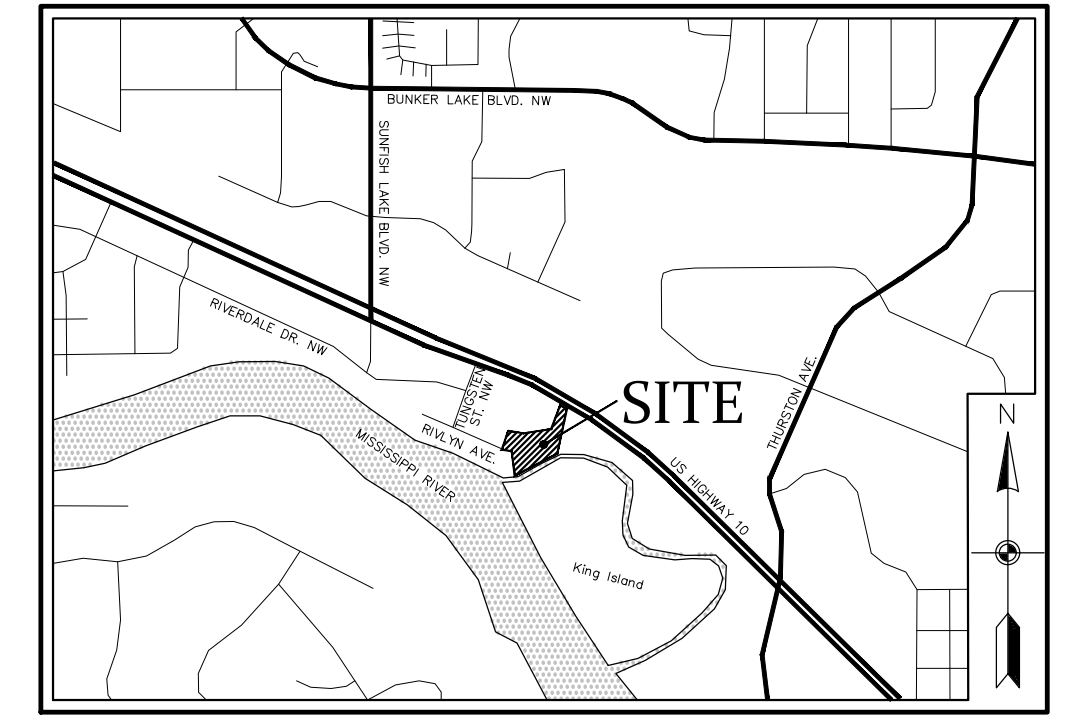


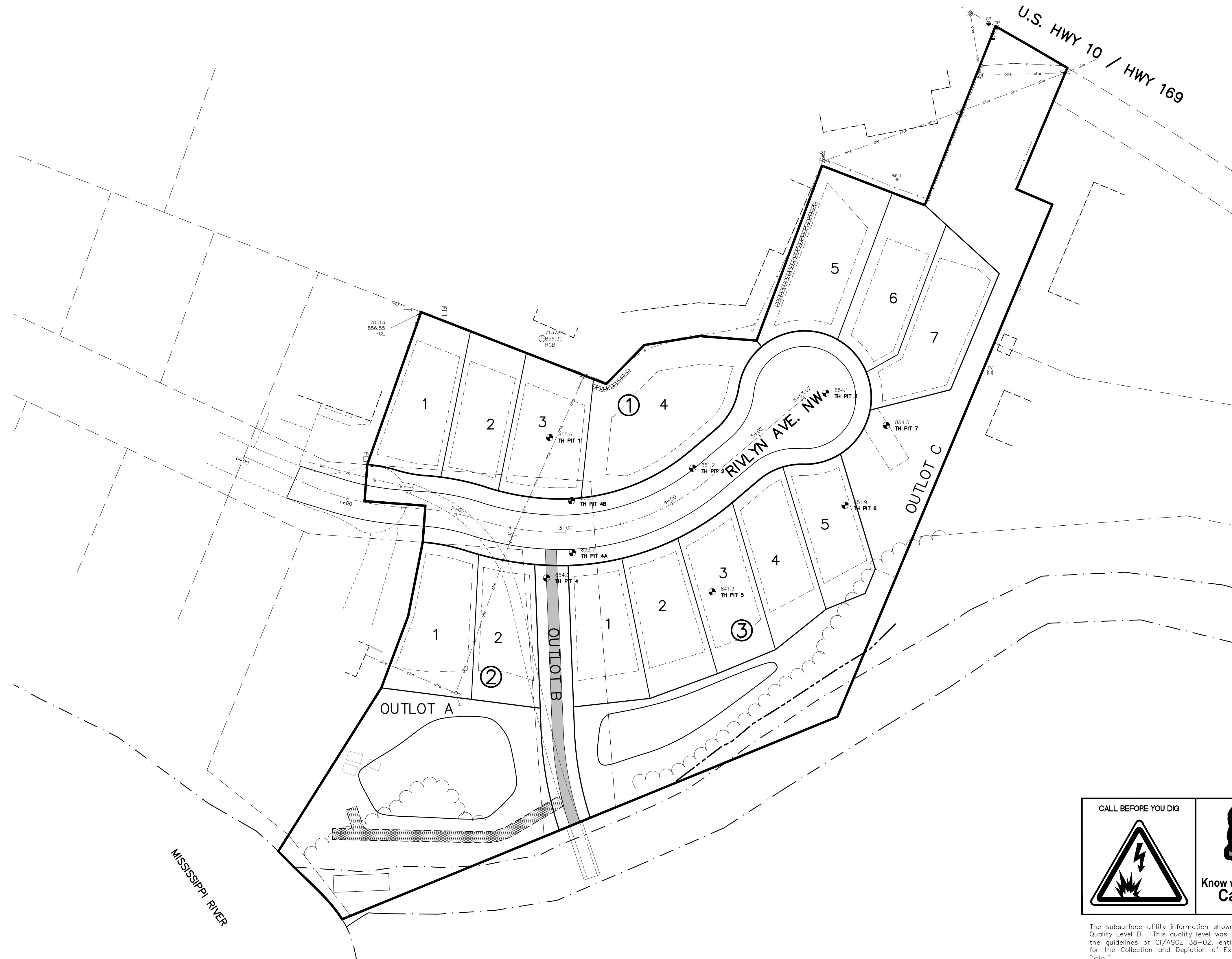
# ITASCA ESTATES

## RAMSEY, MINNESOTA

### VICINITY MAP

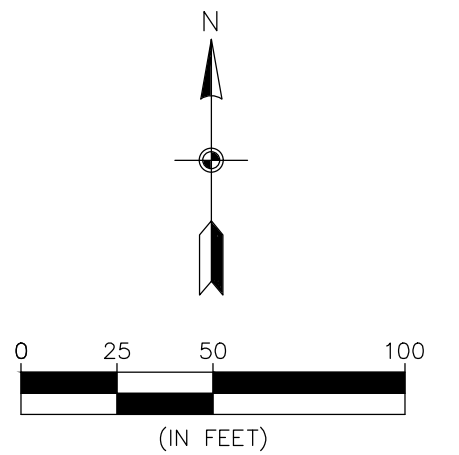


NOT TO SCALE



### SHEET INDEX

1. COVER
2. EXISTING CONDITIONS
3. REMOVALS PLAN
4. SITE PLAN
5. GRADING & EROSION CONTROL PLAN
- 6-7. DETAILS
- L1. LANDSCAPE PLAN

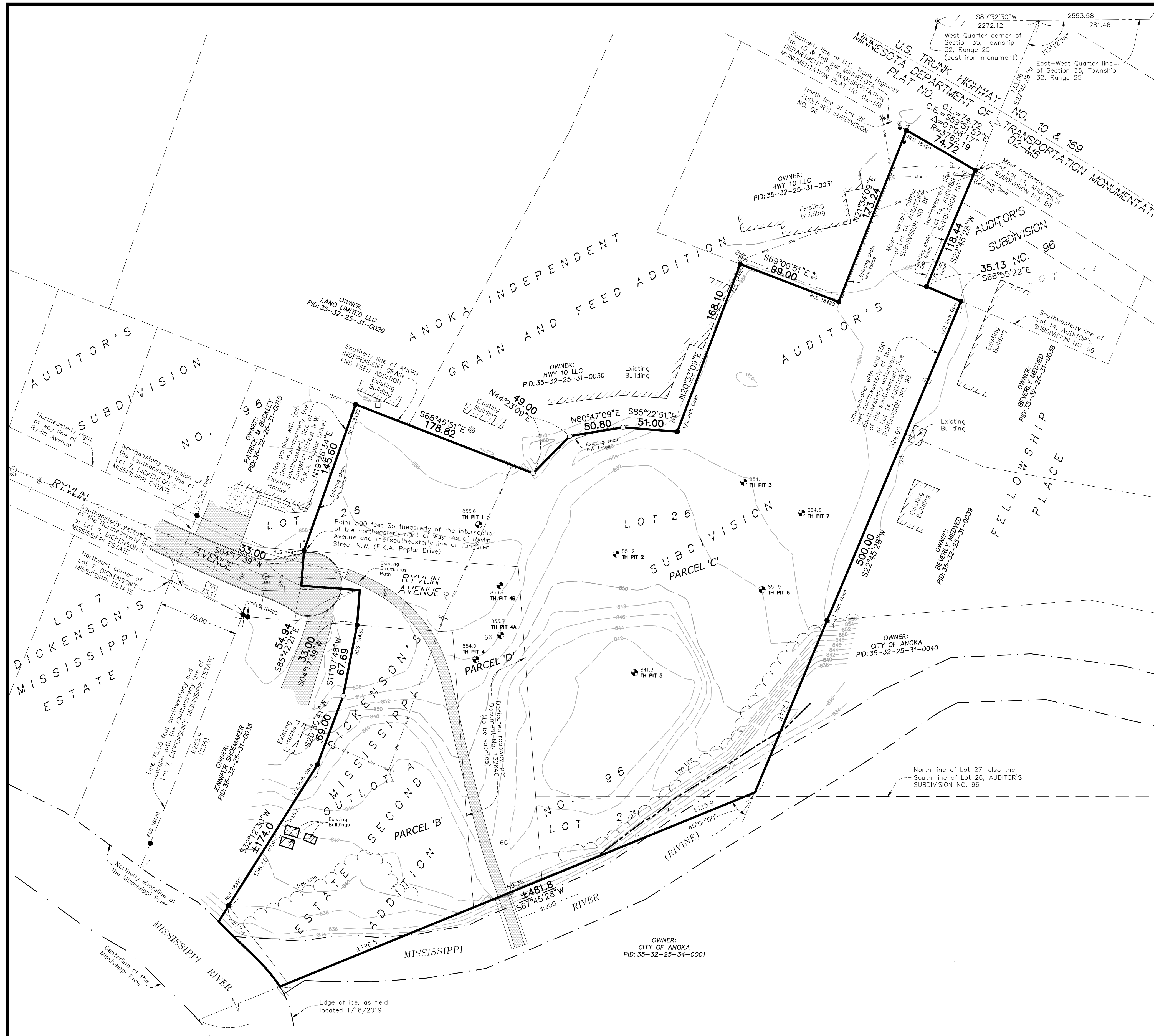


CALL BEFORE YOU DIG

Know what's below.  
Call before you dig.

The subsurface utility information shown on this plan is utility Quality Level D. This quality level was determined according to the guidelines of OJ/ASCE 38-02, entitled "Standard Guideline for the Collection and Depiction of Existing Subsurface Utility Data."

BENCHMARK	
1.	MNDOT GSD Station #833, Named "Lumber MNDT RM 1" Elev.= 859.11
2.	MNDOT GSD Station #775, Named "E 257" Elev.= 863.67



**PARCEL DESCRIPTION:** (Per Schedule A of Title Commitment File No. 104617, with a commitment date of January 4, 2019 at 8:00 A.M., prepared by All American Commercial Title, Inc., as issuing agent for Old Republic National Title Insurance Company)

**Parcel B:**

Outlot A, DICKENSON'S MISSISSIPPI ESTATE SECOND ADDITION, Anoka County, Minnesota.

**Parcel C:**

That part of Lots 26 and 27 AUDITOR'S SUBDIVISION NO. 96, Anoka County, Minnesota, lying Easterly and Southeastery of the following described line: Beginning at intersection of Northernly shoreline of the Mississippi River and a line 75.00 feet Southeastery of and parallel with the Southeastery line of Lot 7, DICKENSON'S MISSISSIPPI ESTATE, said Anoka County, as measured along Southeastery extension of the Northeastery line of said Lot 7; thence Northeastery along said parallel line 235 feet, more or less, to its intersection with the Southeastery extension of Northeastery line of said Lot 7; thence Northwestery along said Southeastery extension 75 feet to the Northeast corner of said Lot 7; thence Northeastery along Northeastery extension of said Southeastery line 66 feet to Northeastery right-of-way line of Ryvlin Avenue; thence Southeastery along said right-of-way line to a point 500 feet Southeastery (as measured along said right-of-way line) of the intersection of said right-of-way line with Southeastery right-of-way line of Poplar Drive (now known as Tungsten Street N.W.) as shown on the plat of DICKENSON'S MISSISSIPPI ESTATE; thence Northeastery parallel with said Southeastery right-of-way line to its intersection with the Southernly line of the plat of ANOKA INDEPENDENT GRAIN AND FEED; thence Southeastery and Northeastery along the Southernly and Easterly line of said plat of ANOKA INDEPENDENT GRAIN AND FEED to the North line of said Lot 26 and there terminating.

