

M & G TRAILER SALES CIVIL SITE CONSTRUCTION PLANS RAMSEY, MINNESOTA

GOVERNING SPECIFICATIONS

THE 2018 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" 2013 EDITION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) STANDARD SPECIFICATIONS SHALL APPLY.

ALL FEDERAL, STATE AND LOCAL LAWS, REGULATIONS, AND ORDINANCES SHALL BE COMPLIED WITH IN THE CONSTRUCTION OF THIS PROJECT.

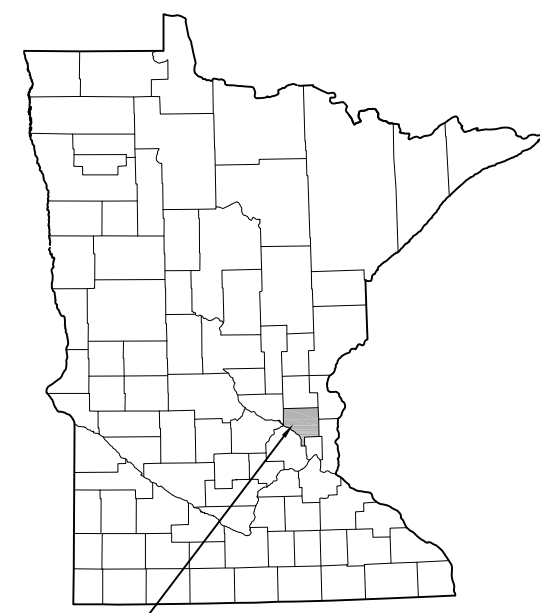
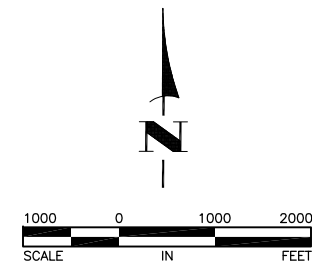
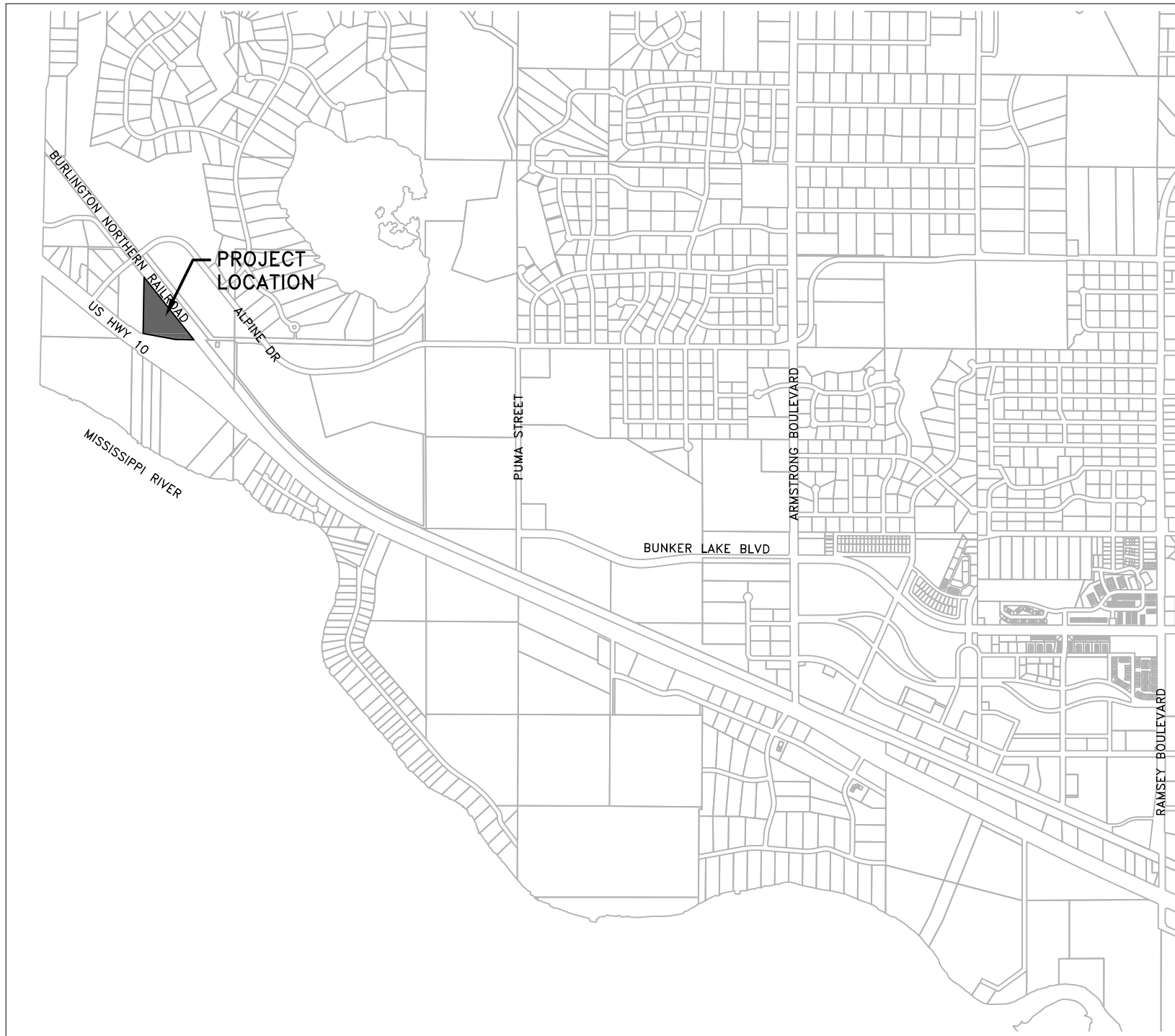
ALL TRAFFIC CONTROL DEVICES AND SIGNING SHALL CONFORM TO THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, INCLUDING THE LATEST FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS.

OWNER/DEVELOPER
M&G TRAILER SALES
CONTACT: STEVE JUNG
7575 US HWY 10
RAMSEY, MN 55303

ENGINEER/SURVEYOR
HAKANSON ANDERSON
3601 THURSTON AVENUE
ANOKA, MN 55303
SHANE M. NELSON, P.E.
shanen@haa-inc.com
BRIAN PERSON, P.L.S.
brian@haa-inc.com
763-427-5860

SHEET INDEX THIS PLAN CONTAINS SHEETS

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2-3	DETAILS
4	EXISTING CONDITIONS & REMOVALS PLAN
5	PAVING PLAN
6	GRADING & DRAINAGE PLAN
7	EROSION CONTROL PLAN
8	UTILITY PLAN
9	STORM WATER POLLUTION PREVENTION PLAN



CITY OF RAMSEY,
ANOKA COUNTY,
MINNESOTA

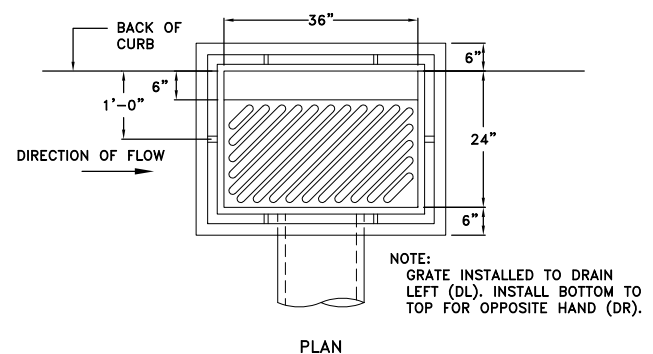
THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-2, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

SHANE M. NELSON, P.E.
 HAKANSON ANDERSON
 DESIGN ENGINEER

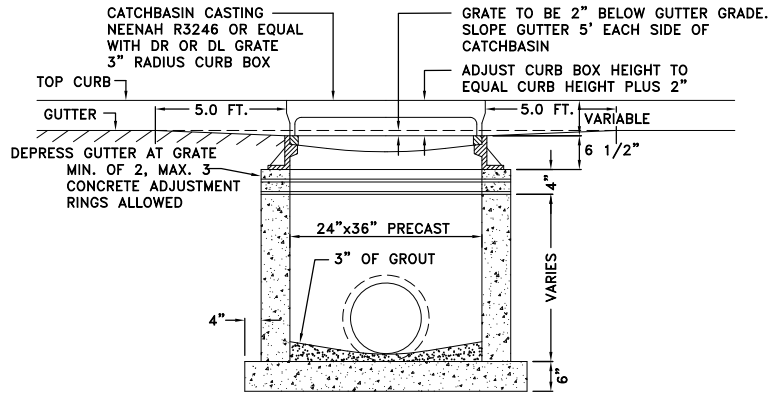
43381 LIC. NO. DATE 4/29/19

DATE	REVISION



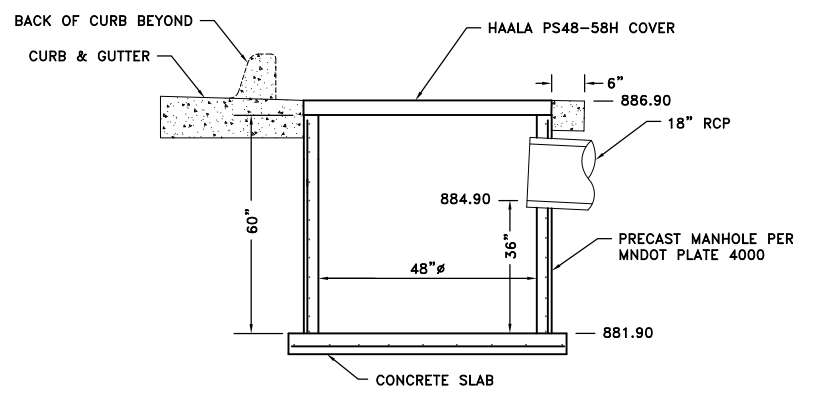
NOTE:
GRATE INSTALLED TO DRAIN LEFT (DL). INSTALL BOTTOM TO TOP FOR OPPOSITE HAND (DR).

