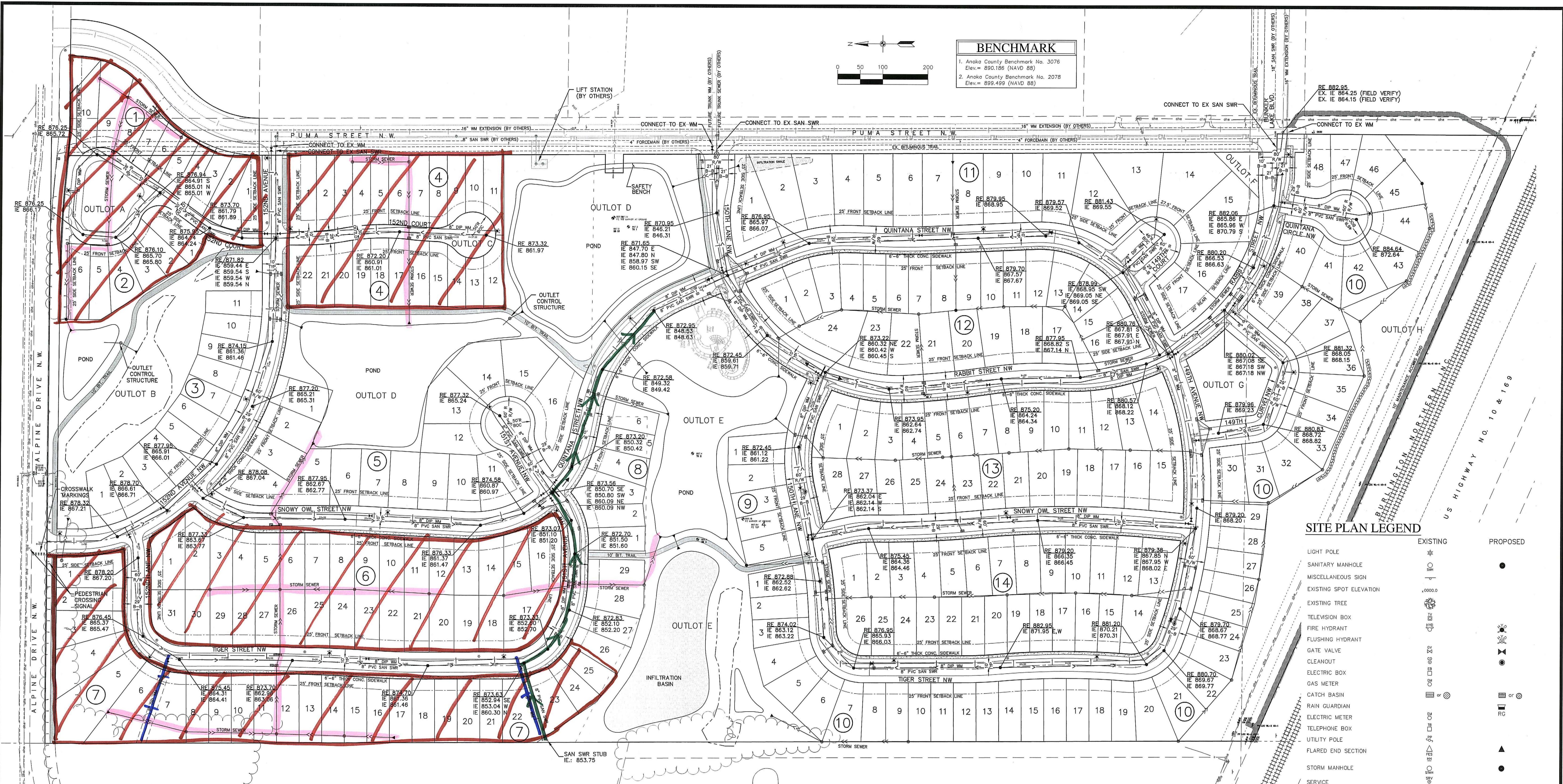


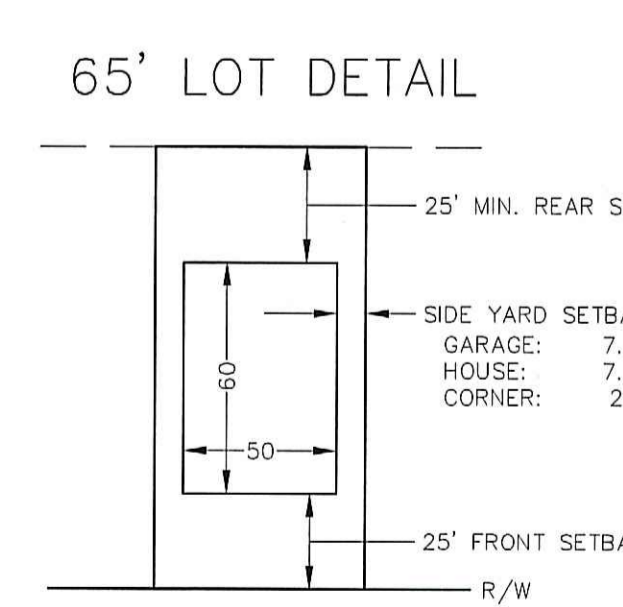
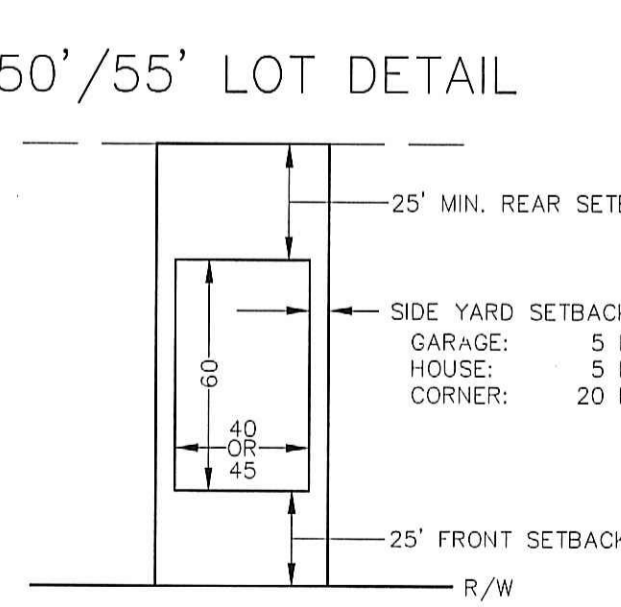
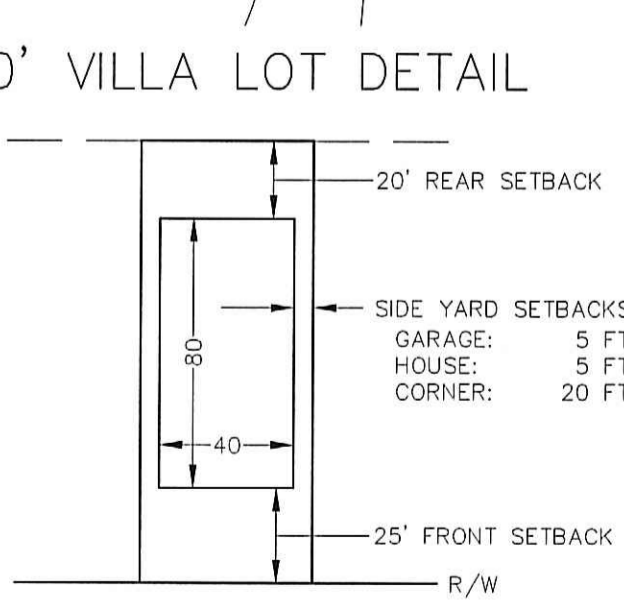
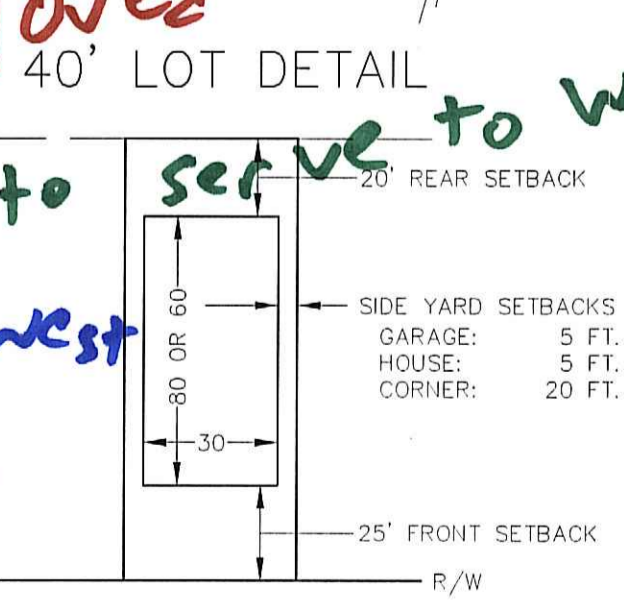
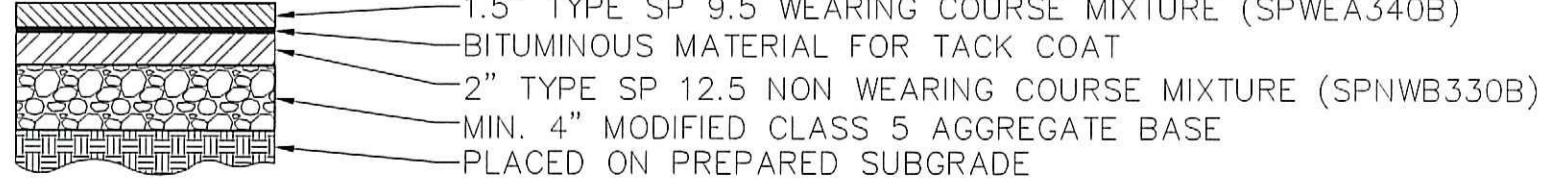
BENCHMARK	
1.	Anoka County Benchmark No. 3076 Elev. = 890.186 (NAVD 88)
2.	Anoka County Benchmark No. 2078 Elev. = 899.499 (NAVD 88)



SITE PLAN LEGEND	
EXISTING	PROPOSED

**Lot lines Moved**  
**SSWR Depth to serve to West**  
**WM STUB West**  
**STM Change**

**STREET SECTION**



1.5" TYPE SP 9.5 WEARING COURSE MIXTURE (SPWEA340B)  
 BITUMINOUS MATERIAL FOR TACK COAT  
 2" TYPE SP 12.5 NON WEARING COURSE MIXTURE (SPNWB330B)  
 MIN. 4" MODIFIED CLASS 5 AGGREGATE BASE  
 PLACED ON PREPARED SUBGRADE

TYPICAL SERVICES SHALL BE:  
 WATER: 1" COPPER TYPE K  
 SEWER: 4" PVC SDR 26  
 CURB STOP TO BE PLACED AT THE R/W

TYPICAL SERVICES SHALL BE:  
 WATER: 1" COPPER TYPE K  
 SEWER: 4" PVC SDR 26  
 CURB STOP TO BE PLACED AT THE R/W

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 CURB STOP TO BE PLACED AT THE R/W

**Carlson McCain**  
 • environmental engineering  
 • surveying  
 3890 Pheasant Ridge Drive NE, Suite 100  
 Blaine, MN 55449  
 Phone: (763) 489-7900  
 Fax: (763) 489-7959  
 www.carlsonmccain.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota  
 Print Name: Brian J. Krystofiak, P.E.  
 Signature: *Brian J. Krystofiak*  
 Date: 3/08/17 License #: 25063

Drawn: ADB  
 Designed: BJK  
 Date: 3/08/17

Revisions:  
 1. 5/24/17 Per City Comments  
 2. 6/23/17 Per City Comments  
 3. 4/13/18 Revise Street names, B12L15-28 & B13L1-13 & add NE Trail  
 4. 6/13/18 Per City Comments  
 5. 12/4/19 Revise Layout Per Owner

**RIVERSTONE DEVELOPMENT, LLC.**  
 14015 Sunfish Lake B, Suite 400  
 Ramsey, MN 55303

**RIVERSTONE**  
 Ramsey, MN

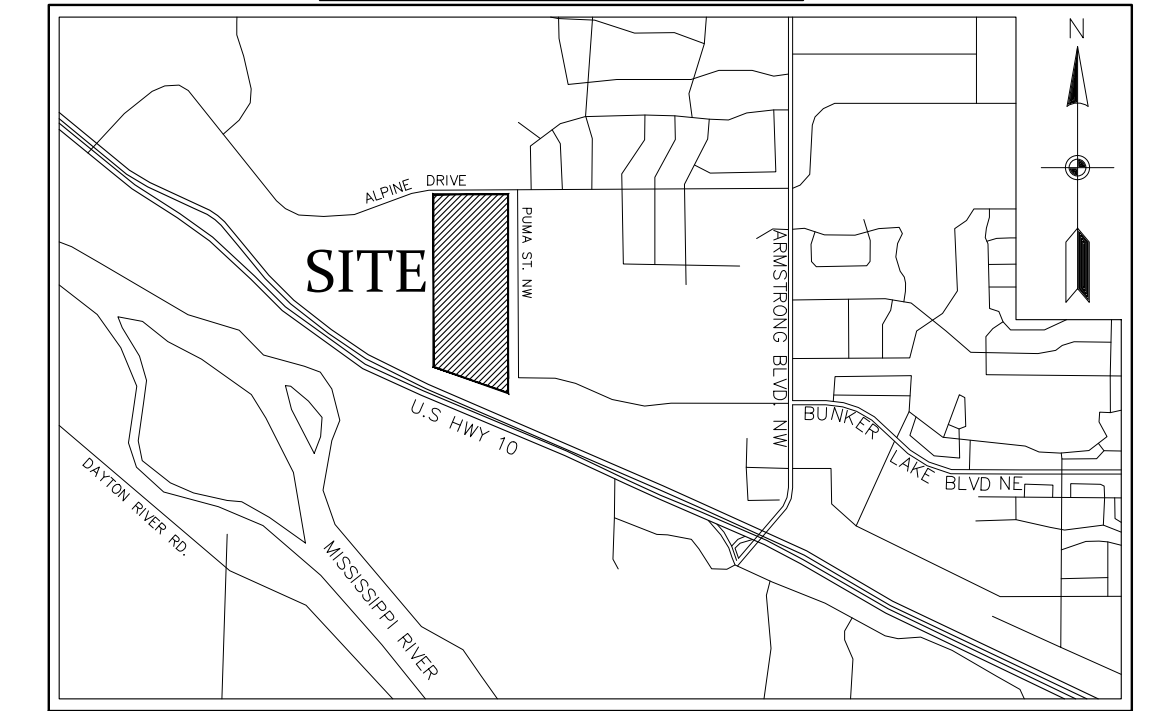
**PRELIMINARY SITE & UTILITY PLAN**



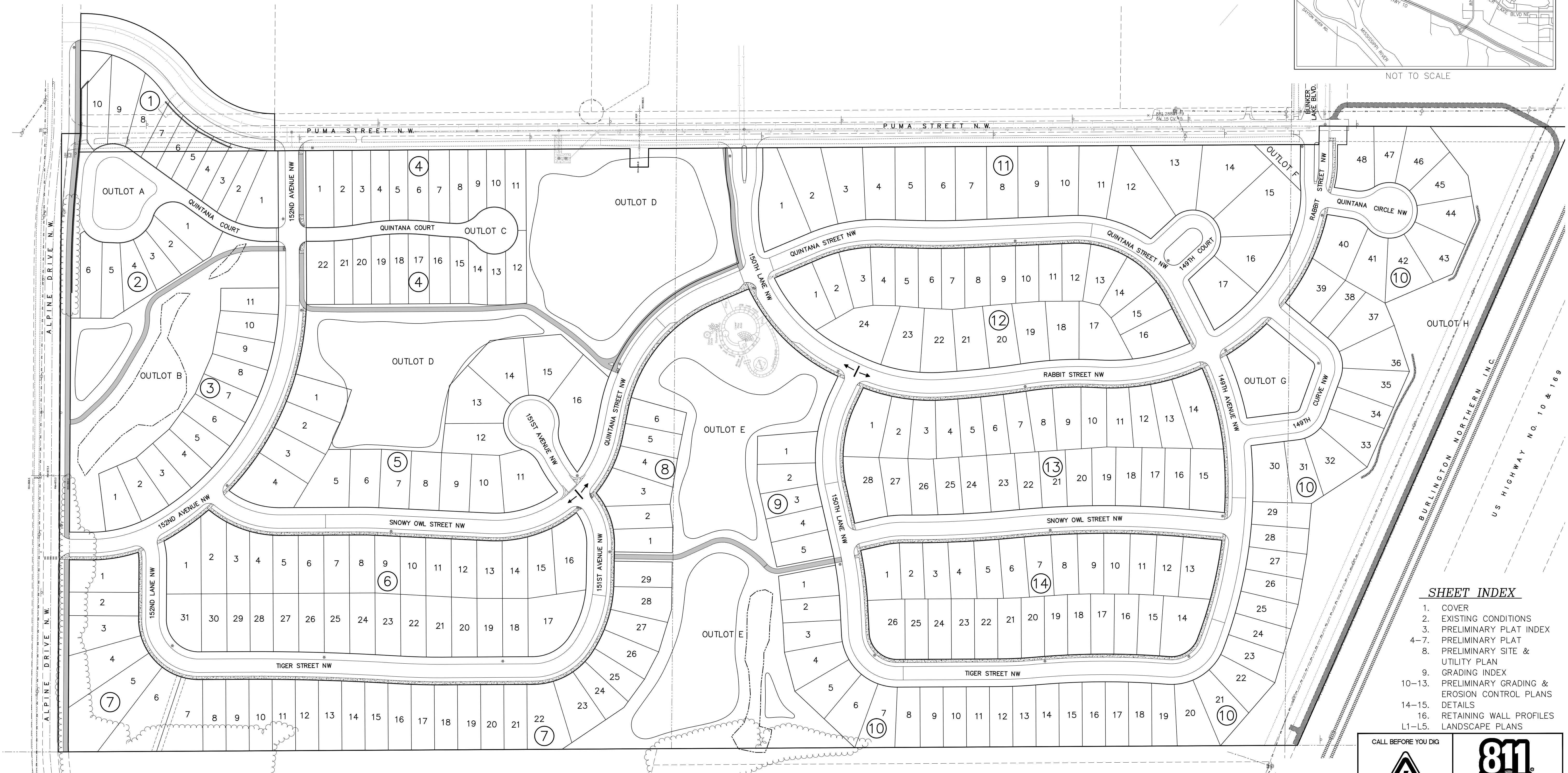
# RIVERSTONE

## RAMSEY, MINNESOTA

### VICINITY MAP



NOT TO SCALE



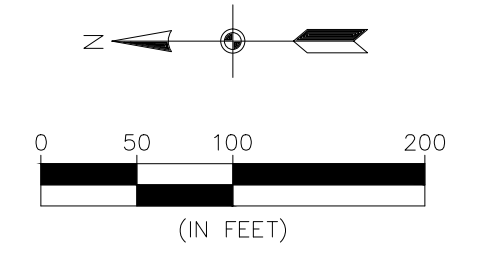
### SHEET INDEX

1. COVER
2. EXISTING CONDITIONS
3. PRELIMINARY PLAT INDEX
- 4-7. PRELIMINARY PLAT
8. PRELIMINARY SITE & UTILITY PLAN
9. GRADING INDEX
- 10-13. PRELIMINARY GRADING & EROSION CONTROL PLANS
- 14-15. DETAILS
16. RETAINING WALL PROFILES
- L1-L5. LANDSCAPE PLANS



The subsurface utility information shown on this plan is utility Quality Level D. This quality level was determined according to the guidelines of C/ASCE 38-02, entitled "Standard Guideline for the Collection and Depiction of Existing Subsurface Utility Data."