And lying Westerly of the following described line: Beginning at the most Northernly corner of Lot 14, said AUDITOR'S SUBDIVISION NO. 96; thence Southerly along Northwestery line of said Lot 14 to the most Westerly corner thereof; thence Southerly along Southwestery line of said Lot 14 to its intersection with a line parallel with and 150 feet Northwestery (as measured at right angle) of the Southwestery extension of Southeastery line of said Lot 14; thence Southwestery along said parallel line a distance of 500 feet; thence Southwestery deflecting to right 45 degrees 00 minutes 00 seconds a distance of 900 feet, more or less, to the centerline of the Mississippi River and there terminating.

EXCEPT that property dedicated by deed of dedication dated December 9, 1949 to the Township of Ramsey for public road purposes, recorded as Document No. 132840.

ALSO EXCEPT that part platted as DICKENSON'S MISSISSIPPI ESTATE SECOND ADDITION.

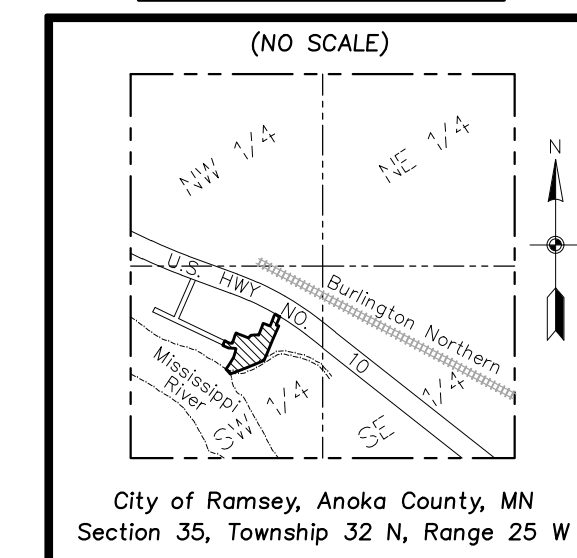
**PARCEL D (proposed public roadway to be vacated):**

That part of vacated Ryvlin Avenue accruing thereto by reason of street vacation.

**GENERAL NOTES:**

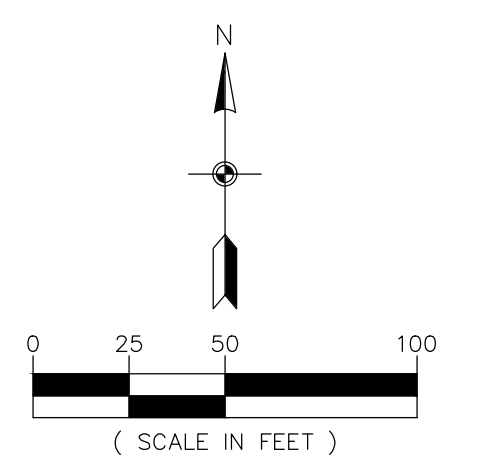
- The field work for this survey was completed on January 18, 2019.
- Bearings shown are based on the East-West Quarter line of Section 35, Township 32, Range 25, Anoka County, Minnesota, which is assumed to bear N89°32'30"E.
- Surveyed property address:  
Parcel B - unassigned situs, Ramsey, MN.  
Parcel C - 6080 Highway 10 NW, Ramsey, MN
- Above ground utilities have been field located as shown. All underground locations shown hereon are APPROXIMATE. Prior to any excavations or digging, contact Gopher State One Call for an on-site location (651-454-0002).
- Due to snow and other winter conditions, additional improvements may not have been visible at the time of the survey.

**VICINITY MAP**



**LEGEND**

- Denotes Anoka County Section Monument, as noted
- Denotes Found Iron Monument
- Denotes 5/8 inch by 14 inch rebar, marked with RLS 40361
- Denotes Light Pole
- Denotes Miscellaneous Sign
- Denotes Sanitary Manhole
- Denotes Catch Basin
- Denotes Cleanout
- Denotes Existing Well
- Denotes Guy Wire
- Denotes Utility Pole
- Denotes Telephone Box
- Denotes Electric Transformer
- Denotes Television Box
- Denotes Soil Boring/Test Hole
- Denotes Guard Post
- Denotes Underground Gas
- Denotes Overhead Electric
- Denotes Watermain
- Denotes Sanitary Sewer
- Denotes Existing Fence as noted
- Denotes Concrete Surface
- Denotes Bituminous Surface
- Denotes Wet Land
- Denotes Existing Contour



BENCHMARK	
1. MNDOT GSID Station #833, Named "Lumber MNDT RM 1"	Elev. = 859.11
2. MNDOT GSID Station #775, Named "E 257"	Elev. = 863.67

**Carlson McCain**  
 • environmental  
 • engineering  
 • surveying  
 3890 Pheasant Ridge Drive NE, Suite 100  
 Blaine, MN 55449  
 Phone: (763) 489-7900  
 Fax: (763) 489-7959  
 www.carlsonmccain.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota  
 Print Name: Thomas R. Balluff, L.S.  
 Signature: *Thomas R. Balluff*  
 Date: 01/25/19 License #: 40361

DRAWN BY: KCM  
 ISSUE DATE: 1/25/19  
 FILE NO: 1825

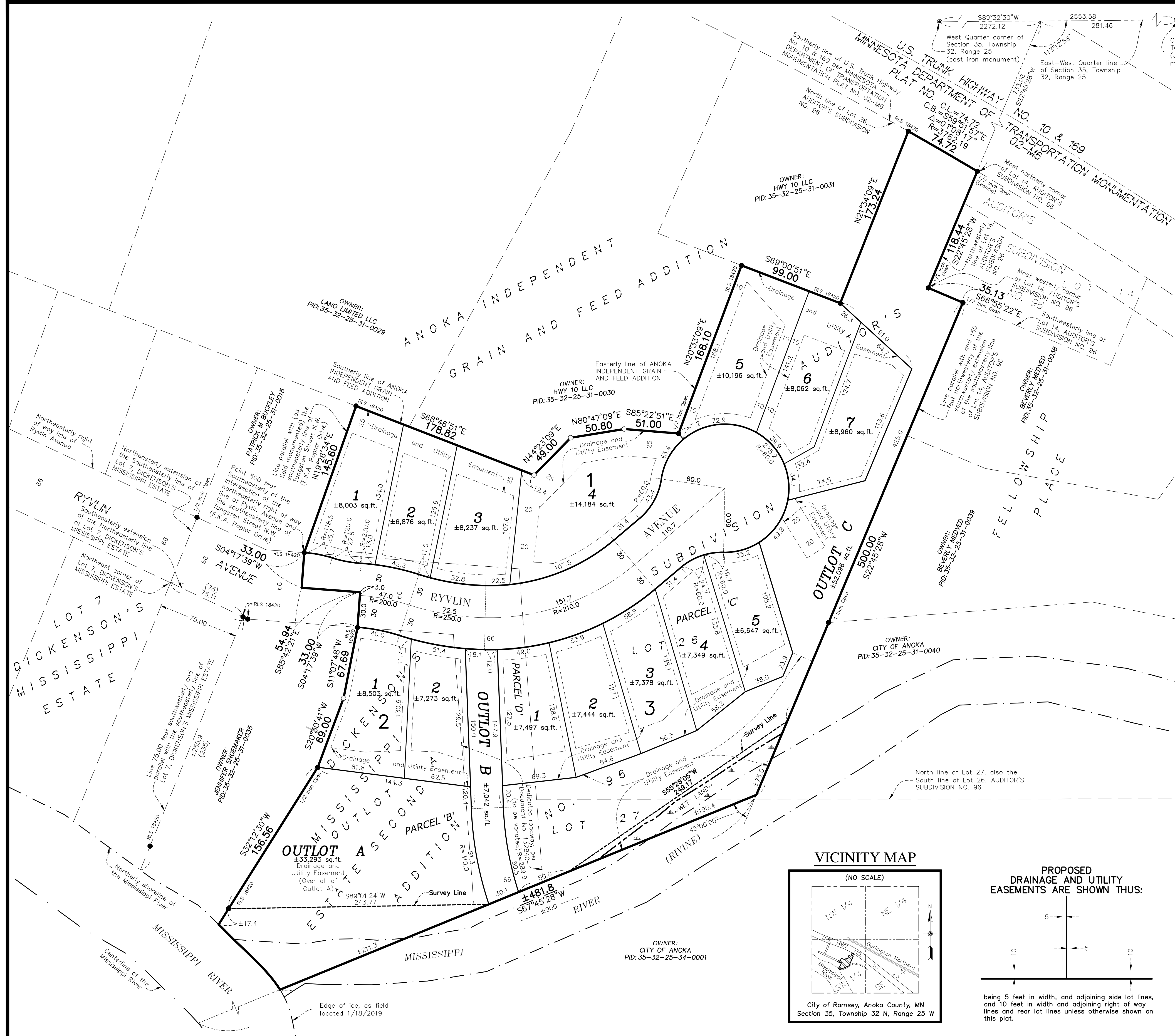
Revisions:  
**VILLAGE BANK**  
 9298 Central Avenue NE  
 Blaine, MN, 55434

**ITASCA ESTATES**  
 Ramsey, Minnesota

**EXISTING CONDITIONS**

Save Date: 01/31/19 F:\jobs\7801 - 7820\7802 - highway 10 ramsey\cad\c3d\survey\preliminary\7802\_excon.dwg

# ITASCA ESTATES



**PARCEL DESCRIPTION:** (Per Schedule A of Title Commitment File No. 104617, with a commitment date of January 4, 2019 at 8:00 A.M., prepared by All American Commercial Title, Inc., as issuing agent for Old Republic National Title Insurance Company)

**Parcel B:**

Outlot A, DICKENSON'S MISSISSIPPI ESTATE SECOND ADDITION, Anoka County, Minnesota.

**PARCEL C:**

That part of Lots 26 and 27 AUDITOR'S SUBDIVISION NO. 96, Anoka County, Minnesota, lying Easterly and Southeasterly of the following described line: Beginning at intersection of Northernly shoreline of the Mississippi River and a line 75.00 feet Southeasterly of and parallel with the Southeasterly line of Lot 7, DICKENSON'S MISSISSIPPI ESTATE, said Anoka County, as measured along Southeasterly extension of the Northeastly line of said Lot 7; thence Northeastly along said parallel line 235 feet, more or less, to its intersection with the Southeasterly extension of Northeastly line of said Lot 7; thence Northwestly along said Southeasterly extension 75 feet to the Northeast corner of said Lot 7; thence Northeastly along Northeastly extension of said Southeasterly line 66 feet to Northeastly right-of-way line of Ryvlin Avenue; thence Southeasterly along said right-of-way line to a point 500 feet Southeasterly (as measured along said right-of-way line) of the intersection of said right-of-way line with Southeasterly right-of-way line of Poplar Drive (now known as Tungsten Street N.W.) as shown on the plat of DICKENSON'S MISSISSIPPI ESTATE; thence Northeastly parallel with said Southeasterly right-of-way line to its intersection with the Southerly line of the plat of ANOKA INDEPENDENT GRAIN AND FEED; thence Southeasterly and Northeastly along the Southerly and Easterly line of said plat of ANOKA INDEPENDENT GRAIN AND FEED to the North line of said Lot 26 and there terminating.

And lying Westerly of the following described line: Beginning at the most Northernly corner of Lot 14, said AUDITOR'S SUBDIVISION NO. 96; thence Southerly along Northwestly line of said Lot 14 to the most Westerly corner thereof; thence Southerly along Southwesterly line of said Lot 14 to its intersection with a line parallel with and 150 feet Northwestly (as measured at right angle) of the Southwesterly extension of Southeasterly line of said Lot 14; thence Southwesterly along said parallel line a distance of 500 feet; thence Southwesterly deflecting to right 45 degrees 00 minutes 00 seconds a distance of 900 feet, more or less, to the centerline of the Mississippi River and there terminating.

EXCEPT that property dedicated by deed of dedication dated December 9, 1949 to the Township of Ramsey for public road purposes, recorded as Document No. 132840.

ALSO EXCEPT that part platted as DICKENSON'S MISSISSIPPI ESTATE SECOND ADDITION.

**PARCEL D (proposed public roadway to be vacated):**

That part of vacated Ryvlin Avenue accruing thereto by reason of street vacation.

