

**City of Ramsey**  
**Agenda**  
**Environmental Policy Board (EPB)**  
**Monday, January 14, 2019**  
**6:30 pm**  
**Council Chambers, 7550 Sunwood Drive NW**

1. **Call to Order**
2. **Citizen Input**
3. **Approve Agenda**
4. **Approve Minutes**
  1. Approve Meeting Minutes Dated December 10, 2018
5. **Policy Board Business**
  1. Review of Harvest Estates 2nd Addition (Project No. 18-161); Case of Meadowcreek Builders
  2. Consider Participation in the Simple Recycling Program
6. **Board/Staff Input**
  - February Meeting Date (need to reschedule to either Feb. 11 or Feb. 25 due to Presidents Day on Feb. 18)
7. **Adjournment**

**Environmental Policy Board (EPB)**

**4. 1.**

**Meeting Date:** 01/14/2019

**By:** Chris Anderson, Community  
Development

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**Information**

**Title:**

Approve Meeting Minutes Dated December 10, 2018

**Action:**

Motion to approve meeting minutes dated December 10, 2018.

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**Attachments**

Meeting Minutes Dated December 10, 2018

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**Form Review**

**Inbox**

Tim Gladhill

Form Started By: Chris Anderson

Final Approval Date: 01/11/2019

**Reviewed By**

JoAnn Shaw

**Date**

01/11/2019 08:46 AM

Started On: 01/11/2019 08:23 AM

**ENVIRONMENTAL POLICY BOARD  
CITY OF RAMSEY  
ANOKA COUNTY  
STATE OF MINNESOTA**

On Monday, December 10, 2018, the Environmental Policy Board (EPB) met in the Council Chambers at the Ramsey Municipal Center, 7550 Sunwood Drive N.W., Ramsey, Minnesota.

Members Present:     Chairperson Michael Valentine  
                          Board Member Reid Bernard  
                          Board Member Jane Covart  
                          Board Member Michael Hiatt  
                          Board Member Laura Moore

Members Absent:     Board Member Melissa Fetterley  
                          Board Member Michael Madison

Also Present:         City Planner Chris Anderson  
                          City Council Liaison John LeTourneau

**1.     CALL TO ORDER**

Chairperson Valentine called the meeting to order at 6:30 p.m.

**2.     CITIZEN INPUT**

None.

**3.     APPROVE AGENDA**

Motion by Board Member Covart and seconded by Board Member Bernard to approve the agenda as submitted.

Motion carried. Voting Yes: Chairperson Valentine, Board Member Covart, Bernard, Hiatt, and Moore. Voting No: None. Absent: Board Member Fetterley and Madison.

**4.     APPROVE MINUTES**

**4.01: Approve Meeting Minutes Dated November 19, 2018**

Motion by Board Member Hiatt and seconded by Board Member Covart to approve the regular meeting minutes dated November 19, 2018.

Motion carried. Voting Yes: Chairperson Valentine, Board Member Hiatt, Covart, Bernard, and Moore. Voting No: None. Absent: Board Member Fetterley and Madison.

**5.     POLICY BOARD BUSINESS**

### **5.01: Consider Landscape Plan for a Proposed Expansion of Parking for Pleasureland RV (Project No. 18-129)**

City Planner Anderson presented the staff report. He stated that the applicant desires to expand the surface parking area of their property located at 7900 Riverdale Drive NW to accommodate additional display area for their merchandise. The applicant has submitted civil engineering plans relating to drainage, grading, utilities, and landscaping (although no formal application has been received yet) for review by the City. He stated that staff recommends approval of the proposed landscaping, contingent upon compliance with the Staff Review Letter. While there are some necessary revisions to the proposed landscaping, they are relatively minor and should not result in significant plan changes. The primary focus is ensuring that the project provides the required bufferyard and screening from the adjacent, existing residential parcel.

Board Member Moore referenced the significant tree coverage between the residential property and commercial property and asked if the resident has been contacted to ask if they believe that is enough buffering.

City Planner Anderson stated that an official application has not yet been submitted by the applicant and therefore there has been no notification to the neighboring property owner. He anticipated that the applicant would bring forward an official application in the spring and was simply looking for input at this time.

Chair Valentine asked and received confirmation that the residential property would receive notification when the proposal is formally considered and would be given an opportunity to comment at that time.

City Council Liaison LeTourneau stated that he is pleased that the mature trees exist as a buffer to the adjacent homeowner but asked if that is sufficient buffering or whether additional buffering would be required. He stated that at some point those trees could be removed and perhaps a discussion should occur on minimum screening from the potential applicant.

Board Member Bernard stated that he believes that the commercial property should move forward as if there were no trees on the residential property and go forward with the fencing and required buffering. He stated that he would not support leaving the property as is without adding additional buffering.

Board Member Hiatt agreed that any opportunity to encourage additional trees should be pursued, especially in an area that does not have a lot of growth. He stated that silver maples are listed and asked how specific the City can be on the tree species. He stated that he would love to see evergreens.

City Planner Anderson stated that at a minimum there are standards within City Code which specify a mix of deciduous and evergreen trees. He stated that language could be used to specify at least 25 percent of the trees should be evergreens. He noted that evergreens will always be preferred because they provide year-round buffering.

Motion by Board Member Hiatt and seconded by Board Member Covart, to recommend approval of the proposed landscaping, contingent upon compliance with the Staff Review Letter.

Further discussion: City Planner Anderson provided additional information on the opaque fencing that was used in the original creation of the property, which reduces the need for trees. He confirmed that the extension of the fence is not included on the plan at this time. Board Member Covart asked if the trees required would be all along the southern boundary. City Planner Anderson stated that trees would be planted 30 to 35 feet on center along the public road boundary similar to when the site originally developed and that the recommendation for the south boundary is to continue with consistency in spacing with the existing landscaping.

Motion carried. Voting Yes: Chairperson Valentine, Board Member Hiatt, Covart, Bernard, and Moore. Voting No: None. Absent: Board Member Fetterley and Madison.

Chairperson Valentine stated that he gathered the consensus is that the Board would prefer to see trees over fencing.

## **6. BOARD / STAFF INPUT**

- **2019 Environmental Commissions Conference**

City Planner Anderson stated that Chairperson Valentine was involved in a conference in 2018.

Chairperson Valentine stated that the previous year there was an effort to create an opportunity for the communities in the metro area to be involved in information sharing between environmental boards. He stated that the event would invite similar Boards and Commissions from around the metro to share information and ideas. He stated that he found it to be a helpful and informative opportunity. He reviewed some of the topics that were discussed at the previous conference. He stated that a survey was provided to the Board Members asking if they would be interested. He encouraged the members of the Board to participate and get involved.

City Council Liaison LeTourneau thanked Chairperson Valentine for his willingness to participate and serve on the Steering Committee the previous year. He also encouraged the members of the Board to participate in the 2019 conference.

Board Member Moore asked if a date has been set for the 2019 event.

Chairperson Valentine noted that a date has not yet been selected.

- **Board, Commission, and Employee Appreciation Holiday Party January 11, 2019**

City Planner Anderson advised of the appreciation event, which will be held on January 11<sup>th</sup>. He noted that RSVPs are due by December 28<sup>th</sup>.

- **January Meeting Date**

City Planner Anderson stated that the January meeting falls on the Martin Luther King Jr. Holiday and City Hall will be closed. He recommended changing that date to January 14<sup>th</sup>.

It was the consensus of the Board to change the January meeting date to January 14, 2018.

**7. ADJOURNMENT**

Motion by Board Member Hiatt and seconded by Board Member Covart to adjourn the meeting.

The meeting adjourned at 7:03 p.m.

Respectfully submitted,

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Chris Anderson  
City Planner

ATTEST:

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JoAnn Shaw  
Community Development Secretary

Drafted by Amanda Staple  
*TimeSaver Off Site Secretarial, Inc.*

**Meeting Date:** 01/14/2019

**By:** Chris Anderson, Community  
Development

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**Information**

**Title:**

Review of Harvest Estates 2nd Addition (Project No. 18-161); Case of Meadowcreek Builders

**Purpose/Background:**

The purpose of this case is to review various elements related to a proposed Preliminary Plat for Harvest Estates 2nd Addition. This is the second phase of development of the former Municipal Center site, located off Nowthen Blvd just south of Alpine Drive. The development proposal is for fifteen (15) new single family homes, accessed with an extension of 152nd Lane NW connecting to Krypton Terrace NW. The property is zoned R-1 Residential (MUSA) and the surrounding land to the east, west and south is also zoned R-1 Residential (MUSA), while the land to the northwest and north is zoned PUD (single family development with slightly narrower lots than what City Code had allowed at that time).

**Observations/Alternatives:**

As previously noted, this is the site of the former municipal center. According to the National Wetlands Inventory (NWI), there are no wetlands present on this site. Also, per the MLCCS, the area is generally classified as urban with little vegetative cover and urban with vegetative cover. There are no significant natural areas present.

This is the second phase of Harvest Estates, the first addition received approvals in 2015. Included with the original review was a Tree Inventory and Preservation Plan and Landscape Plan, which was approved. While the tree removals exceeded the allowable threshold, there was a reforestation plan that did meet the requirements. It appears that the proposed removals and landscaping do conform to the approved plans in 2015.

All proposed deciduous plantings will be 2.5 inches in caliper, which is larger than what City Code requires, but necessary to remain compliant with the reforestation plan. The proposed species are acceptable. The Planting Schedule includes a mix of both deciduous and coniferous trees, compliant with the landscaping requirements.

As with the 1st Addition, there are additional plantings proposed in the rear of many of the lots, again necessary to meet the reforestation requirements. Staff is recommending that all plantings other than the two (2) required front yard trees be installed by the Developer as a Stage I Improvement, since they are intended to satisfy the required reforestation.

Staff recommends approval of the Landscape Plan contingent upon compliance with the Staff Review Letter.

**Funding Source:**

All costs associated with this project are the Applicant's responsibility.

**Action:**

Motion to recommend approval of the Landscape Plan contingent upon compliance with the Staff Review Letter.

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**Attachments**

Site Location Map

Civil Plans

Staff Review Letter

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### **Form Review**

**Inbox**

Tim Gladhill

Form Started By: Chris Anderson

Final Approval Date: 01/11/2019

**Reviewed By**

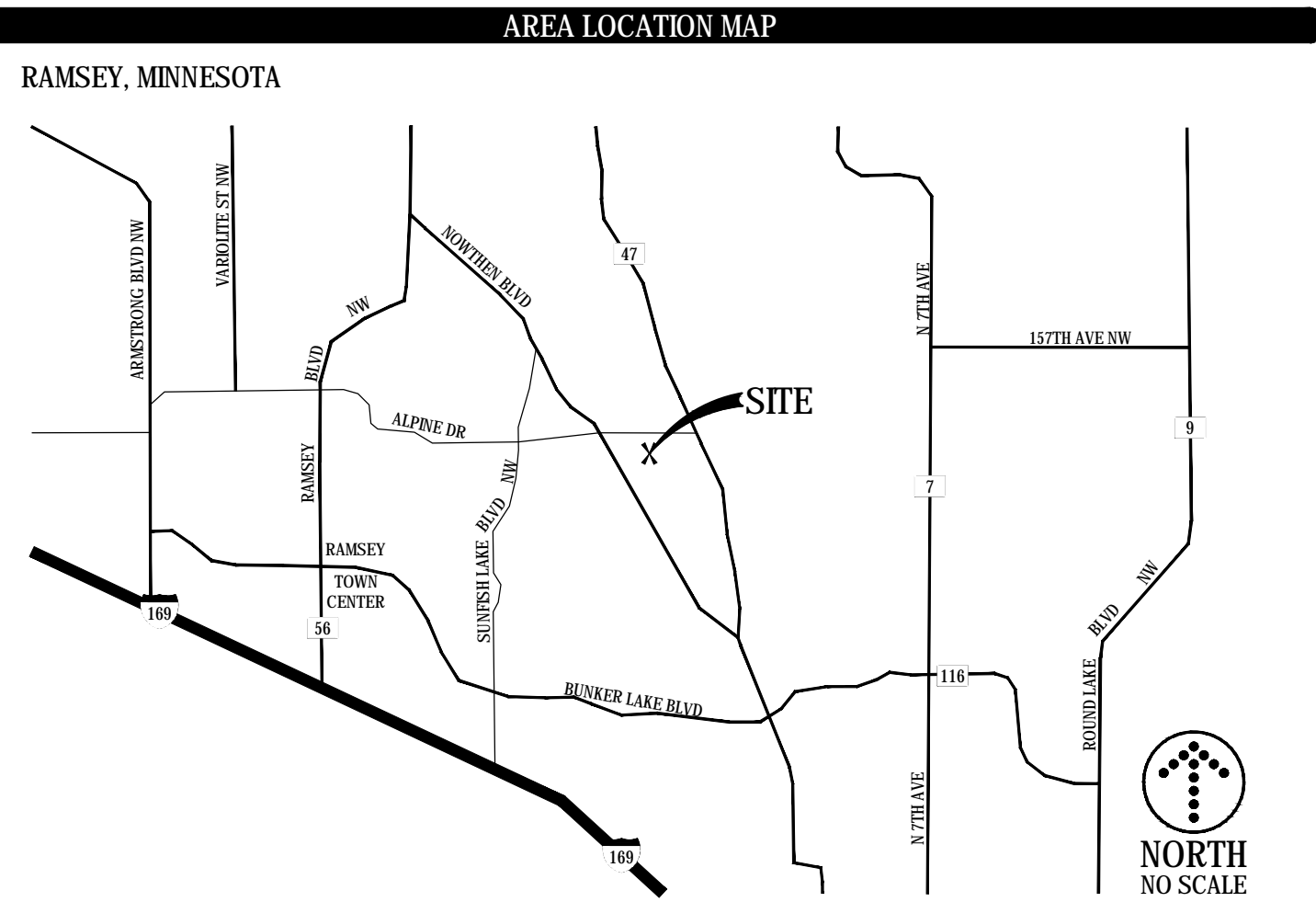
JoAnn Shaw

**Date**

01/11/2019 08:46 AM

Started On: 01/10/2019 02:32 PM





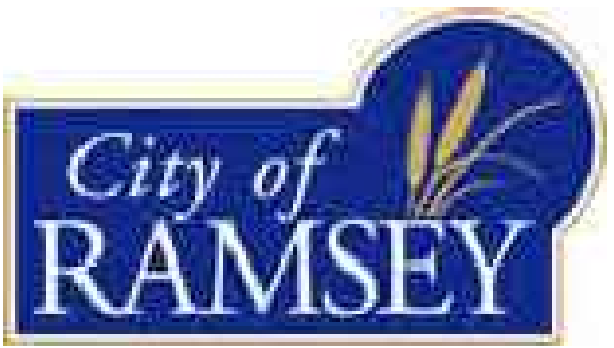
# HARVEST ESTATES 2ND ADD

## RAMSEY, MINNESOTA

DEVELOPER

**MEADOWCREEK BUILDERS**  
10122 EWING LANE  
BROOKLYN PARK, MN 55443  
TEL (612) 867-6533

MUNICIPALITY



PROJECT

**HARVEST ESTATES  
2ND ADDITION**  
RAMSEY, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
XX MON 20XX	XXXXXXXXXX	XXX

