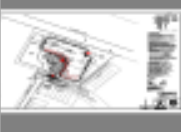

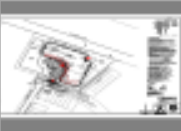




Changemarks Report






Project Name: Suite Living

Workflow Started: 06/06/2019 8:46 AM

Report Generated: 06/27/2019 03:23 PM

Cycle	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
1	False	Unresolved	City Planner		C3.pdf	EM	Changemark #01	Noise study recommended removal of the outdoor use area due to noise levels and proximity to Hwy 10.	06/27/2019 2:02 PM	Eric Maass	
1	False	Unresolved	City Planner		C3.pdf	EM	Changemark #02	Noise study recommended moving outdoor use area to south side of building so building could act as noise buffer.	06/27/2019 2:02 PM	Eric Maass	
1	False	Unresolved	City Planner		C3.pdf	EM	Changemark #03	Realign entrance to be in line with Jasper St NW	06/27/2019 2:02 PM	Eric Maass	
1	False	Unresolved	City Planner		A1.pdf	EM	Changemark #01	Signs will require separate sign permit which will need to include site plan with final sign location(s).	06/27/2019 1:31 PM	Eric Maass	
1	False	Unresolved	Civil Engineer		C4.pdf	LL	Hydrant Location	Fire department must approve hydrant location.	06/26/2019 9:53 AM	Len Linton	








Changemarks Report

1	False	Unresolved	Civil Engineer		C5.pdf	LL	Infiltration Basin Design	<p>Layout of infiltration basin must be revised. The water level in the south portion where the pipes enter must get to 5 feet deep before it starts flowing into the infiltration basin. The maximum depth with the assumed soil types is 1.5 ft.</p> <p>The normal water level of a pond to the southeast is approximately 850. It is unlikely that a normal water level of 855 could be maintained on this site to direct water to the infiltration basin.</p> <p>A soil boring must be performed in this basin to determine the soil type and depth to groundwater before the design can be approved.</p>	06/26/2019 10:01 AM	Len Linton	
1	False	Unresolved	Civil Engineer		C5.pdf	LL	Sump manhole	This should be a sump manhole to catch grit and debris before discharge to the infiltration basin.	06/26/2019 10:01 AM	Len Linton	
1	False	Unresolved	Civil Engineer		C3.pdf	LL	Align Driveway	Align Driveway with Jasper Street.	06/26/2019 8:34 AM	Len Linton	
1	False	Unresolved	Civil Engineer		C3.pdf	LL	City Detail	Add City Detail for street patching to set.	06/26/2019 8:34 AM	Len Linton	
1	False	Unresolved	Civil Engineer		C3.pdf	LL	Sidewalk	Sidewalk in public Right of Way shall be 6" thick.	06/26/2019 8:34 AM	Len Linton	

Changemarks Report

1	False	Unresolved	Civil Engineer		_Suite Living Ramsey - stormwater management plan.pdf	LL	HWY 10 drainage	Verify that water from the site can run through the HWY 10 ditches. The existing pond in the northwest corner of the site was constructed at the request of MNDOT because water was ponding in their ditch.	06/26/2019 8:27 AM	Len Linton	
1	False	Unresolved	Civil Engineer		_Suite Living Ramsey - stormwater management plan.pdf	LL	Existing pond	The existing pond is in a drainage and utility easement. Capacity for this ponding area must be included in future site designs.	06/26/2019 8:27 AM	Len Linton	
1	False	Unresolved	Community Development Director		A3.pdf	Tim Gladhill	Brick/Stone Requirement	Sides facing public streets must be at least 35% brick or stone.	06/21/2019 7:51 AM	Tim Gladhill	
1	False	Unresolved	Community Development Director		A1.pdf	Tim Gladhill	Align Entrance	Align entrance with adjacent roadway to avoid conflicting access points.	06/21/2019 7:48 AM	Tim Gladhill	
1	False	Unresolved	Community Development Director		A1.pdf	Tim Gladhill	Noise Study Required	Noise study required due to proximity to US Highway 10/169 and forecasted noise levels. Must ensure compliance with MN Rules 7030.	06/21/2019 7:48 AM	Tim Gladhill	
1	False	Unresolved	Engineering Tech - Plan Review		C8.pdf	JJF	Hydrant Detail	This is the latest Hydrant Detail, I've uploaded the latest to project dox. Apparently we had the wrong one on our website, which should be resolved shortly.	06/20/2019 2:37 PM	Joe Feriancek	