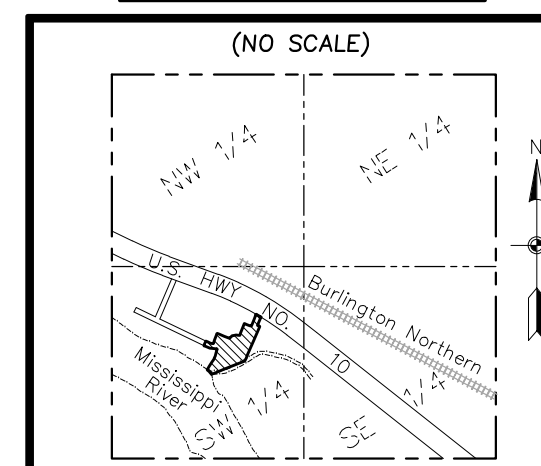
**GENERAL NOTES:**

- Bearings shown are based on the East-West Quarter line of Section 35, Township 32, Range 25, Anoka County, Minnesota, which is assumed to bear N89°32'30"E.
- Surveyed property address:  
Parcel B - unassigned situs, Ramsey, MN.  
Parcel C - 6080 Highway 10 NW, Ramsey, MN

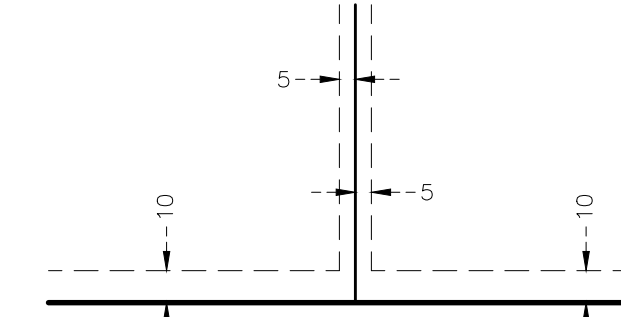
**SITE DATA**

TOTAL SITE AREA	±5.55 AC.	EXISTING ZONING	R-1: MUSA
TOTAL ROW AREA	±0.75 AC.	EXISTING ZONING	E-1
TOTAL OUTLOT AREA	±2.12 AC.	PROPOSED ZONING	PUD
OUTLOT A	±0.76 AC.		
OUTLOT B	±0.16 AC.	UTILITIES	AVAILABLE
OUTLOT C	±1.20 AC.		
TOTAL LOT AREA	±2.68 AC.	MINIMUM RESIDENTIAL SETBACK DATA:	
SMALLEST LOT	±6,647 S.F.	FRONT	25 FT.
LARGEST LOT	±14,184 S.F.	SIDE (GARAGE)	7.5 FT.
AVERAGE LOT	±8,329 S.F.	SIDE (HOUSE)	7.5 FT.
TOTAL NUMBER OF LOTS	14	REAR SETBACK	30 FT.
GROSS DENSITY	2.52 LOTS/AC.		

**VICINITY MAP**



**PROPOSED DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:**

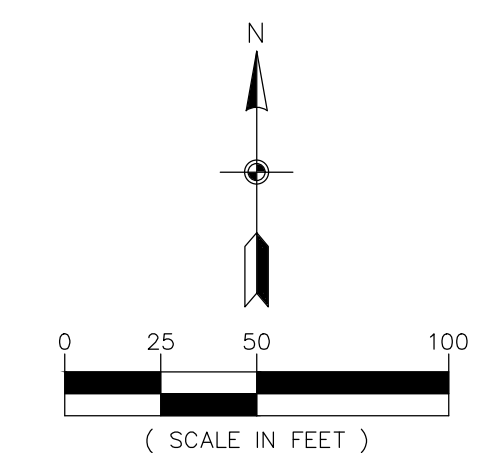


**LEGEND**

- - Denotes Anoka County Section Monument, as noted
- - Denotes Found Iron Monument
- - Denotes 5/8 inch by 14 inch rebar, marked with RLS 40361
- - Denotes Wet Land

**BENCHMARK**

1. MNDOT GSID Station #833, Named "Lumber MNDT RM 1" Elev.= 859.11
2. MNDOT GSID Station #775, Named "E 257" Elev.= 863.67



3890 Pheasant Ridge Drive NE, Suite 100, Blaine, MN 55449, Phone: (763) 489-7900, Fax: (763) 489-7959, www.carlsonmccain.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota

Print Name: Thomas R. Balluff, L.S.  
Signature: [Signature]  
Date: 01/25/19 License #: 40361

DRAWN BY: KCM  
ISSUE DATE: 1/25/19  
FILE NO: 1825

Revisions:

**VILLAGE BANK**  
9298 Central Avenue NE  
Blaine, MN, 55434

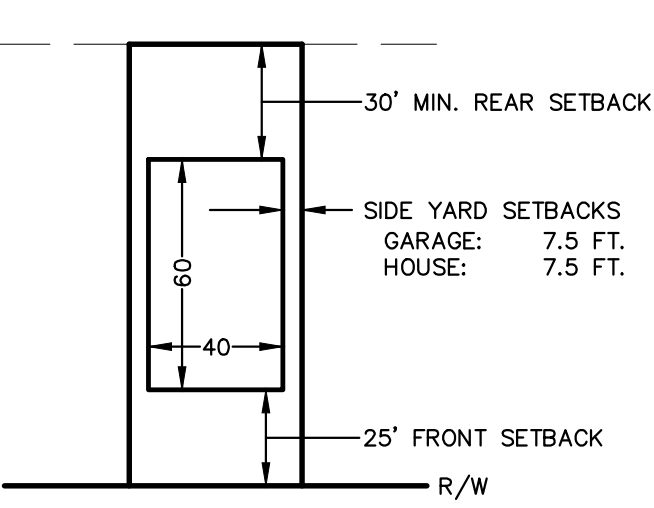
**ITASCA ESTATES**  
Ramsey, Minnesota

**PRELIMINARY PLAT**

**SITE PLAN LEGEND**

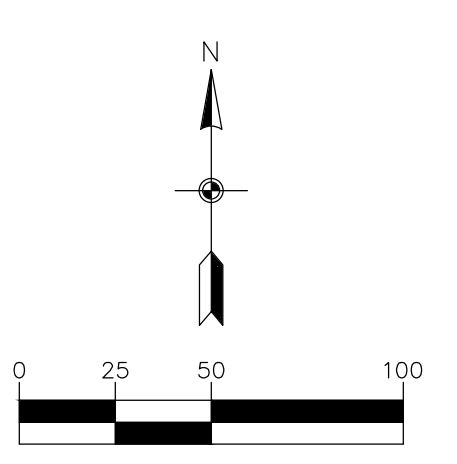
	EXISTING	PROPOSED	REMOVAL
LIGHT POLE			
SANITARY MANHOLE			
MISCELLANEOUS SIGN			
EXISTING SPOT ELEVATION	10000.0		
EXISTING TREE			
TELEVISION BOX			
FIRE HYDRANT			
FLUSHING HYDRANT			
GATE VALVE			
CLEANOUT			
ELECTRIC BOX			
GAS METER			
CATCH BASIN			
RAIN GUARDIAN			
ELECTRIC METER			
TELEPHONE BOX			
UTILITY POLE			
FLARED END SECTION			
STORM MANHOLE			
SERVICE			
SOIL BORING/TEST HOLE			
RETAINING WALL			
WATERMAIN			
SANITARY SEWER			
FORCEMAIN			
STORM SEWER			
PROPERTY LINE			
SETBACK LINE			
CURB			
WETLAND			
DITCH			
UNDERGROUND TELEPHONE			
UNDERGROUND ELECTRIC			
UNDERGROUND GAS			
UNDERGROUND FIBEROPTIC			
FENCE			
OVERHEAD ELECTRIC			
CONCRETE SURFACE			
BITUMINOUS SURFACE			

**50' LOT DETAIL**

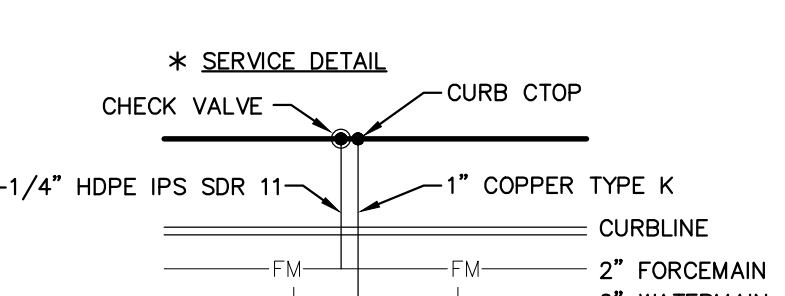


**LOTS 1-2, BLK 1 & LOT 1, BLK 2**  
 TYPICAL SERVICES SHALL BE:  
 WATER: 1" COPPER TYPE K  
 SEWER: 4" PVC SDR 26  
 SERVICES TO BE BURIED AT 7.5' MINIMUM DEPTH  
 CURB STOP TO BE PLACED AT THE R/W

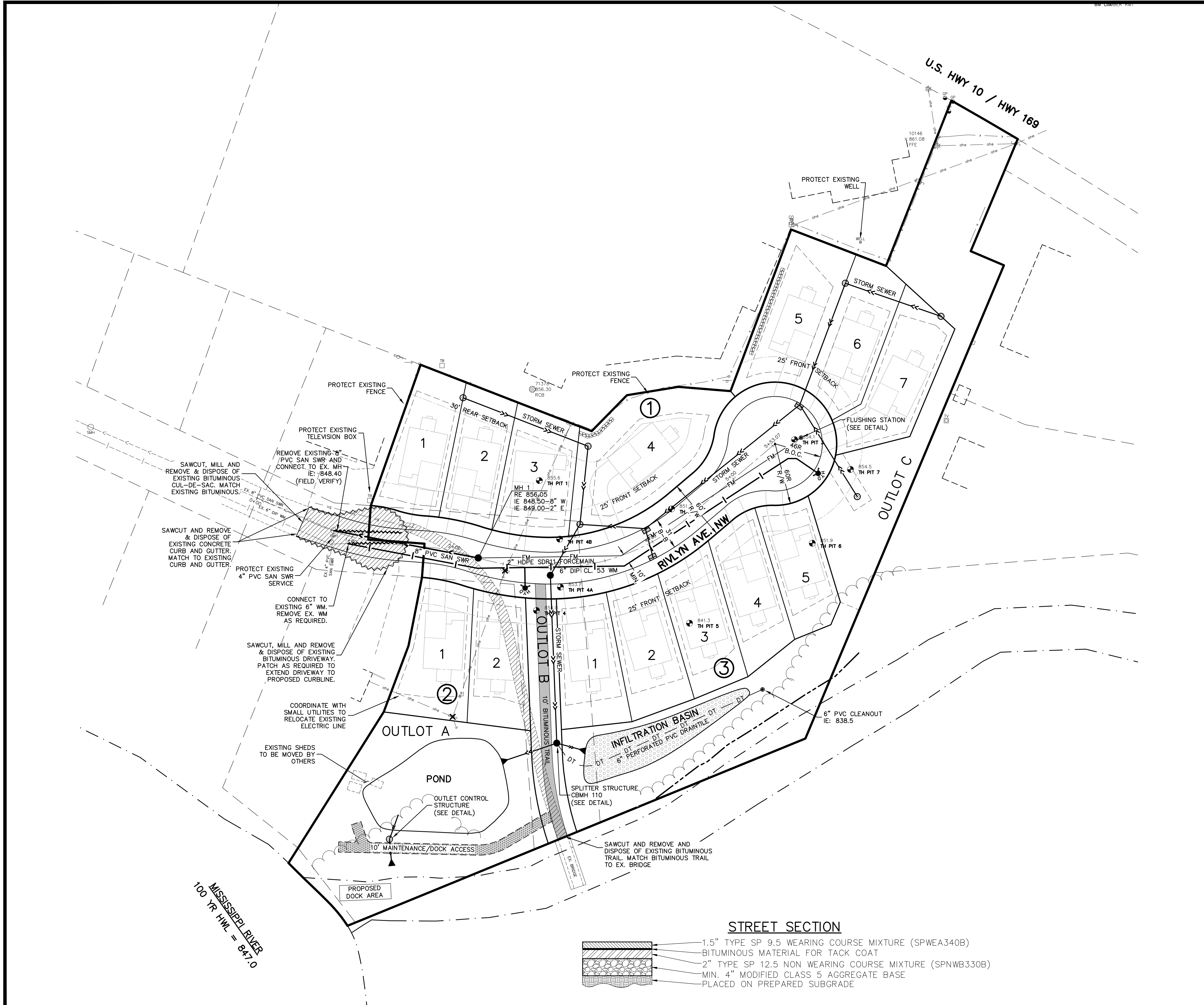
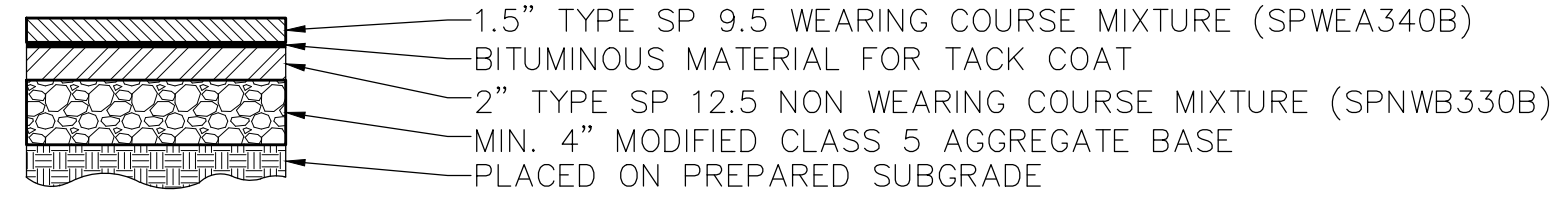
**LOTS 3-7, BLK 1, LOT 2 BLK 2 & LOTS 1-5, BLK 3**  
 \* TYPICAL SERVICES SHALL BE:  
 WATER: 1" COPPER TYPE K  
 SEWER: 1-1/4" HDPE IPS SDR 11  
 DH071-57 INDOOR GRINDER PUMP  
 SERVICES TO BE BURIED AT 7.5' MINIMUM DEPTH  
 CURB STOP AND CHECK VALVE TO BE PLACED AT THE R/W