BENCHMARK	
1.	Anoka County Benchmark No. 3076 Elev.= 890.186 (NAVD 88)
2.	Anoka County Benchmark No. 2078 Elev.= 899.499 (NAVD 88)



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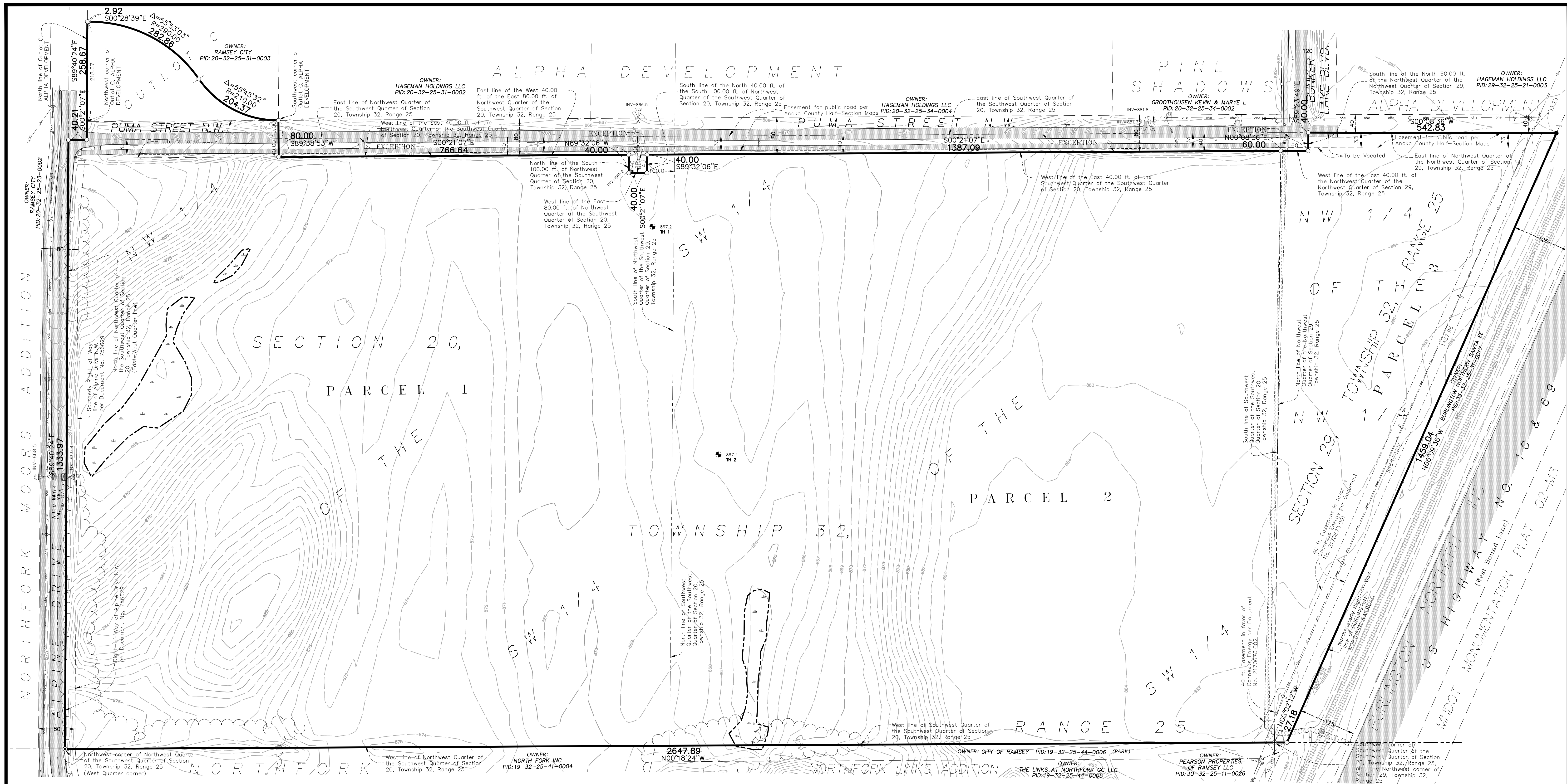
Revisions:  
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 5. 12/4/19 Revise Layout Per Owner

6. 1/13/20 Per City Comments

**RIVERSTONE DEVELOPMENT, LLC.**  
 14015 Sunfish Lake B, Suite 400  
 Ramsey, MN 55303

**RIVERSTONE**  
 Ramsey, MN

**COVER SHEET**



**Parcel Description:**  
(Per Schedule A of Title Commitment No. 1273, with a commitment date of October 12th, 2016, at 7:30 A.M., prepared by Old Republic National Title Insurance Company)

**Parcel 1:**  
The Northwest Quarter of Southwest Quarter of Section 20, Township 32, Range 25, Anoka County, Minnesota, EXCEPT the East 40.00 feet of said Northwest Quarter of Southwest Quarter lying southerly of the southerly right of way line of Alpine Drive as described in Document No. 756629.  
AND ALSO 40.00 feet of the North 100.00 feet of the West 40.00 feet of the East 80.00 feet of said Northwest Quarter of Southwest Quarter.

**Parcel 2:**  
The Southwest Quarter of Southwest Quarter of Section 20, Township 32, Range 25, Anoka County, Minnesota, EXCEPT the East 40.00 feet thereof.

**Parcel 3:**  
The Northwest Quarter of Northwest Quarter of Section 29, Township 32, Range 25, Anoka County, Minnesota, lying northeasterly of the northeasterly right of way line of Burlington Northern Railroad, EXCEPT the North 60.00 feet of the East 40.00 feet of said Northwest Quarter of Northwest Quarter.

**(Proposed Legal Description, subject to City approved parcel subdivision)**  
That part of Outlot C, ALPHA DEVELOPMENT, according to the recorded plat thereof, Anoka County, Minnesota lying westerly and northeasterly of the following described line:  
Commencing at the Northwest corner of said Outlot C; thence South 89 degrees 40 minutes 24 seconds East, assumed bearing, along the North line of said Outlot C, a distance of 218.67 feet to the point of beginning of the line to be described; thence South 00 degrees 28 minutes 39 seconds East, 2.92 feet; thence southeasterly 282.86 feet along a tangential curve concave to the northwest, having a radius of 280.00 feet and a central angle of 58 degrees 53 minutes 03 seconds to a point of reverse curvature; thence continuing southeasterly 204.37 feet along a reverse curve concave to the southeast, having a radius of 210.00 feet and a central angle of 53 degrees 45 minutes 32 seconds to the Southwest corner of said Outlot C and said line there terminating.

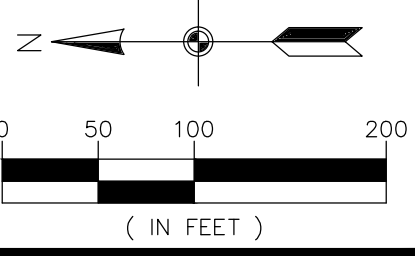
**(Proposed Legal Description, subject to City approved Right-of-Way Vacation)**  
That part of Puma Street Northwest, as created and dedicated in the plat of ALPHA DEVELOPMENT, according to the recorded plat thereof, Anoka County, Minnesota, lying southerly of the westerly extension of the north line of Outlot C, said plat, and lying northerly of the following described line:  
Beginning at the southwest corner of said Outlot C; thence South 89 degrees 38 minutes 53 seconds West, 80.00 feet, assuming the North line of said Outlot C has a bearing of South 89 degrees 40 minutes 24 seconds East, and said line there terminating.

And  
That part of the East 40.00 feet of the Northwest Quarter of the Southwest Quarter of Section 20, Township 32, Range 25, Anoka County, Minnesota, lying southerly of the southerly right of way line of Alpine Drive NW as described in Doc. No. 756629 and lying northerly of the following described line:  
Beginning at the southwest corner of said Outlot C; thence South 89 degrees 38 minutes 53 seconds West, 80.00 feet, assuming the North line of said Outlot C has a bearing of South 89 degrees 40 minutes 24 seconds East, and said line there terminating.

- GENERAL NOTES:**
- The field work for this survey was completed on November 28th, 2016.
  - Bearings shown hereon are based on the North line of Outlot C, ALPHA DEVELOPMENT, according to the recorded plat thereof, Anoka County, Minnesota, which is assumed to bear South 89 degrees 40 minutes 24 seconds East.
  - BENCHMARK: Anoka County Benchmark No. 3076 Elevation= 890.186 (NAVD 88)
  - Surveyed property contains ±3,934,125 sq.ft. (±90.32 acres).
  - Wetlands shown hereon were delineated by Kjolhaug Environmental Services Company in 2016.
  - Above ground utilities have been field located as shown. Underground utilities shown hereon are those which were field marked by utility companies responding to Gopher State One Call, Ticket No. 162941258 and 162941314, dated 10/20/2016 or were taken from utility plans provided by the City of Ramsey. All underground locations shown hereon are APPROXIMATE. Prior to any excavations or digging, contact Gopher State One Call for an on-site location (651-454-0002).

**LEGEND**

- - Denotes Anoka County Cast Iron Monument
- - Denotes Found Iron Monument
- - Denotes Set Iron Pipe, Marked with RLS 40361
- - Denotes Miscellaneous Sign
- ☐ - Denotes Electric Box
- ☐ - Denotes Catch Basin
- ☐ - Denotes Electric Meter
- ☐ - Denotes Telephone Box
- ⊙ - Denotes Utility Pole
- △ - Denotes Flared End Section
- - Denotes Hand Hole
- - Denotes Overhead Electric
- -> - Denotes Storm Sewer
- - - - - Denotes Existing Fence as noted
- ▨ - Denotes Wetland delineated by Kjolhaug Environmental Services Company in 2016
- ▨ - Denotes Gravel Surface
- ▨ - Denotes Bituminous Surface
- - - - - Denotes Existing 1 Ft. Contour
- - - - - Denotes Existing 5 Ft. Contour



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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota  
 Print Name: Thomas R. Balluff, L.S.  
 Signature: *Thomas R. Balluff*  
 Date: 3/8/2017 License #: 40361

DRAWN BY: JAB  
 ISSUE DATE: 3/8/2017  
 FILE NO: 1308

Revisions:  
 1. 5/24/2017-Per City Comments  
 2. 6/23/2017-Per City Comments

**RIVERSTONE DEVELOPMENT, LLC**  
 14015 Sunfish Lake B, Suite 400  
 Ramsey, MN, 55303

**RIVERSTONE**  
 Ramsey, Minnesota

**EXISTING CONDITIONS**

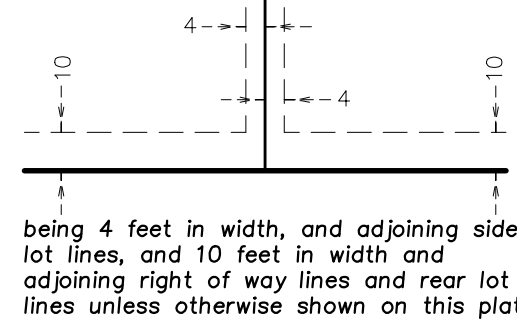
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# RIVERSTONE

## SITE DATA

TOTAL SITE AREA	±90.32 AC.	TOTAL LOT AREA	±51.31 AC.
TOTAL ROW AREA	±16.77 AC.	TOTAL NUMBER OF LOTS	279
TOTAL OUTLOT AREA	±22.24 AC.	SMALLEST LOT	±5,046 S.F.
OUTLOT A	±1.18 AC.	LARGEST LOT	±19,592 S.F.
OUTLOT B	±2.78 AC.	AVERAGE LOT	±8,161 S.F.
OUTLOT C	±0.44 AC.	EXISTING ZONING	R-1, R-2, R-3, B-2
OUTLOT D	±6.13 AC.	PROPOSED ZONING	PUD
OUTLOT E	±6.36 AC.	UTILITIES	AVAILABLE
OUTLOT F	±0.11 AC.	GROSS DENSITY	3.09 (LOTS/AC.)
OUTLOT G	±0.66 AC.		
OUTLOT H	±4.58 AC.		

## PROPOSED DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



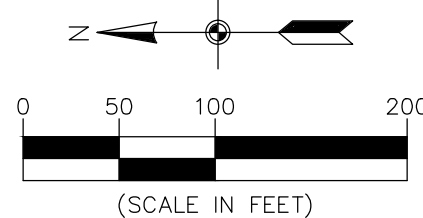
## BENCHMARK

- Anoka County Benchmark No. 3076  
Elev. = 890.186 (NAVD 88)
- Anoka County Benchmark No. 2078  
Elev. = 899.499 (NAVD 88)

## LEGEND

- - Denotes Anoka County Monument
- - Denotes Found Iron Monument
- - Denotes 5/8 inch by 14 inch rebar, marked with RLS 40361

Bearings shown hereon are based on the North line of Outlot C, ALPHA DEVELOPMENT, according to the recorded plat thereof, Anoka County, Minnesota, which is assumed to bear South 89 degrees 40 minutes 24 seconds East.



## LEGAL DESCRIPTION

**Parcel Description:**  
(Per Schedule A of Title Commitment No. 1273, with a commitment date of October 12th, 2016 at 7:30 A.M., prepared by Old Republic National Title Insurance Company)

**Parcel 1:**  
The Northwest Quarter of Southwest Quarter of Section 20, Township 32, Range 25, Anoka County, Minnesota, EXCEPT the East 40.00 feet of said Northwest Quarter of Southwest Quarter lying southerly of the southerly right of way line of Alpine Drive as described in Document No. 756629, AND ALSO EXCEPT the North 40.00 feet of the South 100.00 feet of the West 40.00 feet of the East 80.00 feet of said Northwest Quarter of Southwest Quarter.

**Parcel 2:**  
The Southwest Quarter of Southwest Quarter of Section 20, Township 32, Range 25, Anoka County, Minnesota, EXCEPT the East 40.00 feet thereof.

**Parcel 3:**  
The Northwest Quarter of Northwest Quarter of Section 29, Township 32, Range 25, Anoka County, Minnesota, lying northeasterly of the northeasterly right of way line of Burlington Northern Railroad, EXCEPT the North 60.00 feet of the East 40.00 feet of said Northwest Quarter of Northwest Quarter.

**(Proposed Legal Description, which may be subject to City approved parcel subdivision):**  
That part of Outlot C, ALPHA DEVELOPMENT, according to the recorded plat thereof, Anoka County, Minnesota, lying westerly and northerly of the following described line:

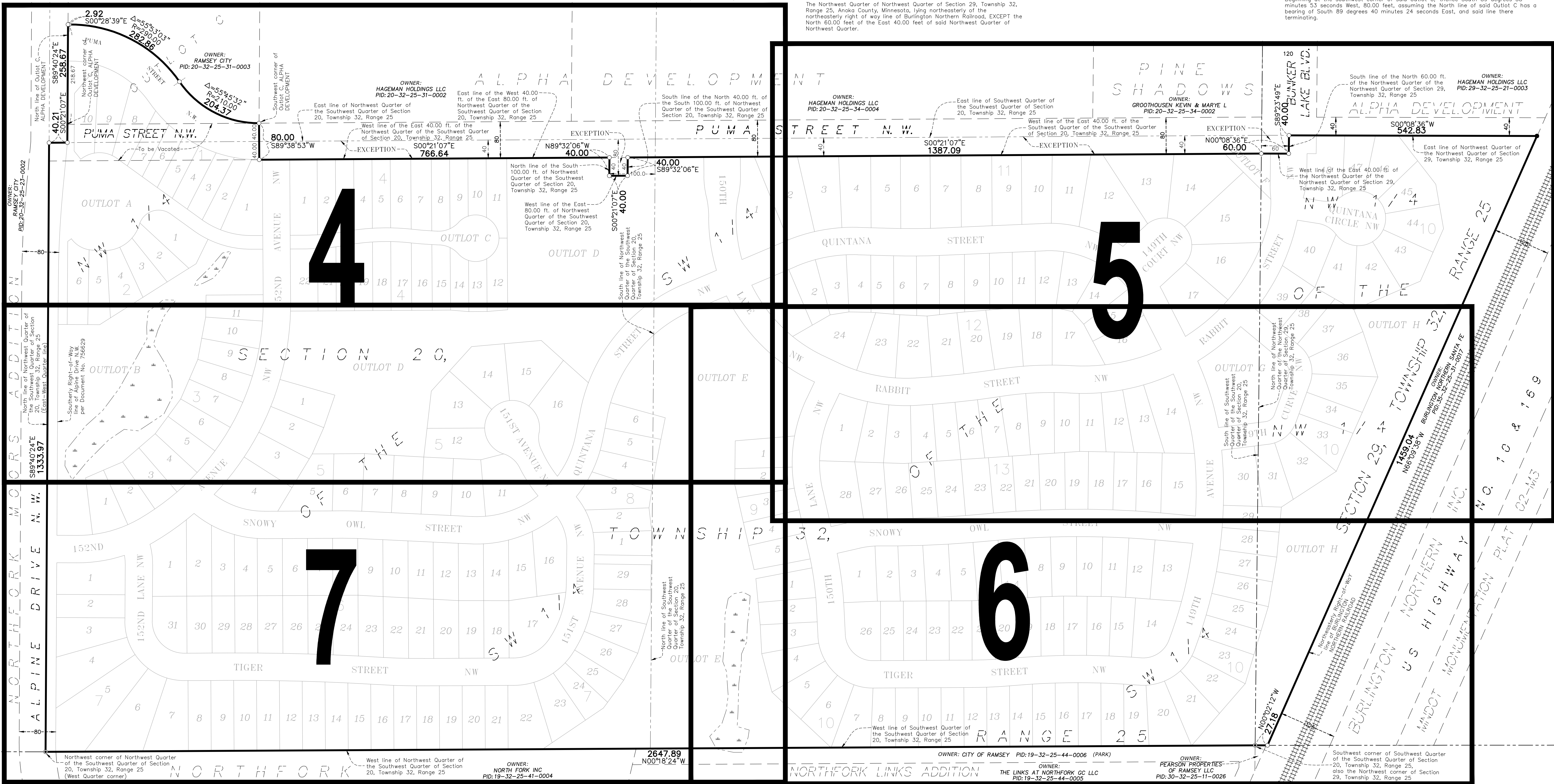
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AND  
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Beginning at the southwest corner of said Outlot C; thence South 89 degrees 38 minutes 53 seconds West, 80.00 feet, assuming the North line of said Outlot C has a bearing of South 89 degrees 40 minutes 24 seconds East, and said line there terminating.



