

Our Mission: To work together to responsibly grow our community, and to provide quality, cost-effective, and efficient government services.

CC Regular Session

7. 4.

Meeting Date: 04/23/2019

By: Tim Gladhill, Community Development

Information

Title:

Consider Funding Options for Clean Up Project for River Walk Village; Case of Village Bank

- Adopt Resolution #19-101 Authorizing Application for Metropolitan Council Tax Base Revitalization Account Grant
- Adopt Resolution #19-102 Authorizing Application and Local Match for Minnesota Department of Employment and Economic Development (DEED) Grant

Purpose/Background:

The purpose of this case is to consider authorization to apply for two cleanup grants related to River Walk Village. This is not final approval of the grant nor final obligation of financial commitment under the grant. This is not the traditional planning and zoning approval step for development projects, which would occur at a later date.

The City Council was introduced to this overall project in March 2019 in terms of subdivision design. It was noted at that time that a significant cleanup project would be required, but did not discuss in detail. An unapproved landfill operated on this site many decades ago. The end result is an area approximately one acre in size and approximately 14 feet deep in areas comprising of construction waste. It should be noted that the landfill was not created by the current owner. The current owner is Village Bank, who acquired the parcel through foreclosure.

Based on numerous soil explorations by the current owner or development prospects, no hazardous materials have been found. It is essentially construction materials such as concrete, asphalt, wood, and roofing materials. Staff has had numerous discussions with regulatory agencies over the past three years, and it is accepted that all materials must be removed and brought to an approved landfill. There appears to be no scenario where improvements can be made to the property on top of the debris field, and the debris field cannot be moved within the site.

The current development proposal is for 14 small lot, detached-single family homes (villas). Details on the land use review component are not included in this case, as that discussion will occur at a later date. Tonight's discussion focuses on authorization to apply for grant funds to assist with the clean up that also includes a requirement for a local match. It is noted that regardless of the ultimate land use, this cleanup project must occur.

Notification:

Notification is not required for this stage. Notifications of this projects were sent via Standard US Mail to Property Owners within 700 feet of the property of the Planning Commission Sketch Plan Review back in March, as reflected by Anoka County Property Records. Notifications were not sent for this current case and are not required.

Observations/Alternatives:

Staff would like to discuss two related funding options to fund a majority of the cleanup costs (88%). With the two programs combined, the City would need to provide a local match of 13%. Total cleanup costs are estimated at approximately \$800,000 (planning level estimates only). Under this scenario, the City's local contribution would be approximately \$96,000. Staff would recommend that the City request these funds from the Anoka County Housing and Redevelopment Authority (ACHRA).

The primary benefits are the removal of construction waste that was not properly disposed of in an approved construction debris landfill, converting the site to a developable parcel. This must occur in any development scenario. The costs of cleanup far exceed what a typical development pro-forma would be able to sustain.

Secondary benefits include, but are not limited to increasing tax base and providing a wider range of housing options in the community. Due to the impacts of the property, very little taxes are generated on this parcel. Additionally, after continued design review with the neighborhood over the past several years, Staff feels that the current development proposal is generally compatible with the surrounding neighborhood, with continued adjustments to be discussed at a later date.

Funding Source:

Under the proposed cost share proposal,

- 75%/\$600,000 = Contamination Cleanup Grant (DEED).
- 13%/\$104,000 = Tax Base Revitalization Account (Metropolitan Council)
- 12%/\$96,000 = City of Ramsey (ACHRA Account)

Recommendation:

Based on discussion. Staff recommends that the construction debris be removed from the site in any scenario. Furthermore, Staff believes that the current cost share proposal is reasonable, and the most feasible option on the table. That being said, the City is not obligated to support the Applications nor provide a local match. Without assistance, it is unlikely the project will move forward, and most development projects proposed will have little success moving forward.

Action:

Motion to adopt Resolutions #19-101 and #19-102 approving grant applications and local match authorization related to River Walk Village.

Attachments

Site Location Map

Plan Set

Resolution #19-101 Metropolitan Council

Resolution #19-102 Department of Employment and Economic Development

Debris Field

Form Review

Inbox

Kurt Ulrich

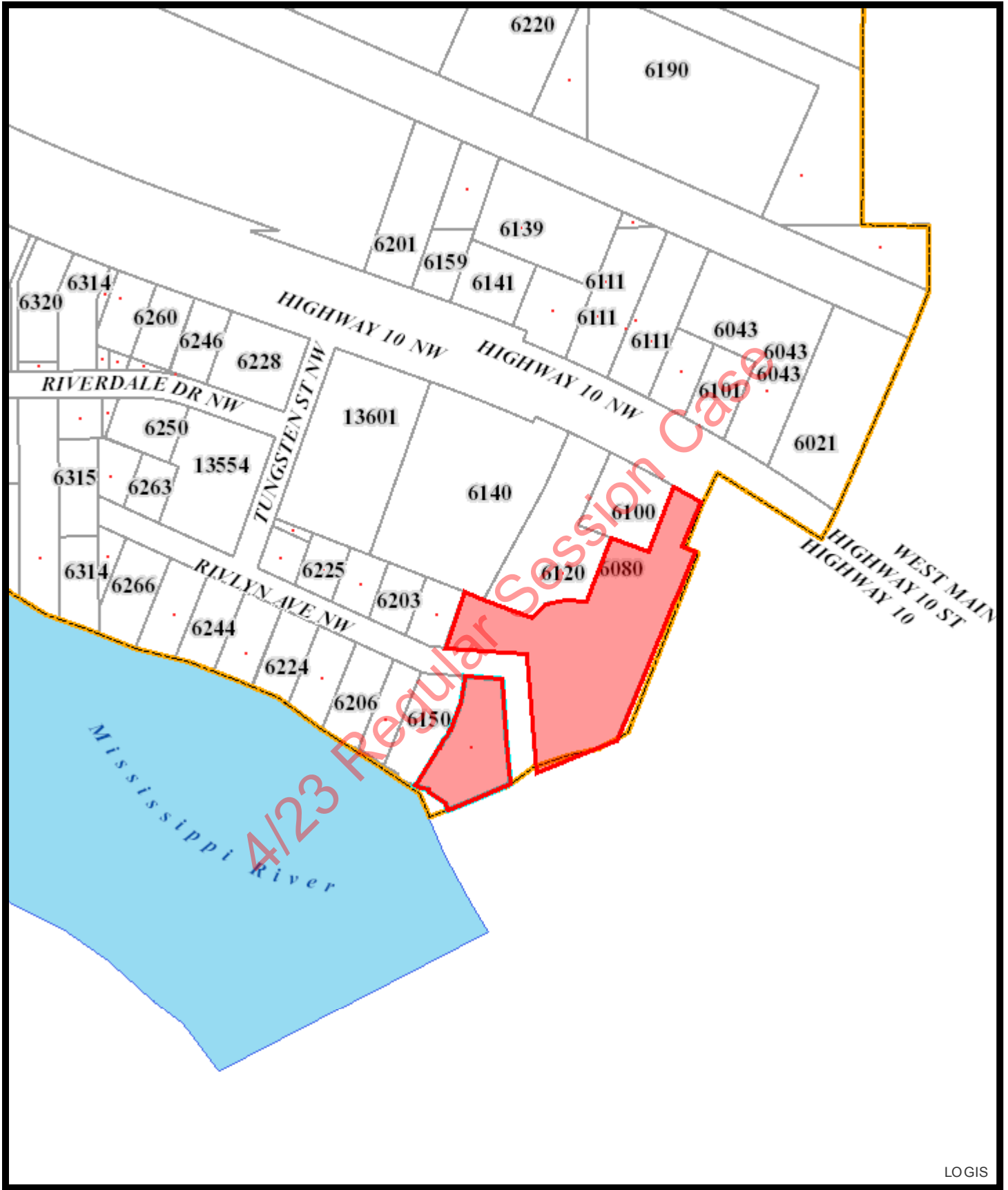
Form Started By: Tim Gladhill

Reviewed By

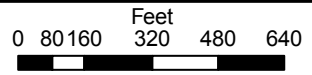
Date

Started On: 03/29/2019 11:23 AM

Site Location Map



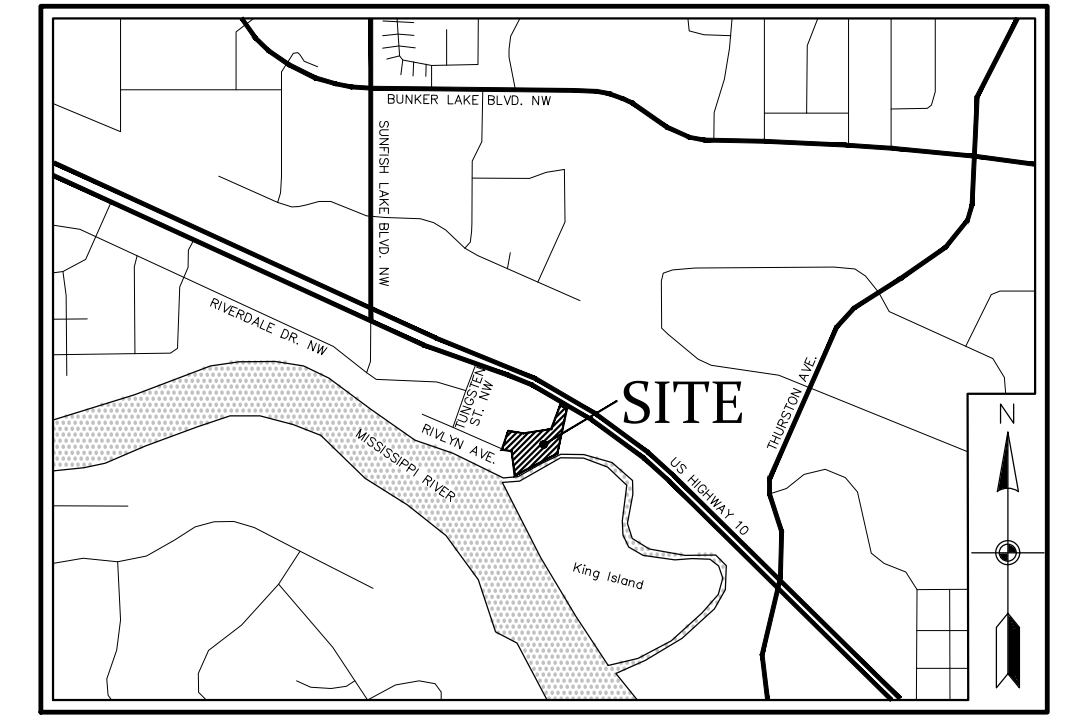
LOGIS



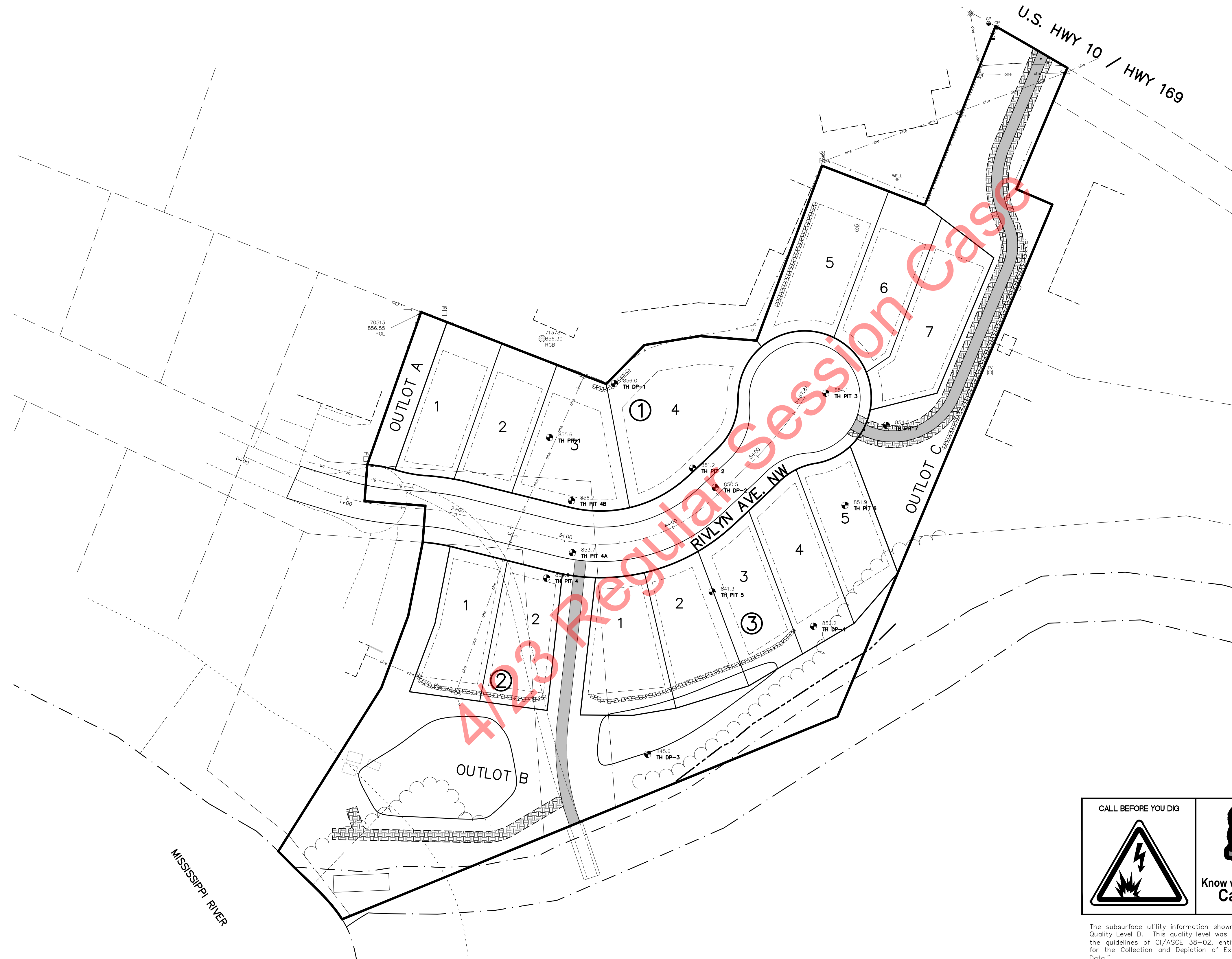
RIVER WALK VILLAGE

RAMSEY, MINNESOTA

VICINITY MAP

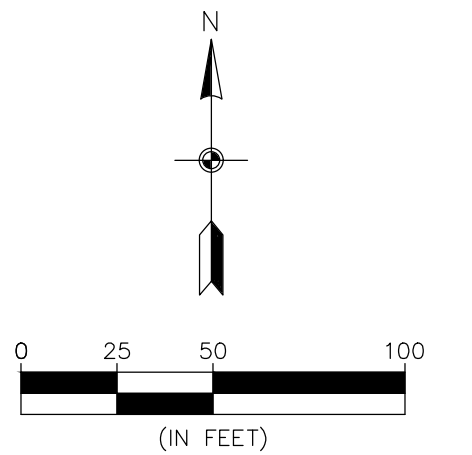


NOT TO SCALE



SHEET INDEX

1. COVER
2. EXISTING CONDITIONS
3. PRELIMINARY PLAT
4. REMOVALS PLAN
5. SITE PLAN
6. GRADING & EROSION CONTROL PLAN
- 7-9. DETAILS
- L1. LANDSCAPE PLAN
- T1. TREE PRESERVATION PLAN



