

# Project Directory

**Owner:**  
Suite Living  
1341 County Road D  
Vadnais Heights, MN 55109  
Joel Larson

**Hampton Construction**  
Todd Francis  
1341 County Road D  
Vadnais Heights, MN 55109  
651/200-4365

**Architect:**  
Lars Architectural Services, LLC  
Larry (Lars) Glockzin - Architect  
115 River Street  
Hudson, WI 54016  
612/240-7009  
Lars100@SBCglobal.net  
Larsxyz@gmail.com

**Civil Engineer:**  
Carlson McCain, Inc.  
3890 Pheasant Ridge Drive  
Blaine, MN 55449  
763-489-7920  
Fax 763-489-7959  
www.carlsonmccain.com

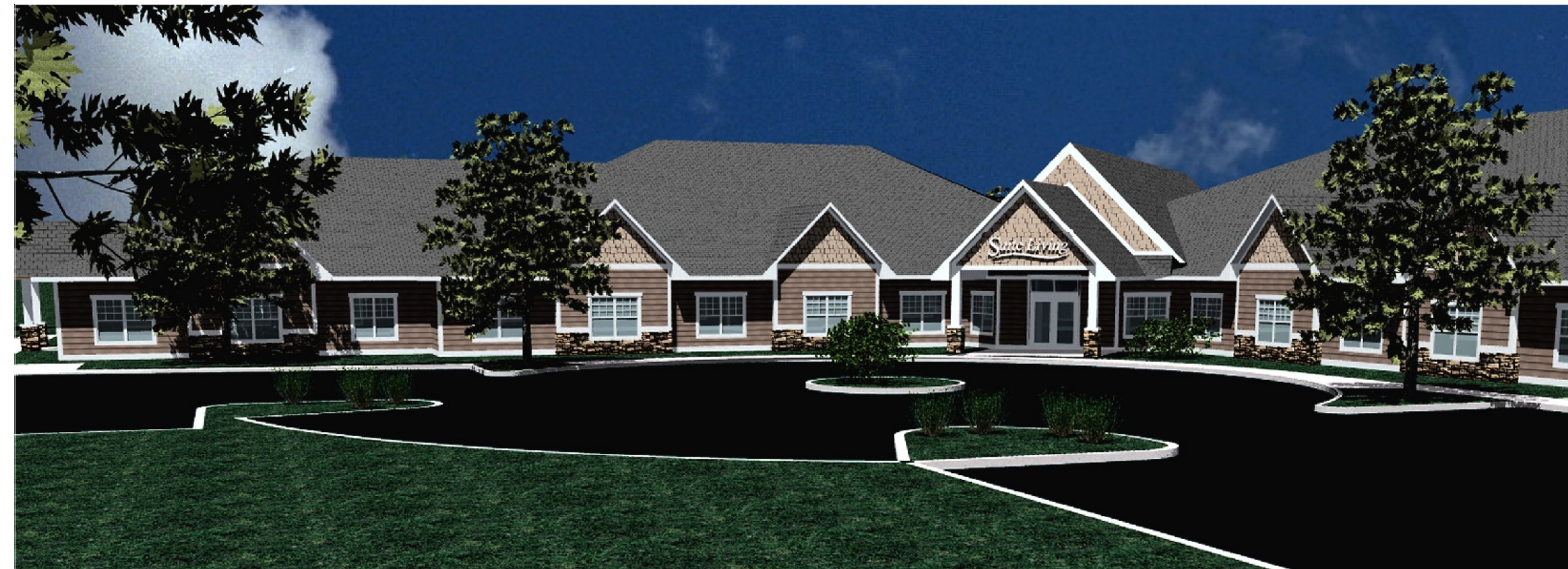
**Structural:**  
Stroh Engineering  
Bernie Stroh - P.E.  
PO 792140  
Paia, HI 96779  
(808) 866-4689  
strohengineering@hotmail.com

**Mech/Electrical:**  
By others-Design/Build  
**General Notes**

- SITE PREPARATION TO BE PROVIDED BY SITE CONTRACTOR REVIEW CONDITIONS WITH BUILDING CONTRACTOR.
- CONTINUOUS SEALANTS AND FLASHING AT ALL EXTERIOR AND INTERIOR OPENINGS.
- FURNACE FLUE TO BE FIRESTOPPED AT CEILING LEVEL AND MAINTAIN PROPER CLEARANCES
- PROVIDE OUTSIDE COMBUSTION AIR
- 'UL' LISTINGS REQUIRED AND SHALL BE INSTALLED PER MANUFACTURER SPECS.
- EXHAUST FAN VENTED DIRECTLY OUTSIDE AND MUST TERMINATE AT LEAST 3 FEET FROM ANY BUILDING OPENING
- EXIT DOORS TO HAVE LEVER ACTION HARDWARE AND CAN BE OPENED FROM THE INSIDE W/O USE OF KEY
- CONTRACTOR TO PROVIDE AND SUBMIT PRODUCT SUBMITTALS TO OWNER FOR REVIEW AND APPROVAL.
- SITE DESIGN BY EXCAVATING CONTRACTOR.
- WORK OF ALL TRADES SHALL CONFORM WITH CURRENT RECOGNIZED STANDARDS AND PRACTICES FOR MATERIALS AND WORKMANSHIP
- SAFETY GLAZING IS REQUIRED WITHIN 24" OF A DOOR WHERE THE BOTTOM EDGE OF GLAZING IS LESS THAN 60" ABOVE THE FLOOR
- PROVIDE 4A FIRE EXTINGUISHERS REVIEW WITH FIRE MARSHALL
- SEE STRUCTURAL FOR BEARING AND ANCHORING REQUIREMENTS
- ELECTRICAL CONTRACTOR TO COORDINATE WITH OWNER AND PROVIDE OPTIMUM LIGHTING SCHEME PRIOR TO ANY INSTALLATION
- VERIFY ALL DIMENSIONS. NOTIFY OWNER OF ANY DISCREPANCIES.
- ALL PAINT COLORS TO BE DETERMINED BY OWNER
- PROVIDE WATER RESISTANT GYP. BD. AT ALL TOILET ROOMS.
- PROVIDE BOTTLE WATER OR EQ
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND IS RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES AND EASEMENTS
- SITE, PLUMBING, AND ELECTRICAL DESIGN BY OTHERS
- CONTRACTOR TO VERIFY ALL DIMENSIONS
- PROVIDE ILLUMINATED EXIT SIGNS AT EXTERIOR DOORS
- JOINTS SHALL BE PLACED NO MORE THAN 15' TO 20' O.C. BOTH DIRECTIONS IN CONCRETE SLABS. 20' TO 25' ON CENTER FOR MASONRY WALLS AND 20' TO 30' O.C. BOTH DIRECTIONS FOR GYP. BD. WALLS, SOFFITS, CEILINGS, ETC.
- PROVIDE IDENTIFICATION UNISEX SIGNAGE AT PUBLIC TOILET/BATHING

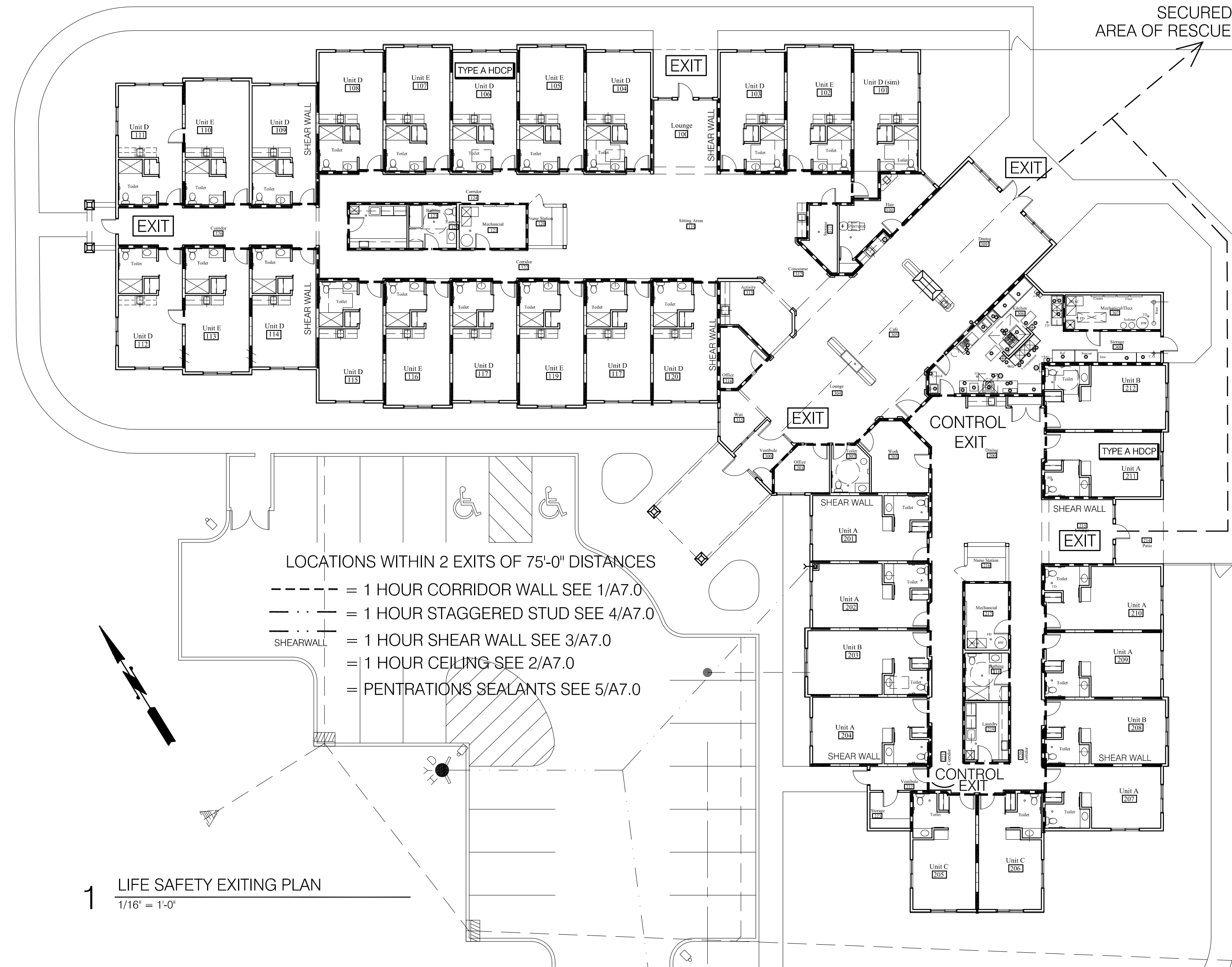
# Suite Living

139th Lane Northwest  
City of Ramsey, MN



Conceptual View

PROJECT INFORMATION	
SITE:	
BUILDING AREA (FOOTPRINT)	20,803 GSF
TOTAL PARKING	= 24
DWELLING UNITS:	
TYPE 'A'	= 7
TYPE 'B'	= 3
TYPE 'C'	= 2
TYPE 'D'	= 13
TYPE 'E'	= 7
TOTAL PERMANENT RESIDENT UNITS = 32	
FULL & PART TIME EMPLOYEES = 25+-	



Location Key NOT TO SCALE FOR REFERENCE ONLY

## Code Review IBC 2012

MINNESOTA BUILDING CODE 2015 - IBC 2012  
MECHANICAL & PLUMBING CODE 2015  
INTERNATIONAL FIRE CODE W/ MN AMENDMENTS 2015 - IFC 2012  
ACCESSIBILITY - MN CHAPTER 1341 - ANSI 117.1 2009  
ENERGY - IEC 2012 & ASHRAE 90.1 2010  
NEC - 2017  
MN CHAPTERS ADDITIONAL INFO: 1300, 1303, 1306,1307,1341, 1323  
FACILITY: Suite Living  
139th Lane Northwest  
City of Ramsey, MN 55303

Occupant Building Area = 20,524 sq. ft.  
Canopy Areas 839 sq. ft. = 21,363 sq. ft.  
Building Occupancy 1-1  
Building Type VB  
32 Units (4% Type A Required = 1.28 or 2 Units)  
Maximum Building Area Allowed:  
13 Sprinklered (4500 x3) = 13,500 sq. ft.  
Frontage Increase = (840/840-0.25) (30/30 average) = 1.75  
1.75 x 1.0 = 1.75 x 4500 = 7,875 sq. ft.  
13,500 + 7,875 = 21,375 sq. ft. max. > than 21363 sq. ft. therefore ok  
NFPA 13 sprinkler system requires the following:  
All Stairs, Shafts to be 2 hour rating  
Exterior Canopies/Attics to be Sprinklered

FIRE ALARMS - hardwired  
MINIMUM FIRE RESISTANCE OF WALLS (IN HOURS)  
DEMISING WALLS (BETWEEN UNITS) 5/8" GYP. BD. EACH SIDE - 1 HOUR  
EXIT ACCESS CORRIDORS - 1 HOUR/20 MIN OPENINGS

## Sheet Index

T1.0	Title and Code Review
Civil SEE CIVIL SET FOR DRAWINGS AND INFORMATION	
Architectural	
A1.0	Architectural Site Plan & Exterior Lighting Plan
A2.0	Overall Floor Plan
A2.1	
A2.2	
A3.0	Exterior Elevations
A4.0	
A4.1	
A5.0	
A5.1	
A6.0	
A7.0	
Structural	
S1.0	
S2.0	
Mechanical	
M	DESIGN BUILD
Plumbing	
P	DESIGN BUILD
Electrical	
E	DESIGN BUILD

**Lars**  
Architectural Services, LLC  
Hudson WI 54016  
612-240-7009  
Larsxyz@gmail.com  
Lars100@sbcglobal.net

I hereby certify that this plan, specification or any direct supervision, and that I am a duly licensed Architect under the laws of the State of Wisconsin  
Date \_\_\_\_\_ Reg. No. 24240  
Signed \_\_\_\_\_ Larry Glockzin

**Suite Living**  
139th Lane NW  
City of Ramsey, MN 55303

Concept  
June 5, 2019

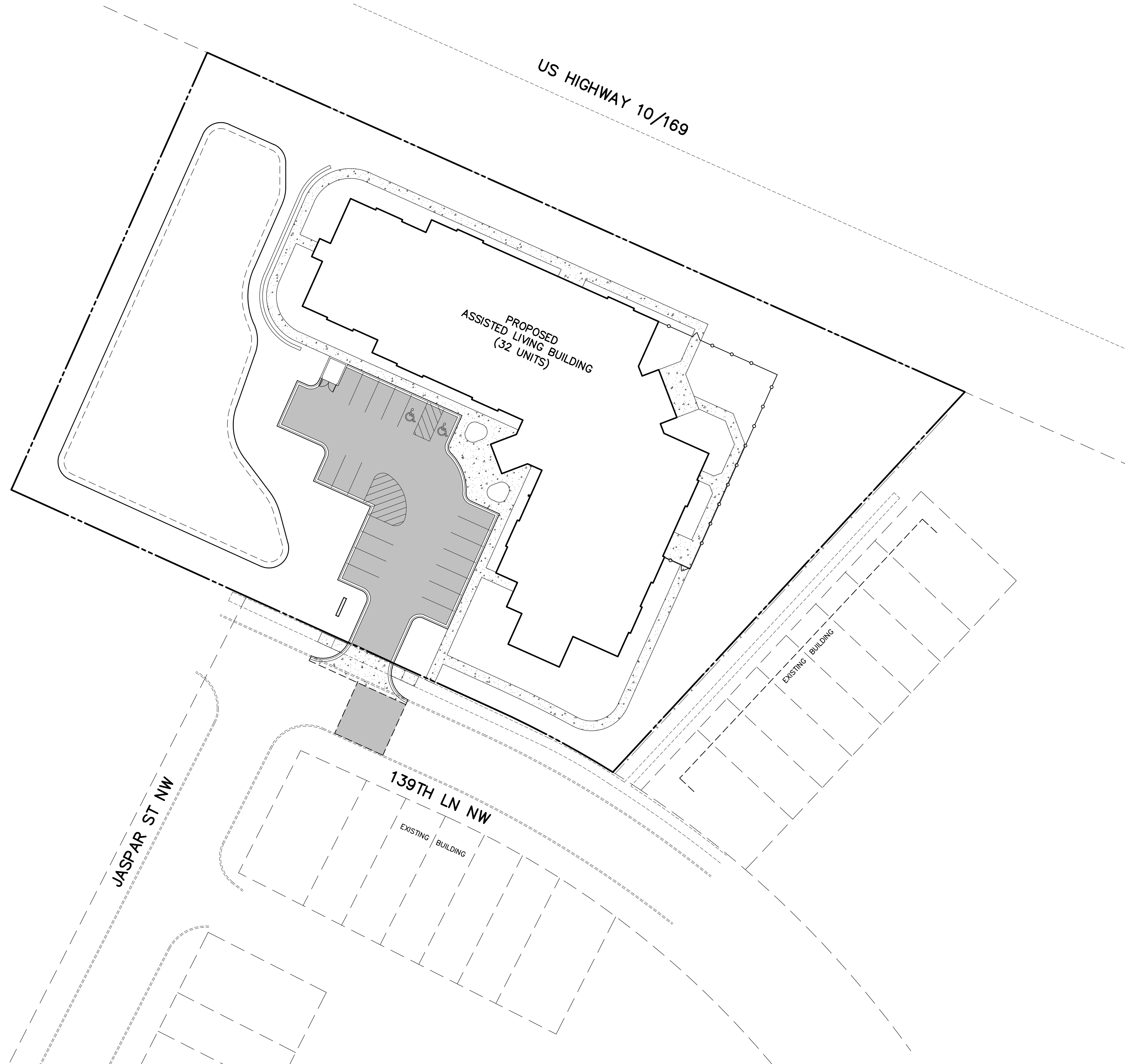
**Title & Code Review**

No.	Date	Revision

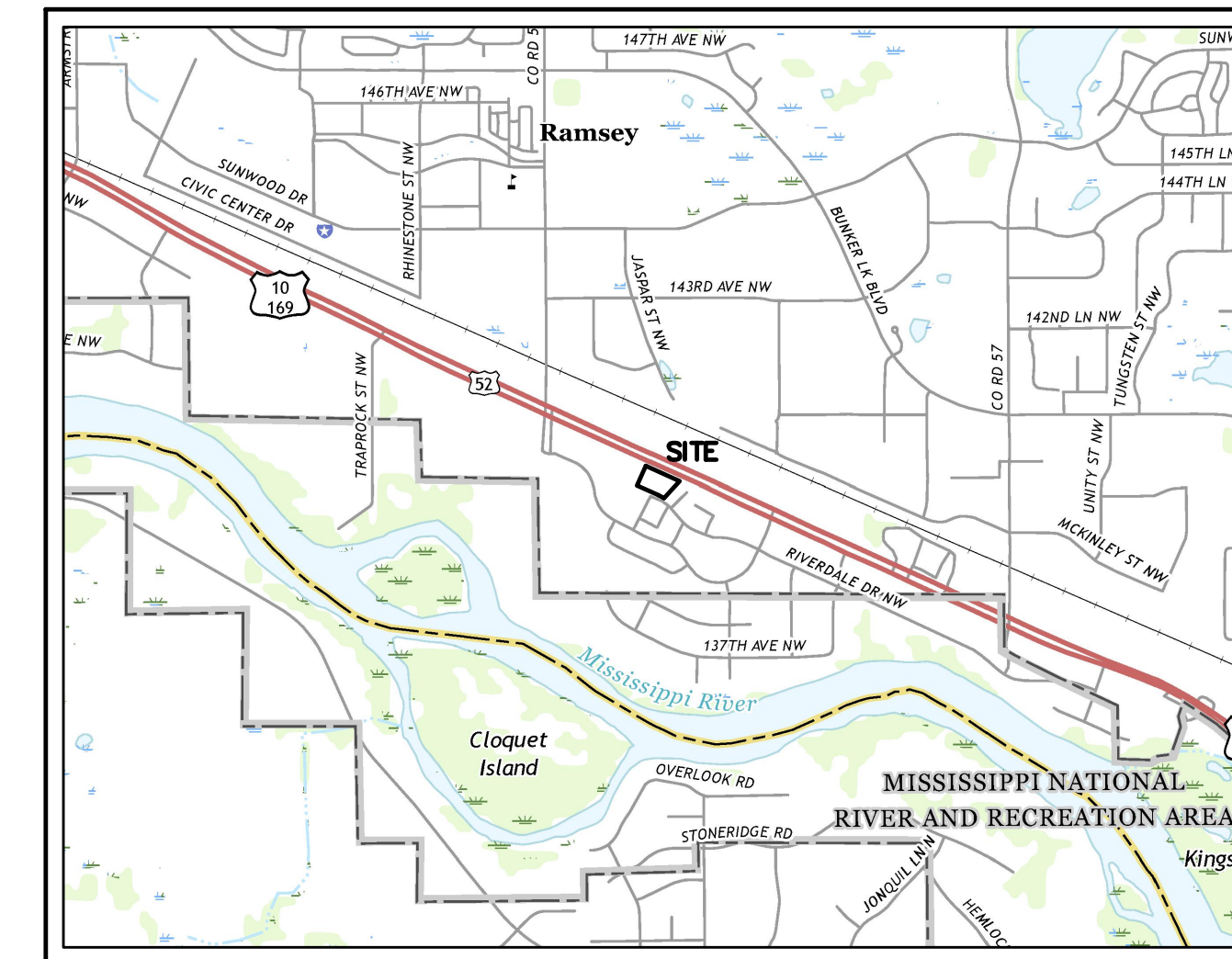
Project: \_\_\_\_\_  
Date: 1/15/19  
Drawn by: Lars

SHEET  
**T1.0**

# SUITE LIVING SENIOR CARE OF RAMSEY



## VICINITY MAP

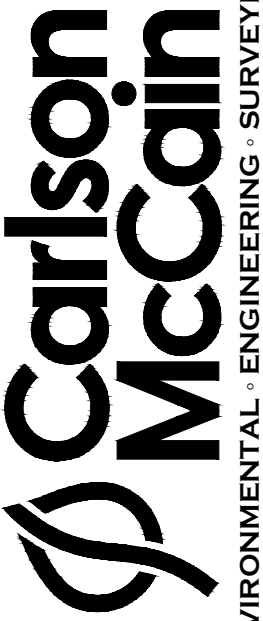
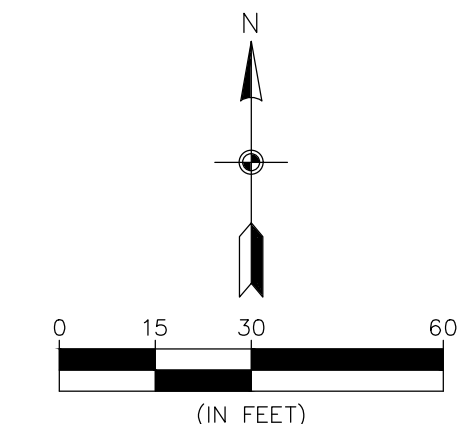


## SHEET INDEX

- C1. COVER
- C2. EXISTING CONDITIONS
- C3. SITE PLAN
- C4. UTILITY PLAN
- C5. GRADING, DRAINAGE, & EROSION CONTROL PLAN
- C6. STORMWATER POLLUTION PREVENTION PLAN
- C7. DETAILS
- C8. DETAILS
- L1. LANDSCAPE PLAN
- L2. LANDSCAPE PLAN

## BENCHMARKS

1. Minnesota Department of Transportation  
Geodetic GSID Station No. 781 (MnDot  
Name F 257).  
ELEVATION = 864.762



ENVIRONMENTAL - ENGINEERING - SURVEYING  
3890 Pheasant Ridge Dr. NE #100, Blaine, MN  
Phone: 763-489-7900 Fax: 763-489-7959

## COVER

SUITE LIVING SENIOR CARE  
OF RAMSEY  
Ramsey, Minnesota

HAMPTON COMPANIES  
3570 Lexington Avenue N, Suite 321  
Shoreview, MN 55126

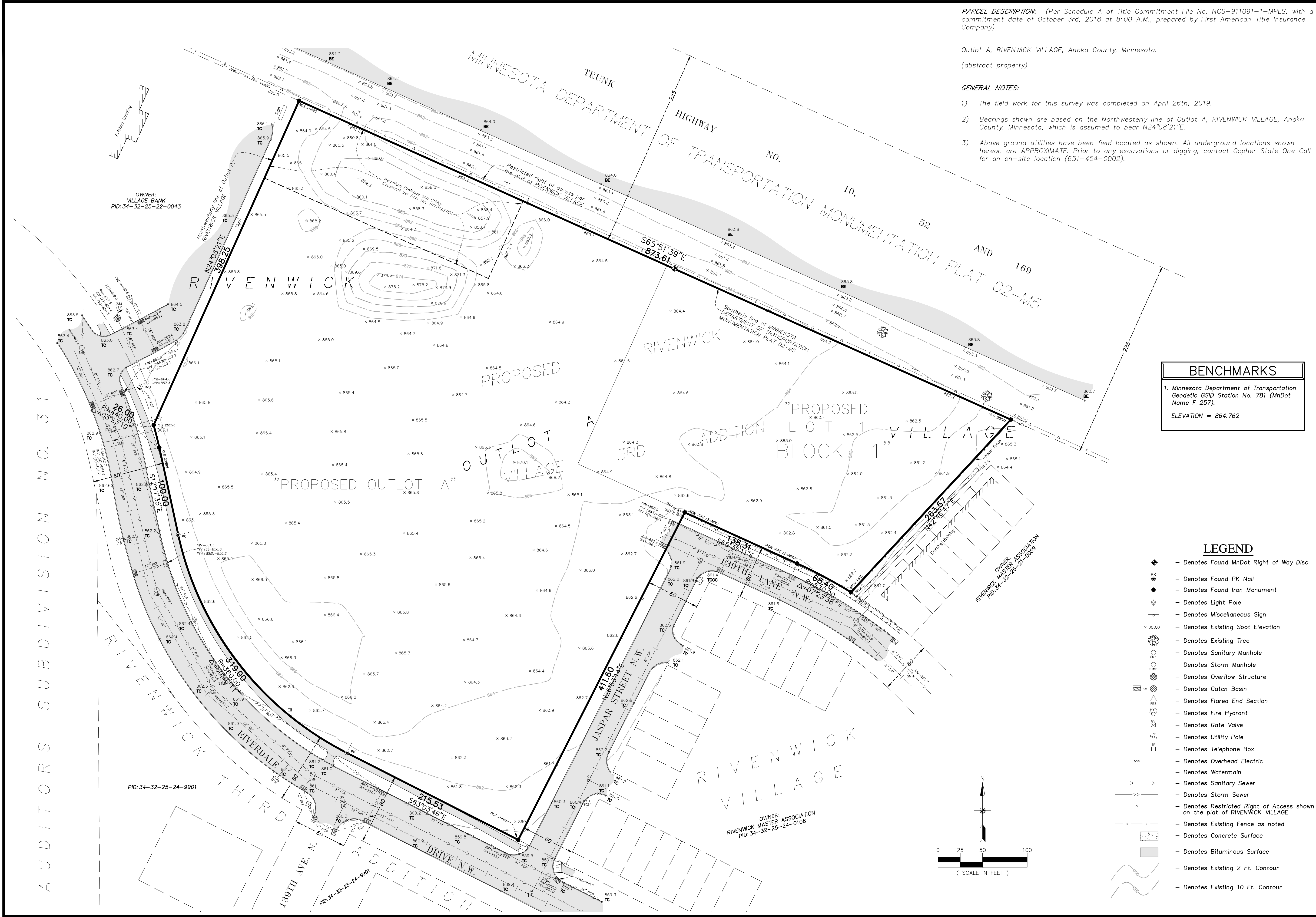
## REVISIONS

NO.	DATE	DESCRIPTION
1.		