PLAN

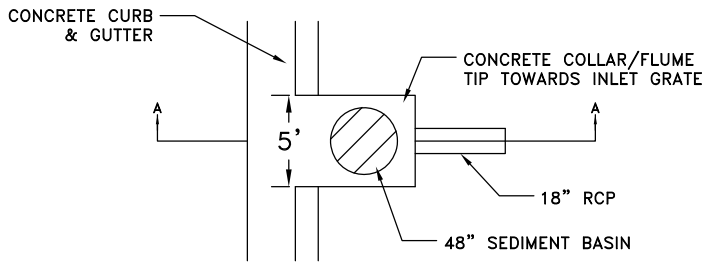


SECTION

1 STANDARD CATCH BASIN
NO SCALE

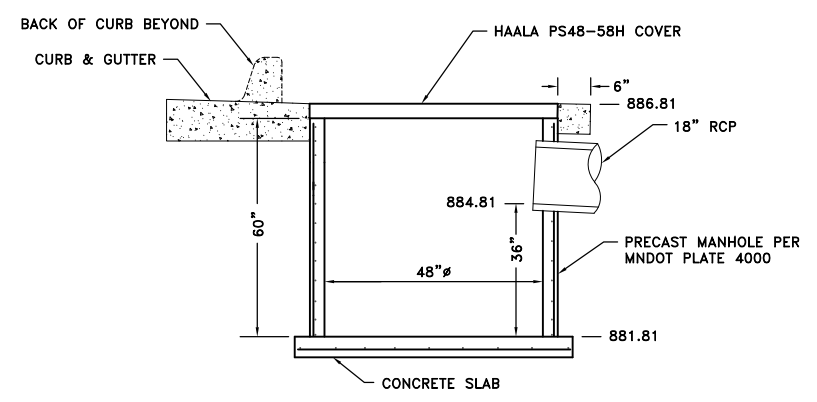


SECTION A-A

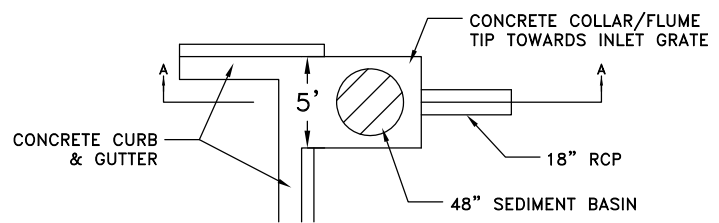


NOTE: COLLAR AND CURB SHALL BE POURED INTEGRAL

2 CB-2 (SEDIMENT BASIN)
NO SCALE

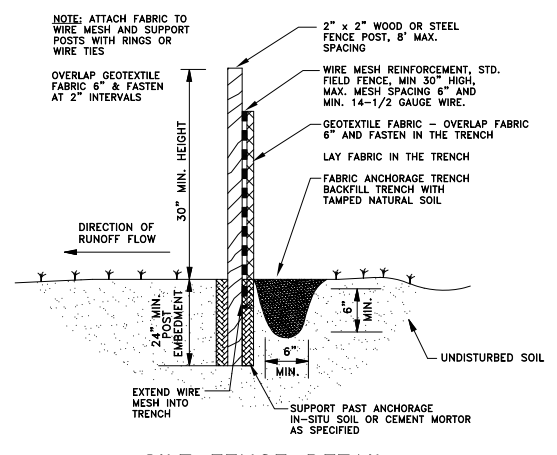


SECTION A-A

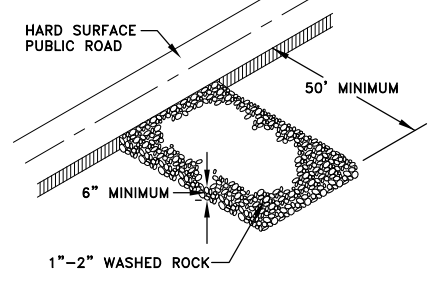


NOTE: COLLAR AND CURB SHALL BE POURED INTEGRAL

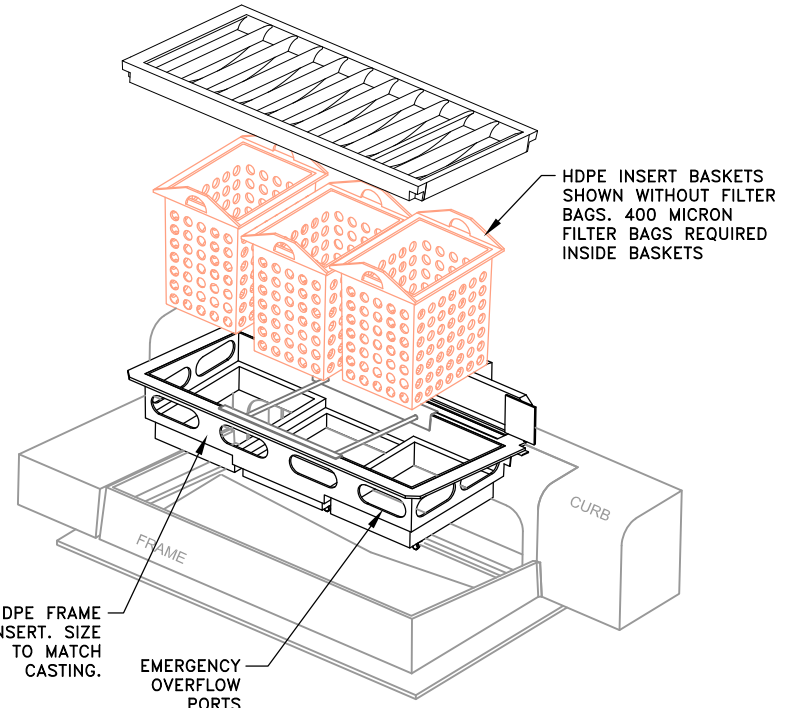
3 CB-3 (SEDIMENT BASIN)
NO SCALE



4 SILT FENCE DETAIL
NO SCALE



5 ROCK CONSTRUCTION ENTRANCE
NO SCALE



6 INLET PROTECTION
NO SCALE

May 02, 2019 - 2:01pm
K:\PRIVATE\3990.03\ENGINEERING\3990.03_DETAILS.dwg

DATE	REVISION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

SHANE M. NELSON, P.E.
Date 4/29/19 Lic. No. 43381

DESIGNED BY: AMT
DRAWN BY: AMT
CHECKED BY: SMN

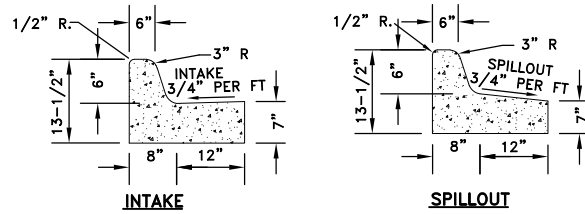


Hakanson Anderson
Civil Engineers and Land Surveyors
3601 Thurston Ave., Anoka, Minnesota 55303
763-427-5860 FAX 763-427-0520
www.hakanson-anderson.com

M & G TRAILER SALES

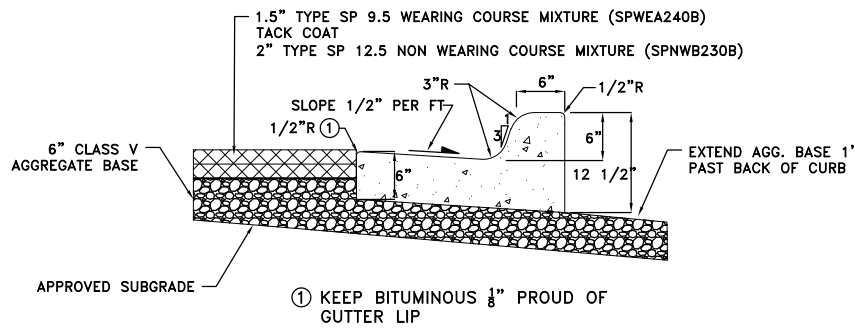
DETAILS
RAMSEY, MINNESOTA

SHEET 2 OF 9 SHEETS

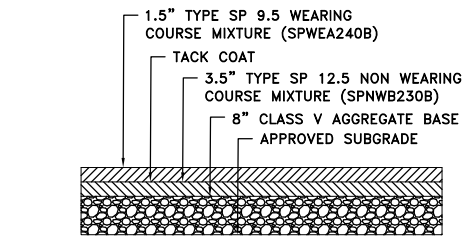


NOTE: ALL PARKING LOT TO HAVE B612 CONCRETE CURB & GUTTER DRAINAGE ARROWS INDICATE SPILLOUT AND INTAKE CONFIGURATION

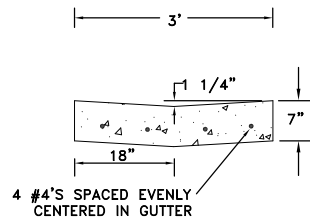
1/3 B612 CONCRETE CURB & GUTTER



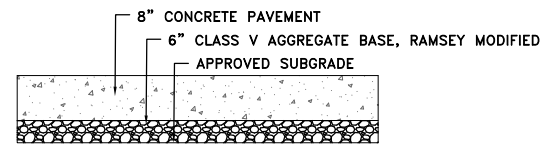
2/3 TYPICAL PAVEMENT/CURB SECTION
NO SCALE



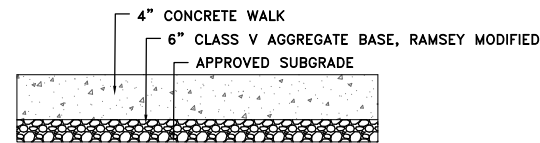
3/3 HEAVY-DUTY PAVEMENT SECTION
NO SCALE



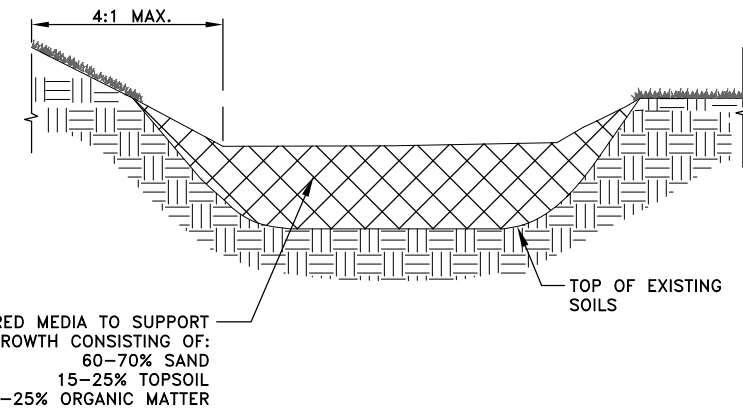
4/3 TYPICAL VALLEY GUTTER
NTS



5/3 8" CONCRETE SECTION
NO SCALE



6/3 4" CONCRETE WALK SECTION
NO SCALE



ENGINEERED MEDIA TO SUPPORT PLANT GROWTH CONSISTING OF:
60-70% SAND
15-25% TOPSOIL
15-25% ORGANIC MATTER

7/3 INFILTRATION BASIN DETAIL
NTS

TABLE A
MODIFIED CLASS 5
SPECIFICATIONS

% PASSING

1"	100
3/4"	90 - 100
3/8"	50 - 80
No.4	35 - 70
No.10	20 - 60
No.40	10 - 35
No.200	5 - 10

NOTES:
1. THE AGGREGATE BASE CONSTRUCTION WILL BE ACCEPTED FOR PAYMENT IN ACCORDANCE WITH THE PROVISIONS IN TABLE A.
2. IF THE AGGREGATE BASE FAILS TO MEET THE REQUIREMENTS OF TABLE A THE MATERIAL CAN BE CORRECTED IN PLACE OR REMOVED AND REPLACED WITH MATERIAL THAT MEETS THE REQUIREMENTS OF TABLE A.
3. IN THE EVENT THAT RECYCLED MATERIAL IS USED IT MUST MEET MNDOT REQUIREMENTS FOR RECYCLED BASE.

APPROVED:
2-2003



STANDARD DETAILS:
MODIFIED CLASS 5 SPECIFICATION
CITY PLATE No. STR-26

MNDOT 2016 SPEC

REQUIREMENT	RANGE	TEST METHOD
MNDOT 2016 SPEC TABLE 3B77-1 COMMON TOPSOIL BORROW		
MATERIAL PASSING THE 3/4 IN (19MM)	100%	ASTM D 422
MATERIAL PASSING NO. 4 (4.75MM)	>85%	-
CLAY	5% - 35%	ASTM D 422
SLT	5% - 70%	ASTM D 422
SAND	10% - 75%	ASTM D 422
ORGANIC MATTER	3% - 15%	ASTM D 2974
pH	6.1-7.8	ASTM G 51

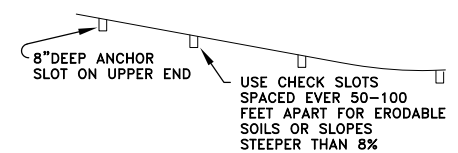
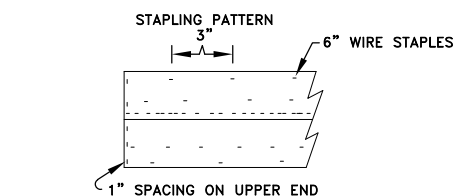
NOTE:
1. INSTALLATION OF 4" OF TOPSOIL MEETING MNDOT SPECIFICATION 3B77A COMMON TOPSOIL BORROW, MAY BE REQUIRED ACROSS ALL DISTURBED AREAS.
2. A SOIL CERTIFICATION FROM A GEOTECHNICAL FIRM MUST BE PROVIDED VERIFYING THE TOPSOIL MEETS SPECIFICATION ALONG WITH LOAD TICKETS TO VERIFY THE SOURCE OF MATERIAL AND QUANTITY.
3. TOPSOIL MUST COME FROM A CITY APPROVED SOURCE.

APPROVED:
1 - 2018

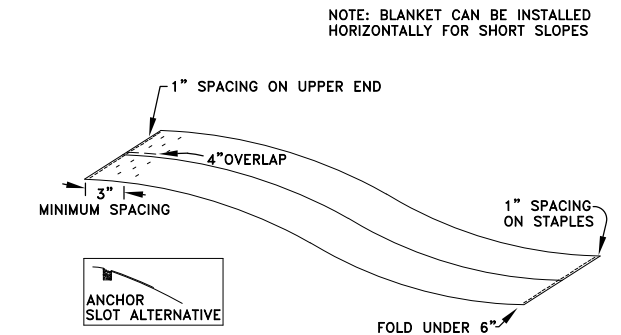


CITY PLATE No. E90-8

STANDARD DETAILS:
TOPSOIL REQUIREMENTS



BLANKET INSTALLATION IN AREAS OF CONCENTRATED FLOW



BLANKET INSTALLATION IN AREAS OF SHEET FLOW

8/3 EROSION CONTROL BLANKET
NTS

May 02, 2019 - 2:01pm
K:\PRIVATE\3990.03\ENGINEERING\3990.03_DETAILS.dwg

DATE	REVISION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

SHANE M. NELSON, P.E.
Date 4/29/19 Lic. No. 43381

DESIGNED BY:
AMT
DRAWN BY:
AMT
CHECKED BY:
SMN



Hakanson Anderson
Civil Engineers and Land Surveyors
3601 Thurston Ave., Anoka, Minnesota 55303
763-427-5860 FAX 763-427-0520
www.hakanson-anderson.com

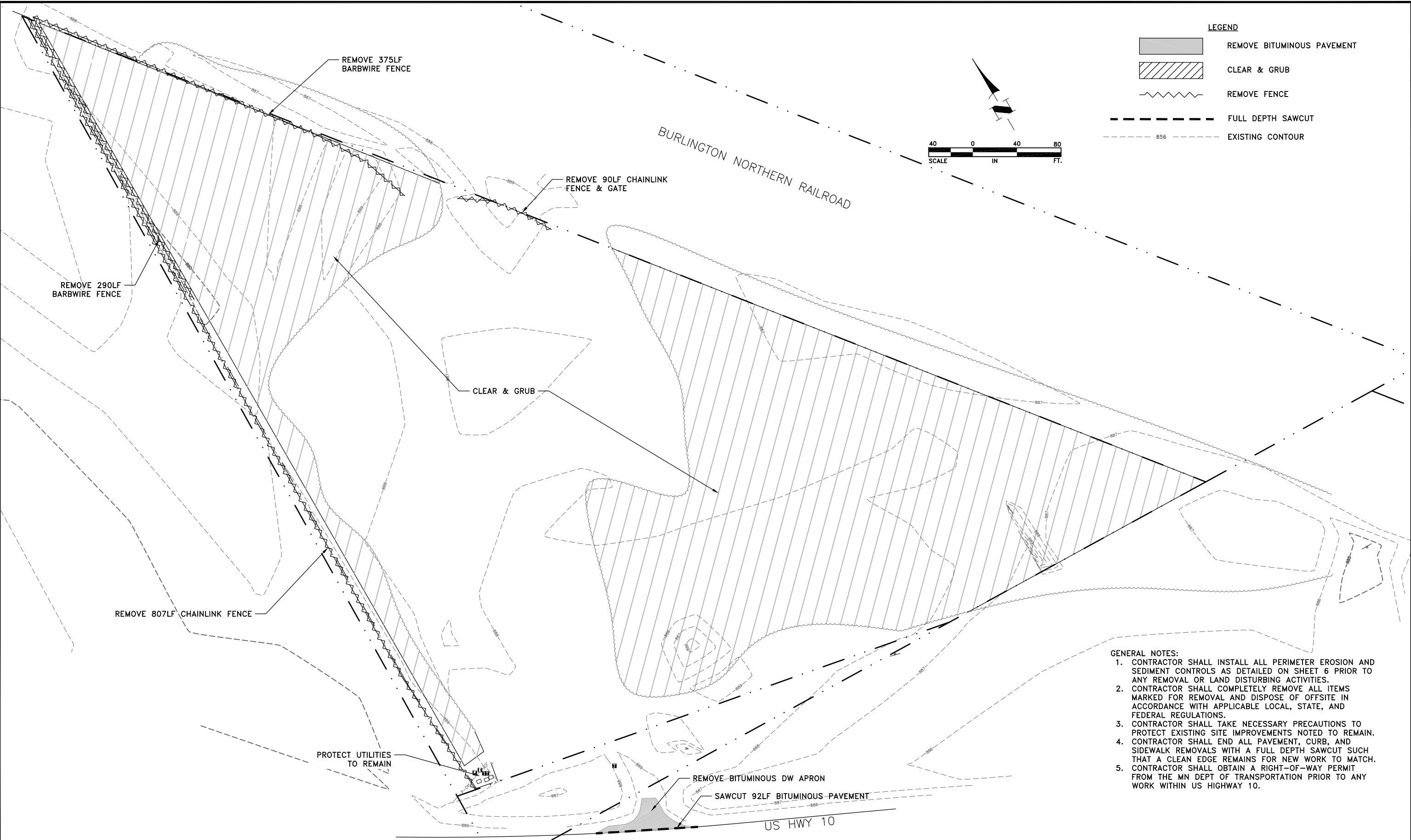
M & G TRAILER SALES

DETAILS
RAMSEY, MINNESOTA


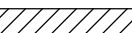
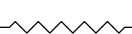