OWNER

**CITY OF RAMSEY**  
7550 SUNWOOD DRIVE  
RAMSEY, MINNESOTA, 55303  
TEL 763-427-1410  
FAX 763-467-5543  
CONTACT: TM GLADHILL

PROJECT CONTACTS

**CIVIL ENGINEER  
LANDFORM**  
105 SOUTH FIFTH AVENUE, SUITE 513  
MINNEAPOLIS, MN 55401  
TEL 612-252-9070  
FAX 612-252-9077  
CONTACT: RANDY HEDLUND

**SURVEYOR  
LANDFORM**  
105 SOUTH FIFTH AVENUE, SUITE 513  
MINNEAPOLIS, MN 55401  
TEL 612-252-9070  
FAX 612-252-9077  
CONTACT: LYNN CASWELL

LANDSCAPE ARCHITECT

**LANDFORM**  
105 SOUTH FIFTH AVENUE, SUITE 513  
MINNEAPOLIS, MN 55401  
TEL 612-252-9070  
FAX 612-252-9077  
CONTACT: RANDY HEDLUND

CIVIL / LANDSCAPE SHEET INDEX & REVISION MATRIX

SHEET NO.	DESCRIPTION	DATE
C0.1	CIVIL TITLE SHEET	01.03.19
C1.1	EXISTING CONDITIONS & DEMOLITION	
C2.1	SITE PLAN	
C3.1	GRADING, DRAINAGE, PAVING & EROSION CONTROL	
C4.1	UTILITIES	
C7.1	CIVIL CONSTRUCTION DETAILS	
C7.2	CIVIL CONSTRUCTION DETAILS	
L2.1	LANDSCAPE PLAN & DETAILS	

CERTIFICATIONS

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

RANDY HEDLUND, P.E.  
LICENSE NUMBER: 19576 DATE: 03 JANUARY 2019

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

DARREN LAZAN  
LICENSE NUMBER: 42926 DATE: 03 JANUARY 2019

CERTIFICATION

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

**PRELIMINARY PLAT**  
01.03.2019



105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME C001KRZ141029MCB

PROJECT NO. KRZ141029MCB

CIVIL TITLE SHEET

**C0.1**

SHEET NO. 1/8  
Landform and Site to Finish are registered service marks of Landform Professional Services, LLC.

ABBREVIATIONS

D	Angle	LB	Pound
&	And	LGU	Local Government Unit
@	At	LB	Pound
100 YR.	100 Year Flood Elevation	LB	Longitudinal
A.B.	Anchor Bolt	LT.	Light / Lighting
A.D.	Area Drain	MAINT.	Maintenance
AC	Air Conditioning Unit	MAS.	Masonry
ADD.	Addendum	MATL.	Material
ADDL.	Additional	MAX.	Maximum
ADJ.	Adjacent / Adjust	MECH.	Mechanical
AHU	Air Handling Unit	MED.	Medium
ALT.	Alternate	MFR.	Manufacturer
ALUM.	Aluminum	MH	Manhole
ANOD.	Anodized	MIN.	Minimum / Minute
APPROX.	Approximate	MISC.	Miscellaneous
ARCH.	Architect / Architectural	MNDOT	Minnesota Department of Transportation
AUTO.	Automatic	MOD.	Module / Modular
AVG.	Average	MUL.	Mulch
B.C.	Back of Curb	N.	North
BW	Bottom of Wall	N.I.C.	Not In Contract
BFE	Basement Floor Elevation	NO. OR #	Number
BFT	Bituminous (Asphaltic)	NOM	Nominal
BLDG.	Building	NTS	Not to Scale
BM	Benchmark	NWE	Normal Water Elevation
BSMT.	Basement	NWL	Normal Water Level
C.F.	Cubic Feet	O.F.	On Center
C.F.S.	Cubic Feet Per Second	O.C.	Outside Dimension
C.G.	Corner Grant	O.H.	Overhead Electric
C.J.	Control Joint	O.H.	Overhead
C.L.	Centerline	OHWL	Ordinary High Water Level
C.M.U.	Concrete Masonry Unit	OPNG.	Opening
C.D.	Cleanout	ORIG.	Original
C.O.E.	U.S. Army Corps of Engineers	P.C.	Point of Curvature
C.Y.	Cubic Yards	P.I.	Point of Intersection
CB	Catch Basin	PW	Post Indicator Valve
CBMH	Catch Basin Manhole	P.L. OR P.I.L.	Property Line
CEM.	Cement	P.O.B.	Point of Beginning
CIP	Cast Iron Pipe	P.S.F.	Pounds Per Square Foot
CMP	Corrugated Metal Pipe	P.S.I.	Pounds Per Square Inch
CONC.	Concrete (Portland)	P.T.	Point of Tangency
CONN.	Connection	P.V.C.	Point of Vertical Curvature
CONST.	Construction	P.V.I.	Point of Vertical Intersection
CONT.	Continuous	P.V.T.	Point of Vertical Tangency
CONTR.	Contractor	PE	Polyethylene
COP.	Copper	PED.	Pedestrian / Pedestrian
CU.	Cubic	PERF.	Perforated
D.S.	Down Spout	PREP.	Preparation
DEG.	Degree	PROJ.	Project
DEMO.	Demolition / Demolish	PROP.	Proposed
DEPT.	Department	PVC	Poly-Vinyl Chloride (Piping)
DET.	Detail	PVMT.	Pavement
DI.	Diameter	QTR.	Quarter
DIAG.	Diagonal	QTY.	Quantity
DIM.	Dimension	R	Radius
DIP	Ductile Iron Pipe	RAD.	Radius
DN	Down	RE	Rim Elevation (Casting)
DWG.	Drawing	R.D.	Roof Drain
E	East	R.E.	Remove Existing
E.J.	Expansion Joint	R.O.	Rough Opening
E.O.	Emergency Overflow	R.P.	Radius Point
E.O.S.	Emergency Overflow Swale	RC	Reinforced Concrete Pipe
E.W.	Each Way	R.S.	Rough Slab
EA.	Each EL. Elevation	RSD	Roof Storm Drain
ELEC.	Electrical	RE	Regulating
ELEV.	Elevation	REINF.	Reinforced
EMER.	Emergency	REQ'D	Required
ENGR.	Engineer	REV.	Revision / Revised
ENTR.	Entrance	RGU	Regulatory Government Unit
EQ.	Equal	ROW OR R/W	Right of Way
EQUIP.	Equipment	S.	South
EQUIL.	Equivalent	S.F.	Square Feet
EXST.	Existing	SAN.	Sanitary Sewer
EXP.	Expansion	SECT.	Section
F & I	Furnish and Install	SE	Split Entry /Side Exit
F.B.O.	Furnished by Others	SEWO	Split Entry Walk Out /Side Exit Walk Out
F.C.	Face of Curb	SHT.	Sheet
F.D.	Floor Drain	SIM.	Similar
F.D.C.	Fire Department Connection	SLMT.	Sealant
F.V.	Flood Verify	SPEC.	Specification
FB	Full Basement	SQ	Square
FRWO	Full Basement Walk Out	SSD	Subsurface drain
FBLO	Full Basement Look Out	STMH	Storm Sewer Manhole
FDN.	Foundation	STD.	Standard
FES	Flared End Section	STRUCT.	Structural
FFE	Finished Floor Elevation	SYM.	Symmetrical
FLR.	Floor	T	Thickness
FT. OR ( )	Foot	TR	Top of Rim
FUT.	Future	TW	Top of Wall
G.B.	Grade Break	TEMP.	Temporary
G.C.	General Contractor	THK.	Thick / Thickness
GAL.	Gallon	T.J.	Tooled Joint
GALV.	Galvanized	TNH	Top Nut Hydrant
GFE	Garage Floor Elevation	TYP.	Typical
GL	Glass	U.N.O.	Unless Noted Otherwise
GR.	Grade	V.B.	Vapor Barrier
H.	Height	V.C.	Vertical Curve
H.P.	High Point	V.I.F.	Verify in Field
HDPPEP	High Density Polyethylene Pipe	VER.	Verify
HGT.	Height	VER.	Vertical
HORZ.	Horizontal	VEST.	Vestibule
HVAC	Heating, Ventilation, Air Conditioning	W	Width
HYD	Hydant	W.P.T.	Working Point
ID.	Inside Dimension OR Identification	W.W.F.	Welded Wire Fabric
IE. or IE	Invert Elevation	W	With
IN. OR ( )	Inches	W/O	Without
INFO.	Information	WO	Walk Out
INL.	Inlet Elevation	VER.	Wetland
INSUL.	Insulation	WP	Waterproof
INV.	Invert Elevation	WTL.	Weight
JT.	Joint	YD.	Yard
L.F.	Linear Feet	YR.	Year
L.P.	Low Point / Liquid Petroleum		

SYMBOLS

EXISTING	DESCRIPTION	NEW	DESCRIPTION
	MAJOR CONTOUR		MAJOR CONTOUR
	MINOR CONTOUR		MINOR CONTOUR
	SPOT ELEVATION		SPOT ELEVATION
	BUILDING		BUILDING
	CANOPY / OVERHANG		CANOPY/OVERHANG
	CONCRETE		UNDERGROUND STRUCTURE
	BITUMINOUS		CONCRETE
	LANDSCAPING		CONCRETE CURB
	GRAVEL		EDGE OF PAVEMENT
	PAVING BLOCK		FENCING
	PAVING BLOCK		GUARD RAIL
	STORM SEWER LINE		CONCRETE RETAINING WALL
	SANITARY SEWER LINE		MODULAR RETAINING WALL
	WATER MAIN		FIELDSTONE RETAINING WALL
	OVERHEAD ELECTRIC		EXIT LOCATION
	UNDERGROUND TELEPHONE		LIGHT STANDARD
	UNDERGROUND ELECTRIC		POWER POLE
	GAS LINE		SLOPE DIRECTION
	CONCRETE CURB		CATCH BASIN
	FENCING		MANHOLE
	RETAINING WALL		BOLLARD
	SET 1/2' X 14' IRON PIPE		STORM SEWER
	IRON MONUMENT FOUND		SANITARY SEWER-WASTE
	SURVEY DISK (BENCHMARK)		FORCE MAIN
	POWER POLE		ROOF DRAIN SYSTEM
	GUY WIRE		WATERMAIN
	GUARD POST		FIRE LINE (IF SEPARATE)
	GAS METER		FIRE DEPT. CONNECTION
	TRANSFORMER		SOIL SUBDRAIN
	WATER SHUT-OFF VALVE		GAS LINE-UNDERGROUND
	TRAFFIC SIGN		ELECTRIC-UNDERGROUND
	FLAG POLE		TELEPHONE-UNDERGROUND
	LIGHT POLE		UNDERGROUND CABLETV
	TREES		LAWN SPRINKLER SLEEVE
	TREE LINE		
	MANHOLE		
	CATCH BASIN		
	FIRE HYDRANT		
	WATER VALVE		
	FLARED END SECTION		
	MAILBOX		
	NOTE NUMBER		
	MEASURED DISTANCE		
	DISTANCE PER RECORDED PLAT		
	SOIL BORING		

EROSION CONTROL SYMBOLS

SYMBOL	DESCRIPTION
	SILT FENCE
	COMPOST/BIO LOG
	INLET PROTECTION

DRAWING SYMBOLS

SYMBOL	DESCRIPTION
	NOTE REFERENCE
	PARKING STALL COUNT
	LARGE SHEET DETAIL
	COORDINATE POINT
	REVISION - ADDENDUM, BULLETIN, ETC.
	REVISED AREA (THIS ISSUE)

LEGAL DESCRIPTION

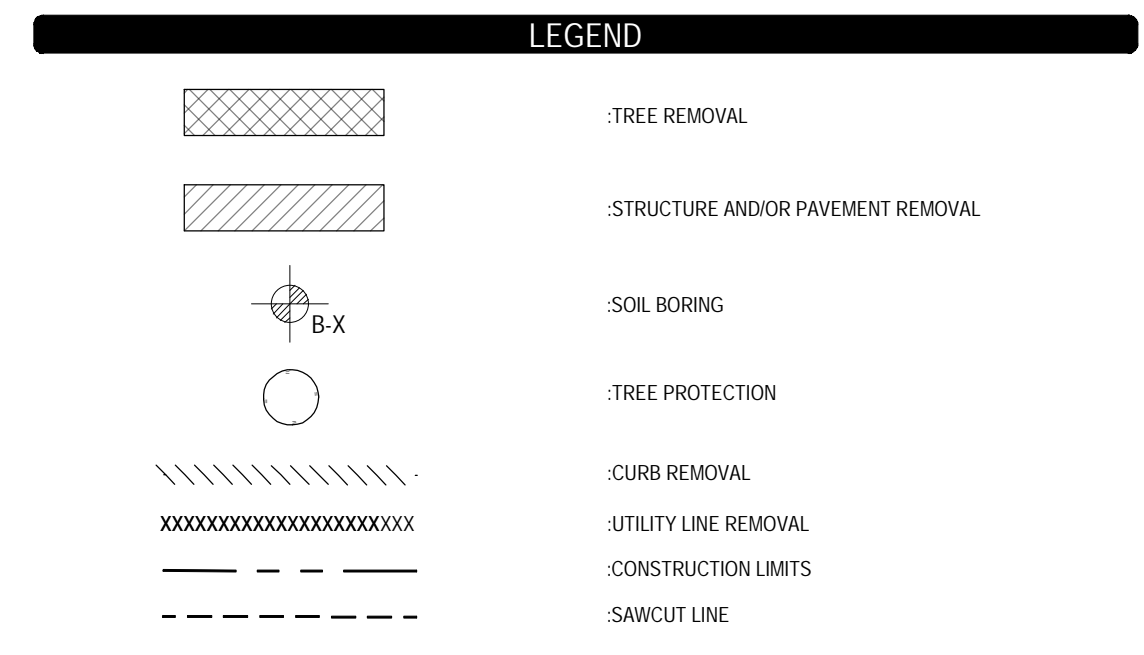
LOT 25, BLOCK 1, HARVEST ESTATES, RAMSEY COUNTY, MINNESOTA  
CONTAINING 279,515 SQ. FT. - 6.42 AC.