CALL BEFORE YOU DIG

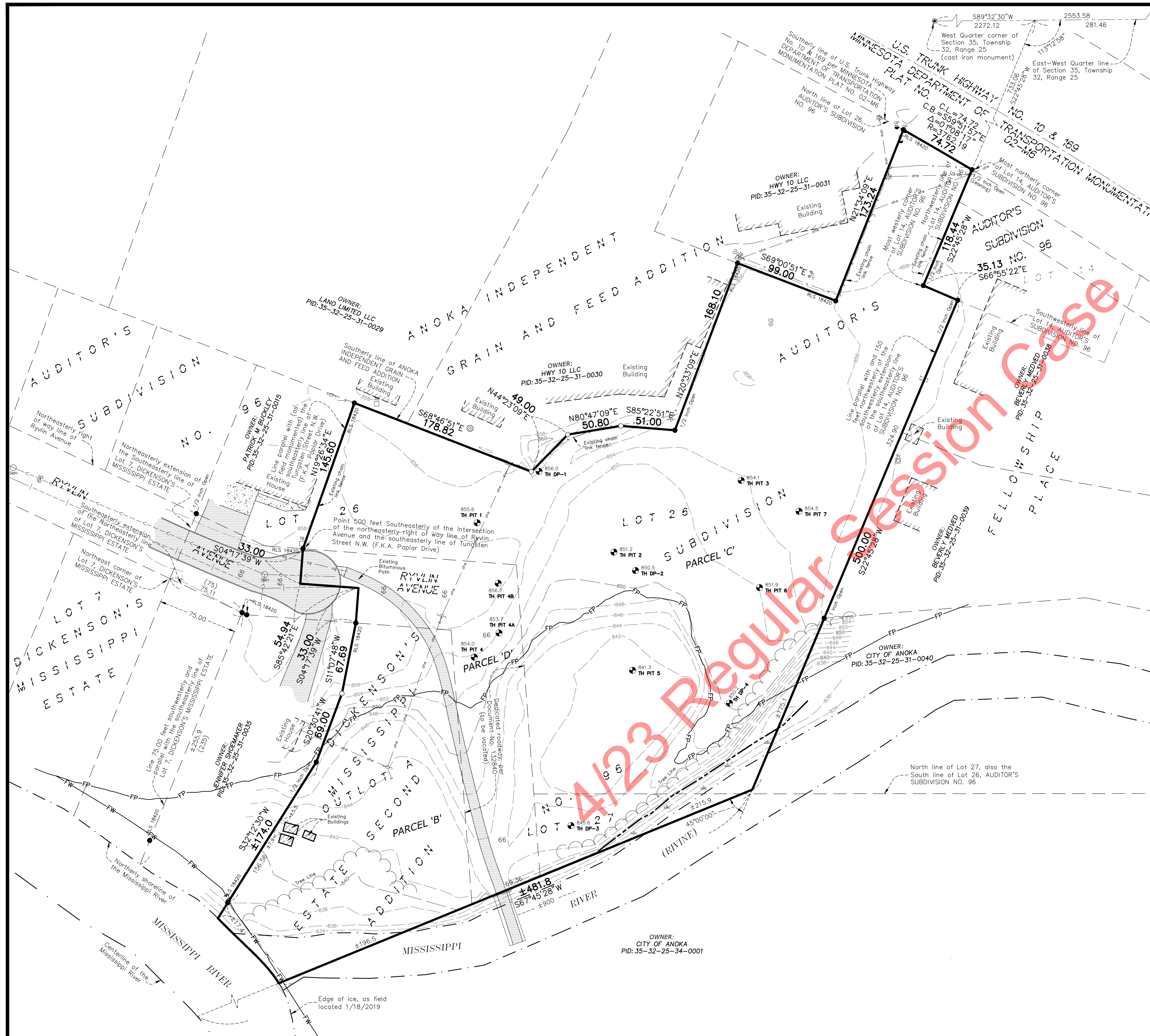




Know what's below.
Call before you dig.

The subsurface utility information shown on this plan is utility Quality Level D. This quality level was determined according to the guidelines of Q/ASCE 38-02, entitled "Standard Guideline for the Collection and Depiction of Existing Subsurface Utility Data."

BENCHMARK	
1.	MNDOT GSD Station #833, Named "Lumber MNDT RM 1", Elev.= 859.11
2.	MNDOT GSD Station #775, Named "E 257", Elev.= 863.67



PARCEL DESCRIPTION: (Per Schedule A of Title Commitment File No. 104617, with a commitment date of January 4, 2019 at 8:00 A.M., prepared by All American Commercial Title, Inc., as issuing agent for Old Republic National Title Insurance Company)

Parcel B:

Outlot A, DICKENSON'S MISSISSIPPI ESTATE SECOND ADDITION, Anoka County, Minnesota.

Parcel C:

That part of Lots 26 and 27 AUDITOR'S SUBDIVISION NO. 96, Anoka County, Minnesota, lying Easterly and Southeasterly of the following described line: Beginning at intersection of Northerly shoreline of the Mississippi River and a line 75.00 feet Southeasterly of and parallel with the Southeasterly line of Lot 7, DICKENSON'S MISSISSIPPI ESTATE, said Anoka County, as measured along Southeasterly extension of the Northerly line of said Lot 7; thence Northerly along said parallel line 235 feet, more or less, to its intersection with the Southeasterly extension of Northerly line of said Lot 7; thence Northerly along said Southeasterly extension 75 feet to the Northeast corner of said Lot 7; thence Northerly along Northerly extension of said Southeasterly line 66 feet to Northerly right-of-way line of Ryvlin Avenue; thence Southeasterly along said right-of-way line to a point 500 feet Southeasterly (as measured along said right-of-way line) of the intersection of said right-of-way line with Southeasterly right-of-way line of Poplar Drive (now known as Tungsten Street N.W.) as shown on the plat of DICKENSON'S MISSISSIPPI ESTATE; thence Northerly parallel with said Southeasterly right-of-way line to its intersection with the Southerly line of the plat of ANOKA INDEPENDENT GRAIN AND FEED; thence Southeasterly and Northerly along the Southerly and Easterly line of said plat of ANOKA INDEPENDENT GRAIN AND FEED to the North line of said Lot 26 and there terminating.

And lying Westerly of the following described line: Beginning at the most Northerly corner of Lot 14, said AUDITOR'S SUBDIVISION NO. 96; thence Southerly along Northerly line of said Lot 14 to the most Westerly corner thereof; thence Southerly along Southwesterly line of said Lot 14 to its intersection with a line parallel and 150 feet Northwesterly (as measured at right angle) of the Southwesterly extension of Southeasterly line of said Lot 14; thence Southwesterly along said parallel line a distance of 500 feet; thence Southwesterly deflecting to right 45 degrees 00 minutes 00 seconds a distance of 900 feet, more or less, to the centerline of the Mississippi River and there terminating.

EXCEPT that property dedicated by deed of dedication dated December 9, 1949 to the Township of Ramsey for public road purposes, recorded as Document No. 132840.

ALSO EXCEPT that part platted as DICKENSON'S MISSISSIPPI ESTATE SECOND ADDITION.

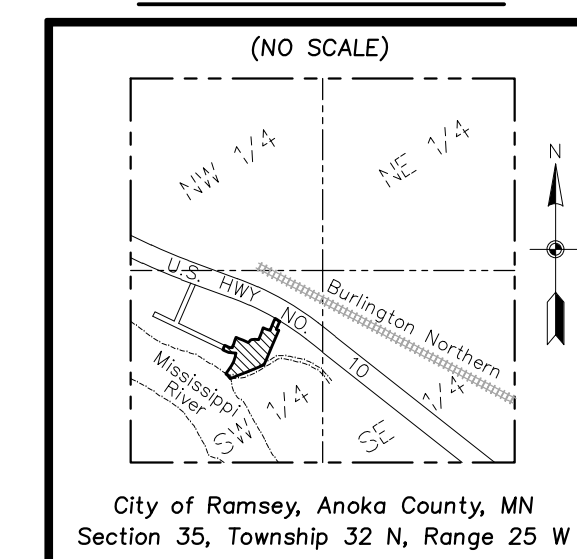
PARCEL D (proposed public roadway to be vacated):

That part of vacated Ryvlin Avenue accruing thereto by reason of street vacation.

GENERAL NOTES:

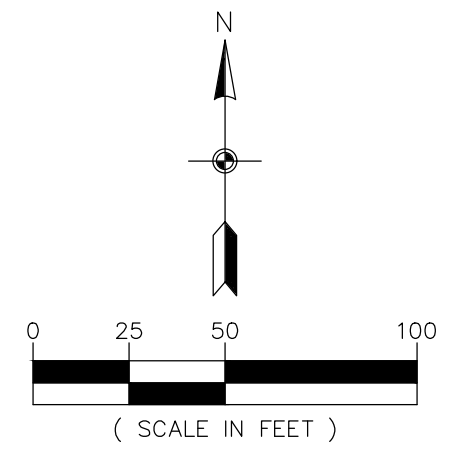
- The field work for this survey was completed on January 18, 2019.
- Bearings shown are based on the East-West Quarter line of Section 35, Township 32, Range 25, Anoka County, Minnesota, which is assumed to bear N89°32'30"E.
- Surveyed property address:
Parcel B - unassigned situs, Ramsey, MN.
Parcel C - 6080 Highway 10 NW, Ramsey, MN
- Above ground utilities have been field located as shown. All underground locations shown hereon are APPROXIMATE. Prior to any excavations or digging, contact Gopher State One Call for an on-site location (651-454-0002).
- Due to snow and other winter conditions, additional improvements may not have been visible at the time of the survey.

VICINITY MAP



LEGEND

- - Denotes Anoka County Section Monument, as noted
- - Denotes Found Iron Monument
- - Denotes 5/8 inch by 14 inch rebar, marked with RLS 40361
- ⊙ - Denotes Light Pole
- ⊙ - Denotes Miscellaneous Sign
- ⊙ - Denotes Sanitary Manhole
- ⊙ - Denotes Catch Basin
- ⊙ - Denotes Cleanout
- ⊙ - Denotes Existing Well
- ⊙ - Denotes Guy Wire
- ⊙ - Denotes Utility Pole
- ⊙ - Denotes Telephone Box
- ⊙ - Denotes Electric Transformer
- ⊙ - Denotes Curb Stop
- ⊙ - Denotes Television Box
- ⊙ - Denotes Soil Boring/Test Hole
- ⊙ - Denotes Guard Post
- ⊙ - Denotes Underground Gas
- ⊙ - Denotes Overhead Electric
- ⊙ - Denotes Watermain
- ⊙ - Denotes Sanitary Sewer
- ⊙ - Denotes Existing Fence as noted
- ⊙ - Denotes Concrete Surface
- ⊙ - Denotes Bituminous Surface
- ⊙ - Denotes Wet Land
- ⊙ - Denotes Existing Contour



BENCHMARK	
1. MNDOT GSID Station #833, Named "Lumber MNDT RM 1"	Elev. = 859.11
2. MNDOT GSID Station #775, Named "E 257"	Elev. = 863.67

Carlson McCain
 • environmental
 • engineering
 • surveying
 3890 Pheasant Ridge Drive NE, Suite 100, Blaine, MN 55449
 Phone: (763) 489-7900
 Fax: (763) 489-7959
 www.carlsonmccain.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota
 Print Name: Thomas R. Balluff, L.S.
 Signature: *Thomas R. Balluff*
 Date: 01/25/19 License #: 40361

DRAWN BY: KCM
 ISSUE DATE: 1/25/19
 FILE NO: 1825

Revisions:
 1. Per City Comments - 4/04/19

VILLAGE BANK
 9298 Central Avenue NE
 Blaine, MN, 55434

RIVER WALK VILLAGE
 Ramsey, Minnesota

EXISTING CONDITIONS

Save Date: 04/04/19 F:\jobs\7801 - 7820\7802 - highway 10 ramsey\cad\3d\survey\preliminary\7802_excon.dwg

RIVER WALK VILLAGE

PARCEL DESCRIPTION: (Per Schedule A of Title Commitment File No. 104617, with a commitment date of January 4, 2019 at 8:00 A.M., prepared by All American Commercial Title, Inc., as issuing agent for Old Republic National Title Insurance Company)

Parcel B:

Outlot A, DICKENSON'S MISSISSIPPI ESTATE SECOND ADDITION, Anoka County, Minnesota.

PARCEL C:

That part of Lots 26 and 27 AUDITOR'S SUBDIVISION NO. 96, Anoka County, Minnesota, lying Easterly and Southeasterly of the following described line: Beginning at intersection of Northernly shoreline of the Mississippi River and a line 75.00 feet Southeasterly of and parallel with the Southeasterly line of Lot 7, DICKENSON'S MISSISSIPPI ESTATE, said Anoka County, as measured along Southeasterly extension of the Northeasterly line of said Lot 7; thence Northeasterly along said parallel line 235 feet, more or less, to its intersection with the Southeasterly extension of Northeasterly line of said Lot 7; thence Northwesterly along said Southeasterly extension 75 feet to the Northeast corner of said Lot 7; thence Northwesterly along Northeasterly extension of said Southeasterly line 66 feet to Northeasterly right-of-way line of Ryvlin Avenue; thence Southeasterly along said right-of-way line to a point 500 feet Southeasterly (as measured along said right-of-way line) of the intersection of said right-of-way line with Southeasterly right-of-way line of Poplar Drive (now known as Tungsten Street N.W.) as shown on the plat of DICKENSON'S MISSISSIPPI ESTATE; thence Northeasterly parallel with said Southeasterly right-of-way line to its intersection with the Southerly line of the plat of ANOKA INDEPENDENT GRAIN AND FEED; thence Southeasterly and Northeasterly along the Southerly and Easterly line of said plat of ANOKA INDEPENDENT GRAIN AND FEED to the North line of said Lot 26 and there terminating.