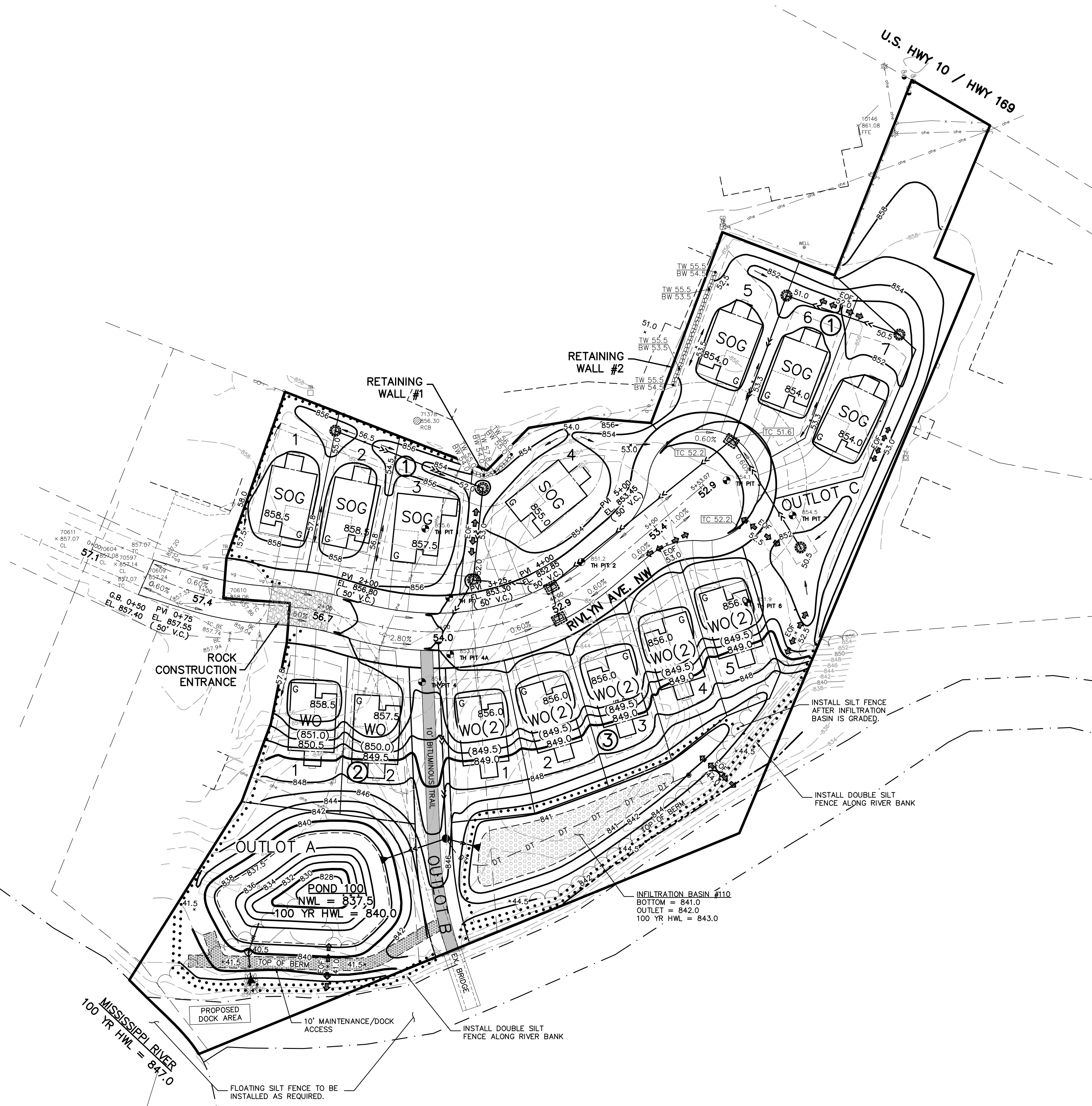


BENCHMARK	
1.	MNDOT GSD Station #833, Named "Lumber MNDT RM 1" Elev. = 859.11
2.	MNDOT GSD Station #775, Named "E 257" Elev. = 863.67

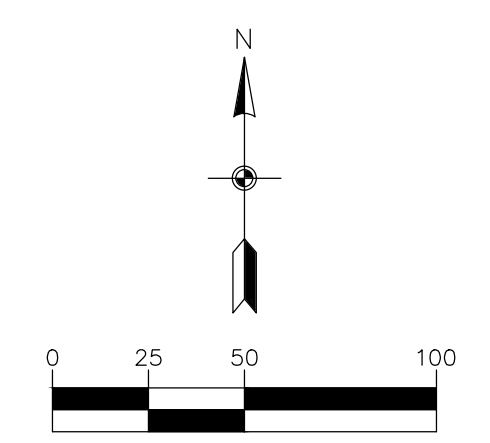


**STREET SECTION**





LEGEND	
EXISTING	PROPOSED
PROPERTY LINE	---
EASEMENT LINE	---
CURB LINE	---
BITUMINOUS	---
CONCRETE	---
SANITARY SEWER	---
STORM SEWER	---
WATER MAIN	---
OVERHEAD UTILITY	---
STORM CATCH BASIN	---
STORM MANHOLE	---
OUTLET CONTROL STRUCTURE	---
MANHOLE	---
HYDRANT	---
GATE VALVE	---
TELEVISION BOX	---
TELEPHONE BOX	---
UTILITY POLE	---
RETAINING WALL	---
FENCE	---
10' CONTOUR	---
2' CONTOUR	---
SPECIFIED CONTOUR	---
FEMA FLOOD PLAIN	---
WETLAND LINE	---
SPOT ELEVATION	---
EMERGENCY OVERFLOW	---
SILT FENCE	---
TREE FENCE	---
GRADING LIMITS	---
TREELINE	---
SOIL BORING	---



BENCHMARK
1. MNDOT GSID Station #833, Named "Lumber MNDT RM 1" Elev. = 858.11
2. MNDOT GSID Station #775, Named "E 257" Elev. = 863.67



3890 Pheasant Ridge Drive NE, Suite 100  
Blaine, MN 55449  
Phone: (763) 489-7900  
Fax: (763) 489-7959  
www.carlsonmccain.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Print Name: Brian J. Krystofiak, P.E.  
Signature: *Brian J. Krystofiak*  
Date: 1/25/19 License #: 25063

Drawn: ADB  
Designed: BJK  
Date: 1/25/19

Revisions:  
1.

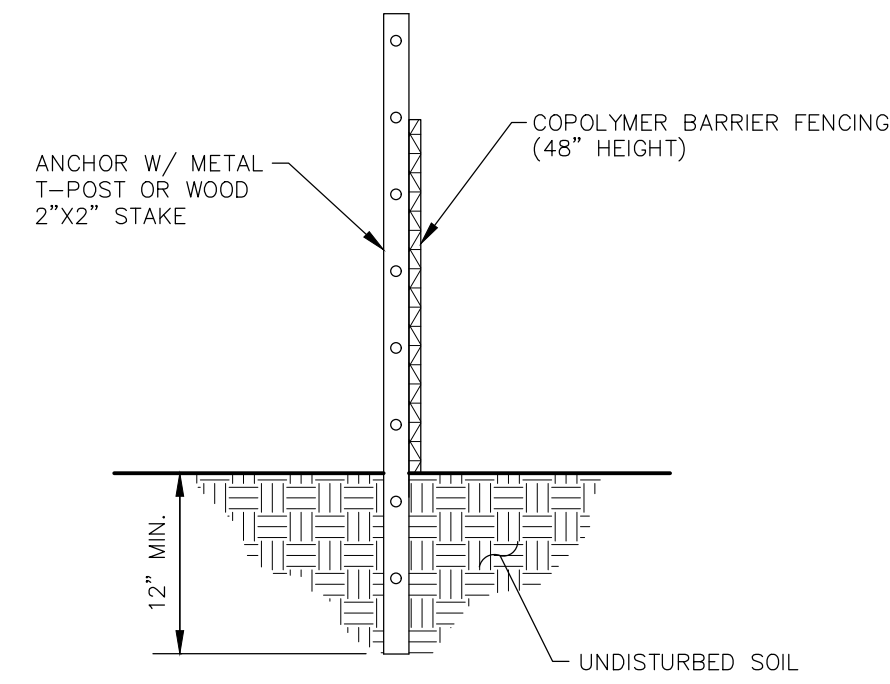
**VILLAGE BANK**  
9298 Central Avenue NE  
Blaine, MN 55434

**ITASCA ESTATES**  
Ramsey, Minnesota

**PRELIMINARY GRADING  
& EROSION CONTROL PLAN**

Save Date: 01/24/19 | F:\08617801 - 782017802 - Highway 10 ramsey\cad\_c3d\engineering\preliminary\7802\_grade.dwg

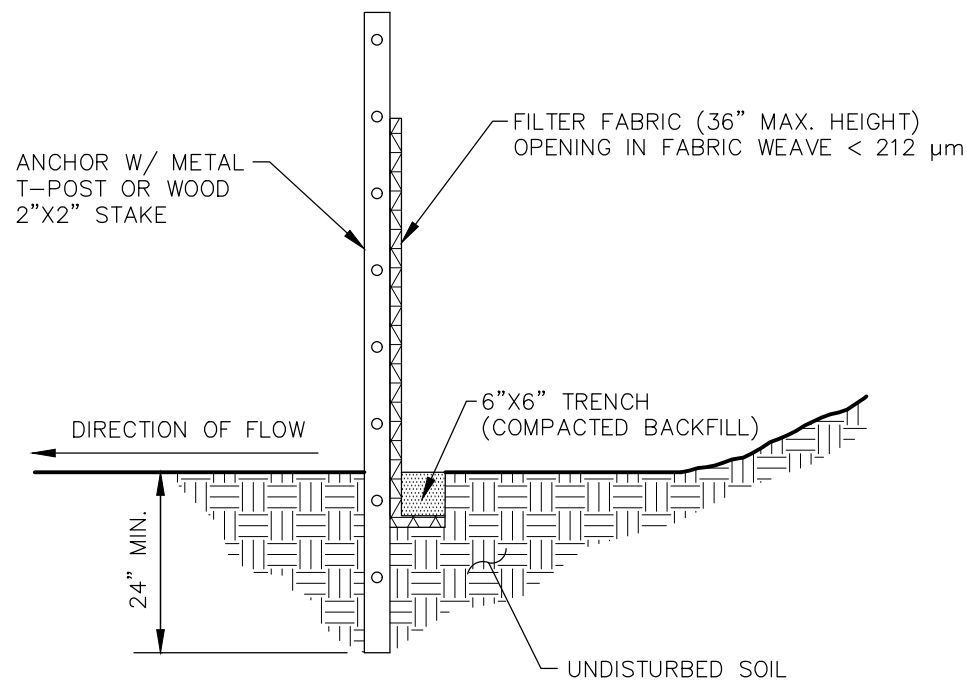
### TREE FENCE



#### NOTES:

1. TREE FENCING SHALL BE PLACED A MINIMUM OF 1 FOOT PER CALIPER INCH OF TREE DIAMETER FROM TREE(S) THAT IS/ARE TO BE SAVED.
2. ANCHOR POST MAY BE SPACED UP TO 10 FEET APART.
3. SECURELY ATTACH TREE FENCE TO ANCHOR POSTS W/ MINIMUM OF TWO ATTACHMENTS PER POST.
4. SEE MNDOT SPECIFICATION 2572.