BENCHMARK

TOP NUT HYDRANT BETWEEN LOTS 26 & 27, BLOCK 1 HARVEST ESTATES  
TN HYD. = 895.70



- LEGAL DESCRIPTION**  
 LOT 25, BLOCK 1, HARVEST ESTATES, RAMSEY COUNTY, MINNESOTA  
 CONTAINING 279,515 SQ. FT. - 6.42 AC.
- EXISTING CONDITIONS**
- GENERAL NOTES**
- FOR CONSTRUCTION STAKING AND SURVEYING SERVICES CONTACT LANDFORM AT 612.252.9070.
- DEMOLITION AND CLEARING NOTES**
- OBTAIN PERMITS FOR DEMOLITION, CLEARING, AND DISPOSAL PRIOR TO BEGINNING.
  - CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING DEMOLITION AND CLEARING.
  - SEE SHEET C3.1 FOR EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT MUST BE IN PLACE PRIOR TO DISTURBANCES TO SITE.
  - DIMENSIONS SHOWN FOR REMOVAL ARE APPROXIMATE. COORDINATE WITH NEW CONSTRUCTION TO ENSURE APPROPRIATE REMOVAL OF EXISTING FACILITIES.
  - REFER TO DETAILS FOR PAVEMENT SAWCUT. REMOVE CONCRETE WALKS AND CURBING TO THE NEAREST EXISTING JOINT BEYOND CONSTRUCTION LIMITS.
  - PROVIDE BARRICADES, LIGHTS, SIGNS, TRAFFIC CONTROL AND OTHER MEASURES NECESSARY FOR PROTECTION AND SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT CONSTRUCTION.
  - PROTECT STRUCTURES, UTILITIES, TREES, PLANT MATERIAL, SO2, AND ADJACENT PROPERTY FROM DAMAGE DURING CONSTRUCTION UNLESS NOTED FOR REMOVAL. DAMAGE SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION AT NO ADDITIONAL COST.
  - REMOVE TREES NOTED, INCLUDING ROOT STRUCTURES, FROM THE SITE. COORDINATE WITH OWNER TO MARK TREES TO BE SAVED OR TRANSPLANTED PRIOR TO CLEARING. PROTECT TREES INDICATED WITH TREE PROTECTION FENCING PER DETAIL CTXX.
  - REMOVE EXISTING SITE FEATURES INCLUDING, BUT NOT LIMITED TO, UNDERGROUND UTILITIES, PAVING, CURBING, WALKWAYS, FENCING AND LIGHTING, WITHIN THE CONSTRUCTION LIMITS UNLESS NOTED OTHERWISE.
  - REMOVE EXISTING WATERMAIN TO EXISTING TEE.
  - REMOVE EXISTING SANITARY SEWER TO EXISTING MH, PER CITY SPECIFICATIONS.
  - REMOVE EXISTING STORM SEWER TO EXISTING MH, PER CITY SPECIFICATIONS.
  - HAUL DEMOLITION DEBRIS OFF-SITE TO A FACILITY APPROVED BY REGULATORY AUTHORITIES FOR THE HANDLING OF DEMOLITION DEBRIS, UNLESS NOTED OTHERWISE.



**DEVELOPER**  
**MEADOWCREEK BUILDERS**  
 10122 EWING LANE  
 BROOKLYN PARK, MN 55443  
 TEL (612) 867-6533

**MUNICIPALITY**

**PROJECT**  
**HARVEST ESTATES**  
**2ND ADDITION**  
 RAMSEY, MINNESOTA

**ISSUE / REVISION HISTORY**

DATE	ISSUE / REVISION	REVIEW
XX MON 20XX	XXXXXXXXXX	XXX

**CERTIFICATION**

**PRELIMINARY**  
**NOT FOR**  
**CONSTRUCTION**

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

**PRELIMINARY PLAT**  
 01.03.2019

**LANDFORM**  
 From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070  
 Suite 513 Fax: 612-252-9077  
 Minneapolis, MN 55401 Web: landform.net

FILE NAME C101KRZ141029MCSB  
 PROJECT NO. KRZ141029MCSB

**EXISTING CONDITIONS**  
**DEMOLITION PLAN**  
**C1.1**

SHEET NO. 3/8  
Landform "From Site to Finish" is a registered service mark of Landform Professional Services, LLC.

**811**  
 Know what's Below.  
 Call before you dig.

NORTH

0 50 100

© LANDFORM, 2019

OUTLOT B



GENERAL NOTES

- FOR CONSTRUCTION STAKING AND SURVEYING SERVICES CONTACT LANDFORM PROFESSIONAL SERVICES, LLC AT 612.252.9078.
- OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WITHIN, OR USE OF, PUBLIC RIGHT-OF-WAY.
- THE DIGITAL FILE, WHICH CAN BE OBTAINED FROM THE ENGINEER, SHALL BE USED FOR STAKING. DISCREPANCIES BETWEEN THE DRAWINGS AND THE DIGITAL FILE SHALL BE REPORTED TO THE ENGINEER. THE BUILDING FOOTPRINT, AS SHOWN ON THESE DRAWINGS, AND THE DIGITAL FILE, SHALL BE COMPARED TO THE STRUCTURAL DRAWINGS PRIOR TO STAKING.
- BUILDING LAYOUT ANGLES ARE PARALLEL WITH OR PERPENDICULAR TO THE PROPERTY LINE AT THE LOCATION INDICATED.
- DIMENSIONS SHOWN ARE TO BACK OF CURB AND EXTERIOR FACE OF BUILDING UNLESS NOTED OTHERWISE.

SITE PLAN NOTES

ZONING AND SETBACK SUMMARY

THE PROPERTY IS ZONED R1 RESIDENTIAL ZONE (MUSA)

PROPOSED BUILDING SETBACK INFORMATION IS AS FOLLOWS:

- FRONT YARD = 30 FT.
- REAR = 20 FT.
- SIDE (CORNER) = 30 FT.
- SIDE (LIVING) = 10 FT.
- SIDE (GARAGE) = 5 FT.

LOT COVERAGE INFORMATION IS AS FOLLOWS:

- LOT AREA MINIMUM = 10,665 S.F. = 0.25 ACRE
- LOT WIDTH MINIMUM = 65 FT.
- TOTAL SITE AREA = 279,515 S.F. = 6.42 ACRES

AREA SUMMARY

TOTAL SITE AREA	279,515 SQ. FT.	6.42 AC.
RIGHT OF WAY AREA	43,172 SQ. FT.	0.99 AC.
NET AREA	236,343 SQ. FT.	5.43 AC.
NET DENSITY		2.8 U/A
IMPERVIOUS SURFACE (NET WITH 2 CAR GARAGE)		31%

LOT AREA TABLE

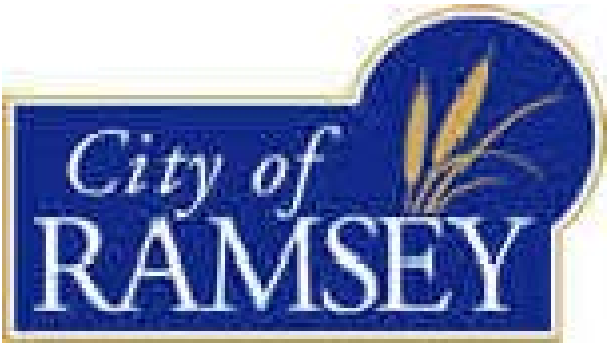
Parcel #	Area	LOT/BLOCK
1	10536	1/1
2	11013	2/1
3	12221	3/1
4	13051	4/1
5	13487	5/1
6	16980	6/1
7	10665	1/2
8	13162	2/2
9	13202	3/2
10	19710	4/2
11	14825	5/2
12	20582	6/2
13	22082	7/2
14	30322	8/2
15	14504	9/2
16	43172	RIGHT OF WAY

DEVELOPER

MEADOWCREEK BUILDERS

10122 EWING LANE  
BROOKLYN PARK, MN 55443  
TEL (612) 867-6533

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PROJECT

HARVEST ESTATES  
2ND ADDITION  
RAMSEY, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
XX MON 20XX	XXXXXXXXXX	XXX

CERTIFICATION

**PRELIMINARY  
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CONSTRUCTION**

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PRELIMINARY PLAT  
01.03.2019



105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME C201KRZ141029MCB  
PROJECT NO. KRZ141029MCB

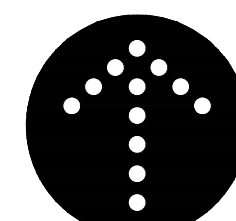
SITE PLAN

C2.1

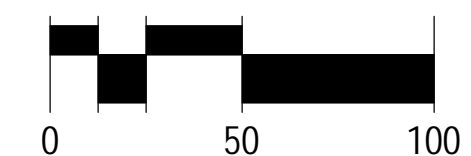
SHEET NO. 3/8



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NORTH





**EROSION PREVENTION AND SEDIMENT CONTROL NOTES**

- INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO BEGINNING WORK AND MAINTAIN FOR DURATION OF CONSTRUCTION. REMOVE CONTROLS AFTER AREAS CONTRIBUTING RUNOFF ARE PERMANENTLY STABILIZED AND DISPOSE OF OFF SITE.
- LIMIT SOIL DISTURBANCE TO THE GRADING LIMITS SHOWN. SCHEDULE OPERATIONS TO MINIMIZE LENGTH OF EXPOSURE OF DISTURBED AREAS.
- MANAGEMENT PRACTICES SHOWN ARE THE MINIMUM REQUIREMENT. INSTALL AND MAINTAIN ADDITIONAL CONTROLS AS WORK PROCEEDS TO PREVENT EROSION AND CONTROL SEDIMENT CARRIED BY WIND OR WATER. REFER TO SWPPP NOTES ON SHEET C3.3 FOR ADDITIONAL REQUIREMENTS.
- EXCAVATE POND EARLY IN THE CONSTRUCTION SEQUENCE. REMOVE SEDIMENT FROM POND PERIODICALLY AND AFTER AREAS CONTRIBUTING RUNOFF ARE PERMANENTLY STABILIZED.
- CONSTRUCT INFILTRATION BASIN AFTER REMAINDER OF SITE HAS BEEN STABILIZED.
- SEED, SOD, MULCH AND FERTILIZER SHALL MEET THE FOLLOWING SPECIFICATIONS, AS MODIFIED.
 

ITEM	SPECIFICATION NUMBER
SOD	MNDOT 3878
SEED	MNDOT 3876

MN TYPE 22-111 @ 30.5 LB/AC - TEMPORARY  
MN TYPE 25-121 @ 61 LB/AC - PERMANENT
- MULCH FERTILIZER
 

MULCH	MNDOT 388
FERTILIZER	MNDOT TYPE 1 @ 2 TON/AC
- SOIL WILL BE SCARIFIED PRIOR TO RESEEDING TO REDUCE SOIL COMPACTION.
- SCRAPE ADJACENT STREETS CLEAN DAILY. STREET SWEEPING IS REQUIRED A MINIMUM OF 1 TIME PER WEEK OR AS DIRECTED BY THE CITY ENGINEER.
- INLET PROTECTION SHALL BE REMOVED PRIOR TO WATER FREEZE AND REPLACED IN SPRING IF SITE STABILIZATION IS NOT ACHIEVED (AT THE DIRECTION OF THE CITY ENGINEER).