SHEET 3 OF 9 SHEETS

3990.03

May 02, 2019 - 2:01pm
 K:\PRIVATE\3990.03\ENGINEERING\3990.03_EXIST.dwg

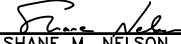


LEGEND

	REMOVE BITUMINOUS PAVEMENT
	CLEAR & GRUB
	REMOVE FENCE
	FULL DEPTH SAWCUT
	EXISTING CONTOUR

- GENERAL NOTES:**
1. CONTRACTOR SHALL INSTALL ALL PERIMETER EROSION AND SEDIMENT CONTROLS AS DETAILED ON SHEET 6 PRIOR TO ANY REMOVAL OR LAND DISTURBING ACTIVITIES.
 2. CONTRACTOR SHALL COMPLETELY REMOVE ALL ITEMS MARKED FOR REMOVAL AND DISPOSE OF OFFSITE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
 3. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING SITE IMPROVEMENTS NOTED TO REMAIN.
 4. CONTRACTOR SHALL END ALL PAVEMENT, CURB, AND SIDEWALK REMOVALS WITH A FULL DEPTH SAWCUT SUCH THAT A CLEAN EDGE REMAINS FOR NEW WORK TO MATCH.
 5. CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FROM THE MN DEPT OF TRANSPORTATION PRIOR TO ANY WORK WITHIN US HIGHWAY 10.

DATE	REVISION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

 SHANE M. NELSON, P.E.
 Date 4/29/19 Lic. No. 43381

DESIGNED BY: AMT
 DRAWN BY: AMT
 CHECKED BY: SMN







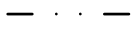
Hakanson Anderson
 Civil Engineers and Land Surveyors
 3601 Thurston Ave., Anoka, Minnesota 55303
 763-427-5860 FAX 763-427-0520
 www.hakanson-anderson.com

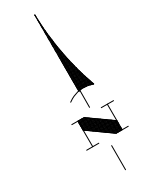
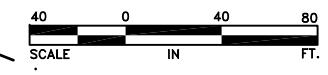
M & G TRAILER SALES

EXISTING CONDITIONS & REMOVALS PLAN
 RAMSEY, MINNESOTA

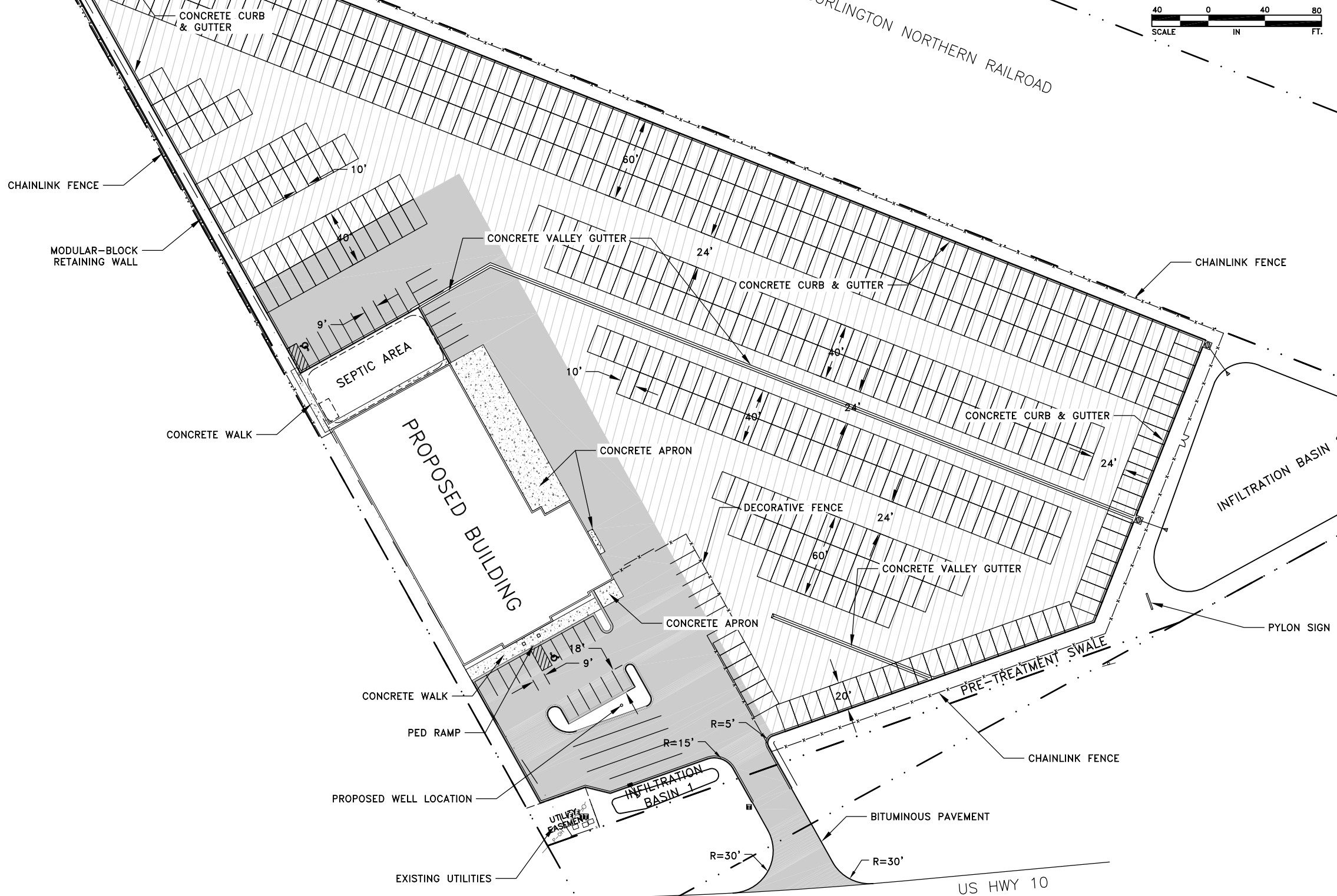
SHEET 4 OF 9 SHEETS

LEGEND

-  LIGHT DUTY PAVEMENT (2/2)
-  HEAVY DUTY PAVEMENT (1/2)
-  CONCRETE PAVEMENT
-  TIP-OUT CURB
-  PROPERTY LINE



BURLINGTON NORTHERN RAILROAD



May 02, 2019 - 2:01pm
 K:\PRIVATE\3990.03\ENGINEERING\3990.03_SITE.dwg

DATE	REVISION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Shane M. Nelson
 SHANE M. NELSON, P.E.
 Date 4/29/19 Lic. No. 43381

DESIGNED BY:
AMT
 DRAWN BY:
AMT
 CHECKED BY:
SMN



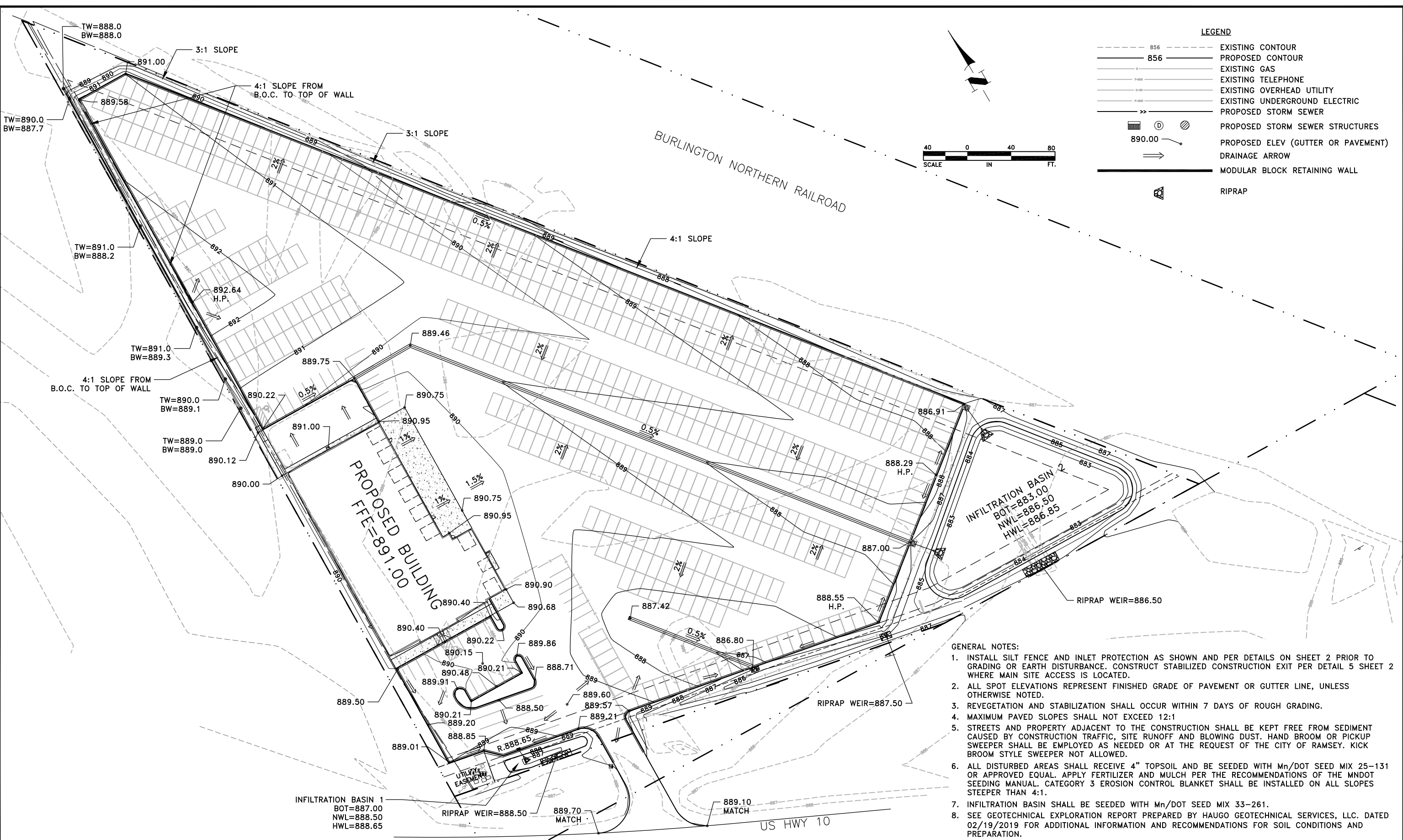
Hakanson Anderson
 Civil Engineers and Land Surveyors
 3601 Thurston Ave., Anoka, Minnesota 55303
 763-427-5860 FAX 763-427-0520
 www.hakanson-anderson.com

M & G TRAILER SALES

PAVING PLAN
 RAMSEY, MINNESOTA

SHEET 5 OF 9 SHEETS

May 02, 2019 - 2:01pm
K:\PRIVATE\3990.03\ENGINEERING\3990.03_GRAD.dwg



- GENERAL NOTES:**
1. INSTALL SILT FENCE AND INLET PROTECTION AS SHOWN AND PER DETAILS ON SHEET 2 PRIOR TO GRADING OR EARTH DISTURBANCE. CONSTRUCT STABILIZED CONSTRUCTION EXIT PER DETAIL 5 SHEET 2 WHERE MAIN SITE ACCESS IS LOCATED.
 2. ALL SPOT ELEVATIONS REPRESENT FINISHED GRADE OF PAVEMENT OR GUTTER LINE, UNLESS OTHERWISE NOTED.
 3. REVEGETATION AND STABILIZATION SHALL OCCUR WITHIN 7 DAYS OF ROUGH GRADING.
 4. MAXIMUM PAVED SLOPES SHALL NOT EXCEED 12:1
 5. STREETS AND PROPERTY ADJACENT TO THE CONSTRUCTION SHALL BE KEPT FREE FROM SEDIMENT CAUSED BY CONSTRUCTION TRAFFIC, SITE RUNOFF AND BLOWING DUST. HAND BROOM OR PICKUP SWEEPER SHALL BE EMPLOYED AS NEEDED OR AT THE REQUEST OF THE CITY OF RAMSEY. KICK BROOM STYLE SWEEPER NOT ALLOWED.
 6. ALL DISTURBED AREAS SHALL RECEIVE 4" TOPSOIL AND BE SEEDED WITH Mn/DOT SEED MIX 25-131 OR APPROVED EQUAL. APPLY FERTILIZER AND MULCH PER THE RECOMMENDATIONS OF THE MNDOT SEEDING MANUAL. CATEGORY 3 EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL SLOPES STEEPER THAN 4:1.
 7. INFILTRATION BASIN SHALL BE SEEDED WITH Mn/DOT SEED MIX 33-261.
 8. SEE GEOTECHNICAL EXPLORATION REPORT PREPARED BY HAUGO GEOTECHNICAL SERVICES, LLC. DATED 02/19/2019 FOR ADDITIONAL INFORMATION AND RECOMMENDATIONS FOR SOIL CONDITIONS AND PREPARATION.