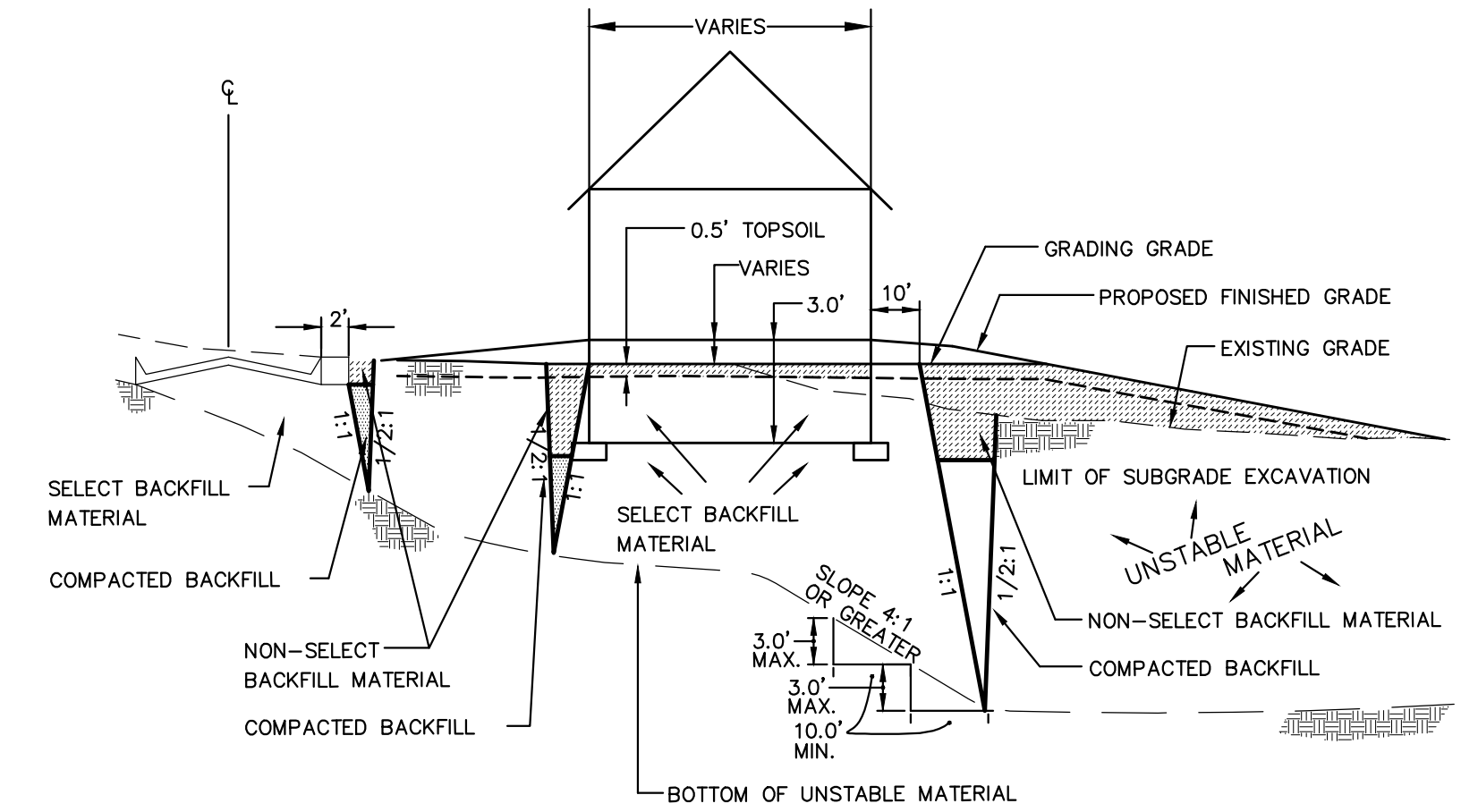
### SILT FENCE



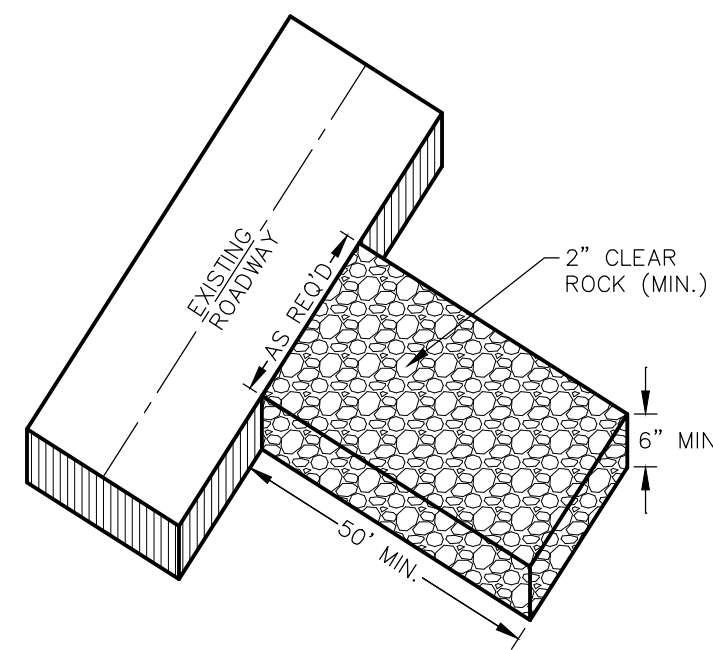
#### NOTES:

1. DIG A 6"x6" TRENCH ALONG THE INTENDED SILT FENCE LINE.
2. DRIVE ALL ANCHOR POSTS INTO THE GROUND AT THE DOWNHILL SIDE OF THE TRENCH.
3. POSTS SHALL BE SPACED A MAXIMUM OF 6 FEET APART.
4. LAY OUT SILT FENCE ALONG THE UPHILL SIDE OF THE ANCHOR POSTS AND BACK FILL 6"x6" TRENCH.
5. SECURELY ATTACH SILT FENCE TO ANCHOR POSTS W/ MINIMUM OF THREE ATTACHMENTS PER POST.
6. SEE MNDOT SPECIFICATIONS 2573 & 3886.

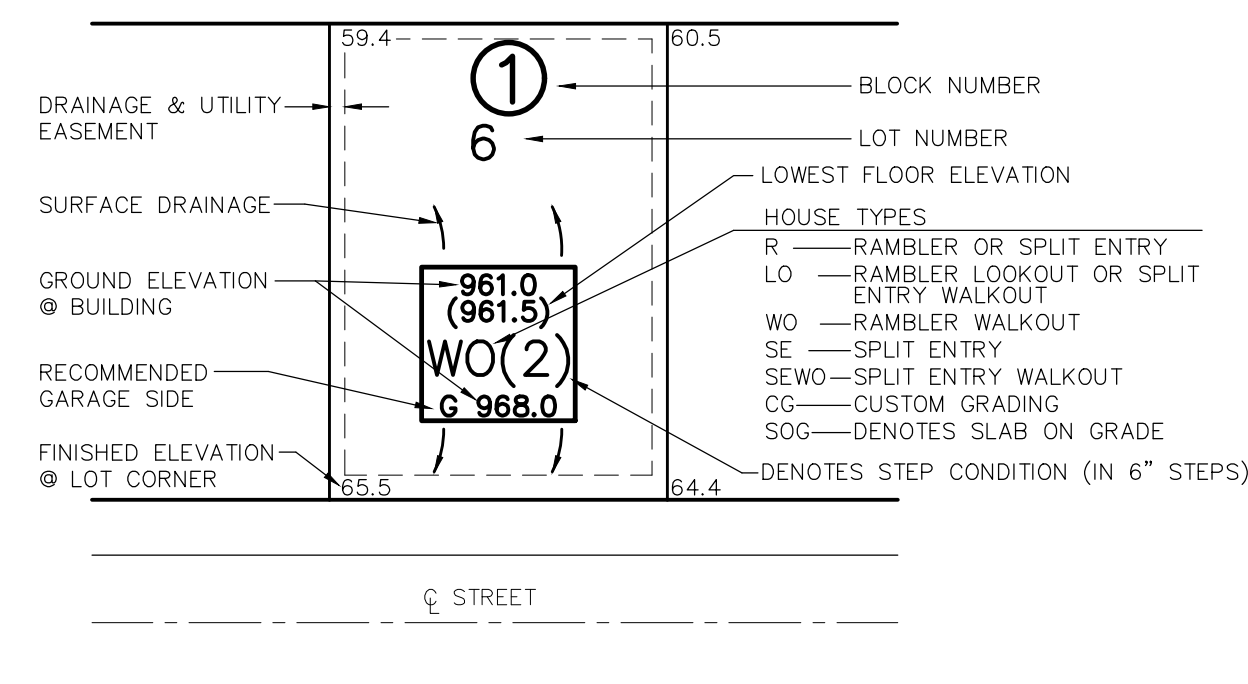
### SUBGRADE CORRECTION



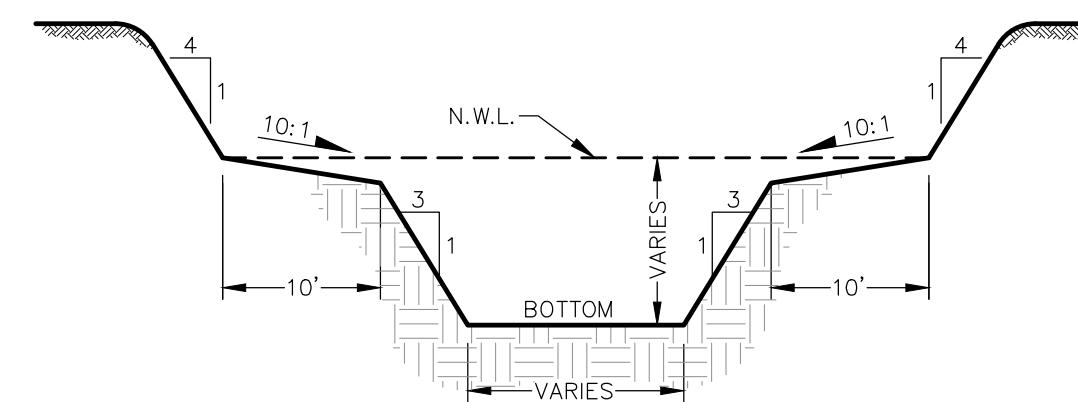
### ROCK CONSTRUCTION ENTRANCE



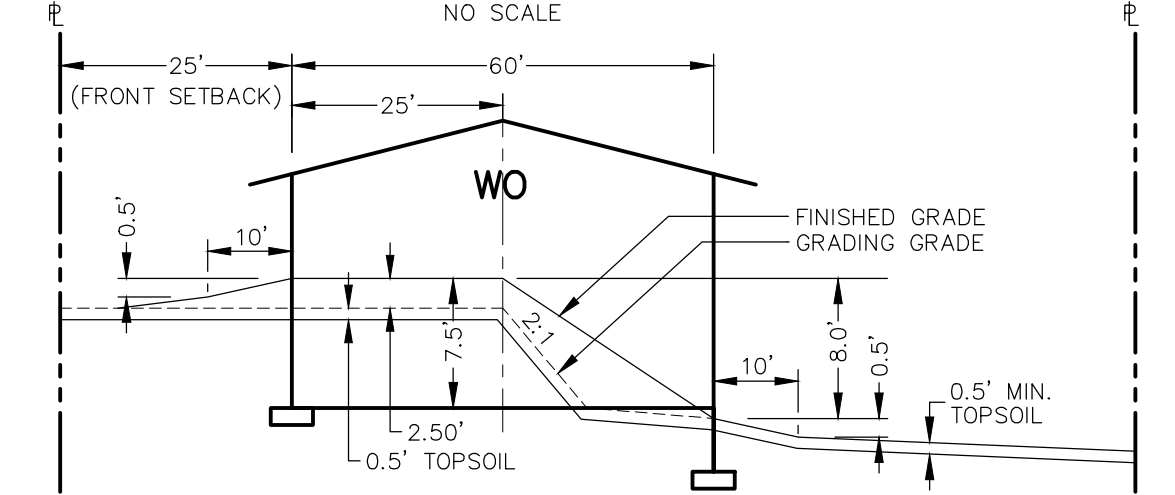
### GRADING PLAN LOT KEY



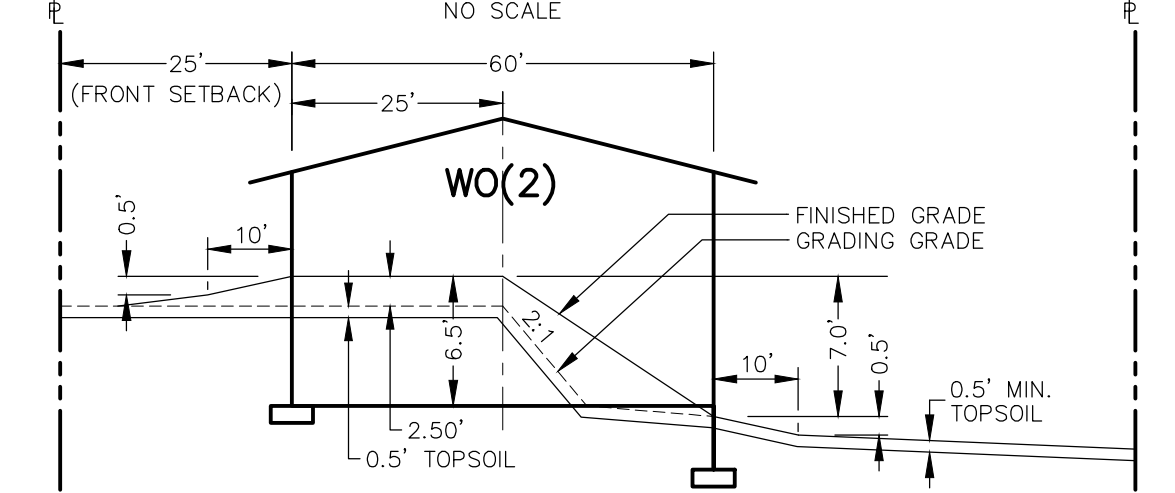
### TYPICAL POND SECTION



### WALKOUT



### MODIFIED WALKOUT



### TURF ESTABLISHMENT

TURF ESTABLISHMENT SHALL APPLY TO ALL DISTURBED AREAS AND SHALL BE ACCORDING TO MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION (LATEST EDITION) EXCEPT AS MODIFIED BELOW.