And lying Westerly of the following described line: Beginning at the most Northernly corner of Lot 14, said AUDITOR'S SUBDIVISION NO. 96; thence Southerly along Northwesterly line of said Lot 14 to the most Westerly corner thereof; thence Southerly along Southwesterly line of said Lot 14 to its intersection with a line parallel with and 150 feet Northwesterly (as measured at right angle) of the Southwesterly extension of Southeasterly line of said Lot 14; thence Southwesterly along said parallel line a distance of 500 feet; thence Southwesterly deflecting to right 45 degrees 00 minutes 00 seconds a distance of 900 feet, more or less, to the centerline of the Mississippi River and there terminating.

EXCEPT that property dedicated by deed of dedication dated December 9, 1949 to the Township of Ramsey for public road purposes, recorded as Document No. 132840.

ALSO EXCEPT that part platted as DICKENSON'S MISSISSIPPI ESTATE SECOND ADDITION.

PARCEL D (proposed public roadway to be vacated):

That part of vacated Ryvlin Avenue accruing thereto by reason of street vacation.

GENERAL NOTES:

- Bearings shown are based on the East-West Quarter line of Section 35, Township 32, Range 25, Anoka County, Minnesota, which is assumed to bear N89°32'30"E.
- Surveyed property address:
Parcel B - unassigned situs, Ramsey, MN.
Parcel C - 6080 Highway 10 NW, Ramsey, MN

SITE DATA

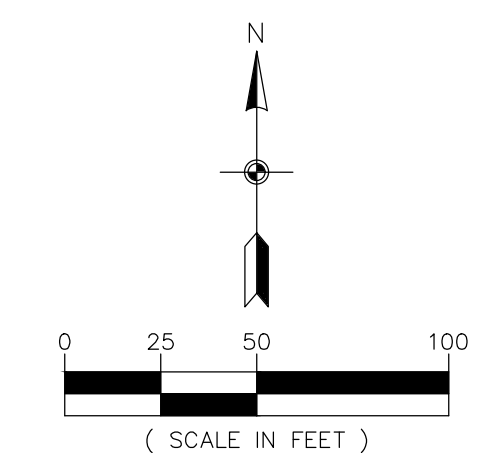
TOTAL SITE AREA	±5.55 AC.	EXISTING ZONING	R-1: MUSA
TOTAL ROW AREA	±0.77 AC.	EXISTING ZONING	E-1
TOTAL OUTLOT AREA	±2.14 AC.	PROPOSED ZONING	PUD
OUTLOT A	±0.08 AC.		
OUTLOT B	±1.42 AC.	UTILITIES	AVAILABLE
OUTLOT C	±0.64 AC.		
TOTAL LOT AREA	±2.64 AC.	MINIMUM RESIDENTIAL SETBACK DATA:	
SMALLEST LOT	±6,676 S.F.	FRONT	25 FT.
LARGEST LOT	±13,545 S.F.	SIDE (GARAGE)	7.5 FT.
AVERAGE LOT	±8,215 S.F.	SIDE (HOUSE)	7.5 FT.
TOTAL NUMBER OF LOTS	14	REAR SETBACK	30 FT.
GROSS DENSITY	2.52 LOTS/AC.		

LEGEND

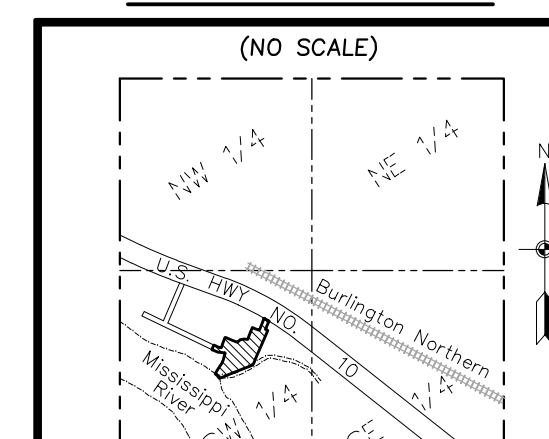
- - Denotes Anoka County Section Monument, as noted
- - Denotes Found Iron Monument
- - Denotes 5/8 inch by 14 inch rebar, marked with RLS 40361
- - Denotes Wet Land

BENCHMARK

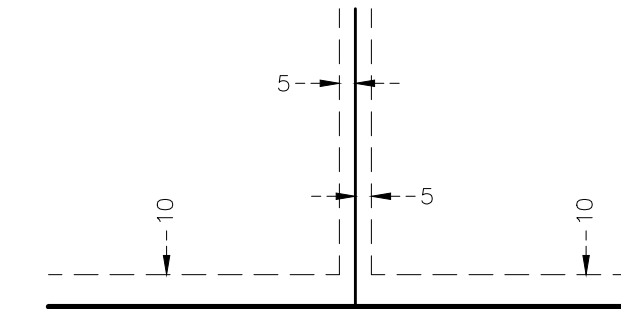
1. MNDOT GSD Station #833, Named "Lumber MNDT RM 1" Elev.= 859.11
2. MNDOT GSD Station #775, Named "E 257" Elev.= 863.67



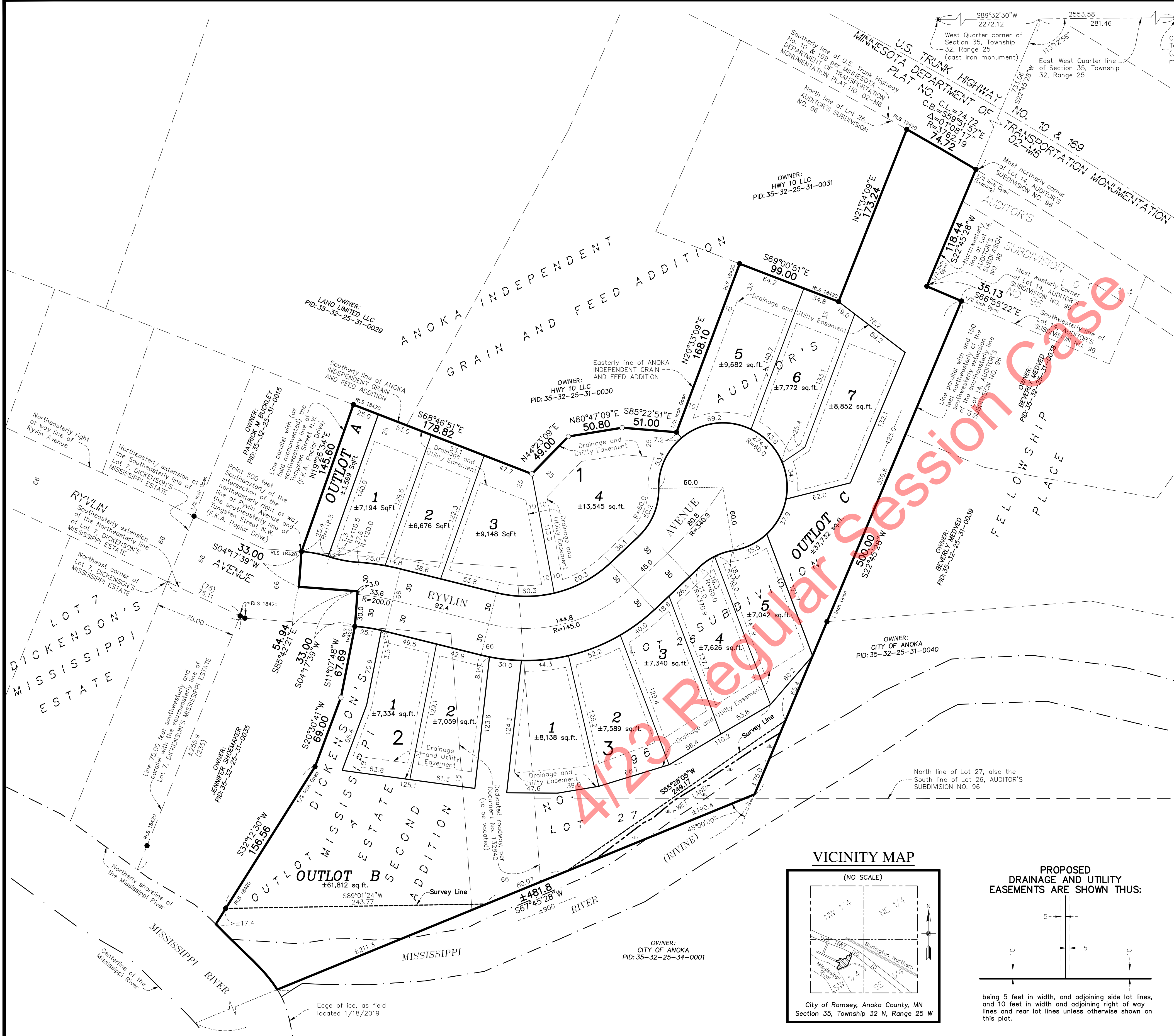
VICINITY MAP



PROPOSED DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



being 5 feet in width, and adjoining side lot lines, and 10 feet in width and adjoining right of way lines and rear lot lines unless otherwise shown on this plat.



Carlson McCain
 • environmental
 • engineering
 • surveying

3890 Pheasant Ridge Drive NE,
 Suite 100
 Blaine, MN 55449
 Phone: (763) 489-7900
 Fax: (763) 489-7959
 www.carlsonmccain.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota

Print Name: Thomas R. Balluff, L.S.
 Signature: *Thomas R. Balluff*
 Date: 01/25/19 License #: 40361

DRAWN BY: KCM
 ISSUE DATE: 1/25/19
 FILE NO.: 1825

Revisions:
 1. Per City Comments - 4/04/19

VILLAGE BANK
 9298 Central Avenue NE
 Blaine, MN, 55434

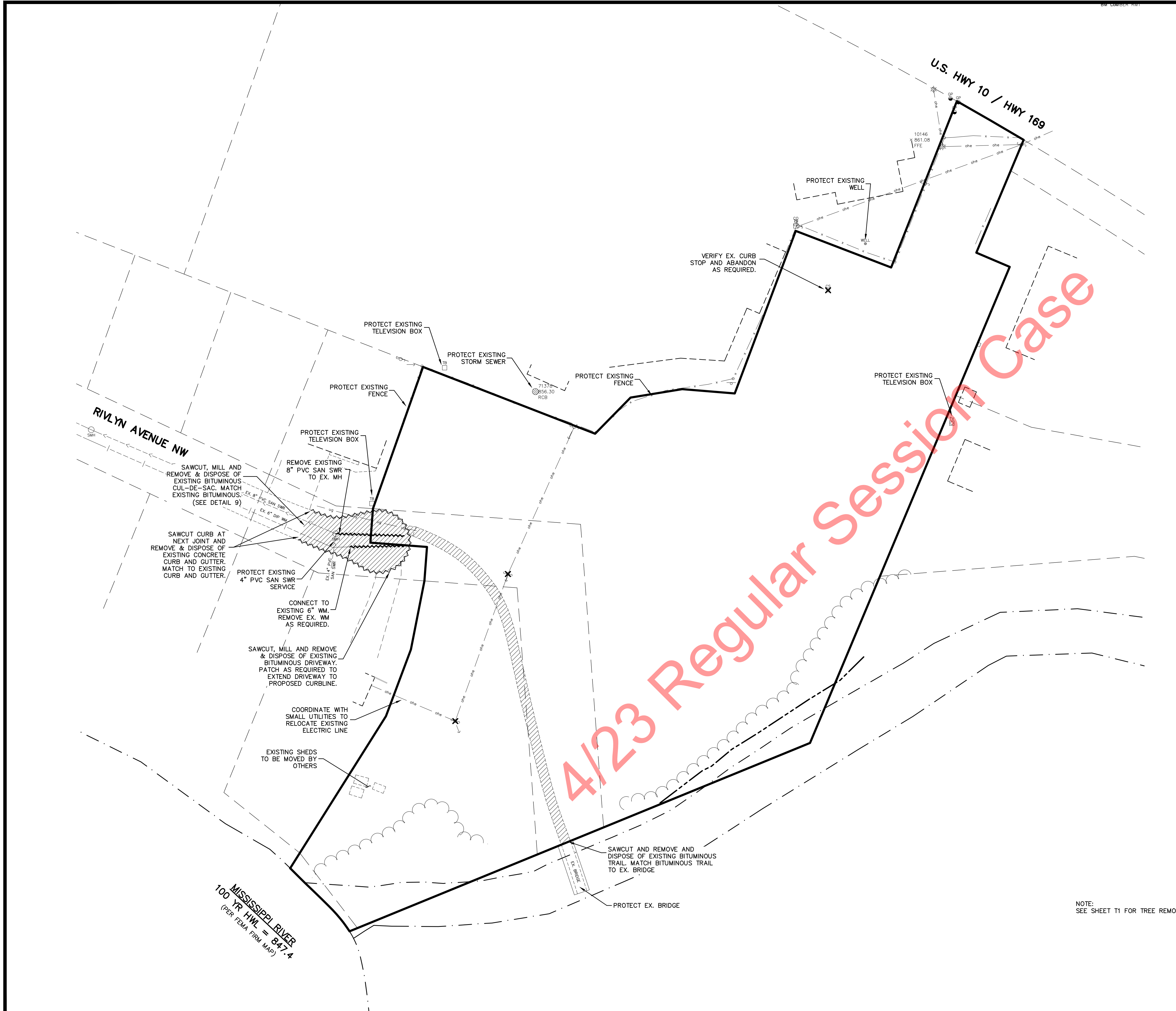
RIVER WALK VILLAGE
 Ramsey, Minnesota

PRELIMINARY PLAT

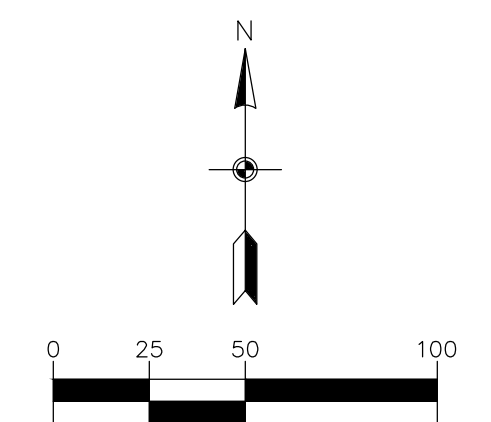
Save Date: 04/04/19 F:\jobs\7801 - 7820\7802 - highway 10 ramsey\cad c3d\survey\preliminary\7802_ppr.dwg