DATE	REVISION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Shane M. Nelson
SHANE M. NELSON, P.E.
 Date 4/29/19 Lic. No. 43381

DESIGNED BY:
AMT
 DRAWN BY:
AMT
 CHECKED BY:
SMN



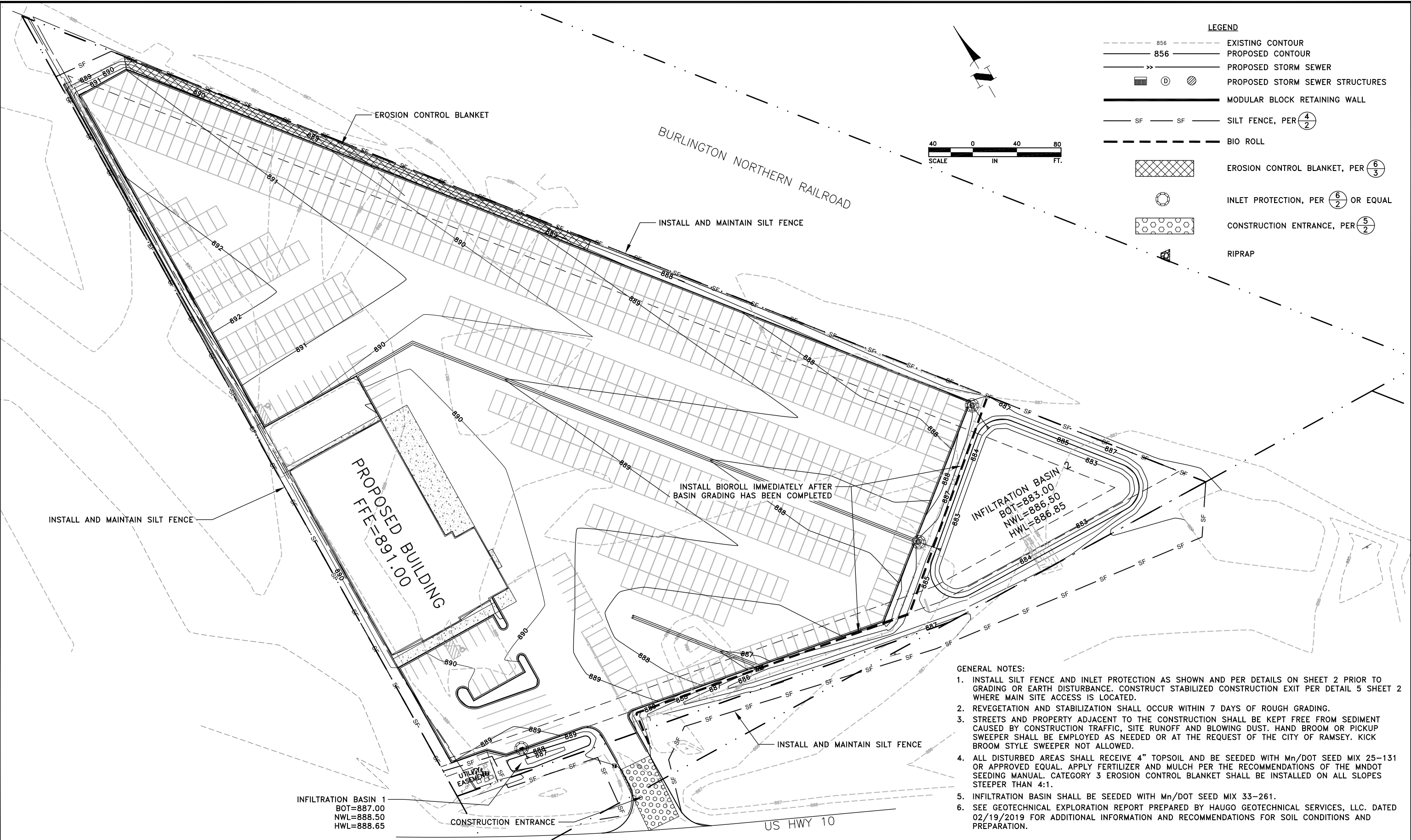
Hakanson Anderson
 Civil Engineers and Land Surveyors
 3601 Thurston Ave., Anoka, Minnesota 55303
 763-427-5860 FAX 763-427-0520
 www.hakanson-anderson.com

M & G TRAILER SALES

GRADING & DRAINAGE PLAN
 RAMSEY, MINNESOTA

SHEET 6 OF 9 SHEETS

May 02, 2019 - 2:02pm
K:\PRIVATE\3990.03\ENGINEERING\3990.03_GRAD.dwg



- GENERAL NOTES:**
1. INSTALL SILT FENCE AND INLET PROTECTION AS SHOWN AND PER DETAILS ON SHEET 2 PRIOR TO GRADING OR EARTH DISTURBANCE. CONSTRUCT STABILIZED CONSTRUCTION EXIT PER DETAIL 5 SHEET 2 WHERE MAIN SITE ACCESS IS LOCATED.
 2. REVEGETATION AND STABILIZATION SHALL OCCUR WITHIN 7 DAYS OF ROUGH GRADING.
 3. STREETS AND PROPERTY ADJACENT TO THE CONSTRUCTION SHALL BE KEPT FREE FROM SEDIMENT CAUSED BY CONSTRUCTION TRAFFIC, SITE RUNOFF AND BLOWING DUST. HAND BROOM OR PICKUP SWEEPER SHALL BE EMPLOYED AS NEEDED OR AT THE REQUEST OF THE CITY OF RAMSEY. KICK BROOM STYLE SWEEPER NOT ALLOWED.
 4. ALL DISTURBED AREAS SHALL RECEIVE 4" TOPSOIL AND BE SEEDED WITH Mn/DOT SEED MIX 25-131 OR APPROVED EQUAL. APPLY FERTILIZER AND MULCH PER THE RECOMMENDATIONS OF THE MNDOT SEEDING MANUAL. CATEGORY 3 EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL SLOPES STEEPER THAN 4:1.
 5. INFILTRATION BASIN SHALL BE SEEDED WITH Mn/DOT SEED MIX 33-261.
 6. SEE GEOTECHNICAL EXPLORATION REPORT PREPARED BY HAUGO GEOTECHNICAL SERVICES, LLC. DATED 02/19/2019 FOR ADDITIONAL INFORMATION AND RECOMMENDATIONS FOR SOIL CONDITIONS AND PREPARATION.

DATE	REVISION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Shane M. Nelson
SHANE M. NELSON, P.E.
 Date 4/29/19 Lic. No. 43381

DESIGNED BY:
AMT

DRAWN BY:
AMT

CHECKED BY:
SMN



Hakanson Anderson
 Civil Engineers and Land Surveyors
 3601 Thurston Ave., Anoka, Minnesota 55303
 763-427-5860 FAX 763-427-0520
 www.hakanson-anderson.com

M & G TRAILER SALES

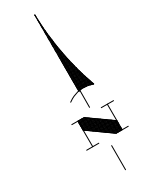
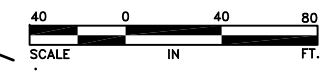
EROSION CONTROL PLAN

RAMSEY, MINNESOTA

SHEET 7 OF 9 SHEETS

LEGEND

- 856 --- EXISTING CONTOUR
- 856 — PROPOSED CONTOUR
- EXISTING GAS
- EXISTING TELEPHONE
- EXISTING OVERHEAD UTILITY
- EXISTING UNDERGROUND ELECTRIC
- PROPOSED STORM SEWER
- ⊗ PROPOSED STORM SEWER STRUCTURES



BURLINGTON NORTHERN RAILROAD

SEPTIC AREA

PROPOSED BUILDING

PROPOSED WELL LOCATION

INFILTRATION BASIN 1
BOT=887.00
NWL=888.50
HWL=888.65

UTILITY EASEMENT

5LF 12" RCP
@ 2.0%

FES
I=887.50
RIPRAP WEIR=888.50

CB-1 (24x36)
R=888.60
I(S)=887.60
SUMP=884.60

CB-2 (48")
R=886.90
I(W)=884.90
SUMP=881.90

20LF 18" RCP
@ 4.5%

CB-3 (48")
R=886.81
I(W)=884.81
SUMP=881.81

INFILTRATION BASIN 2
BOT=883.00
NWL=886.50
HWL=886.85

FES
I=884.00

RIPRAP WEIR=886.50

24LF 18" RCP
@ 3.38%

FES
I=884.00

US HWY 10

May 02, 2019 - 2:02pm K:\PRIVATE\3990.03\ENGINEERING\3990.03_UTIL.dwg

DATE	REVISION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Shane M. Nelson
SHANE M. NELSON, P.E.
Date 4/29/19 Lic. No. 43381

DESIGNED BY:
AMT
DRAWN BY:
AMT
CHECKED BY:
SMN



Hakanson Anderson
Civil Engineers and Land Surveyors
3601 Thurston Ave., Anoka, Minnesota 55303
763-427-5860 FAX 763-427-0520
www.hakanson-anderson.com

M & G TRAILER SALES

UTILITY PLAN
RAMSEY, MINNESOTA

SHEET 8 OF 9 SHEETS

SWPPP NARRATIVE:

THE CONTRACTOR AND OWNER MUST APPLY FOR PERMIT COVERAGE UNDER THE GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY AS REQUIRED BY THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PHASE II PROGRAM. COVERAGE WILL BEGIN 7 DAYS AFTER ONLINE SUBMISSION OF THE PERMIT APPLICATION.

THIS SWPPP INCLUDES BOTH PERMANENT AND TEMPORARY BEST MANAGEMENT PRACTICES (BMPs). THE LOCATION AND TYPE OF BMPs ARE DEPICTED ON THE GRADING, DRAINAGE AND EROSION CONTROL PLAN. CONSTRUCT ALL BMPs IN ACCORDANCE WITH THE APPLICABLE DETAILS IN THESE PLANS.

DISCHARGE OF ANY MATERIAL OTHER THAN STORMWATER OR DISCHARGES ASSOCIATED WITH DEWATERING FROM THE SITE ARE PROHIBITED.

THIS SWPPP IS NOT DESIGNED FOR DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY. PERMITTEES MUST OBTAIN COVERAGE FOR DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITIES UNDER A SEPARATE NPDES PERMIT AFTER DAY TO DAY OPERATION ACTIVITIES COMMENCE EVEN IF CONSTRUCTION IS ONGOING.

PERMITTEES MUST SUBMIT A NOTIFICATION OF TERMINATION (NOT) WITHIN 30 DAYS OF TERMINATION OF PROJECT.

PROJECT CONTACTS:

DESCRIPTION	COMPANY	CONTACT PERSON	PHONE
OWNER	M&G TRAILER SALES	STEVE JUNG	763-506-0930
CONTRACTOR	STONE CONSTRUCTION	PAUL STONE	763-784-1950
SWPPP DESIGNER	HAKANSON ANDERSON	ADAM THIELE	763-427-5860

ANTICIPATED CONSTRUCTION SEQUENCE:

1. PERIMETER SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO ANY EARTH DISTURBING ACTIVITIES
2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE
3. CLEAR AND GRUB
4. CONSTRUCT GRADING, UTILITIES, BUILDING AND PARKING AREA
5. STABILIZE ALL UPGRADIENT AREAS
6. CONSTRUCT INFILTRATION BASIN
7. STABILIZE INFILTRATION BASIN

PROJECT INFORMATION:

DISTURBED AREA (ACRES)	6.9200
EXISTING IMPERVIOUS SURFACE (ACRES)	0.0000
PROPOSED IMPERVIOUS SURFACE (ACRES)	5.7140
PLANNED CONSTRUCTION START DATE	5/31/2019
ESTIMATED CONSTRUCTION COMPLETION DATE	8/31/2019
COUNTY	ANOKA
LATTITUDE	45.2494
LONGITUDE	-93.5055

TEMPORARY SEDIMENT BASINS:

TEMPORARY SEDIMENT BASINS ARE REQUIRED WHERE 10 OR MORE ACRES DRAIN TO A COMMON LOCATION. TEMPORARY SEDIMENT BASINS MUST HAVE A LIVE STORAGE FOR A 2 YEAR, 24 HOUR STORM EVENT OR 1800 CUBIC FEET PER ACRE DRAINED.

MORE THAN 10 ACRES OF DISTURBED AREA DRAINING TO COMMON LOCATION	NO
TEMPORARY SEDIMENT BASIN REQUIRED	NO
VOLUME REQ'D BASED ON 2-YEAR STORM OR 1800 CF / ACRE	NOT APPLICABLE

TIMING OF EROSION CONTROL:

1. RIP RAP AND FILTER BLANKET TO BE INSTALLED WITHIN 24 HOURS OF THE OUTLET PLACEMENT
2. THE CONTRACTOR MUST STABILIZE ALL EXPOSED SOIL IMMEDIATELY TO LIMIT SOIL EROSION WHEN CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
3. ADJACENT TO SURFACE WATERS, STABILIZE THE NORMAL WETTED PERIMETER OF THE LAST 200 LINEAL FEET OF PERMANENT OR TEMPORARY DRAINAGE DITCHES OR SWALES WITHIN 24 HOURS.
4. DURING FISH SPAWNING TIME FRAMES, STABILIZE ALL EXPOSED AREAS WITHIN 200 FEET OF THE WATERS EDGE WITHIN 24 HOURS IF WITHIN THE RESTRICTION PERIOD.

PERMANENT STORMWATER MANAGEMENT:

THE FOLLOWING PERMANENT STORMWATER MANAGEMENT BMPs WILL BE CONSTRUCTED WITH THIS PROJECT. THE STORMWATER MANAGEMENT PLAN FOR THIS PROJECT IS INCORPORATED BY REFERENCE.

