction plans by the City Engineer.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this 14<sup>th</sup> day of February, 2017.

\_\_\_\_\_  
Mayor

**ATTEST:**

\_\_\_\_\_  
City Clerk



# Anoka County

## TRANSPORTATION DIVISION

Highway

Douglas W. Fischer, PE  
County Engineer

February 9, 2017

Tim Gladhill  
City of Ramsey  
15153 Nowthen Blvd. NW  
Ramsey MN 55303

Re: Site Plan – Regency Commons/National Self Storage

Dear Tim:

We have reviewed the site plan of Regency Commons/National Self Storage, to be located east of CSAH 56 (Ramsey Boulevard NW) and north of CSAH 116 (Bunker Lake Boulevard NW) within the City of Ramsey, and I offer the following comments:

This site has been formally reviewed at least 5 times since 1995. In all previous reviews, this department has consistently stated that all access for the site was to be made from the locally roadway system with no direct access points to either CSAH 116 or CSAH 56. Our perspective on access for this site has not changed. The connection of 148<sup>th</sup> Avenue NW to CSAH 56 has been previously accepted, and the proposed southbound CSAH 56 left turn lane construction is to be relocated to occur at 148<sup>th</sup> Avenue NW, with this site gaining access via 148<sup>th</sup> Avenue NW. If a secondary access point is required, this department would give consideration to allowing a right turn in/right turn out (RI/RO) access point onto CSAH 56 located within 500 feet of the intersection with CSAH 116, within the limits of the raised median channelization on CSAH 56.

Based on the site plan submitted, it appears that no additional right of way adjacent to CSAH 116 or CSAH 56 will be required at this time. It should be noted that the future reconstruction of CSAH 56 north of CSAH 116 may likely include the extension of the raised median and channelization, which could result in 148<sup>th</sup> Avenue NW becoming a RI/RO access point as well.

It appears that Case I intersection sight distance requirements may not be met at the proposed 148<sup>th</sup> Avenue NW intersection onto CSAH 56, with obstructions being trees and brush. The City and the Developer should ensure that clearing and/or grading is completed to satisfy the Sight corner requirements to the fullest extent possible for the proposed access. Please note that no plantings or business signs will be permitted within the county right of way, and care should be exercised when locating business signs, plantings, berms, etc. outside of the county right of way, so as not to create any additional sight obstructions for the 148<sup>th</sup> Avenue NW access onto CSAH 56.

Our passion is your safe way home!

1440 Bunker Lake Blvd. NW ▲ Andover, MN 55304-4005  
Office: 763-862-4200 ▲ Fax: 763-862-4201 ▲ [www.anokacounty.us/highway](http://www.anokacounty.us/highway)

Affirmative Action / Equal Opportunity Employer

PREVIOUS CASE

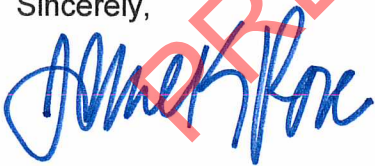
In addition to the SB CSAH 56 left turn lane construction at 148<sup>th</sup> Avenue NW, construction of a NB right turn lane is will also be required. In addition, if the secondary RI/RO access point is to be constructed within 500 feet north of CSAH 116, the construction of a NB CSAH 56 right turn lane will be required at that access location as well.

The ACHD Engineering Plan Review process will apply to this site. Calculations must be submitted along with a grading and erosion control plan that delineates the drainage areas for this development. The post-developed rate/volume of runoff must not exceed the pre-developed rate/volume of runoff for the 10-year, critical design storm. Contact Nicholas Dobda, Engineer III, via telephone at 763.862.4261, or via e-mail at [NicholasDobda@co.anoka.mn.us](mailto:NicholasDobda@co.anoka.mn.us), for further information and to coordinate the ACHD Engineering Plan Review process. Please submit the turn lane construction plans, drainage calculations, grading and erosion control plans, ACHD Design Requirements Checklist for County Highway Modifications (copy available via our website), and the applicable engineering plan review (estimated at \$450.00); fee to Mr. Dobda for his review and approval.