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 • surveying  
 3890 Pheasant Ridge Drive NE, Suite 100  
 Blaine, MN 55449  
 Phone: (763) 489-7900  
 Fax: (763) 489-7959  
 www.carlsonmccain.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota  
 Signature: *Thomas R. Balluff, L.S.*  
 Date: 03/08/2017 License #: 40361

DRAWN BY: JAB  
 ISSUE DATE: 03/08/2017  
 FILE NO: 1308  
 Revisions:  
 1. 5/24/2017-Per City Comments  
 2. 6/23/2017-Per City Comments  
 3. 3/26/2018-Layout Change  
 4. 4/13/2018-Revise Street Names  
 5. 12/04/2019-Revise Layout per Owner

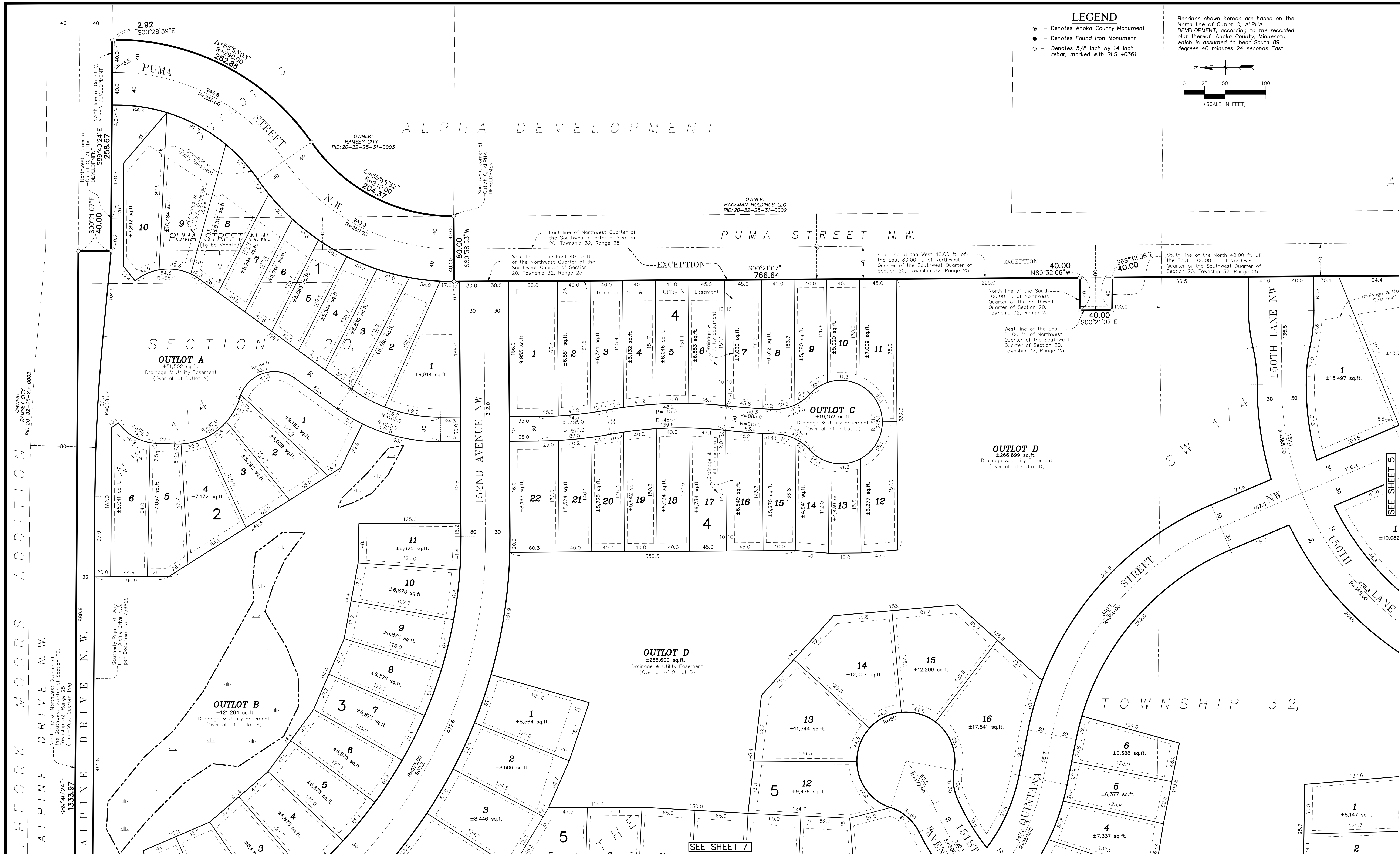
**RIVERSTONE DEVELOPMENT, LLC**  
 14015 Sunfish Lake B, Suite 400  
 Ramsey, MN, 55303

**RIVERSTONE**  
 Ramsey, MN

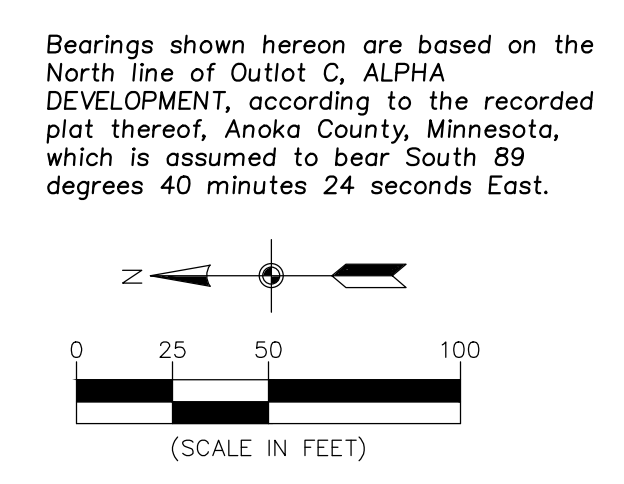
**PRELIMINARY PLAT INDEX**

3 of 16

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- LEGEND**
- - Denotes Anoka County Monument
  - - Denotes Found Iron Monument
  - - Denotes 5/8 inch by 14 inch rebar, marked with RLS 40361



TH FORK MOORS ADDITION  
 ALPINE DRIVE N.W.  
 ALPINE DRIVE N.W.  
 OWNER: RAMSEY CITY  
 PID: 20-32-25-23-0002

3890 Pheasant Ridge Drive NE,  
 Suite 100  
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 Ramsey, MN, 55303

**RIVERSTONE**  
 Ramsey, MN

**PRELIMINARY PLAT**

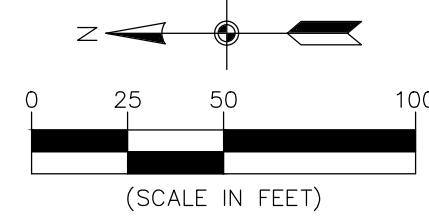
4 of 16

ALPHA DEVELOPMENT

OWNER:  
HAGEMAN HOLDINGS LLC  
PID: 29-32-25-34-0004

LEGEND

- - Denotes Anoka County Monument
- - Denotes Found Iron Monument
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PINE SHADOWS

OWNER:  
GROOTHOUSE KEVIN & MARYE L  
PID: 20-32-25-34-0002

BUNKER LAKE BLVD.

ALPHA DEVELOPMENT

OWNER:  
HAGEMAN HOLDINGS LLC  
PID: 29-32-25-21-0003



SEE SHEET 4

SEE SHEET 6

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 • environmental  
 • engineering  
 • surveying

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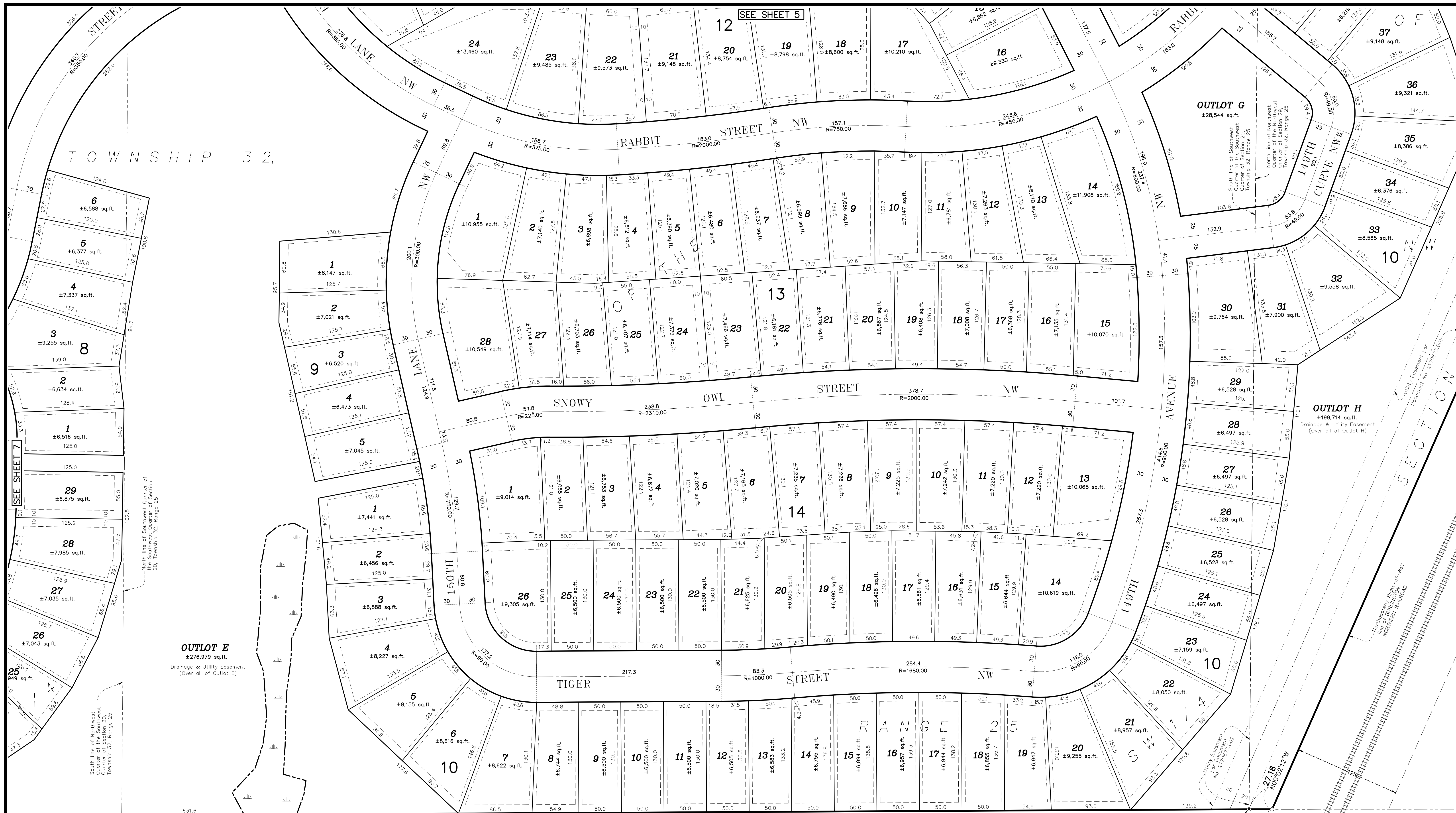
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**RIVERSTONE**  
 Ramsey, MN

**PRELIMINARY PLAT**

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SEE SHEET 5

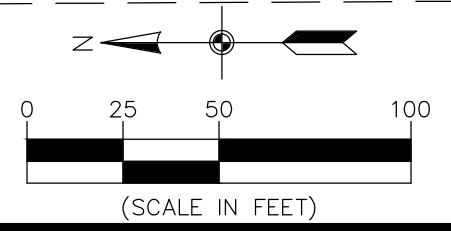
SEE SHEET 7

**OUTLOT E**  
±276,979 sq.ft.  
Drainage & Utility Easement  
(Over all of Outlot E)

**OUTLOT H**  
±199,714 sq.ft.  
Drainage & Utility Easement  
(Over all of Outlot H)

**LEGEND**

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OWNER:  
CITY OF RAMSEY (PARK)  
PID:19-32-25-44-0006

OWNER:  
THE LINKS AT NORTHFORK GC LLC  
PID:19-32-25-44-0005

Southwest corner of Southwest Quarter of the Southwest Quarter of Section 20, Township 32, Range 25, also the Northwest corner of Section 29, Township 32, Range 25

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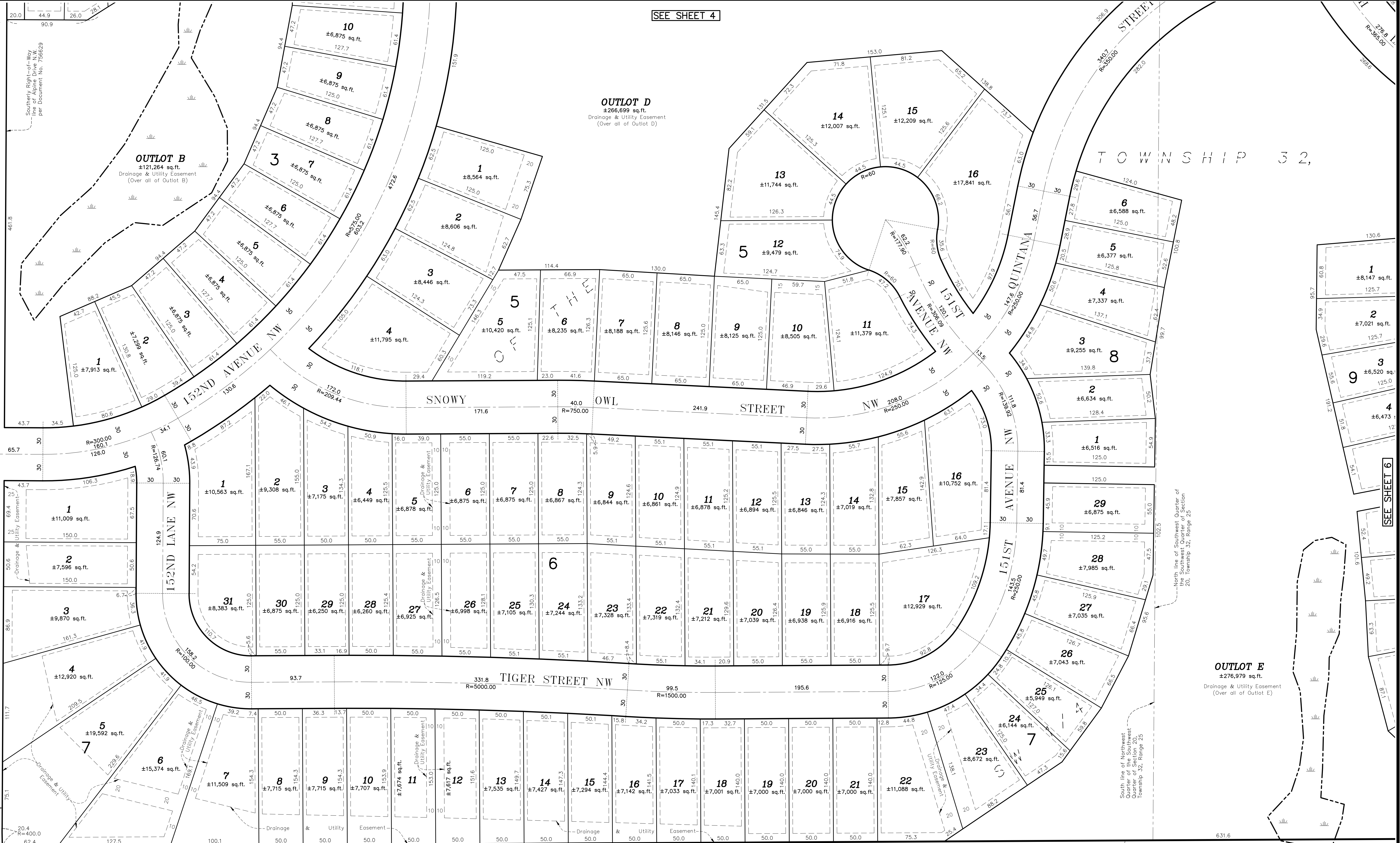
**RIVERSTONE**  
 Ramsey, MN

**PRELIMINARY PLAT**

Save Date: 12/05/19 | F:\06016421 - 6440\6435 - ramsey site\cad\c30survey\6435\_prep.dwg

NORTH FORK MOORS  
ALPINE DRIVE N.W.  
ALPINE DRIVE N.W.

North line of Northwest Quarter of Township 32, Range 25 (East-West Quarter line)  
S89°40'24"E  
1333.97



SEE SHEET 4

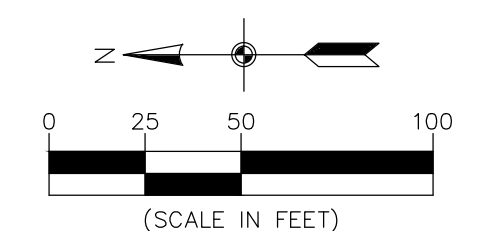
SEE SHEET 6

Northwest corner of Northwest Quarter of the Southwest Quarter of Section 20, Township 32, Range 25 (West Quarter corner)

OWNER:  
NORTH FORK, INC  
PID: 19-32-25-41-0004

LEGEND

- - Denotes Anoka County Monument
- - Denotes Found Iron Monument
- - Denotes 5/8 inch by 14 inch rebar, marked with RLS 40361



Bearings shown hereon are based on the North line of Outlot C, ALPHA DEVELOPMENT, according to the recorded plat thereof, Anoka County, Minnesota, which is assumed to bear South 89 degrees 40 minutes 24 seconds East.