INFILTRATION BASIN	X
FILTRATION BASIN	
WET SEDIMENTATION BASIN	
REGIONAL BASIN	
NOT REQUIRED	
PARTY RESPONSIBLE FOR O&M	RALPH LLC

ESTIMATED QUANTITIES:

PERIMETER SEDIMENT CONTROL: SILT FENCE, BIO LOGS	3240	LIN FEET
STOM DRAIN INLET PROTECTION	3	EACH
STABILIZED CONSTRUCTION EXIT	1	EACH
WOOD FIBER BLANKET	450	SQUARE YARDS

INSPECTIONS AND MAINTENANCE:

1. PERMITTEE MUST PROVIDE A TRAINED PERSON TO INSPECT THE SITE ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAT 1/2 INCH IN 24 HOURS.
2. DURING EACH INSPECTION, INSPECT CONSTRUCTION SITE EXIT LOCATIONS AND REMOVE ACCUMULATED SEDIMENT WITHIN 1 CALENDAR DAY OF DISCOVERY.
3. DURING EACH INSPECTION, INSPECT SILT FENCE AND BIO LOGS AND PERFORM MAINTENANCE IF THEY ARE NON-FUNCTIONAL OR WHEN SEDIMENT REACHES 1/2 THE HEIGHT OF THE DEVICE.
4. DRAIN AND REMOVE SEDIMENT FROM SEDIMENT BASINS WHEN SEDIMENT COLLECTED REACHES 1/2 THE STORAGE VOLUME.
5. INSPECT SURFACE WATERS, INCLUDING DRAINAGE DITCHES, FOR SEDIMENT DEPOSITION. IF NECESSARY, OBTAIN APPROVALS FOR REMOVING DELTAS FROM SURFACE WATERS AND REMOVE SEDIMENT AND STABILIZE WITHIN 7 CALENDAR DAYS OF DISCOVERY.

DOCUMENT RETENTION:

1. THIS SWPPP SHALL REMAIN ON THE PROJECT SITE AT ALL TIMES.
2. MAINTAIN RECORDS OF INSPECTIONS, INCLUDING TIME AND DATE.
3. NAME OF PERSONS CONDUCTING INSPECTIONS.
4. ACCURATE FINDING OF INSPECTIONS.
5. CORRECTIVE ACTIONS TAKEN.
6. DATE OF ALL RAINFALLS GREATER THAN 1/2 INCH IN 24 HOURS, INCLUDING AMOUNT OF RAINFALL IN EACH EVENT.
7. DESCRIPTION OF ANY DISCHARGE DISCOVERED DURING INSPECTIONS.
8. ANY AMENDMENTS NECESSARY TO THE SWPPP.

SWPPP PREPARER INFORMATION:

ADAM THIELE
UNIVERSITY OF MINNESOTA
DESIGN OF CONSTRUCTION SWPPP

RECEIVING WATERS:

A SUMMARY OF RECEIVING WATERS THAT ARE IDENTIFIED ON THE USGS 7.5 MIN QUAD MAPS AND ARE WITHIN 1 MILE OF THE PROJECT BOUNDARY ARE AS FOLLOWS:

NAME OF WATERBODY	TYPE	SPECIAL WATER	IMPAIRED WATER WITHIN 1 MILE	TYPE OF IMPAIRMENT
MISSISSIPPI RIVER	RIVER	YES	YES	MERCURY



DATE	REVISION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Shane M. Nelson
SHANE M. NELSON, P.E.
Date 4/29/19 Lic. No. 43381

DESIGNED BY:
AMT
DRAWN BY:
AMT
CHECKED BY:
SMN



Hakanson Anderson
Civil Engineers and Land Surveyors
3601 Thurston Ave., Anoka, Minnesota 55303
763-427-5860 FAX 763-427-0520
www.hakanson-anderson.com

M & G TRAILER SALES

STORM WATER POLLUTION
PREVENTION PLAN
RAMSEY, MINNESOTA

RALPHS ADDITION (REVIEW COPY 5-2-19)

CITY OF RAMSEY
COUNTY OF ANOKA
SEC. 19, T. 32, R. 25

KNOW ALL PERSONS BY THESE PRESENTS: That RALPHS ADDITION, a Minnesota limited liability company, owner of the following described property:

Outlot D, NORTHFORK, Anoka County, Minnesota

Has caused the same to be surveyed and platted as []

In witness whereof said [] a Minnesota limited liability company, has caused these presents to be signed by its proper officer this _____ day of _____, 20____.

SIGNED: []

By _____, Chief Manager
[]

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me this _____ day of _____, 20____ by [] a Minnesota limited liability company.

Notary Public, _____ Notary Printed Name

My commission expires _____

SURVEYOR'S CERTIFICATE

I Brian R. Person do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 20____.

Brian Person, Licensed Land Surveyor
Minnesota License No. 49138

STATE OF MINNESOTA
COUNTY OF ANOKA

This instrument was acknowledged before me this _____ day of _____, 20____ by Brian R. Person.

Notary Public, Minnesota, _____ Notary Printed Name

My commission expires _____

CITY COUNCIL, CITY OF RAMSEY, MINNESOTA

This plat of RALPHS ADDITION was approved and accepted by the City Council of the City of Ramsey, Minnesota at a regular meeting thereof held this day of _____, 20____, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Ramsey, Minnesota

By: _____, Mayor

By: _____, Clerk

ANOKA COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this _____ day of _____, 20____.

Charles F. Gitzen
Anoka County Surveyor

ANOKA COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20____ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this _____ day of _____, 20____.

Property Tax Administrator

By: _____, Deputy

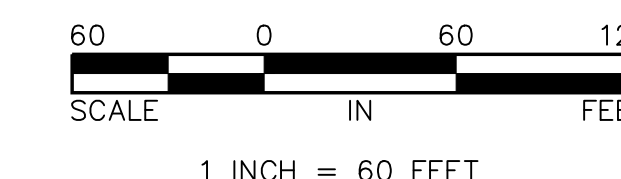
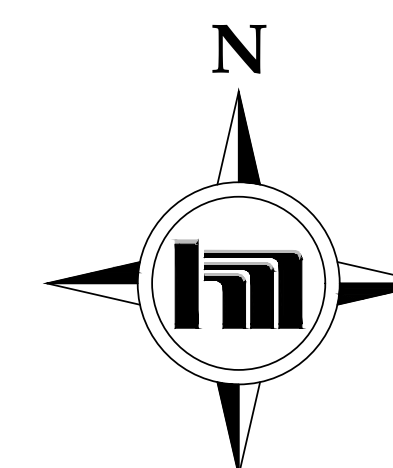
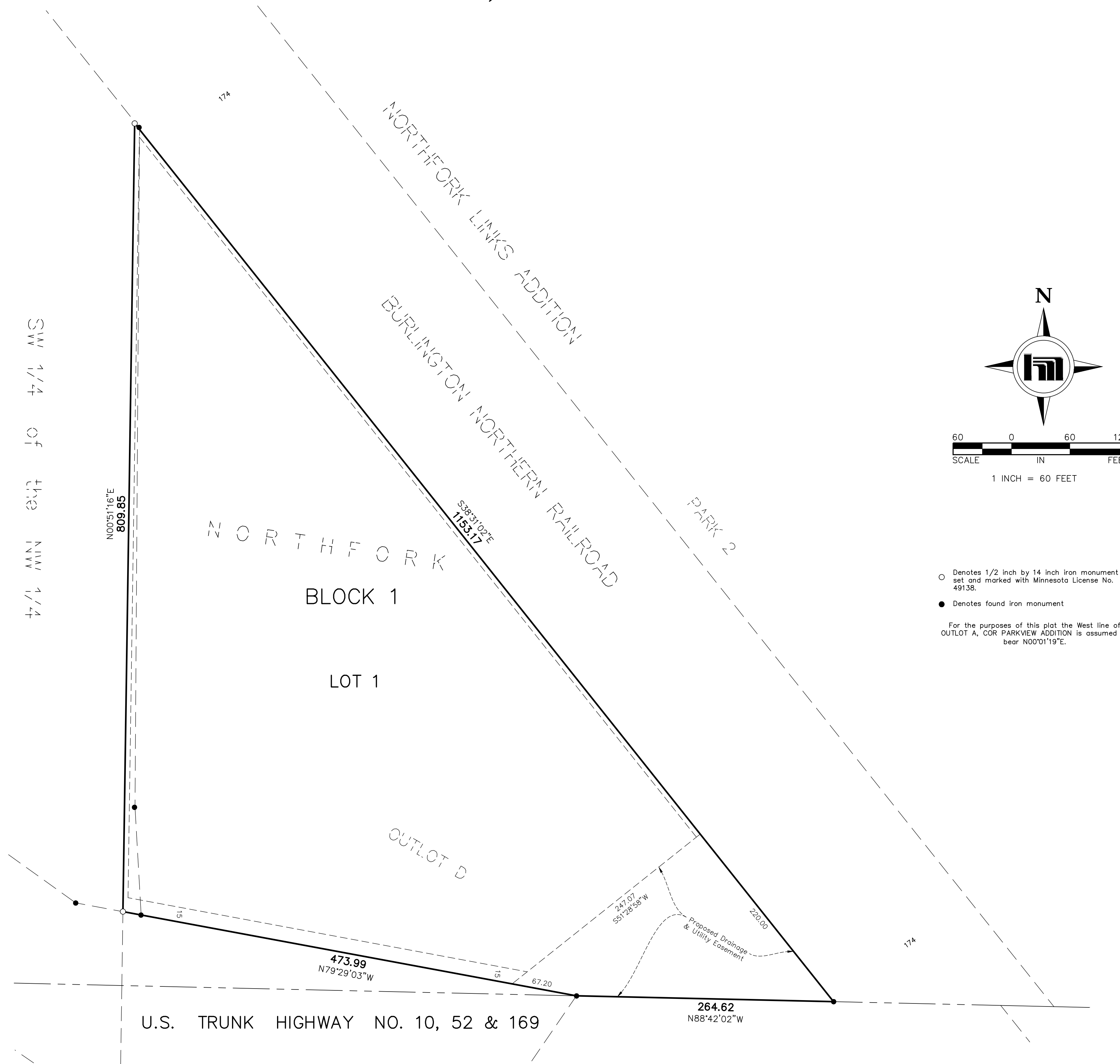
ANOKA COUNTY RECORDER/REGISTRAR OF TITLES

County of Anoka, State of Minnesota

I hereby certify that this plat of RALPHS ADDITION was filed in the office of the County Recorder/Registrar of Titles for public record on this _____ day of _____, 20____, at _____ o'clock _____ M. and was duly recorded as Document Number _____.

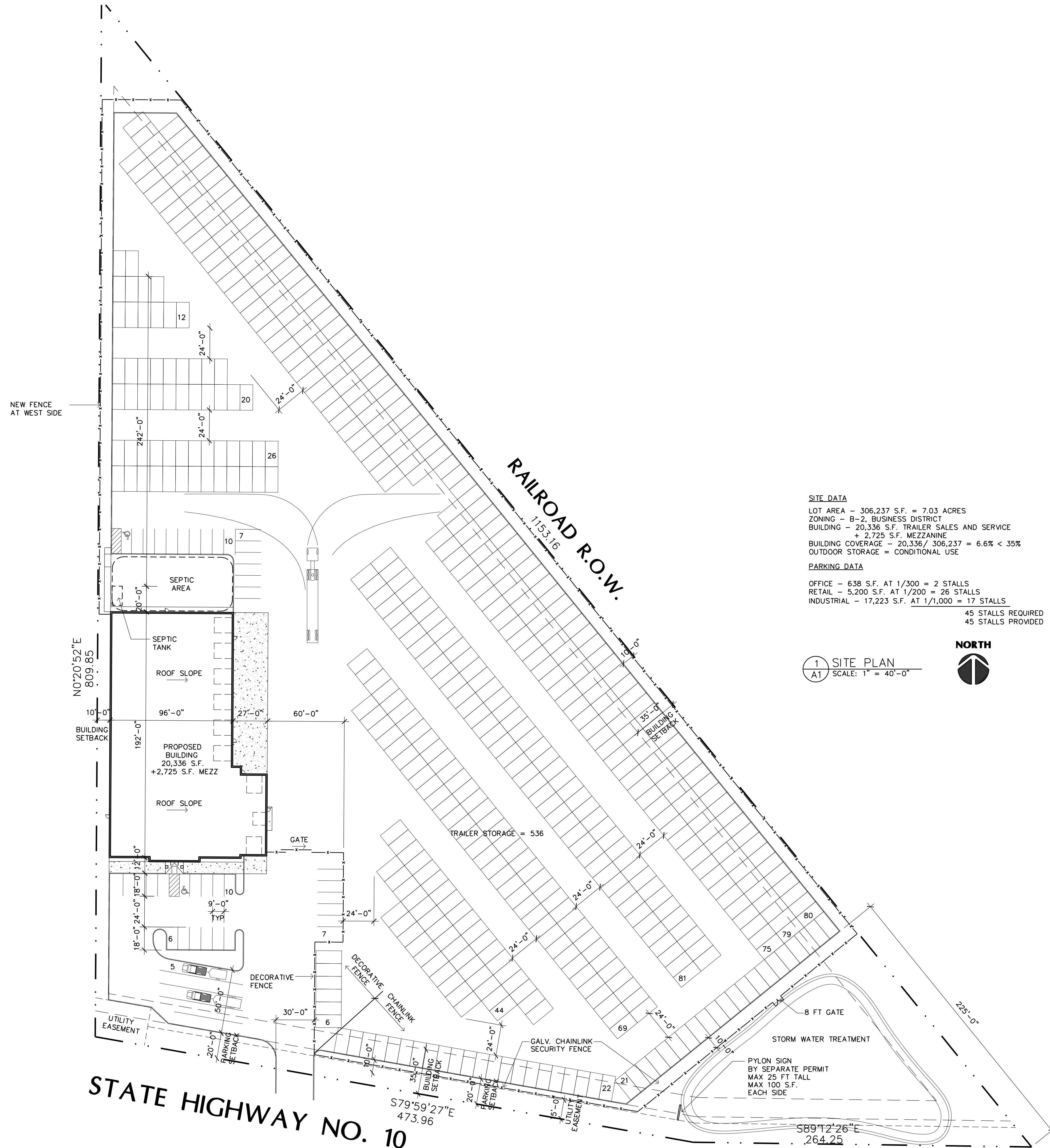
County Recorder/Registrar of Titles

By: _____, Deputy



- Denotes 1/2 inch by 14 inch iron monument set and marked with Minnesota License No. 49138.
- Denotes found iron monument

