

**CITY OF RAMSEY LAND USE APPLICATION**  
**TECHNICAL REVIEW FILE**

<b>DATE</b>	MARCH 28, 2019	<b>PROJECT ADDRESS</b>	LOT 1 BLOCK 1 COR PARKVIEW ADDITION
<b>PROJECT TITLE</b>	SAPPHIRE – FINAL PLAT AND SITE PLAN		
<b>ESCROW #</b>			
<b>DEPARTMENT:</b>	Community Development: Planning Division (Zoning Code)		
<b>TECHNICAL REVIEWER:</b>	Name: Eric Maass Phone: (763) 576-4306 Email: <a href="mailto:EMaass@CityofRamsey.com">EMaass@CityofRamsey.com</a>		

We offer the following comments regarding the Final Plat and Site Plan submittal for COR Sapphire Addition as it relates to the City’s Zoning Code. Final Plat and Site Plan submittal consists of fifteen (15) sheets, prepared by Hakanson Anderson and dated 02.28.2019 and was received by the City of Ramsey on 02.28.2019. Staff has determined the application is complete.

**Completeness Check**

<b>Requirements</b>	<b>Included?</b>
Final Plat Sheet	Yes
Existing Conditions	Yes (C5)
Grading, Drainage, and Erosion Control Plan	Yes (C6)
Street Plan	No separate sheet
Utility Plan	Yes (C7)
Construction Details	Yes (C4)
Landscape Plan/Tree Preservation Plan	Yes (L1, L2)
Site Plan	Yes
Architectural Rendering	Yes
Floor Plan	Yes

**Summary of Required Changes**

1. Provide architectural rendering for the west facing side of the structure adjacent to Center Street and the architectural rendering for the eastern facing portion (portion that faces the parking lot).
2. Provide percentage of each exterior building materials not including glazed glass area (windows/doors).
3. Remove individual air conditioning units shown for each unit that show on the architectural floor plans but are not represented on the architectural elevations.
4. Amend sidewalk design to 10 feet in width along Center Street consistent with the west side of Center Street, and label as ‘final design and construction by others’. You will not be responsible for construction of sidewalks along Center Street; however, you will be responsible for 20% of the costs of the final construction of Center Street as defined by the Bolton and Menk Study available upon request.

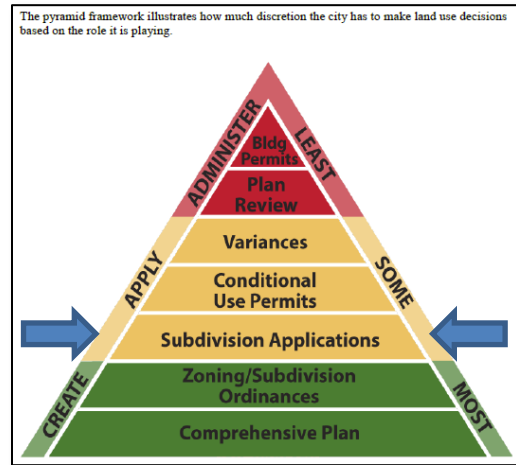
**Summary of Recommended/Advisory Changes**

1. Expand dog park area to envelope the nine (9) parking spaces currently shown to the north of the dog park area. The proposed parking spots provided is nine (9) more than are required and as a result it is Staff's opinion that eliminating unrequired parking spaces to expand green space and the amenity would be a benefit to the project and future residents.
2. Move pool from being adjacent to the Parkway to being adjacent to Center Street.

**Final Plat Review:**

**General.** The Final Plat proposes re-platting Outlot A, COR Parkview Addition into one (1) new lot for a proposed 118 unit apartment complex. The lot would be accessed by an extension of 145<sup>th</sup> Ave NW.

**Land Use and Zoning.** The Subject Property is guided Mixed Use in the Comprehensive Plan and is zoned COR-1 Mixed Use. The intent of this district is to be the most urban of all sub-districts in the COR and will be developed with a very urban pattern. Great parks and great streets, encourage intensified levels of activity, support the proposed mix of uses, invite community gathering and accommodate special events throughout the year.



**Site Plan Review:**

**Site Development.** Framework standards that address building location, organization of space and parking options tend to focus on what can be measured – dimensions, setbacks, number of spaces and so on. In addition to these issues, the Design Framework also describes the aesthetic qualities and design character of a preferred “urban form” for the Mixed Use Core. The compact and higher density blocks that define this sub-district encourage a mix of uses, with a continuous built edge along street frontage. Innovative parking strategies support this mix, providing easy access to destination shopping, restaurant and entertainment venues. Together these elements will promote the core area as the center of activity – the place to see and be seen within The COR.

**Architecture.** Buildings in the Mixed Use Core will play a major role in defining the overall character of The COR. The proposed mix of uses for this signature destination suggests the potential for a variety of building types, demanding creativity and innovation to highlight unique architecture, while knitting the entire sub-district together as a coherent whole. Overall building design is an important consideration, but emphasis on first floor façade treatments is essential to encourage street-level activity and enhance the pedestrian experience. Architecture to be ‘4-sided’ at all locations visible to public areas. Emphasis will be on great design along public street frontage.

<b>COR 1 Development Standards</b>	<b><u>Downtown Street</u></b>	<b><u>Proposed</u></b>	<b><u>Parkway Street</u></b>	<b><u>Proposed</u></b>
Minimum Lot Size	None	3.89 Acres	None	3.89 Acres
Minimum Lot Width	20 feet	~300 Feet	20 feet	~300 Feet
Minimum Lot Depth	80 feet	~360 Feet	80 feet	~360 Feet
Allowable residential density	>15 DU/Acre	30.3 DU/Acre	>15 DU/Acre	30.3 DU/Acre

Build to Line				
Front Yard	5 feet measured from building front to ROW (60% of façade w/in max.)	100% w/ in max	5 feet measured from building front to ROW (60% of façade w/in max.)	75% w/ in max
Side Yard	No req.	N/A	No req.	N/A
Rear Yard	No req.	N/A	No req.	N/A
Driveway Length (Min)	25 feet for residential units	Apartment complex – N/A	25 feet for residential units	Apartment complex – N/A
Building height (Min – Max)	2-5 stories	4 stories	2-5 stories	4 stories
Boulevard Width	6 feet	5 feet	6 feet	5 feet
Sidewalk Width	10 feet	5 feet	6 feet	5 feet

**Landscaping and Tree Inventory.** Refer to Landscape Review for additional comments.

**Trails.** Center Street is the location of the regional trail and as such is required to have a 10 foot sidewalk.

**Parking.** The Applicant has proposed 118 residential units. The current site plan shows 30 attached garages, 52 detached garages, and 163 surface parking stalls for a total of 245 parking stalls where 236 are required (118 \* 2 stalls per unit = 236 parking stalls).

**Grading and Drainage Plans.** Grading and drainage plans have been submitted and are being reviewing by the City’s Engineering Department. A permit from the LRRWMO will be required. **The Applicant will need to coordinate with the City’s Engineering Department regarding the application materials prior to submittal to the LRRWMO.**

**Development Fees.** Development Fees will be due with the Final Plat including, but not limited to, Park Dedication, Trail Development, and Stormwater Management. These fees are collected at the time the Final Plat is recorded and at the rate in effect when the plat is recorded.

**Development Agreement:** An executed Development Agreement will be required prior to releasing the plat for recording. This requires an Engineer’s Estimate.

**Lower Rum River Watershed Management Organization.** You are required to apply for a Lower Rum River Watershed Management Organization Permit. You must first submit the Application to the City of Ramsey Engineer AFTER Site Plan review by the Planning Commission.