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota  
Signature: Thomas R. Balluff, L.S.  
Date: 03/08/2017 License #: 40361

Print Name: Thomas R. Balluff, L.S.  
DRAWN BY: JAB  
ISSUE DATE: 03/08/2017  
FILE NO: 1308

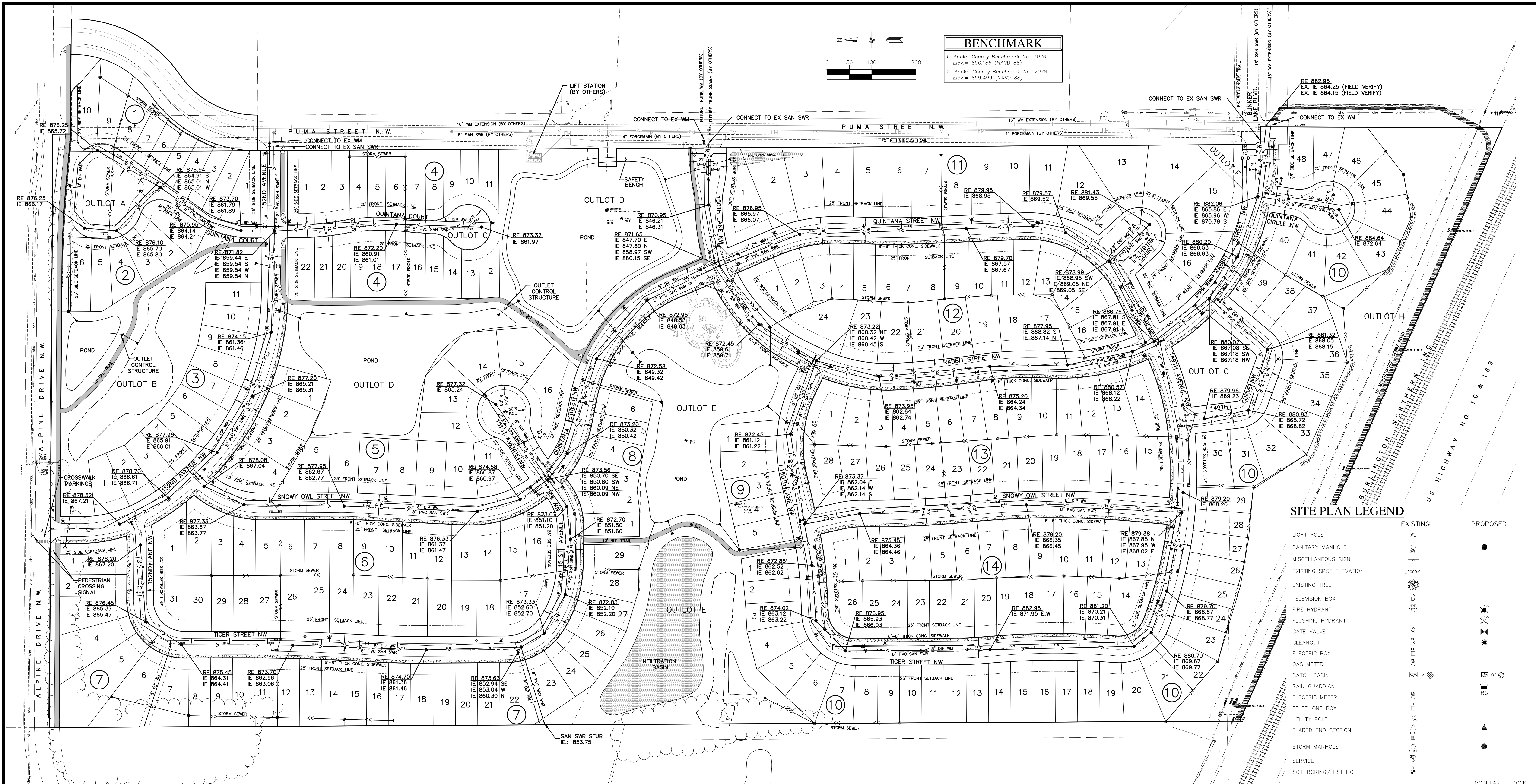
Revisions:  
1. 5/24/2017-Per City Comments  
2. 6/23/2017-Per City Comments  
3. 3/26/2018-Layout Change  
4. 4/13/2018-Revise Street Names  
5. 12/04/2019-Revise Layout per Owner  
6. 1/13/2020-Per City Comments

RIVERSTONE DEVELOPMENT, LLC  
14015 Sunfish Lake B, Suite 400  
Ramsey, MN, 55303

RIVERSTONE  
Ramsey, MN

PRELIMINARY PLAT

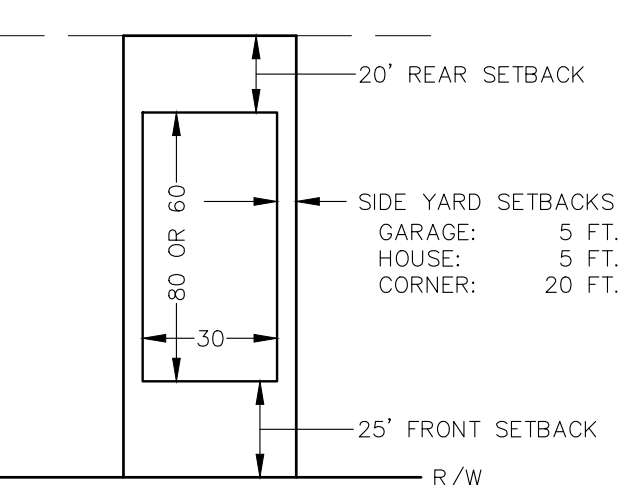
7 of 16



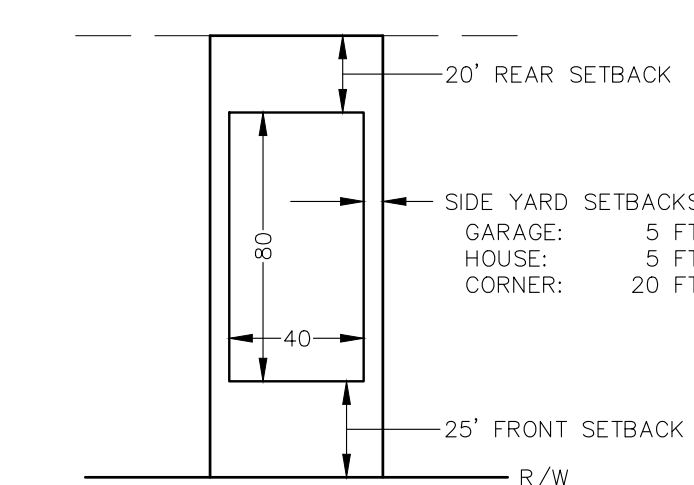
**SITE PLAN LEGEND**

EXISTING	PROPOSED

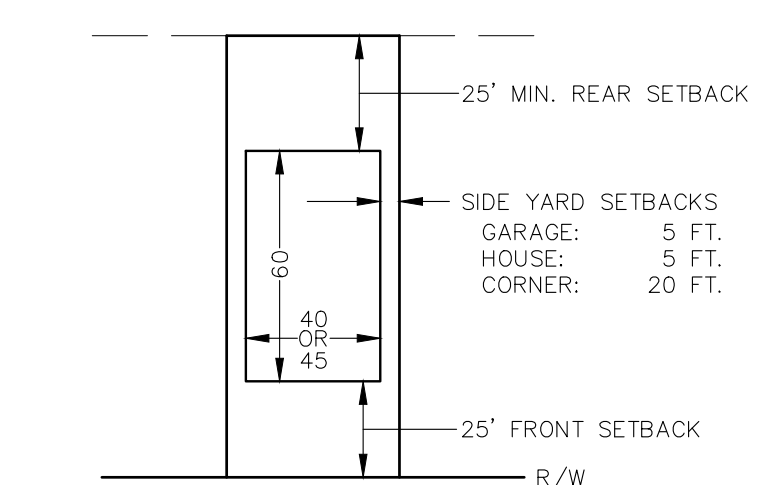
40' LOT DETAIL



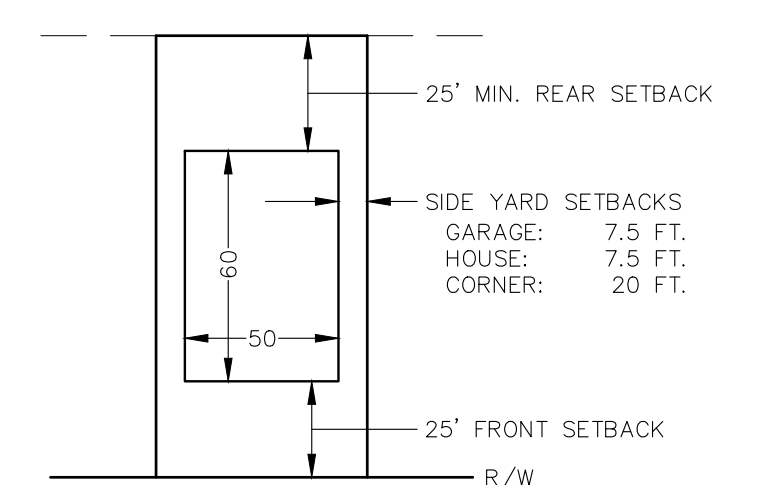
50' VILLA LOT DETAIL



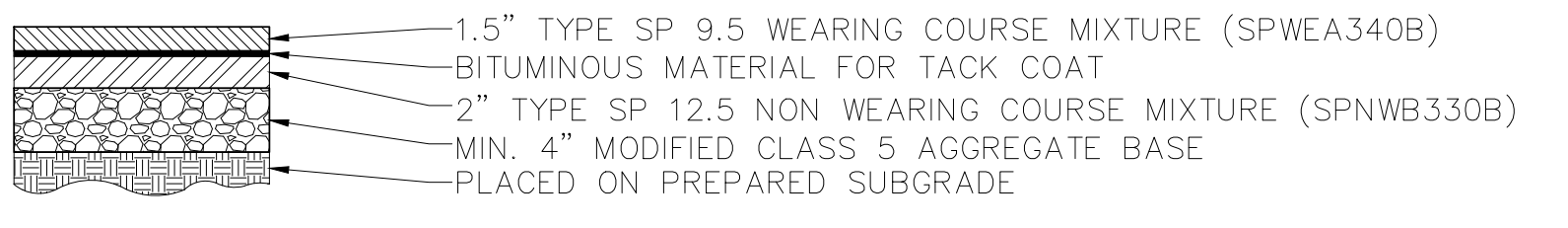
50'/55' LOT DETAIL



65' LOT DETAIL



**STREET SECTION**



TYPICAL SERVICES SHALL BE:  
 WATER: 1" COPPER TYPE K  
 SEWER: 4" PVC SDR 26  
 CURB STOP TO BE PLACED AT THE R/W

TYPICAL SERVICES SHALL BE:  
 WATER: 1" COPPER TYPE K  
 SEWER: 4" PVC SDR 26  
 CURB STOP TO BE PLACED AT THE R/W

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**Carlson McCain**  
 • environmental  
 • engineering  
 • surveying

3890 Pheasant Ridge Drive NE,  
 Suite 100  
 Blaine, MN 55449  
 Phone: (763) 489-7900  
 Fax: (763) 489-7959  
 www.carlsonmccain.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Print Name: Brian J. Krystoflak, P.E.  
 Signature: *Brian J. Krystoflak*  
 Date: 3/08/17 License #: 25063

Drawn: ADB  
 Designed: BJK  
 Date: 3/08/17

Revisions:  
 1. 5/24/17 Per City Comments  
 2. 6/23/17 Per City Comments  
 3. 4/13/18 Revise Street names, B12L15-28 & B13L1-13 & add NE Trail  
 4. 6/13/18 Per City Comments  
 5. 12/4/19 Revise Layout Per Owner

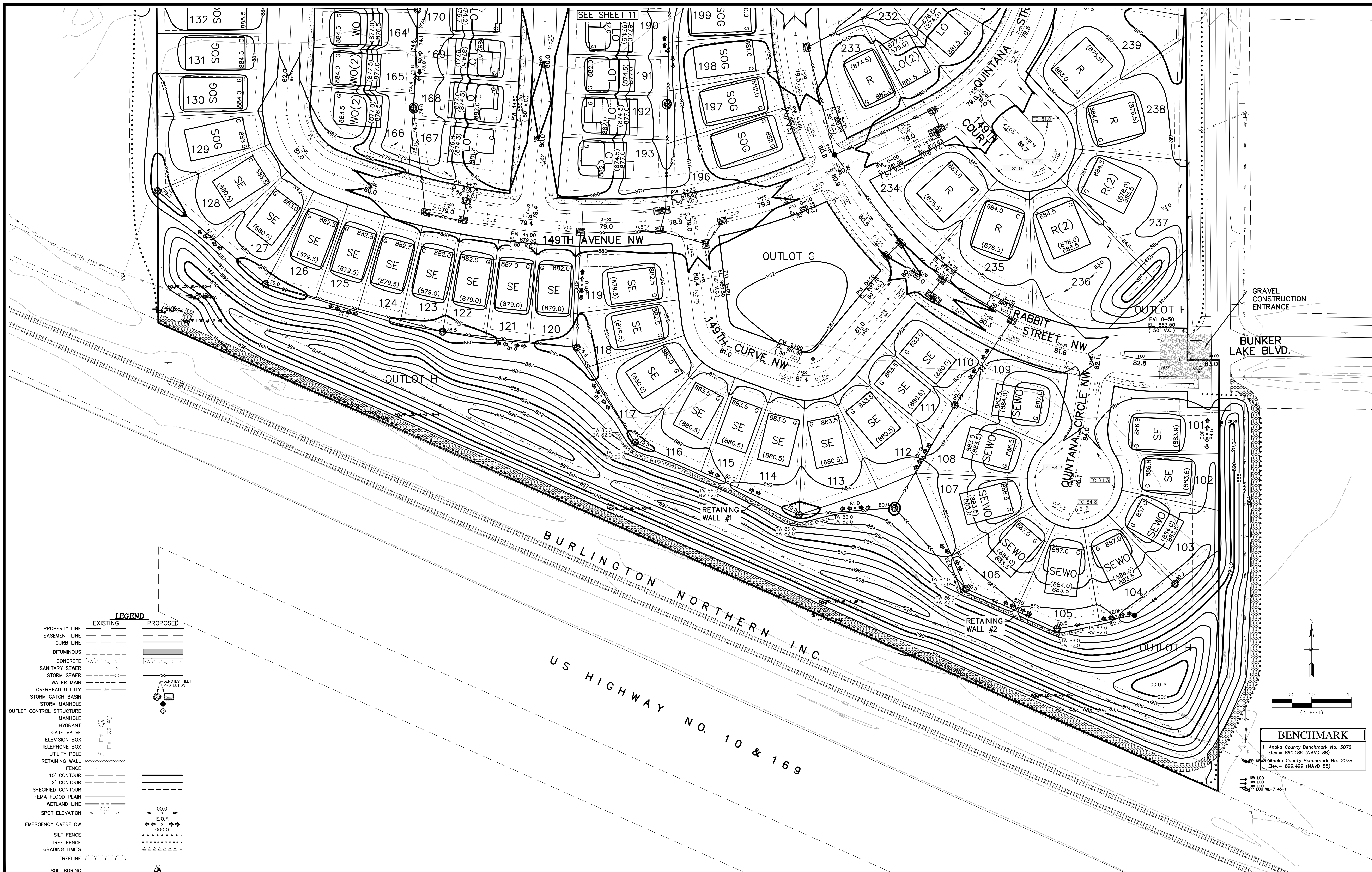
6. 1/13/20 Per City Comments

**RIVERSTONE DEVELOPMENT, LLC.**  
 14015 Sunfish Lake B, Suite 400  
 Ramsey, MN 55303

**RIVERSTONE**  
 Ramsey, MN

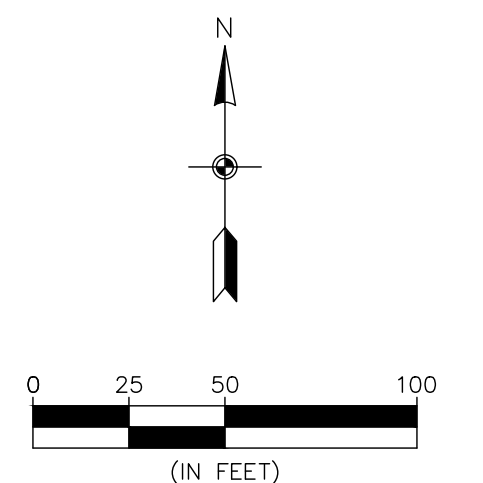
**PRELIMINARY SITE & UTILITY PLAN**





GRAVEL CONSTRUCTION ENTRANCE

BUNKER LAKE BLVD.



**BENCHMARK**  
 1. Anoka County Benchmark No. 3076  
 Elev. = 890.186 (NAVD 88)  
 2. Nicollet County Benchmark No. 2078  
 Elev. = 899.499 (NAVD 88)

**LEGEND**

EXISTING	PROPOSED
PROPERTY LINE	PROPERTY LINE
EASEMENT LINE	EASEMENT LINE
CURB LINE	CURB LINE
BITUMINOUS	BITUMINOUS
CONCRETE	CONCRETE
SANITARY SEWER	SANITARY SEWER
STORM SEWER	STORM SEWER
WATER MAIN	WATER MAIN
OVERHEAD UTILITY	OVERHEAD UTILITY
STORM CATCH BASIN	STORM CATCH BASIN
STORM MANHOLE	STORM MANHOLE
OUTLET CONTROL STRUCTURE	OUTLET CONTROL STRUCTURE
MANHOLE	MANHOLE
HYDRANT	HYDRANT
GATE VALVE	GATE VALVE
TELEVISION BOX	TELEVISION BOX
TELEPHONE BOX	TELEPHONE BOX
UTILITY POLE	UTILITY POLE
RETAINING WALL	RETAINING WALL
FENCE	FENCE
10' CONTOUR	10' CONTOUR
2' CONTOUR	2' CONTOUR
SPECIFIED CONTOUR	SPECIFIED CONTOUR
FEMA FLOOD PLAIN	FEMA FLOOD PLAIN
WETLAND LINE	WETLAND LINE
SPOT ELEVATION	SPOT ELEVATION
EMERGENCY OVERFLOW	EMERGENCY OVERFLOW
SILT FENCE	SILT FENCE
TREE FENCE	TREE FENCE
GRADING LIMITS	GRADING LIMITS
TREELINE	TREELINE
SOIL BORING	SOIL BORING

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Print Name: Brian J. Krystoflak, P.E.  
 Signature: *Brian J. Krystoflak*  
 Date: 3/08/17 License #: 25063

Drawn: LC  
 Designed: BJK  
 Date: 3/08/17

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 14015 Sunfish Lake B, Suite 400  
 Ramsey, MN 55303

**RIVERSTONE**  
 Ramsey, MN

**PRELIMINARY GRADING & EROSION CONTROL PLAN**

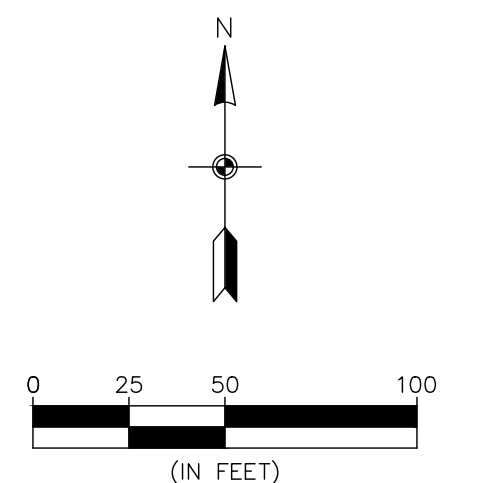
10 of 16

Save Date: 01/17/20 F:\jobs\6421 - 6440\6435 - ramsey site\cad\c3\engineering\preliminary\6435.gr.dwg