**GRADING NOTES**

- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING GRADING.
- REFER TO THE GEOTECHNICAL REPORT PREPARED BY NORTHERN TECHNOLOGIES, INC., DATED FEBRUARY 15, 2015, FOR ADDITIONAL INFORMATION ON BACKFILL MATERIAL, GROUNDWATER CONDITIONS, AND COMPACTION REQUIREMENTS.
- REMOVE TOPSOIL FROM GRADING AREAS AND STOCKPILE SUFFICIENT QUANTITY FOR REUSE.
- REMOVE SURFACE AND GROUND WATER FROM EXCAVATIONS.
- AN INDEPENDENT TESTING FIRM SHALL VERIFY THE REMOVAL OF ORGANIC AND UNSUITABLE SOILS, SOIL CORRECTION, AND COMPACTION AND PROVIDE PERIODIC REPORTS TO THE OWNER.
- PLACE AND COMPACT FILL USING LIFT THICKNESS MATCHED TO SOIL TYPE AND COMPACTION EQUIPMENT TO OBTAIN SPECIFIED COMPACTION THROUGHOUT THE LIFT.
- ALL SITE GRADING MUST BE COMPLETED, CERTIFIED BY THE ENGINEER AND ALL OFF ROAD GRADING EQUIPMENT REMOVED BEFORE STARTING ANY UTILITY WORK.
- SITE IS LOCATED WITHIN THE BOUNDARIES OF THE COON CREEK WATERSHED DISTRICT.
- MAXIMUM SLOPE SHALL BE 4:1.
- RESTORATION WORK SHALL BE COMPLETED WITHIN 7 DAYS OF GRADING COMPLETION.

**LEGEND**

SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	INLET PROTECTION	6 EACH
	SILT FENCE	1,600 L.F.
	VEHICLE TRACKING PAD	1 EACH
	EROSION CONTROL BLANKET	4,910 SQ. FT.
	DENOTES EMERGENCY OVERFLOW	

**LOT BY LOT TABULATION**

Lot	Block	House Type	Garage Floor Ele	Driveway Grade (%)	Lowest Floor Ele	Lowest Opening Ele (living space)	100 Year Flood Ele	Emergency Overflow Ele	Highest Anticipate d Water Table or Mottled Soil
1	1	SC CS	892.5	6.4	889.3	893.0	878.0	889.0	
2	1	FBLO	894.5	8.4	887.0	890.2	878.0	889.0	
3	1	FBLO	894.5	6.5	887.0	890.2	878.0	889.0	
4	1	FBLO	894.5	8.8	887.0	890.2	878.0	889.0	
5	1	SC CS	891.5	7.3	888.3	892.0	878.0	889.0	
6	1	SC CS	889.0	6.4	885.8	889.5	878.0	889.0	
1	2	SC CS	893.0	5.7	889.8	893.5	878.0	887.5	
2	2	FBWO	893.0	4.5	885.5	885.5	878.0	887.5	
3	2	FBWO	893.0	4.5	885.5	885.5	878.0	887.5	
4	2	FBWO	892.0	3.0	884.5	884.5	878.0	887.5	
5	2	FBWO	892.0	4.0	884.5	884.5	878.0	887.5	
6	2	FBWO	894.5	6.7	887.0	887.0	878.0	887.5	
7	2	FBWO	893.5	5.1	886.0	886.0	878.0	887.5	
8	2	FBWO	892.5	6.8	885.0	885.0	878.0	887.5	
9	2	FBLO	888.0	3.5	880.5	888.5	878.0	887.5	

**BUILDING TYPE**  
 FBWO = FULL BASEMENT WALK OUT  
 FBLO = FULL BASEMENT LOOKOUT WINDOWS  
 SC CS = CRAWL SPACE

**REAR ELEVATION**  
 XXXX/FBWO/FBLO  
 [XXXX]  
 GF=XXXX  
 DRP 1C  
 DENOTES NUMBER OF COURSES' GARAGE FLOOR IS DROPPED FROM TOP OF FOUNDATION

**UNIT TYPE**  
 MINIMUM BASEMENT ELEVATION  
 FRONT GARAGE FLOOR ELEVATION

**NOTES:**  
 1. GARAGE LOCATION INDICATED BY DRIVEWAY.

**PAD DETAIL** NO SCALE

**811**  
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**NORTH**

0 50 100

**NPDES AREA SUMMARY**

	EXISTING	PROPOSED
PERVIOUS	6.26 ACRES	4.62 ACRES
IMPERVIOUS	0.16 ACRES	1.80 ACRES
TOTAL	6.42 ACRES	6.42 ACRES

DISTURBED AREA = 4.93 ACRES

**Cut/Fill Summary - Contour to Contour - Run Date 01/02/2019**

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
Volume-Cut Fill	1.000	1.000	213333.98 Sq. Ft.	3485.00 Cu. Yd.	25056.02 Cu. Yd.	21571.03 Cu. Yd.<Fill>
Totals			213333.98 Sq. Ft.	3485.00 Cu. Yd.	25056.02 Cu. Yd.	21571.03 Cu. Yd.<Fill>

**DEVELOPER**  
**MEADOWCREEK BUILDERS**  
 10122 EWING LANE  
 BROOKLYN PARK, MN 55443  
 TEL (612) 867-6533

**MUNICIPALITY**

**PROJECT**  
**HARVEST ESTATES**  
**2ND ADDITION**  
 RAMSEY, MINNESOTA

**ISSUE / REVISION HISTORY**

DATE	ISSUE / REVISION	REVIEW
XX MON 20XX	XXXXXXXXXX	XXX

**CERTIFICATION**

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**PRELIMINARY PLAT**  
 01.03.2019

**LANDFORM**  
 From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070  
 Suite 513 Fax: 612-252-9077  
 Minneapolis, MN 55401 Web: landform.net

FILE NAME C301KRZ141029MCB  
 PROJECT NO. KRZ141029MCB

**GRADING, DRAINAGE AND EROSION CONTROL**  
**C3.1**

SHEET NO. 4/8  
 Landform "Find Site to Finish" is a registered service mark of Landform Professional Services, LLC.

OUTLOT B



GENERAL NOTES

- FOR CONSTRUCTION STAKING AND SURVEYING SERVICES CONTACT LANDFORM PROFESSIONAL SERVICES AT 612.252.9070.

UTILITY NOTES

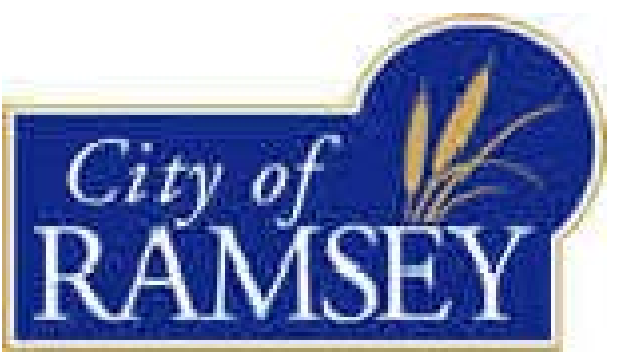
- PIPE MATERIALS
  - WATERMAIN: DIP CLASS 52 (ANSI A21.51/AWWA C151), C900 PVC
  - WATER SERVICE: COPPER TYPE K (ASTM B88)
  - SANITARY SEWER: PVC SDR 35 (ASTM D3034, D2665, & F891)
  - SAN. SEWER SERVICE: PVC SDR 35, SDR 26, SCHEDULE 40 (ASTM: D1785, D3034, D2665, & F891)
  - STORM SEWER: PVC SCHEDULE 40 (ASTM: D1785, D3034, D2665, & F891)
  - DRAIN TILE: CMP ALUMINIZED STEEL TYPE 2, 12" X 12" (AASHTO: M36, M274; ASTM: A929, A760, A798)
  - AASHTO M294: HOPE - CORRUGATED & PERFORATED (ASTM D3330, ASTM D4916, AASHTO M252)

- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING.
- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL UTILITY POINTS OF CONNECTION PRIOR TO CONSTRUCTION OF ANY PROPOSED UTILITIES. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF THERE IS ANY DISCREPANCY.
- CONTRACTOR TO POTHOLE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION OF NEW UTILITIES TO VERIFY DEPTHS OF EXISTING LINES. CONTACT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE DISCOVERED.
- PROVIDE MEANS AND MEASURES TO PROTECT ADJACENT PROPERTY FROM DAMAGE DURING UTILITY INSTALLATION.
- PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE OR END OF END SECTION.
- INSTALL TRACER WIRE WITH ALL NON-CONDUCTIVE UTILITIES.
- CONNECT TO CITY UTILITIES IN ACCORDANCE WITH CITY OF RAMSEY STANDARDS.
- MAINTAIN 7.5 FEET OF COVER ON WATER.
- DEFLECT WATER TO MAINTAIN 18-INCH MINIMUM OUTSIDE SEPARATION AT SEWER CROSSINGS. CENTER PIPE LENGTHS TO PROVIDE GREATEST SEPARATION BETWEEN JOINTS.
- CONTACT XX, CITY OF CITY XXXXXX DEPARTMENT, AT XXX.XXX.XXXX FOR FLUSHING AND PRESSURE TEST INSPECTIONS.
- THE WATER DISTRIBUTION SYSTEM SHALL BE DISINFECTED PER MINNESOTA RULES, PART 4714.
- CATCH BASINS IN CURB AND GUTTER ARE SUMPED 2 INCHES BELOW THE GUTTER GRADE. REFER TO DETAIL X ON SHEET C7.X.
- ROCK MEDIA IN INFILTRATION OR FILTRATION SYSTEMS SHALL BE ANGULAR, NON-CALCAREOUS ROCK.
- IRRIGATION SLEEVE TO BE 4" SCHEDULE 80 PVC BURIED 24" BELOW GRADE. EXTEND SLEEVES 3' BEYOND THE EDGE OF PAVEMENT. (COORDINATE WITH IRRIGATION CONTRACTOR.)
- COORDINATE WITH PRIVATE UTILITIES TO PROVIDE ELECTRIC, NATURAL GAS, AND COMMUNICATIONS SERVICES TO BUILDING.
- THE PRIMARY ELECTRIC FEED, TRANSFORMER, AND METER ARE PROVIDED AND INSTALLED BY X Y Z ENERGY. THE TRANSFORMER PAD DESIGN IS PROVIDED BY THE UTILITY AND CONSTRUCTION IS BY THE CONTRACTOR. CONTACT UTILITY FOR PAD DETAIL. THE SECONDARY ELECTRIC AND CONDUITS SHALL BE INSTALLED BY THE ELECTRICAL CONTRACTOR.
- XXXXXXX WILL FURNISH AND INSTALL GAS SERVICE PIPING FROM THE MAINLINE TO THE METER AND THE METER. GAS SERVICE FROM THE METER SHALL BE INSTALLED BY THE MECHANICAL CONTRACTOR.
- PROVIDE ONE X-INCH PVC CONDUIT WITH PULL-STRING FROM EXISTING TELEPHONE SERVICE TO BUILDING.
- PROVIDE CONDUITS FOR CABLE TELEVISION AND OTHER ELECTRONIC COMMUNICATION.
- ADJUST STRUCTURES TO FINAL GRADE WHERE DISTURBED. COMPLY WITH REQUIREMENTS OF UTILITY. MEET REQUIREMENTS FOR TRAFFIC LOADING IN PAVED AREAS.

DEVELOPER

**MEADOWCREEK BUILDERS**  
 10122 EWING LANE  
 BROOKLYN PARK, MN 55443  
 TEL: (612) 867-6533

MUNICIPALITY



PROJECT

**HARVEST ESTATES  
 2ND ADDITION  
 RAMSEY, MINNESOTA**

ISSUE / REVISION HISTORY

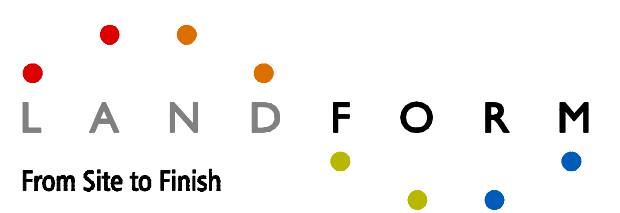
DATE	ISSUE / REVISION	REVIEW
XX MON 20XX	XXXXXXXXXX	XXX

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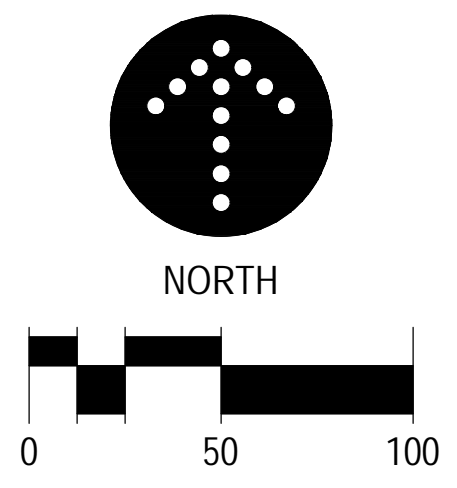
**PRELIMINARY PLAT**  
 01.03.2019



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 Minneapolis, MN 55401 Web: landform.net