Following completion of the ACHD Engineering Plan Review process, the ACHD permit process can begin. A Commercial Access Permit (permit fee = \$250.00), and a Permit for Work Within County Right of Way (permit fee = \$150.00) are required and must be obtained prior to the commencement of any construction. License Permit Bonding, methods of construction, design details, work zone traffic control, restoration requirements and follow-up inspections are typical elements of the permitting process. Contact the Permit Office at 763.862.4224 for further information regarding the permit process.

Thank you for the opportunity to comment. Feel free to contact me if you have any questions regarding this review.

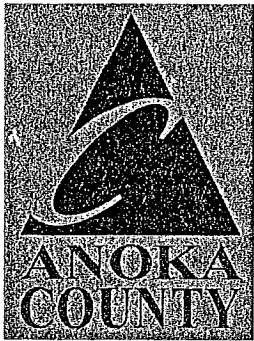
Sincerely,



Jane K. Rose  
Traffic Engineering Manager

xc: File - CSAH 56/Plats + Developments/2017  
Larry Hoiium, County Surveyor  
Randy Bettinger, Traffic Engineering Coordinator  
Terri Vaughan, Traffic Engineering Technician III  
Permit Office  
Nicholas Dobda, Engineer III

PREVIOUS CASE



# COUNTY OF ANOKA

Public Services Division

HIGHWAY DEPARTMENT

1440 BUNKER LAKE BLVD. N.W., ANDOVER, MINNESOTA 55304

(612) 862-4200 FAX (612) 862-4201

August 27, 2004

Amy Geisler  
City of Ramsey  
15153 Nowthen Blvd. N.W.  
Ramsey, MN 55303

RE: Additional Comments - Preliminary Plat  
Regency Pond 4<sup>th</sup> Addition (formerly known as Outlot A of Regency Pond)

Dear Amy,

Subsequent discussions have been held between local officials, the developer and City and County staff. Anoka County will agree to allowing a direct access point to CR 56 for this site, provided that it also serve as the access point for the remaining parcel zoned E-1 within the inner NW quadrant of the CSAH 116/CR 56 intersection, and that internal connectivity between the two parcels is provided and no other direct access to the county highway system will be necessary or permitted for these parcels. Depending on the magnitude of development to occur in this remaining parcel, NB CR 56 right turn lane construction may be required to be completed in conjunction with the remaining development. Please note that this section of CR 56 will have raised median channelization, and the access point permitted for these parcels onto CR 56 will become right turn in/right turn out (RI/RO) at some point in the near future.

All other comments regarding this development made in previous reviews remain unchanged. Thank you for the opportunity to comment. Feel free to contact me if you have any questions regarding this review.

Sincerely,

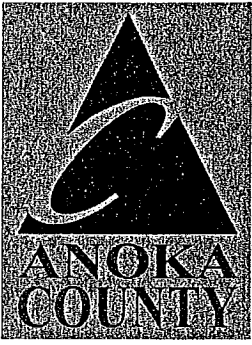
Jane K. Rose  
Traffic Engineering Manager

xc: CR 56 + CSAH 116/PLATS/2004  
Roger Butler, Traffic Engineering Coordinator  
Josie Scott, Traffic Engineering Technician  
Terri Klein, Permit Technician  
Mike Kelly, Chief Right Of Way Agent  
Larry Hoiium, County Surveyor  
Andrew Witter, Construction Engineer  
Doug Fischer, County Engineer

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PREVIOUS CASE

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# COUNTY OF ANOKA

Public Services Division

HIGHWAY DEPARTMENT

1440 BUNKER LAKE BLVD. N.W., ANDOVER, MINNESOTA 55304

(612) 862-4200 FAX (612) 862-4201

August 3, 2004

Amy Geisler  
City of Ramsey  
15153 Nowthen Blvd. N.W.  
Ramsey, MN 55303

RE: Preliminary Plat  
Regency Pond 4<sup>th</sup> Addition (formerly known as Outlot A of Regency Pond)

Dear Amy,

We have reviewed the preliminary plat for Regency Pond 4<sup>th</sup> Addition, to be located in the NW quadrant of CSAH 116 (Bunker Lake Blvd) and CR 56 (Ramsey Blvd) within the City of Ramsey, and I offer the following comments:

We have previously reviewed and commented on this site (see attached previous reviews dated 11/20/95, 2/16/96, and 3/12/96). In all previous reviews, we have consistently indicated that all access for this parcel was to be made via the local roadway system, with no access being made to either CSAH 116 or CR 56. Within the past several weeks, a site plan was sent to us that depicted a storage facility on this site, and upon review of that site and past correspondence, we commented verbally to the City of Ramsey that we would not permit direct access to the county highway system for the parcel. Now in the present submittal, the parcel is being offered for our review as Lot 1, Block 1 of Regency Pond 4<sup>th</sup> Addition (a separate preliminary plat). Regardless of how the site is presented (as a site plan for a storage facility or a preliminary plat), direct access to the county highway system for the property is not appropriate. The parcel does have internal connectivity to the local roadway system via 148<sup>th</sup> Avenue NW. As previously stated, we have provided consistent written comment to the City indicating that we would not permit direct access to CR 56 or CSAH 116 for this parcel, and there appears to be no engineering basis to vary in our review perspective regarding this. The County Engineer has reviewed the past correspondence and the current submittals regarding this site as well, and concurs that access for the parcel is to be made entirely via 148<sup>th</sup> Avenue NW with no direct access to either CR 56 or CSAH 116. Additionally, if the remaining parcel zoned E-1 within the inner-NW quadrant of the CSAH 116/CR 56 intersection should redevelop at some time in the future, the City and the affected property owners are to plan for internal connectivity between the two parcels, with no direct access to the county highway system for this parcel either.

120ft right of way corridors currently exist for both CSAH 116 and CR 56, which should be adequate for future reconstruction purposes.

Calculations must be submitted along with a grading and erosion control plan that delineates the drainage areas for this development. The post-developed rate of discharge shall not exceed the pre-developed rate runoff for the 10-year critical design storm. An engineering plan review fee estimated at \$150.00 will apply to this project. Please submit the drainage calculations, grading and erosion control plan, and the applicable engineering plan review fee to Andrew Witter, Construction Engineer, for his review and approval.

Amy Geisler

RE: Preliminary Plat  
Regency Pond 4<sup>th</sup> Addition (formerly known as Outlot A of Regency Pond)

August 3, 2004

Page 2

If any work is to be performed within the county right of way, a permit is required and must be obtained prior to the commencement of construction (permit to work within R/W= \$110.00 for each affected roadway). License Permit Bonding, methods of construction, design details, work zone traffic control, restoration requirements and follow-up inspections are typical elements of the permitting process. Contact Roger Butler, Traffic Engineering Coordinator, or Terri Klein, Permit Technician, for further information regarding the permit process. Please note that this department is not prepared to issue any access permits for this site.

Thank you for the opportunity to comment. Feel free to contact me if you have any questions regarding this review.

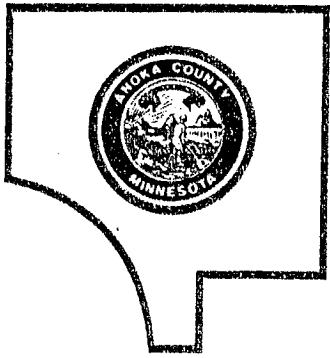
Sincerely,



Jane K. Rose  
Traffic Engineering Manager

xc: CR 56 + CSAH 116/PLATS/2004  
Roger Butler, Traffic Engineering Coordinator  
Josie Scott, Traffic Engineering Technician  
Terri Klein, Permit Technician  
Mike Kelly, Chief Right Of Way Agent  
Larry Hoium, County Surveyor  
Andrew Witter, Construction Engineer

PREVIOUS CASE



# COUNTY OF ANOKA

Public Services Division

HIGHWAY DEPARTMENT

1440 BUNKER LAKE BLVD NW, ANDOVER, MINNESOTA 55304

(612) 754-3520

FAX (612) 754-3532

JANE K. PEMBLE  
Traffic Engineer

March 12, 1996

Sylvia Frolik  
City of Ramsey  
15153 Nowthen Boulevard NW  
Ramsey, MN. 55303

RE: 2nd Revision - Preliminary Plat  
Pondview

Dear Sylvia:

We have reviewed the 2nd revision of the Preliminary Plat for Pondview, to be located north of CSAH 116 (Industry Ave NW) and east of CR 56 (Ramsey Blvd) within the City of Ramsey, and I offer the following comments:

It appears that the only change made on this Preliminary Plat from the plat most recently reviewed by this department is the elimination of the extension of 147th Avenue NW to CR 56. If it is the City of Ramsey's intent that the extension of 147th Avenue NW to CR 56 be made at a future date, then the recommendations and comments made in the previous reviews of this plat regarding this intersection still apply. If it is the City of Ramsey's intent not to extend 147th Avenue NW to CR 56, the access for the outlot is still to be made from the local roadway, 147th Avenue NW. In general, the Anoka County Highway Department would prefer that there be no additional access points made onto the county highway system to ensure mobility. However, we understand that compromises in mobility will need to be made in order to adequately serve the developing areas of the County. With these thoughts in mind and depending upon the City of Ramsey's intent for the property adjacent to CR 56 (commercial or residential development), the City may wish to consider the following two possibilities:

- 1) Create a commercial strip of property extending from CSAH 116 to 149th Ave. NW; create a frontage road-type scheme parallel to CR 56 with adjoining commercial parking lots, with access for the commercial strip being made from 149th Ave NW and possibly CSAH 116;
- 2) Eliminate the commercial property from this plat, creating all residential lots which would have direct access via the local roadways only.

Regardless of the final configuration of this plat as approved by the City of Ramsey, it still should be noted that when CR 56 and CSAH 116 are reconstructed in the future, there will likely be raised concrete medians for

channelization at the CR 56/CSAH 116 intersection. As a result of the raised median channelization, future access at Limonite St NW and 147th Ave NW will consist of right turn in/right turn out movements only. The City and the Developer shall ensure that all applicable Sight Distance Requirements will be met for this development.

Since all lots within this plat will have access to the city streets, no accesses onto CR 56 or CSAH 116 will be permitted. Since the commercial lot has access to 147th Ave NW, no accesses onto CR 56 or CSAH 116 will be permitted for this lot. Right-of-access along CR 56 and CSAH 116 (with exceptions at 147th Ave NW, Limonite St NW and Hematite St NW) should be dedicated to Anoka County. Any trees within the right-of-way corridor and the boundaries of this plat are to be removed as a part of this development.

Preliminary grading plans for this development have been reviewed. Calculations must still be submitted along with a grading and erosion control plan that delineates the drainage areas for this development. The post-developed rate/volume of runoff must not exceed the pre-developed rate/volume of runoff for the 10-year, 24-hour storm, utilizing the "SCS Method" with a curve number determined using Group C soils as a minimum. Catch basins and culverts will be required at all county road/city street intersections to prevent washouts.

A permit for work within the county right-of-way is required and must be obtained prior to the commencement of any construction. Contact Roger Butler, Traffic Engineering Coordinator for this department, for further information regarding the permit process.

It should be noted that residential land use adjacent to highways will usually result in complaints regarding traffic noise. Traffic noise at this location could exceed Noise Standards established by the US Department of Housing and Urban Development and the Minnesota Pollution Control Agency. Anoka County policy regarding new developments adjacent to existing county highways prohibits the expenditure of highway funds for noise mitigation measures. The City and/or the Developer should assess the noise situation and take any action deemed necessary to minimize associated impacts at this site from any traffic noise.

Thank you for the opportunity to comment. The City or the Developer should contact me when construction of the new city streets are near completion, so that stop sign installations at the county highways can be coordinated by this department. Feel free to contact me if you have any questions.

Sincerely,

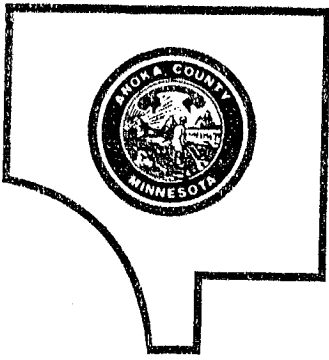


Jane Pemble  
Traffic Engineer

- ✓ xc: Roger Butler, Traffic Engineering Coordinator
- xc: Skip Anderson, County Surveyor
- xc: Mike Kelly, Chief Right-of-Way Agent

dmh/1RAMSEY

PREVIOUS CASE



# COUNTY OF ANOKA

Public Services Division

HIGHWAY DEPARTMENT

1440 BUNKER LAKE BLVD NW, ANDOVER, MINNESOTA 55304

(612) 754-3520

FAX (612) 754-3532

JANE K. PEMBLE

Traffic Engineer

February 16, 1996

Sylvia Frolik  
City of Ramsey  
15153 Nowthen Boulevard NW  
Ramsey, MN. 55303

RE: **REVISED** Preliminary Plat  
Pondview

Dear Sylvia:

We have reviewed the revised Preliminary Plat for Pondview, to be located north of CSAH 116 (Industry Ave NW) and east of CR 56 (Ramsey Blvd) within the City of Ramsey, and I offer the following comments:

Existing right-of-way depicted on the plat adjacent to CSAH 116 and CR 56 is acceptable and should be adequate for future reconstruction purposes (60 feet of R/W east of CR 56 R/W centerline, and 60 feet of R/W north of CSAH 116 R/W centerline). It appears some minor clearing and grading will be required at 147th Ave NW and Limonite St NW in order to satisfy Case I Sight Distance Requirements. Some minor clearing and grading will also be required within the SE Quadrant of the CR 56/149th Ave NW intersection to satisfy Case I Sight Distance Requirements at this location. In addition, it appears that Case V Sight Distance Requirements cannot be met at Hematite St NW due to trees/brush and the horizontal curvature of CSAH 116 to the west. While the trees/brush can be cleared, the horizontal curvature of CSAH 116 still requires this access point to be relocated to a point where all applicable Sight Distance Requirements can be met, or all obstructions to Case V Sight Distance Requirements removed. The City and the Developer should ensure that all Sight Distance Requirements are met for this development. If all applicable Sight Distance Requirements can be met for this plat, the construction of left/right turn and/or by-pass lanes will not be required at the new city street intersections.

In reviewing this Preliminary Plat, we evaluated the feasibility of eliminating the 147th Ave NW access onto CR 56. But given the number of lots within the plat, the feasibility of meeting Sight Distance Requirements at this location, the connection of Limonite St NW to 149th Ave NW, and the future section of CR 56, it is recommended that this access point remain. It should be noted that if CR 56 and CSAH 116 are reconstructed in the future, there will likely be raised concrete medians for channelization at the CR 56/CSAH 116 intersection. As a result of the raised median channelization, future access at Limonite St NW and 147th Ave NW will consist of right turn in/right turn out movements only. Since

all lots within this plat will have access to the city streets, no accesses onto CR 56 or CSAH 116 will be permitted. Since the commercial lot has access to 147th Ave NW, no accesses onto CR 56 or CSAH 116 will be permitted for this lot. Right-of-access along CR 56 and CSAH 116 (with exceptions at 147th Ave NW, Limonite St NW and Hematite St NW) should be dedicated to Anoka County. Any trees within the right-of-way corridor and the boundaries of this plat are to be removed as a part of this development.

Preliminary grading plans for this development have been reviewed. Calculations must still be submitted along with a grading and erosion control plan that delineates the drainage areas for this development. The post-developed rate/volume of runoff must not exceed the pre-developed rate/volume of runoff for the 10-year, 24-hour storm, utilizing the "SCS Method" with a curve number determined using Group C soils as a minimum. Catch basins and culverts will be required at all county road/city street intersections to prevent washouts.

A permit for work within the county right-of-way is required and must be obtained prior to the commencement of any construction. Contact Roger Butler, Traffic Engineering Coordinator for this department, for further information regarding the permit process.

It should be noted that residential land use adjacent to highways will usually result in complaints regarding traffic noise. Traffic noise at this location could exceed Noise Standards established by the US Department of Housing and Urban Development and the Minnesota Pollution Control Agency. Anoka County policy regarding new developments adjacent to existing county highways prohibits the expenditure of highway funds for noise mitigation measures. The City and/or the Developer should assess the noise situation and take any action deemed necessary to minimize associated impacts at this site from any traffic noise.

Thank you for the opportunity to comment. The City or the Developer should contact me when construction of the new city streets are near completion, so that stop sign installations at CR 56 and CSAH 116 can be coordinated by this department. Feel free to contact me if you have any questions.

