

**LEGEND**

	GREEN SPACE (LANDSCAPE AREA)
	CLASS 5 GRAVEL
	CONCRETE
	RP RAP
	SHORELAND OVERLAY BOUNDARY
	LIGHT POLE
	GATE
	CHAIN LINK FENCE

**GENERAL NOTES**

- FOR CONSTRUCTION STAKING AND SURVEYING SERVICES CONTACT LANDFORM PROFESSIONAL SERVICES AT 612.252.9070.
- OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WITHIN, OR USE OF, PUBLIC RIGHT-OF-WAY.
- ENGINEER TO PROVIDE ALL UTILITY STAKING, CURB AND GUTTER STAKING ETC. SEE GENERAL NOTE 1/ SHEET C4.1.
- BUILDING LAYOUT ANGLES ARE PARALLEL WITH OR PERPENDICULAR TO THE PROPERTY LINE AT THE LOCATION INDICATED.
- DIMENSIONS SHOWN ARE TO FACE OF CURB AND EXTERIOR FACE OF BUILDING UNLESS NOTED OTHERWISE.
- DELINEATE PARKING STALLS WITH A 4-INCH WIDE WHITE PAINTED STRIPE. DELINEATE ACCESS AISLES WITH 4-INCH WIDE WHITE PAINTED STRIPES 18 INCHES ON CENTER AND AT 45 DEGREE ANGLE TO DIRECTION OF TRAVEL.
- TRASH/RECYCLING AREAS: SEE ARCHITECTURAL DRAWINGS.
- STATE AND ADA APPROVED ACCESSIBLE SIGN AND BOLLARDS PER DETAIL.
- DELINEATE CROSSWALK WITH 2' X 8' STRIPES 4' ON CENTER

**LOT SUMMARY**

LOT 1	= 193,963 SQ.FT./+/-	4.45 AC +/-
LOT 2	= 76,235 SQ.FT./+/-	1.75 AC +/-
ROW (RAMSEY BLVD)	= 4,180 SQ.FT./+/-	0.096 AC +/-
TOTAL SITE AREA	= 274,386 SQ.FT./+/-	6.3 AC +/-
TOTAL GREEN SPACE AREA	= 185,263 SQ.FT.	4.25 AC = 67.5%

**PARKING SUMMARY**

**REQUIRED PARKING:**

0.2 STALLS PER 1000 SF OF BUILDING	
123,540 SF TOTAL (41,180 + 3)	
123,540 SF/1000 = 123.5 (0.2) = 25 STALLS	
TOTAL PARKING STALLS REQUIRED	25 EA.

**PROVIDED PARKING:**

STANDARD STALLS (9x18)	12 EA.
HANDICAP STALLS (9x18)	1 EA.
TOTAL PARKING STALLS PROVIDED	13 EA.

**LOT 1 AREA SUMMARY**

**EXISTING:**

PERVIOUS	193,963 S.F.	100%
IMPERVIOUS	0 S.F.	0%
TOTAL (4.45 AC)	193,963 S.F.	100.0%

**PROPOSED:**

PERVIOUS	96,207 S.F.	49.6%
IMPERVIOUS	97,756 S.F.	50.4%
TOTAL (4.45 AC)	193,963 S.F.	100.0%

**PROPOSED BUILDING FOOTPRINT**

IMPERVIOUS	43,376 S.F.	22.4%
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**LOT 2 AREA SUMMARY**

**EXISTING:**

PERVIOUS	76,235 S.F.	100%
IMPERVIOUS	0 S.F.	0%
TOTAL (1.75 AC)	76,235 S.F.	100.0%

**PROPOSED:**

PERVIOUS	76,235 S.F.	100%
IMPERVIOUS	0 S.F.	0%
TOTAL (1.75 AC)	76,235 S.F.	100.0%

**ZONING AND SETBACK SUMMARY**

CURRENT ZONING : E-1 EMPLOYMENT DISTRICT (OUTLOT A),  
B-1 BUSINESS (PARCEL A AND B)  
PROPOSED ZONING : E-1 (LOT 1) B-1 BUSINESS (LOT 2)

LOT SIZE	E-1	B-1
	MIN. LOT AREA	MIN. LOT AREA
	1.0 ACRE	0.5 ACRE
	MIN. LOT WIDTH	MIN. LOT WIDTH
	200 FT	100 FT
	MIN. LOT DEPTH	MIN. LOT DEPTH
	N/A	150 FT

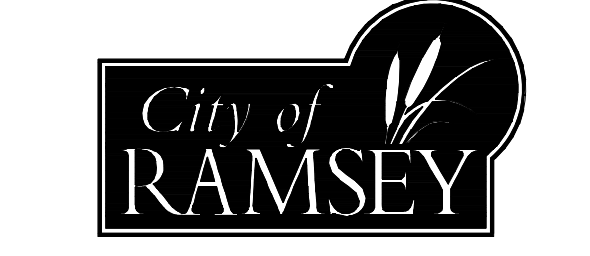
SETBACK REQUIREMENTS	E-1	B-1
	FRONT YARD	35 FT
REAR	35 FT	35 FT
SIDE INTERIOR	20 FT	10 FT
FRONT RESIDENTIAL	60 FT	35 FT
FRONT ROAD	60 + FRONT	60 + FRONT

PARKING SETBACKS	E-1	B-1
	FRONT	20 FT
SIDE (STREET)	20 FT	20 FT
FRONT RESIDENTIAL	40 FT	35 FT

**DEVELOPER**

D/B DEVELOPEMENT  
13472 SPRANDEL RD  
FINLAYSON, MN 55735

**MUNICIPALITY**



**PROJECT**

RAMSEY STORAGE CENTER  
RAMSEY, MN

**SHEET INDEX**

SHEET	TITLE
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C02	EXISTING CONDITIONS
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C05	SWPPP NOTES
C06	UTILITIES
C07	CIVIL CONSTRUCTION DETAILS
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**ISSUE / REVISION HISTORY**

DATE	ISSUE / REVISION	REVIEW
06 JUN 2019	SITE PLAN SUBMITTAL	CNC

**PROJECT MANAGER REVIEW**

BY RCH DATE 06-06-2019

**CERTIFICATION**

I hereby certify that this plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
Randall C. Hedlund  
License No: 19976  
Expiration Date: 06-06-2029

**PRELIMINARY PLAT**  
06-06-2019



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Minneapolis, MN 55401 Web: landform.net

FILE NAME C201KRZ001.DWG  
PROJECT NO. KRZ15001

**SITE PLAN**

**C2.1**  
SHEET NO. 3/15



Know what's Below.  
Call before you dig.