FILE NAME C401KRZ141029MCS  
 PROJECT NO. KRZ141029MCS

UTILITY PLAN  
**C4.1**  
 SHEET NO. 5/8



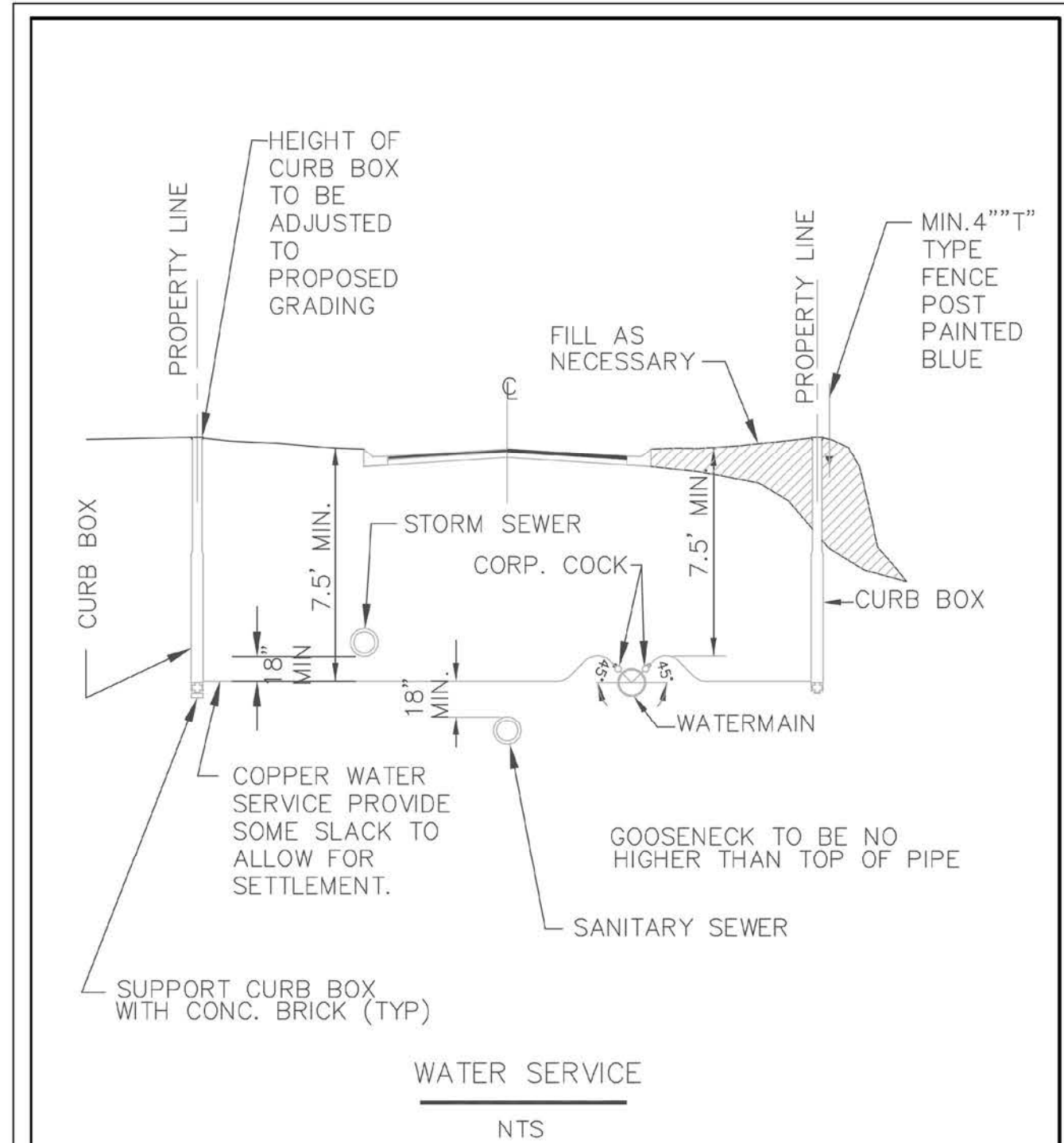


DATE	ISSUE / REVISION	REVIEW
XX MON 20XX	XXXXXXXXXX	XXX

STANDARD DETAILS:  
WATER TIGHT CASTING

CITY PLATE No. SEW-2

5 WATER TIGHT CASTING NO SCALE

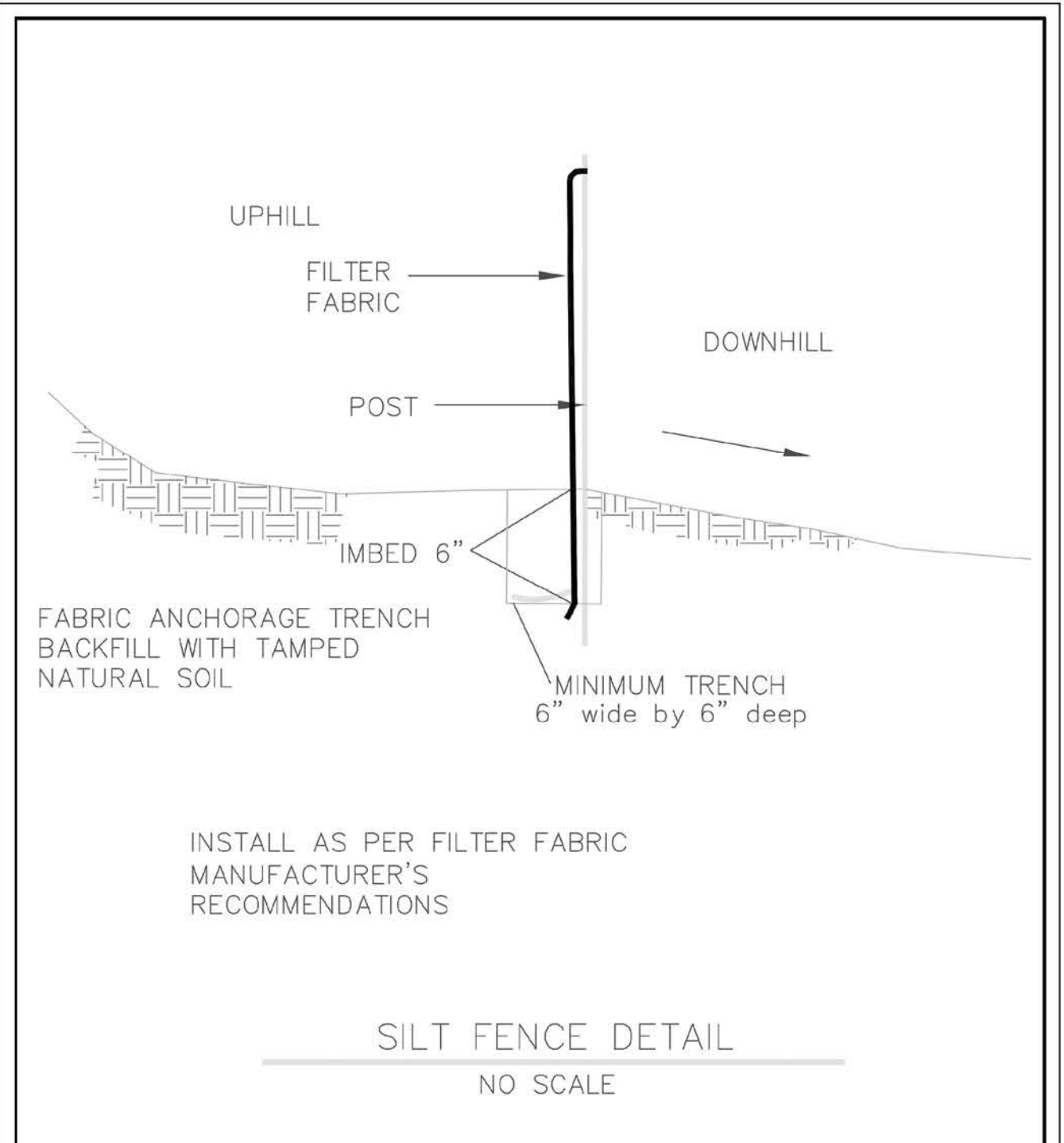


APPROVED: 4 - 2016

STANDARD DETAILS:  
WATER SERVICE

CITY PLATE No. WAT-2

3 WATER SERVICE NO SCALE

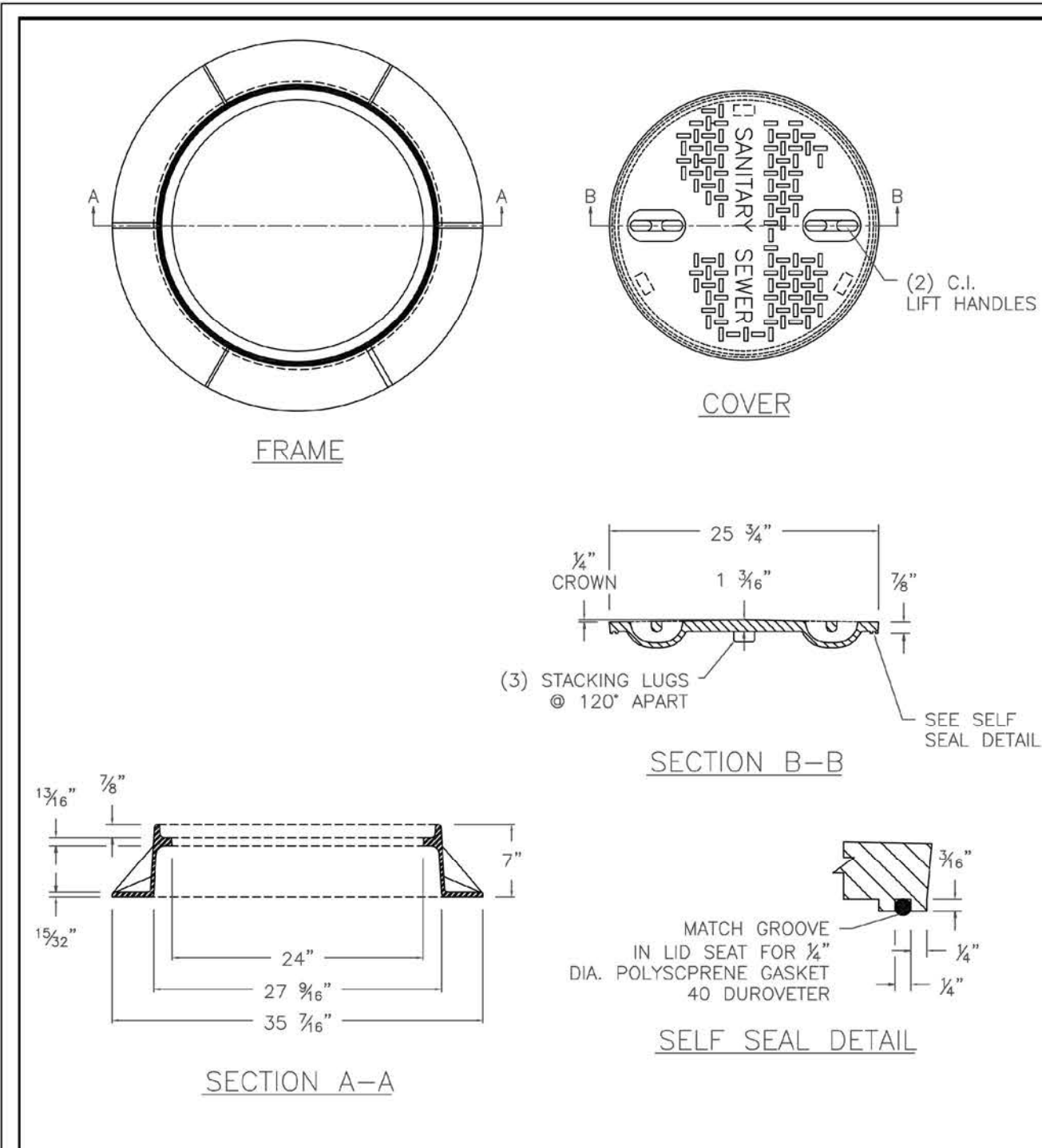


APPROVED: 1 - 2016

STANDARD DETAILS:  
SILT FENCE

CITY PLATE No. ERO-1

1 INLET PROTECTION NO SCALE



APPROVED: 11 - 2015

STANDARD DETAILS:  
WATER TIGHT CASTING

CITY PLATE No. SEW-2

5 WATER TIGHT CASTING NO SCALE

APPROVED: 4 - 2016

STANDARD DETAILS:  
WATER SERVICE

CITY PLATE No. WAT-2

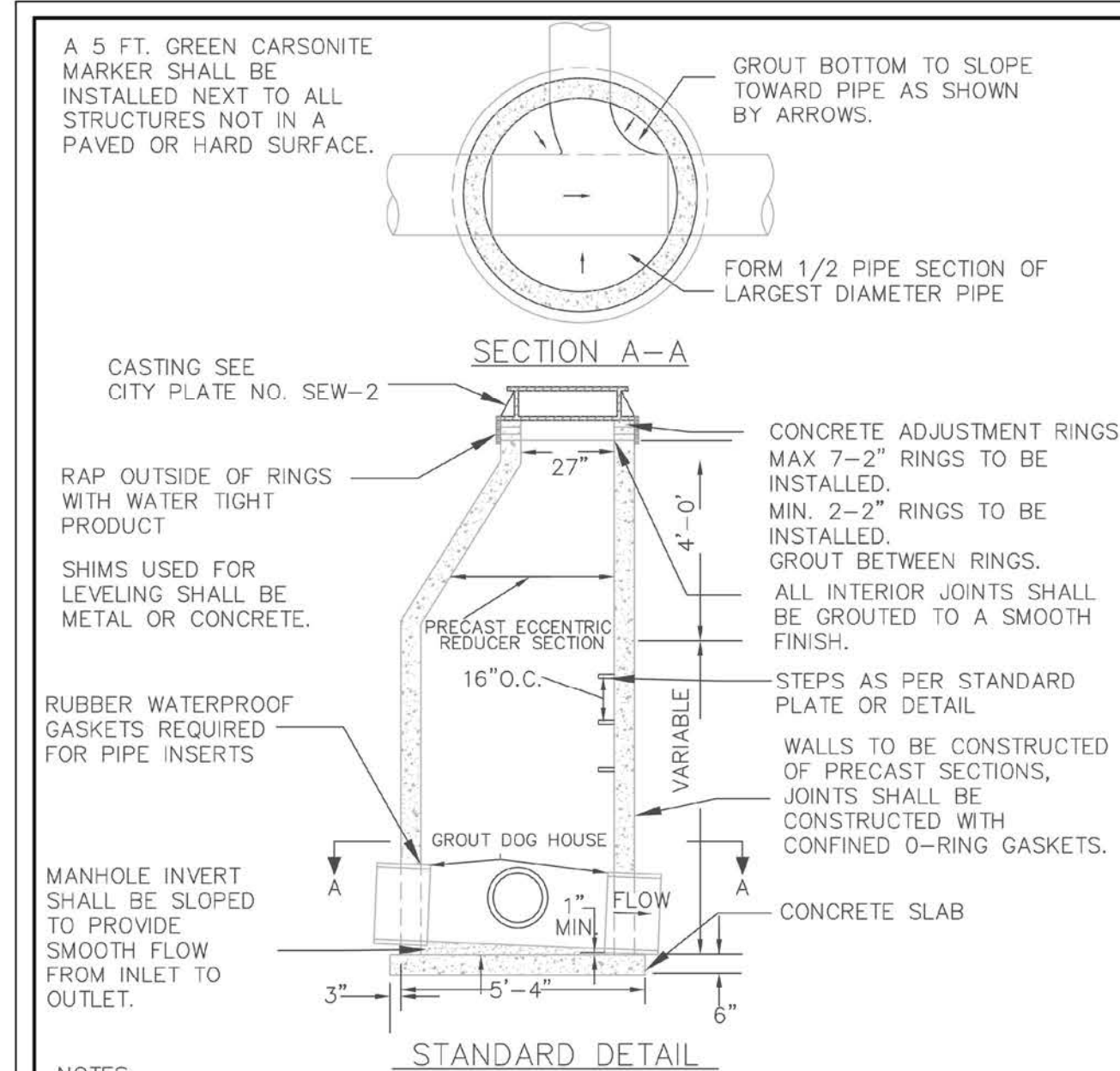
3 WATER SERVICE NO SCALE

APPROVED: 1 - 2016

STANDARD DETAILS:  
SILT FENCE

CITY PLATE No. ERO-1

1 INLET PROTECTION NO SCALE

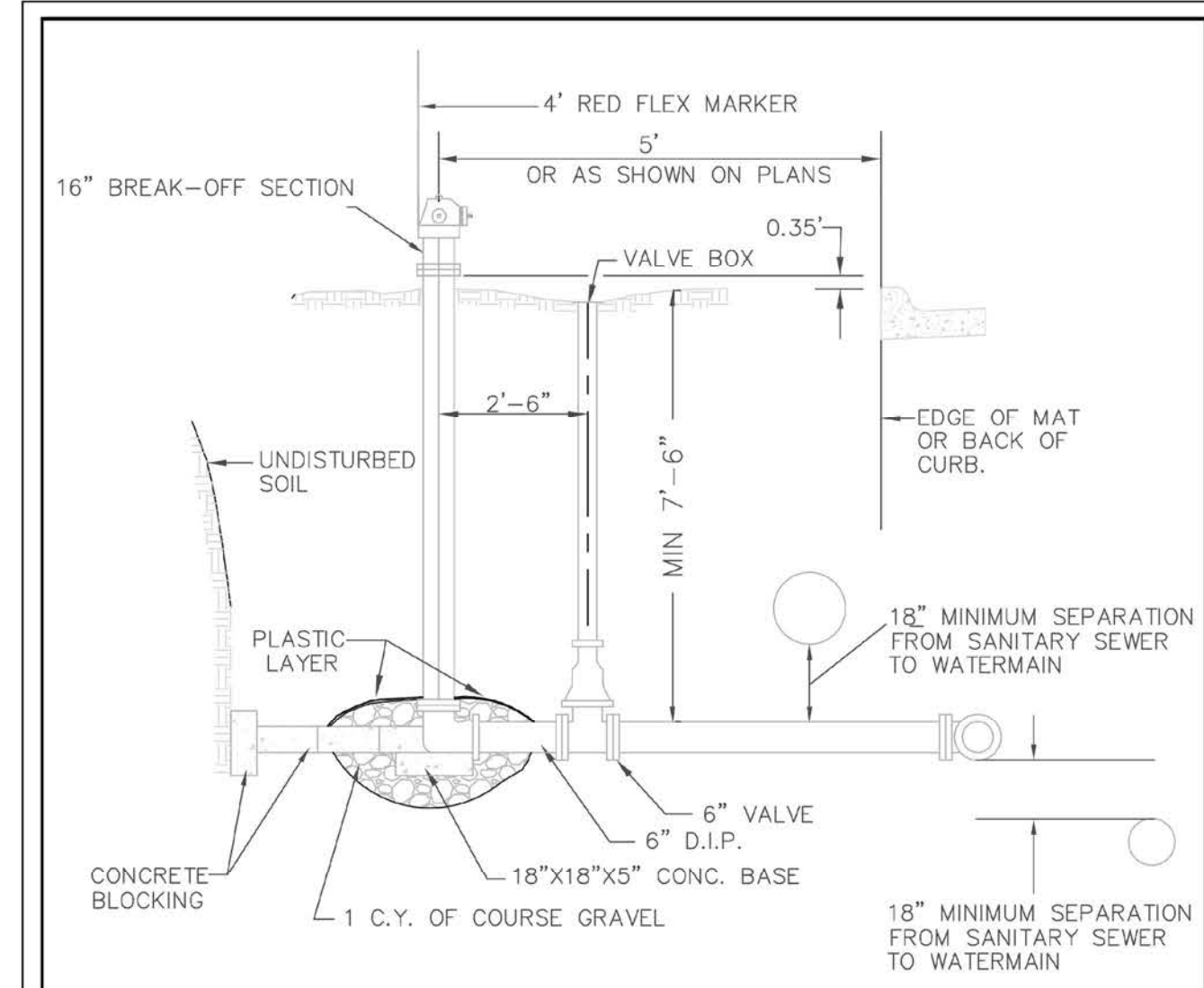


APPROVED: 1 - 2016

STANDARD DETAILS:  
SANITARY MANHOLE

CITY PLATE No. SEW-1

6 SANITARY MANHOLE NO SCALE

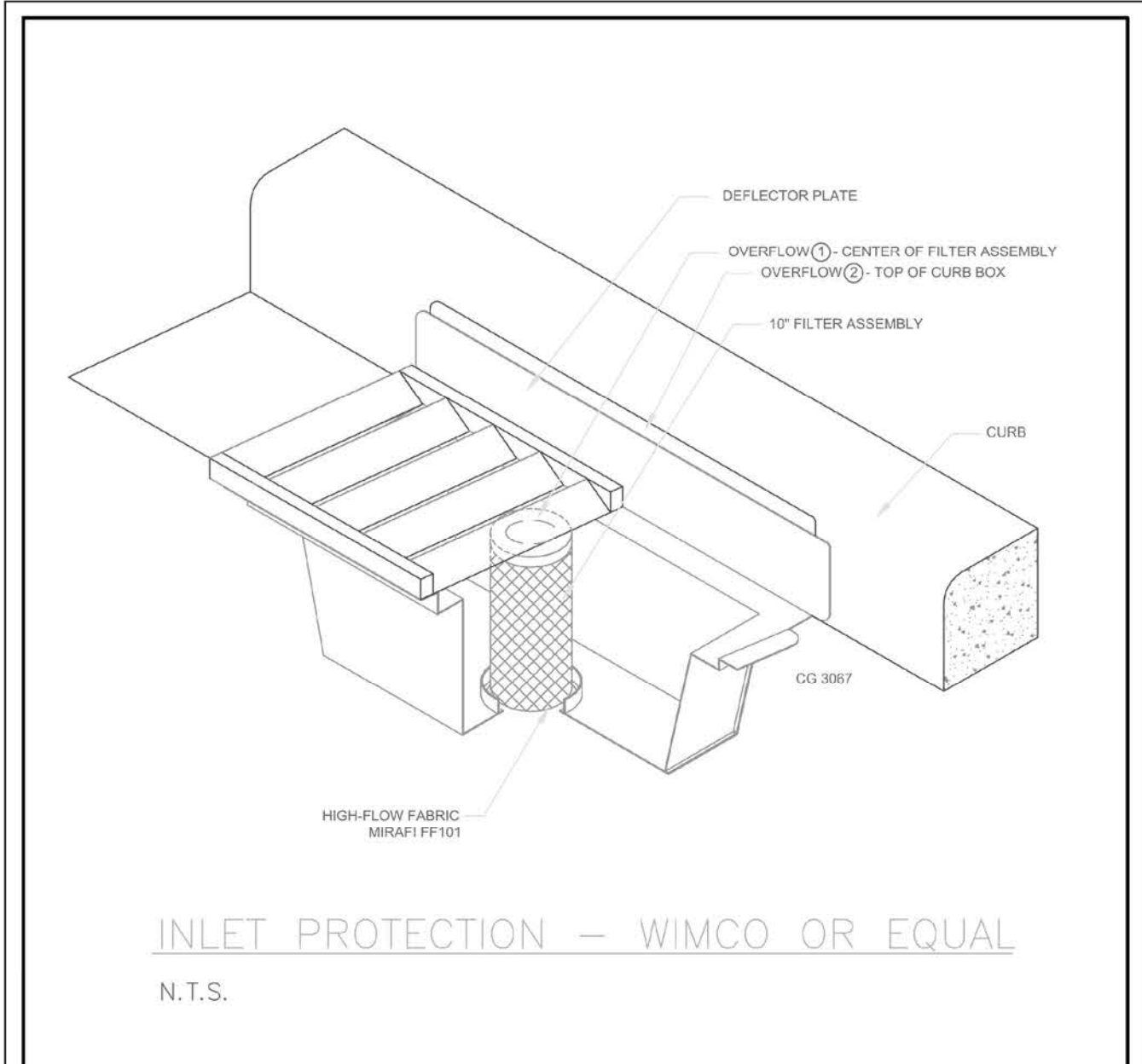


APPROVED: 4 - 2016

STANDARD DETAILS:  
HYDRANT

CITY PLATE No. WAT-1

4 HYDRANT NO SCALE



APPROVED: 1 - 2016

STANDARD DETAILS:  
INLET PROTECTION