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Name: Joseph T. Radach, PE  
Signature: *J. T. Radach*  
Date: 06/06/19 License #: 45889

C1 of 8



**PARCEL DESCRIPTION:** (Per Schedule A of Title Commitment File No. NCS-911091-1-MPLS, with a commitment date of October 3rd, 2018 at 8:00 A.M., prepared by First American Title Insurance Company)

Outlot A, RIVENWICK VILLAGE, Anoka County, Minnesota.  
(abstract property)

**GENERAL NOTES:**

- 1) The field work for this survey was completed on April 26th, 2019.
- 2) Bearings shown are based on the Northwesterly line of Outlot A, RIVENWICK VILLAGE, Anoka County, Minnesota, which is assumed to bear N24°08'21"E.
- 3) Above ground utilities have been field located as shown. All underground locations shown hereon are APPROXIMATE. Prior to any excavations or digging, contact Gopher State One Call for an on-site location (651-454-0002).

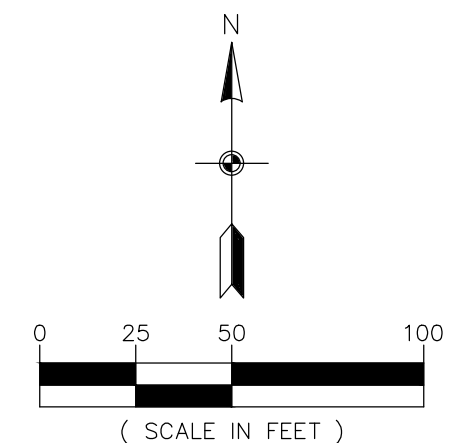
OWNER:  
VILLAGE BANK  
PID: 34-32-25-22-0043

PID: 34-32-25-24-9901

AUDITORS SUBDIVISION NO. 31

**BENCHMARKS**  
1. Minnesota Department of Transportation Geodetic GSD Station No. 781 (MnDot Name F 257).  
ELEVATION = 864.762

- LEGEND**
- Denotes Found MnDot Right of Way Disc
  - Denotes Found PK Nail
  - Denotes Found Iron Monument
  - Denotes Light Pole
  - Denotes Miscellaneous Sign
  - Denotes Existing Spot Elevation
  - Denotes Existing Tree
  - Denotes Sanitary Manhole
  - Denotes Storm Manhole
  - Denotes Overflow Structure
  - Denotes Catch Basin
  - Denotes Flared End Section
  - Denotes Fire Hydrant
  - Denotes Gate Valve
  - Denotes Utility Pole
  - Denotes Telephone Box
  - Denotes Overhead Electric
  - Denotes Watermain
  - Denotes Sanitary Sewer
  - Denotes Storm Sewer
  - Denotes Restricted Right of Access shown on the plat of RIVENWICK VILLAGE
  - Denotes Existing Fence as noted
  - Denotes Concrete Surface
  - Denotes Bituminous Surface
  - Denotes Existing 2 Ft. Contour
  - Denotes Existing 10 Ft. Contour



ENVIRONMENTAL ENGINEERING & SURVEYING  
3890 Pheasant Ridge Dr. NE #100, Blaine, MN  
Phone: 763-489-7900 Fax: 763-489-7959

**EXISTING CONDITIONS**

**SUITE LIVING SENIOR CARE OF RAMSEY**  
Ramsey, Minnesota

**HAMPTON COMPANIES**  
3570 Lexington Avenue N., Suite 321  
Shoreview, MN 55126

**REVISIONS**

1.	
2.	
3.	
4.	
5.	
6.	

DRAWN BY: bjs/kcm  
ISSUE DATE: 6/06/19  
FILE NO: 264

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed land surveyor under the laws of the State of Minnesota

Name: Thomas R. Balluff  
Signature: *Thomas R. Balluff*  
Date: 6/06/19 License #: 40361



**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT LINE	---	---
CURB LINE	---	---
BITUMINOUS PAVEMENT	---	---
CONCRETE WALK	---	---
SANITARY SEWER	---	---
STORM SEWER	---	---
WATER MAIN	---	---
OVERHEAD ELECTRIC	---	---
MANHOLE	---	---
HYDRANT	---	---
GATE VALVE	---	---
CATCH BASIN	---	---
SIGN	---	---
UTILITY POLE	---	---
FENCE	---	---

**SITE PLAN NOTES**

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
3. ALL CURB AND GUTTER SHALL BE B612 UNLESS OTHERWISE NOTED.
4. TYPICAL PARKING STALLS ARE 9' X 18'.
5. TYPICAL DRIVE LANES ARE 24'.
6. ALL PEDESTRIAN RAMPS SHALL MEET CURRENT ADA STANDARDS AND BE INSTALLED WITH CAST IRON TRUNCATED DOMES.
7. CONCRETE WALK SHALL CONSIST OF 4" OF PORTLAND CEMENT CONCRETE ON COMPACTED SAND SUBGRADE.
8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO THE START OF SITE WORK. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF DISCREPANCIES AND/OR VARIATIONS FROM THE PLAN.
9. UNLESS OTHERWISE SHOWN ON THIS DRAWING, CONTRACTOR SHALL PROVIDE CONTROL JOINTS, CONSTRUCTION JOINTS AND EXPANSION JOINTS IN SLAB ON GRADE, SIDEWALKS AND DRIVES PER THE FOLLOWING REQUIREMENTS:

CONTROL JOINT MAX. SPACING: WALKS-8' O.C.  
ALL OTHERS-10' O.C.

SAW CUT CONTROL JOINTS MINIMUM 1/4 CONCRETE THICKNESS.

EXPANSION JOINTS MAX. SPACING: WALKS-24' O.C.  
\*ALL OTHERS-40' O.C.

\*AT ALL POINTS WHERE A CHANGE IN PAVEMENT THICKNESS OCCURS AND/OR WHERE NEW PAVEMENT WILL MATCH EXISTING PAVEMENT, AN EXPANSION JOINT SHALL BE PROVIDED.

DOWEL ALL EXPANSION JOINTS: 24" O.C. MAX.

**SIGNING AND STRIPING NOTES**

1. ALL SIGNS SHALL BE PLACED 18" MINIMUM BEHIND CURB UNLESS OTHERWISE NOTED.
2. SIGNAGE SHALL INCLUDE SIGN, POST, HARDWARE, CONCRETE FOOTING AND STEEL CASING (IF REQUIRED).
3. PARKING LOT STRIPING SHALL BE 4" SOLID WHITE PAINT.
4. ALL HANDICAP STRIPING, MARKINGS AND CROSS-HATCH SHALL BE 4" SOLID BLUE PAINT.
5. ALL SIGNS SHALL MEET THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) FOR RETRO REFLECTIVITY AND INSTALLATION.

**SIGN SCHEDULE (PER MMUTCD)**

- Ⓐ STOP SIGN: R1-1 (24"x 24")
- Ⓑ HANDICAP PARKING SIGN: R7-8m W/R7-8b (12"x 18")
- Ⓒ NO PARKING SIGN: R8-3a (12"x 18")

**SITE DATA**

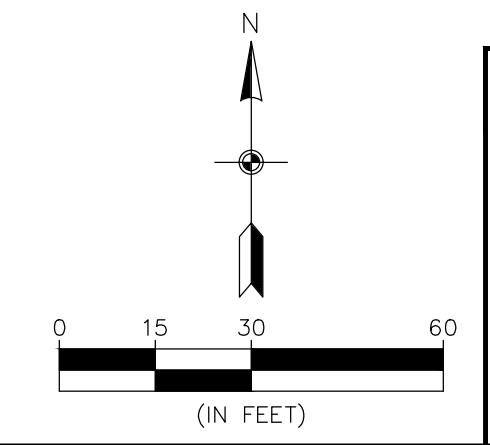
PROPOSED ZONING:	MU-PUD
LOT AREA:	93,253 SF
HARD SURFACE AREA:	
BUILDING:	21,352 SF 23%
PAVEMENT:	14,497 SF 16%
TOTAL:	35,849 SF 38%
PERVIOUS SURFACE AREA:	57,404 SF 62%

**PARKING SUMMARY**

STANDARD SURFACE STALLS	18
HANDICAP SURFACE STALLS	2
TOTAL STALLS	20

**BENCHMARKS**

1. Minnesota Department of Transportation  
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ELEVATION = 864.762



**Carlson McCain**  
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Phone: 763-489-7900 Fax: 763-489-7959

**SITE PLAN**

**SUITE LIVING SENIOR CARE OF RAMSEY**  
Ramsey, Minnesota

**HAMPTON COMPANIES**  
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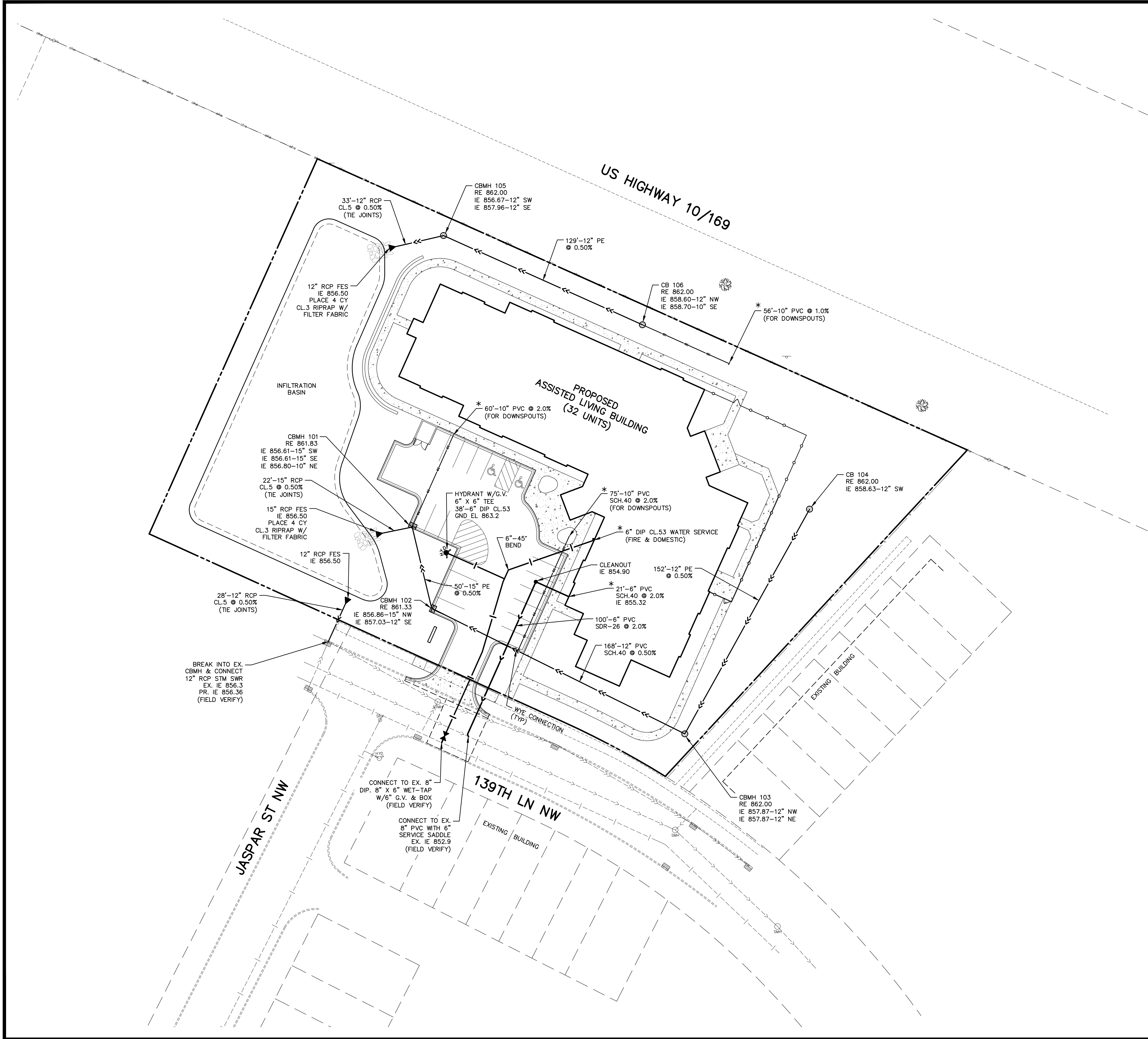
**REVISIONS**

1.	

DRAWN BY: JTR  
DESIGNED BY: JTR  
ISSUE DATE: 06/06/19

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Name: Joseph T. Radach, PE  
Signature: *J. T. Radach*  
Date: 06/06/19 License #: 45889



**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT LINE	---	---
CURB LINE	---	---
BITUMINOUS PAVEMENT	---	---
CONCRETE WALK	---	---
SANITARY SEWER	---	---
STORM SEWER	---	---
WATER MAIN	---	---
OVERHEAD ELECTRIC	---	---
MANHOLE	○	○
HYDRANT	○	○
GATE VALVE	○	○
CATCH BASIN	○	○
SIGN	○	○
UTILITY POLE	○	○
FENCE	---	---

**UTILITY PLAN NOTES**

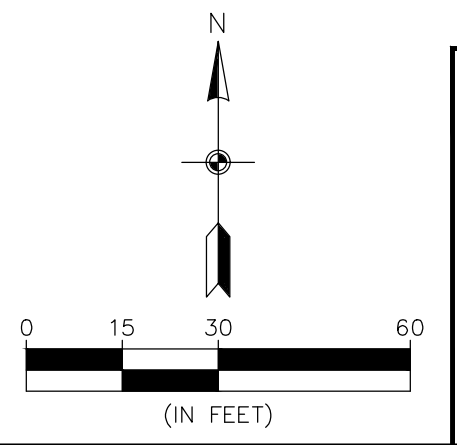
- SANITARY SEWER, WATER MAIN AND STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF RAMSEY STANDARD DETAIL SPECIFICATIONS & THE MINNESOTA PLUMBING CODE.
  - A MINIMUM OF 7.5 FEET OF COVER SHALL BE REQUIRED FOR ALL WATER MAIN AND FORCE MAIN.
  - A MINIMUM OF 2.0 FEET VERTICAL SEPARATION SHALL BE REQUIRED FOR ALL UTILITY CROSSINGS.
  - ALL WATER MAIN WORK & TESTING SHALL BE COORDINATED WITH CITY OF ARDEN HILLS PUBLIC WORKS DEPARTMENT.
  - CATCH BASINS IN THE GUTTER LINE SHALL BE SUMPED 0.17' ELEVATIONS SHOWN ON THE PLANS REFLECT THE SUMPED ELEVATIONS.
  - ALL WATER MAIN MUST HAVE CONDUCTIVITY TEST, HYDROSTATIC TEST AND BACTERIA TEST BEFORE THE PROJECT IS COMPLETE AND TURNED ON.
- \* FINAL LOCATIONS OF BUILDING UTILITY SERVICES & DOWNSPOUT LOCATIONS TO BE VERIFIED WITH ARCHITECTURAL AND PLUMBING PLANS.

**STORM SEWER SCHEDULE**

STRUCTURE	NEENAH CASTING or EQUAL
TYPE & No.	SIZE
CBMH-101	48" DIA. R-3067-V
CBMH-102	48" DIA. R-3067-V
CBMH-103	48" DIA. R-4342
CB-104	27" DIA. R-4342
CBMH-105	48" DIA. R-4342
CB-106	27" DIA. R-4342

**BENCHMARKS**

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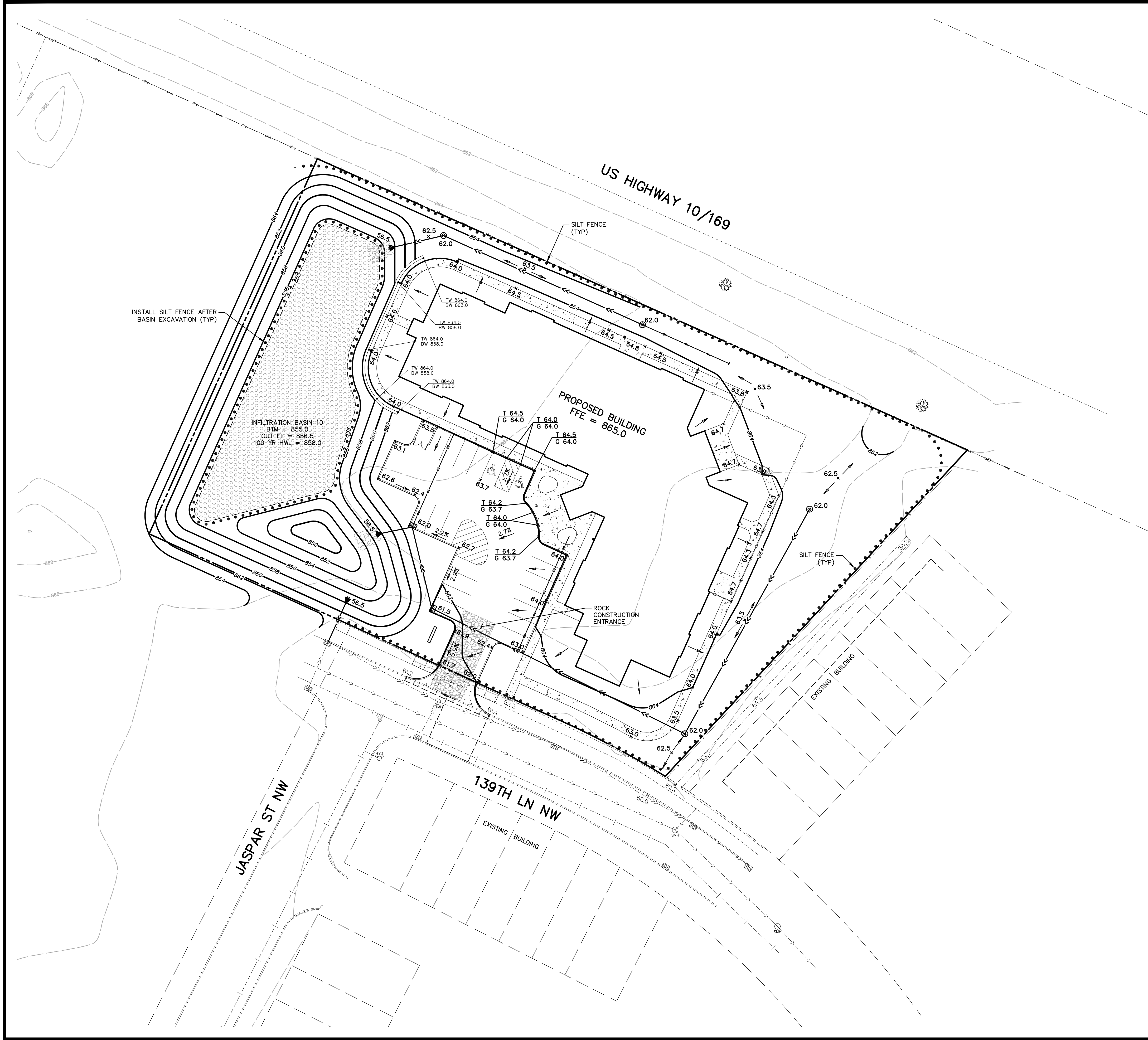
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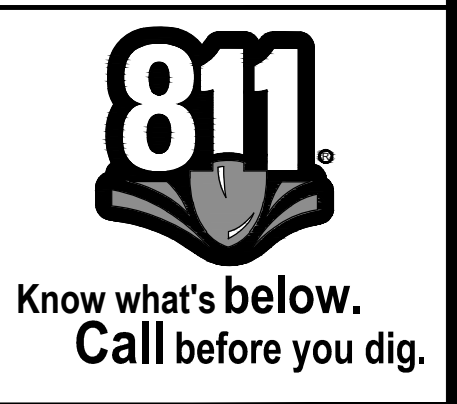
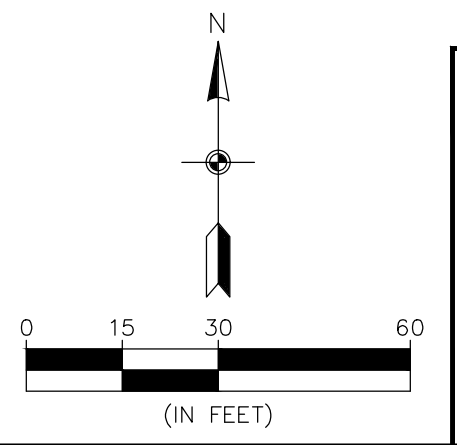
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CONCRETE WALK	▨
SANITARY SEWER	→
STORM SEWER	→
WATER MAIN	→
OVERHEAD ELECTRIC	→
MANHOLE	⊙
HYDRANT	⊙
GATE VALVE	⊙
CATCH BASIN	⊙
SIGN	⊙
UTILITY POLE	⊙
FENCE	— x —
10' CONTOUR	— 860 —
2' CONTOUR	— 858 —
SPOT ELEVATION (CURB ELEVATIONS ARE TO GUTTER LINE)	⊙ 00.0
TOP OF CURB ELEV.	T 44.3
GUTTER LINE ELEV.	G 43.8
EMERGENCY OVERFLOW	⊕ x ⊕
SILT FENCE	•••••

- GOVERNING SPECIFICATIONS**
- THE LATEST EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AND THE CITY OF RAMSEY SPECIFICATIONS.
  - THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).
  - THE LATEST EDITION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) STANDARD SPECIFICATIONS.

- GRADING NOTES**
- ROCK CONSTRUCTION ENTRANCE, SILT FENCE, AND EXISTING CATCH BASIN INLET PROTECTION SHALL BE INSTALLED PRIOR TO GRADING CONSTRUCTION, AND SHALL BE MAINTAINED UNTIL THE SITE HAS BEEN STABILIZED.
  - CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO THE START OF GRADING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF DISCREPANCIES OR VARIATIONS FROM THE PLAN.
  - CONTRACTOR SHALL STRIP, STOCKPILE AND RESPREAD SUFFICIENT TOPSOIL TO PROVIDE A MINIMUM OF 4" OF TOPSOIL OVER ALL DISTURBED AREAS THAT WILL BE SODDED, SEEDDED OR LANDSCAPED.
  - ALL DISTURBED AREAS MUST BE STABILIZED WITHIN 7 CALENDAR DAYS AFTER LAND-DISTURBING WORK HAS TEMPORARILY OR PERMANENTLY CEASED.
  - ALL SLOPES STEEPER THAN 3:1 SHALL HAVE MNDOT CAT.1 EROSION CONTROL BLANKET AND SEED, OR APPROVED EQUAL.

**BENCHMARKS**

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**GRADING, DRAINAGE, & EROSION CONTROL PLAN**

**SUITE LIVING SENIOR CARE OF RAMSEY**  
Ramsey, Minnesota

**HAMPTON COMPANIES**  
3570 Lexington Avenue N, Suite 321  
Shoreview, MN 55126

**REVISIONS**

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Signature: *J. T. Radach*  
Date: 06/06/19 License #: 45889

**INSTALL RIPRAP ENERGY DISSIPATION ON PIPE OUTLET IMMEDIATELY AFTER CONSTRUCTION (TYP)**

INSTALL SILT FENCE AFTER BASIN EXCAVATION (TYP)

**PROTECT BASIN FROM SEDIMENTATION WITH SILT FENCE, BIO-ROLLS OR OTHER EFFECTIVE MEANS (TYP)**

**INSTALL INLET PROTECTION PRIOR TO CONSTRUCTION (TYP)**

**AREA OF POTENTIAL TRACKED SEDIMENT (SWEEP DAILY)**

**CONCRETE WASHOUT & MATERIALS STORAGE AREA (PROVIDE SIGNAGE)**

**INSTALL & MAINTAIN SILT FENCE (TYP)**

**INSTALL INLET PROTECTION AFTER CONSTRUCTION (TYP)**

**INSTALL AND MAINTAIN ROCK CONST. ENTRANCE**

**GENERAL INFORMATION**  
MINNESOTA'S CONSTRUCTION STORMWATER PERMIT IS AN EXTENSION OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM STORMWATER PROGRAM, WHICH IS PART OF THE FEDERAL CLEAN WATER ACT. REGULATED PARTIES MUST DEVELOP A STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE SWPPP PROVIDES INFORMATION ON THE EXISTING AND PROPOSED SITE CONDITIONS, CONTROL MEASURES FOR STORMWATER POLLUTION PREVENTION BEFORE, DURING AND AFTER CONSTRUCTION, INSPECTION, MAINTENANCE AND INFORMATION RELATED TO THE PERMANENT STORMWATER MANAGEMENT SYSTEM. THE SWPPP SHALL BE KEPT ON SITE AT ALL TIMES DURING ACTIVE CONSTRUCTION.

**PROJECT INFORMATION**  
PROJECT NAME: SUITE LIVING SENIOR CARE OF RAMSEY  
PROJECT LOCATION: RAMSEY, ANOKA COUNTY, MINNESOTA  
PROJECT OWNER: HAMPTON COMPANIES

**RESPONSIBLE PARTIES**  
THE OWNER MUST IDENTIFY A PERSON KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMP'S WHO WILL OVERSEE THE IMPLEMENTATION OF THE SWPPP, AND THE INSTALLATION, INSPECTION AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL BMP'S.

**SITE MANAGER:** \_\_\_\_\_  
**TRAINING DOCUMENTATION:** \_\_\_\_\_  
**INSPECTION REPRESENTATIVE:** \_\_\_\_\_  
**TRAINING DOCUMENTATION:** \_\_\_\_\_

**EXISTING SITE CONDITIONS**  
THE SITE IS LOCATED NORTH OF THE INTERSECTION OF 139TH LANE NW AND JASPER STREET NW, SOUTH OF US HIGHWAY 10/169, IN RAMSEY, ANOKA COUNTY, MINNESOTA. THE SITE IS BOUNDED ON THE NORTH BY US HIGHWAY 10/169, ON THE EAST BY EXISTING RESIDENTIAL TOWNHOMES, ON THE SOUTH BY 139TH LANE NW, AND ON THE WEST BY UNDEVELOPED COMMERCIAL/RESIDENTIAL PROPERTY.