TURF ESTABLISHMENT SHALL OCCUR AS SOON AS POSSIBLE BUT IN NO CASE MORE THAN 7 DAYS.

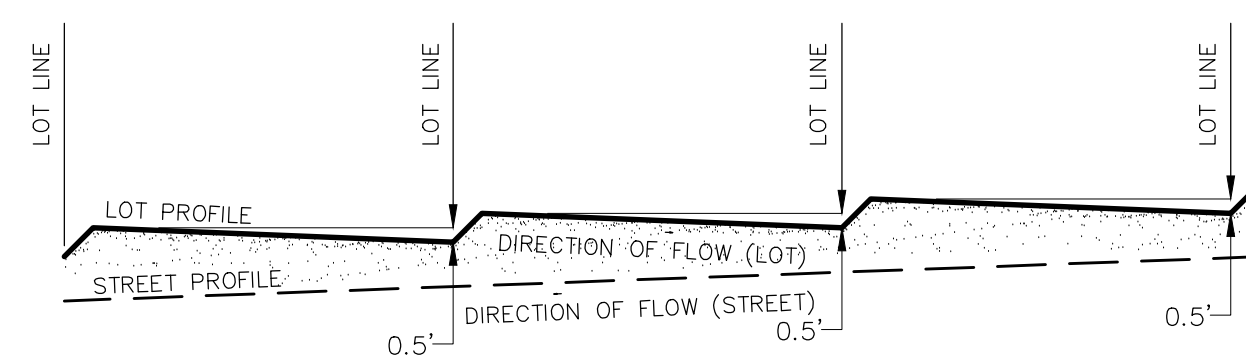
SEED: MNDOT MIXTURE 25-141 AT 60 POUNDS PER ACRE.

DORMANT SEED: SHALL BE APPLIED AT TWICE THE NORMAL RATE AFTER NOVEMBER 1ST.

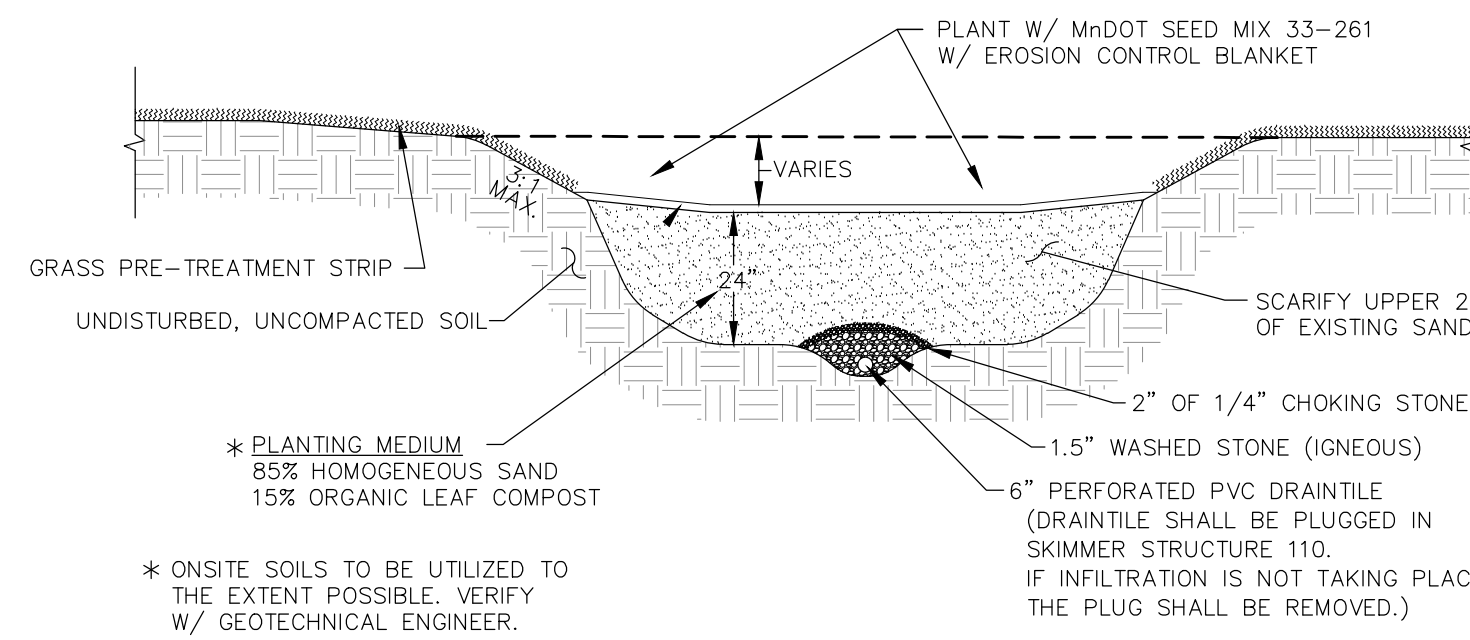
MULCH: TYPE 1 AT 2 TONS PER ACRE (DISK ANCHORED).

FERTILIZER: TYPE 1 10-10-10 AT 200 POUNDS PER ACRE.

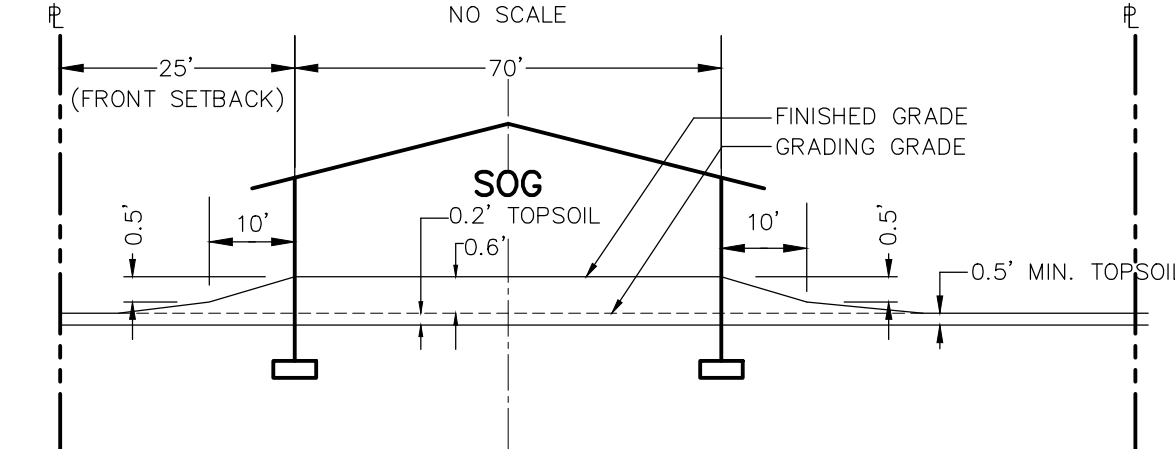
### LOT BENCHING DETAIL



### INFILTRATION BASIN

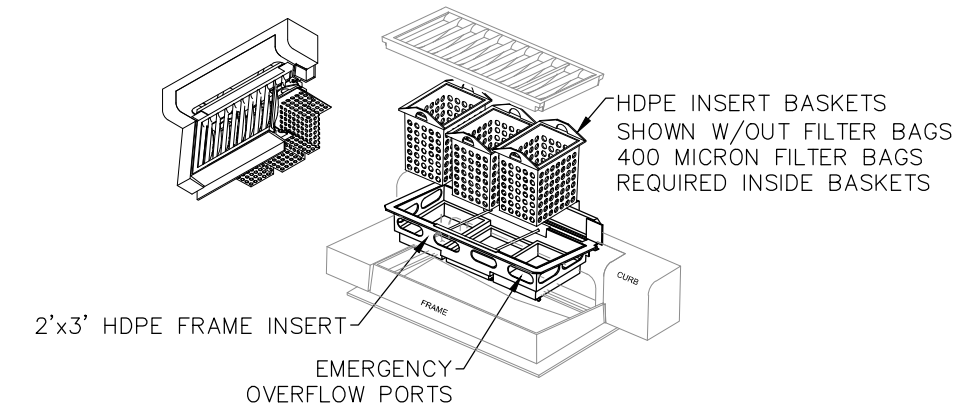


### SLAB ON GRADE



**INFRASAFE – 2'x3' DEBRIS COLLECTION DEVICE**

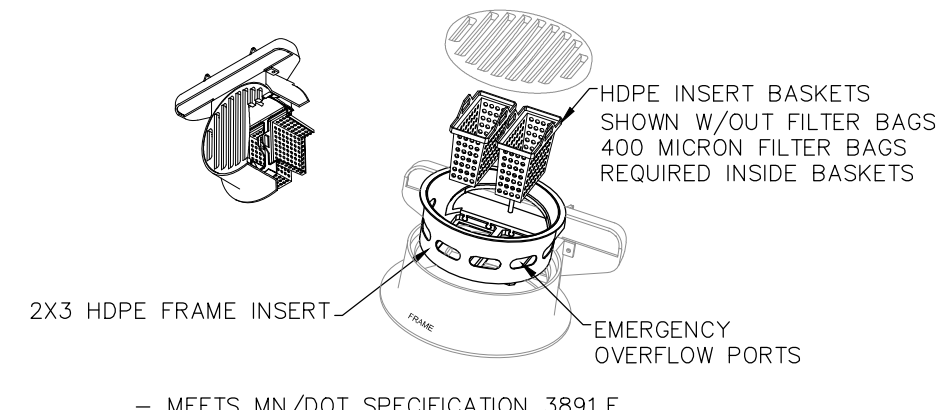
AS MANUFACTURED BY ROYAL ENVIRONMENTAL SYSTEMS



- HDPE INSERT BASKETS SHOWN W/OUT FILTER BAGS 400 MICRON FILTER BAGS REQUIRED INSIDE BASKETS
- MEETS MN/DOT SPECIFICATION 3891.F
- "STORM DRAIN INLET PROTECTION – FILTER BAG INSERT"
- DESIGNED FOR NEENAH R-3067 OR R-3290 SERIES

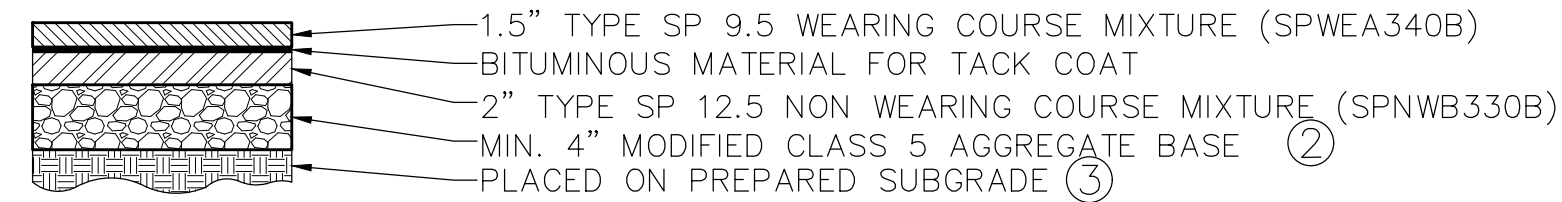
**INFRASAFE – 27" DEBRIS COLLECTION DEVICE**

AS MANUFACTURED BY ROYAL ENVIRONMENTAL SERVICES



- HDPE INSERT BASKETS SHOWN W/OUT FILTER BAGS 400 MICRON FILTER BAGS REQUIRED INSIDE BASKETS
- MEETS MN/DOT SPECIFICATION 3891.F
- "STORM DRAIN INLET PROTECTION – FILTER BAG INSERT"
- DESIGNED FOR NEENAH R-3250-A OR R-3250-1 (MNDOT 801) FRAME CASTING