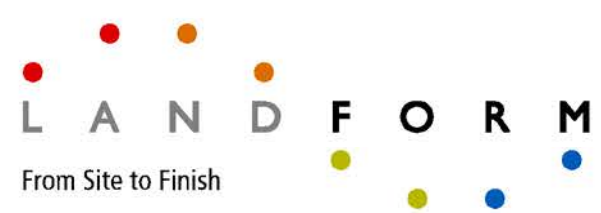
CITY PLATE No. ERO-2

2 SILT FENCE NO SCALE

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PRELIMINARY PLAT  
01.03.2019



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Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME C701KRZ141029M/CB  
PROJECT NO. KRZ141029M/CB

CIVIL CONSTRUCTION  
DETAILS  
C7.1  
SHEET NO. 6/8

# TABLE A MODIFIED CLASS 5 SPECIFICATIONS

% PASSING

1"	100
3/4"	90 - 100
3/8"	50 - 80
No.4	35 - 70
No.10	20 - 60
No.40	10 - 35
No.200	5 - 10

NOTES:  
1. THE AGGREGATE BASE CONSTRUCTION WILL BE ACCEPTED FOR PAYMENT IN ACCORDANCE WITH THE PROVISIONS IN TABLE A.  
2. IF THE AGGREGATE BASE FAILS TO MEET THE REQUIREMENTS OF TABLE A THE MATERIAL CAN BE CORRECTED IN PLACE OR REMOVED AND REPLACED WITH MATERIAL THAT MEET THE REQUIREMENTS OF TABLE A.  
3. IN THE EVENT THAT RECYCLED MATERIAL IS USE IT MUST MEET DOT REQUIREMENTS FOR RECYCLED BASE.

APPROVED:  
2 - 2003

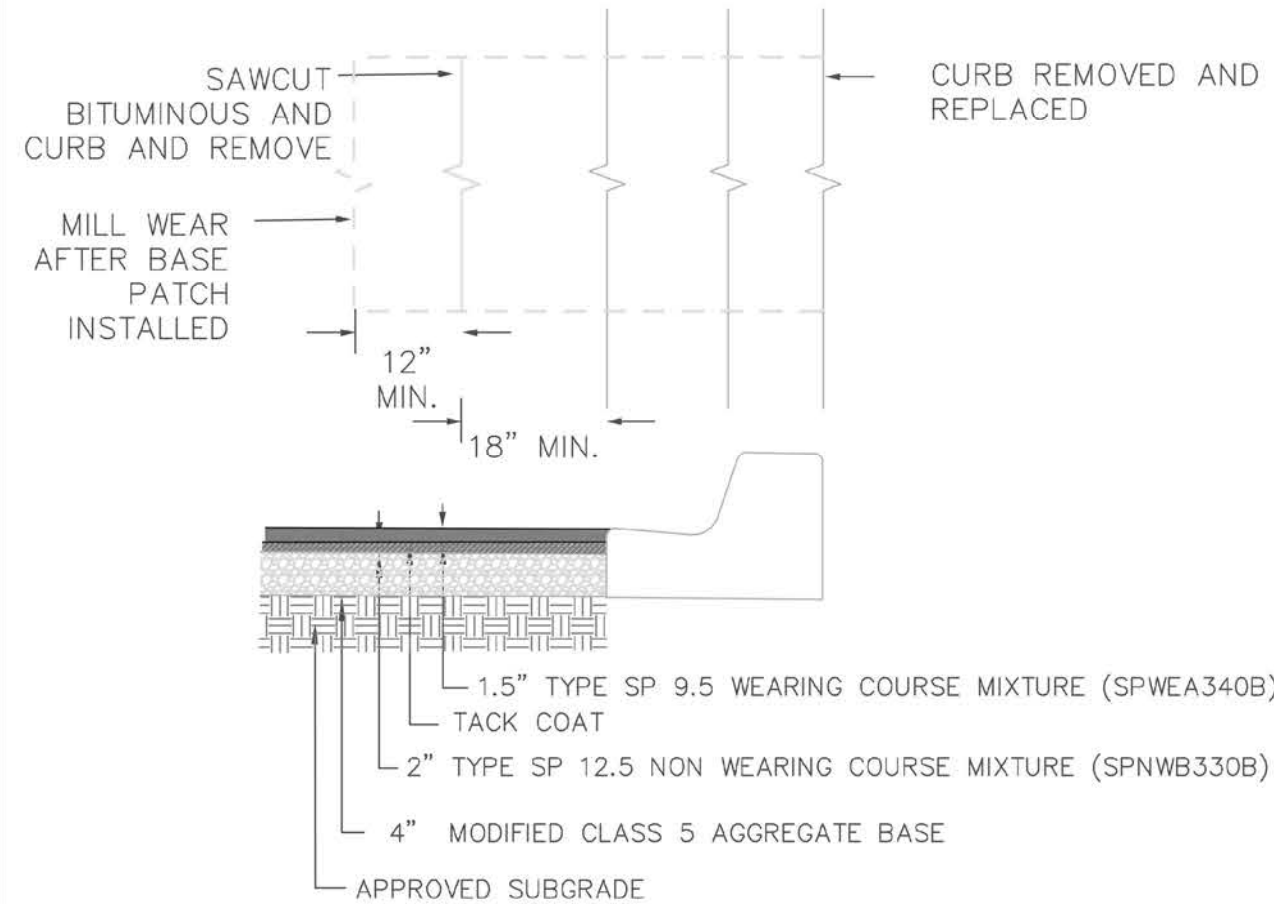


STANDARD DETAILS:  
MODIFIED CLASS 5  
SPECIFICATIONS  
CITY PLATE No. STR-26

5

## MODIFIED CLASS 5 SPECIFICATIONS

NO SCALE



NOTES:  
1. BITUMINOUS SHALL BE SAWCUT AND REMOVED AFTER CURB IS REPLACED.  
2. CLASS 5 AND BITUMINOUS COURSES SHALL BE MECHANICALLY COMPACTED.  
3. SEE CITY PLATE STR-26 FOR MODIFIED CLASS 5 SPECIFICATIONS.