THE SITE BOUNDARY CONSISTS OF 1.911 ACRES. THE SITE IS CURRENTLY UNDEVELOPED GRASSLAND WITH NO IMPERVIOUS SURFACE AREAS. THE SITE HAS A RELATIVELY FLAT TOPOGRAPHY, WITH ELEVATIONS RANGING FROM 865 IN THE WEST, DOWN TO ABOUT 861 IN THE EAST. THE MAJORITY OF THE SITE DRAINS NORTHWESTERLY TO THE US HIGHWAY 10/169 DITCH. A SMALL PORTION OF THE SITE DRAINS SOUTH TO 139TH LANE NW. ALL STORMWATER ULTIMATELY DRAINS TO THE MISSISSIPPI RIVER.

**PROPOSED SITE CONDITIONS**  
HAMPTON COMPANIES PLANS ON DEVELOPING THE SITE INTO A 32 UNIT ASSISTED LIVING FACILITY WITH ASSOCIATED PARKING AND DRIVE AREAS. DURING CONSTRUCTION, APPROXIMATELY 2.3 ACRES WILL BE DISTURBED. AFTER CONSTRUCTION, THE SITE WILL CONTAIN APPROXIMATELY 0.823 ACRES OF IMPERVIOUS SURFACE.

THE MAJORITY OF THE STORMWATER FROM THE SITE WILL BE COLLECTED IN STORM SEWER AND ROUTED TO AN INFILTRATION BASIN IN THE WESTERN PORTION OF THE SITE. SMALL PORTIONS OF THE SITE WILL RUNOFF DIRECTLY TO THE US HIGHWAY 10/169 AND DIRECTLY TO 139TH LANE NW. THE PROPOSED INFILTRATION BASIN HAS BEEN SIZED TO TREAT STORMWATER FROM THE PROPOSED SITE AS WELL AS FUTURE DEVELOPMENT AREAS TO THE WEST.

**SOIL INFORMATION**  
AT THE TIME OF THIS REPORT, NO SOIL BORINGS WERE AVAILABLE. ACCORDING TO THE NRCS WEB SOIL SURVEY, ONSITE SOILS CONSIST PRIMARILY OF LOAMY SAND SOILS IN THE HYDROLOGIC SOIL GROUP "A". THIS PLAN SHOULD BE AMENDED WITH ACTUAL SOIL BORING INFORMATION IF/WHEN AVAILABLE.

BASED ON ELEVATIONS IN AND AROUND THE SITE, GROUNDWATER IS NOT ANTICIPATED TO BE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION.

**WETLAND CONSIDERATIONS**  
THERE ARE NO KNOWN WETLANDS ONSITE.

**STORMWATER RECEIVING WATERS**  
ALL STORMWATER FROM THE SITE ULTIMATELY DRAINS TO THE MISSISSIPPI RIVER.

**SPECIAL/IMPAIRED WATER CONSIDERATIONS**  
THE MISSISSIPPI RIVER IS LOCATED APPROXIMATELY 2,000 FEET WEST OF THE SITE AND IS LISTED AS A SPECIAL WATER AND IMPAIRED WATER. ADDITIONAL BMP'S INCLUDE: IMMEDIATE STABILIZATION OF EXPOSED SOIL AREAS, AND COMPLETE STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS AFTER CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE TEMPORARILY OR PERMANENTLY CLEAR, AND TEMPORARY SEDIMENTATION BASINS FOR COMMON DRAINAGE AREAS OF FIVE (5) ACRES OR MORE (NOT APPLICABLE), AND AN UNDISTURBED BUFFER ZONE OF NOT LESS THAN 100 FEET FROM THE SPECIAL WATER (NOT APPLICABLE).

**STORMWATER MANAGEMENT PLAN**  
THE LOWER RUM RIVER WATERSHED MANAGEMENT ORGANIZATION REQUIRES SITE THAT DISTURB GREATER THAN ONE ACRE OF LAND TO PROVIDE RATE CONTROL AND VOLUME CONTROL. RATE CONTROL IS REQUIRED FOR THE 2-YEAR, 10-YEAR, AND 100-YEAR STORM EVENT. VOLUME CONTROL IS REQUIRED FOR 1-INCH OF RUNOFF FROM THE PROPOSED ONSITE IMPERVIOUS SURFACE AREAS. THE PROPOSED IMPERVIOUS AREA OF THE SITE IS 0.823 ACRES, WHICH REQUIRES A VOLUME REDUCTION OF 0.069 ACRE FEET. THE PROPOSED INFILTRATION BASIN HAS A VOLUME BELOW THE OUTLET OF 0.482 ACRE FEET. THE INFILTRATION BASIN HAS ADEQUATE STORAGE TO PROVIDE VOLUME CONTROL AND RATE CONTROL FOR THE SITE. THE INFILTRATION BASIN HAS BEEN OVERSIZED TO PROVIDE VOLUME CONTROL AND RATE CONTROL FOR FUTURE DEVELOPMENT ADJACENT TO THE SITE.

**PRIOR TO START OF CONSTRUCTION**  
THE FOLLOWING STORMWATER POLLUTION PREVENTION MEASURES SHALL BE IMPLEMENTED PRIOR TO CONSTRUCTION. REFER TO GRADING AND EROSION CONTROL PLANS FOR LOCATIONS.

- SILT FENCE**  
SILT FENCE SHALL BE INSTALLED AT THE LIMIT OF GRADING ON ANY FILL SLOPE. ADDITIONAL SILT FENCE MAY BE REQUIRED IN CUT SLOPE AREAS. SILT FENCE SHALL ALSO BE INSTALLED AROUND ANY INFILTRATION/FILTRATION PRACTICE.
- ROCK CONSTRUCTION ENTRANCE**  
ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE FIELD ENTRANCES TO THE SITE.
- CATCH BASINS**  
ALL CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICES APPROVED BY THE LOCAL GOVERNING UNIT. THESE SHALL INCLUDE, BUT ARE NOT LIMITED TO, WMCO PROTECTION DEVICES, INFRASAFE PROTECTION DEVICES, FILTER FABRIC, BIO ROLLS AND STRAW BALES.
- TEMPORARY SEDIMENTATION BASIN**  
WHERE FIVE (5) OR MORE ACRES OF DISTURBED SOIL DRAIN TO A COMMON LOCATION, A TEMPORARY (OR PERMANENT) SEDIMENT BASIN MUST BE PROVIDED PRIOR TO RUNOFF LEAVING THE CONSTRUCTION SITE OR ENTERING SURFACE WATERS. THE TEMPORARY (OR PERMANENT) BASINS MUST BE CONSTRUCTED AND MADE OPERATIONAL CONCURRENT WITH THE START OF SOIL DISTURBANCE THAT IS UPGRADIENT OF THE AREA AND CONTRIBUTES RUNOFF TO THE BASIN. WHERE THE TEMPORARY SEDIMENT BASIN IS NOT ATTAINABLE DUE TO SITE LIMITATIONS, EQUIVALENT SEDIMENT CONTROLS SUCH AS SMALLER SEDIMENT BASINS, AND/OR SEDIMENT TRAPS, SILT FENCES, VEGETATIVE BUFFER STRIPS OR ANY APPROPRIATE COMBINATION OF MEASURES ARE REQUIRED FOR ALL DOWN SLOPE BOUNDARIES OF THE CONSTRUCTION AREA AND FOR THOSE SIDE SLOPE BOUNDARIES DEEMED APPROPRIATE AS DICTATED BY INDIVIDUAL SITE CONDITIONS. IN DETERMINING WHETHER INSTALLING A SEDIMENT BASIN IS ATTAINABLE, THE PERMITTEE(S) MUST CONSIDER PUBLIC SAFETY AND MAY CONSIDER FACTORS SUCH AS SITE SOILS, SLOPE AND AVAILABLE AREA ON SITE. THE BASIN MUST BE DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF PART III.C. OF THE MPCA CONSTRUCTION STORMWATER PERMIT.

**DURING CONSTRUCTION**  
THE FOLLOWING STORMWATER POLLUTION PREVENTION MEASURES SHALL BE IMPLEMENTED DURING CONSTRUCTION. REFER TO GRADING AND EROSION CONTROL PLANS FOR LOCATIONS.

- PHASED GRADING**  
TO THE EXTENT POSSIBLE, GRADING SHALL BE PHASED TO MINIMIZE THE AMOUNT OF DISTURBED AREAS DURING SITE CONSTRUCTION.
- TRACKED SEDIMENT**  
ANY SEDIMENT TRACKED FROM THE SITE ONTO THE STREET SHALL BE REMOVED IMMEDIATELY UPON DETECTION. THE ROCK CONSTRUCTION ENTRANCE SHALL BE INSPECTED AND REPAIRED IF INUNDATED WITH SEDIMENT.
- STOCKPILES**  
STOCKPILES SHALL BE PLACED IN AN AREA THAT WILL MINIMIZE THE NEED FOR RELOCATION. SOIL STOCKPILES SHALL BE STABILIZED WITHIN 7 DAYS OF INACTIVITY. STABILIZATION MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, SEEDING AND SILT FENCING. TEMPORARY STOCKPILES MUST HAVE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS AND CANNOT BE PLACED IN SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS, CONDUITS OR DITCHES.
- TOPSOIL**  
UPON GRADING COMPLETION, A MINIMUM OF 6 INCHES OF TOPSOIL SHALL BE PLACED OVER ALL DISTURBED AREAS, EXCLUDING PROPOSED STREETS AND PARKING AREAS.
- DECOMPACTION**  
SOIL SURFACES COMPACTED DURING CONSTRUCTION AND REMAINING DISTURBED PERVIOUS AREAS MUST BE DECOMPACTED THROUGH SOIL AMENDMENT AND/OR RIPPING TO A DEPTH OF 18 INCHES WHILE TAKING CARE TO AVOID UTILITIES, TREE ROOTS AND OTHER EXISTING VEGETATION PRIOR TO FINAL REVEGETATION OR OTHER STABILIZATION.
- RESTORATION**  
ALL DISTURBED AREAS NOT ACTIVELY WORKED SHALL BE RESTORED WITH SEED AND MULCH, EROSION CONTROL BLANKET AND/OR SOD IMMEDIATELY BUT IN NO CASE LATER THAN 7 DAYS.
- SLOPES**  
IN ORDER TO MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES, THERE SHALL BE NO UNBROKEN SLOPE LENGTH OF GREATER THAN 75 FEET FOR SLOPES WITH A GRADE OF 3:1 OR STEEPER.
- DRAINAGE DITCHES**  
THE NORMAL WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH THAT DRAINS WATER FROM THE SITE, OR DIVERTS WATER AROUND THE SITE, MUST BE STABILIZED WITHIN 200 LINEAL FEET FROM THE PROPERTY EDGE, OR FROM THE POINT OF DISCHARGE TO ANY SURFACE WATER. STABILIZATION MUST BE COMPLETED WITHIN 24 HOURS OF CONNECTING TO A SURFACE WATER.
- PIPE OUTLETS**  
PIPE OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS OF CONNECTION TO A SURFACE WATER.
- CATCH BASINS**  
ALL CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICES APPROVED BY THE LOCAL GOVERNING UNIT. THESE SHALL INCLUDE, BUT ARE NOT LIMITED TO, WMCO PROTECTION DEVICES, INFRASAFE PROTECTION DEVICES, FILTER FABRIC, BIO ROLLS AND STRAW BALES.
- DUST**  
CONSTRUCTION DUST SHALL BE CONTAINED TO THE EXTENT POSSIBLE. IF THE SITE BECOMES EXCESSIVELY DUSTY, APPROPRIATE MEASURES SHALL BE TAKEN TO REDUCE DUST BEING TRANSPORTED FROM THE SITE. DUST CONTROL MEASURES INCLUDE, BUT ARE NOT LIMITED TO, WATERING AND CALCIUM CHLORIDE APPLICATION.
- DEWATERING**  
IT IS NOT ANTICIPATED THAT DEWATERING WILL BE REQUIRED FOR THE PROPOSED PROJECT. HOWEVER, IF REQUIRED, DEWATERING ACTIVITIES SHALL BE CONDUCTED WITH AND APPROVED BY THE LOCAL GOVERNING UNIT. IF THERE WILL BE ANY DEWATERING OR BASIN DRAINING THAT MAY HAVE TURBID OR SEDIMENT LADEN DISCHARGE, THE WATER MUST BE DISCHARGED TO A TEMPORARY OR PERMANENT SEDIMENTATION BASIN ON THE PROJECT SITE, WHENEVER POSSIBLE. APPROPRIATE BMP'S SHALL BE USED FOR EROSION AND SEDIMENT CONTROL AND ENERGY DISSIPATION.
- CONSTRUCTION MATERIALS AND DEBRIS**  
CONSTRUCTION MATERIALS SHALL BE STORED IN AN ORDERLY MANNER AND IN AN AREA THAT WILL MINIMIZE CONFLICTS WITH OTHER CONSTRUCTION ACTIVITIES. CONSTRUCTION DEBRIS SHALL BE CONTAINED IN DUMPSTERS AND REMOVED FROM THE SITE AS NECESSARY.
- CHEMICALS**  
CHEMICALS SHALL BE STORED IN A SAFE AREA IN SEALED CONTAINERS WITH THE ORIGINAL LABELING AND MATERIAL SAFETY DATA SHEETS AVAILABLE.
- SPILLS AND CONTAMINATION**  
IF FUEL, OIL OR A HAZARDOUS CHEMICAL IS SPILLED OR DETECTED DURING CONSTRUCTION ACTIVITIES, ALL APPROPRIATE AGENCIES SHALL BE IMMEDIATELY NOTIFIED, INCLUDING, BUT NOT LIMITED TO, THE MINNESOTA DUTY OFFICER AT 800-422-0798.
- CONCRETE WASHOUT AREA**  
PERMITTEES MUST PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS (E.G., CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS) RELATED TO THE CONSTRUCTION ACTIVITY. PERMITTEES MUST PREVENT LIQUID AND SOLID WASHOUT WASTES FROM CONTACTING THE GROUND AND MUST DESIGN THE CONTAINMENT SO IT DOES NOT RESULT IN RUNOFF FROM THE WASHOUT OPERATIONS OR AREAS. PERMITTEES MUST PROPERLY DISPOSE LIQUID AND SOLID WASTES IN COMPLIANCE WITH MPCA RULES. PERMITTEES MUST INSTALL A SIGN INDICATING THE LOCATION OF THE WASHOUT FACILITY.

**POST CONSTRUCTION**  
WHEN THE SITE HAS BEEN COMPLETELY CONSTRUCTED, THE SITE MUST UNDERGO FINAL STABILIZATION. FINAL STABILIZATION OCCURS WHEN ALL OF THE GRADING, INFRASTRUCTURE AND BUILDING ACTIVITIES HAVE BEEN COMPLETED. TO ACHIEVE FINAL STABILIZATION, THE FOLLOWING MEASURES SHALL BE COMPLETED.

- ALL DISTURBED AREAS WITHOUT PERMANENT IMPERVIOUS SURFACES SHALL BE DECOMPACTED AND STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER. AREAS NOT REQUIRING SOD OR EROSION CONTROL BLANKET SHALL BE SEEDED AND MULCHED.
- SEDIMENT FROM CONVEYANCES AND TEMPORARY SEDIMENTATION BASINS THAT ARE TO BE USED AS PERMANENT WATER QUALITY MANAGEMENT BASINS SHALL BE CLEANED OUT. SEDIMENTATION BASINS SHALL BE SUFFICIENTLY CLEANED OUT TO RETURN THE BASIN TO DESIGN CAPACITY. SEDIMENT MUST BE STABILIZED TO PREVENT IT FROM BEING WASHED BACK INTO THE BASIN OR CONVEYANCES DISCHARGING OFF-SITE OR TO SURFACE WATERS.
- WHEN STABILIZED VEGETATION HAS BEEN ESTABLISHED OVER 70 PERCENT OF THE PERVIOUS SURFACE AREA, ALL SYNTHETIC TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED BY THE CONTRACTOR. THIS INCLUDES, BUT IS NOT LIMITED TO, SILT FENCE, TREE FENCE AND CATCH BASIN INLET PROTECTION DEVICES.

**NOTICE OF TERMINATION**  
THE PERMITTEE(S) MUST SUBMIT A NOTICE OF TERMINATION (NOT) TO THE MPCA WITHIN 30 DAYS AFTER FINAL STABILIZATION IS COMPLETE, OR ANOTHER OWNER/OPERATOR (PERMITTEE) HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT UNDERGONE FINAL STABILIZATION.

**INSPECTIONS & RECORD KEEPING**  
STORMWATER POLLUTION PREVENTION INSPECTIONS SHALL OCCUR ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. INSPECTIONS MAY BE CEASED DURING FROZEN GROUND CONDITIONS. WHERE WORK HAS BEEN SUSPENDED DUE TO FROZEN GROUND CONDITIONS, THE REQUIRED INSPECTIONS AND MAINTENANCE MUST TAKE PLACE WITHIN 24 HOURS AFTER RUNOFF OCCURS AT THE SITE OR PRIOR TO RESUMING CONSTRUCTION.

WHICHEVER COMES FIRST DURING THE COURSE OF CONSTRUCTION, IT MAY BE DETERMINED THAT ADDITIONAL STORMWATER POLLUTION PREVENTION MEASURES ARE NEEDED OR CERTAIN MEASURES ARE NOT PRACTICAL TO INSTALL. IN THESE CASES, AN AMENDMENT TO THE SWPPP SHALL BE MADE, AND SUPPORTING REASONS SHALL BE DOCUMENTED IN THE SWPPP.

- RECORD NAME OF INSPECTOR AND DATE AND TIME OF INSPECTION.
- RECORD RAINFALL AMOUNT SINCE MOST RECENT INSPECTION.
- INSPECT ROCK CONSTRUCTION ENTRANCES FOR SEDIMENTATION. INSPECT ADJACENT STREETS FOR SEDIMENT TRACKING.
- INSPECT SITE FOR EXCESSIVE EROSION AND SEDIMENT ACCUMULATION.
  - INSPECT SILT FENCE AND OTHER TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES FOR EROSION, SEDIMENTATION AND MALFUNCTIONING.
  - INSPECT FLARED END SECTIONS FOR EROSION AND SEDIMENTATION.
  - INSPECT PONDS, INFILTRATION BASINS, TEMPORARY SEDIMENTATION BASINS AND ALL OTHER BMP'S FOR EROSION AND SEDIMENTATION.

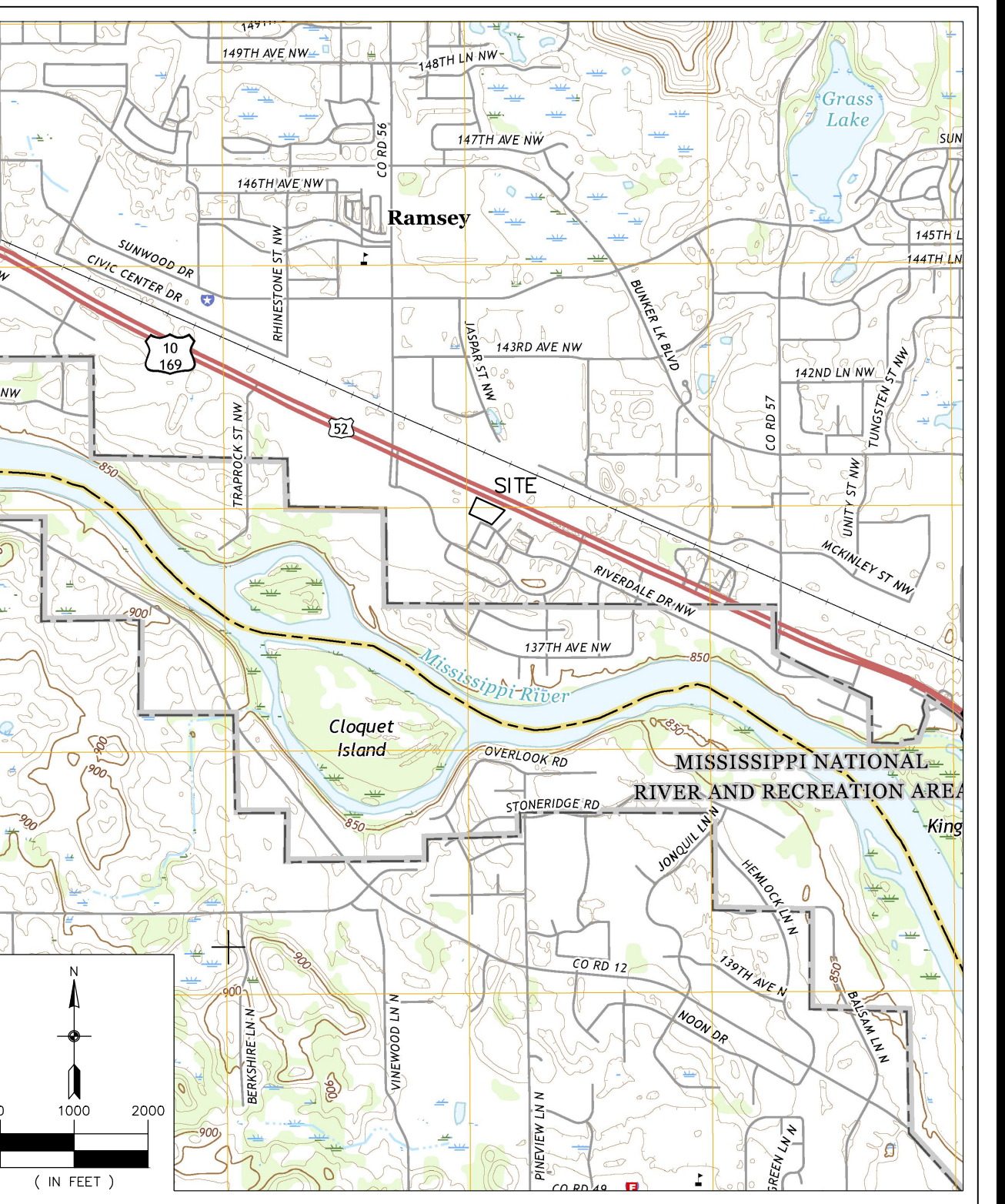
- INSPECT SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS FOR EVIDENCE OF SEDIMENT BEING DEPOSITED BY EROSION.
- INSPECT SITE AND ADJACENT PROPERTIES FOR CONSTRUCTION DEBRIS, TRASH AND SPILLS.
- INSPECT STABILIZED AREAS FOR EROSION.
- RECORD RECOMMENDED REPAIRS, MAINTENANCE AND/OR REPLACEMENTS REQUIRED TO ENSURE EROSION AND SEDIMENTATION CONTROL MEASURES ARE SUFFICIENT.
- RECORD RECOMMENDED AMENDMENTS TO THE SWPPP.
- RECORD REPAIRS, MAINTENANCE AND/OR REPLACEMENTS THAT WERE COMPLETED SINCE THE LAST INSPECTION.

**MAINTENANCE**  
THE OWNER/CONTRACTOR IS RESPONSIBLE FOR THE OPERATION, INSPECTION AND MAINTENANCE OF ALL STORMWATER POLLUTION PREVENTION MEASURES FOR THE DURATION OF THE PROJECT. THE FOLLOWING GUIDELINES SHALL BE USED TO DETERMINE NECESSARY REPAIRS, MAINTENANCE AND/OR REPLACEMENT OF THE EROSION AND SEDIMENTATION CONTROL MEASURES.

- ROCK CONSTRUCTION ENTRANCES SHALL BE REPAIRED OR REPLACED IF THE ROCK BECOMES INUNDATED WITH SEDIMENT AND/OR EXCESSIVE SEDIMENT IS BEING TRACKED FROM THE SITE. SEDIMENT TRACKED ONTO ADJACENT STREETS SHALL BE REMOVED. MEASURES SHALL BE TAKEN IMMEDIATELY UPON DISCOVERY.
- SILT FENCE SHALL BE REPAIRED OR REPLACED WHEN SEDIMENT REACHES 1/3 THE HEIGHT OF THE SILT FENCE, THE SILT FENCE IS DAMAGED AND/OR THE SILT FENCE BECOMES NONFUNCTIONAL. MEASURES SHALL BE TAKEN WITHIN 24 HOURS OF DISCOVERY.
- CATCH BASIN INLET PROTECTION DEVICES SHALL BE CLEANED WHEN SEDIMENT REACHES 1/2 THE HEIGHT OF THE SEDIMENT TRAP AND/OR REPAIRED OR REPLACED IF THE DEVICE BECOMES NONFUNCTIONAL. MEASURES SHALL BE TAKEN WITHIN 72 HOURS OF DISCOVERY.
- FLARED END SECTIONS SHALL BE CLEANED IF DEBRIS IS RESTRICTING FLOW OR IF SEDIMENT HAS ACCUMULATED AT THE OUTLET. IF A FLARED END SECTION BECOMES NONFUNCTIONAL OR DAMAGED, IT SHALL BE REPAIRED OR REPLACED. MEASURES SHALL BE TAKEN WITHIN 72 HOURS OF DISCOVERY.
- IF SEDIMENT IS OBSERVED OFF-SITE OR NEAR SURFACE WATERS, THE SOURCE OF SEDIMENT SHALL BE DETECTED AND ADDITIONAL MEASURES SHALL BE IMPLEMENTED. THE PERMITTEE(S) SHALL COORDINATE SEDIMENT RETRIEVAL FROM SURFACE WATERS WITH ALL APPROPRIATE AGENCIES. MEASURES SHALL BE TAKEN WITHIN 7 DAYS OF DISCOVERY.
- PONDS, INFILTRATION BASINS, TEMPORARY SEDIMENTATION BASINS AND ALL OTHER BMP'S SHALL BE CLEANED IF DEBRIS IS PRESENT AND/OR EXCESSIVE SEDIMENTATION HAS OCCURRED. TEMPORARY AND PERMANENT SEDIMENTATION BASINS MUST BE DRAINED AND THE SEDIMENT REMOVED WHEN SEDIMENT HAS FILLED THE BASIN TO 1/2 THE STORAGE VOLUME. NO SEDIMENT SHALL BE ALLOWED TO ACCUMULATE IN INFILTRATION BASINS. MEASURES SHALL BE TAKEN WITHIN 72 HOURS OF DISCOVERY.

**QUANTITIES**  
THE FOLLOWING TABLE PROVIDES ESTIMATED QUANTITIES FOR STORMWATER POLLUTION PREVENTION THROUGHOUT THE PROJECT.