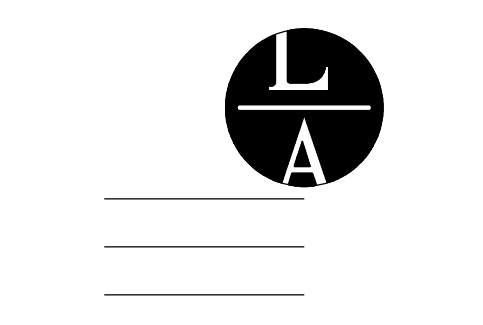
For the purposes of this plat the West line of OUTLOT A, COR PARKVIEW ADDITION is assumed to bear N00°01'19\"/>



SITE DATA
 LOT AREA - 306,237 S.F. = 7.03 ACRES
 ZONING - B-2, BUSINESS DISTRICT
 BUILDING - 20,336 S.F. TRAILER SALES AND SERVICE
 + 2,725 S.F. MEZZANINE
 BUILDING COVERAGE - 20,336 / 306,237 = 6.6% < 35%
 OUTDOOR STORAGE = CONDITIONAL USE

PARKING DATA
 OFFICE - 638 S.F. AT 1/300 = 2 STALLS
 RETAIL - 5,200 S.F. AT 1/200 = 26 STALLS
 INDUSTRIAL - 17,223 S.F. AT 1/1,000 = 17 STALLS
 45 STALLS REQUIRED
 45 STALLS PROVIDED

1 SITE PLAN
 A1 SCALE: 1" = 40'-0"
 NORTH



LAMPERT ARCHITECTS
 420 Summit Avenue
 St. Paul, MN 55102
 Phone: 763.755.1211 Fax: 763.757.2849
 lampert@lampert-arch.com

ARCHITECT CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRELIMINARY NOT FOR CONSTRUCTION

(763) 784-1950
 FAX 784-9707

STONE CONSTRUCTION, INC.
 2181 - 107th LANE N.E.
 BLAINE, MINNESOTA 55434

M & G TRAILER SALES
 Ramsey, Minnesota

Copyright 2019
 Leonard Lampert Architects Inc.
 Project Designer: JAMES B
 Drawn By: JRB
 Checked By: LL

Revisions

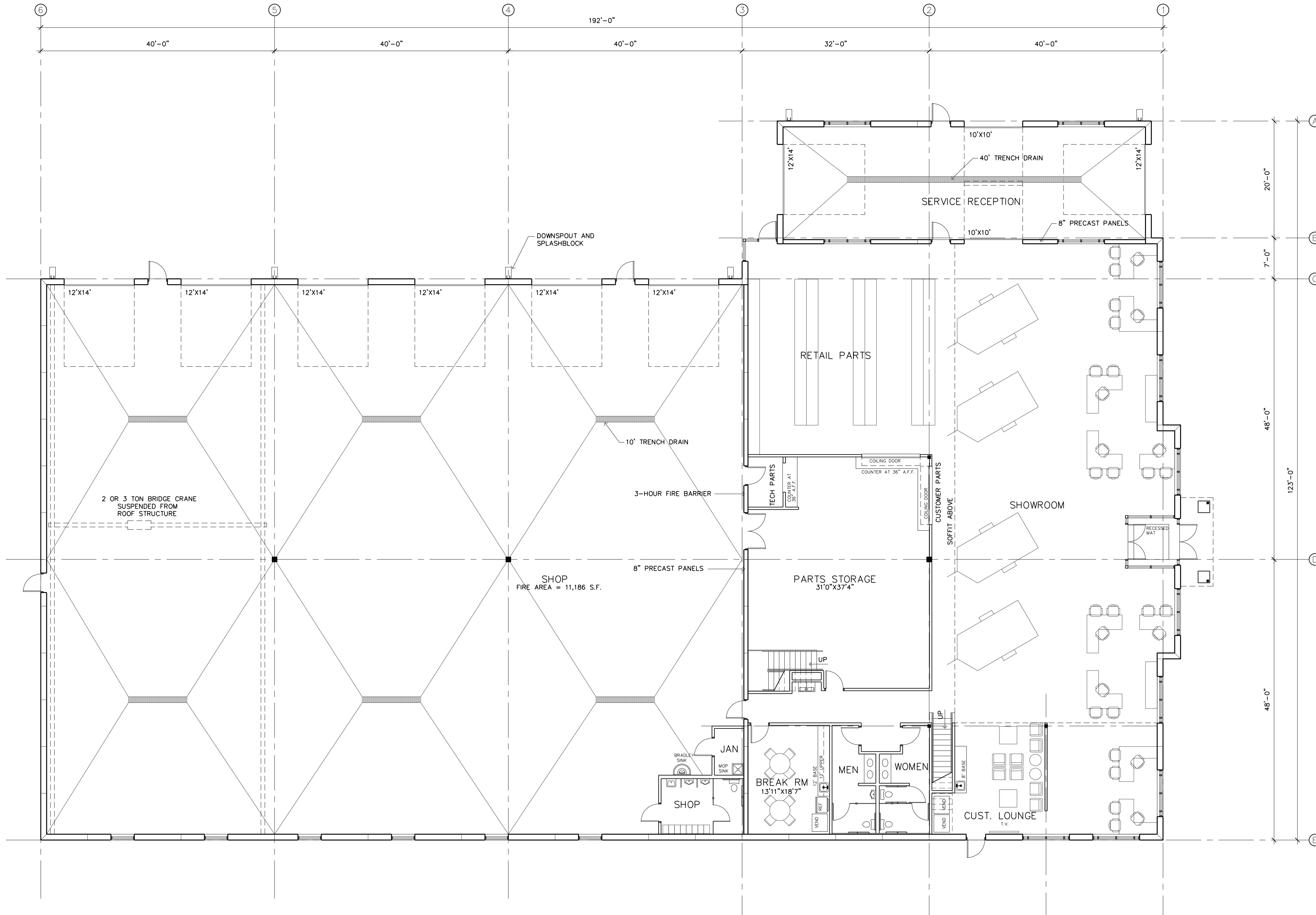
2/8/19	PRELIMINARY
4/22/19	CITY SUBMITTAL

SITE PLAN

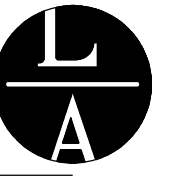
Sheet Number

A1

Project No. 190111-3



1 FLOOR PLAN
A2 SCALE: 1/8" = 1'-0" 20,336 S.F. NORTH



LAMPERT ARCHITECTS

420 Summit Avenue
St. Paul, MN 55102
Phone: 763.755.1211 Fax: 763.757.2849
lampert@lampert-arch.com

ARCHITECT CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRELIMINARY NOT FOR CONSTRUCTION

SIGNATURE
LEONARD LAMPERT
PRINT
13669
LICENSE NO.
STATE

(763) 784-1950
FAX 784-9707

STONE CONSTRUCTION, INC.
2181 - 107th LANE N.E.
BLAINE, MINNESOTA 55434

M & G TRAILER SALES
Ramsey, Minnesota

Copyright 2019
Leonard Lampert Architects Inc.

Project Designer: JAMES B

Drawn By: JRB

Checked By: LL

Revisions

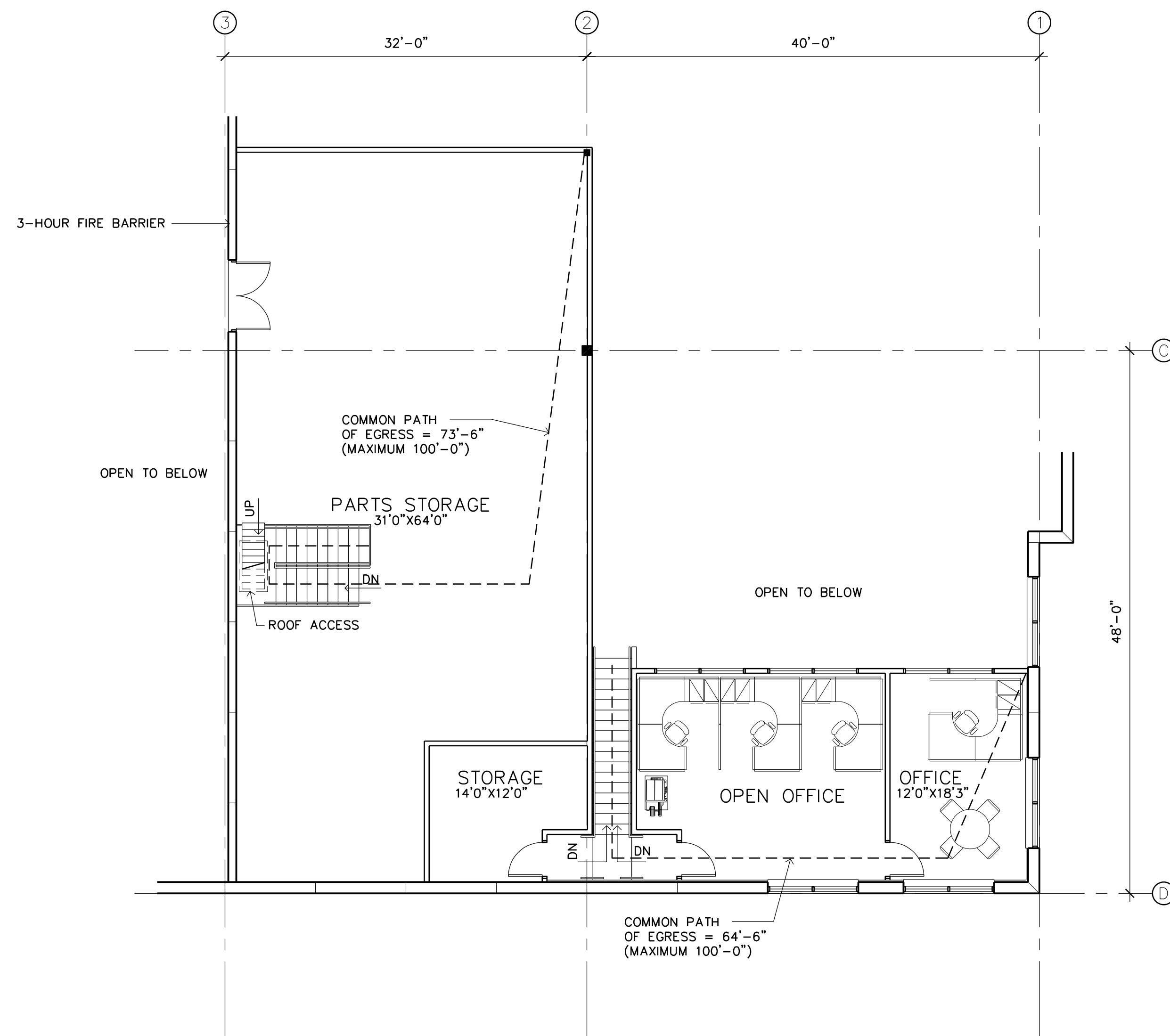
2/8/19	PRELIMINARY
4/22/19	CITY SUBMITTAL

FLOOR PLAN

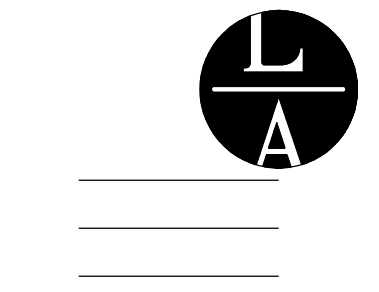
Sheet Number

A2

Project No. 190111-3



1 MEZZANINE PLAN
A3 SCALE: 1/8" = 1'-0" 2,725 S.F. NORTH



LAMPERT ARCHITECTS

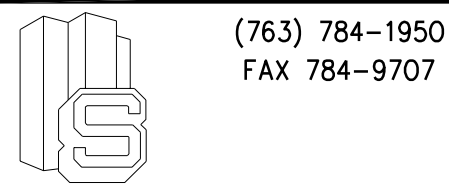
420 Summit Avenue
St. Paul, MN 55102
Phone: 763.755.1211 Fax: 763.757.2849
lampert@lampert-arch.com

ARCHITECT CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRELIMINARY NOT FOR CONSTRUCTION

SIGNATURE
LEONARD LAMPERT
PRINT
13669
LICENSE NO.
DATE

(763) 784-1950
FAX 784-9707



STONE CONSTRUCTION, INC.
2181 - 107th LANE N.E.
BLAINE, MINNESOTA 55434

M & G TRAILER SALES
Ramsey, Minnesota

Copyright 2019
Leonard Lampert Architects Inc.