APPROVED:  
6 - 2016

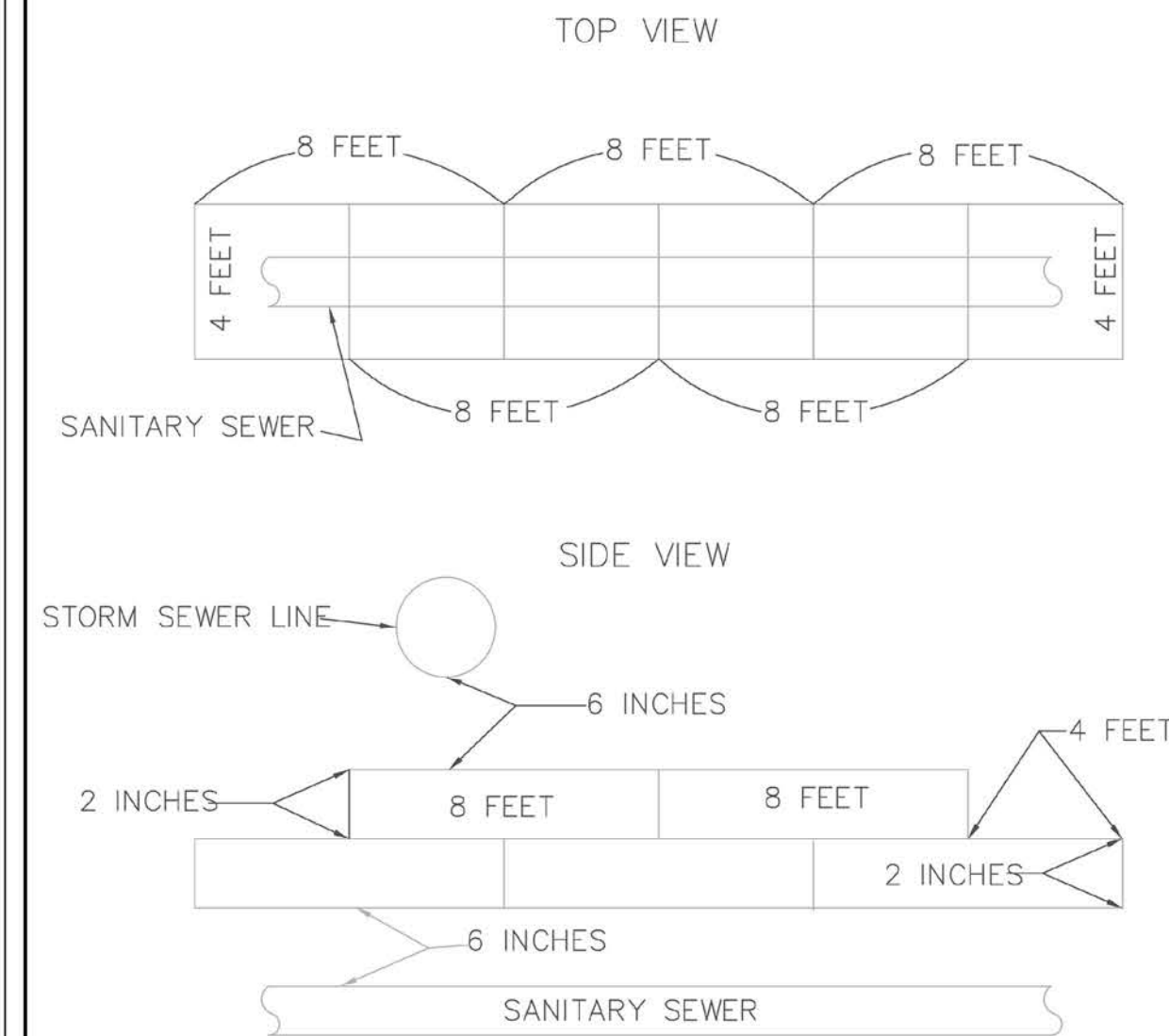


STANDARD DETAILS:  
STREET PATCHING STANDARDS  
CITY PLATE No. STR-25

3

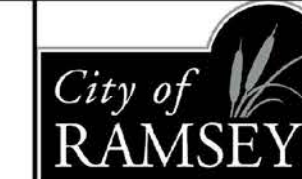
## STREET PATCHING STANDARDS

NO SCALE



NOTES: 1) SHEETS ARE 2 INCHES BY 4 FEET BY 8 FEET  
2) SURFACE PREPARATION SHALL BE SMOOTH AND ROCK FREE  
3) JOINTS WILL BE OVERLAPPED BY 4 FEET  
4) POLYSTYRENE INSULATION OR APPROVED EQUAL

APPROVED:  
9 - 2011

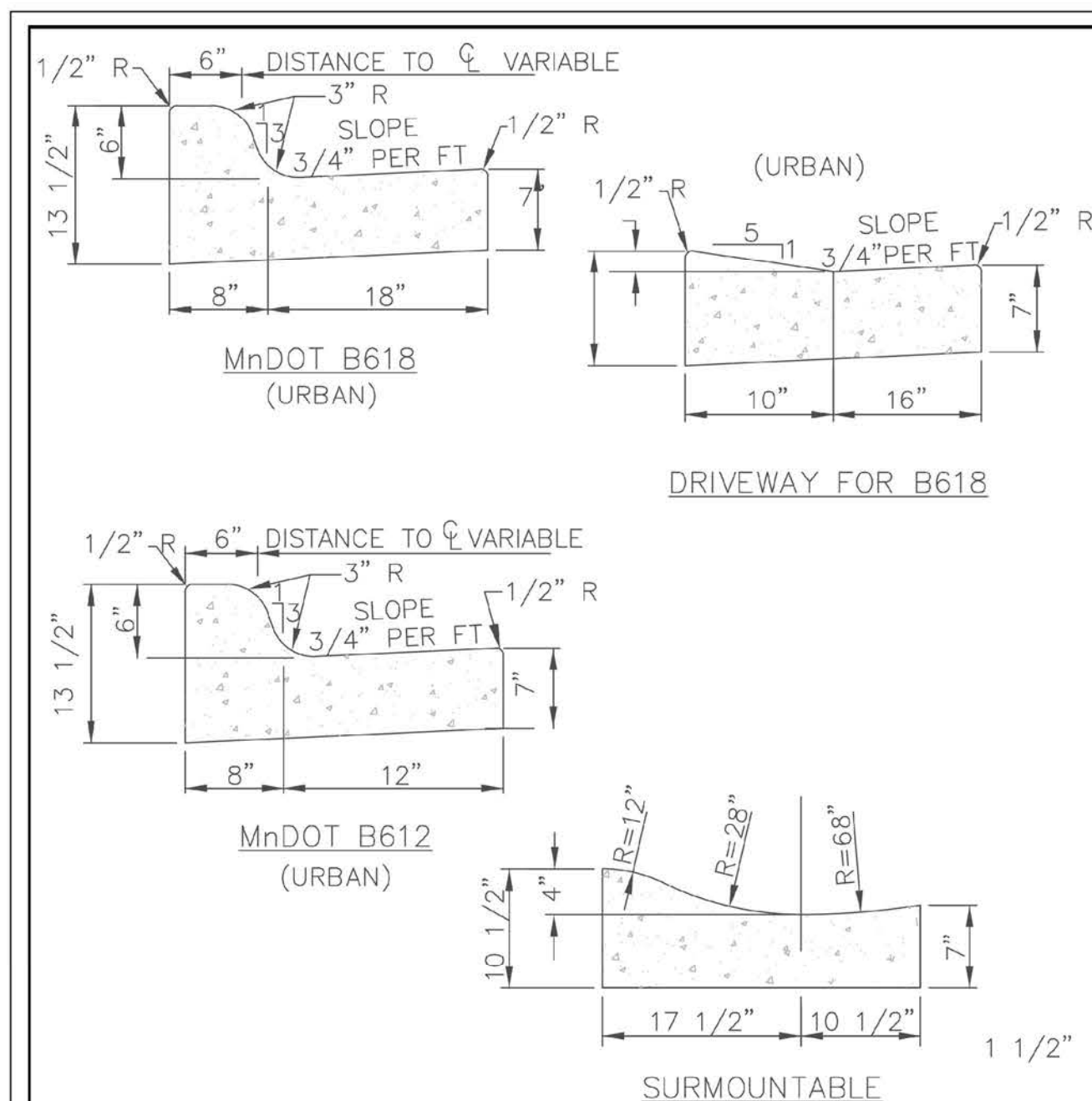


STANDARD DETAILS:  
SANITARY SEWER INSULATION  
CITY PLATE No. SEW-6

1

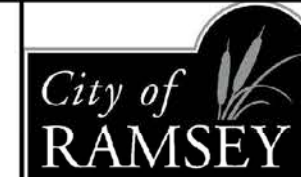
## SANITARY SEWER INSULATION

NO SCALE



NOTES:  
1. ON WEAR COURSE MILL THE EXISTING BITUMINOUS 1.5" BY 24" IN FRONT OF THE REPLACEMENT CURB.  
2. ON BASE COURSE SAW CUT AND REMOVE EXISTING BITUMINOUS 18" IN FRONT OF THE REPLACEMENT CURB.

APPROVED:  
1 - 2016

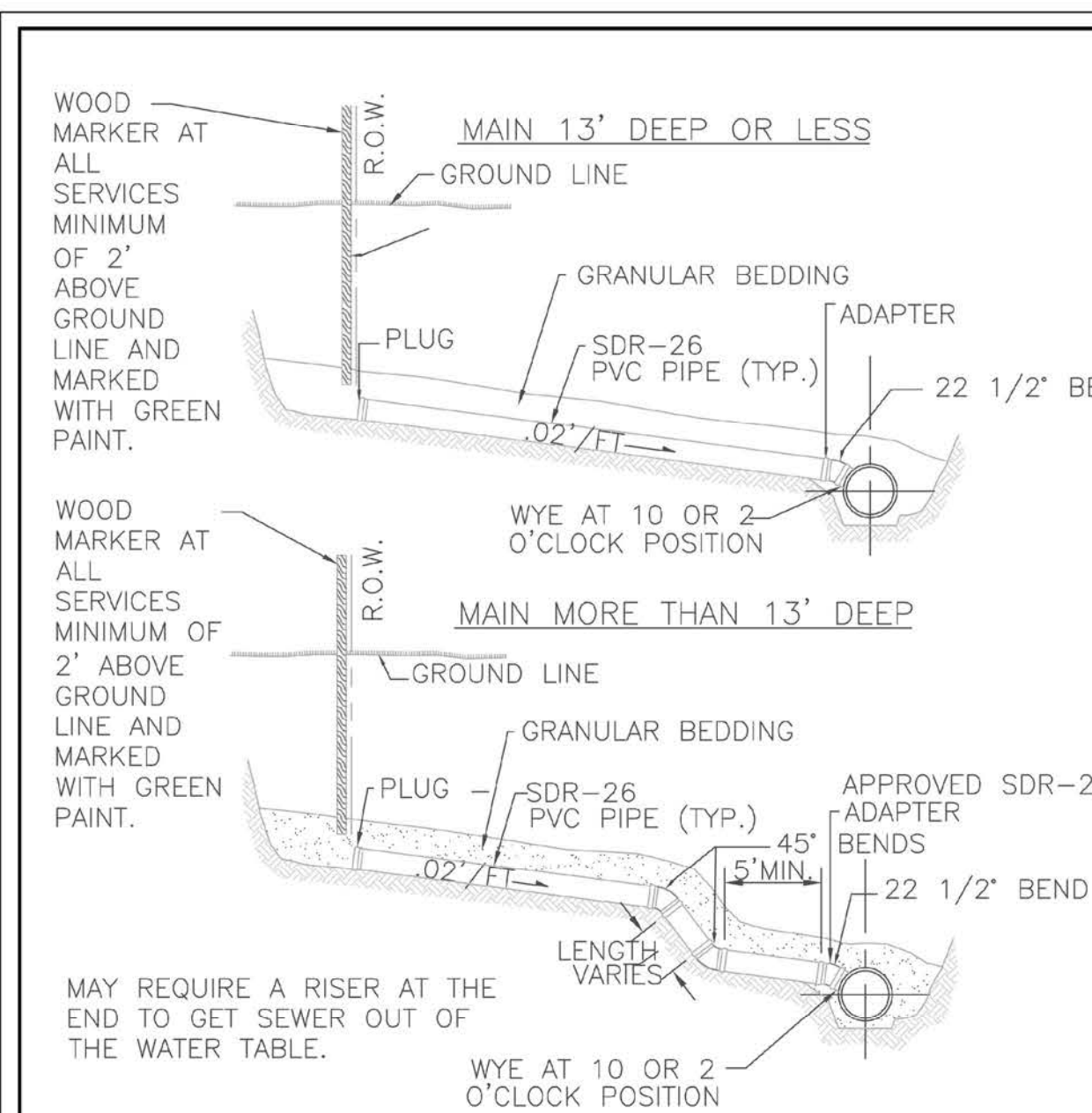


STANDARD DETAILS:  
CURB AND GUTTER  
CITY PLATE No. STR-1

4

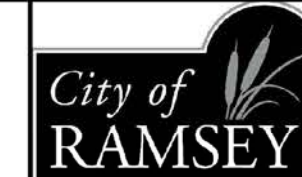
## CURB AND GUTTER

NO SCALE



NOTES:  
1. 10 GAGE SOLID COPPER TRACER WIRE IS REQUIRED WITH ALL SEWER LINES.  
2. CONDUCTIVITY IS REQUIRED ON ALL TRACER WIRE.  
3. TRACER WIRE ARE TO END IN STRUCTURES, AT FINISHED GRADE ON ALL SERVICES AND STUBS.