REMOVALS PLAN LEGEND

	EXISTING	REMOVAL
LIGHT POLE		
SANITARY MANHOLE		
MISCELLANEOUS SIGN		
EXISTING SPOT ELEVATION	1,0000.0	
EXISTING TREE		(SEE TREE PRESERVATION PLAN)
TELEVISION BOX		
FIRE HYDRANT		
FLUSHING HYDRANT		
GATE VALVE		
CLEANOUT		
ELECTRIC BOX		
GAS METER		
CATCH BASIN		
RAIN GUARDIAN		
ELECTRIC METER		
TELEPHONE BOX		
UTILITY POLE		
FLARED END SECTION		
STORM MANHOLE		
SERVICE		
SOIL BORING/TEST HOLE		
RETAINING WALL		
WATERMAIN		
SANITARY SEWER		
FORCEMAIN		
STORM SEWER		
PROPERTY LINE		
SETBACK LINE		
CURB		
WATER LINE		
WETLAND		
DITCH		
UNDERGROUND TELEPHONE		
UNDERGROUND ELECTRIC		
UNDERGROUND GAS		
UNDERGROUND FIBEROPTIC		
FENCE		
OVERHEAD ELECTRIC		
CONCRETE SURFACE		
BITUMINOUS SURFACE		



4/23 Regular Session Case

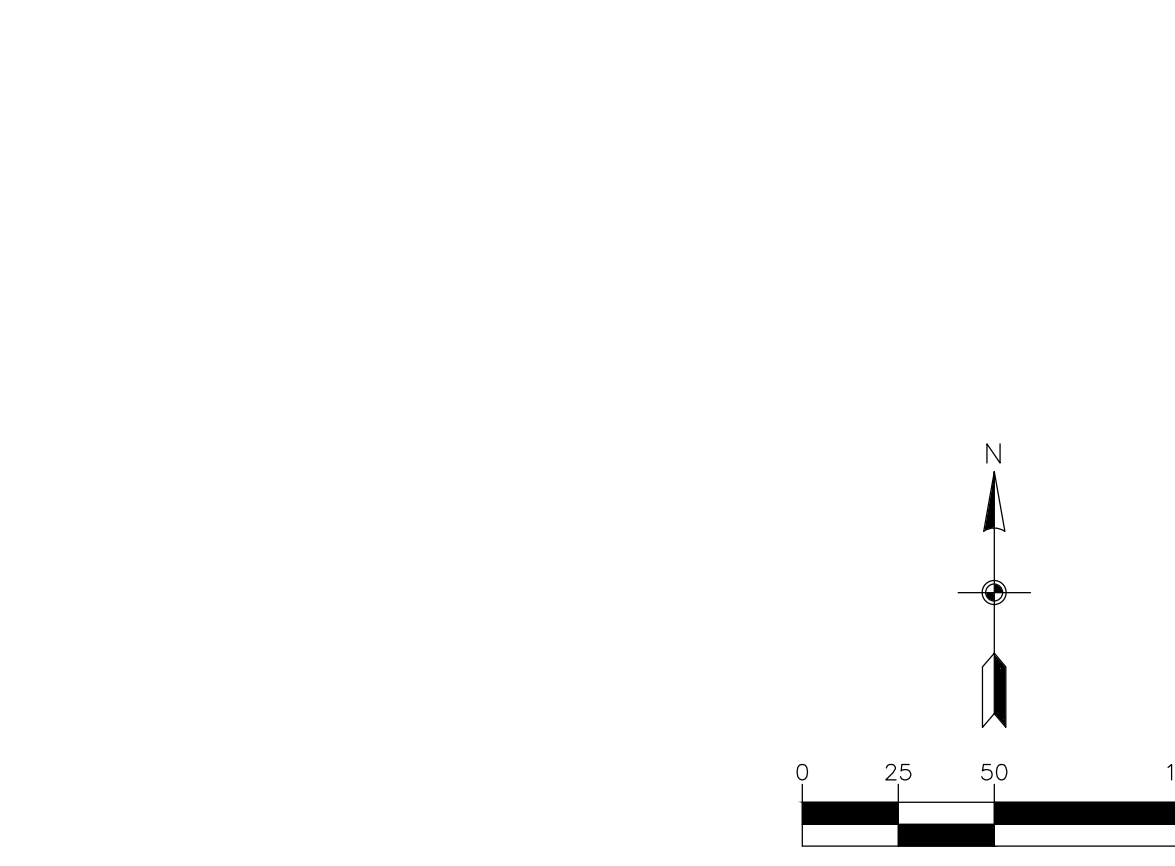


BENCHMARK
1. MNDOT GSD Station #833, Named "Lumber MNDT RM 1" Elev. = 859.11
2. MNDOT GSD Station #775, Named "E 257" Elev. = 863.67

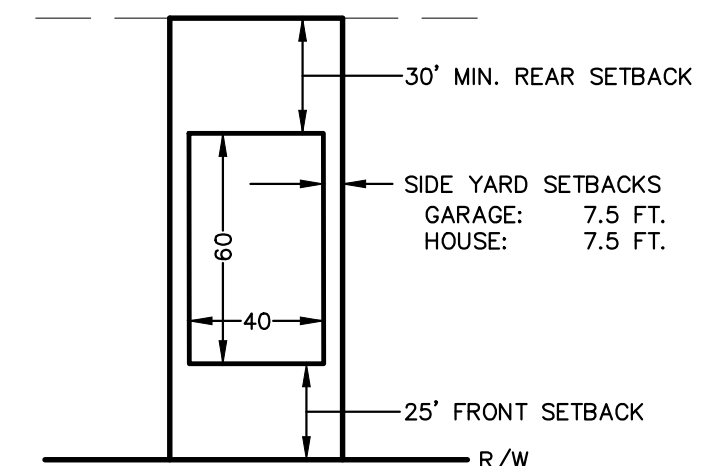
NOTE:
SEE SHEET T1 FOR TREE REMOVALS

SITE PLAN LEGEND

	EXISTING	PROPOSED
LIGHT POLE		
SANITARY MANHOLE		
MISCELLANEOUS SIGN		
EXISTING SPOT ELEVATION		
EXISTING TREE		
TELEVISION BOX		
FIRE HYDRANT		
FLUSHING HYDRANT		
GATE VALVE		
CLEANOUT		
ELECTRIC BOX		
GAS METER		
CATCH BASIN		
RAIN GUARDIAN		
ELECTRIC METER		
TELEPHONE BOX		
UTILITY POLE		
FLARED END SECTION (W/ RIP RAP)		
STORM MANHOLE		
BREAKAWAY BOLLARD SERVICE		
SOIL BORING/TEST HOLE		
RETAINING WALL		
WATERMAIN		
SANITARY SEWER		
FORCEMAIN		
STORM SEWER		
PROPERTY LINE		
SETBACK LINE		
CURB		
WATER LINE		
WETLAND		
DITCH		
TREE LINE		
UNDERGROUND TELEPHONE		
UNDERGROUND ELECTRIC		
UNDERGROUND GAS		
UNDERGROUND FIBEROPTIC		
FENCE		
OVERHEAD ELECTRIC		
CONCRETE SURFACE		
BITUMINOUS SURFACE		
MAINTENANCE ACCESS		
INFILTRATION BASIN		
FEMA FLOODWAY		
FEMA FLOODPLAIN		

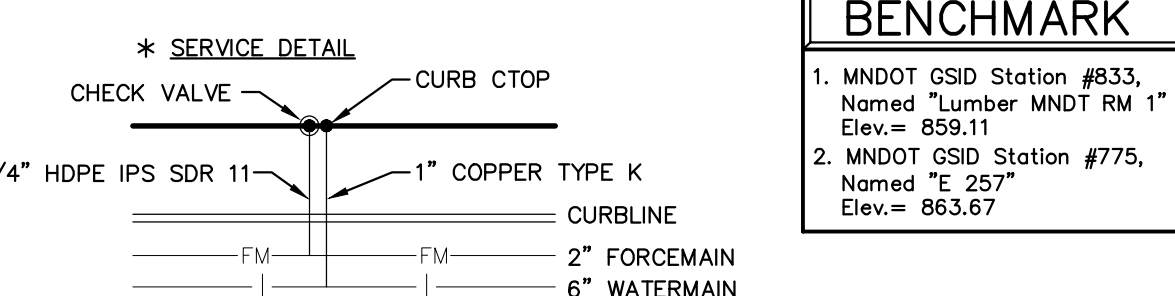


50' LOT DETAIL

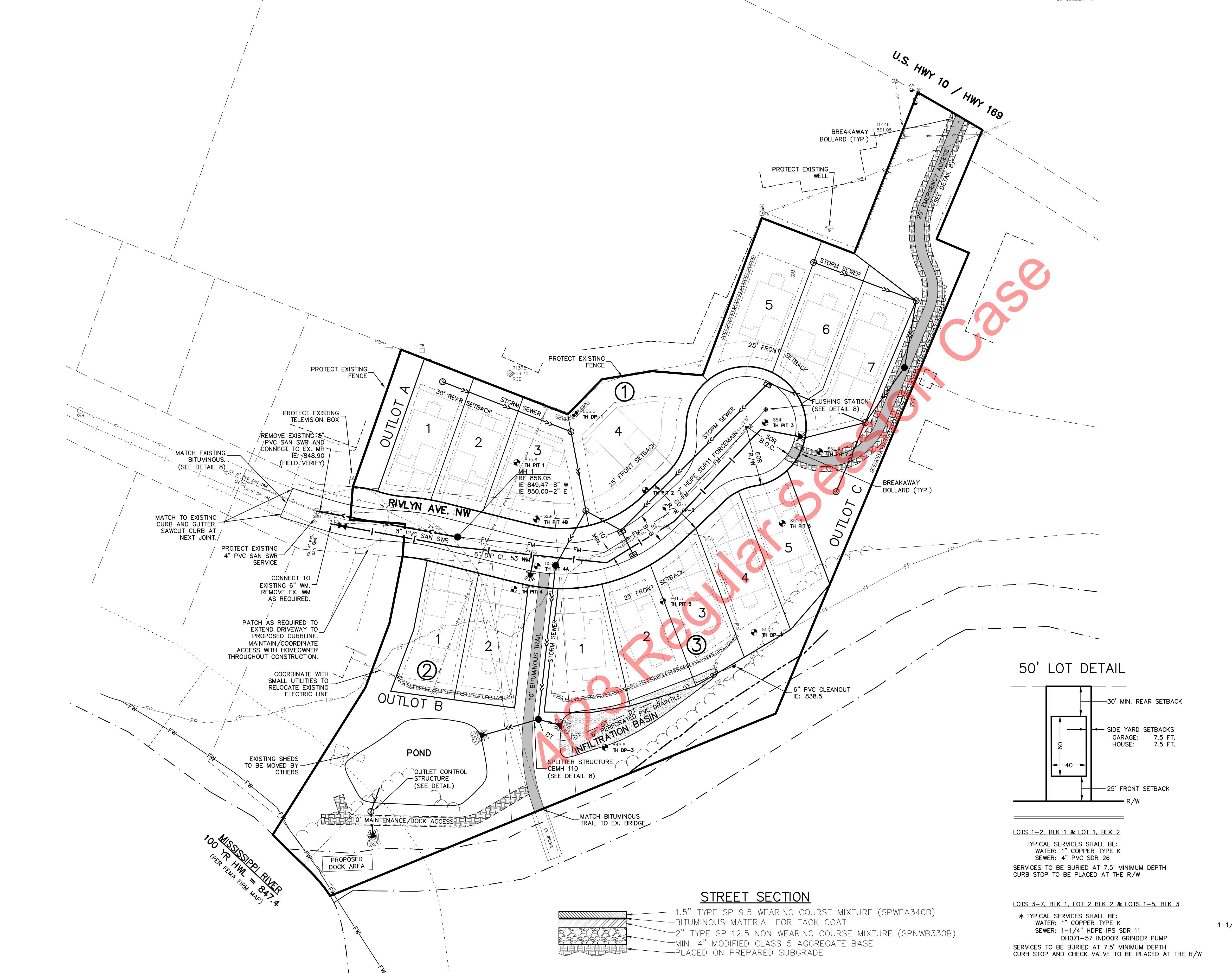


LOTS 1-2, BLK 1 & LOT 1, BLK 2
 TYPICAL SERVICES SHALL BE:
 WATER: 1" COPPER TYPE K
 SEWER: 4" PVC SDR 26
 SERVICES TO BE BURIED AT 7.5' MINIMUM DEPTH
 CURB STOP TO BE PLACED AT THE R/W

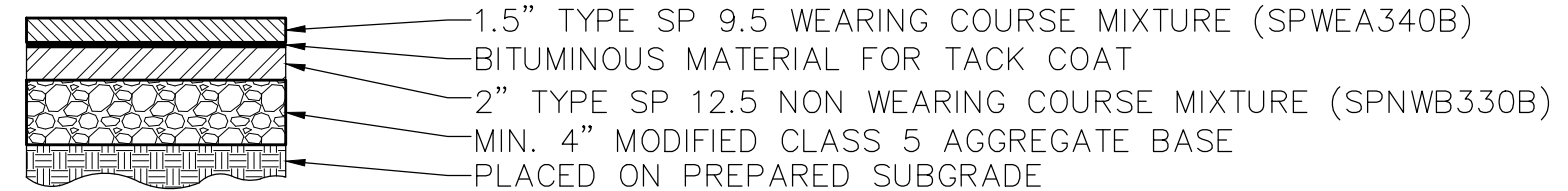
LOTS 3-7, BLK 1, LOT 2, BLK 2 & LOTS 1-5, BLK 3
 * TYPICAL SERVICES SHALL BE:
 WATER: 1" COPPER TYPE K
 SEWER: 1-1/4" HDPE IPS SDR 11
 DHO71-57 INDOOR GRINDER PUMP
 SERVICES TO BE BURIED AT 7.5' MINIMUM DEPTH
 CURB STOP AND CHECK VALVE TO BE PLACED AT THE R/W



BENCHMARK
 1. MNDOT GSD Station #833, Named "Lumber MNDT RM 1" Elev.= 859.11
 2. MNDOT GSD Station #775, Named "E 257" Elev.= 863.67



STREET SECTION



Carlson McCain
 environmental engineering surveying
 3890 Pheasant Ridge Drive NE, Suite 100
 Blaine, MN 55449
 Phone: (763) 489-7900
 Fax: (763) 489-7959
 www.carlsonmccain.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Print Name: Brian J. Krystofiak, P.E.
 Signature: *Brian J. Krystofiak*
 Date: 1/25/19 License #: 25063