**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT LINE	---	---
CURB LINE	---	---
BITUMINOUS	---	---
CONCRETE	---	---
SANITARY SEWER	---	---
STORM SEWER	---	---
WATER MAIN	---	---
OVERHEAD UTILITY	---	---
STORM CATCH BASIN	---	---
STORM MANHOLE	---	---
OUTLET CONTROL STRUCTURE	---	---
MANHOLE	---	---
HYDRANT	---	---
GATE VALVE	---	---
TELEPHONE BOX	---	---
UTILITY POLE	---	---
RETAINING WALL	---	---
FENCE	---	---
10' CONTOUR	---	---
2' CONTOUR	---	---
SPECIFIED CONTOUR	---	---
FEMA FLOOD PLAIN	---	---
WETLAND LINE	---	---
SPOT ELEVATION	---	---
EMERGENCY OVERFLOW	---	---
SILT FENCE	---	---
TREE FENCE	---	---
GRADING LIMITS	---	---
TREELINE	---	---
SOIL BORING	---	---



**BENCHMARK**

- Anoka County Benchmark No. 3076  
Elev = 890.186 (NAVD 88)
- Anoka County Benchmark No. 2078  
Elev = 899.499 (NAVD 88)

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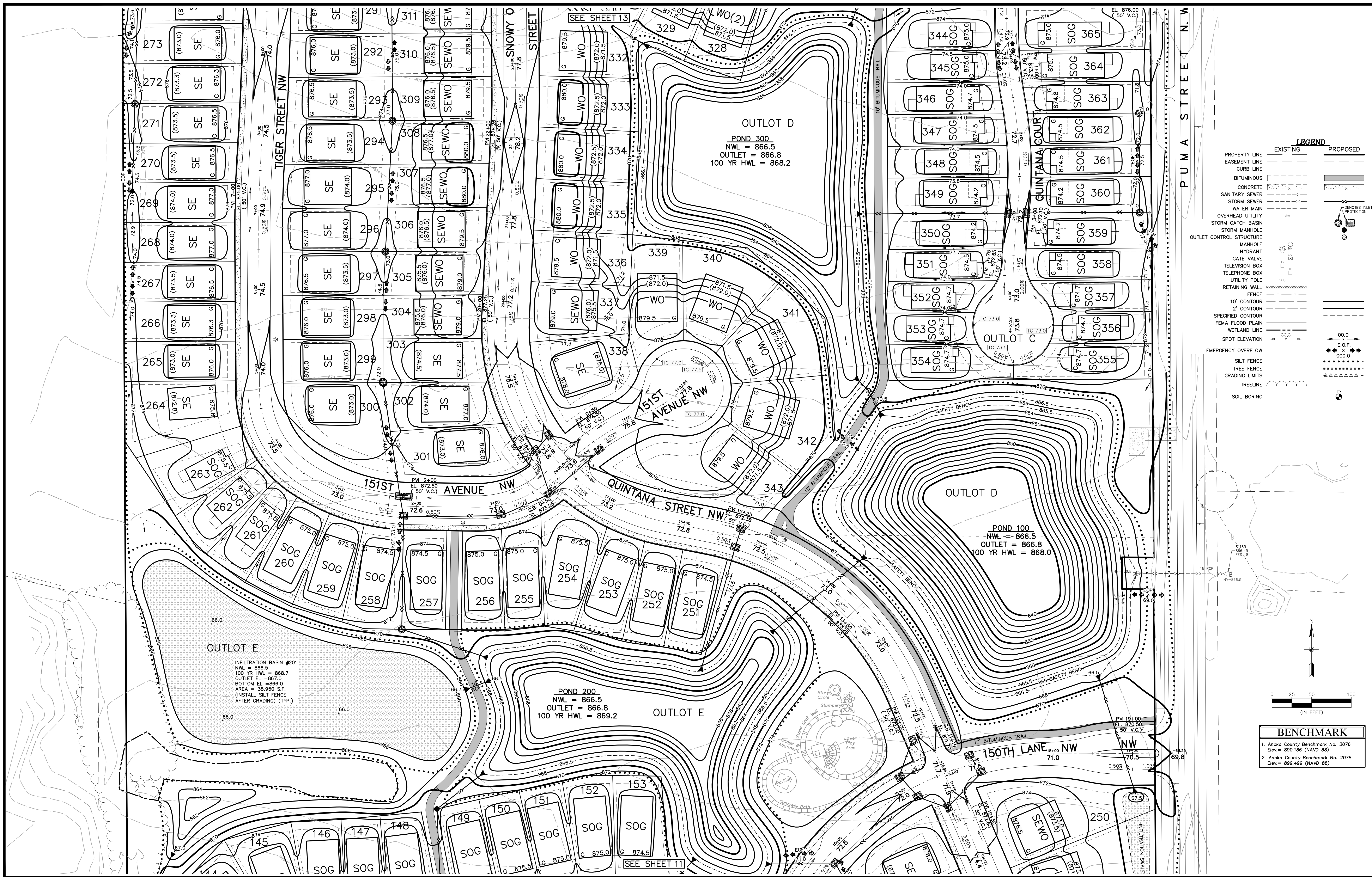
Revisions:  
1. 5/24/17 Per City Comments  
2. 6/23/17 Per City Comments  
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**RIVERSTONE DEVELOPMENT, LLC.**  
14015 Sunfish Lake B, Suite 400  
Ramsey, MN 55303

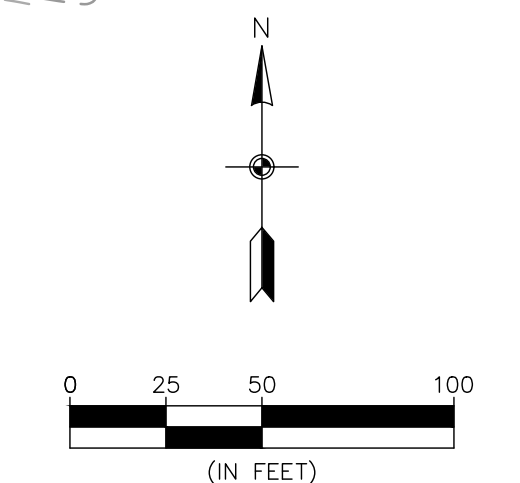
**RIVERSTONE**  
Ramsey, MN

**PRELIMINARY GRADING & EROSION CONTROL PLAN**



**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT LINE	---	---
CURB LINE	---	---
BITUMINOUS	---	---
CONCRETE	---	---
SANITARY SEWER	---	---
STORM SEWER	---	---
WATER MAIN	---	---
OVERHEAD UTILITY	---	---
STORM CATCH BASIN	---	---
STORM MANHOLE	---	---
OUTLET CONTROL STRUCTURE	---	---
MANHOLE	---	---
HYDRANT	---	---
GATE VALVE	---	---
TELEVISION BOX	---	---
TELEPHONE BOX	---	---
UTILITY POLE	---	---
RETAINING WALL	---	---
FENCE	---	---
10' CONTOUR	---	---
2' CONTOUR	---	---
SPECIFIED CONTOUR	---	---
FEMA FLOOD PLAIN	---	---
WETLAND LINE	---	---
SPOT ELEVATION	---	---
EMERGENCY OVERFLOW	---	---
SILT FENCE	---	---
TREE FENCE	---	---
GRADING LIMITS	---	---
TREELINE	---	---
SOIL BORING	---	---



**BENCHMARK**

1. Anoka County Benchmark No. 3076 Elev. = 890.186 (NAVD 88)
2. Anoka County Benchmark No. 2078 Elev. = 899.499 (NAVD 88)

**OUTLET E**  
INFILTRATION BASIN #201  
NWL = 866.5  
100 YR HWL = 868.7  
OUTLET EL = 867.0  
BOTTOM EL = 866.0  
AREA = 38,950 S.F.  
(INSTALL SILT FENCE  
AFTER GRADING) (TYP.)

**POND 200**  
NWL = 866.5  
OUTLET = 866.8  
100 YR HWL = 869.2

**POND 100**  
NWL = 866.5  
OUTLET = 866.8  
100 YR HWL = 868.0

**OUTLET D**  
POND 300  
NWL = 866.5  
OUTLET = 866.8  
100 YR HWL = 868.2

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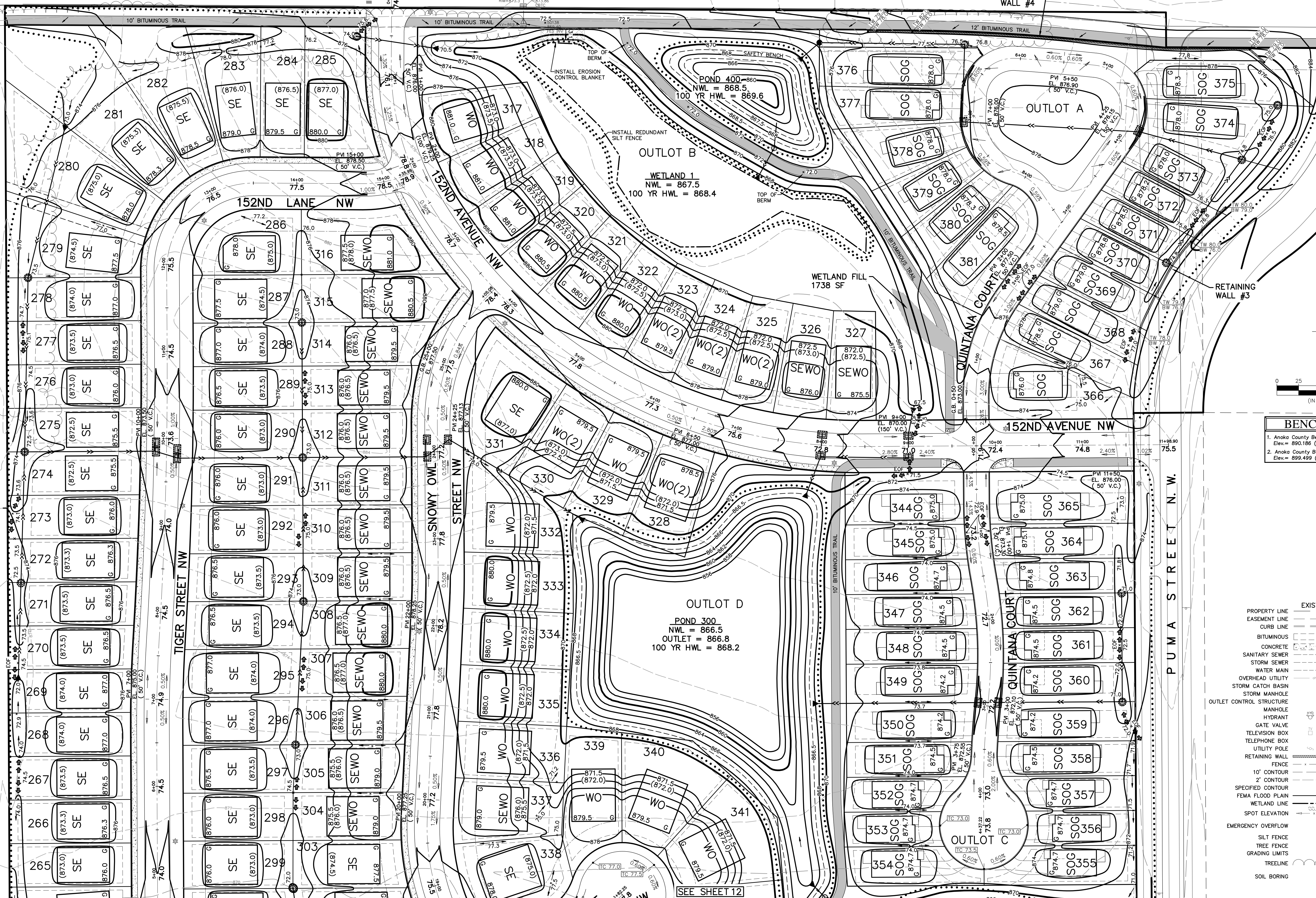
**RIVERSTONE DEVELOPMENT, LLC.**  
14015 Sunfish Lake B, Suite 400  
Ramsey, MN 55303

**RIVERSTONE**  
Ramsey, MN

**PRELIMINARY GRADING  
& EROSION CONTROL PLAN**

ALPINE DRIVE N.W.

ALPINE DRIVE N.W. RETAINING WALL #4



**BENCHMARK**

- Anoka County Benchmark No. 3076  
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- Anoka County Benchmark No. 2078  
Elev. = 899.499 (NAVD 88)

**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT LINE	---	---
CURB LINE	---	---
BITUMINOUS	---	---
CONCRETE	---	---
SANITARY SEWER	---	---
STORM SEWER	---	---
WATER MAIN	---	---
OVERHEAD UTILITY	---	---
STORM CATCH BASIN	---	---
STORM MANHOLE	---	---
OUTLET CONTROL STRUCTURE	---	---
MANHOLE	---	---
HYDRANT	---	---
GATE VALVE	---	---
TELEVISION BOX	---	---
TELEPHONE BOX	---	---
UTILITY POLE	---	---
RETAINING WALL	---	---
FENCE	---	---
10' CONTOUR	---	---
2' CONTOUR	---	---
SPECIFIED CONTOUR	---	---
FEMA FLOOD PLAIN	---	---
WETLAND LINE	---	---
SPOT ELEVATION	---	---
EMERGENCY OVERFLOW	---	---
SILT FENCE	---	---
TREE FENCE	---	---
GRADING LIMITS	---	---
TREELINE	---	---
SOIL BORING	---	---

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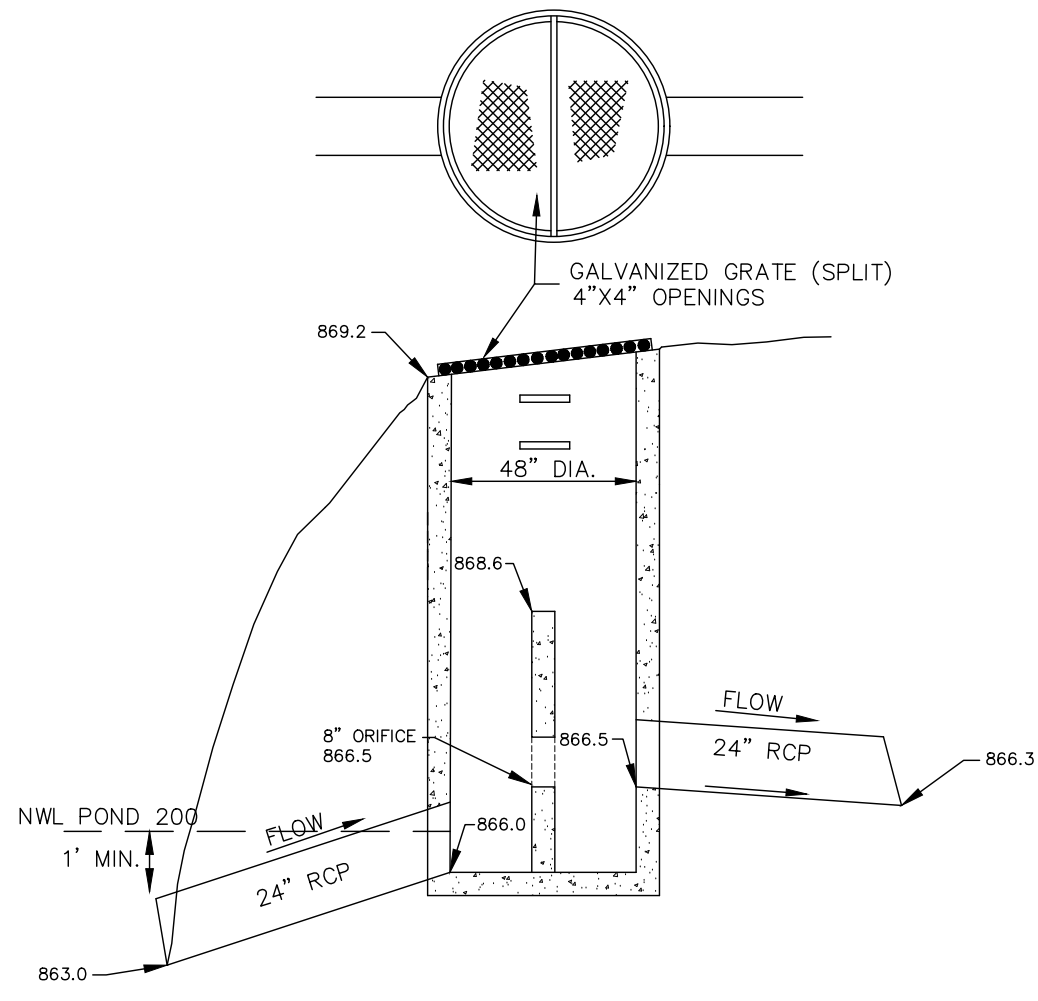
6. 1/13/20 Per City Comments