ITEM	UNIT	ESTIMATED QUANTITY
ROCK ENTRANCE	EA.	1
SILT FENCE/BIO-ROLLS	LF.	1,350
INLET PROTECTION	EA.	13
EROSION CONTROL BLANKET	S.Y.	AS NEEDED
RIPRAP CL3	C.Y.	10
TURF ESTABLISHMENT	AC.	2.0



**Carlson McCain**  
ENVIRONMENTAL - ENGINEERING - SURVEYING  
3890 Pheasant Ridge Dr. NE #100, Blaine, MN  
Phone: 763-489-7900 Fax: 763-489-7959

**STORMWATER POLLUTION PREVENTION PLAN**  
**SUITE LIVING SENIOR CARE OF RAMSEY**  
Ramsey, Minnesota

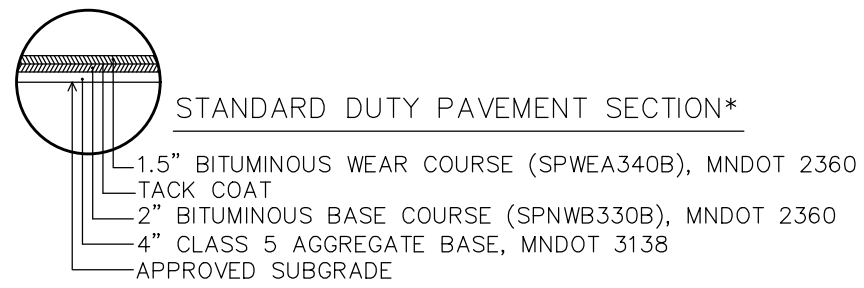
**HAMPTON COMPANIES**  
3570 Lexington Avenue N, Suite 321  
Shoreview, MN 55126

**REVISIONS**  
1. \_\_\_\_\_  
DRAWN BY: JTR  
DESIGNED BY: JTR  
ISSUE DATE: 06/06/19

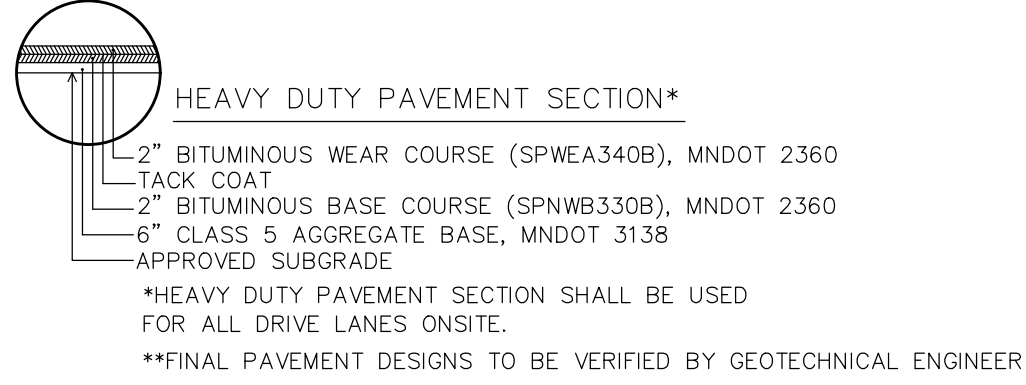
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota

Name: Joseph T. Radach, PE  
Signature: *Joe T. Radach*  
Date: 06/06/19 License #: 45889

C6 of 8



STANDARD DUTY PAVEMENT SECTION\*  
 1.5" BITUMINOUS WEAR COURSE (SPWEA340B), MNDOT 2360  
 TACK COAT  
 2" BITUMINOUS BASE COURSE (SPNWB330B), MNDOT 2360  
 4" CLASS 5 AGGREGATE BASE, MNDOT 3138  
 APPROVED SUBGRADE  
 \*STANDARD DUTY PAVEMENT SECTION SHALL BE USED FOR ALL PARKING AREAS ONSITE.  
 \*\*FINAL PAVEMENT DESIGNS TO BE VERIFIED BY GEOTECHNICAL ENGINEER



HEAVY DUTY PAVEMENT SECTION\*  
 2" BITUMINOUS WEAR COURSE (SPWEA340B), MNDOT 2360  
 TACK COAT  
 2" BITUMINOUS BASE COURSE (SPNWB330B), MNDOT 2360  
 6" CLASS 5 AGGREGATE BASE, MNDOT 3138  
 APPROVED SUBGRADE  
 \*HEAVY DUTY PAVEMENT SECTION SHALL BE USED FOR ALL DRIVE LANES ONSITE.  
 \*\*FINAL PAVEMENT DESIGNS TO BE VERIFIED BY GEOTECHNICAL ENGINEER

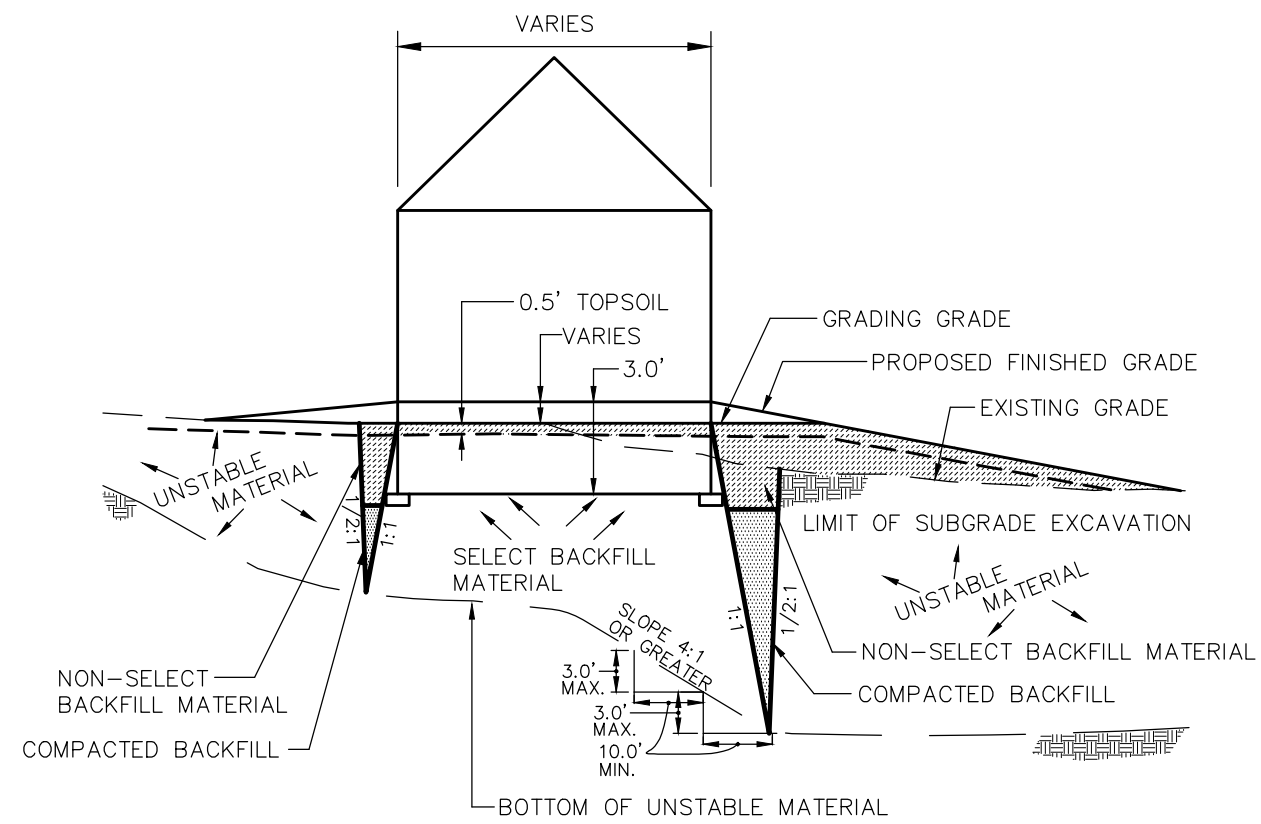
**1 | PAVEMENT SECTION**  
 C7 | NO SCALE

- TURF ESTABLISHMENT SHALL APPLY TO ALL DISTURBED AREAS AND SHALL BE ACCORDING TO MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION (LATEST EDITION) EXCEPT AS MODIFIED BELOW.
- TURF ESTABLISHMENT SHALL OCCUR AS SOON AS POSSIBLE BUT IN NO CASE MORE THAN 7 DAYS.
- SEED: MNDOT MIXTURE 25-141 AT 60 POUNDS PER ACRE.
- DORMANT SEED: SHALL BE APPLIED AT TWICE THE NORMAL RATE AFTER NOVEMBER 1ST.
- MULCH: TYPE 1 AT 2 TONS PER ACRE (DISK ANCHORED).
- FERTILIZER: TYPE 10-10-10 AT 200 POUNDS PER ACRE.

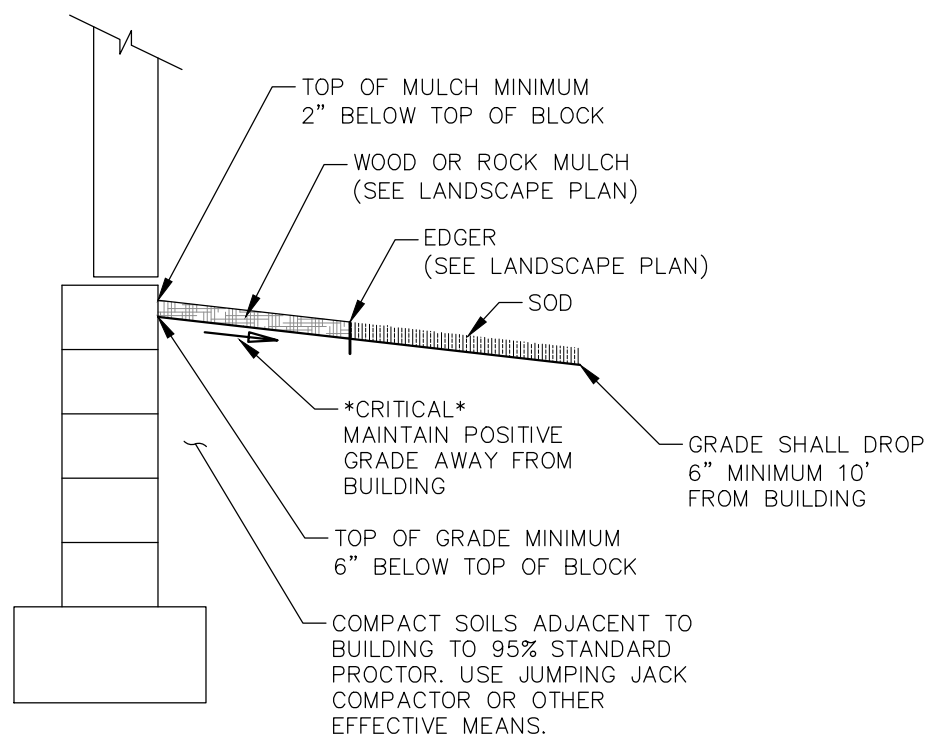
**2 | TURF ESTABLISHMENT**  
 C7 | NO SCALE

- ALL SUBGRADE IS TO BE COMPACTED TO THE RECOMMENDATIONS OF THE GEOTECHNICAL EVALUATION REPORT PRIOR TO PLACEMENT OF TOPSOIL.
- COMPACTION MUST BE MAINTAINED UP TO THE BUILDING FOUNDATION PERIMETER PER THE RECOMMENDATIONS OF THE GEOTECHNICAL EVALUATION REPORT. IN NO CASE SHALL COMPACTION BE LESS THAN 95% STANDARD PROCTOR ADJACENT TO THE BUILDING PERIMETER.
- SUBGRADE SHALL BE COMPACTED SO THAT TOPSOIL SHALL NOT EXCEED A MAXIMUM OF 6 INCHES. IN NO CASE SHALL GREATER THAN 6 INCHES OF TOPSOIL BE PLACED WITHIN 10 FEET OF THE BUILDING PERIMETER.
- DURING FINAL GRADING & PRIOR TO PLACING TOPSOIL WITHIN 4 FEET OF THE BUILDING PERIMETER, USE A JUMPING JACK COMPACTOR OR OTHER EFFECTIVE MEANS TO RECOMPACT THE SOILS ADJACENT TO THE BUILDING TO PREVENT SETTLING.

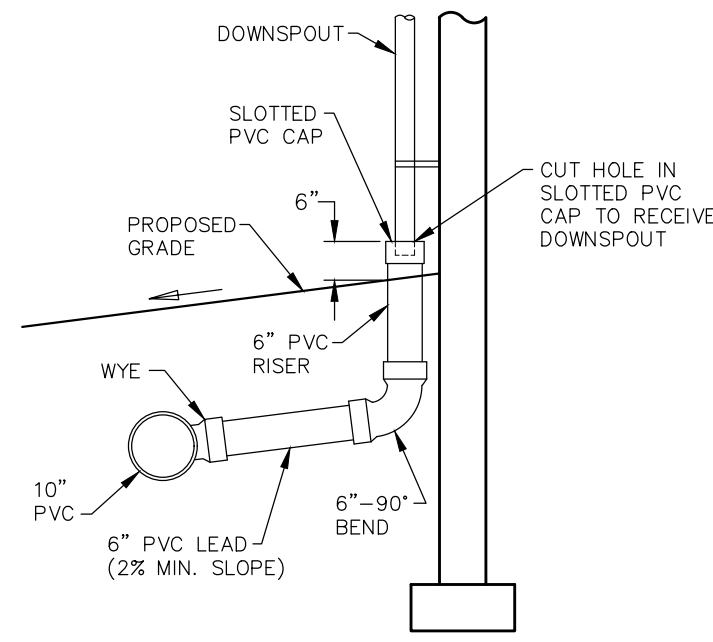
**3 | SPECIAL GRADING NOTES**  
 C7 | NO SCALE



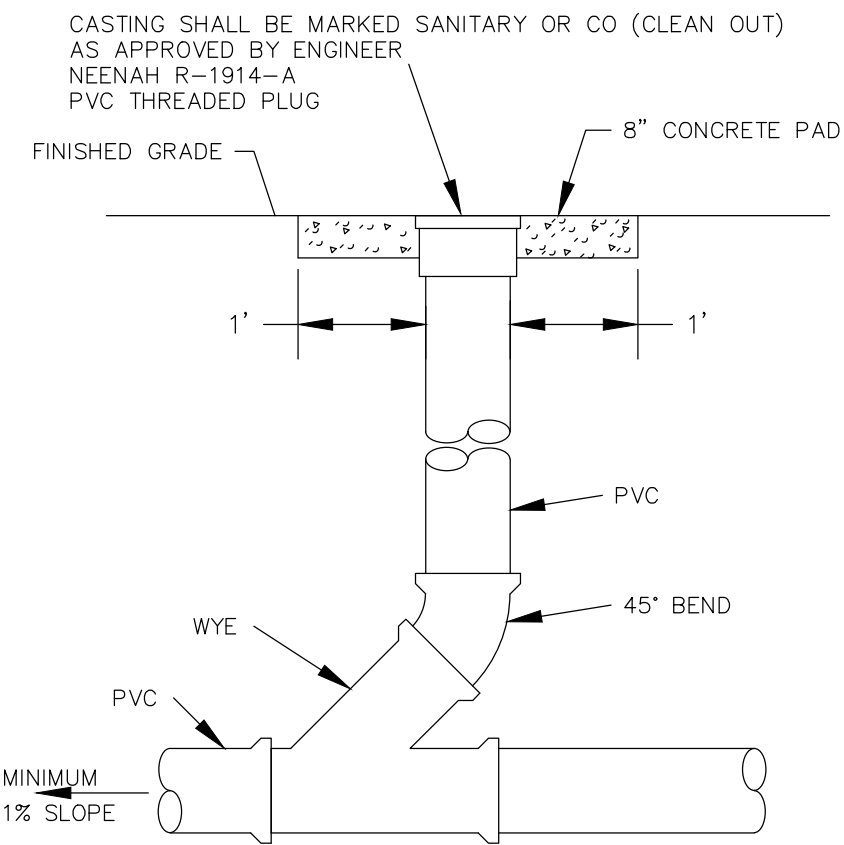
**4 | SUBGRADE CORRECTION**  
 C7 | NO SCALE



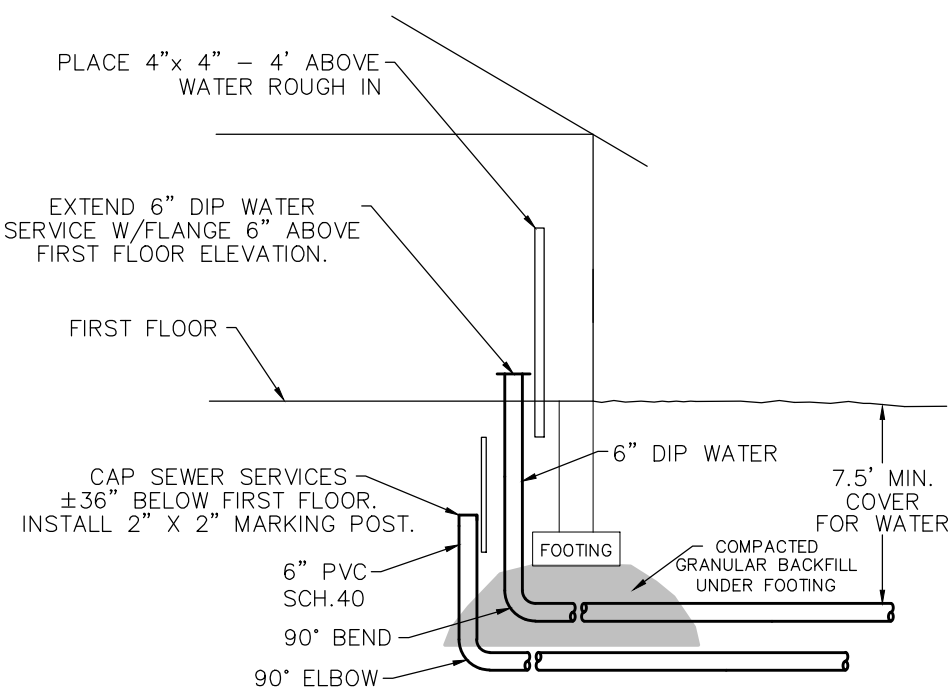
**5 | TYPICAL GRADING AT BUILDING**  
 C7 | NO SCALE



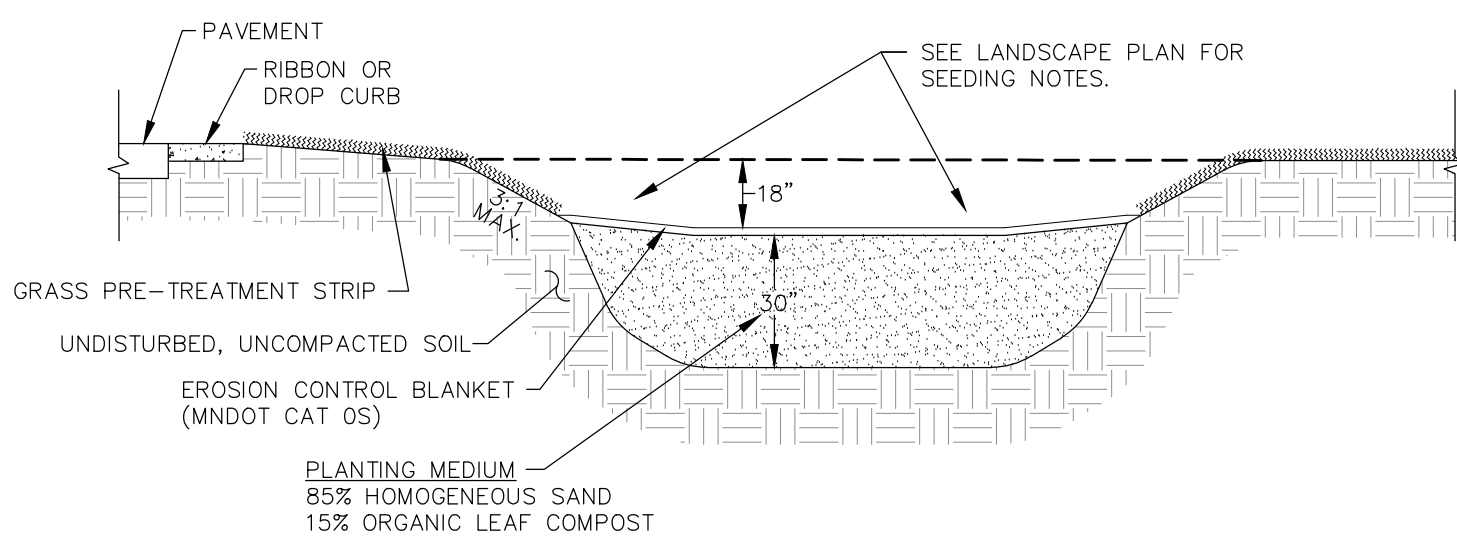
**6 | DOWNSPOUT CONNECTION**  
 C7 | NO SCALE



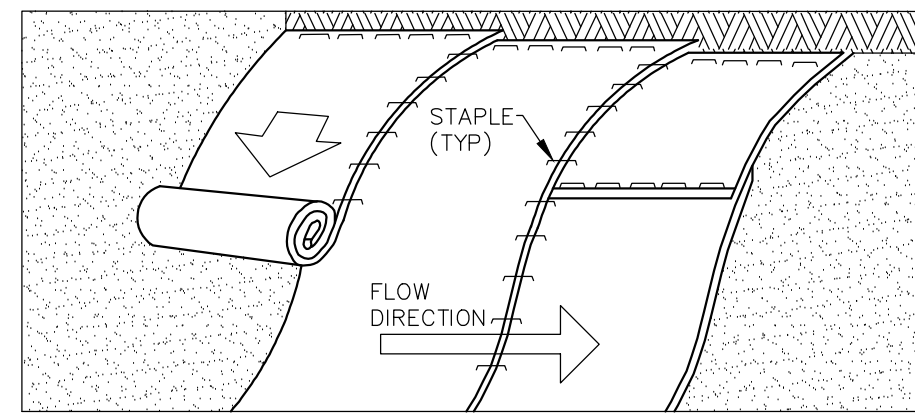
**7 | SERVICE CLEAN OUT**  
 C7 | NO SCALE



**8 | UTILITY SERVICE CONNECTIONS**  
 C7 | NO SCALE

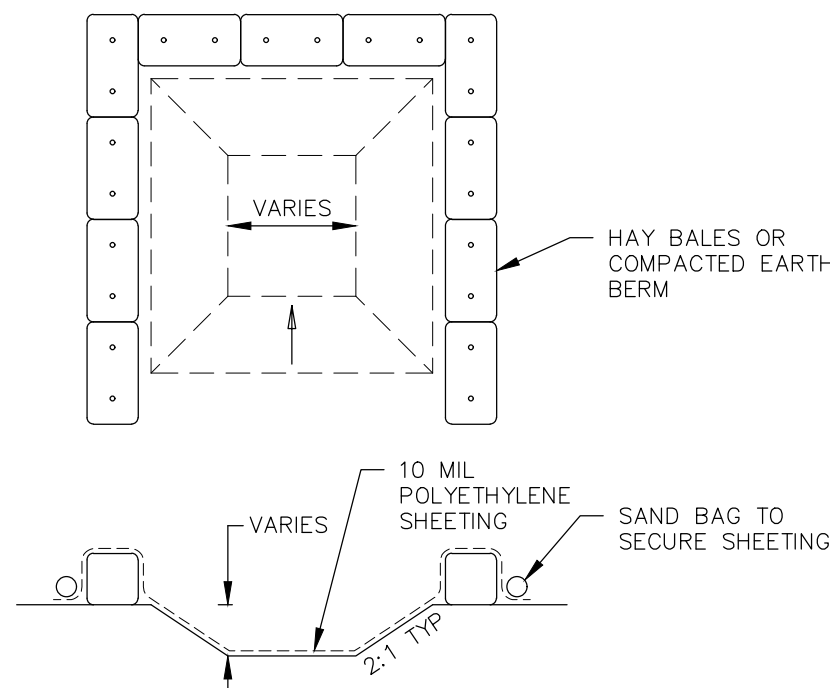


**9 | INFILTRATION BASIN**  
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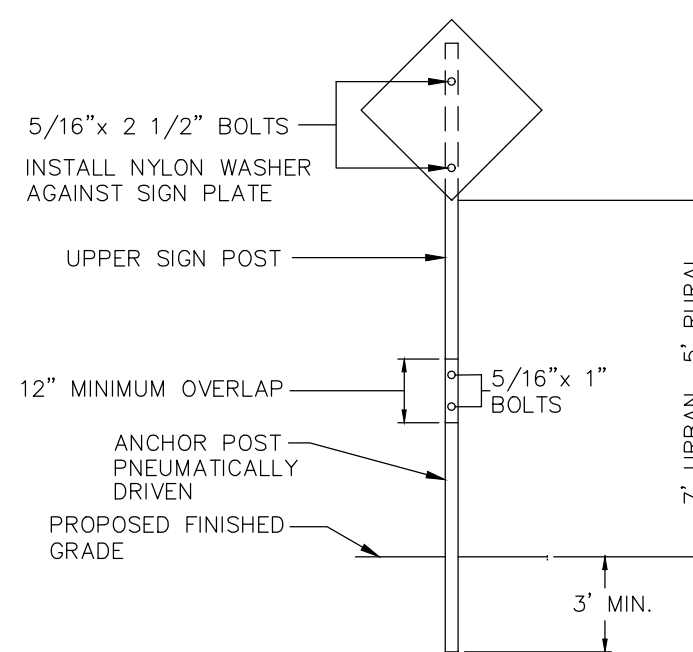
- NOTES:
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER AND/OR SEED.
  - BEGIN AT THE TOP OF THE SLOPE (OR CHANNEL) BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
  - ROLL THE BLANKETS DOWN (STARTING DOWNSTREAM PROCEEDING UPSTREAM) HORIZONTALLY ACROSS THE SLOPE.
  - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH A MINIMUM 4" OVERLAP.
  - WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH MINIMUM 6" OVERLAP. USE A DOUBLE ROW OF STAGGERED STAPLES 4" APART TO SECURE BLANKETS.
  - IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A ROW OF STAPLES 4" APART OVER ENTIRE WIDTH OF THE CHANNEL. PLACE A SECOND ROW 4" BELOW THE FIRST ROW IN A STAGGERED PATTERN.
  - THE TERMINAL ENDS OF THE BLANKETS MUST BE ANCHORED IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