**INSERT A:**

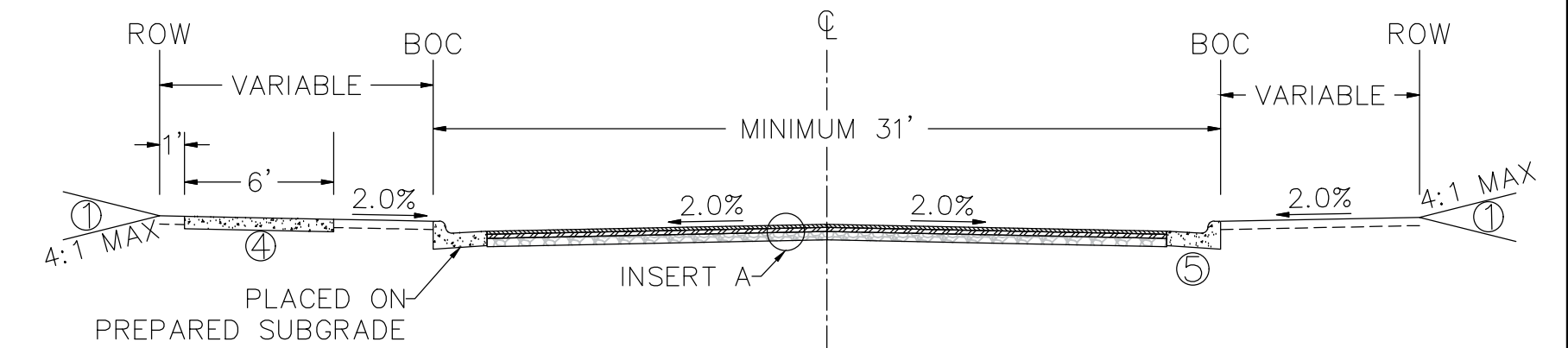


**REFERENCE NOTES:**

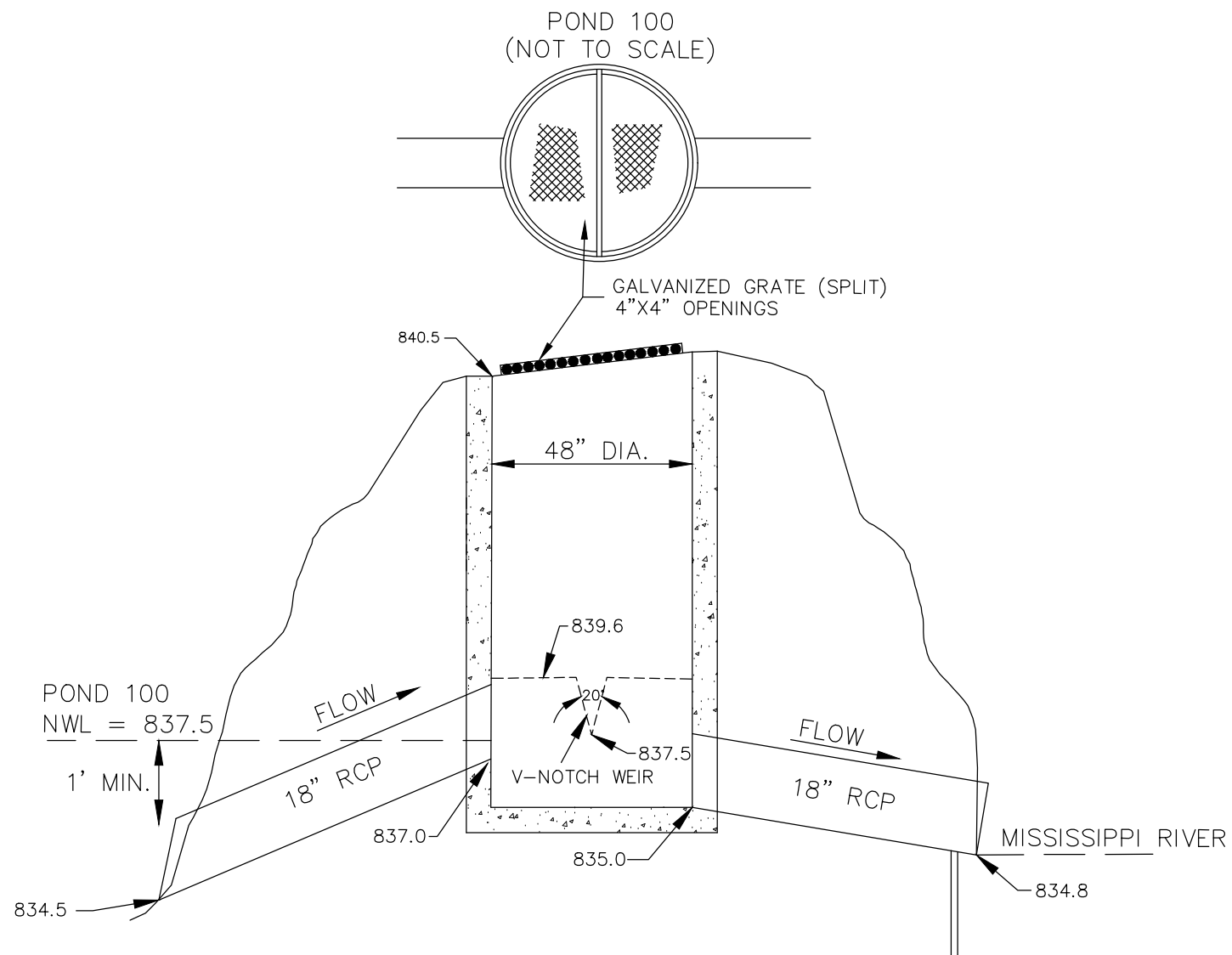
- GRADE TO MATCH EXISTING SURFACE MINIMUM 4" COMMON TOPSOIL BORROW IN BOULEVARDS. SEE CITY PLATE No. ERO-6
- CLASS 5 GRADATION IS MODIFIED PER CITY PLATE No. STR-26
- CONTRACTOR SHALL SCARIFY AND COMPACT, ACCORDING TO THE SPECIFIED DENSITY METHOD, THE TOP 12 INCHES OF MATERIAL PRIOR TO PLACING ANY FILL MATERIALS OR CLASS 5 AGGREGATE BASE.
- ALL SIDEWALKS SHALL BE 6" THICK, 6' WIDE, PLACED ON PREPARED SUBGRADE.
- CONCRETE CURB AND GUTTER PER PLAN. SEE CITY PLATE No. STR-1.

**31' – URBAN STREET**

NOTE: NOT TO SCALE

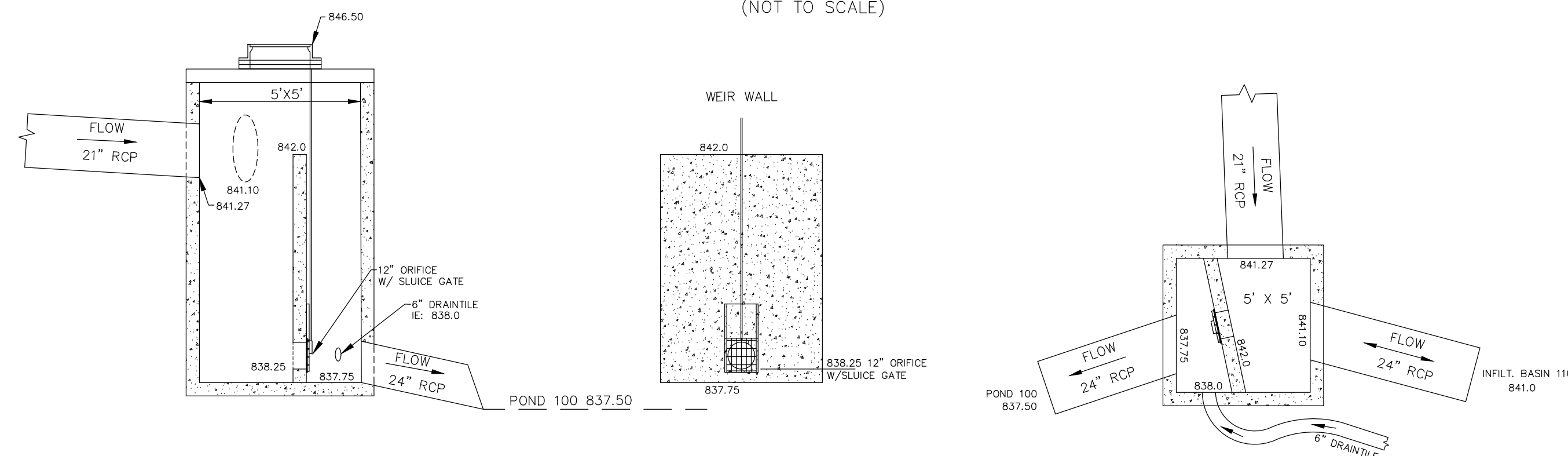


**OUTLET CONTROL STRUCTURE**



**SPLITTER STRUCTURE – STMH 110**

(NOT TO SCALE)



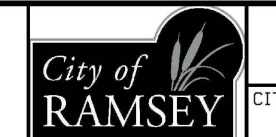
**TABLE A  
MODIFIED CLASS 5  
SPECIFICATIONS**

% PASSING

1"	100
3/4"	90 – 100
3/8"	50 – 80
No.4	35 – 70
No.10	20 – 60
No.40	10 – 35
No.200	5 – 10

- NOTES:
- THE AGGREGATE BASE CONSTRUCTION WILL BE ACCEPTED FOR PAYMENT IN ACCORDANCE WITH THE PROVISIONS IN TABLE A.
  - IF THE AGGREGATE BASE FAILS TO MEET THE REQUIREMENTS OF TABLE A THE MATERIAL CAN BE CORRECTED IN PLACE OR REMOVED AND REPLACED WITH MATERIAL THAT MEET THE REQUIREMENTS OF TABLE A.
  - IN THE EVENT THAT RECYCLED MATERIAL IS USED IT MUST MEET MNDOT REQUIREMENTS FOR RECYCLED BASE.

APPROVED:  
2 – 2003



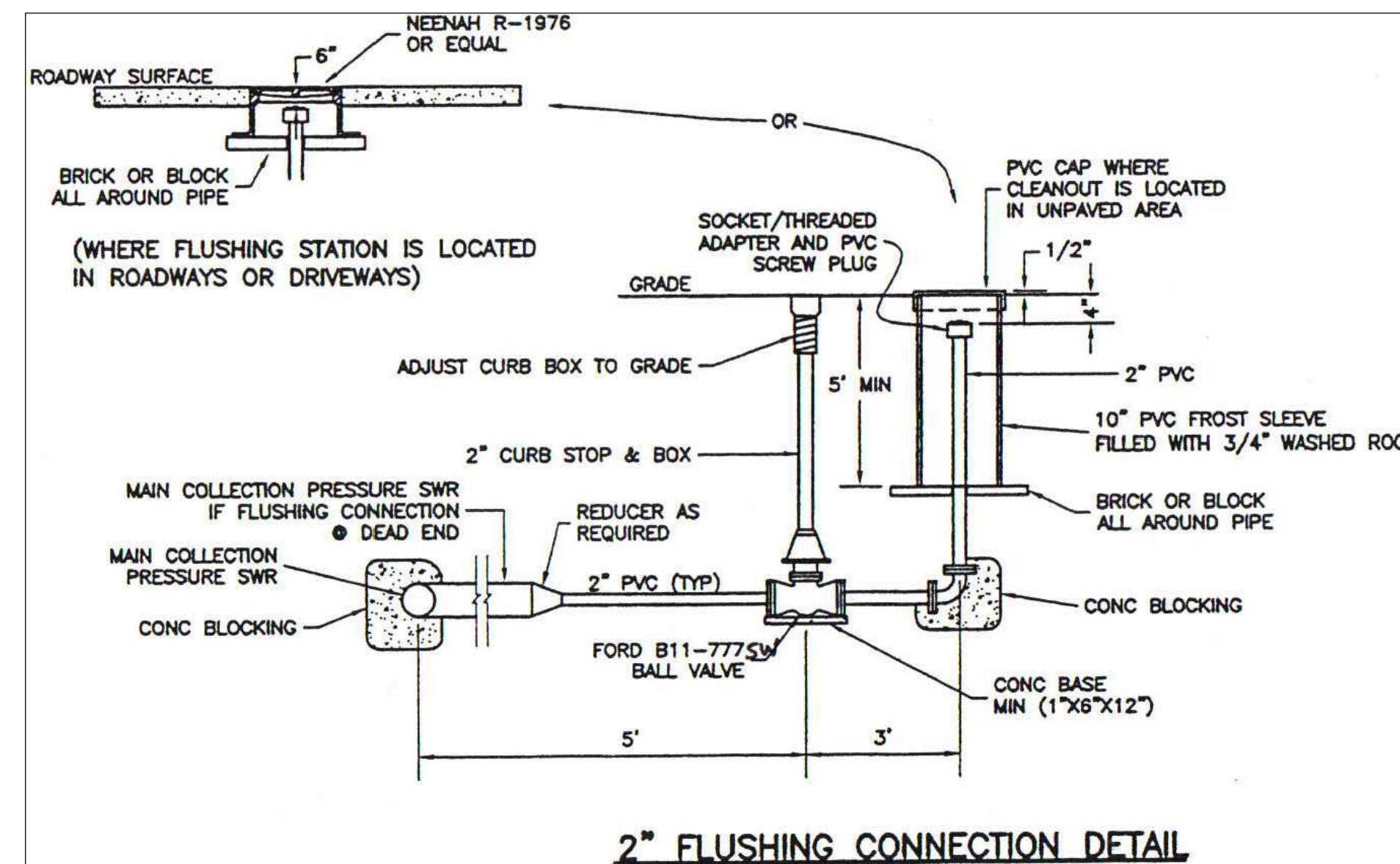
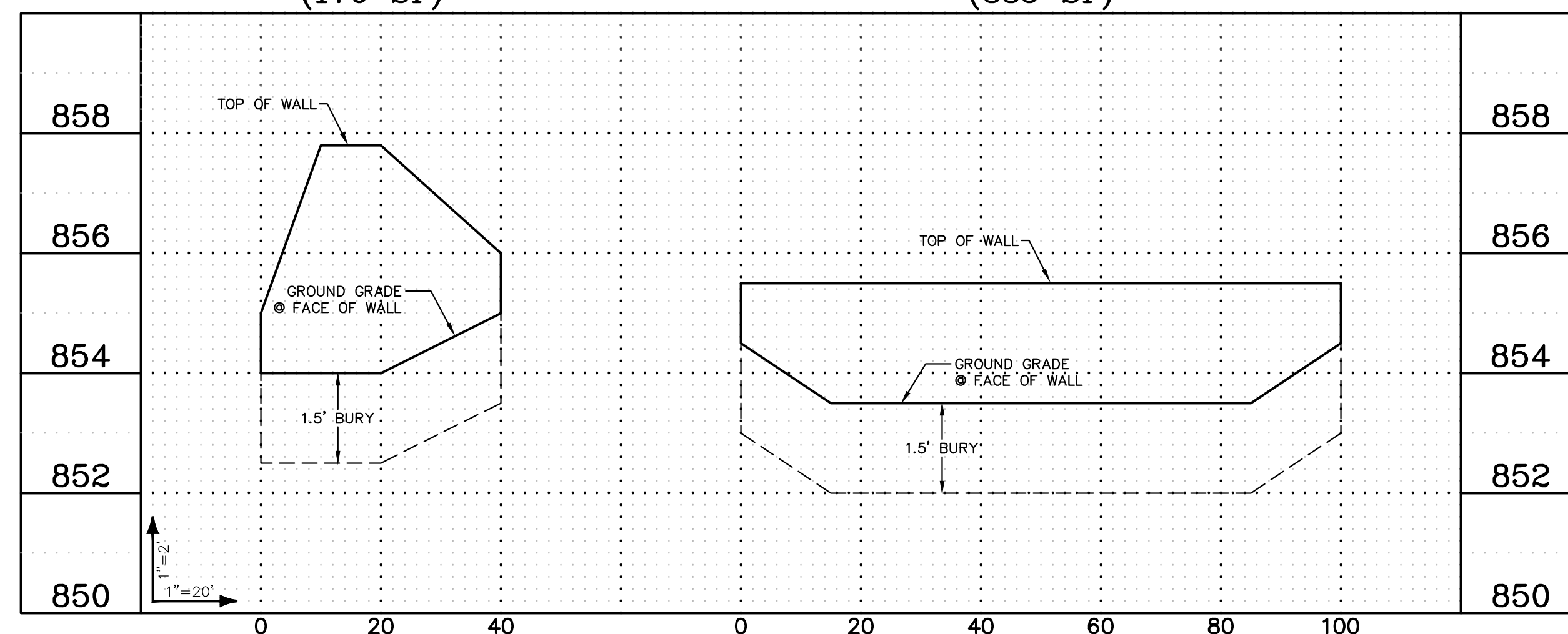
STANDARD DETAILS:  
MODIFIED CLASS 5  
SPECIFICATIONS  
CITY PLATE No. STR-26