**RIVERSTONE DEVELOPMENT, LLC.**  
 14015 Sunfish Lake B, Suite 400  
 Ramsey, MN 55303

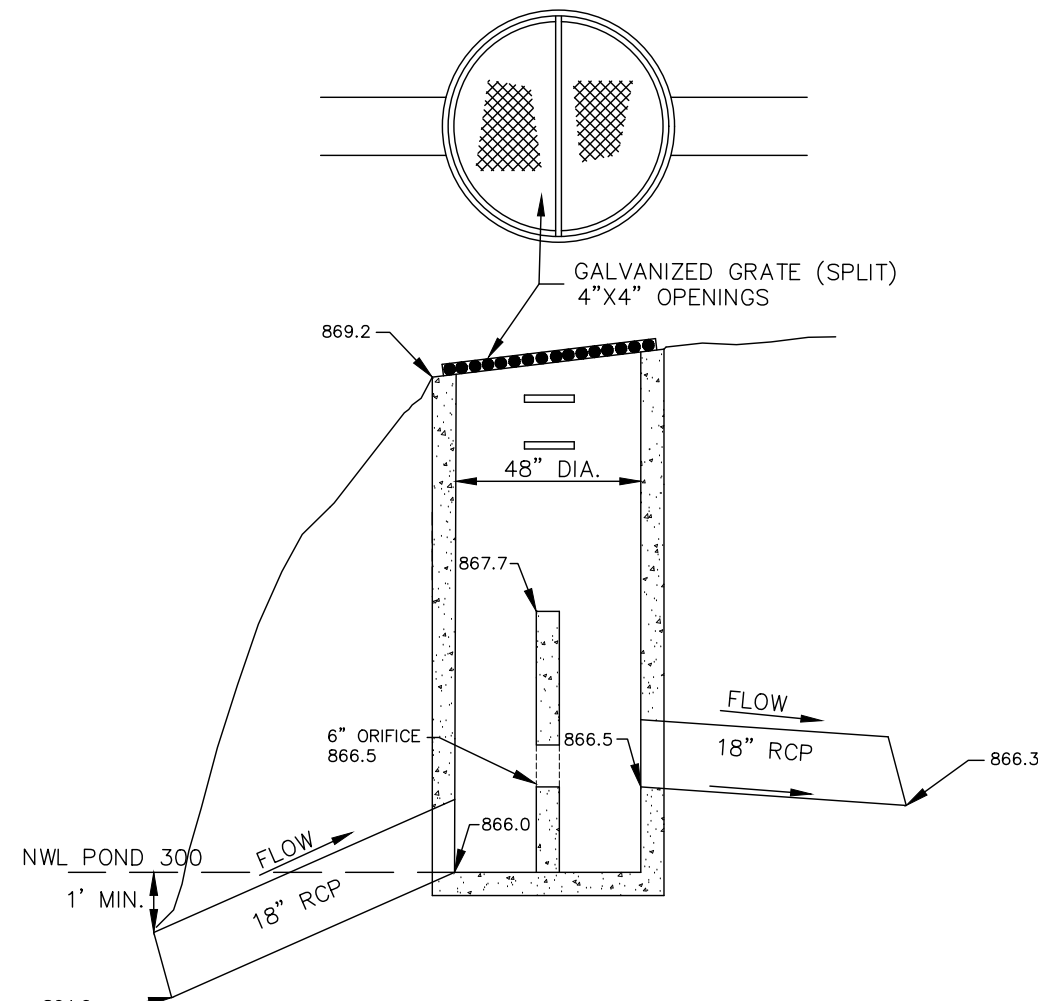
**RIVERSTONE**  
 Ramsey, MN

**PRELIMINARY GRADING & EROSION CONTROL PLAN**

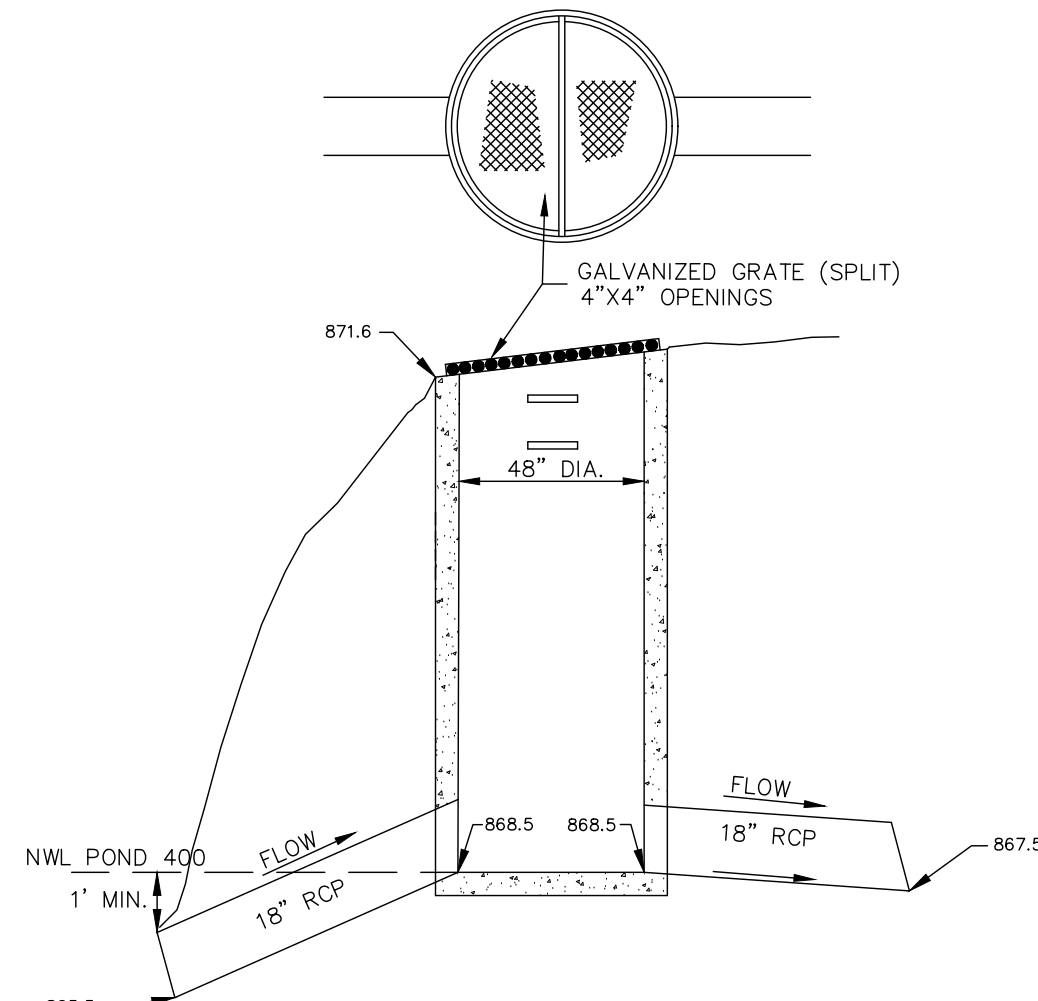
**OUTLET CONTROL STRUCTURE POND 200**



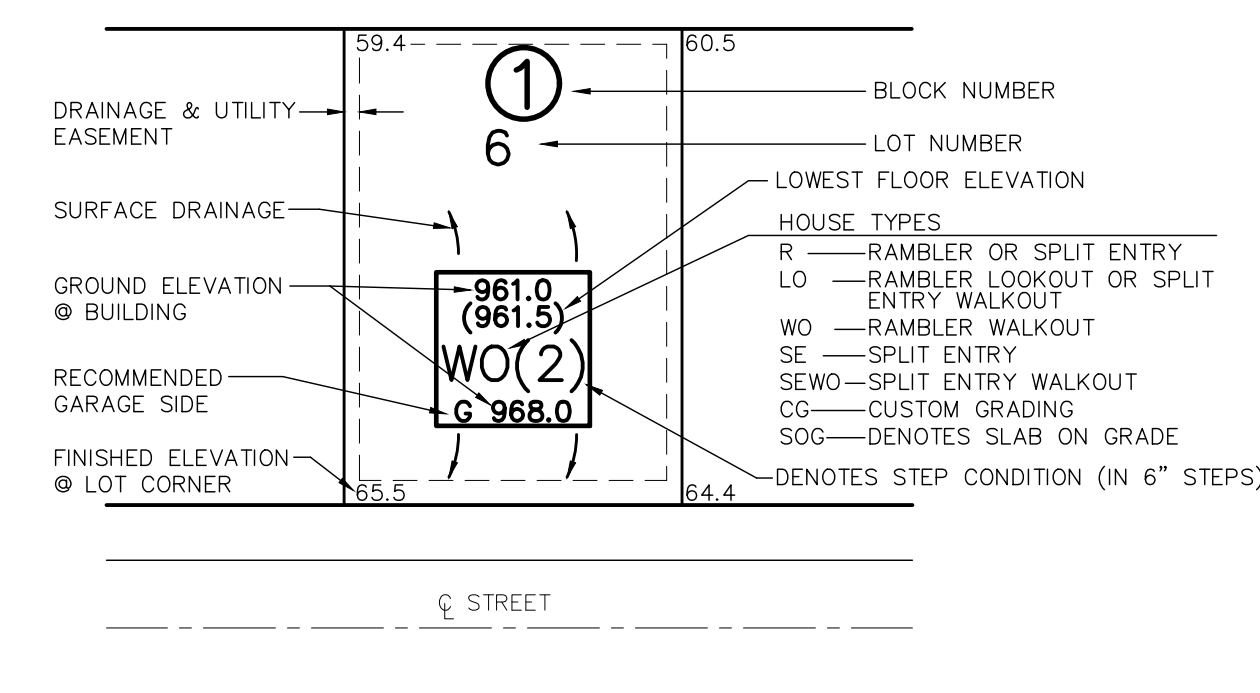
**OUTLET CONTROL STRUCTURE POND 300**



**OUTLET CONTROL STRUCTURE POND 400**



**GRADING PLAN LOT KEY**

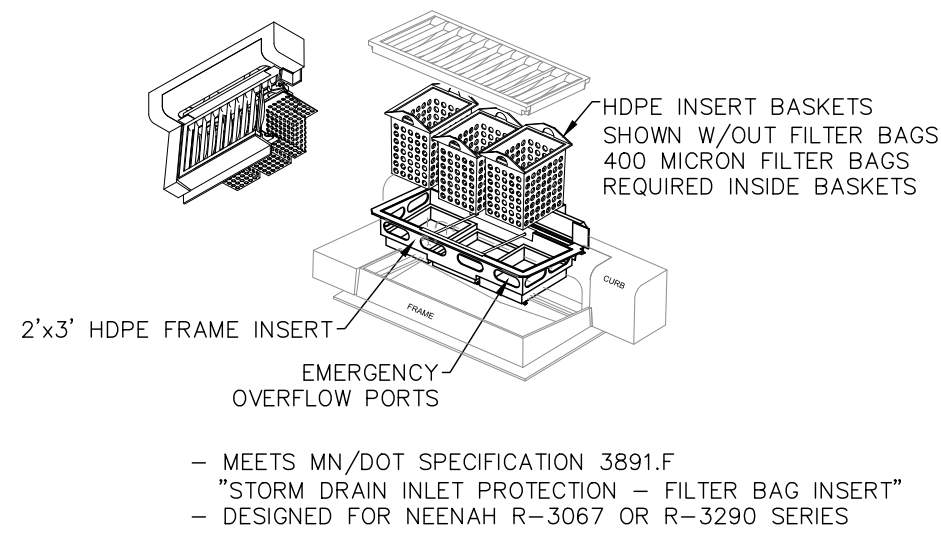


**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT LINE	---	---
CURB LINE	---	---
BITUMINOUS	---	---
CONCRETE	---	---
SANITARY SEWER	---	---
STORM SEWER	---	---
WATER MAIN	---	---
OVERHEAD UTILITY	---	---
STORM CATCH BASIN	---	---
STORM MANHOLE	---	---
OUTLET CONTROL STRUCTURE	---	---
MANHOLE	---	---
HYDRANT	---	---
GATE VALVE	---	---
TELEVISION BOX	---	---
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UTILITY POLE	---	---
RETAINING WALL	---	---
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10' CONTOUR	---	---
2' CONTOUR	---	---
FEMA FLOOD PLAIN	---	---
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SPOT ELEVATION	---	---
EMERGENCY OVERFLOW	---	---
SILT FENCE	---	---
TREE FENCE	---	---
TREELINE	---	---
SOIL BORING	---	---

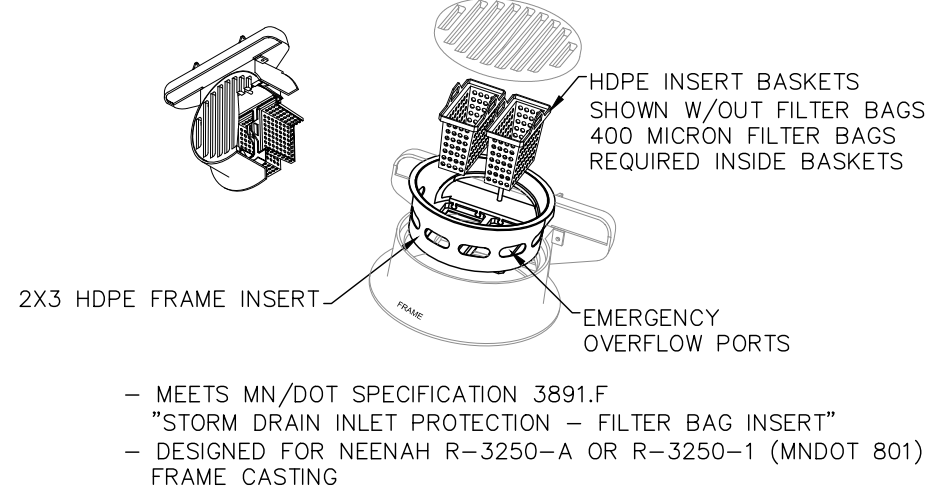
**INFRA SAFE - 2'x3' DEBRIS COLLECTION DEVICE**

AS MANUFACTURED BY ROYAL ENVIRONMENTAL SYSTEMS



**INFRA SAFE - 27" DEBRIS COLLECTION DEVICE**

AS MANUFACTURED BY ROYAL ENVIRONMENTAL SERVICES



**TABLE A  
MODIFIED CLASS 5  
SPECIFICATIONS**

% PASSING

1"	100
3/4"	90 - 100
3/8"	50 - 80
No.4	35 - 70
No.10	20 - 60
No.40	10 - 35
No.200	5 - 10

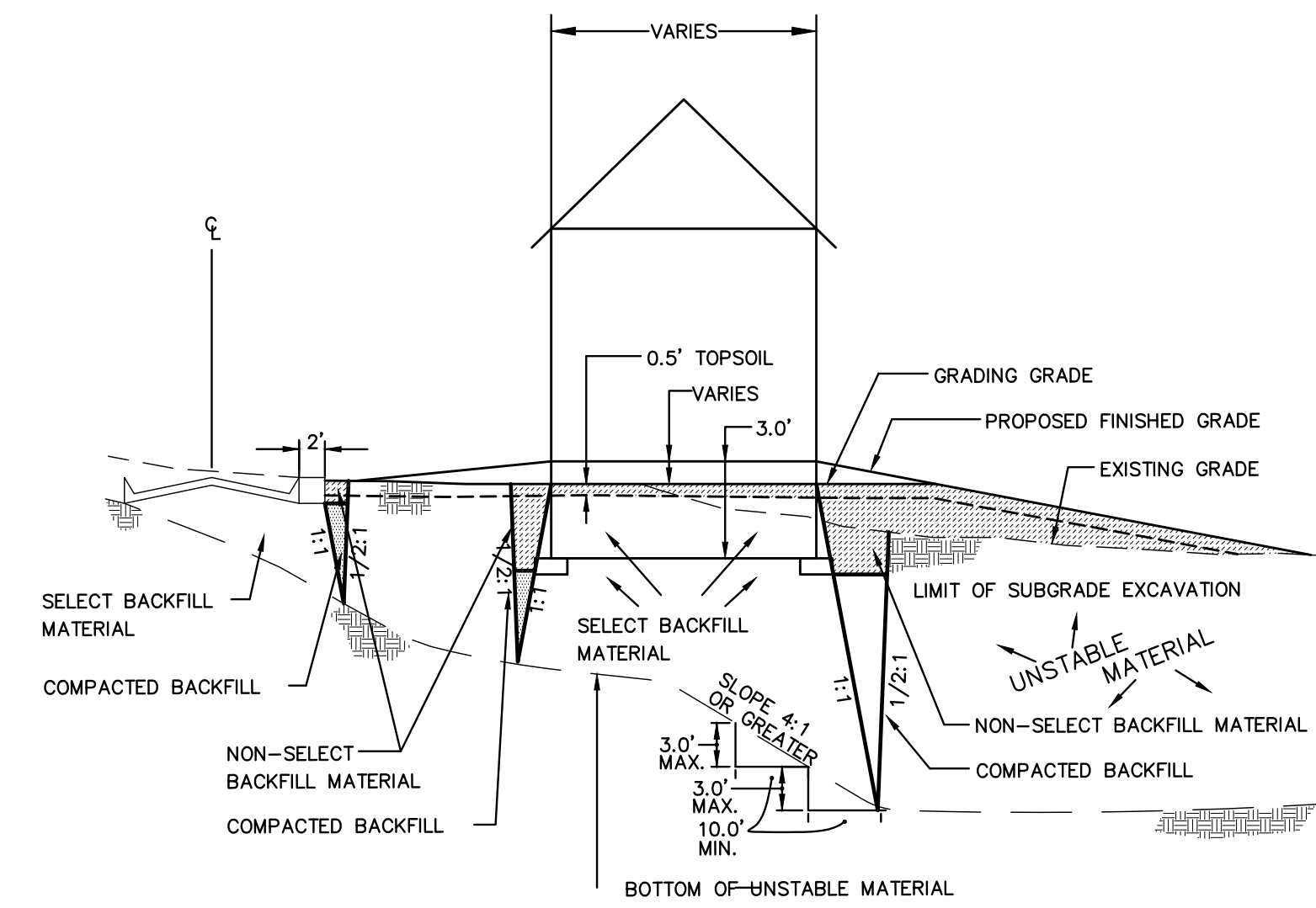
NOTES:  
1. THE AGGREGATE BASE CONSTRUCTION WILL BE ACCEPTED FOR PAYMENT IN ACCORDANCE WITH THE PROVISIONS IN TABLE A.  
2. IF THE AGGREGATE BASE FAILS TO MEET THE REQUIREMENTS OF TABLE A THE MATERIAL CAN BE CORRECTED IN PLACE OR REMOVED AND REPLACED WITH MATERIAL THAT MEET THE REQUIREMENTS OF TABLE A.  
3. IN THE EVENT THAT RECYCLED MATERIAL IS USED IT MUST MEET MNDOT REQUIREMENTS FOR RECYCLED BASE.