Sincerely,



Jane Pemble  
Traffic Engineer

- ✓xc: Roger Butler, Traffic Engineering Coordinator
- xc: Skip Anderson, County Surveyor
- xc: Mike Kelly, Chief Right-of-Way Agent

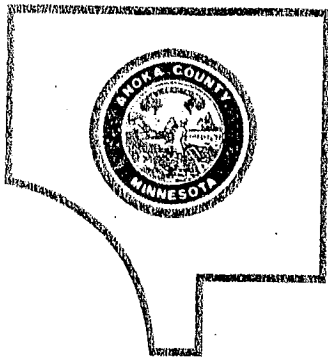
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PREVIOUS CASE

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# COUNTY OF ANOKA

Public Services Division

HIGHWAY DEPARTMENT

1440 BUNKER LAKE BLVD NW, ANDOVER, MINNESOTA 55304  
(612) 754-3520 FAX (612) 754-3532

JANE K. PEMBLE  
Traffic Engineer

November 20, 1995

FILE COPY

Derrick J. Passe  
Passe Engineering, Inc.  
9445 East River Road #203  
Minneapolis, MN. 55433

RE: Sketch Plan  
Ramsey Boulevard Site

Dear Mr. Passe:

We have reviewed the sketch plan for the Ramsey Boulevard site, to be located east of CR 56 (Ramsey Blvd.) and north of CR 116 (Industry Avenue NW) within the City of Ramsey, and I offer the following comments:

Existing right-of-way depicted on the plat adjacent to CR 56 and CR 116 is acceptable and should be adequate for future reconstruction purposes (60 feet of R/W east of CR 56 R/W centerline, 60 feet of R/W north of CR 116 R/W centerline). For review purposes, I have labelled the three proposed access points (beginning on CR 56 and moving counter clockwise) as "A", "B", and "C". It appears that Case V Sight Distance Requirements cannot be met at the location proposed for access "A" due to a vertical curve to the north on CR 56. Consequently, it is recommended that access "A" be relocated to the north to a point where Case V Sight Distance Requirements can be met. Similarly, it appears that Case V Sight Distance Requirements cannot be met at the location proposed for access "B" due to a vertical curve to the west on CR 116. It is recommended that access "B" be relocated approximately 290 feet west to the crest of the vertical curve on CR 116. Clearing and grading should then be accomplished to the extent that Case I Sight Distance Requirements can be met as well. Finally, it appears that Case V Sight Distance Requirements cannot be met at the location proposed for access "C" due to the horizontal curvature of CR 116. Consequently, it is also recommended that access "C" be relocated to the west to a point where Case V Sight Distance Requirements can be met. The City and the Developer should ensure that all sight distance requirements are met for this development. All lots within this plat should be configured so that they access the city streets only, as no residential accesses will be permitted onto the County Highways. Right-of-access along the remaining portions of CR 116 and CR 56 should be dedicated to Anoka County.

Calculations must be submitted along with a grading and erosion control plan that delineates the drainage areas for this development. The post-developed

rate/volume of runoff must not exceed the pre-developed rate/volume of runoff for the 10-year, 24 hour storm, utilizing the "SCS Method" with a curve number determined using Group C soils as a minimum.

A permit for work within the County Right-of-Way is required and must be obtained prior to the commencement of any construction. Contact Roger Butler, Traffic Engineering Coordinator for this department, for further information regarding the permit process.

It should be noted that residential land use adjacent to highways will usually result in complaints regarding traffic noise. Traffic noise at this location could exceed Noise Standards established by the US Department of Housing and Urban Development and the Minnesota Pollution Control Agency. Anoka County policy regarding new developments adjacent to existing County Highways prohibits the expenditure of highway funds for noise mitigation measures. The City and/or the Developer should assess the noise situation and take any action deemed necessary to minimize associated impacts at this site from any traffic noise.

Thank you for the opportunity to comment. Please keep this department informed as plans for this site are developed further. The City or the Developer should contact me when construction of the new city streets are near completion, so that stop sign installations at CR 56 and CR 116 can be coordinated by this department. Feel free to contact me if you have any questions.

Sincerely,



Jane Pemble  
Traffic Engineer

- xc: Roger Butler, Traffic Engineering Coordinator
- xc: Skip Anderson, County Surveyor
- xc: Sylvia Frolik, City of Ramsey

dmh/1RAMBLVD