**ROCK RETAINING WALL #1**

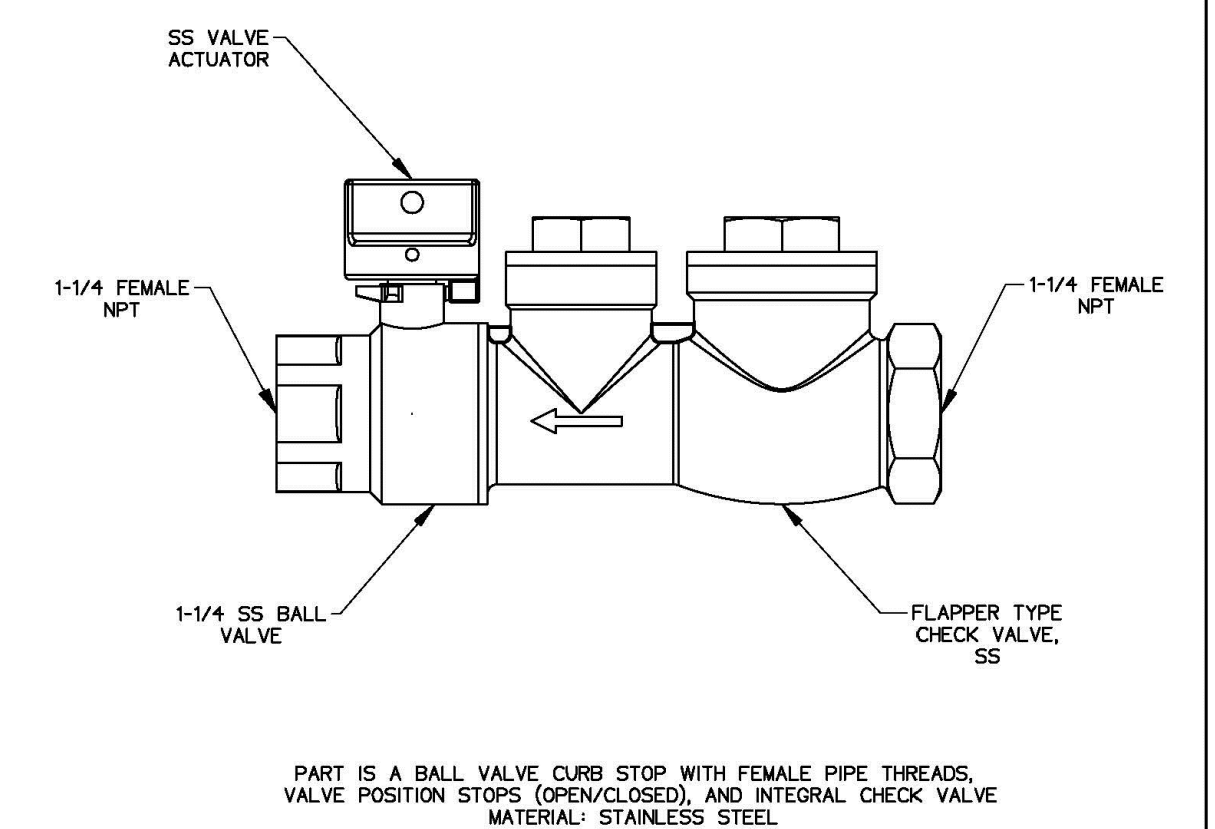
(170 SF)

**ROCK RETAINING WALL #2**

(335 SF)



**STAINLESS STEEL  
LATERAL ASSEMBLY  
NO FITTINGS**



PRESSURE RATING: 235 PSI  
TO ORDER SS LATERAL, NO FITTINGS  
USE PART NUMBER NB0184P01

SSS	DN	09/20/11	-	3/16
DR BY	CHK'D	DATE	ISSUE	SCALE
<b>eone</b>				
SEWER SYSTEMS				
STAINLESS STEEL LATERAL ASSEMBLY NO FITTINGS				
NA0330P05				



3890 Pheasant Ridge Drive NE, Suite 100  
Blaine, MN 55449  
Phone: (763) 489-7900  
Fax: (763) 489-7959  
www.carlsonmccain.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Print Name: Brian J. Krystofiak, P.E.  
Signature: *Brian J. Krystofiak*  
Date: 1/25/19 License #: 25063

Drawn: ADB  
Designed: BJK  
Date: 1/25/19

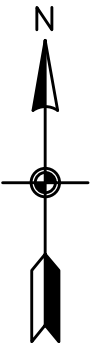
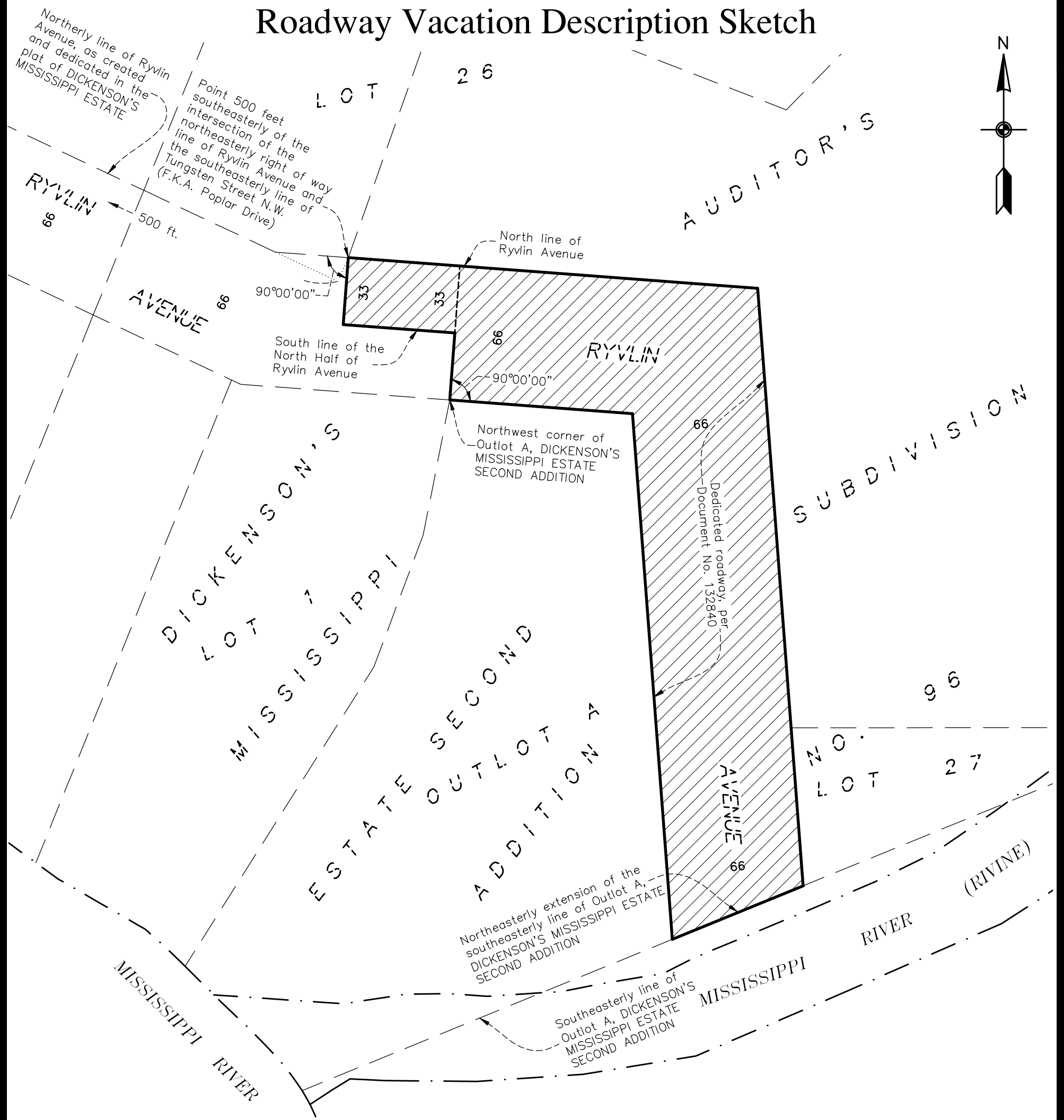
Revisions:  
1.

**VILLAGE BANK**  
9298 Central Avenue NE  
Blaine, MN 55434

**ITASCA ESTATES**  
Ramsey, Minnesota

**DETAILS**

# Roadway Vacation Description Sketch



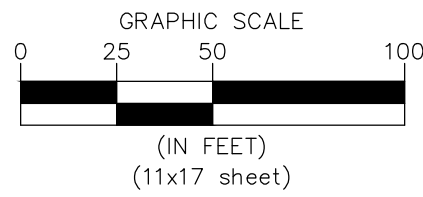
**ROADWAY VACATION DESCRIPTION:**

That part of the dedicated roadway, now known as Ryvlin Avenue, as described in Document No. 132840, lying northwesterly of the northeasterly extension of the southeasterly line of Outlot A, DICKENSON'S MISSISSIPPI ESTATE SECOND ADDITION, and lying easterly of a line drawn from the northwest corner of said Outlot A, perpendicular to the North line of said Outlot A, to the North line of said roadway described in Document No. 132840 and said line there terminating.

Together with

That part of the North half of said dedicated roadway, now known as Ryvlin Avenue, as described in Document No. 132840, lying westerly of the above described parcel, and lying easterly of a line drawn from a point on the northerly line of said dedicated roadway, distant 500.00 feet southeasterly of the intersection of the northeasterly right of way line of Ryvlin Avenue and the southeasterly right of way line of Tungsten Street NW, formerly known as Poplar Drive, perpendicular to said North line of the dedicated roadway, now known as Ryvlin Avenue, as described in Document No. 132840, to the South line of said North half of said dedicated roadway, as described in Document No. 132840 and said line there terminating.

Said roadway vacation area contains ±27,886 sq. ft.



 Denotes Roadway Vacation Area

**Carlson  
McCain**  
ENVIRONMENTAL · ENGINEERING · SURVEYING  
3890 Pheasant Ridge Drive NE,  
Suite 100, Blaine, MN 55449  
Phone: 763-489-7900 Fax: 763-489-7959

Save Date: 01/25/19 f:\jobs\7801 - 7820\7802 - highway 10 ramsey\cad\3d\survey\7802\_vacation sketch.dwg