**10 | EROSION CONTROL BLANKET**  
 C7 | NO SCALE



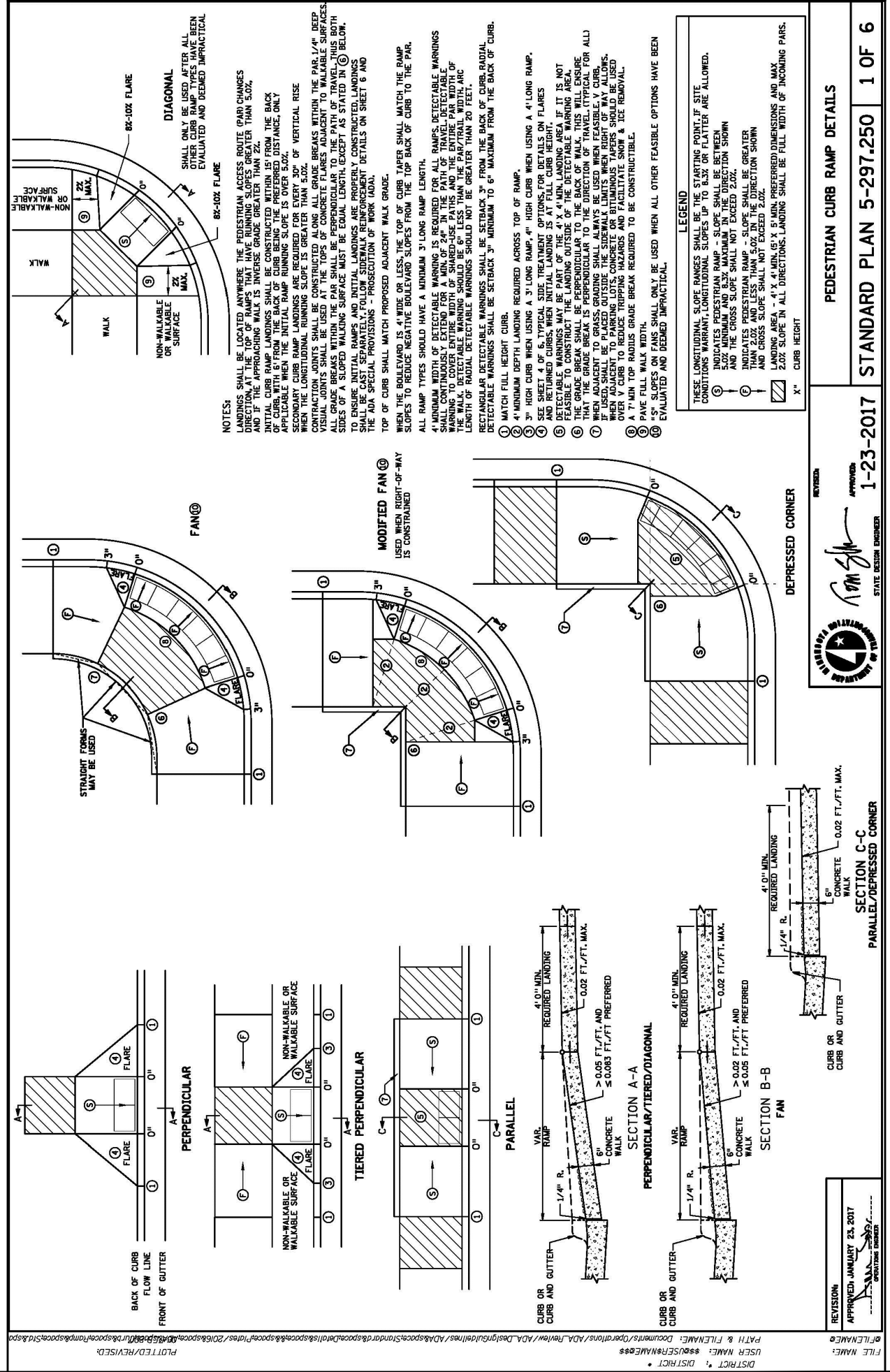
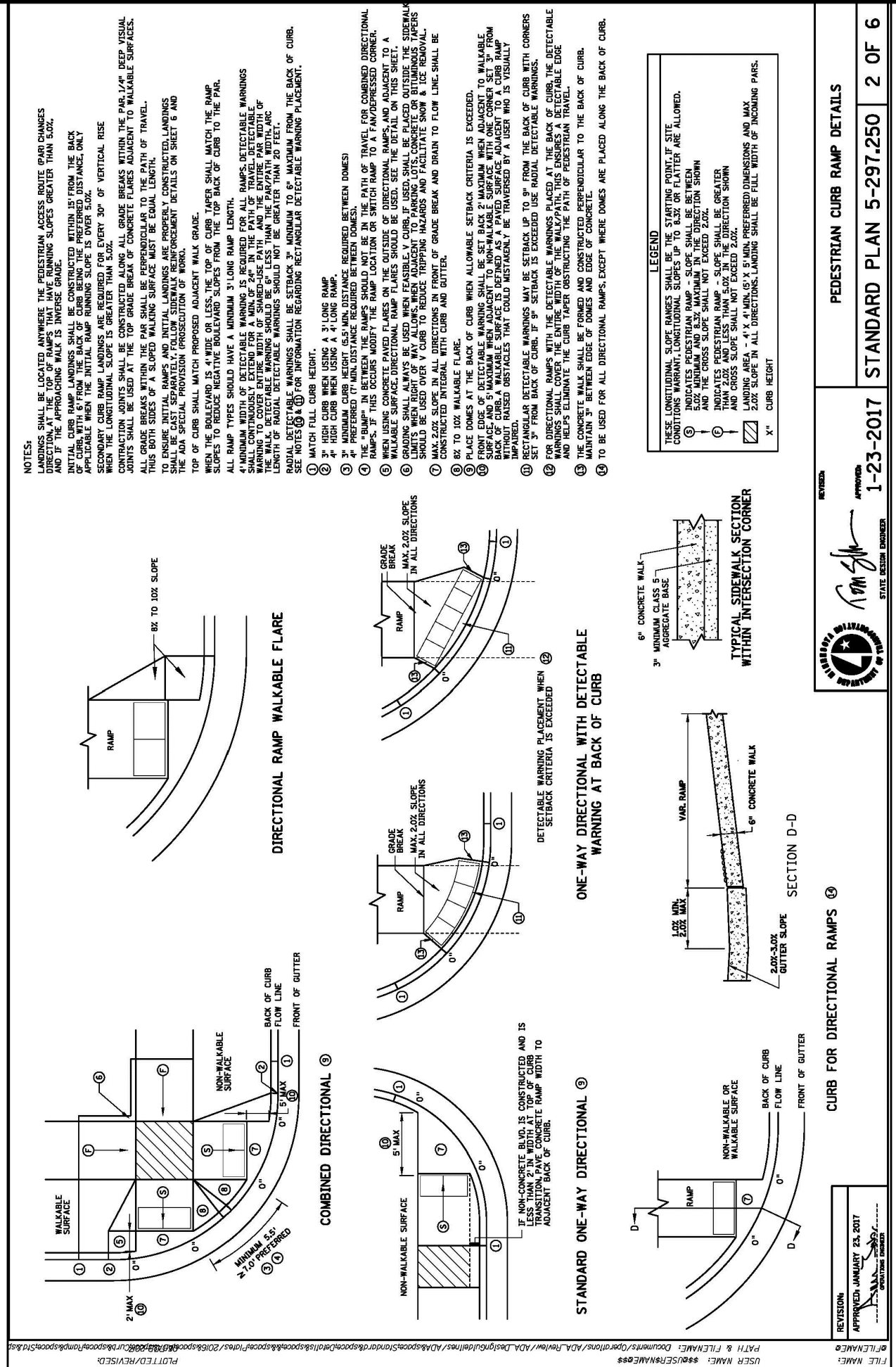
- NOTES:
- THE WASHOUT MUST HAVE SUFFICIENT VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
  - LIQUID AND SOLID WASHOUT WASTE SHALL NOT CONTACT THE GROUND.
  - LIQUID AND SOLID WASHOUT WASTE SHALL BE DISPOSED OF IN COMPLIANCE WITH MPCA RULES.
  - A SIGN SHALL BE INSTALLED INDICATING THE LOCATION OF THE WASHOUT FACILITY.

**11 | CONCRETE WASHOUT**  
 C7 | NO SCALE



- NOTES:
- MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH CITY SPECIFICATIONS.
  - SIGN PANELS-REFLECTIVE SHEETING, VIP DIAMOND GRADE.
  - BOLTS SHALL BE TAMPER PROOF.
  - FLANGED CHANNEL SIGN POSTS SHALL BE PAINTED GREEN, 3 LB./L.F. AND 7" LONG.
  - SIGNS INSTALLED IN CONCRETE SHALL HAVE AN APPROVED BREAK-AWAY DEVICE.
  - EDGE OF SIGN SHALL BE MINIMUM 18" FROM BACK OF CURB.

**12 | TRAFFIC SIGN INSTALLATION**  
 C7 | NO SCALE

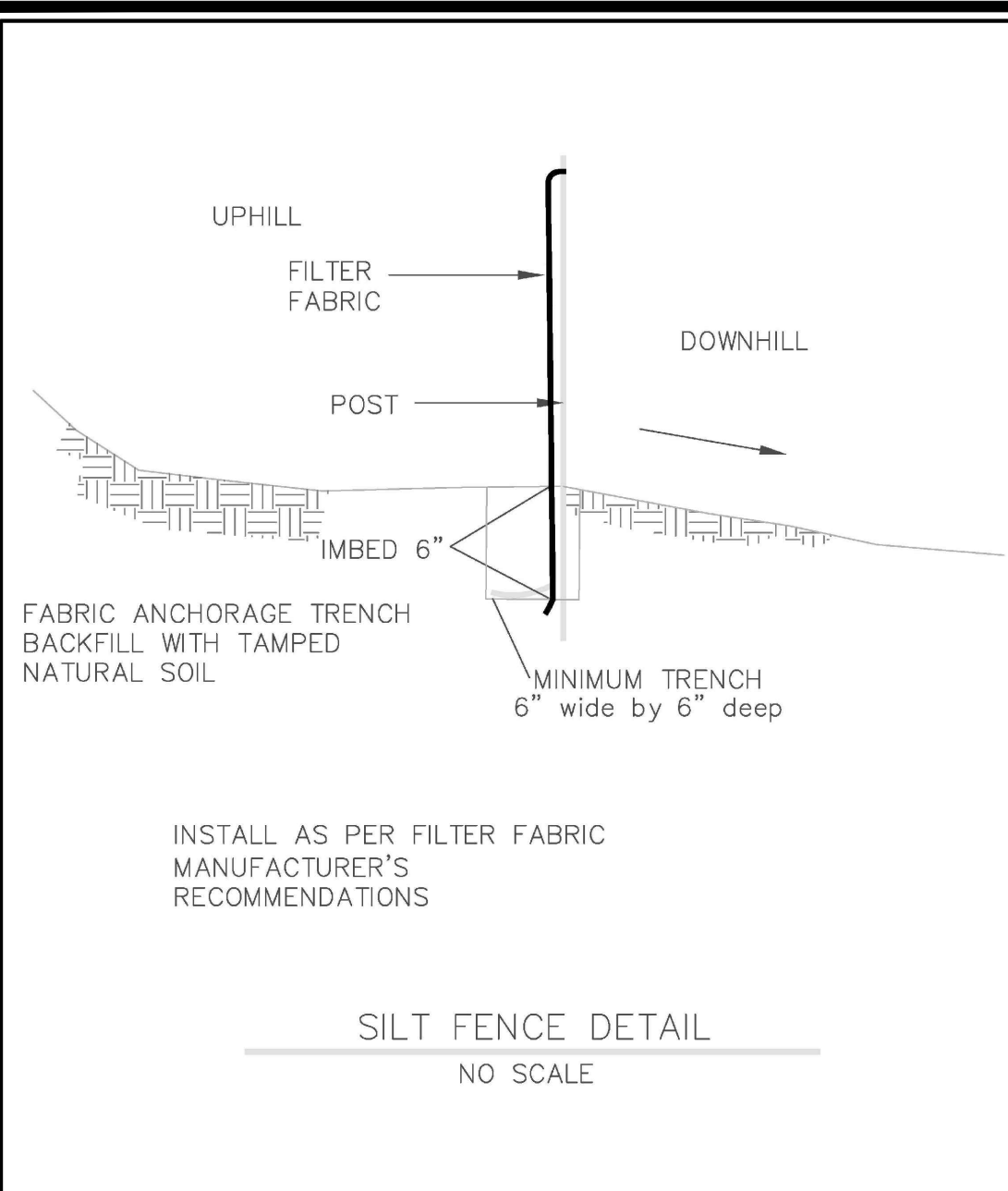


**Carlson McCain**  
 ENVIRONMENTAL - ENGINEERING - SURVEYING  
 3890 Pheasant Ridge Dr. NE #100, Blaine, MN  
 Phone: 763-489-7900 Fax: 763-489-7959

**DETAILS**  
**SUITE LIVING SENIOR CARE OF RAMSEY**  
 Ramsey, Minnesota

**HAMPTON COMPANIES**  
 3570 Lexington Avenue N, Suite 321  
 Shoreview, MN 55126

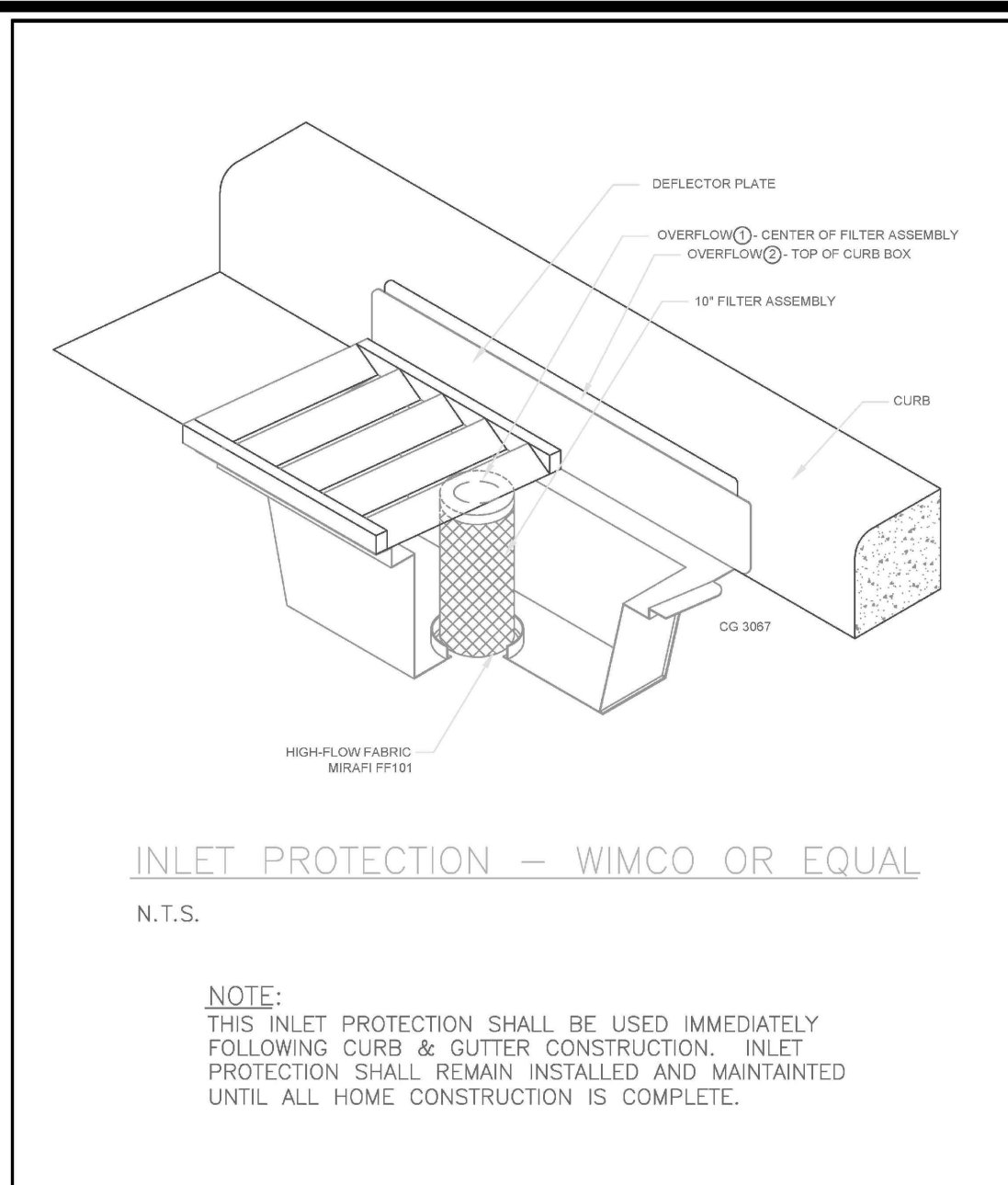
REVISIONS  
 1.  
 DRAWN BY: JTR  
 DESIGNED BY: JTR  
 ISSUE DATE: 06/06/19  
 I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota  
 Name: Joseph T. Radach, PE  
 Signature: JTR  
 Date: 06/06/19 License #: 45889  
 C7 of 8



APPROVED: 1 - 2016

**City of RAMSEY**

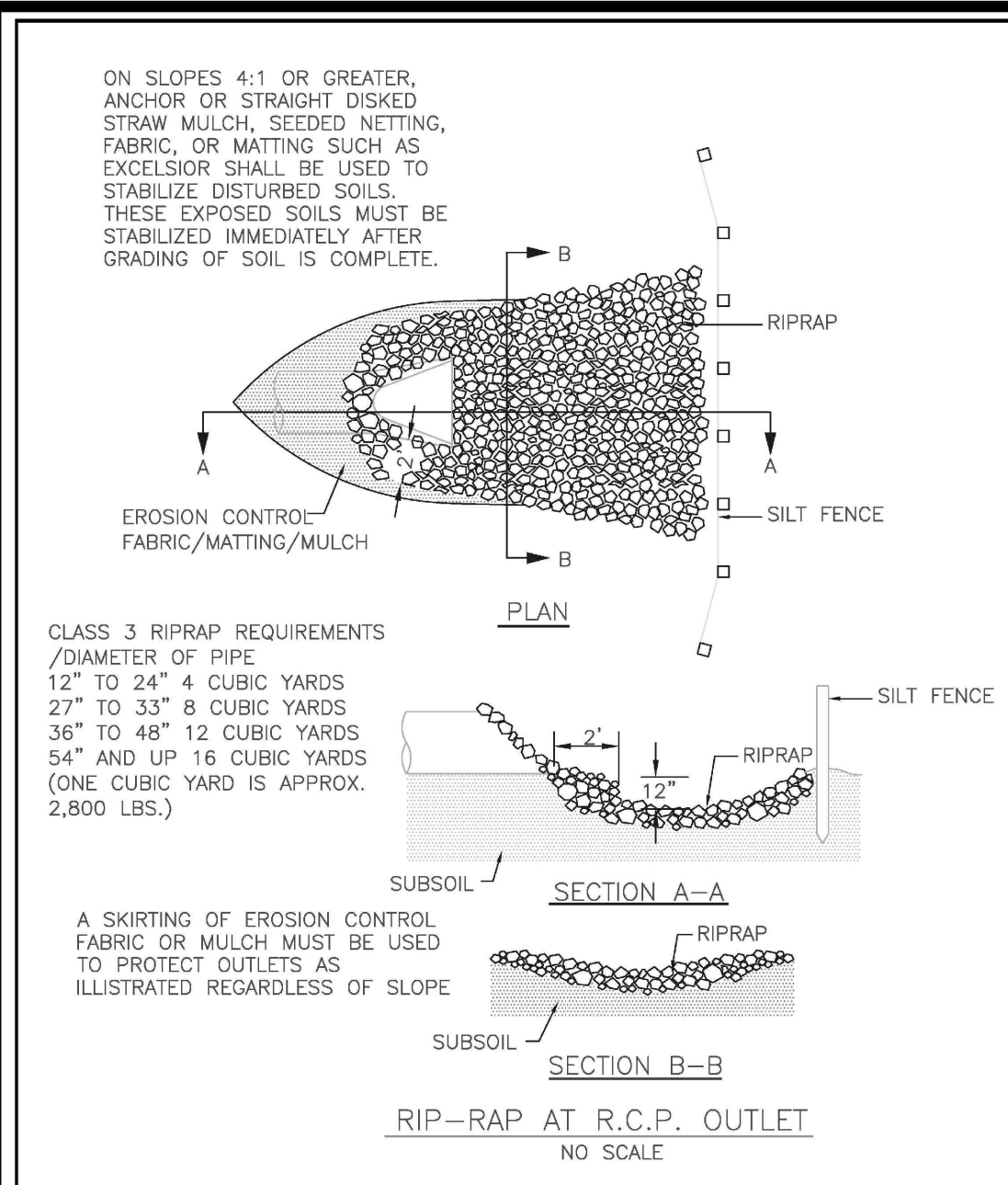
STANDARD DETAILS: SILT FENCE  
CITY PLATE No. ERO-1



APPROVED: 1 - 2016

**City of RAMSEY**

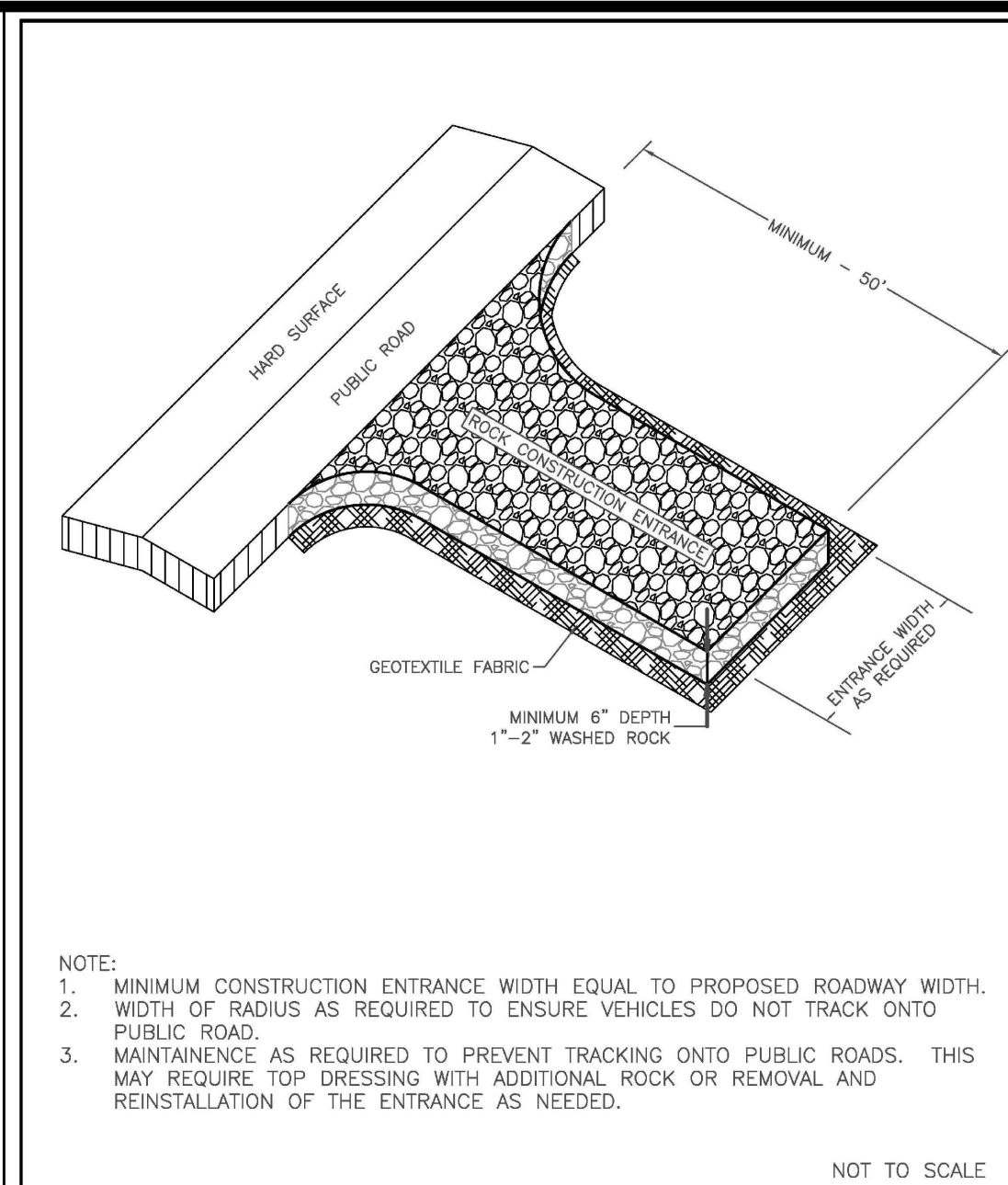
STANDARD DETAILS: INLET PROTECTION  
CITY PLATE No. ERO-2



APPROVED: 1 - 2016

**City of RAMSEY**

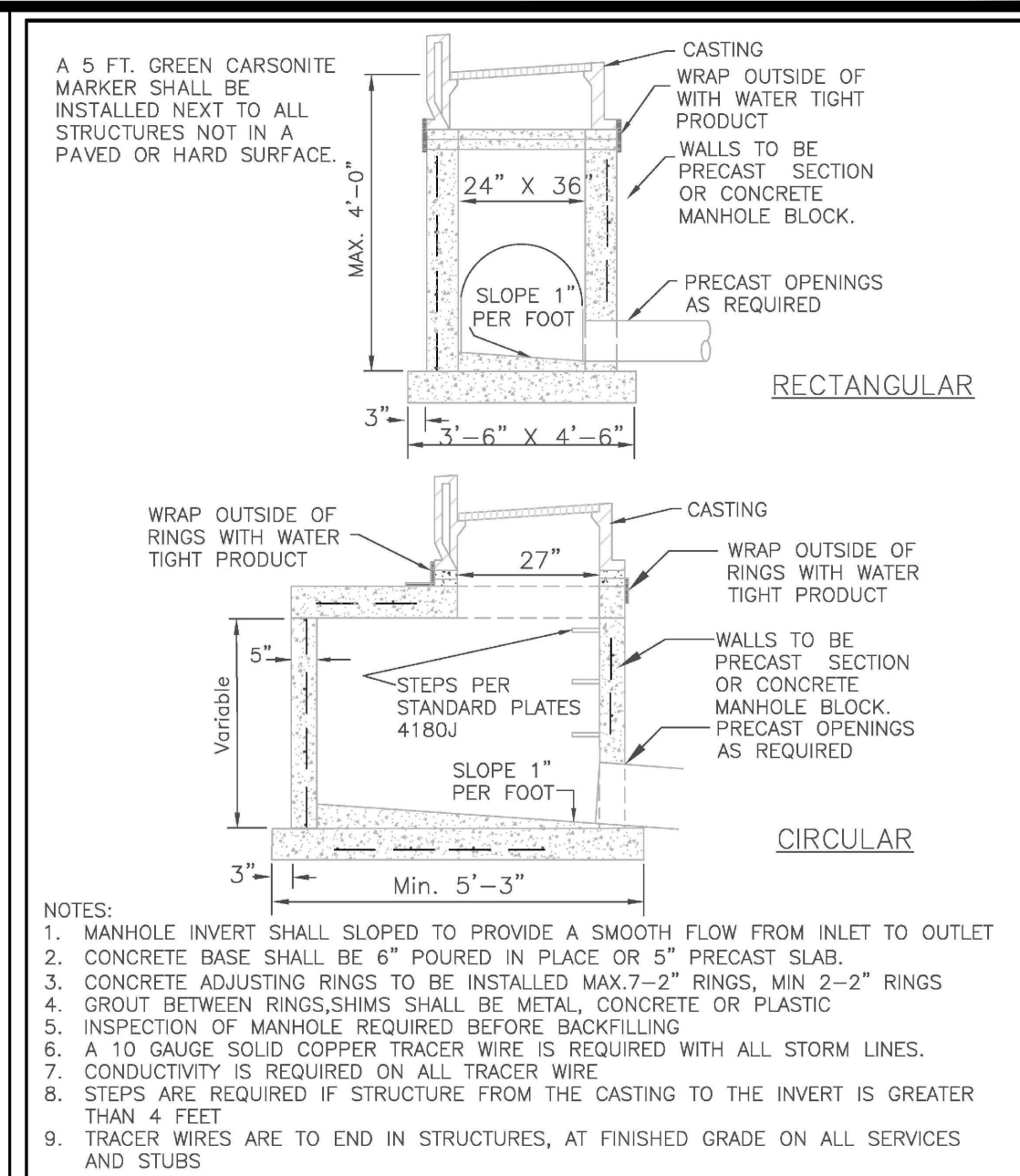
STANDARD DETAILS: RIP-RAP  
CITY PLATE No. ERO-3