Drawn: ADB
 Designed: BJK
 Date: 1/25/19

VILLAGE BANK
 9298 Central Avenue NE
 Blaine, MN 55434

RIVER WALK VILLAGE
 Ramsey, Minnesota

PRELIMINARY SITE & UTILITY PLAN

Save Date: 04/04/19 | F:\08617801 - 782017802 - Highway 10 ramsey\cad_c3d\engineering\preliminary\7802_site.dwg

LOT TABULATION

Block	Lot	House Type	Garage Floor Elevation	Proposed Lowest Floor Elevation	Lowest opening Elevation	EOF	100 Year	Water Table	Controlling Elevation		Method
									LF	LO	
1	1	SOG	858.5	858.5	858.5	853.0	-	833.0	-	854.0	EOF
1	2	SOG	858.5	858.5	858.5	853.0	-	833.0	-	854.0	EOF
1	3	SOG	857.5	857.5	857.5	853.0	-	833.0	-	854.0	EOF
1	4	SOG	855.0	855.0	855.0	853.0	-	833.0	-	854.0	EOF
1	5	SOG	854.0	854.0	854.0	853.0	-	833.0	-	854.0	EOF
1	6	SOG	854.0	854.0	854.0	853.0	-	833.0	-	854.0	EOF
1	7	SOG	854.0	854.0	854.0	853.0	-	833.0	-	854.0	EOF
2	1	WO	858.5	851.0	851.0	-	847.4	833.0	849.4	-	100-YR
2	2	WO	857.5	850.0	850.0	-	847.4	833.0	849.4	-	100-YR
3	1	WO(2)	856.0	849.5	849.5	-	847.4	833.0	849.4	-	100-YR
3	2	WO(2)	856.0	849.5	849.5	-	847.4	833.0	849.4	-	100-YR
3	3	WO(2)	856.0	849.5	849.5	-	847.4	833.0	849.4	-	100-YR
3	4	WO(2)	856.0	849.5	849.5	-	847.4	833.0	849.4	-	100-YR
3	5	WO(2)	856.0	849.5	849.5	-	847.4	833.0	849.4	-	100-YR

NOTES

- SEE SWPPP FOR STORMWATER POLLUTION PREVENTION PRACTICES.
- STREET SWEEPER MUST BE ONSITE OR AVAILABLE WITHIN 3 HOURS IF NOTIFIED BY THE CITY THAT STREET SWEEPING IS REQUIRED.
- ALL DUMPSITE DEBRIS SHALL BE REMOVED FROM THE RIGHT-OF-WAY AND BUILDING PADS. (TO BE COMPLETED WITH THE SITE CLEANUP PROJECT)



LEGEND

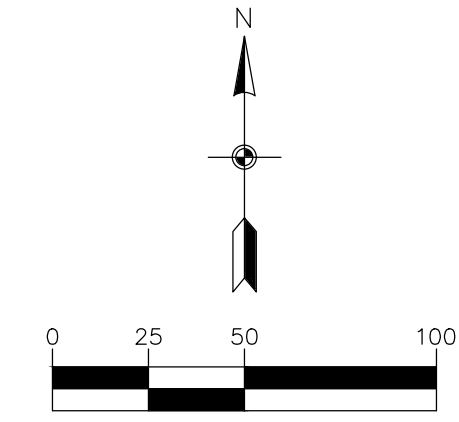
EXISTING	PROPOSED
PROPERTY LINE	---
EASEMENT LINE	---
CURB LINE	---
BITUMINOUS	---
CONCRETE	---
MAINTENANCE ACCESS	---
INFILTRATION BASIN	---
SANITARY SEWER	---
STORM SEWER	---
WATER MAIN	---
OVERHEAD UTILITY	---
STORM CATCH BASIN	---
STORM MANHOLE	---
OUTLET CONTROL STRUCTURE	---
MANHOLE	---
HYDRANT	---
GATE VALVE	---
TELEVISION BOX	---
TELEPHONE BOX	---
UTILITY POLE	---
RETAINING WALL	---
FENCE	---
10' CONTOUR	---
2' CONTOUR	---
SPECIFIED CONTOUR	---
FEMA FLOODWAY	---
FEMA FLOODPLAIN	---
100' BUFFER	---
WETLAND LINE	---
SPOT ELEVATION	---
EMERGENCY OVERFLOW	---
SILT FENCE	---
TREE FENCE	---
GRADING LIMITS	---
TREELINE	---
SOIL BORING	---

WETLAND FIL SUMMARY

THERE ARE NO PROPOSED WETLAND IMPACTS

FLOODPLAIN SUMMARY

- FLOODPLAIN MITIGATION = 4,675 C.Y.
- FLOODPLAIN FILL = 4,160 C.Y.



BENCHMARK

- MNDOT GSID Station #833, Named "Lumber MNDT RM 1" Elev. = 859.11
- MNDOT GSID Station #775, Named "E 257" Elev. = 863.67



3890 Pheasant Ridge Drive NE, Suite 100
Blaine, MN 55449
Phone: (763) 489-7900
Fax: (763) 489-7959
www.carlsonmccain.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Print Name: Brian J. Krystofiak, P.E.
Signature: *Brian J. Krystofiak*
Date: 1/25/19 License #: 25063

Drawn: ADB
Designed: BJK
Date: 1/25/19

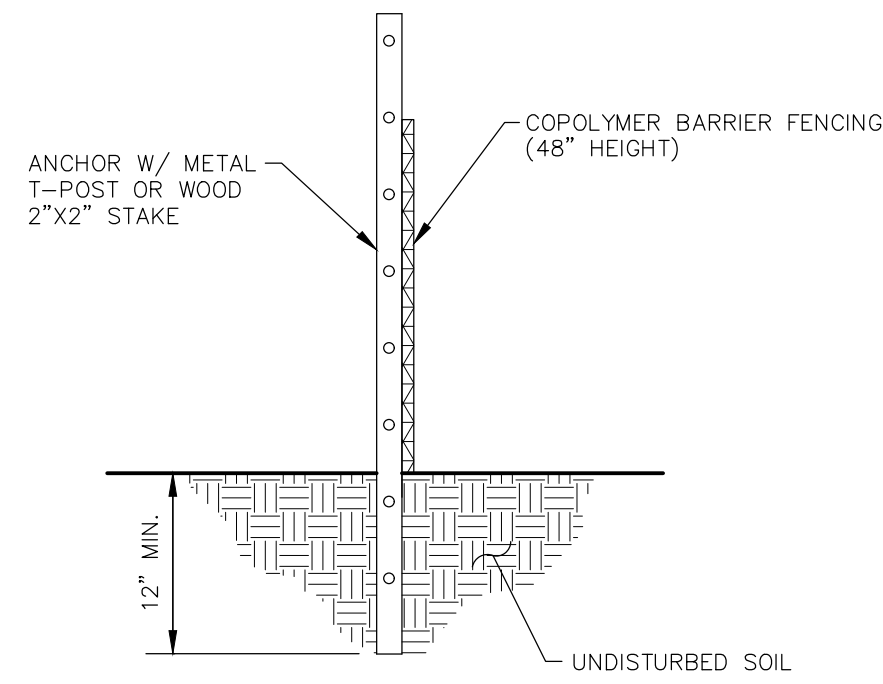
VILLAGE BANK
9298 Central Avenue NE
Blaine, MN 55434

RIVER WALK VILLAGE
Ramsey, Minnesota

PRELIMINARY GRADING & EROSION CONTROL PLAN

Save Date: 04/04/19 11:06:17 AM - 782017802 - Highway 10 ramsey/cad_c3d/engineering/preliminary/7802_grade.dwg

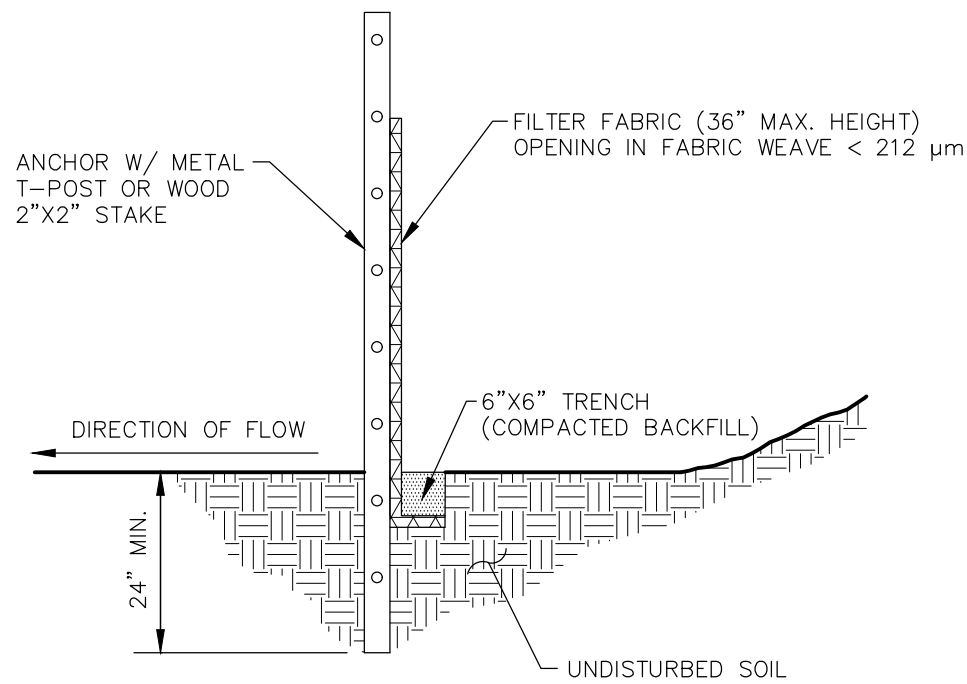
TREE FENCE



NOTES:

1. TREE FENCING SHALL BE PLACED A MINIMUM OF 1 FOOT PER CALIPER INCH OF TREE DIAMETER FROM TREE(S) THAT IS/ARE TO BE SAVED.
2. ANCHOR POST MAY BE SPACED UP TO 10 FEET APART.
3. SECURELY ATTACH TREE FENCE TO ANCHOR POSTS W/ MINIMUM OF TWO ATTACHMENTS PER POST.
4. SEE MNDOT SPECIFICATION 2572.

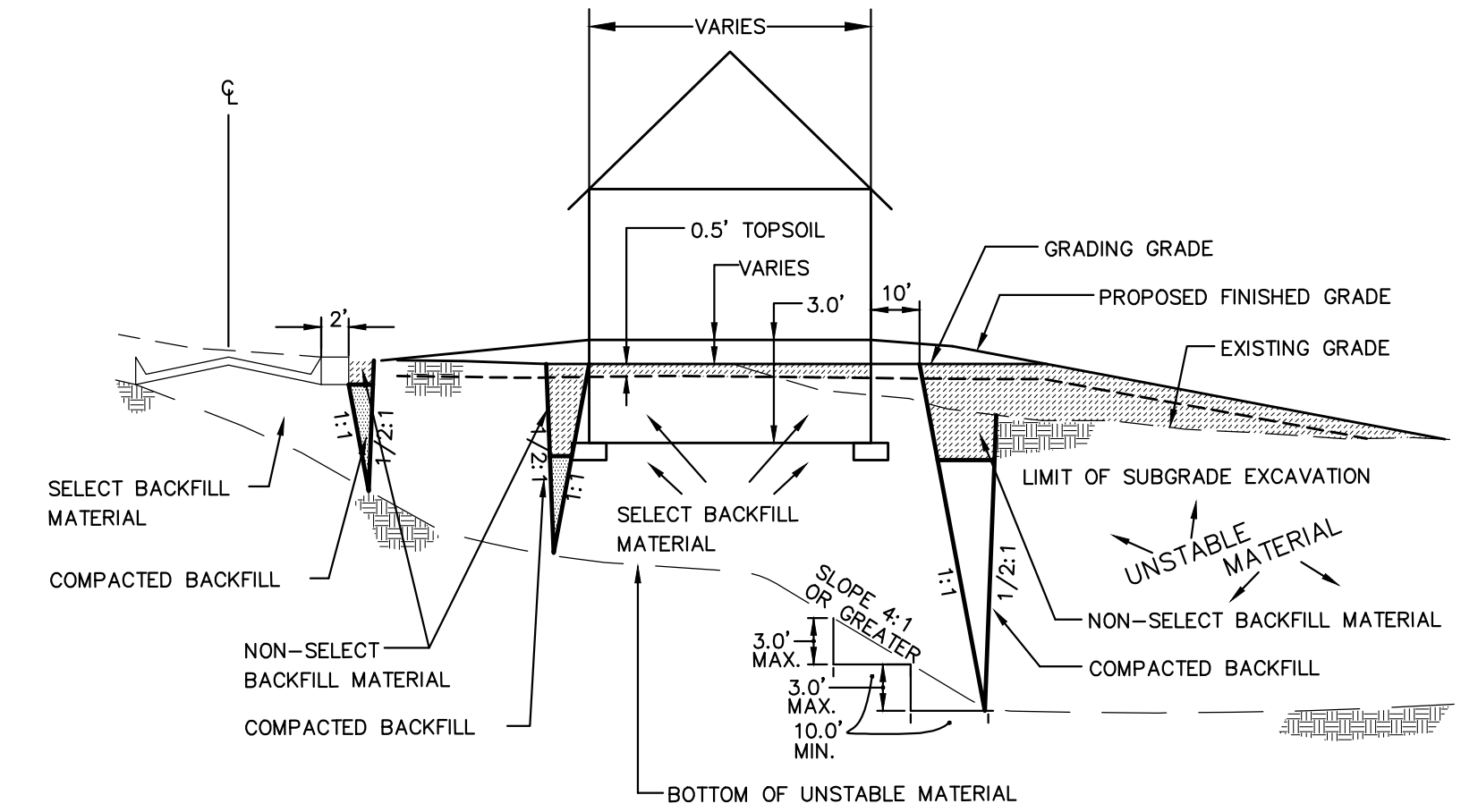
SILT FENCE



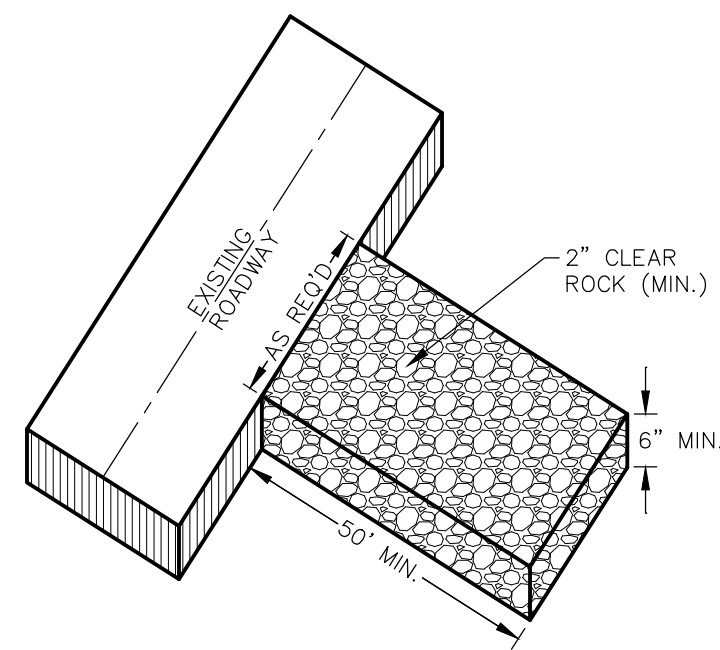
NOTES:

1. DIG A 6"x6" TRENCH ALONG THE INTENDED SILT FENCE LINE.
2. DRIVE ALL ANCHOR POSTS INTO THE GROUND AT THE DOWNHILL SIDE OF THE TRENCH.
3. POSTS SHALL BE SPACED A MAXIMUM OF 6 FEET APART.
4. LAY OUT SILT FENCE ALONG THE UPHILL SIDE OF THE ANCHOR POSTS AND BACK FILL 6"x6" TRENCH.
5. SECURELY ATTACH SILT FENCE TO ANCHOR POSTS W/ MINIMUM OF THREE ATTACHMENTS PER POST.
6. SEE MNDOT SPECIFICATIONS 2573 & 3886.