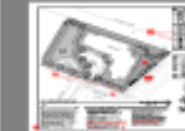

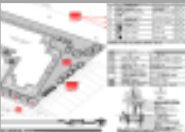



Changemarks Report

1	False	Unresolved	Engineering Tech - Plan Review		C8.pdf	JJF	Additional Details	Please Add City Standard Details - STR-3 Concrete Sidewalk; WAT-4 Joint Connection; WAT-5 Commercial Service. If internal sidewalk defers from City sidewalk detail, add an additional detail for that as well.	06/20/2019 2:37 PM	Joe Feriancek	
1	False	Unresolved	Engineering Tech - Plan Review		C7.pdf	JJF	Turf Establishment Note	Where is the Geotechnical Report?	06/20/2019 2:24 PM	Joe Feriancek	
1	False	Unresolved	Engineering Tech - Plan Review		C7.pdf	JJF	Infiltration Basin Detail	Add note about low compaction equipment being used in basin area.	06/20/2019 2:24 PM	Joe Feriancek	
1	False	Unresolved	Engineering Tech - Plan Review		C7.pdf	JJF	MnDOT Standard Plans	Need to provide all 6 Sheets. Ped ramps within City ROW will require an individual, site specific detail per MnDOT Standard Sheets.	06/20/2019 2:24 PM	Joe Feriancek	
1	False	Unresolved	Engineering Tech - Plan Review		C6.pdf	JJF	1-mile Radius	Show 1 Mile Radius on map	06/20/2019 2:04 PM	Joe Feriancek	
1	False	Unresolved	Engineering Tech - Plan Review		C6.pdf	JJF	NOT	Provide City with Notice of Termination for review prior to MPCA submittal.	06/20/2019 2:04 PM	Joe Feriancek	
1	False	Unresolved	Engineering Tech - Plan Review		C6.pdf	JJF	Inspections	Send copy of weekly and 1/2" rainfall or greater event inspections to City Inspector. A Site History must be submittal to the City prior to project close-out.	06/20/2019 2:04 PM	Joe Feriancek	
1	False	Unresolved	Engineering Tech - Plan Review		C6.pdf	JJF	During Construction Notes - Sweeping	The Contractor must sweep the streets within 3 hours of notice from the City.	06/20/2019 2:04 PM	Joe Feriancek	