APPROVED: 1 - 2016

**City of RAMSEY**

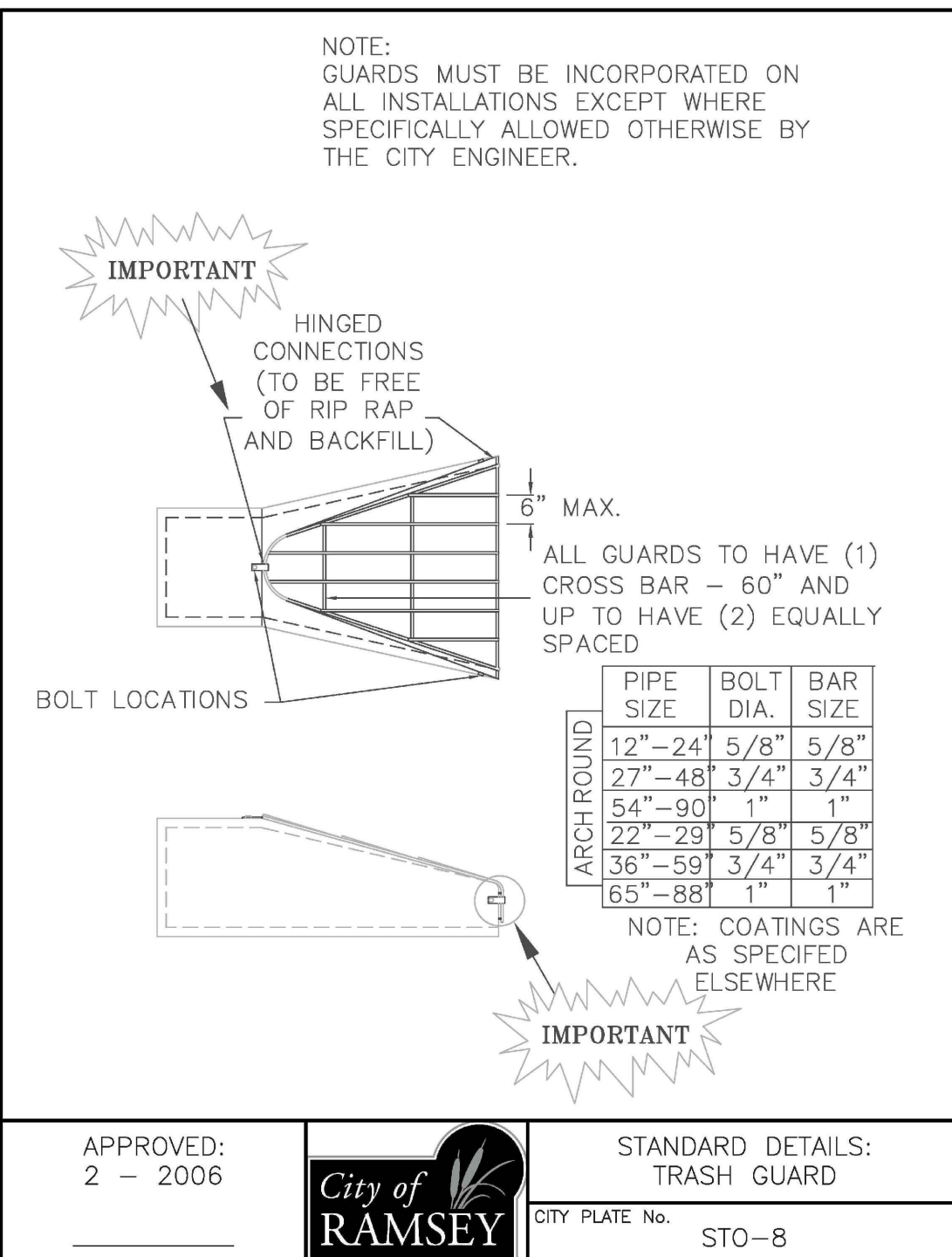
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CITY PLATE No. ERO-5



APPROVED: 4 - 2007

**City of RAMSEY**

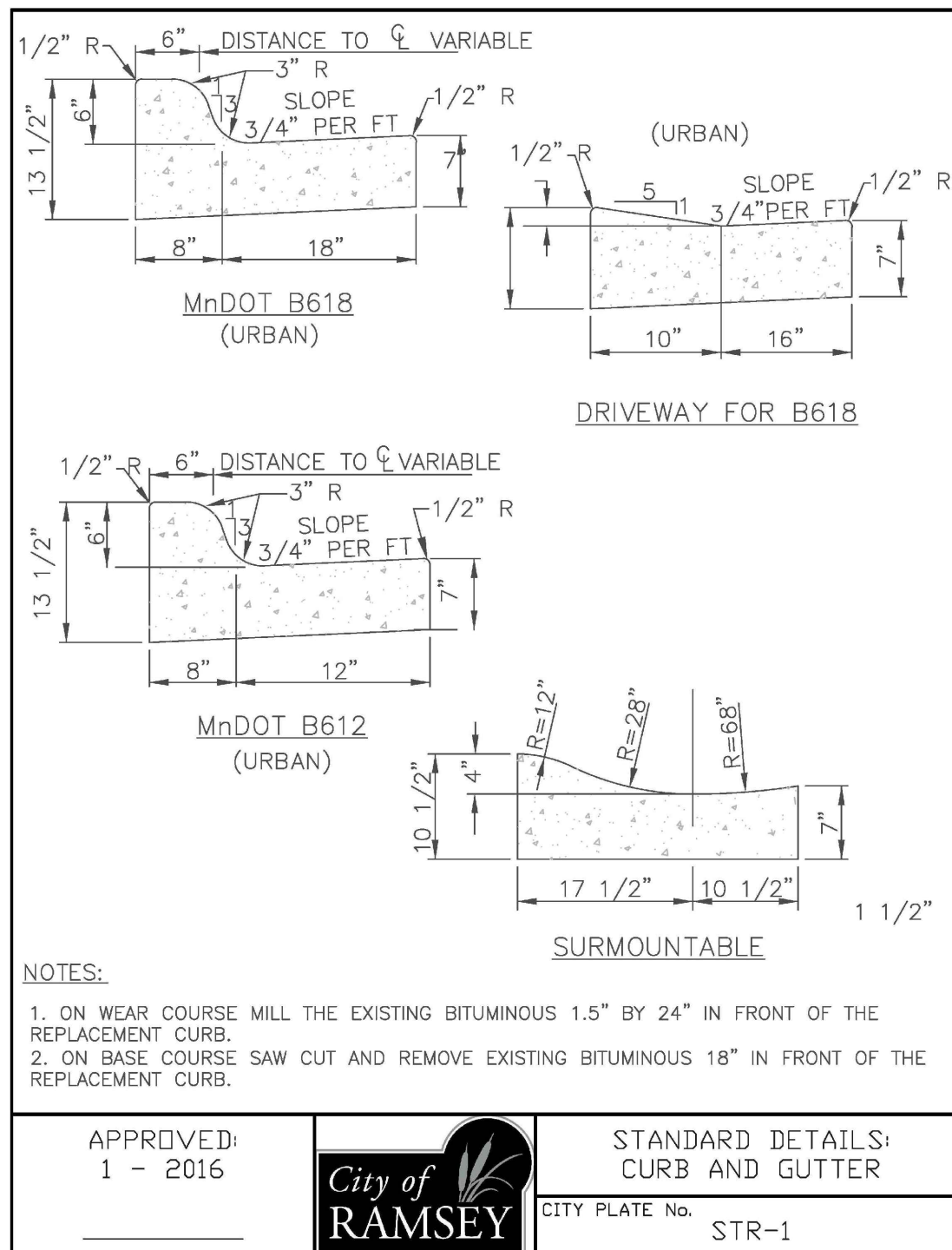
STANDARD DETAILS: CATCH BASIN  
CITY PLATE No. STO-1



APPROVED: 2 - 2006

**City of RAMSEY**

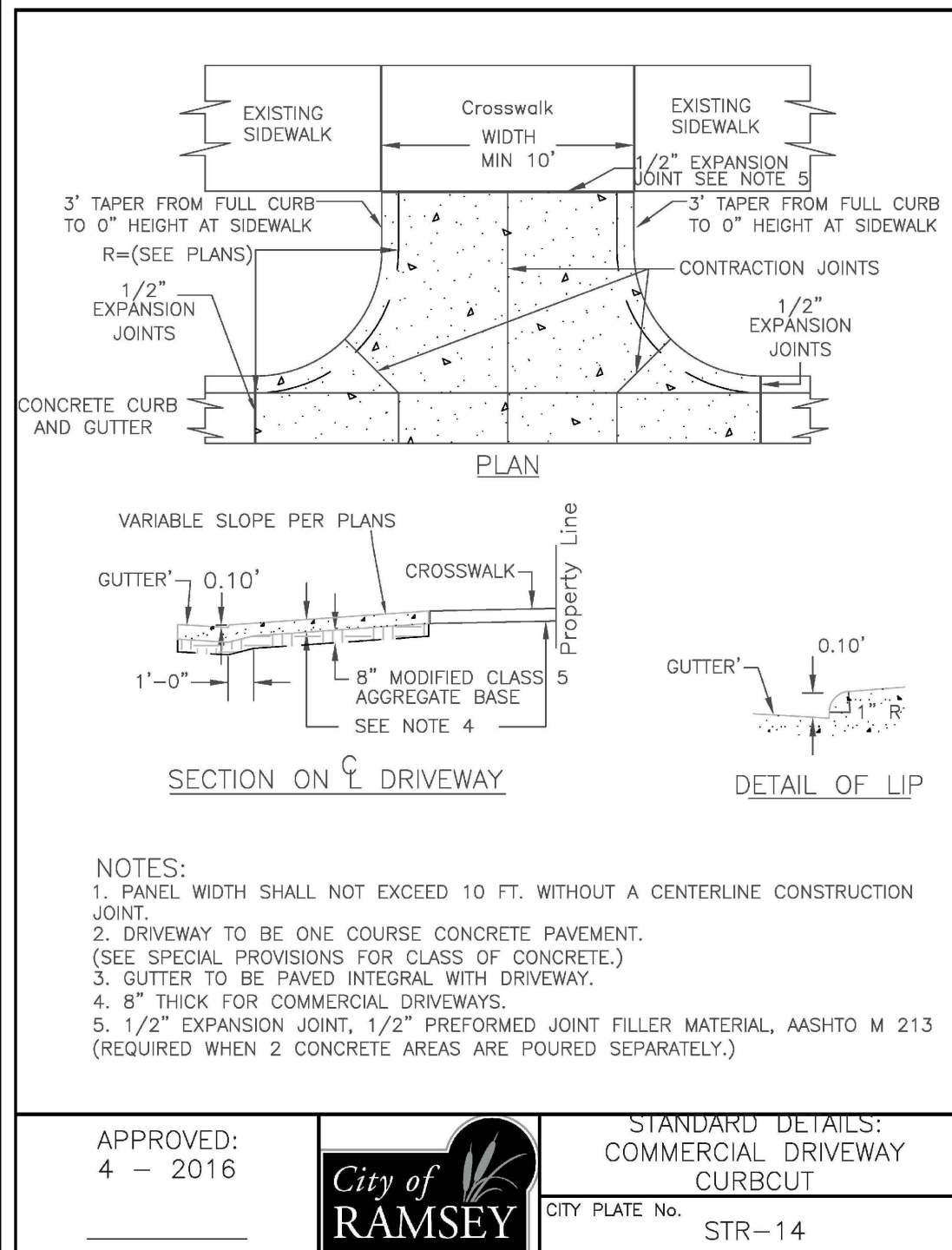
STANDARD DETAILS: TRASH GUARD  
CITY PLATE No. STO-8



APPROVED: 1 - 2016

**City of RAMSEY**

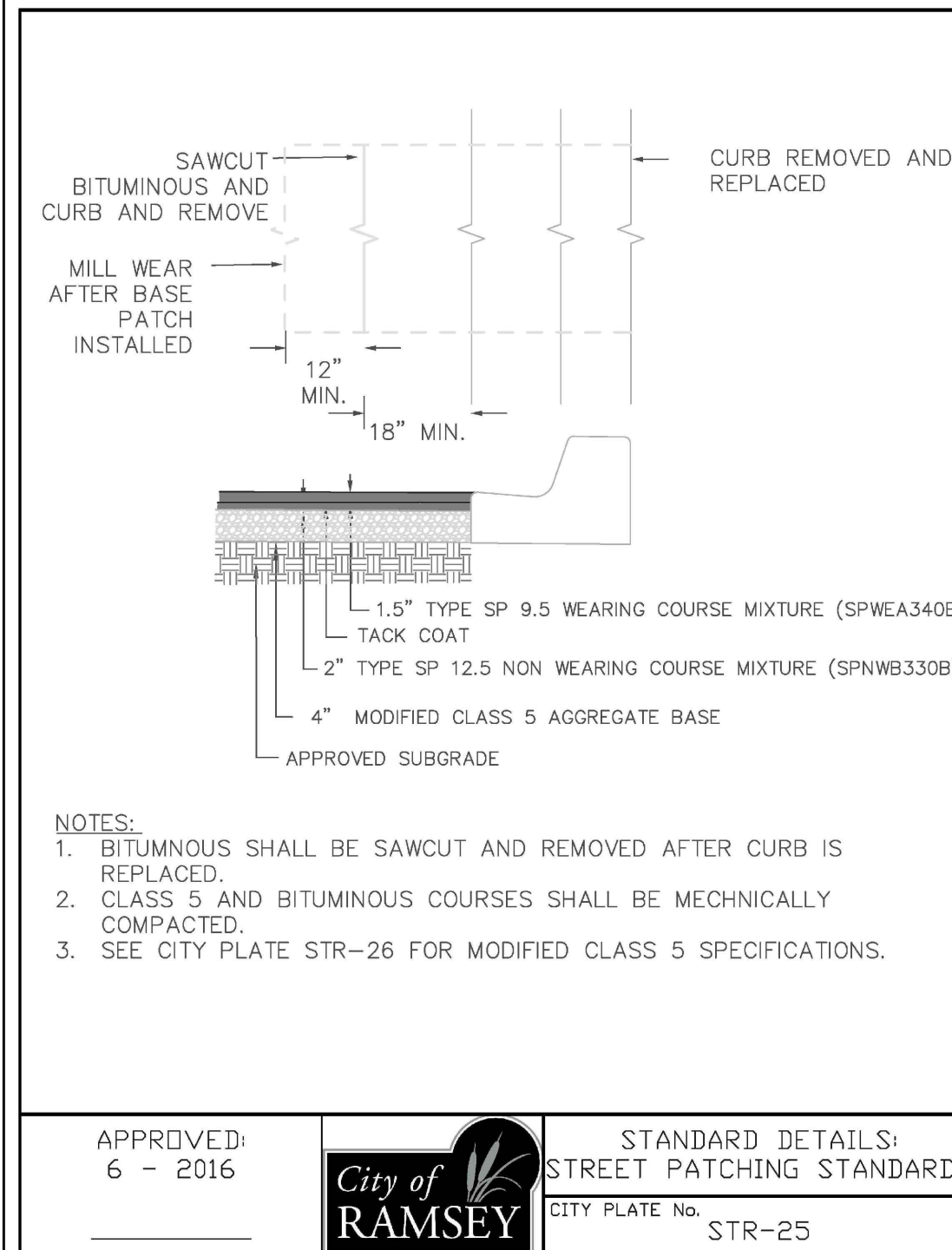
STANDARD DETAILS: CURB AND GUTTER  
CITY PLATE No. STR-1



APPROVED: 4 - 2016

**City of RAMSEY**

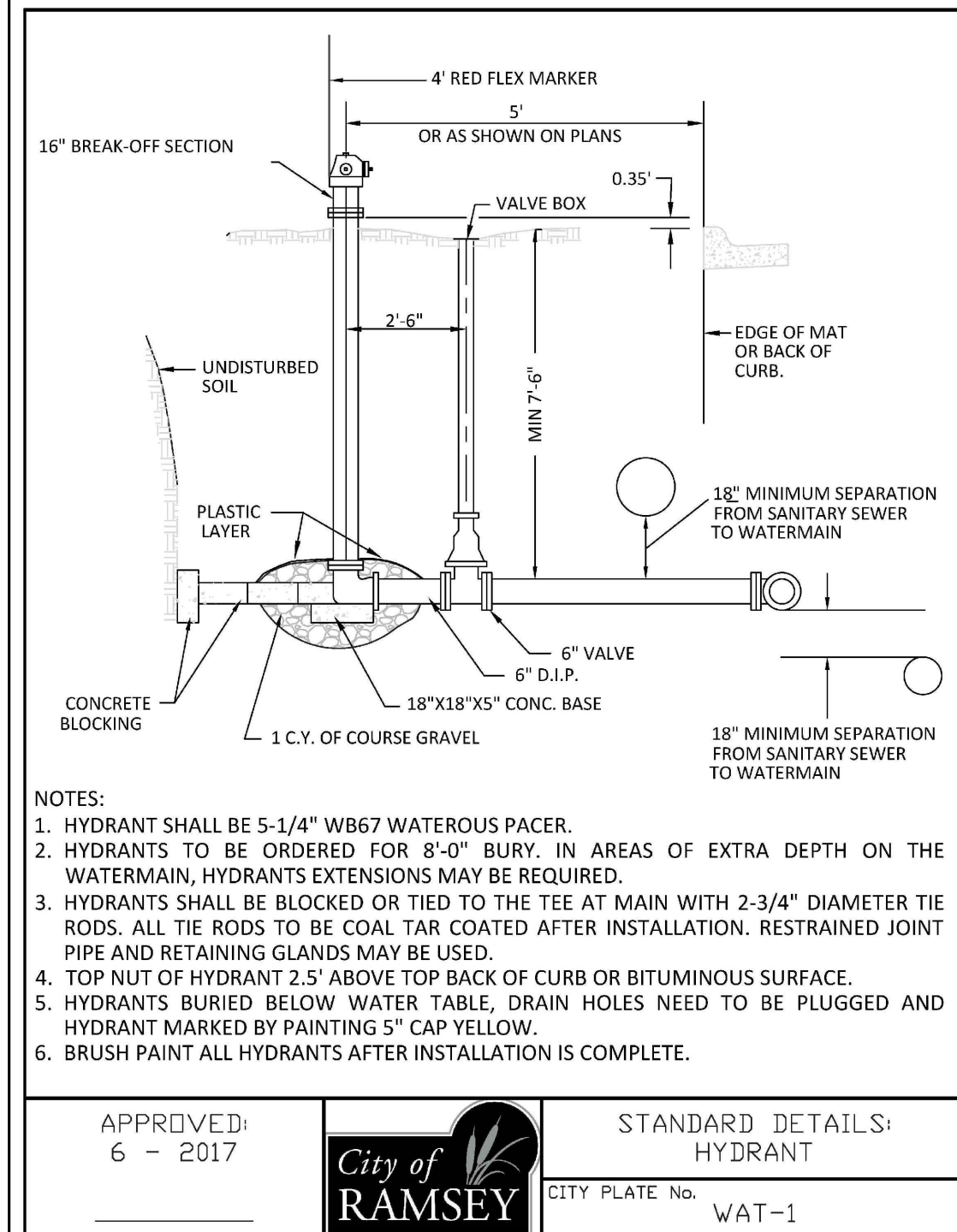
STANDARD DETAILS: COMMERCIAL DRIVEWAY CURB CUT  
CITY PLATE No. STR-14



APPROVED: 6 - 2016

**City of RAMSEY**

STANDARD DETAILS: STREET PATCHING STANDARDS  
CITY PLATE No. STR-25



APPROVED: 6 - 2017

**City of RAMSEY**

STANDARD DETAILS: HYDRANT  
CITY PLATE No. WAT-1

**Carlson McCain**  
ENVIRONMENTAL - ENGINEERING - SURVEYING  
3890 Pheasant Ridge Dr. NE #100, Blaine, MN  
Phone: 763-489-7900 Fax: 763-489-7959

**DETAILS**

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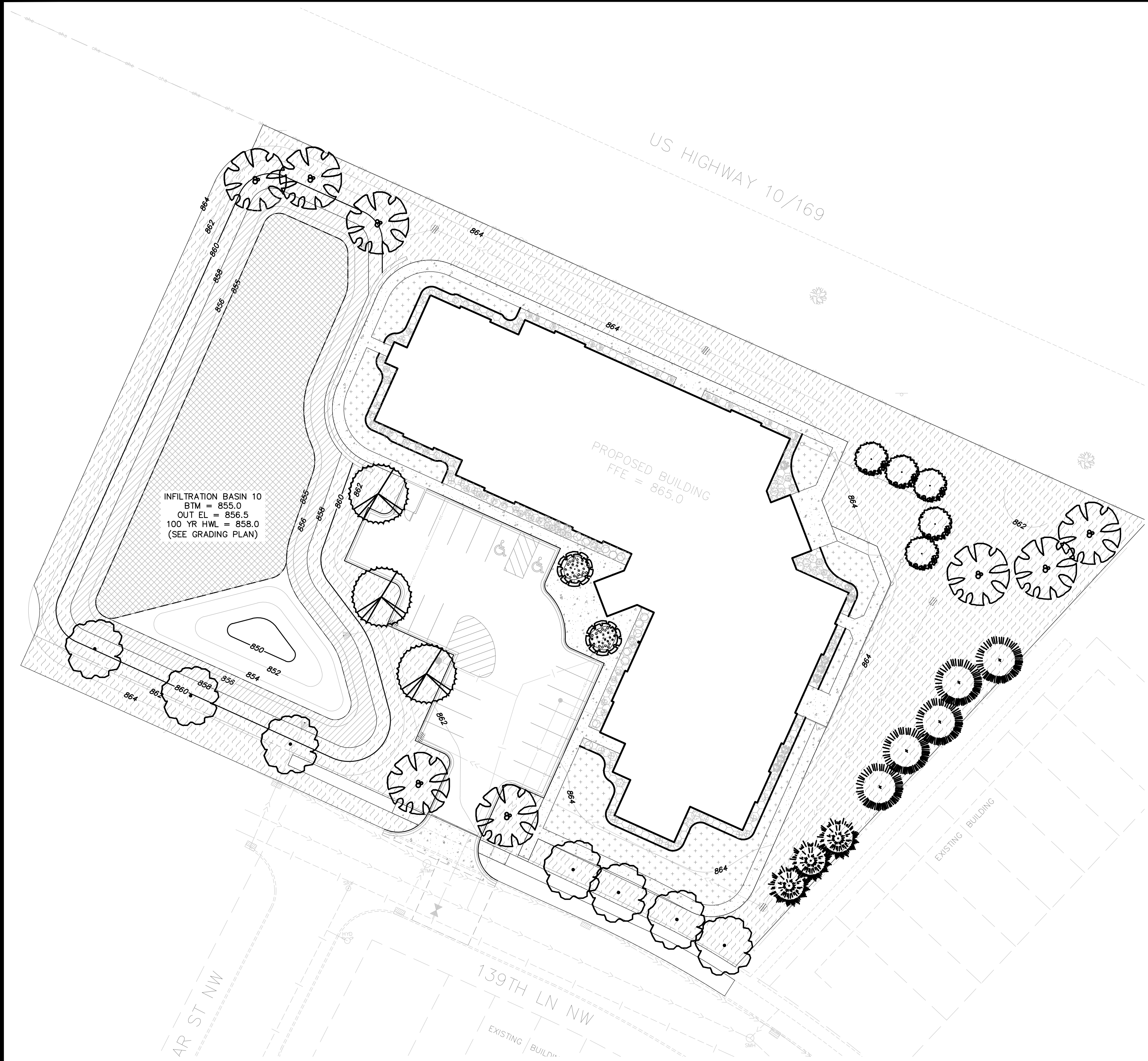
REVISIONS

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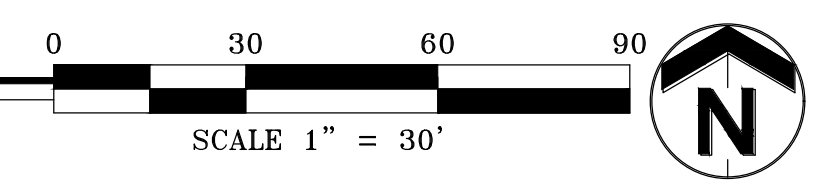
DRAWN BY: JTR  
DESIGNED BY: JTR  
ISSUE DATE: 06/06/19

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota

Name: Joseph T. Radach, PE  
Signature: *Joe T. R.*  
Date: 06/06/19 License #: 45889



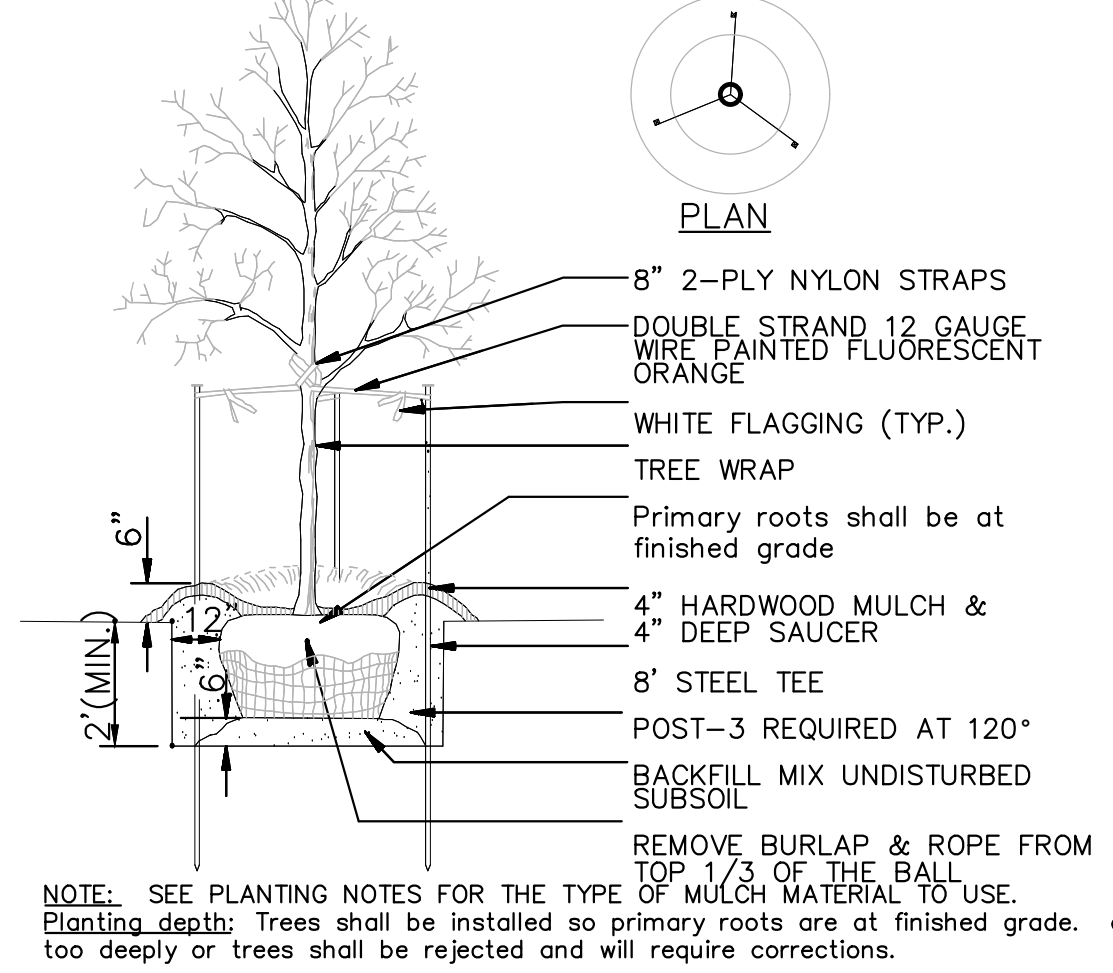
**1 SITE LANDSCAPE PLAN**  
L1



LANDSCAPE LEGEND									
KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QTY.	INSTALL HEIGHT	MATURE HEIGHT	POINTS	
DECIDUOUS TREES									
HB	Celtis occidentalis	HACKBERRY	2.5"	BB	8	15'	50'	922	
RM	Acer rubrum 'Northwoods'	NORTHWOODS MAPLE	2.5"	BB	3	14'	50'	552	
HL	Gleditsia triacanthos var. inermis 'Shademaster'	SHADEMASTER HONEYLOCUST	2.5"	BB	7	10'	50'	481	
ORNAMENTAL TREES									
SB	Amelanchier x grandiflora 'Autumn Brilliance'	AUTUMN BRILLIANCE SERVICEBERRY	1.5"	BB	2	8'	20'	160	
SS	Malus x 'Spring Snow'	SPRING SNOW CRABAPPLE	1.5"	BB	5	8'	25'	157	
TL	Syringa Reticulata	JAPANESE TREE LILAC	1.5"	BB	-	8'	20'	120	
EVERGREEN TREES									
BH	Picea glauca var. densata	BLACK HILLS SPRUCE	6'	BB	-	6'	40'	157	
BF	Abies Balsamea	BALSAM FIR	6'	BB	-	6'	40'	199	
SP	Pinus sylvestris	SCOTCH PINE	6'	BB	5	6'	50'	354	
NS	Picea resinosa	NORWAY SPRUCE	6'	BB	3	6'	60'	1535	19,879

QUANTITIES SHOWN IN THE PLANTING SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR TO VERIFY QUANTITIES SHOWN ON THE PLAN.