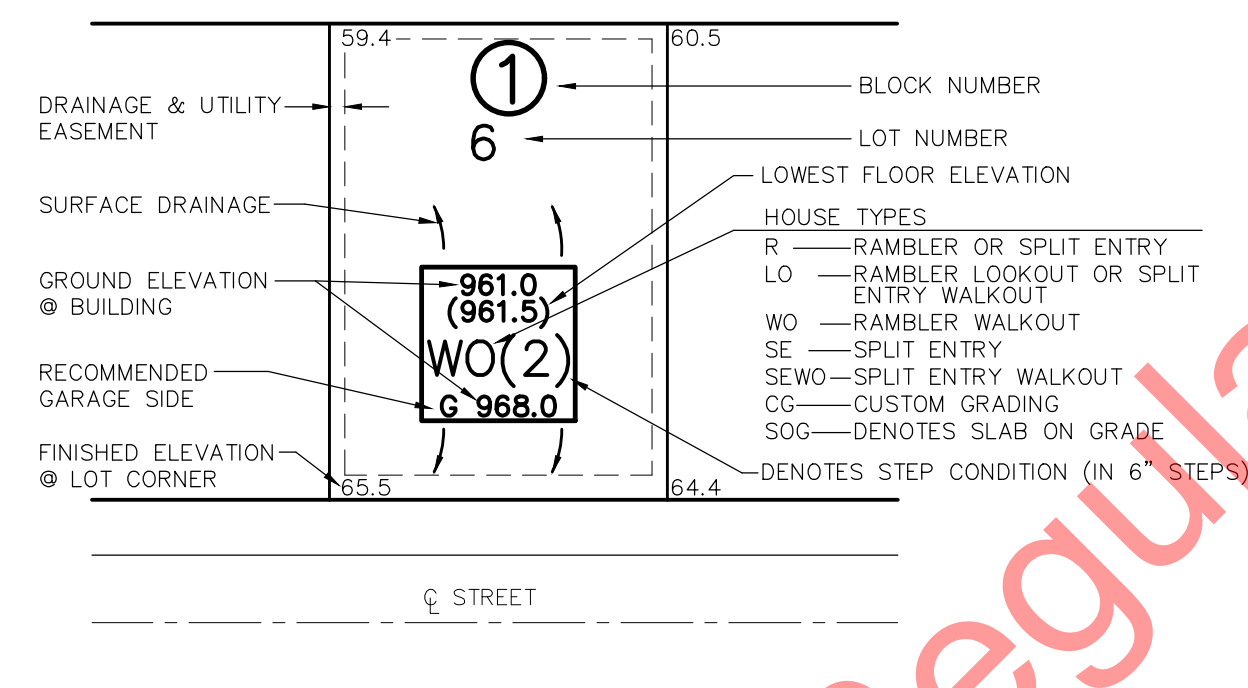
SUBGRADE CORRECTION



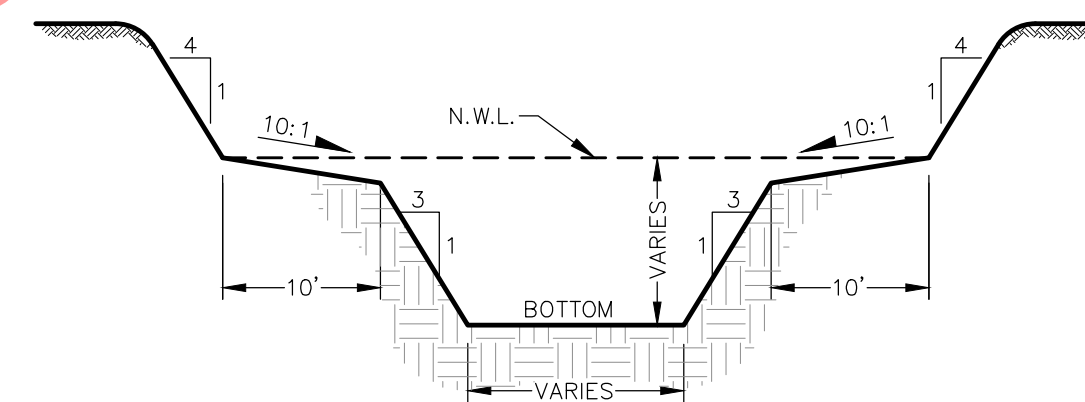
ROCK CONSTRUCTION ENTRANCE



GRADING PLAN LOT KEY



TYPICAL POND SECTION



TURF ESTABLISHMENT

TURF ESTABLISHMENT SHALL APPLY TO ALL DISTURBED AREAS AND SHALL BE ACCORDING TO MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION (LATEST EDITION) EXCEPT AS MODIFIED BELOW.

TURF ESTABLISHMENT SHALL OCCUR AS SOON AS POSSIBLE BUT IN NO CASE MORE THAN 7 DAYS.

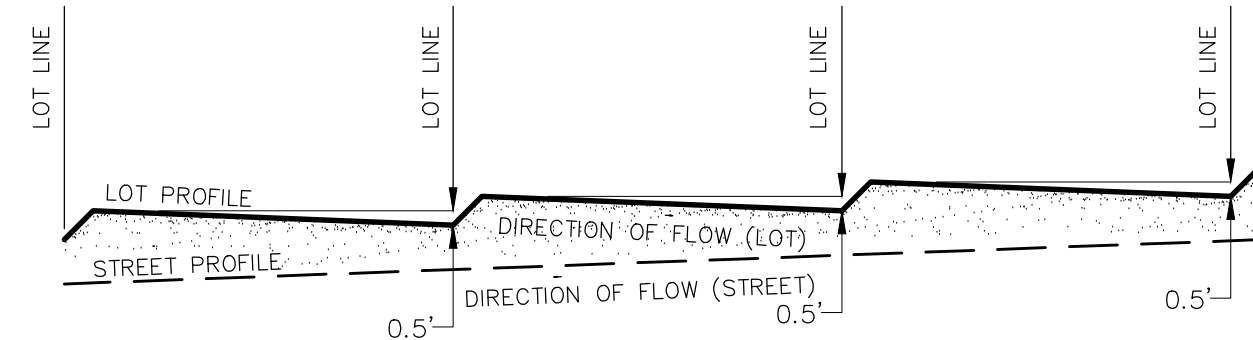
SEED: MNDOT MIXTURE 25-141 AT 60 POUNDS PER ACRE.

DORMANT SEED: SHALL BE APPLIED AT TWICE THE NORMAL RATE AFTER NOVEMBER 1ST.

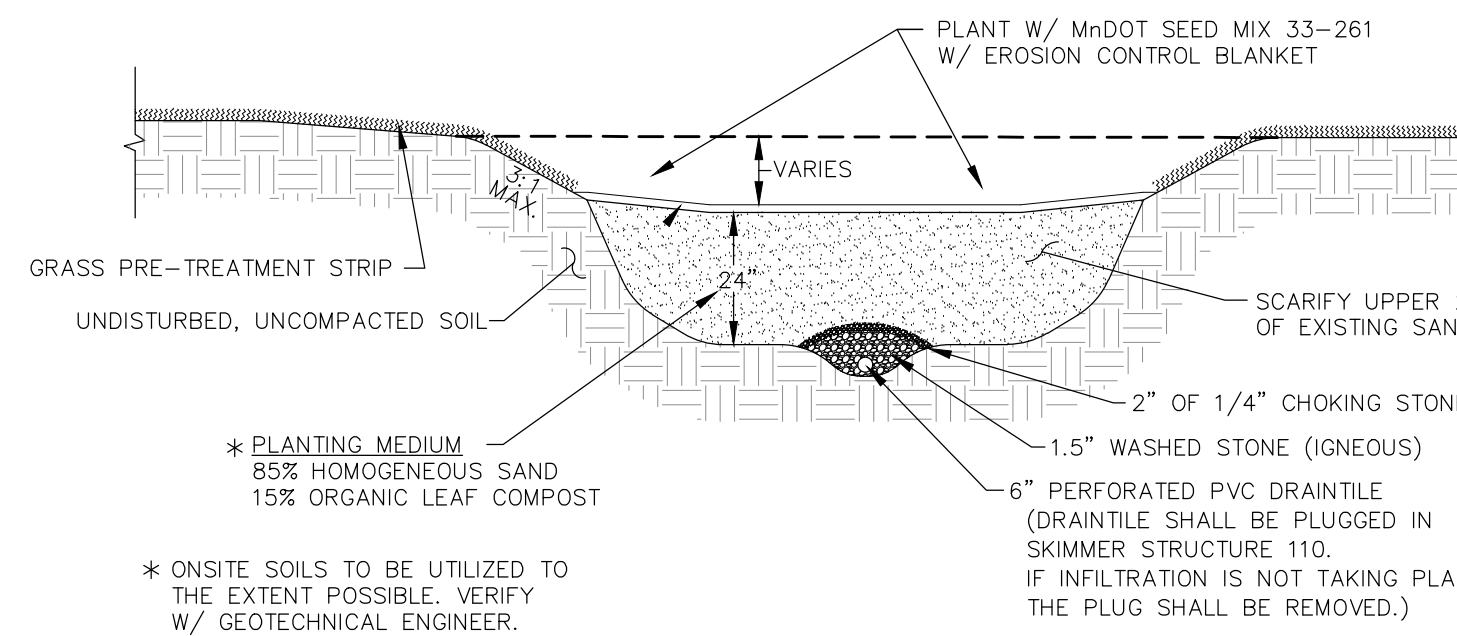
MULCH: TYPE 1 AT 2 TONS PER ACRE (DISK ANCHORED).

FERTILIZER: TYPE 1 10-10-10 AT 200 POUNDS PER ACRE.

LOT BENCHING DETAIL

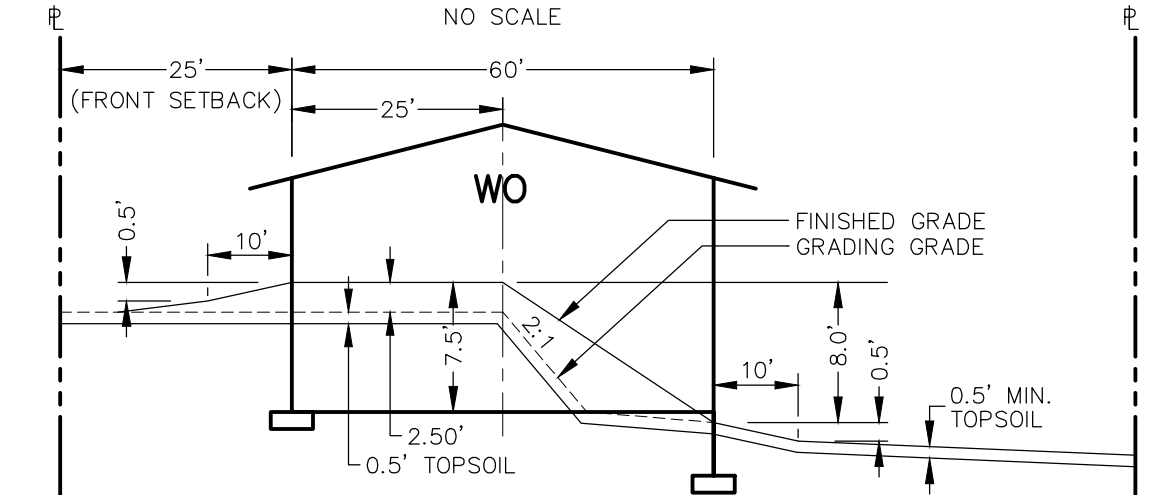


INFILTRATION BASIN

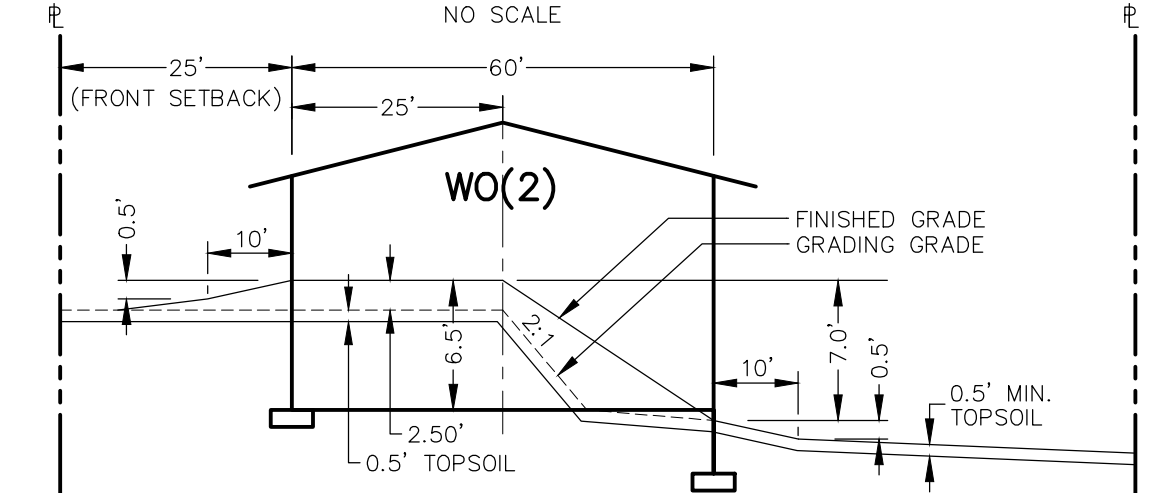


NOTE: A 4" LAYER OF CLAY WAS FOUND 2' BELOW THE SURFACE. ALL CLAY SHALL BE REMOVED WITHIN THE LIMITS OF THE INFILTRATION BASIN TO ENSURE INFILTRATION WILL TAKE PLACE.