APPROVED: 2 - 2003

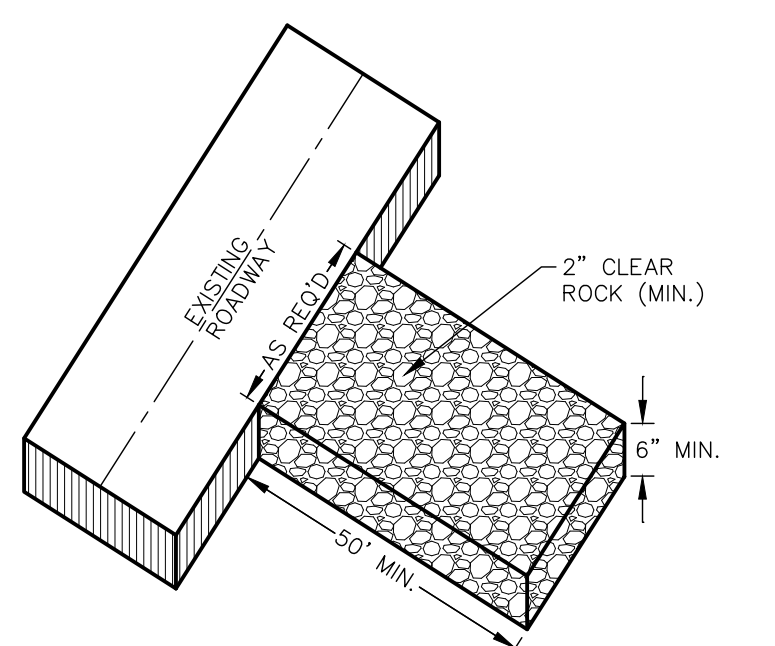
City of RAMSEY  
CITY PLAT. No. STR-26

STANDARD DETAILS:  
MODIFIED CLASS 5  
SPECIFICATIONS

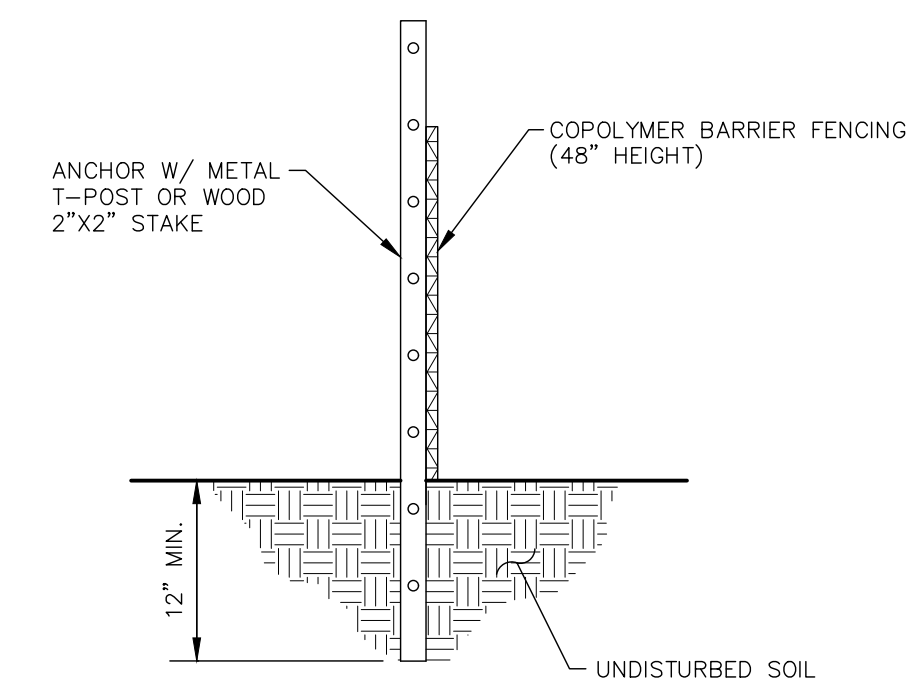
**SUBGRADE CORRECTION**



**ROCK CONSTRUCTION ENTRANCE**

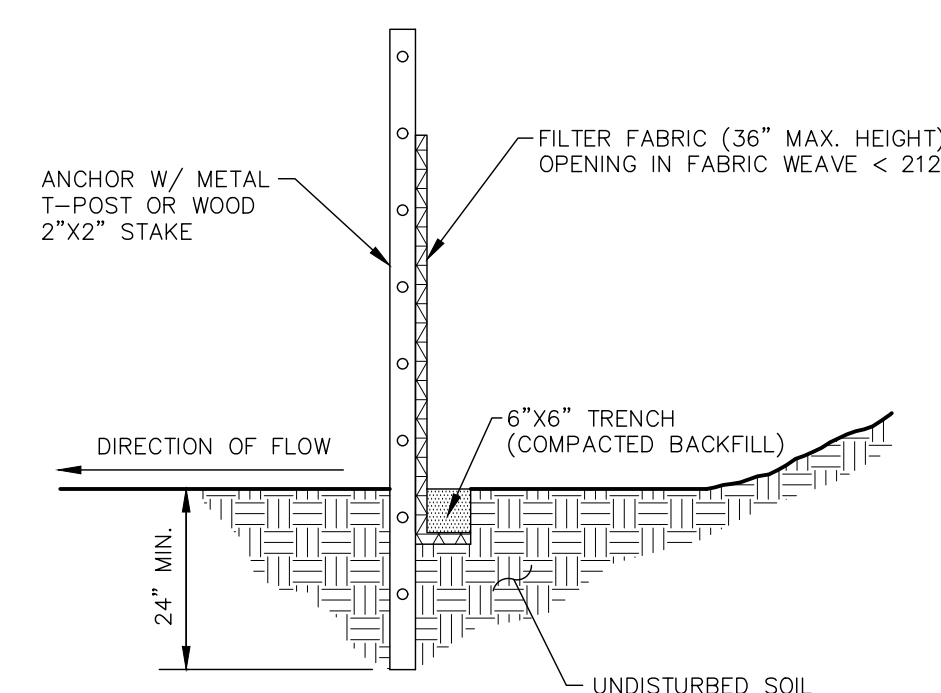


**TREE FENCE**



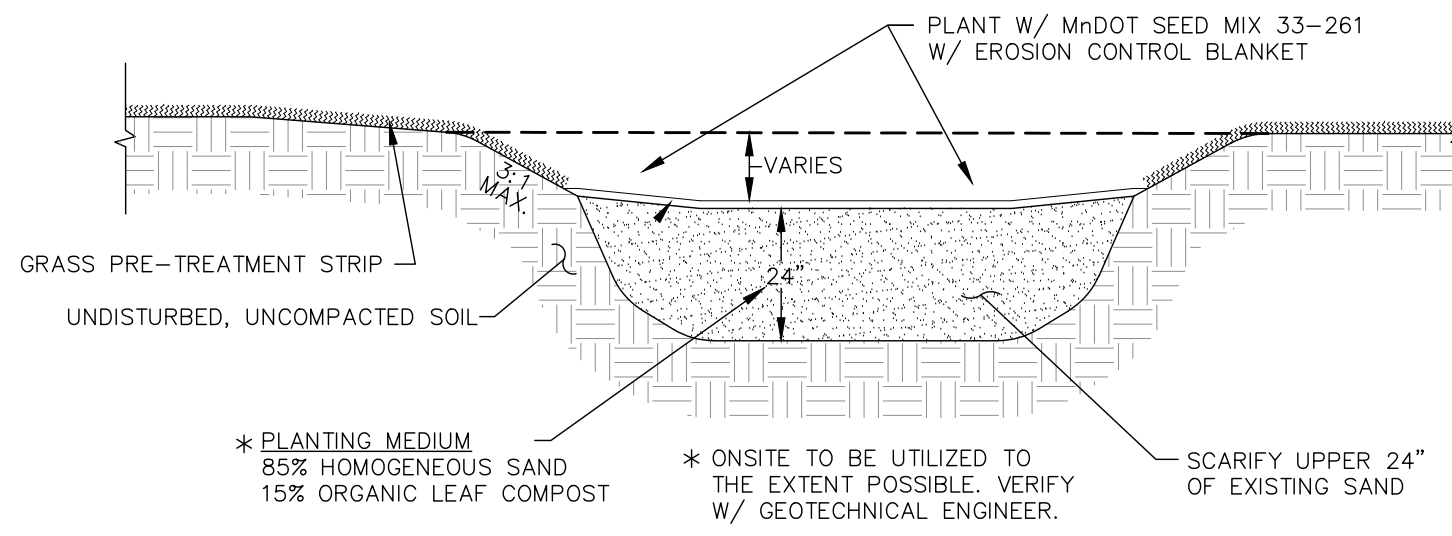
- NOTES:
- TREE FENCING SHALL BE PLACED A MINIMUM OF 1 FOOT PER CALIPER INCH OF TREE DIAMETER FROM TREE(S) THAT IS/ARE TO BE SAVED.
  - ANCHOR POST MAY BE SPACED UP TO 10 FEET APART.
  - SECURELY ATTACH TREE FENCE TO ANCHOR POSTS W/ MINIMUM OF TWO ATTACHMENTS PER POST.
  - SEE MNDOT SPECIFICATION 2572.

**SILT FENCE**

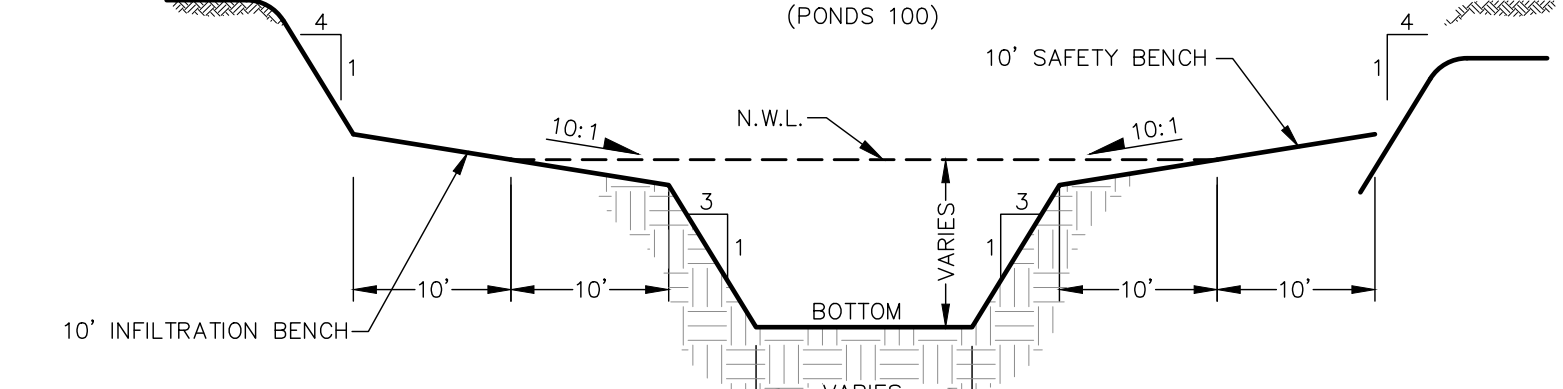


- NOTES:
- DIG A 6"x6" TRENCH ALONG THE INTENDED SILT FENCE LINE.
  - DRIVE ALL ANCHOR POSTS INTO THE GROUND AT THE DOWNHILL SIDE OF THE TRENCH.
  - POSTS SHALL BE SPACED A MAXIMUM OF 6 FEET APART.
  - LAY OUT SILT FENCE ALONG THE UPHILL SIDE OF THE ANCHOR POSTS AND BACK FILL 6"x6" TRENCH.
  - SECURELY ATTACH SILT FENCE TO ANCHOR POSTS W/ MINIMUM OF THREE ATTACHMENTS PER POST.
  - SEE MNDOT SPECIFICATIONS 2573 & 3886.

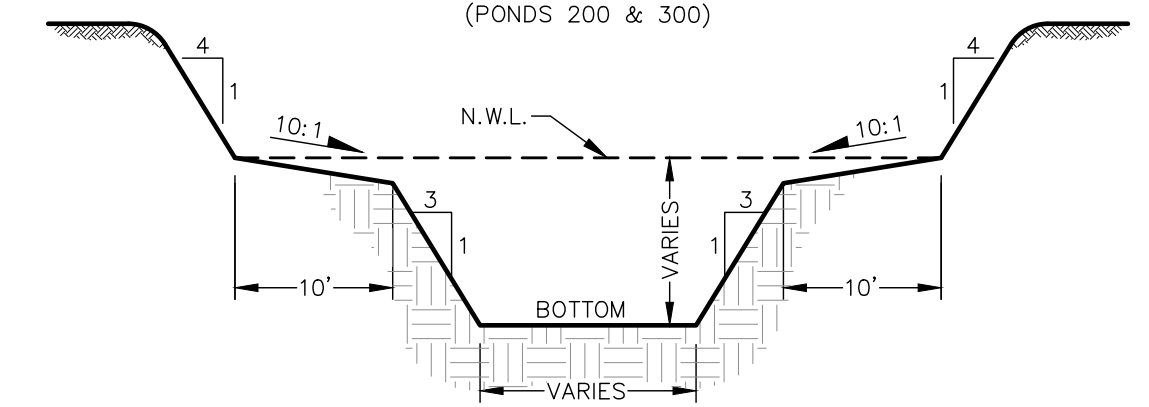
**INFILTRATION BASIN**



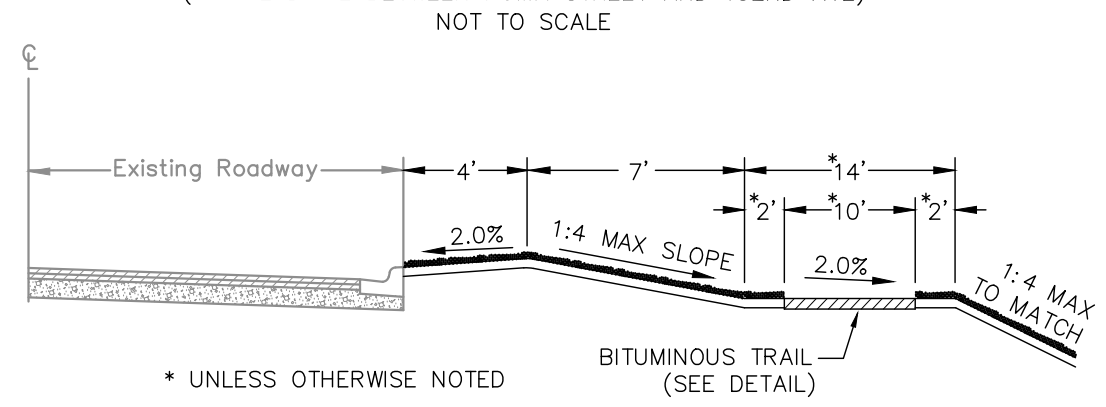
**TYPICAL POND SECTION (PONDS 100)**



**TYPICAL POND SECTION (PONDS 200 & 300)**



**TYPICAL TRAIL SECTION**



**TURF ESTABLISHMENT**

TURF ESTABLISHMENT SHALL APPLY TO ALL DISTURBED AREAS AND SHALL BE ACCORDING TO MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION (LATEST EDITION) EXCEPT AS MODIFIED BELOW.

TURF ESTABLISHMENT SHALL OCCUR AS SOON AS POSSIBLE BUT IN NO CASE MORE THAN 7 DAYS.

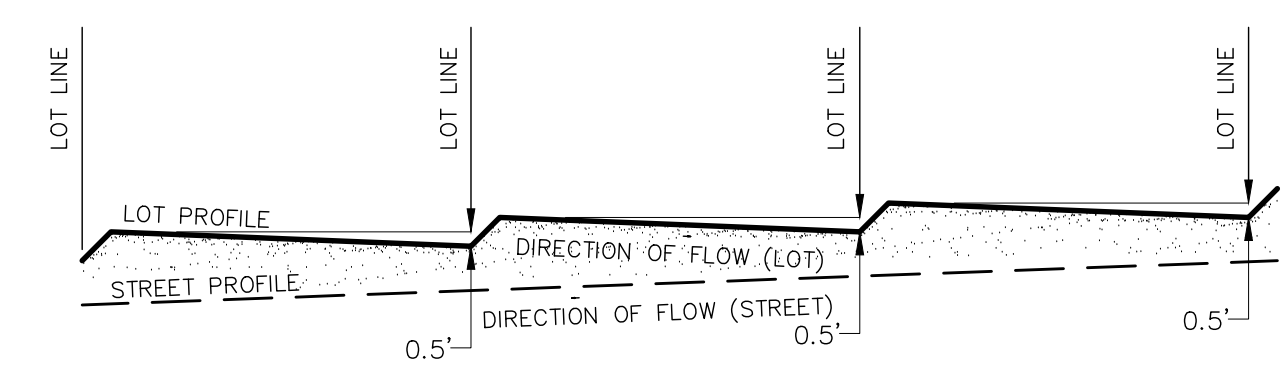
SEED: MNDOT MIXTURE 25-141 AT 60 POUNDS PER ACRE.

DORMANT SEED: SHALL BE APPLIED AT TWICE THE NORMAL RATE AFTER NOVEMBER 1ST.