Project Designer: JAMES B

Drawn By: JRB

Checked By: LL

Revisions

2/8/19	PRELIMINARY
4/22/19	CITY SUBMITTAL

MEZZANINE PLAN

Sheet Number

A3

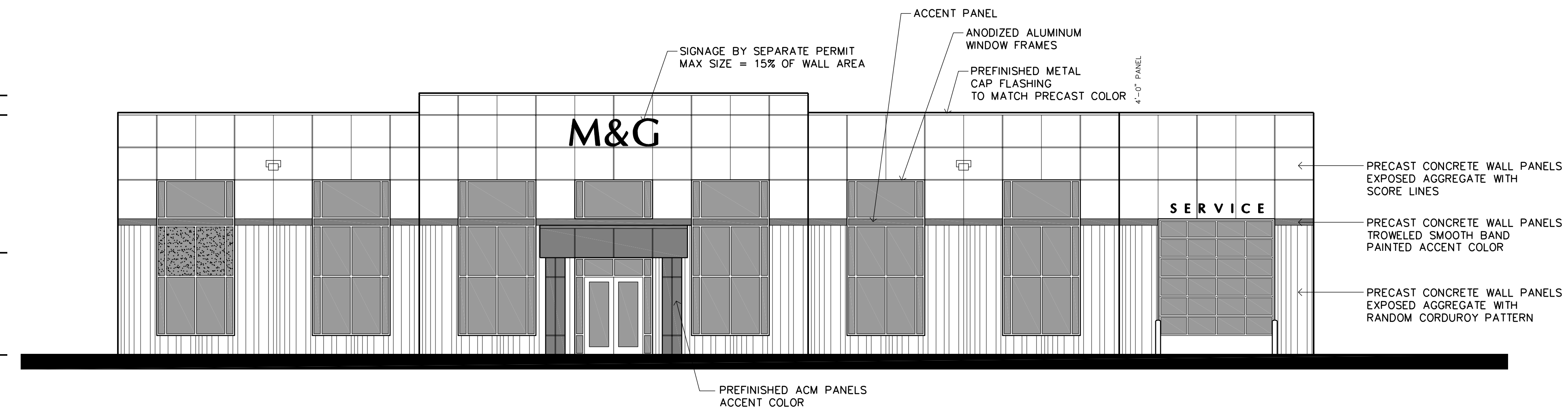
Project No. 190111-3

TOP OF PRECAST
EL. = 126'-8"

TOP OF PRECAST
EL. = 124'-8"

MEZZANINE FLOOR
EL. = 110'-6"

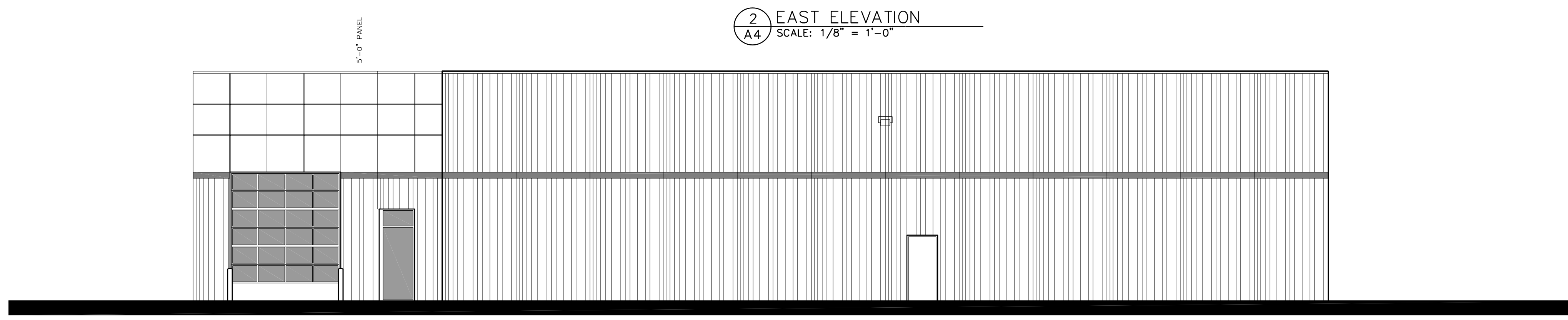
FINISHED FLOOR
EL. = 100'-0"



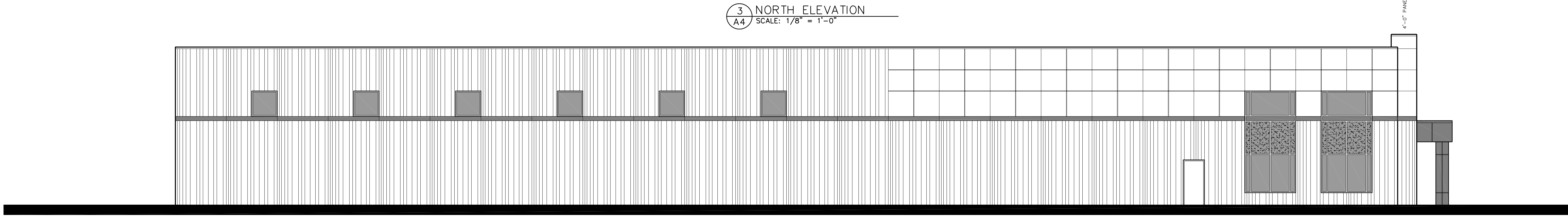
1 SOUTH ELEVATION
A4 SCALE: 1/8" = 1'-0"



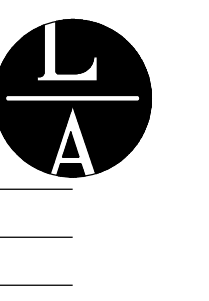
2 EAST ELEVATION
A4 SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
A4 SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
A4 SCALE: 1/8" = 1'-0"



LAMPERT ARCHITECTS

420 Summit Avenue
St. Paul, MN 55102
Phone: 763.755.1211 Fax: 763.757.2849
lampert@lampert-arch.com

ARCHITECT CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRELIMINARY NOT FOR CONSTRUCTION

LEONARD LAMPERT
PRINTED 13669
DATE: 4/22/19

STONE CONSTRUCTION, INC.
2181 - 107th LANE N.E.
BLAINE, MINNESOTA 55434

(763) 784-1950
FAX 784-9707

M & G TRAILER SALES
Ramsey, Minnesota

Copyright 2019
Leonard Lampert Architects Inc.

Project Designer: JAMES B
Drawn By: JRB
Checked By: LL

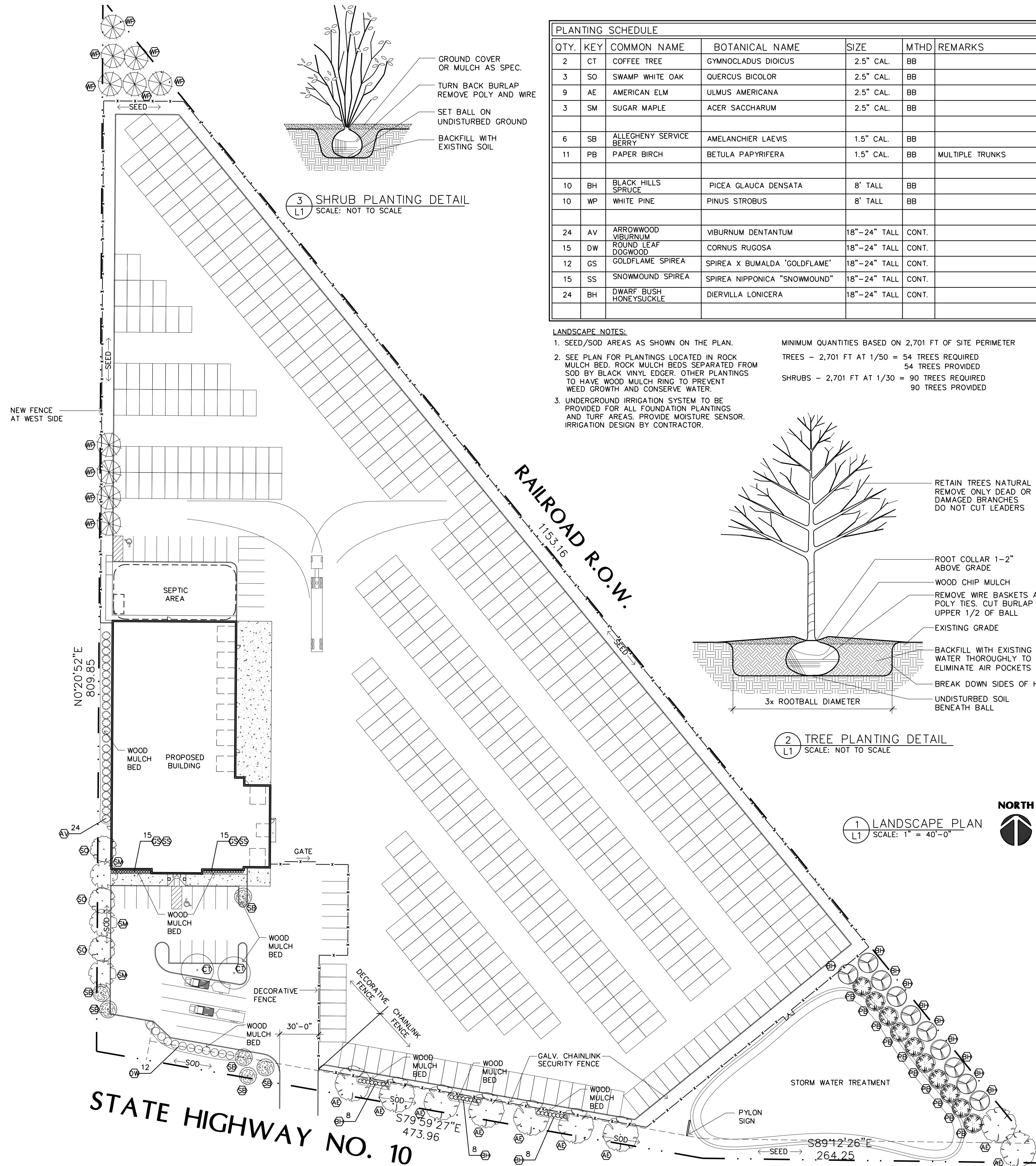
Revisions
2/8/19 PRELIMINARY
4/22/19 CITY SUBMITTAL

BUILDING ELEVATIONS

Sheet Number

A4

Project No. 190111-3



QTY.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	MTHD	REMARKS
2	CT	COFFEE TREE	GYMNOCLADUS DIOICUS	2.5" CAL.	BB	
3	SO	SWAMP WHITE OAK	QUERCUS BICOLOR	2.5" CAL.	BB	
9	AE	AMERICAN ELM	ULMUS AMERICANA	2.5" CAL.	BB	
3	SM	SUGAR MAPLE	ACER SACCHARUM	2.5" CAL.	BB	
6	SB	ALLEGHENY SERVICE BERRY	AMELANCHIER LAEVIS	1.5" CAL.	BB	
11	PB	PAPER BIRCH	BETULA PAPYRIFERA	1.5" CAL.	BB	MULTIPLE TRUNKS
10	BH	BLACK HILLS SPRUCE	PICEA GLAUCA DENSATA	8" TALL	BB	
10	WP	WHITE PINE	PINUS STROBUS	8" TALL	BB	
24	AV	ARROWWOOD VIBURNUM	VIBURNUM DENTANTUM	18"-24" TALL	CONT.	
15	DW	ROUND LEAF DOGWOOD	CORNUS RUGOSA	18"-24" TALL	CONT.	
12	GS	GOLDFLAME SPIREA	SPIREA X BUMALDA "GOLDFLAME"	18"-24" TALL	CONT.	
15	SS	SNOWMOUND SPIREA	SPIREA NIPPONICA "SNOWMOUND"	18"-24" TALL	CONT.	
24	BH	DWARF BUSH HONEYSUCKLE	DIERVILLA LONICERA	18"-24" TALL	CONT.	

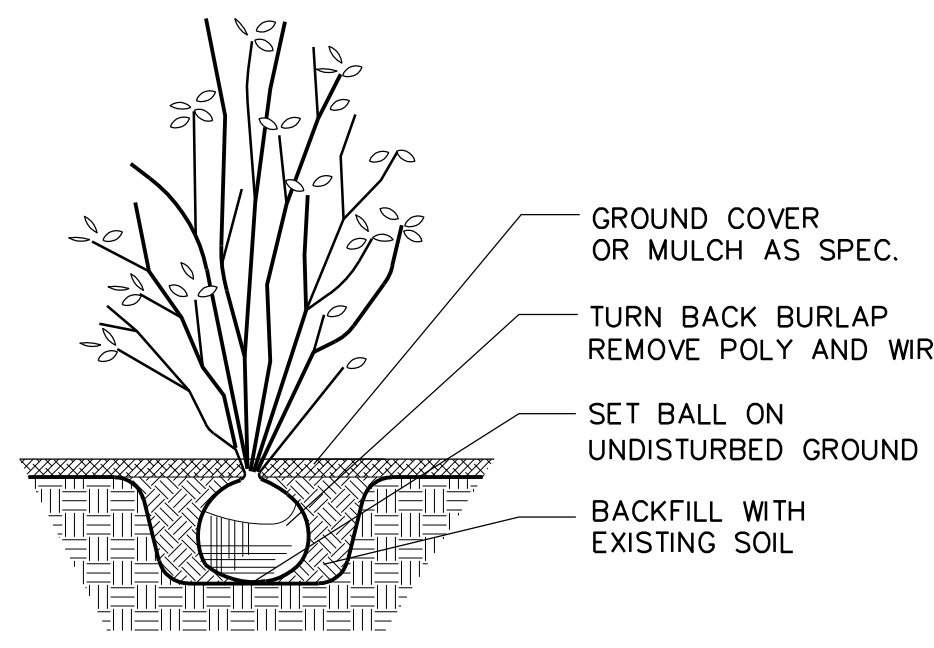
LANDSCAPE NOTES:

- SEED/SOD AREAS AS SHOWN ON THE PLAN.
- SEE PLAN FOR PLANTINGS LOCATED IN ROCK MULCH BED. ROCK MULCH BEDS SEPARATED FROM SOD BY BLACK VINYL EDGER. OTHER PLANTINGS TO HAVE WOOD MULCH RING TO PREVENT WEED GROWTH AND CONSERVE WATER.
- UNDERGROUND IRRIGATION SYSTEM TO BE PROVIDED FOR ALL FOUNDATION PLANTINGS AND TURF AREAS. PROVIDE MOISTURE SENSOR. IRRIGATION DESIGN BY CONTRACTOR.