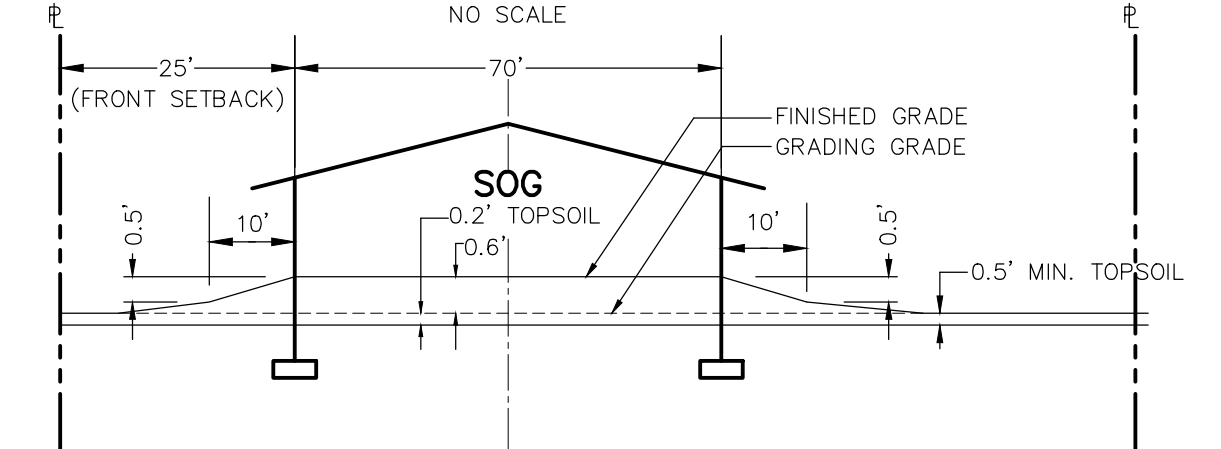
WALKOUT



MODIFIED WALKOUT

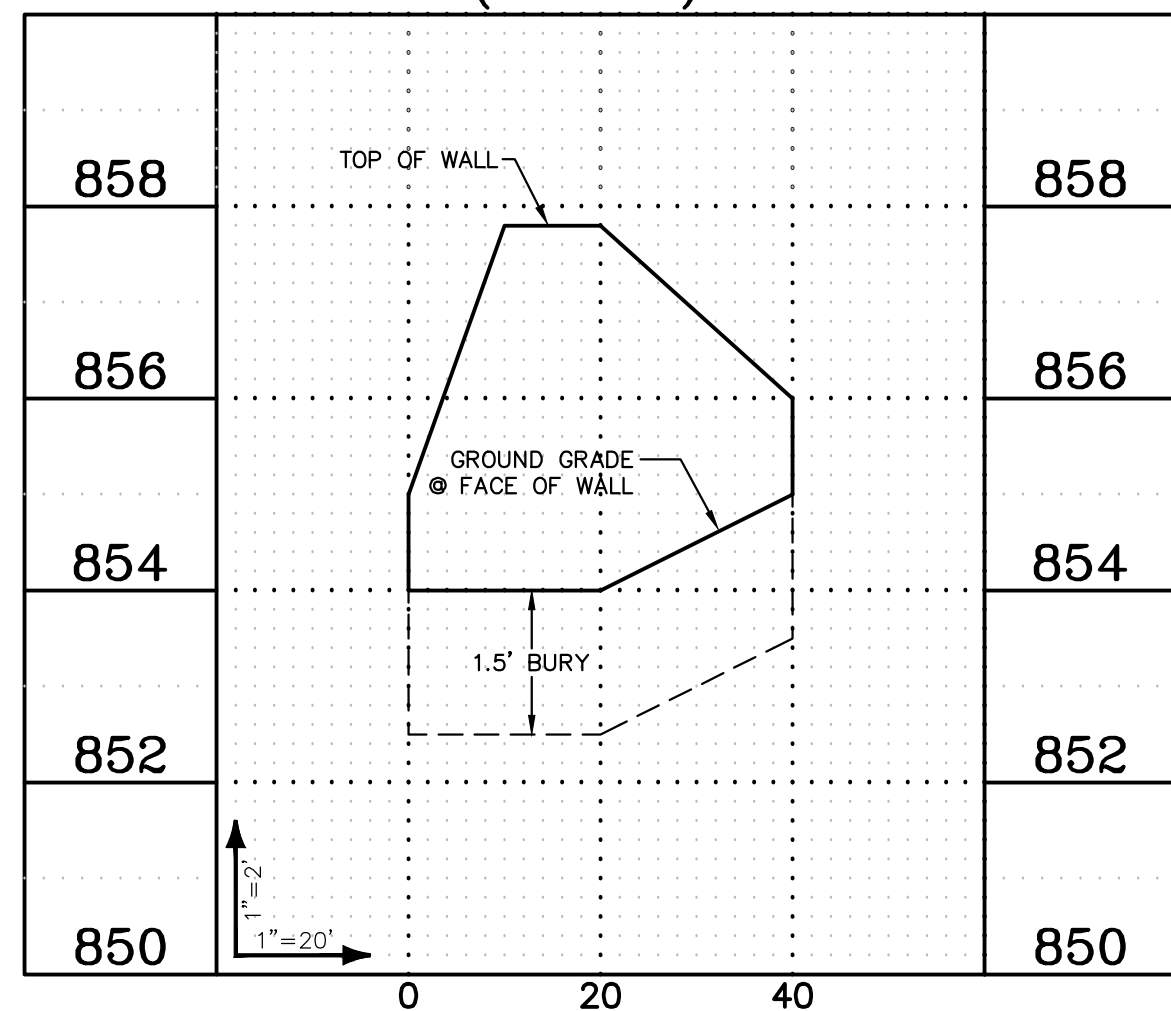


SLAB ON GRADE

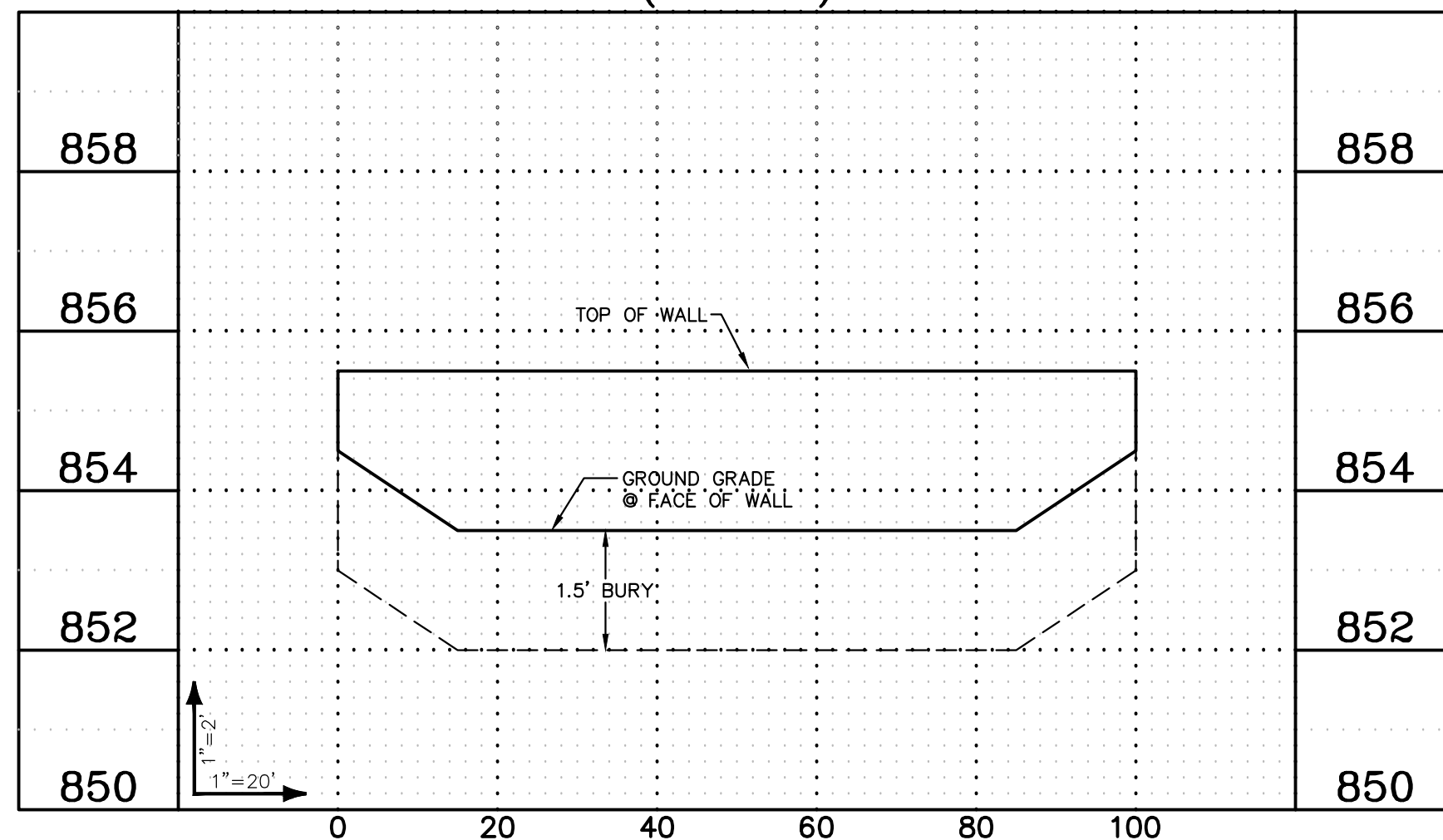


4/23 Regular Session Case

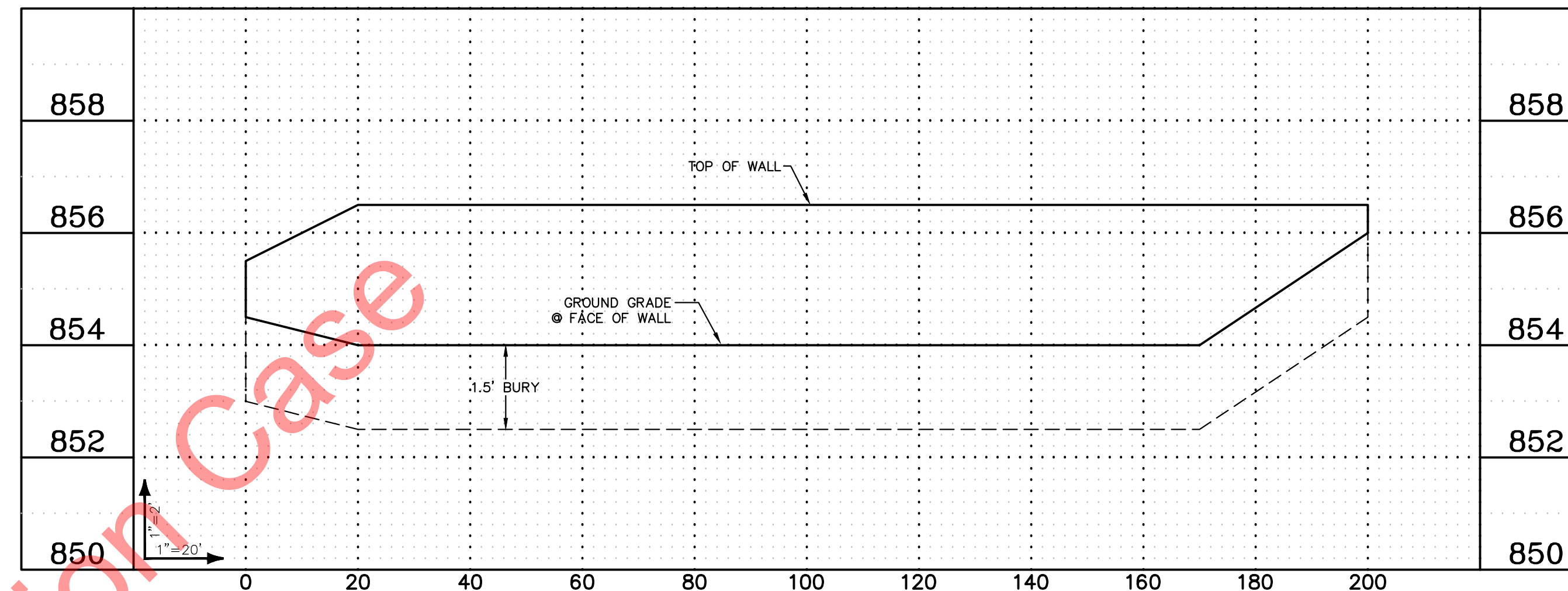
ROCK RETAINING WALL #1
(170 SF)