APPROVED:  
4 - 2016



STANDARD DETAILS:  
SANITARY SEWER SERVICE  
CITY PLATE No. SEW-3

2

## SANITARY SEWER SERVICE

NO SCALE

DEVELOPER

MEADOWCREEK BUILDERS

10122 EWING LANE  
BROOKLYN PARK, MN 55443  
TEL (612) 867-6533

MUNICIPALITY



PROJECT

HARVEST ESTATES  
2ND ADDITION  
RAMSEY, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
XX MON 20XX	XXXXXXXXXX	XXX

CERTIFICATION

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

PRELIMINARY PLAT  
01.03.2019



105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME C702KRZ141029MCB

PROJECT NO. KRZ141029MCB

CIVIL CONSTRUCTION  
DETAILS

**C7.2**

SHEET NO. 7/8

Landform Inc. is a registered service mark of Landform Professional Services, LLC.



**LANDSCAPE NOTES**

- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING.
- COORDINATE INSTALLATION WITH CONTRACTORS PERFORMING RELATED WORK.
- SEED MIXTURES SHALL BE AS DEFINED IN CURRENT MNDOT SEEDING MANUAL. NATIVE SEEDS SHALL BE OF MINNESOTA (OR AS SPECIFIED) ORIGIN AND CERTIFIED BY THE MINNESOTA CROP IMPROVEMENT ASSOCIATION (MCIA). PROVIDE VERIFYING DOCUMENTATION TO THE OWNER 30 DAYS MINIMUM PRIOR TO INSTALLATION.
- PLANT MATERIAL SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND BE OF HARDY STOCK, FREE FROM DISEASE, INFESTATION, DAMAGE, AND DISFIGURATION. FOR DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE SCHEDULE AND THE NUMBER SHOWN ON THE DRAWING, THE DRAWING SHALL GOVERN.
- PLANTING SOIL SHALL CONSIST OF 4 PARTS TOPSOIL TO 1 PART PEAT HUMUS, WITH 3 POUNDS OF COMMERCIAL FERTILIZER PER CUBIC YARD.
- SPREAD A MINIMUM OF 6 INCHES OF TOPSOIL AND SEED/SOD ALL TURF AREAS DISTURBED BY CONSTRUCTION.
- PLACE PLANTS ACCORDING TO LAYOUT WITH PROPER NOMINAL SPACING.
- SEE DETAILS FOR DEPTH OF PLANTING SOIL.
- INSTALL A 6-FOOT DIAMETER SHREDDED HARDWOOD MULCH DISH AROUND TREES NOT PLACED WITHIN A SHRUB OR PERENNIAL PLANTING BED. VINYL EDGING IS NOT REQUIRED.
- CONIFEROUS TREE SPECIES SHALL BE PLACED PER PLAN. VARIABLE HEIGHTS WITHIN EACH SPECIES (SEE PLANT SCHEDULE BELOW) SHALL BE RANDOMLY PLACED THROUGHOUT SITE. NO GROUPING SHALL CONTAIN CONIFERS OF THE SAME SINGLE HEIGHT.

**SOD / SEED**

- SEE EROSION CONTROL PLAN FOR SEEDING OF ALL OTHER DISTURBED AREAS.

**DEVELOPER**

**MEADOWCREEK BUILDERS**  
 10122 EWING LANE  
 BROOKLYN PARK, MN 55443  
 TEL (612) 867-6633

**MUNICIPALITY**



**PROJECT**

**HARVEST ESTATES  
 2ND ADDITION  
 RAMSEY, MINNESOTA**

**ISSUE / REVISION HISTORY**

DATE	ISSUE / REVISION	REVIEW
XX MON 20XX	XXXXXXXXXX	XXX

**DECIDUOUS TREES**

KEY	COUNT	COMMON NAME	SCIENTIFIC NAME	MATURE SIZE	SIZE/ROOT	SYMBOL
ACMO	1	NORTHWOOD MAPLE	ACER RUBRUM 'NORTHWOODS'	50'H x 35'W	2.5' BAB	
TIRE	3	REDMOND LINDEN	TILIA AMERICANA 'REDMOND'	50'H x 30'W	2.5' BAB	
BENA	7	RIVER BIRCH	BETULA NIGRA	50'H x 40'W	2.5' BAB	
CEOC	6	COMMON HACKBERRY	CELTIS OCCIDENTALIS	75'H x 50'W	2.5' BAB	
QUBI	3	SWAMP WHITE OAK	QUERCUS BICOLOR	60'H x 50'W	2.5' BAB	

**CONIFEROUS TREES**

KEY	COUNT*	COMMON NAME	SCIENTIFIC NAME	MATURE SIZE	SIZE/ROOT	SYMBOL
PINI	3	AUSTRIAN PINE	PINUS NIGRA	50'H x 20'W	6' BAB	
PIGD	4	BLACK HILLS WHITE SPRUCE	PICEA GLAUKA DENSATA	45'H x 20'W	6' BAB	
ABBA	22	BALSAM FIR	ABIES BALSAMEA	60'H x 35'W	6' BAB	

**CERTIFICATION**

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

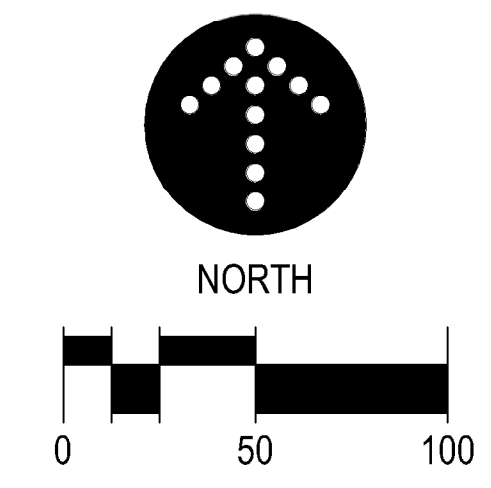
**PRELIMINARY PLAT**  
 01.03.2019



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 Minneapolis, MN 55401 Web: landform.net

FILE NAME L201KRZ141029MCB  
 PROJECT NO. KRZ141029MCB

**LANDSCAPE PLAN  
 AND DETAILS**  
**L2.1**  
 SHEET NO. 8/8



\\SP545023\studios\active\_projects\krz141029\MCB - Harvest Est 2nd in Ramsey MN\Design Drawings & Work Product\L201KRZ141029\MCB.dwg, 1:1 © LANDFORM 2019

**CITY OF RAMSEY LAND USE APPLICATION  
TECHNICAL REVIEW FILE**

<b>DATE</b>	JANUARY 10, 2019	<b>PROJECT ADDRESS</b>	TBD
<b>PROJECT. TITLE</b>	HARVEST ESTATES 2 <sup>ND</sup> ADDITION		
<b>ESCROW #</b>			
<b>DEPARTMENT:</b>	Community Development: Planning Division (Landscape Plan & Environmental Resources)		
<b>TECHNICAL REVIEWER:</b>	Name: Chris Anderson Phone: 763-433-9817 Email: <a href="mailto:canderson@cityoframsey.com">canderson@cityoframsey.com</a>		

We offer the following comments regarding the civil engineering plans prepared by Landform and dated January 3, 2019:

**Sheet C1.1**

- Tree Inventory data from original inventory (completed in 2015) must be added to this sheet (specifically the tree numbers and the table identifying trees being saved, removed, etc.). Note that only the trees on the current development site should be included (nothing from the 1<sup>st</sup> Addition).
- In the northeast portion of the site there appears to be vegetation (trees?) identified by the green bubble line. When looking at the grading plan, it appears these trees are being removed. If so, the hash mark identified in Note 12 must be added.

**Sheet C2.1**

- Each lot must comply with the buildable area requirement outlined in City Code [Section 117-614](#) (h) (11), which states that each lot shall have at least 100 feet of depth with a continuous width of sixty (60) feet, exclusive of any wetland, wetland setback, floodway, or steep slopes. Please provide an exhibit for Lots 3-5 Block 1 and Lots 2-4 Block 2 verifying that each of these lots is in conformance.

**Sheet C3.1**

- Tree Save Fencing must be included on this sheet.
- Tree Save Fencing must be installed along the boundary of the existing residential lot at the southwest corner of the development site (15133 Nowthen Blvd) to ensure those private, existing trees are protected.
- Tree Save Fencing shall be installed at the dripline or beyond of any tree or group of trees being protected.
- Silt Fence shall be installed no closer than 16.5 feet from the normal water level of the stormwater pond. Existing vegetation within this required setback area shall be left undisturbed throughout grading, construction, and landscaping aspects of the project.
- Silt Fence must be contained entirely within the development site. Adjustments are needed near Lot 2 Block 1.

**Sheet C7.2**

- Add details for tree planting and tree save fencing.

**Sheet L2.1**

- The City requires four (4) inches of topsoil meeting the City's specification, not six (6) as identified in the Landscape Notes.
- All trees installed shall be a minimum of 2.5 inches in caliper (deciduous trees) or six (6) feet in height (evergreens) in accordance with the 2015 approved Reforestation Plan.
- Developer SHALL disclose tree size requirement to anyone purchasing a lot and shall also provide a copy of the approved Landscape Plan.
- Developer is required to install all tree plantings as a Stage I Improvement with the exception of the two (2) required front yard trees, which may be installed by the builder.
- Boulevard area, whether there is sidewalk present or not, is required to be finished with sod. Remaining portions of lot can be finished with sod, seed, hydroseed, or other acceptable ground cover. This shall be noted on the plan.
- In the drainage basins, utilize MnDOT Mix 35-221 or similar, which is a native seed mix, which is consistent with past recommendations from the Environmental Policy Board.
- While not noted on the plans, if in-ground irrigation systems will be installed, they must include a rain sensor AND some form of water efficient technology such as a smart controller, soil moisture sensor, ET sensor, etc.

**Meeting Date:** 01/14/2019

**By:** Chris Anderson, Community  
Development

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### **Information**

**Title:**

Consider Participation in the Simple Recycling Program

**Purpose/Background:**

Staff has been contacted by ACE Solid Waste regarding a new recycling program/opportunity that is available to Ramsey. ACE recently met with representatives from Simple Recycling about a pilot program for curbside recycling of textiles (clothing). This would be separate from the existing curbside recycling program. There does not appear to be any direct cost to the City or to the residents that would utilize the program (the City would, however, market the program through newsletters, the website and Facebook page). More information on the program can be found here (<http://simplerecycling.com>).

Simple Recycling provides collection bags for residents to place textiles, toys, sleeping bags, pots/pans, shoes, tools, blankets, coats/jackets, pillows, dishes, and silverware in. These items, once put in the provided bags, would be placed curbside the same day as the garbage/recycling. The bags DO NOT go inside a cart, they are simply placed at the curb next to the cart(s). ACE would 'ping' each site with a bag and then Simple Recycling would send a small box truck through the community to collect the bags (a new bag would be tied to the cart for future use).

The materials are brought back to a facility and are graded and sorted based on quality. The highest quality materials are resold to local/regional thrift stores for reuse. Mid-grade materials are exported to international markets for reuse and the low-grade (unusable) items are processed (recycled) for their raw materials. The City would receive a monthly tonnage report as well as a year-end report from Simple Recycling for tracking purposes (this can also be used for reporting purposes to Anoka County).

Presently, across the country upwards of 85% of clothing is thrown away. This program would offer an easy, convenient and free option to have that material reused or recycled curbside. The City would also be compensated on a per pound basis of material collected by Simple Recycling (something like a penny per pound collected). As noted, the City's main involvement would be marketing the program to residents via newsletters, the website and Facebook page.

This program is currently implemented in multiple metro cities, including Coon Rapids and St. Louis Park. But, Staff is seeking more information from ACE and Simple Recycling to better understand the details of this program. At this time, Staff was interested in receiving initial feedback from the EPB about potential participation in this program. This item would be brought back to the EPB at a future meeting when Staff has had more time to review the program and understand the details and intricacies of it.

**Funding Source:**

This case is being handled as part of Staff's regular duties.

**Action:**

Provide initial feedback on possible participation in this program. The EPB will have a chance to further review this once additional details are known and could provide a more formalized recommendation at that time.

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## Attachments

*No file(s) attached.*

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### Form Review

**Inbox**

Tim Gladhill

Form Started By: Chris Anderson

Final Approval Date: 01/11/2019

**Reviewed By**

JoAnn Shaw

**Date**

01/11/2019 08:46 AM

Started On: 01/10/2019 03:26 PM