SEED MIX LEGEND (FOR ALL SHEETS)		
SYM.	TYPE	SEED MIX
[Symbol]	NATIVE WET PRAIRIE	MN SEED MIX 34-271 (OLD BWSR W2)
[Symbol]	WETLAND FRINGE	MN SEED MIX 35-221 (OLD BWSR U6)
[Symbol]	COMMERCIAL TURF - SOD	HIGHLAND SOD
[Symbol]	MNDOT 260 ALL AREAS DISTURBED BY CONSTRUCTION NOT INTENDED SODDED, OR RETENTION BASINS	MN SEED MIX 25-131 (OLD MNDOT 260) & (USE EROSION CONTROL BLANKET FOR SLOPES OVER 3:1)
[Symbol]	MESIC GENERAL ROADSIDE FOR GENERAL STABILIZATION OF PAD AREAS	MN SEED MIX 25-131 (USE EROSION CONTROL BLANKET FOR SLOPES OVER 3:1)
[Symbol]	HARDWOOD MULCH SHREDDED HARDWOOD MULCH	(NATURAL COLOR)
[Symbol]	1/2" CRUSHED GRANITE	CRUSHED QUARRY GRANITE



**NOTE:** SEE PLANTING NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.  
Planting depth: Trees shall be installed so primary roots are at finished grade. do not plant too deeply or trees shall be rejected and will require corrections.  
**A DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE

- PLANTING NOTES**
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL FREE OF PESTS AND DISEASE AND BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE LANDSCAPE LEGEND.
  - ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
  - THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING, OR AFTER INSTALLATION.
  - NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
  - ALL PLANTING STOCK SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK," ANSI-Z60, LATEST EDITION, OF THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS.
  - EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED TO THE DRIP LINE FROM ALL CONSTRUCTION TRAFFIC, STORAGE OF MATERIALS ETC. WITH 4' HT. ORANGE PLASTIC SAFETY FENCING ADEQUATELY SUPPORTED BY STEEL FENCE POSTS 6' O.C. MAXIMUM SPACING.
  - ALL PLANT MATERIAL QUANTITIES, SHAPES OF BEDS AND LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN AND ADJUSTED TO CONFORM TO THE EXACT CONDITIONS OF THE SITE. THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIALS PRIOR TO INSTALLATION.
  - ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
  - MULCH: SHREDDED HARDWOOD MULCH, CLEAN AND FREE OF NOXIOUS WEEDS OR OTHER DELETERIOUS MATERIAL, IN ALL MASS PLANTING BEDS AND FOR TREES, UNLESS INDICATED AS ROCK MULCH ON DRAWINGS. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT PRIOR TO DELIVERY ON-SITE FOR APPROVAL. DELIVER MULCH ON DAY OF INSTALLATION. USE 4" FOR SHRUB BEDS, AND 3" FOR PERENNIAL/GROUND COVER BEDS, UNLESS OTHERWISE DIRECTED.
  - PLACE LANDSCAPE FILTER FABRIC UNDER ALL MULCHED AREAS. FILTER FABRIC SHALL BE 100% INTERWOVEN 5.1oz NEEDLE PUNCHED POLYPROPYLENE FABRIC MANUFACTURED BY DEWITT. USE PRO 5 "WEED BARRIER" OR APPROVED EQUAL.
  - PLACE EDGING BETWEEN ALL PLANTING/ROCK BEDS AND TURF. EDGING SHALL BE POLY.
  - THE PLAN TAKES PRECEDENCE OVER THE LANDSCAPE LEGEND IF DISCREPANCIES EXIST. THE SPECIFICATIONS TAKE PRECEDENCE OVER THE PLANTING NOTES AND GENERAL NOTES.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE THE WORK SHOWN ON THE PLAN. VERIFY ALL QUANTITIES SHOWN ON THE LANDSCAPE LEGEND.
  - LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.
  - THE CONTRACTOR SHALL KEEP PAVEMENTS, PLANTERS AND BUILDINGS CLEAN AND UNSTAINED. ALL PEDESTRIAN AND VEHICLE ACCESS TO BE MAINTAINED THROUGHOUT CONSTRUCTION PERIOD. ALL WASTES SHALL BE PROMPTLY REMOVED FROM THE SITE. ANY PLANT STOCK NOT PLANTED ON DAY OF DELIVERY SHALL BE HELED IN AND WATERED UNTIL INSTALLATION. PLANTS NOT MAINTAINED IN THIS MANNER WILL BE REJECTED. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPAVED AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
  - LOCATE AND VERIFY ALL UTILITIES, INCLUDING IRRIGATION LINES, WITH THE OWNER FOR PROPRIETARY UTILITIES AND GOPHER STATE ONE CALL AT 454-0002 (TWIN CITIES METRO AREA) OR 800-252-1166 (GREATER MINNESOTA) 48 HOURS BEFORE DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ANY DAMAGES TO SAME. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
  - USE ANTI-DESICCANT (WILT-PROOF OR APPROVED EQUAL) ON DECIDUOUS PLANTS MOVED IN LEAF AND FOR EVERGREENS MOVED ANYTIME. APPLY AS PER MANUFACTURER'S INSTRUCTION. ALL EVERGREENS SHALL BE SPRAYED IN THE LATE FALL FOR WINTER PROTECTION DURING WARRANTY PERIOD.
  - PLANTING SOIL FOR TREES, SHRUBS AND GROUND COVERS: FERTILE FRAGILE LOAM CONTAINING A LIBERAL AMOUNT OF HUMUS AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHALL COMPLY WITH MN/DOT SPECIFICATION 3877 TYPE B SELECT TOPSOIL MIXTURE SHALL BE FREE FROM HARDPACK SUBSOIL, STONES, CHEMICALS, NOXIOUS WEEDS, ETC. SOIL MIXTURE SHALL HAVE A PH BETWEEN 6.1 AND 7.5 AND 10-0-10 FERTILIZER AT THE RATE OF 3 POUNDS PER CUBIC YARD. IN PLANTING BEDS INCORPORATE THIS MIXTURE THROUGHOUT THE ENTIRE BED BY ROTOTILLING IT INTO THE TOP 12" OF SOIL.
  - ALL PLANTS SHALL BE GUARANTEED FOR TWO COMPLETE GROWING SEASONS (APRIL 1 - NOVEMBER 1), UNLESS OTHERWISE SPECIFIED. THE GUARANTEE SHALL COVER THE FULL COST OF REPLACEMENT INCLUDING LABOR AND PLANTS.
  - CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 3 DAYS PRIOR TO PLANNED DELIVERY. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 24 HOURS IN ADVANCE OF BEGINNING PLANT INSTALLATION.
  - SEASONS/TIME OF PLANTING AND SEEDING: NOTE: THE CONTRACTOR MAY ELECT TO PLANT IN OFF-SEASONS ENTIRELY AT HIS/HER RISK.  
DECIDUOUS POTTED PLANTS: 4/1 - 6/1; 9/21 - 11/1  
DECIDUOUS B&B: 4/1 - 6/1; 9/21 - 11/1  
EVERGREEN POTTED PLANTS: 4/1 - 6/1; 9/21-11/1  
EVERGREEN B&B: 4/1 - 5/1; 9/21 - 11/1  
TURF/LAWN SEEDING: 4/1 - 6/1; 7/20 - 9/20  
NATIVE MIX SEEDING: 4/1 - 7/20; 9/20-10/20
  - MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PORTION OF THE WORK IS IN PLACE. PLANT MATERIAL SHALL BE PROTECTED AND MAINTAINED UNTIL THE INSTALLATION OF THE PLANTS IS COMPLETE. INSPECTION HAS BEEN MADE, AND PLANTINGS ARE ACCEPTED EXCLUSIVE OF THE GUARANTEE. MAINTENANCE SHALL INCLUDE WATERING, CULTIVATING, MULCHING, REMOVAL OF DEAD MATERIALS, RE-SETTING PLANTS TO PROPER GRADE AND KEEPING PLANTS IN A PLUMB POSITION. AFTER ACCEPTANCE, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES. HOWEVER, THE CONTRACTOR SHALL CONTINUE TO BE RESPONSIBLE FOR KEEPING THE TREES PLUMB THROUGHOUT THE GUARANTEE PERIOD.
  - ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL LANDSCAPE LEGEND SPECIFICATIONS.
  - WATERING: MAINTAIN A WATERING SCHEDULE WHICH WILL THOROUGHLY WATER ALL PLANTS ONCE A WEEK, IN EXTREMELY HOT, DRY WEATHER, WATER MORE OFTEN AS REQUIRED BY INDICATIONS OF HEAT STRESS SUCH AS WILTING LEAVES. CHECK MOISTURE UNDER MULCH PRIOR TO WATERING TO DETERMINE NEED. CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS FOR WATER.
  - CONTRACTOR SHALL REQUEST IN WRITING, A FINAL ACCEPTANCE INSPECTION.
  - ALL DISTURBED AREAS TO BE TURF SEEDDED, ARE TO RECEIVE 4" TOP SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
  - ALL DISTURBED AREAS TO RECEIVE NATIVE WETLAND SEEDED, ARE TO RECEIVE ENGINEERED SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
  - ALL IN-GROUND IRRIGATION SYSTEMS SHALL BE EQUIPPED WITH RAIN SENSOR AND A WATER EFFICIENT/ WEATHER BASED CONTROLLER. PERMIT FOR AN IRRIGATION SYSTEM IS REQUIRED.

**CITY OF RAMSEY LANDSCAPE CODE**

Minimum planting requirements. The minimum number of plantings required shall be determined based on crown or canopy cover. To fulfill the planting requirements, a combination of trees and shrubs shall meet or exceed the minimum required canopy cover square footage. The minimum canopy cover shall be calculated as follows:

- Determine ratio of impervious area to entire site area.
- Multiply the impervious area/site area ratio by the square footage of the pervious area to calculate the required canopy cover square footage for the project area.
- The following formula shall be utilized to determine the average canopy cover of a species:  
[(Minimum + Maximum Spread) ÷ 4] 2 π × (0.65 for preferred species or 0.50 for acceptable species, as identified in the Ramsey Tree Book).

CALCULATION  
35% X 57,404sf = 20,092SF OF REQUIRED CANOPY

- CITY OF RAMSEY REQUESTED NOTES**
- CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEARS FROM THE DATE OF LANDSCAPE ARCHITECT ACCEPTANCE WITH ALL REPLACEMENTS TO BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER. THE CITY IS REQUIRING AN ADDITIONAL 1 YEAR (2 YEARS TOTAL) FOR ALL TREES AT NO ADDITIONAL COST TO THE OWNER.
  - BRANCH HEIGHT OF ALL BOULEVARD TREES SHALL BE NO LOWER THAN 6FT ARBOR GRADE.
  - TREES SHALL NOT BE PLANTED WITHIN THE VISION TRIANGLE AS DEFINED IN CITY CODE 117-348
  - ALL TREES IN ISLANDS/CENTER MEDIAN SHALL BE PRIVATELY MAINTAINED PER THE PER THE HOME OWNERS ASSOCIATION DOCTRINE.
  - TOPSOIL MEETING THE CITY'S SPECIFICATION SHALL BE REQUIRED PER EACH LOT. COPIES OF THE LOAD TICKET SHALL BE PROVIDED AND CITY INSPECTION IS REQUIRED PRIOR TO INSTALLATION OF SOD.
  - NO TOPSOIL (OR OTHER FILL) SHALL BE PLACED WITHIN ANY WETLAND OR WETLAND SETBACK AREA.
  - IRRIGATION SYSTEM SHALL BE DESIGN BUILT BY THE CONTRACTOR AND SHALL UTILIZE MATCH PRECIPITATION HEADS, HEAD TO HEAD COVERAGE AND WEATHER COMPENSATING SMART CONTROLLER.
  - CITY OF RAMSEY REQUIRES A PRE-PLANNING MEETING TO REVIEW EXPECTATIONS FOR ALL STREET TREE INSTALLATIONS.
  - ALL AREAS, INCLUDING BOULEVARDS AND OTHER PERVIOUS AREAS WITHIN THE ROW SHALL RECEIVE 4" OF TOPSOIL. COPIES OF THE LOAD TICKET SHALL BE PROVIDED TO THE CITY PRIOR TO INSTALLATION OF LANDSCAPE.
  - ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN REQUIRES CITY APPROVAL PRIOR TO INSTALLATION

**Carlson McCain**  
ENVIRONMENTAL - ENGINEERING - SURVEYING  
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Phone: 763-489-7900 Fax: 763-489-7959

---

**LANDSCAPE PLAN**

**SUITE LIVING SENIOR CARE OF RAMSEY**  
Ramsey, Minnesota

---

**HAMPTON COMPANIES**  
3570 Lexington Avenue N, Suite 321  
Shoreview, MN 55126

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REVISIONS	
1.	

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DRAWN BY: JAK  
DESIGNED BY: JAK  
ISSUE DATE: 06/06/19

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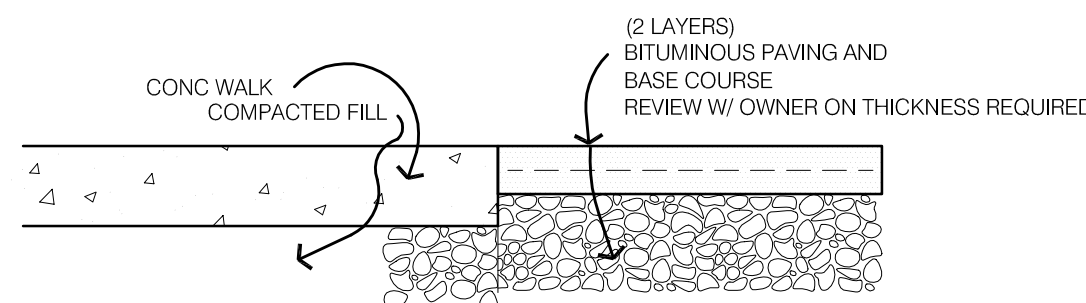
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Name: James A. Kalkes, RLA  
Signature: *James A. Kalkes*  
Date: 06/06/19 License #: 45071

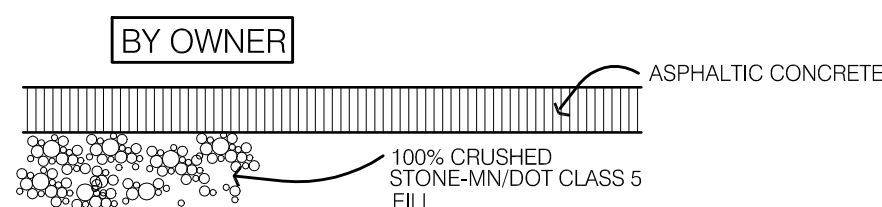
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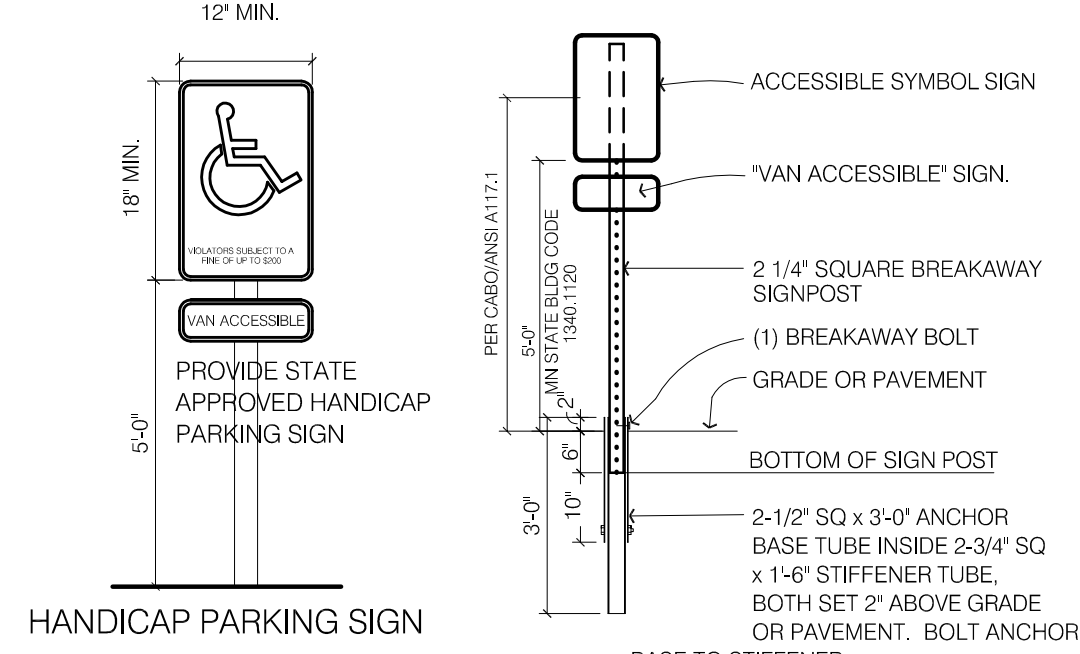