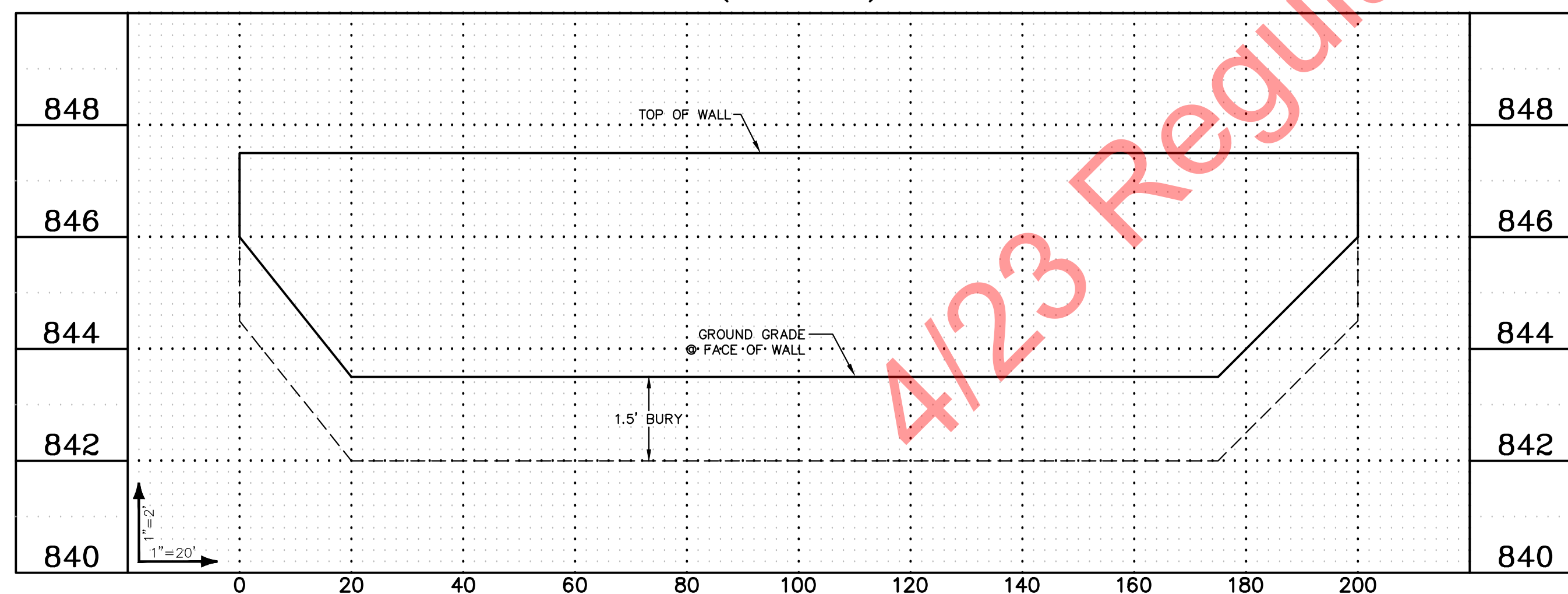
ROCK RETAINING WALL #2
(335 SF)



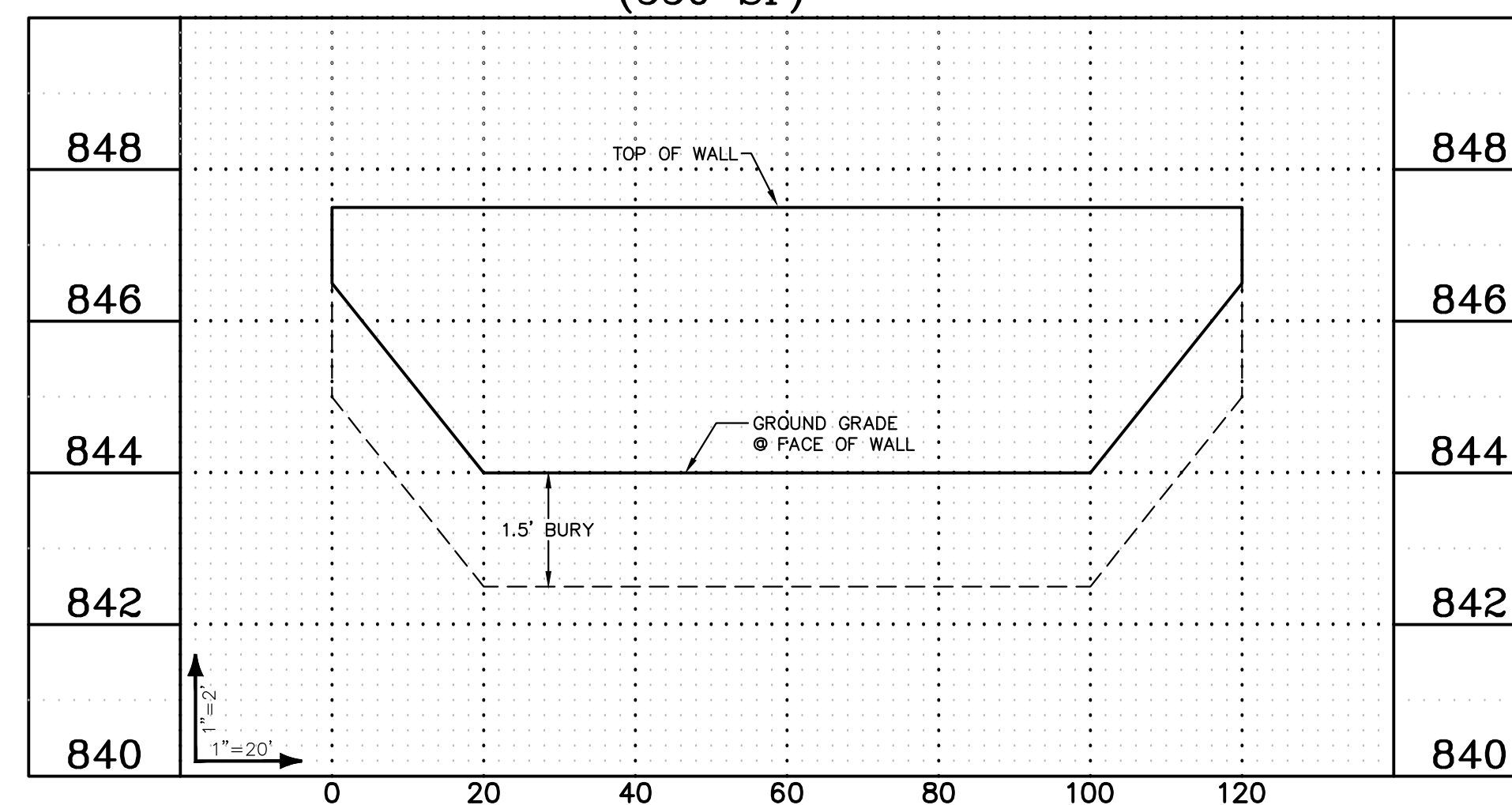
MODULAR RETAINING WALL #3
(755 SF)



MODULAR RETAINING WALL #4
(1,045 SF)



ROCK RETAINING WALL #5
(550 SF)



4123 Regular Session Case

Councilmember _____ introduced the following resolution and moved for its adoption:

RESOLUTION #19-101

RESOLUTION AUTHORIZING APPLICATION FOR THE TAX BASE REVITALIZATION ACCOUNT

WHEREAS, the City of Ramsey is a participant in the Livable Communities Act's Local Housing Incentives Account Program for 2019 as determined by the Metropolitan Council, and is therefore eligible to make application apply for funds under the Tax Base Revitalization Account; and

WHEREAS, the City has identified a contamination cleanup project within the City that meet the Tax Base Revitalization Account's purposes and criteria and are consistent with and promote the purposes of the Metropolitan Livable Communities Act and the policies of the Metropolitan Council's adopted metropolitan development guide; and

WHEREAS, the City has the institutional, managerial and financial capability to ensure adequate project and grant administration; and

WHEREAS, the City certifies that it will comply with all applicable laws and regulations as stated in the contract grant agreements; and

WHEREAS, the City finds that the required contamination cleanup will not occur through private or other public investment within the reasonably foreseeable future without Tax Base Revitalization Account grant funding; and

WHEREAS, the City represents that it has undertaken reasonable and good faith efforts to procure funding for the activities for which Livable Communities Act Tax Base Revitalization Account funding is sought but was not able to find or secure from other sources funding that is necessary for cleanup completion and states that this representation is based on the following reasons and supporting facts:

1. Cleanup is required to remove a decades old unapproved landfill. A majority of the debris appears to be construction waste. There is no known hazardous materials.
2. Total Cleanup Costs exceed \$800,000 as evidenced by multiple engineering studies.
3. The City has exhausted multiple land use exercises in searching for a development scenario that could sustain cleanup costs.
4. This is the second official development project scenario reviewed. A third unofficial proposal never moved forward.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

1. The Community Development Director is authorized to submit an application for Metropolitan Council Tax Base Revitalization Account grant funds and,
2. If the City is awarded a Tax Base Revitalization Account grant for this project, the City will be the grantee and agrees to act as legal sponsor to administer and be responsible for grant funds expended for the project contained in the Tax Base Revitalization grant application submitted on May 1, 2019

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember _____ and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Existing Vacancy

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 23th day of April, 2019.

Mayor

ATTEST:

City Clerk

4/23 Regular Session Case

Councilmember _____ introduced the following resolution and moved for its adoption:

RESOLUTION #19-102

RESOLUTION AUTHORIZING APPLICATION AND COMMITTING LOCAL MATCH FOR THE MINNESOTA DEPARTMENT OF EMPLOYMENT AND ECONOMIC DEVELOPMENT CONTAMINATION CLEANUP GRANT

WHEREAS, the City has identified a contamination cleanup project within the City that known as River Walk Village.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

1. That the City of Ramsey approves the Contamination Cleanup Grant Application to be submitted to the Department of Employment and Economic Development (DEED).
2. That the City of Ramsey is located within the seven county metropolitan area as defined in section 473.121, subdivision 2, and is participating in the local housing incentives program under section 473.254.
3. That the City of Ramsey shall act as the legal sponsor for the project contained in the Contamination Cleanup Grant Program to be submitted on May 1, 2019 and that the Community Development Director is hereby authorized to apply to the Department of Employment and Economic Development for funding on behalf of the City of Ramsey.
4. That the City of Ramsey has the legal authority to apply for financial assistance, and the institutional, managerial, and financial capability to ensure adequate project administration.
5. That the sources and amounts of the local match identified in the application are committed to the project identified.
6. That the City of Ramsey has not violated any Federal, State or local laws pertaining to fraud, bribery, graft, kickbacks, collusion, conflict of interest or other unlawful or corrupt practice.
7. That upon approval by the state, the City of Ramsey may enter into an agreement with the State of Minnesota for the above-referenced project(s) and that the City of Ramsey certifies that it will comply with all applicable laws and regulation as stated in all contract documents.
8. That the Mayor and City Administrator are hereby authorized to execute such agreements as are necessary to implement the project on behalf of the Applicant.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember _____ and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Existing Vacancy

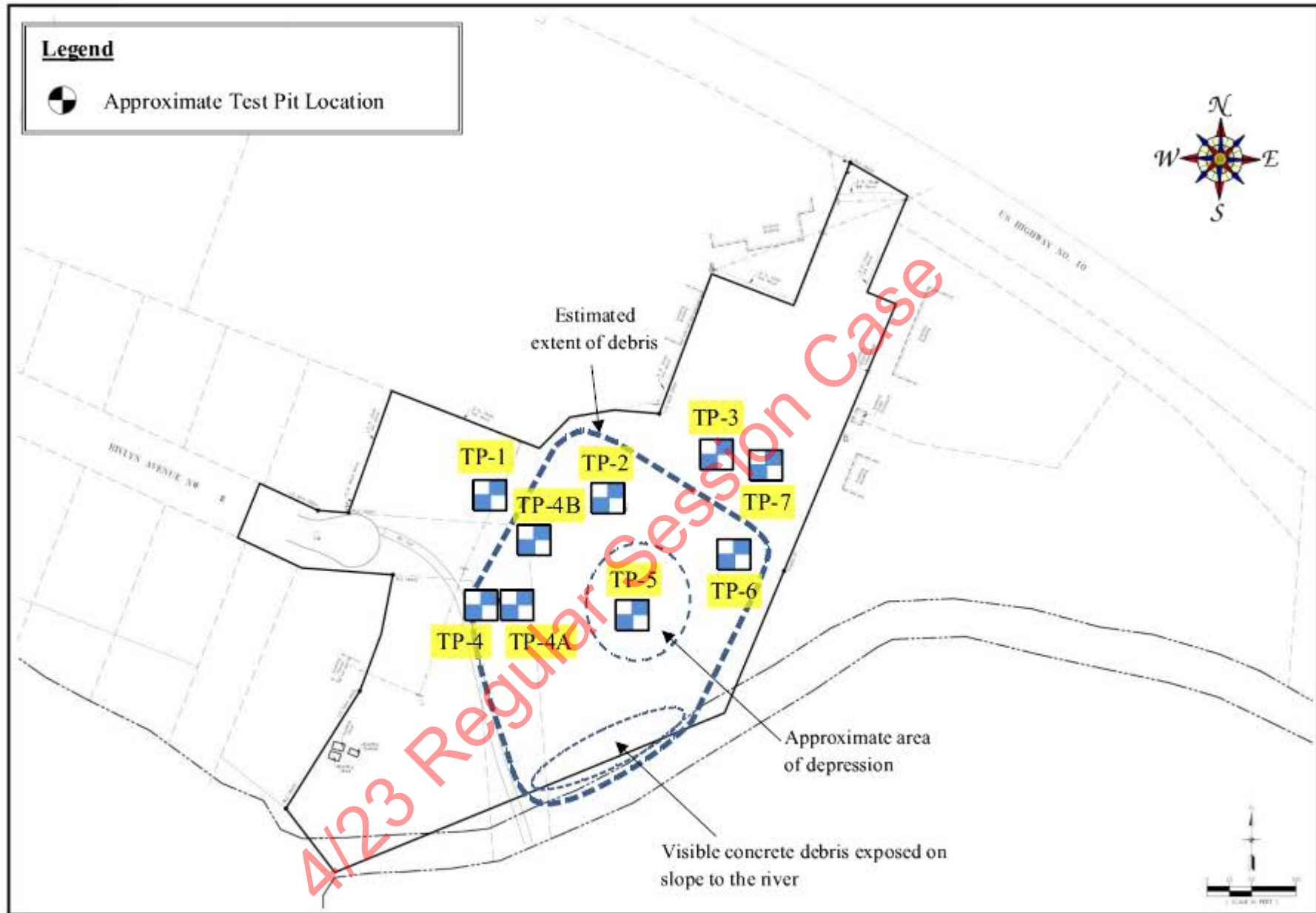
Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 23th day of April, 2019.

Mayor

ATTEST:

City Clerk

4/23 Regular Session Case



Background image: Carlson McCain, Boring Exhibit, Highway 10, Ramsey, Minnesota, File No. 1825, 12/6/18.

Haugo GeoTechnical Services, LLC
 2825 Cedar Avenue South
 Minneapolis, MN 55407

Test Pit Location Sketch
 6080 Highway 10
 Ramsey, Minnesota

Figure #: 1
 Drawn By: ALY
 Date: 12/7/18
 Scale: None
 Project #: 18-1171