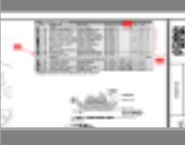

Changemarks Report

1	False	Unresolved	Engineering Tech - Plan Review		C5.pdf	JJF	Retaining Wall	Retaining wall is greater than 4-feet, must be structurally design. Add retaining wall line type to the legend.	06/20/2019 1:55 PM	Joe Feriancek	
1	False	Unresolved	Engineering Tech - Plan Review		C4.pdf	JJF	Utility Note 4	Change City of Arden Hills to City of Ramsey	06/20/2019 11:17 AM	Joe Feriancek	
1	False	Unresolved	Engineering Tech - Plan Review		C4.pdf	JJF	Storm Pipe	Calling out three different storm pipe styles, please verify this is the intent.	06/20/2019 11:17 AM	Joe Feriancek	
1	False	Unresolved	Engineering Tech - Plan Review		C4.pdf	JJF	Storm WYE Connection	Call out WYE Invert	06/20/2019 11:17 AM	Joe Feriancek	
1	False	Unresolved	Engineering Tech - Plan Review		C4.pdf	JJF	Break Into Ex. CBMH	Revise note to Core into MH.	06/20/2019 11:17 AM	Joe Feriancek	
1	False	Unresolved	Engineering Tech - Plan Review		C4.pdf	JJF	Service Saddle	Cannot approve service saddle without seeing detail for proposed saddle.	06/20/2019 11:17 AM	Joe Feriancek	
1	False	Unresolved	Engineering Tech - Plan Review		C3.pdf	JJF	Entrance Alignment	Line up entrance with Jaspar Street.	06/20/2019 10:54 AM	Joe Feriancek	
1	False	Unresolved	Environmental Review		L1.pdf	CA	Eliminate?	Why are these included in the Landscape Legend when there are zero quantities shown? If they are not going to be part of Landscape Plan, remove from sheet.	06/11/2019 1:27 PM	Chris Anderson	
1	False	Unresolved	Environmental Review		L1.pdf	CA	Sod	Sod is required in the boulevard/road right of way area. Update plan to show sod in these locations.	06/11/2019 1:27 PM	Chris Anderson	

Changemarks Report

1	False	Unresolved	Environmental Review		L1.pdf	CA	Seed	Use of seed (outside of boulevard/right of way) requires approval of City Council.	06/11/2019 1:27 PM	Chris Anderson	
1	False	Unresolved	Environmental Review		L1.pdf	CA	Total Square Footage of Canopy Cover	Required Canopy Cover for site (based on data provided on Sheet C3) is 21,814 square feet. Proposed square footage (for trees and shrubs) is 21,021 sq. ft. Additional shade trees shall be added to Landscape Plan to ensure compliance with planting requirements.	06/11/2019 1:27 PM	Chris Anderson	
1	False	Unresolved	Environmental Review		L1.pdf	CA	Bufferyard Plantings	Due to the existing R-2 zoning adjacent to this site, a 30-foot bufferyard with an additional 10% of plantings is required. Thus, within this 30-foot bufferyard, an additional 2,181 square feet of plantings is required. These should be in the form of evergreen trees.	06/11/2019 1:27 PM	Chris Anderson	
1	False	Unresolved	Environmental Review		L1.pdf	CA	Calculation	Total Impervious Area = 35,849 sq. ft. Total Pervious Area = 57,404 sq. ft. Total Site Area = 93,253 $35849 / 93253 = 0.38$ $0.38 \times 57404 = 21,814 \text{ sq. ft.}$ (required canopy cover)	06/11/2019 1:27 PM	Chris Anderson	
1	False	Unresolved	Environmental Review		L1.pdf	CA	#4	This is not applicable to this project.	06/11/2019 1:27 PM	Chris Anderson	
1	False	Unresolved	Environmental Review		L1.pdf	CA	Load Tickets	Load tickets are no longer required. Topsoil inspection IS still required.	06/11/2019 1:27 PM	Chris Anderson	

Changemarks Report

1	False	Unresolved	Environmental Review		L1.pdf	CA	Move to Boulevard	These two trees should be moved to the boulevard area to continue existing pattern of street tree plantings along 139th Lane.	06/11/2019 1:27 PM	Chris Anderson	
1	False	Unresolved	Environmental Review		L2.pdf	CA	Shrub Size	Revise Landscape Legend to show Install Height as 24 inches, which is required by City Code.	06/11/2019 1:27 PM	Chris Anderson	
1	False	Unresolved	Environmental Review		L2.pdf	CA	Eliminate?	Why are these species included in Landscape Legend when there are zero quantities shown.	06/11/2019 1:27 PM	Chris Anderson	
1	False	Unresolved	Environmental Review		L2.pdf	CA	Canopy Cover Calculation	The total square footage of proposed canopy cover for shrubs is 1,142 sq. ft., update accordingly.	06/11/2019 1:27 PM	Chris Anderson	