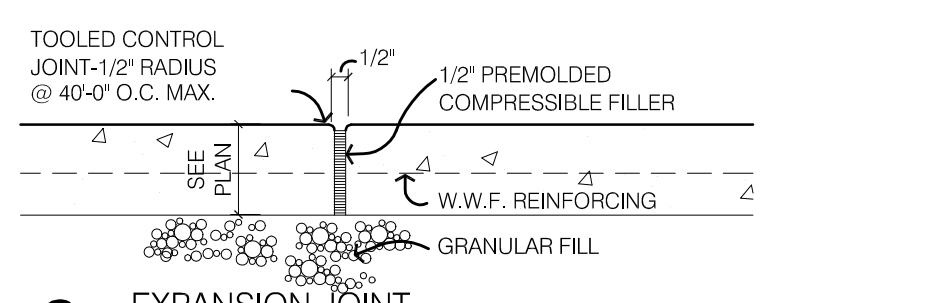
1 CONCRETE WALK/DRIVE  
NO SCALE



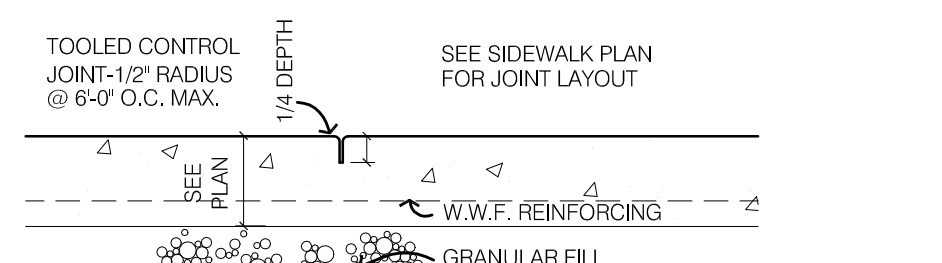
2 PARKING AREA BITUMINOUS PAVING  
NO SCALE



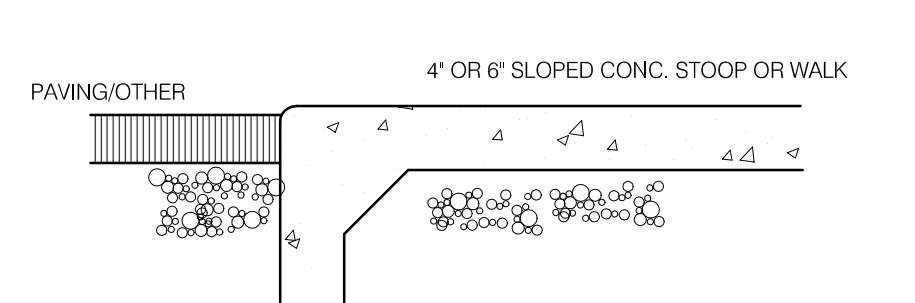
6 HANDICAP SIGNAGE  
NO SCALE



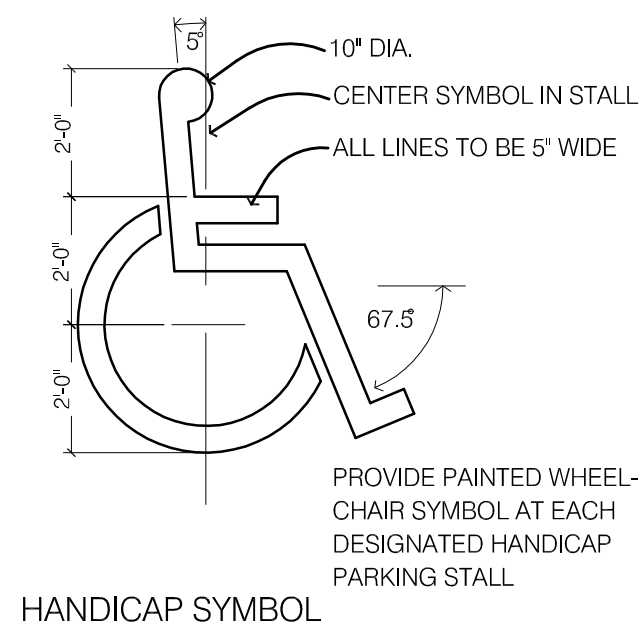
3 EXPANSION JOINT  
NO SCALE



4 CONTROL JOINT  
1\"/>



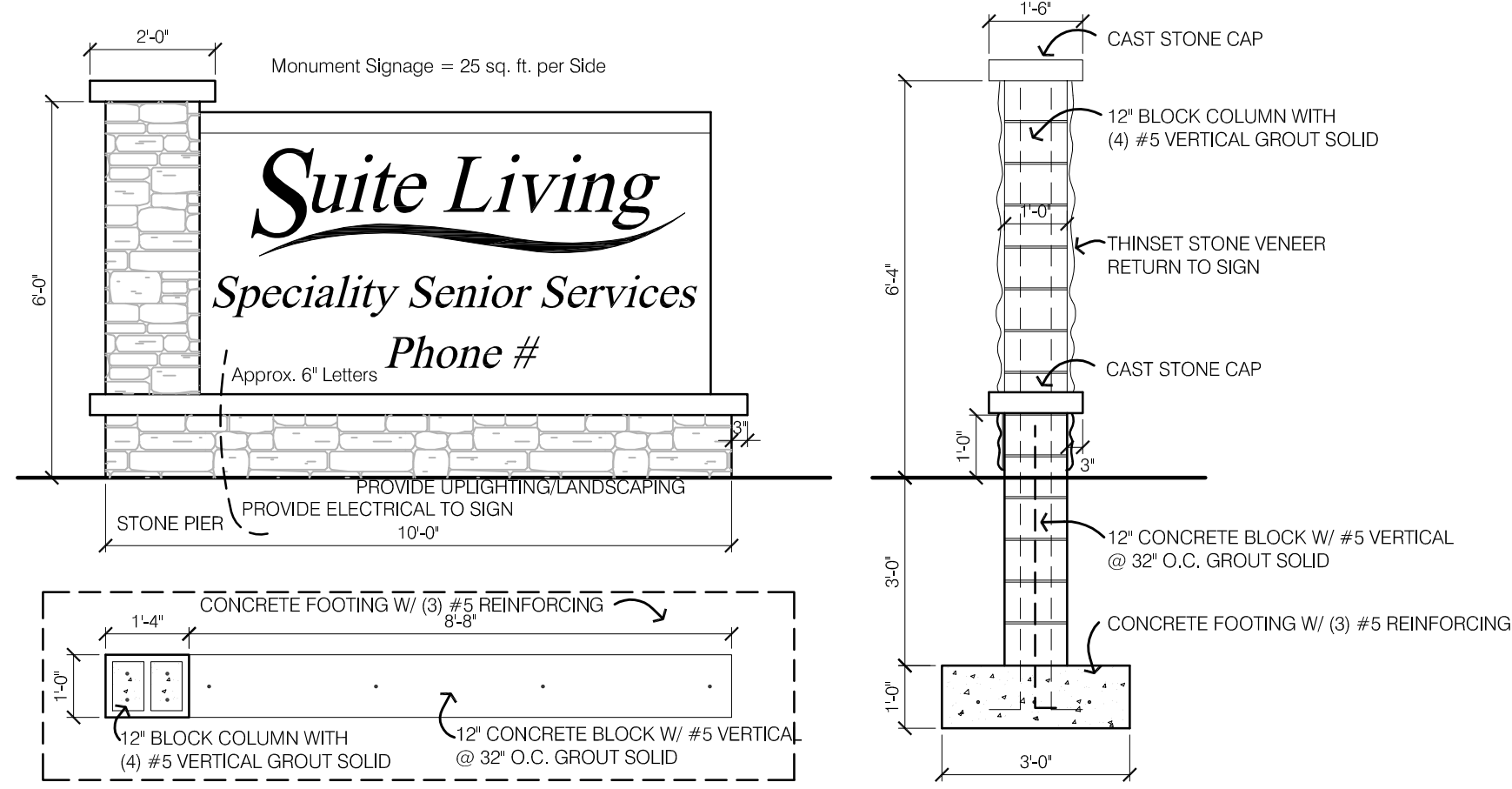
5 SIDEWALK EDGE DETAIL  
NO SCALE



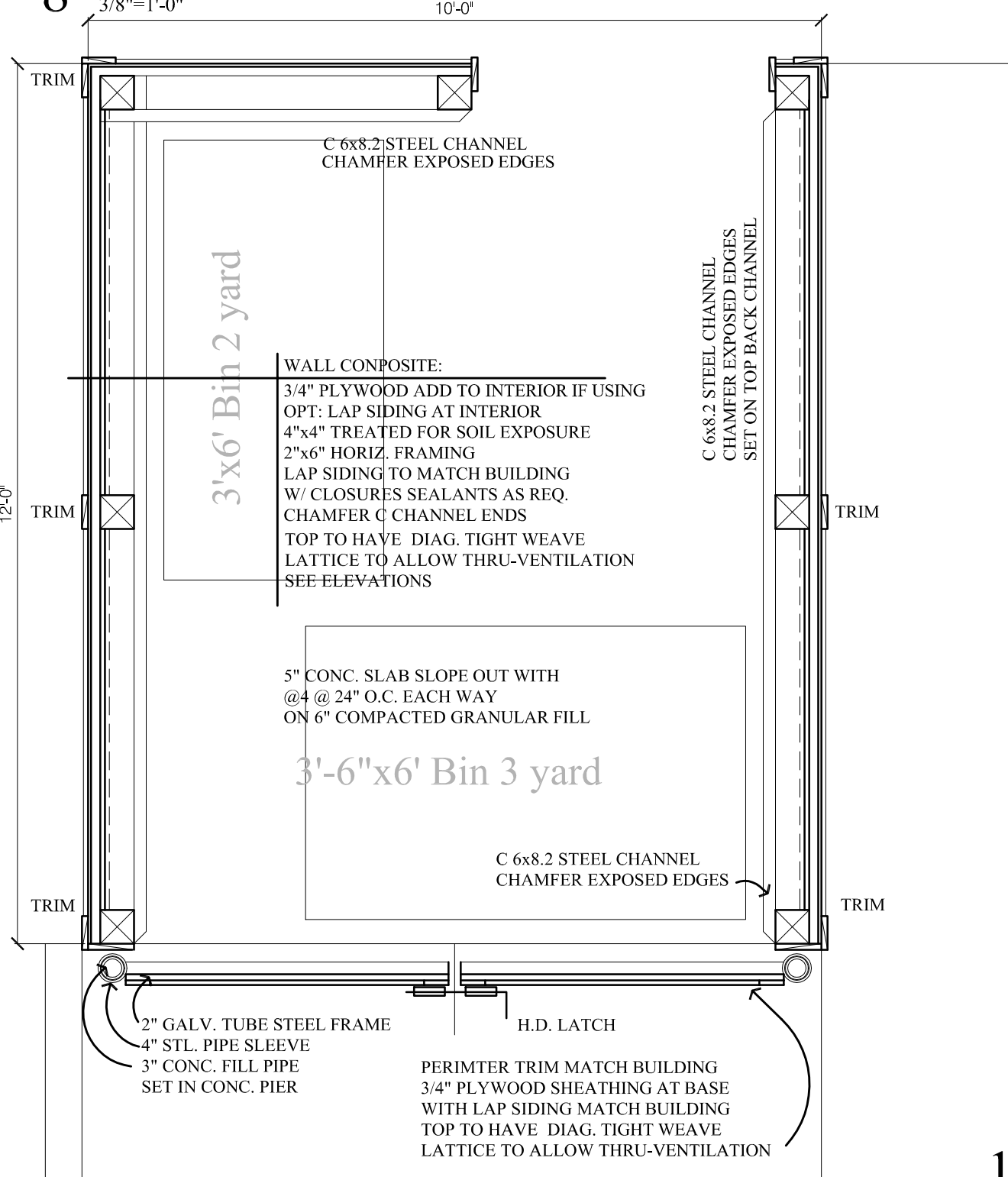
7 BUILDING PERIMETER LANDSCAPE BED  
3/8\"/>



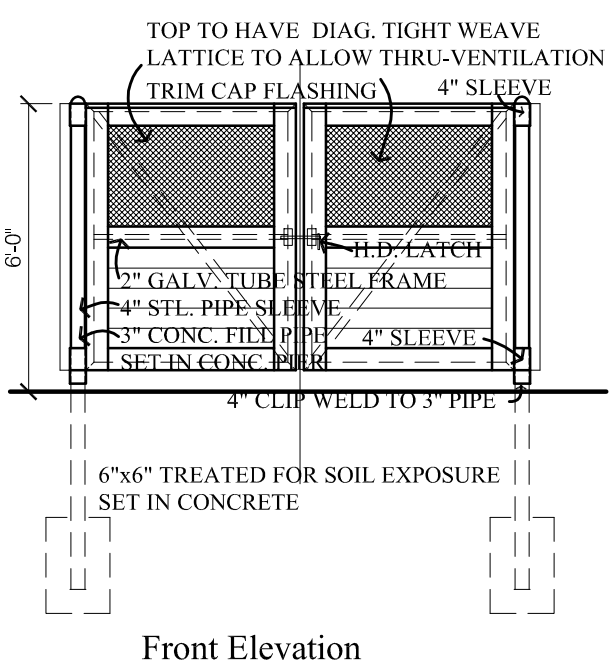
9 BUILDING PYLON SIGN  
3/8\"/>



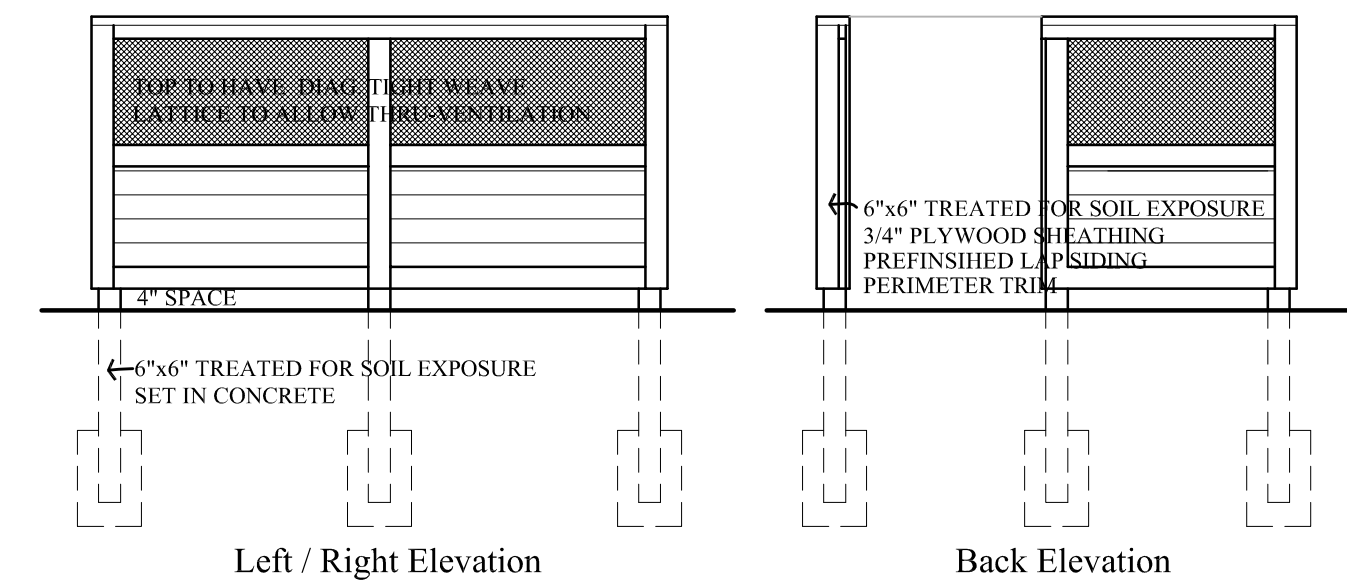
8 BUILDING MONUMENT SIGN  
3/8\"/>



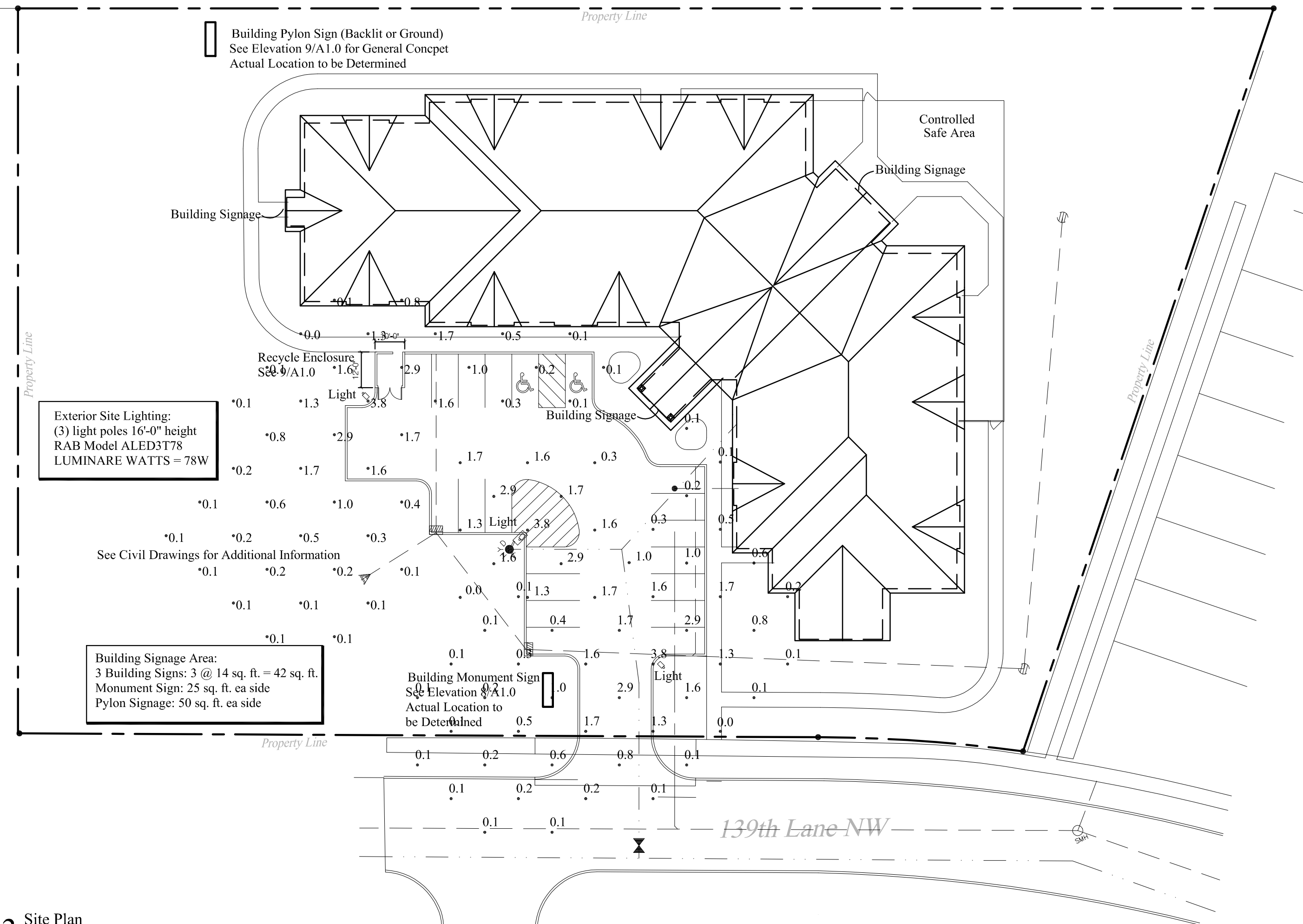
10 TRASH ENCLOSURE SECTION  
1/2\"/>



11 TRASH ENCLOSURE FRONT ELEVATION  
1/4\"/>



12 TRASH ENCLOSURE SECTION  
1/2\"/>



13 SITE PLAN  
1\"/>



High Care Assisted Living  
20 Units

Overall Floor Plan

Memory Care  
12 Units

Commons

**Lars**  
Architectural Services, LLC  
Hudson WI 54016  
612-240-7009  
Larsxy2@gmail.com  
Lars100@sbcglobal.net

I hereby certify that this plan, specification or my direct supervision, and that I am a duly licensed Architect under the laws of the State of Wisconsin  
Date \_\_\_\_\_ Reg. No. 24240  
Signed \_\_\_\_\_ Larry Gibson

**Suite Living**  
139th Lane NW  
City of Ramsey, MN 55303

Concept  
June 5, 2019

Overall Floor Plan  
1" = 10'-0"

No.	Date	Revision

Project: Care  
Date: 1/8/19  
Drawn by: Lars

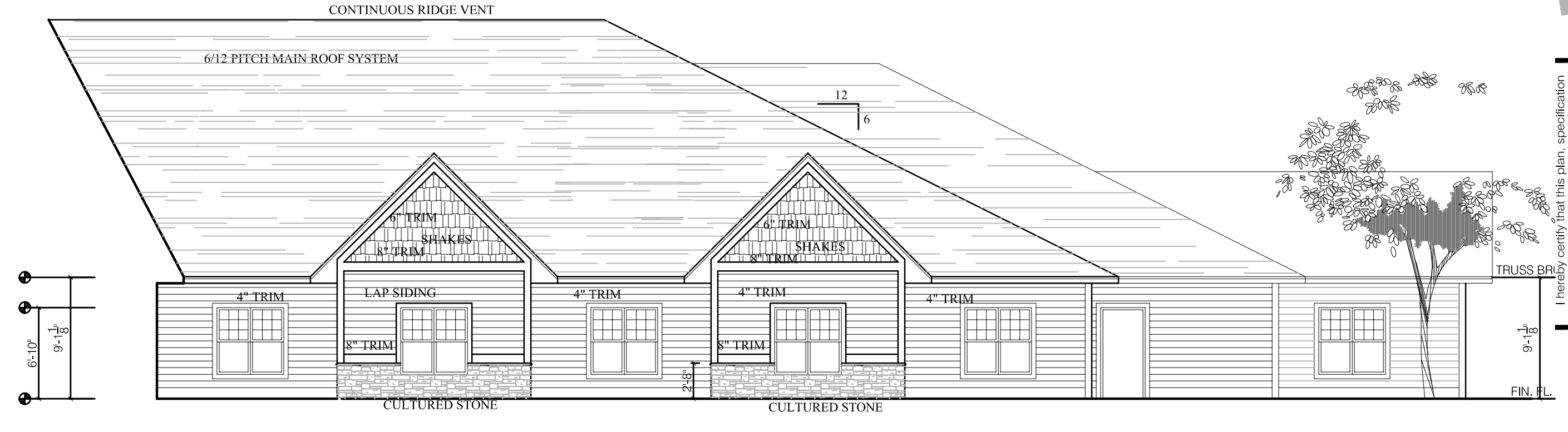
SHEET  
A2.0



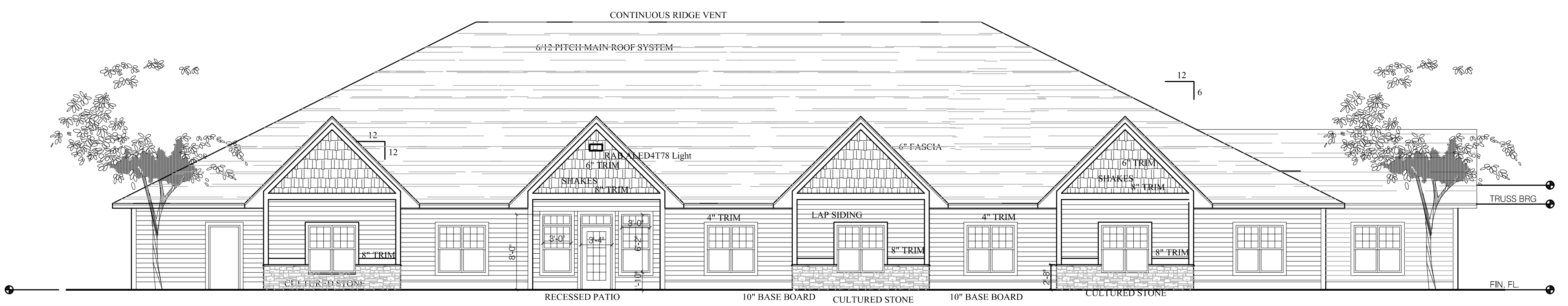
1 Commons NorthEast Elevation  
1/8" = 1'-0"



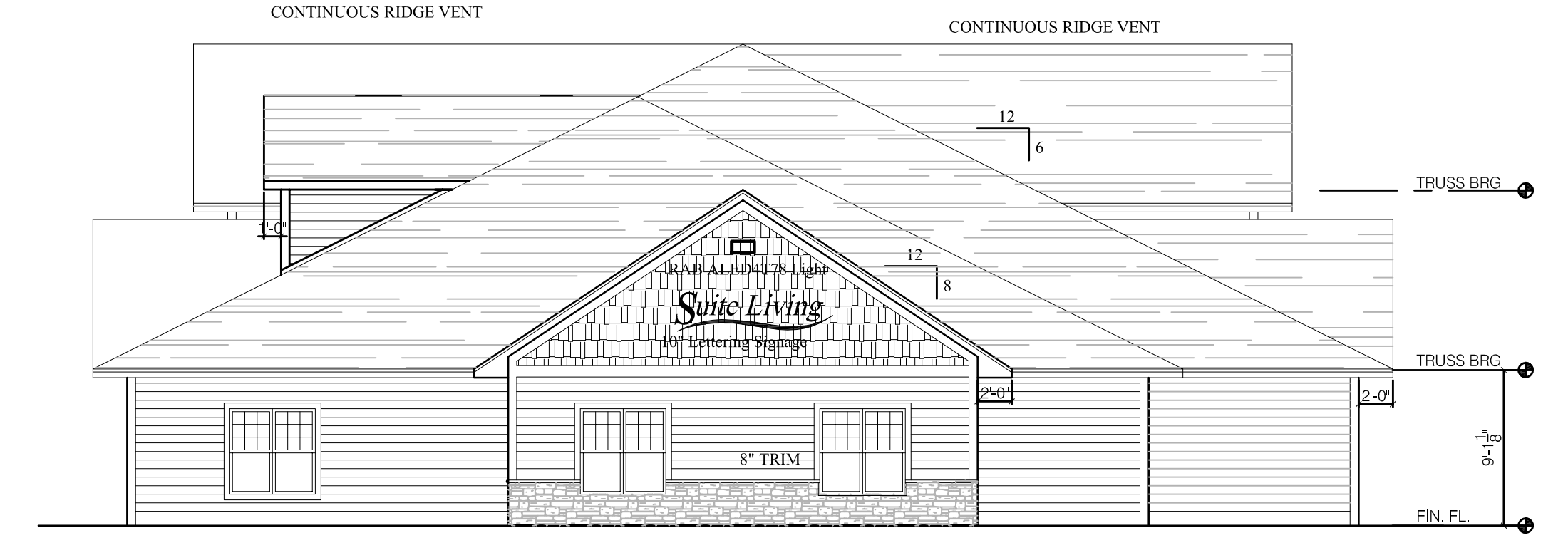
2 Commons SouthWest Elevation  
1/8" = 1'-0"



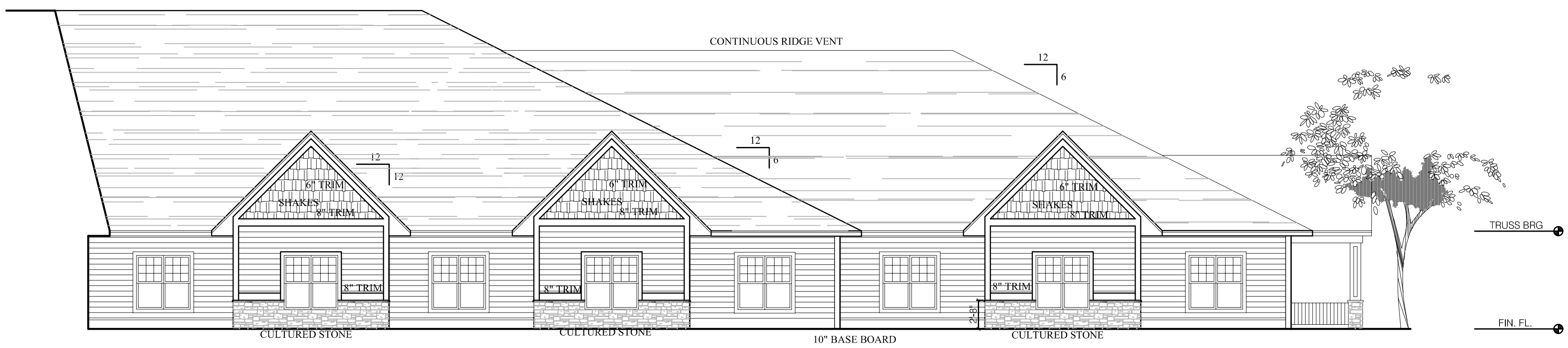
3 Memory Care West Elevation  
1/8" = 1'-0"



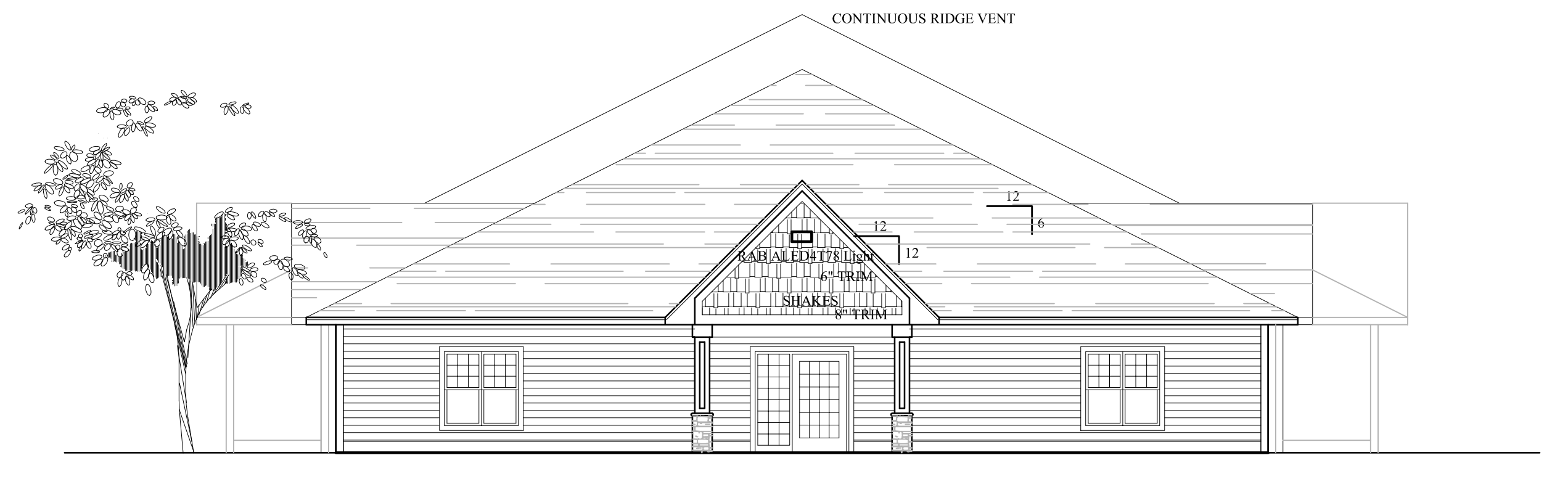
4 Memory Care West Elevation  
1/8" = 1'-0"



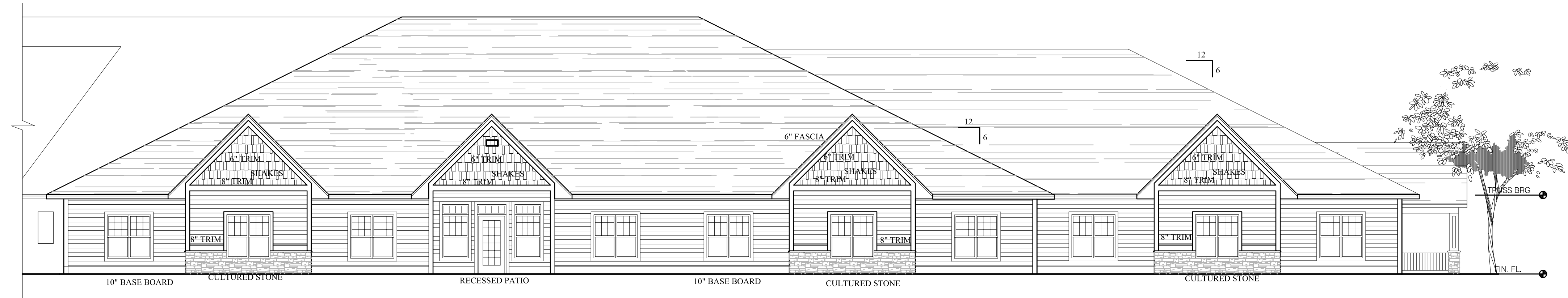
5 Memory Care South Elevation  
1/8" = 1'-0"



6 Senior Care South Elevation  
1/8" = 1'-0"



7 Senior Care West Elevation  
1/8" = 1'-0"



8 Senior Care North Elevation  
1/8" = 1'-0"