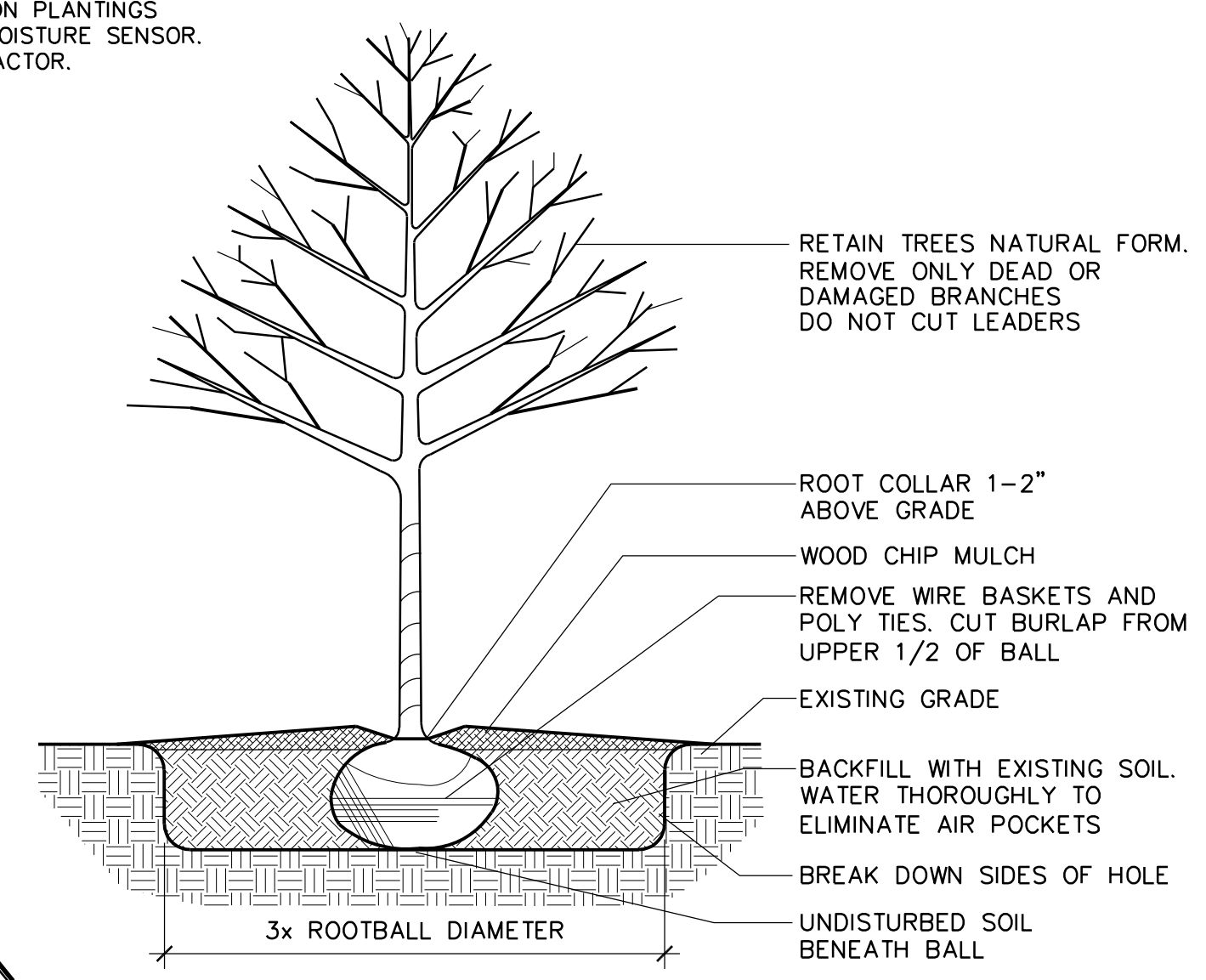
MINIMUM QUANTITIES BASED ON 2,701 FT OF SITE PERIMETER

TREES - 2,701 FT AT 1/50 = 54 TREES REQUIRED
54 TREES PROVIDED

SHRUBS - 2,701 FT AT 1/30 = 90 TREES REQUIRED
90 TREES PROVIDED



3 SHRUB PLANTING DETAIL
L1 SCALE: NOT TO SCALE



2 TREE PLANTING DETAIL
L1 SCALE: NOT TO SCALE

1 LANDSCAPE PLAN
L1 SCALE: 1" = 40'-0"

**PRELIMINARY
NOT FOR
CONSTRUCTION**

(763) 784-1950
FAX 784-9707

STONE CONSTRUCTION, INC.
2181 - 107th LANE N.E.
BLAINE, MINNESOTA 55434

M & G TRAILER SALES
Ramsey, Minnesota

Drawn By: JRB
Checked By: LL
Revisions

DATE	DESCRIPTION
4/22/19	CITY SUBMITTAL

LANDSCAPE PLAN

Sheet Number

L1

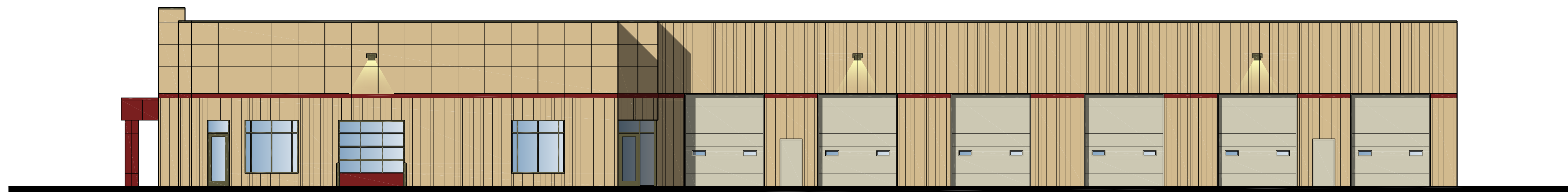
Project No. 190111-3



S
T
C
T
E
P
M
H
A
L
C
R
A



SOUTH ELEVATION



EAST ELEVATION

M & G TRAILER SALES

Ramsey, Minnesota

NOTE: THIS DRAWING IS FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL COLORS NEED TO BE FIELD VERIFIED.

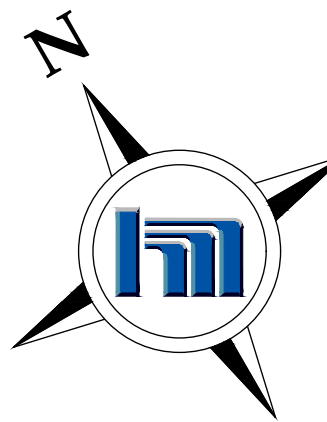
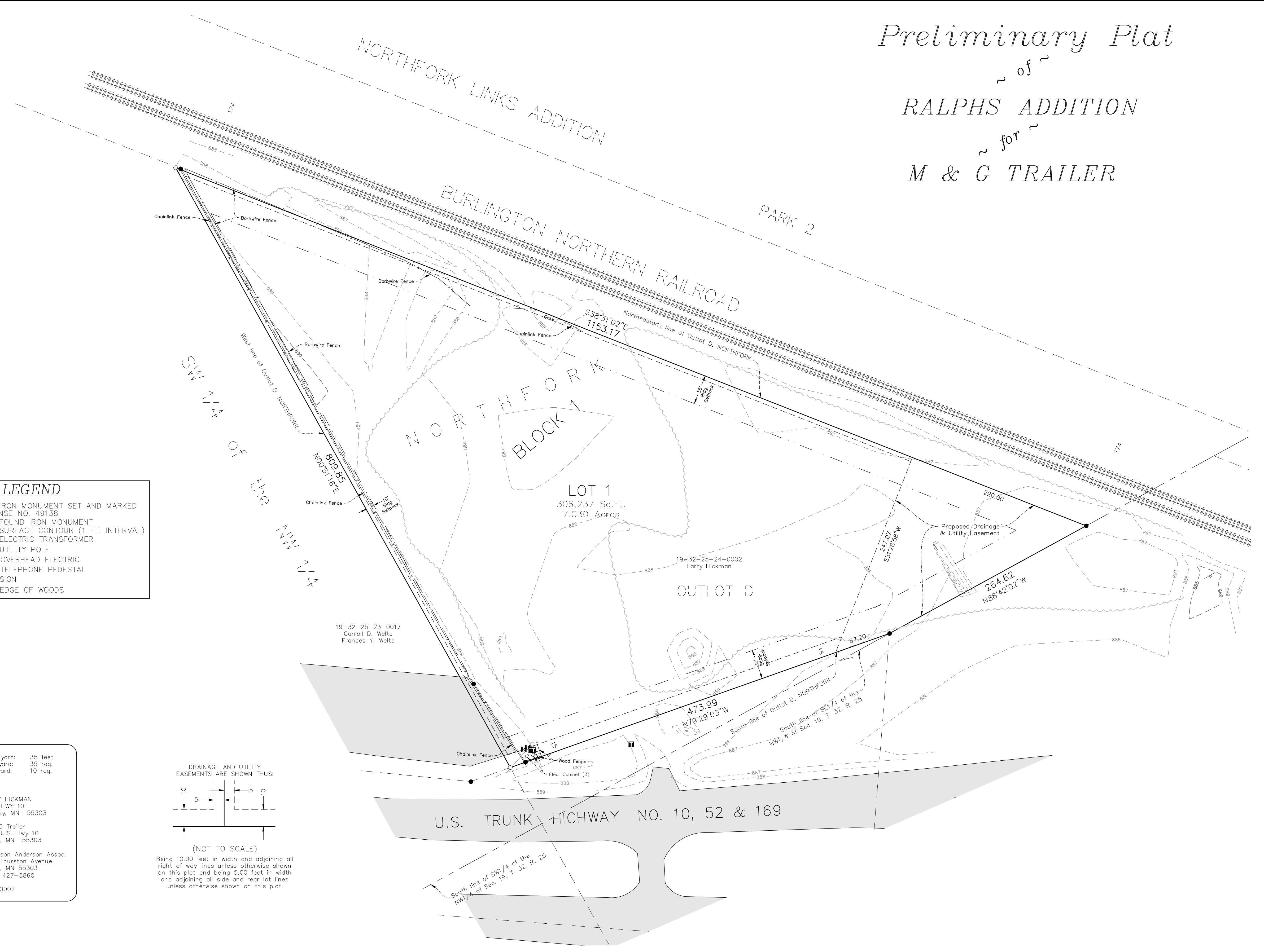
Preliminary Plat
of
RALPHS ADDITION
for
M & G TRAILER

DESCRIPTION OF PROPERTY TO BE PLATTED:

Outlot D, NORTHFORK, Anoka County, Minnesota.

NOTES:

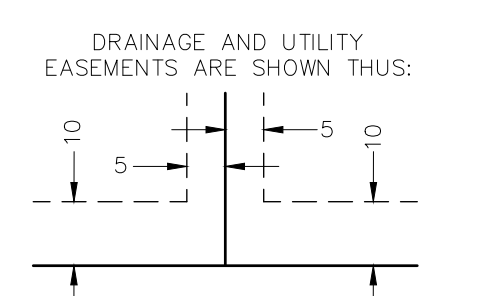
- The professional surveyor has made no investigation or independent search for easements of record, encumbrance, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
- The underground utilities shown have been located from field survey information per Gopher State One Call Ticket No. 190580586 and available records. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities. Prior to any excavation, contact Gopher State One Call for an on-site location (651-454-0002). The subsurface utility information on this survey is utility quality level D. This quality level was determined according to the guidelines of CI/ASCE 38-2, entitled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data."
- Project benchmark; MnDOT 0202 C, Elevation=889.88 (NAVD 88)



LEGEND

- = DENOTES IRON MONUMENT SET AND MARKED WITH LICENSE NO. 49138
- = DENOTES FOUND IRON MONUMENT
- 920-- = DENOTES SURFACE CONTOUR (1 FT. INTERVAL)
- ⊞ = DENOTES ELECTRIC TRANSFORMER
- = DENOTES UTILITY POLE
- P-OH- = DENOTES OVERHEAD ELECTRIC
- ⊞ = DENOTES TELEPHONE PEDESTAL
- ⊞ = DENOTES SIGN
- ~~~~ = DENOTES EDGE OF WOODS

Municipality:	City of Ramsey	Building Setbacks:	Front yard: 35 feet Rear yard: 35 req. Side yard: 10 req.
Existing Zoning:	B-2: Business District	Lot Summary:	1 Lot
Proposed Zoning:	B-2: Business District	Owner:	LARRY HICKMAN 9349 HWY 10 Ramsey, MN 55303
Proposed Use:	Commercial	Subdivider:	M & G Trailer 7575 U.S. Hwy 10 Anoka, MN 55303
Road Mileage:	0 LF	Designer/Surveyor:	Hakanson Anderson Assoc. 3601 Thurston Avenue Anoka, MN 55303 (763) 427-5860
Street Lighting:	as required	PID No.:	19-32-25-24-0002
Proposed Utilities:	Sewer: private Water: private		
Plat Area:	Total Area: 306,237 sq. ft. = 7.030 acres Proposed ROW: 0 sq. ft. = 0.000 acres Park Area: 0 sq. ft. = 0.000 acres		



(NOT TO SCALE)
Being 10.00 feet in width and adjoining all right of way lines unless otherwise shown on this plat and being 5.00 feet in width and adjoining all side and rear lot lines unless otherwise shown on this plat.

May 02, 2019 - 9:52am
K:\cad_surr\Land Desktop 2008\3990.03.dwg\3990.03 PRE PLAT.dwg

DATE	REVISION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Land Surveyor under the laws of the State of Minnesota.

Brian Person
BRIAN PERSON
Date 05/02/19 Lic. No. 49138

DESIGNED BY: BP
DRAWN BY: MSS
CHECKED BY: BP



Hakanson Anderson
Civil Engineers and Land Surveyors
3601 Thurston Ave., Anoka, Minnesota 55303
763-427-5860 FAX 763-427-0520
www.haa-inc.com

RALPHS ADDITION

PRELIMINARY PLAT
CITY OF RAMSEY, MINNESOTA

SHEET 1 OF 1 SHEETS
3990.03