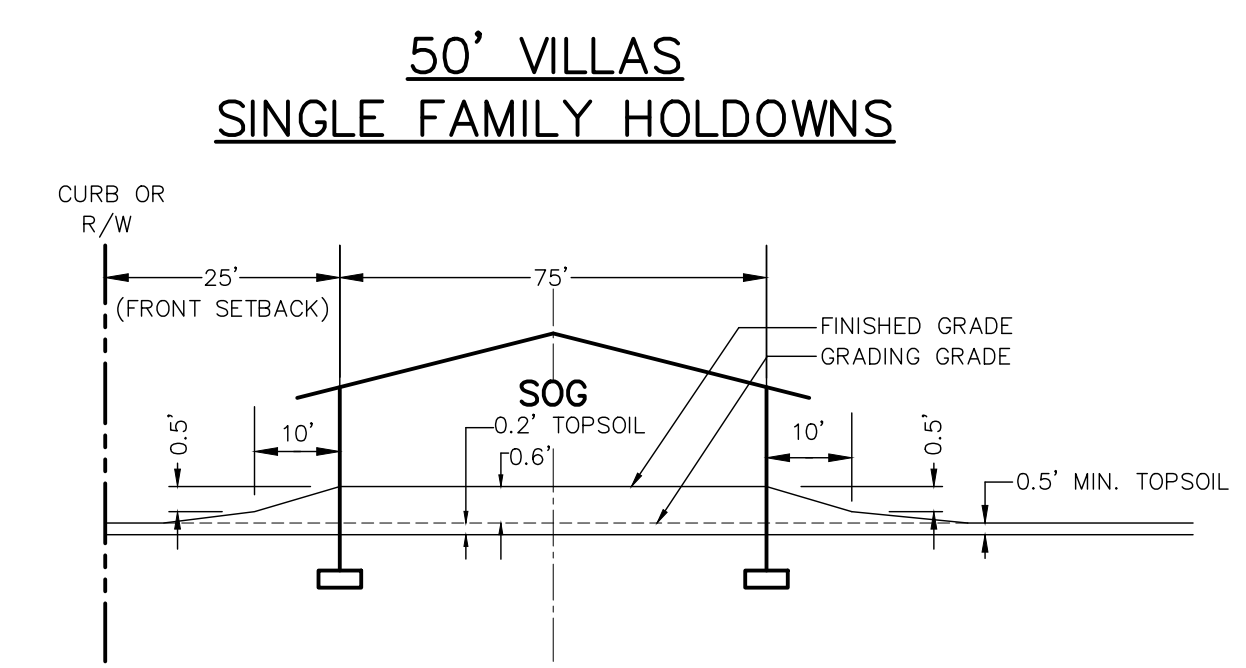
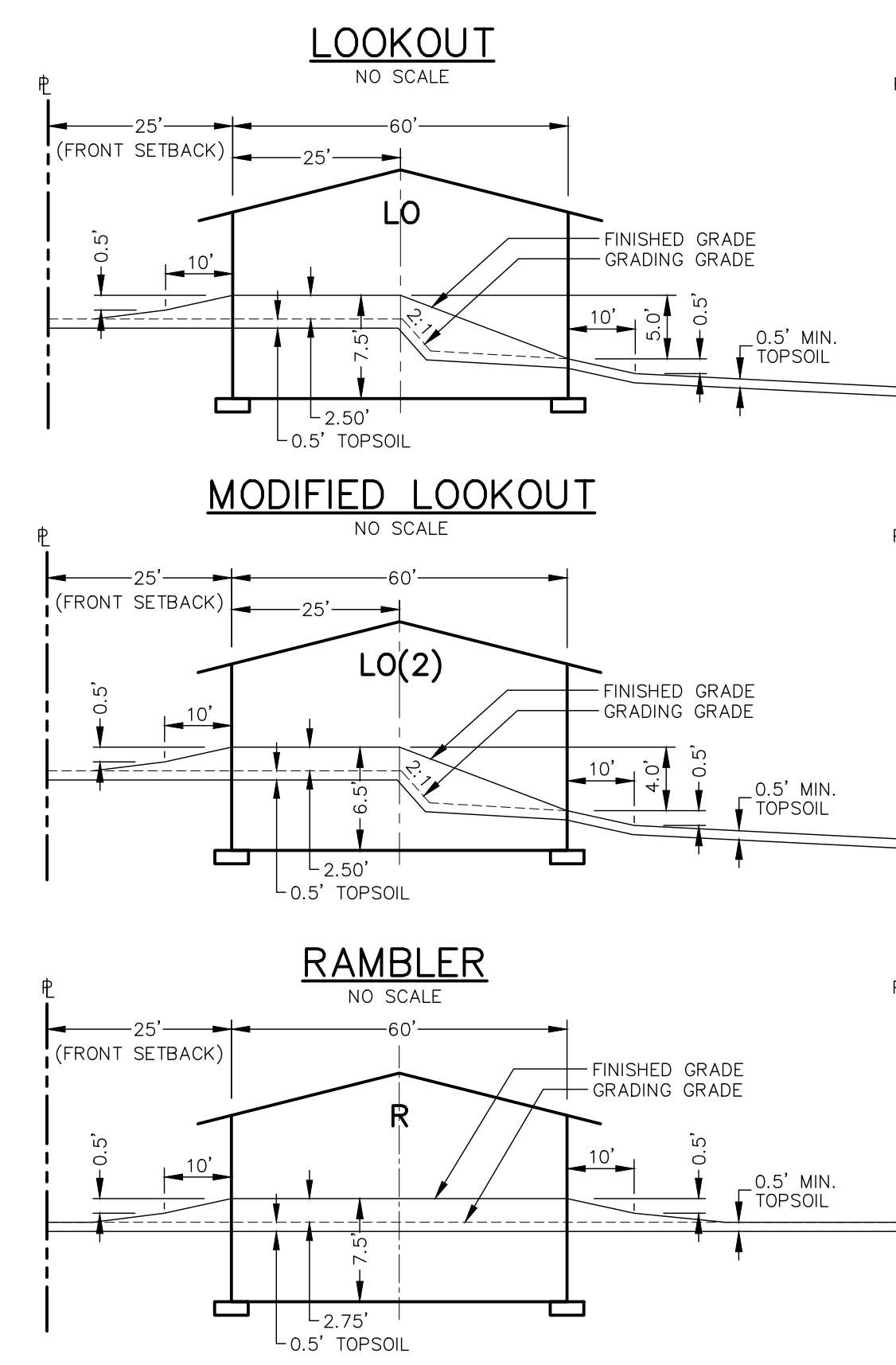
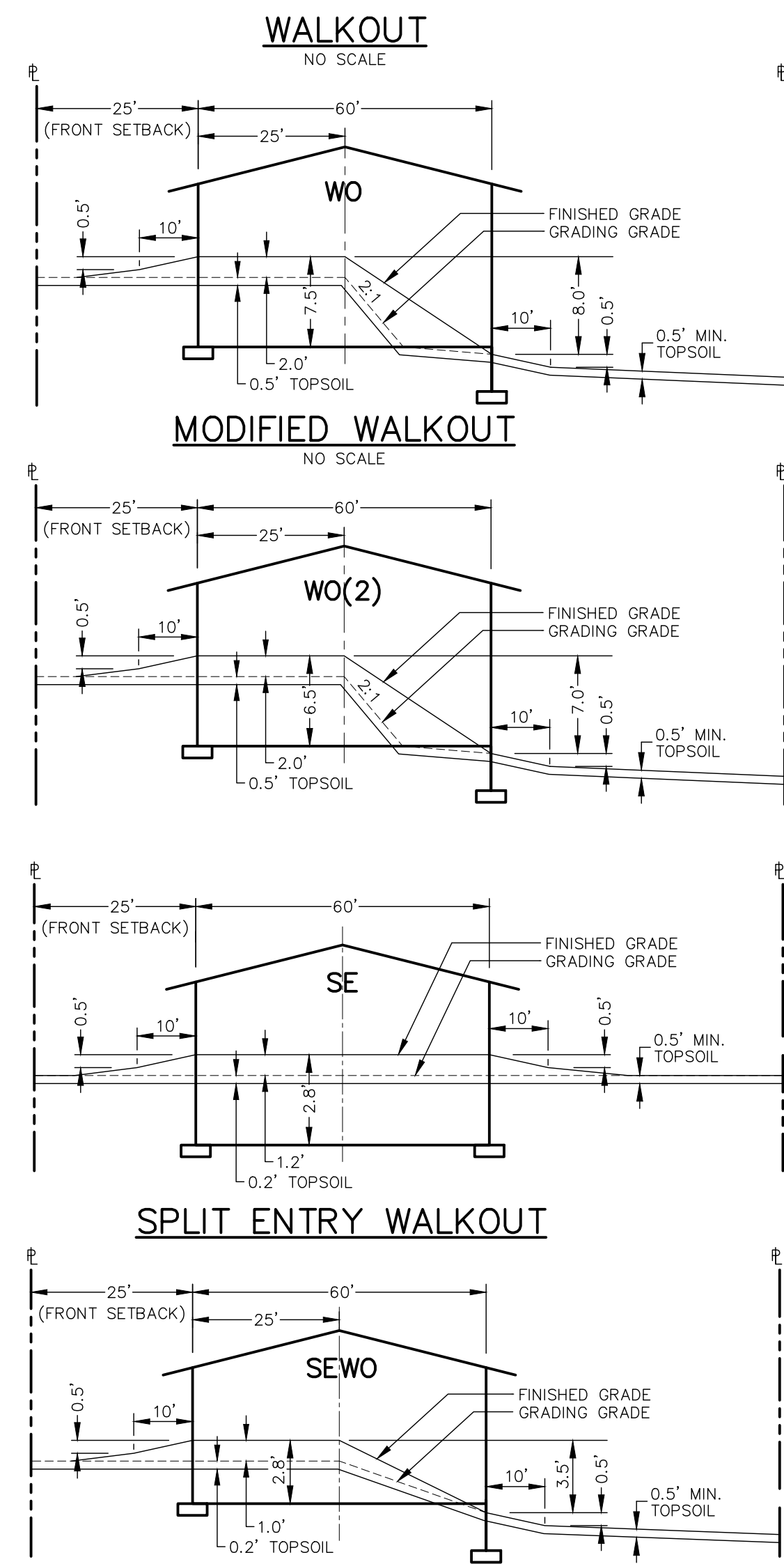
MULCH: TYPE 1 AT 2 TONS PER ACRE (DISK ANCHORED).

FERTILIZER: TYPE 1 10-10-10 AT 200 POUNDS PER ACRE.

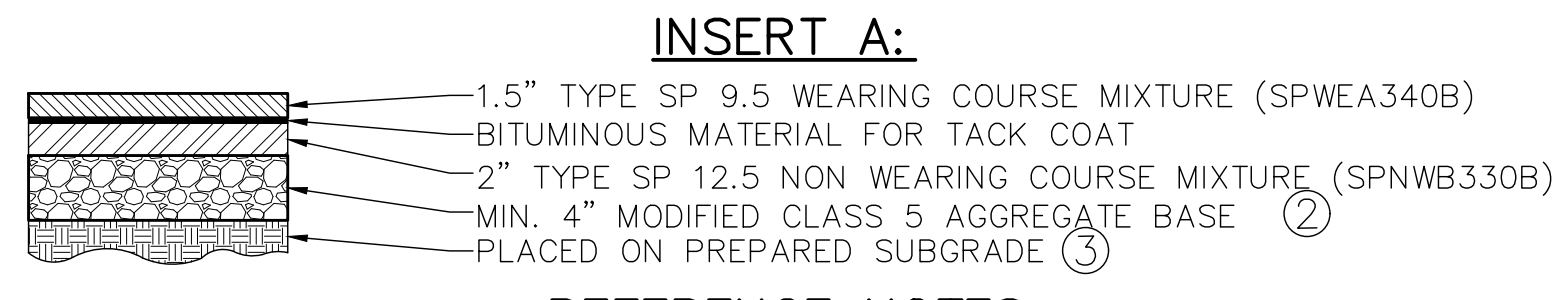
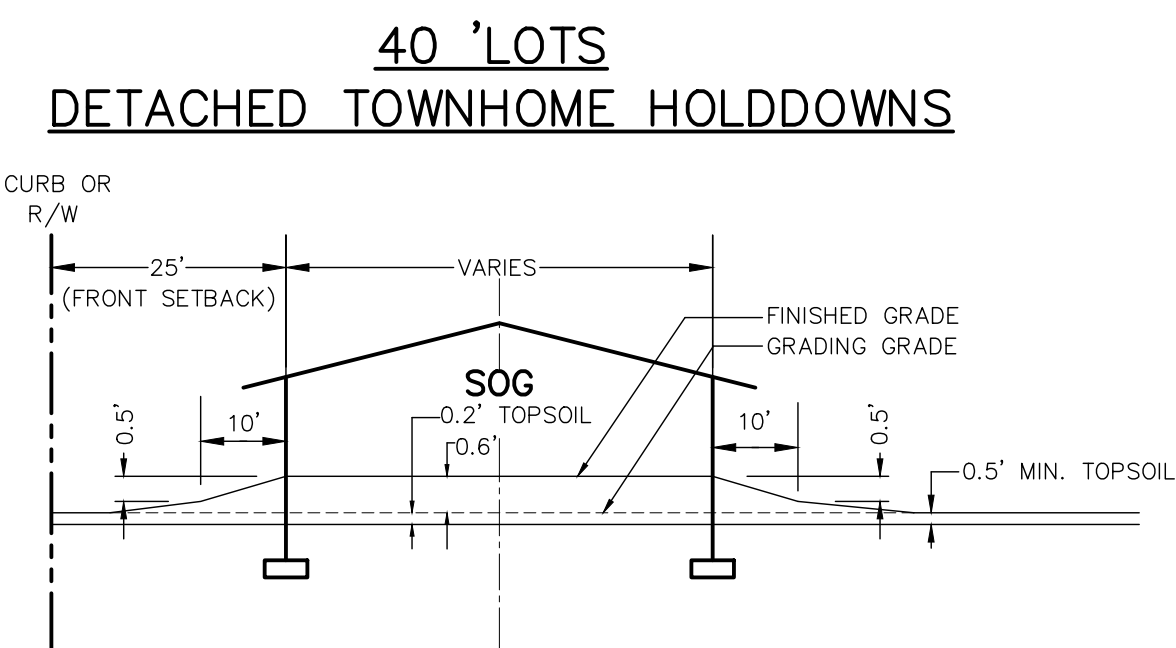
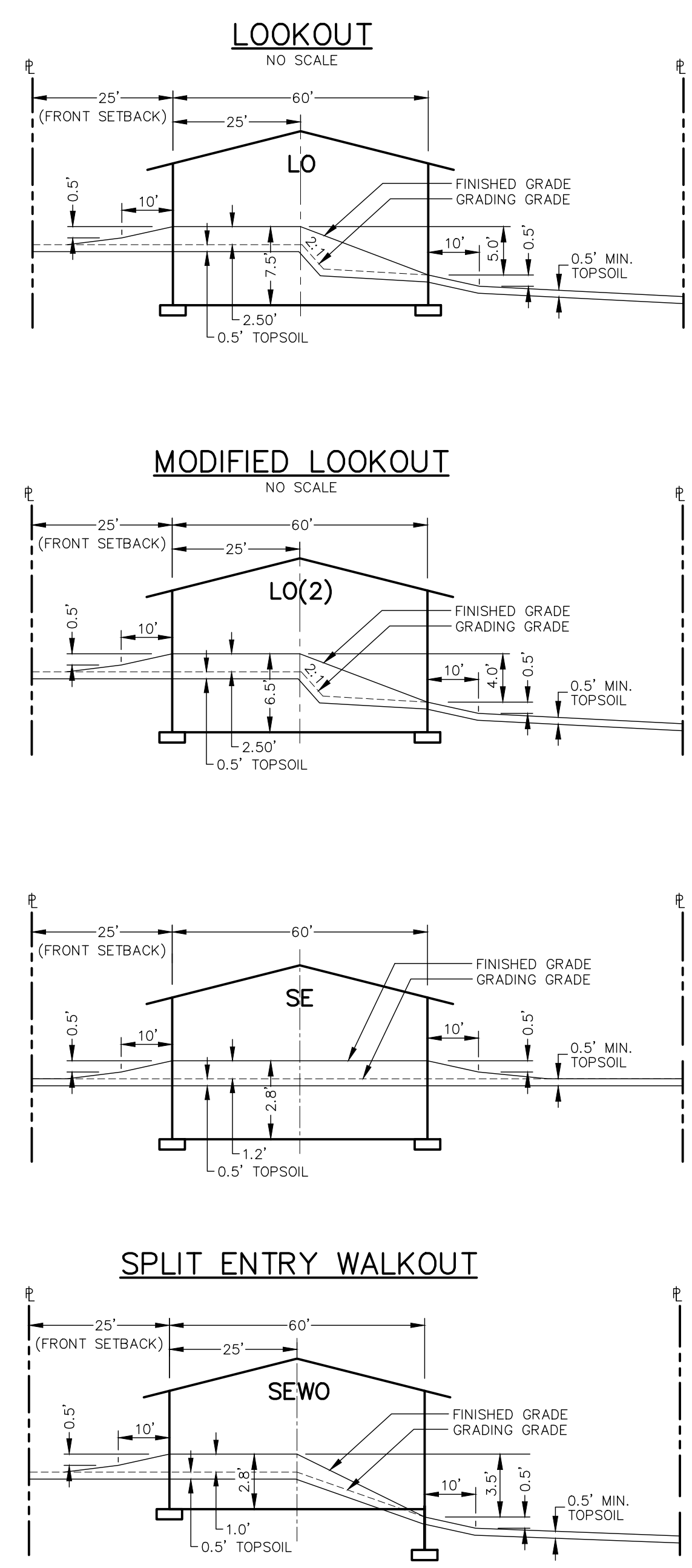
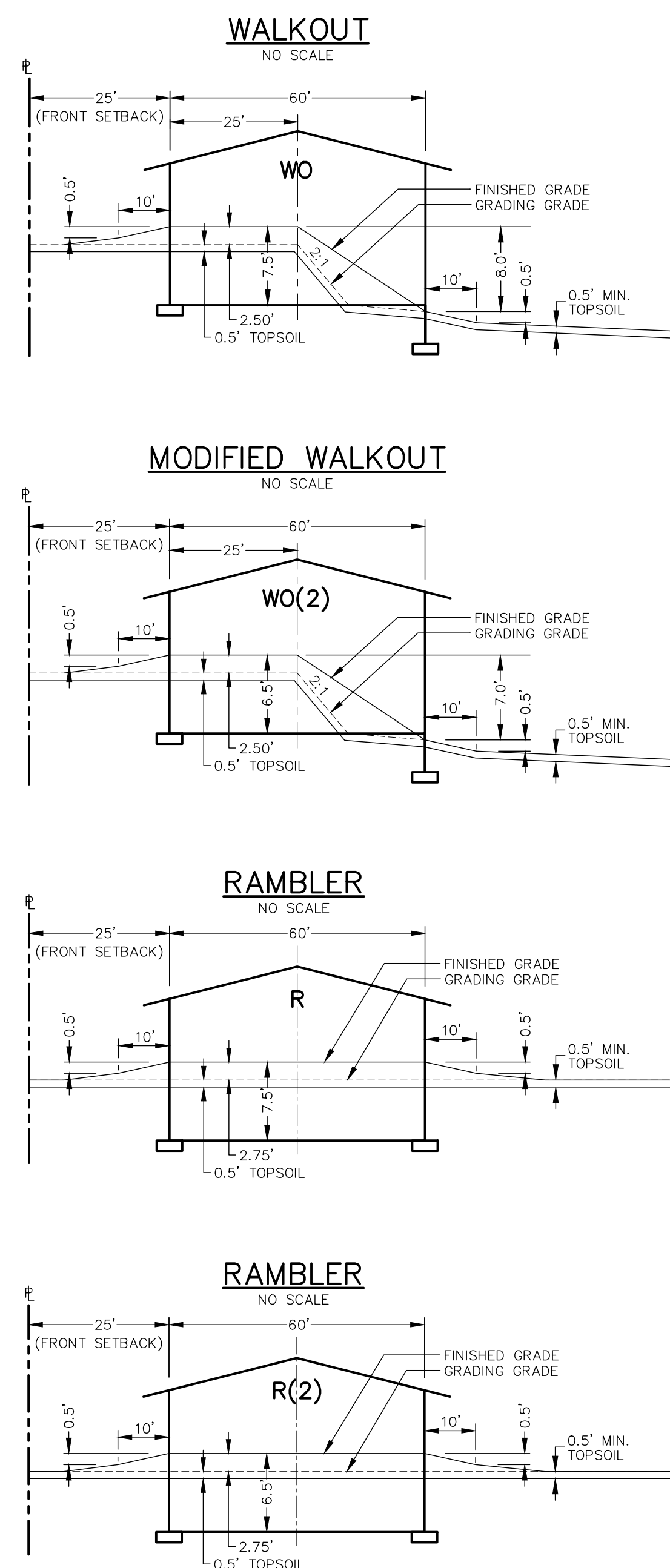
**LOT BENCHING DETAIL**



65' LOTS

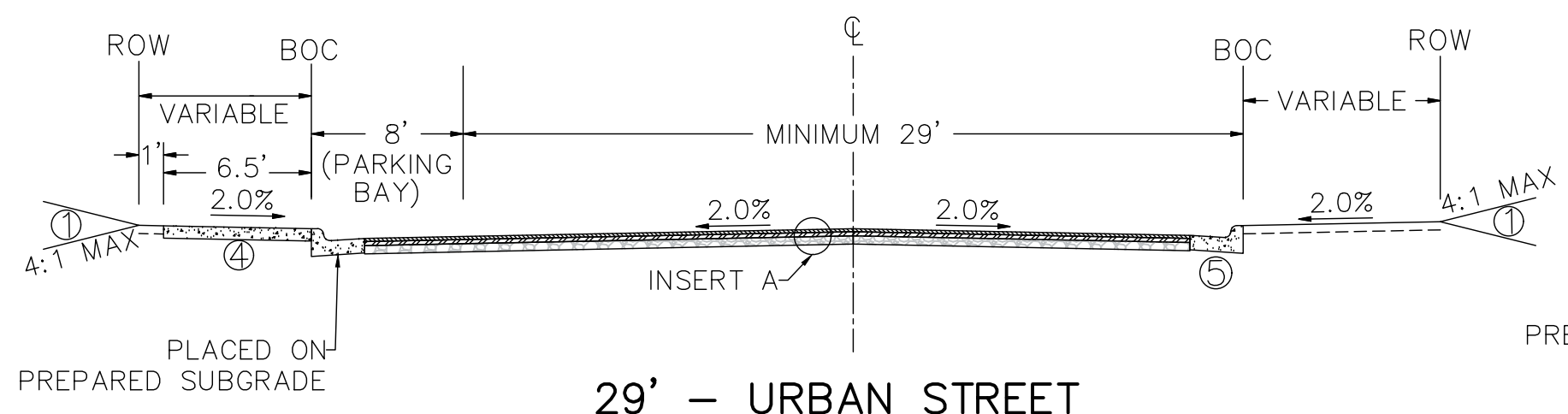


50' LOTS

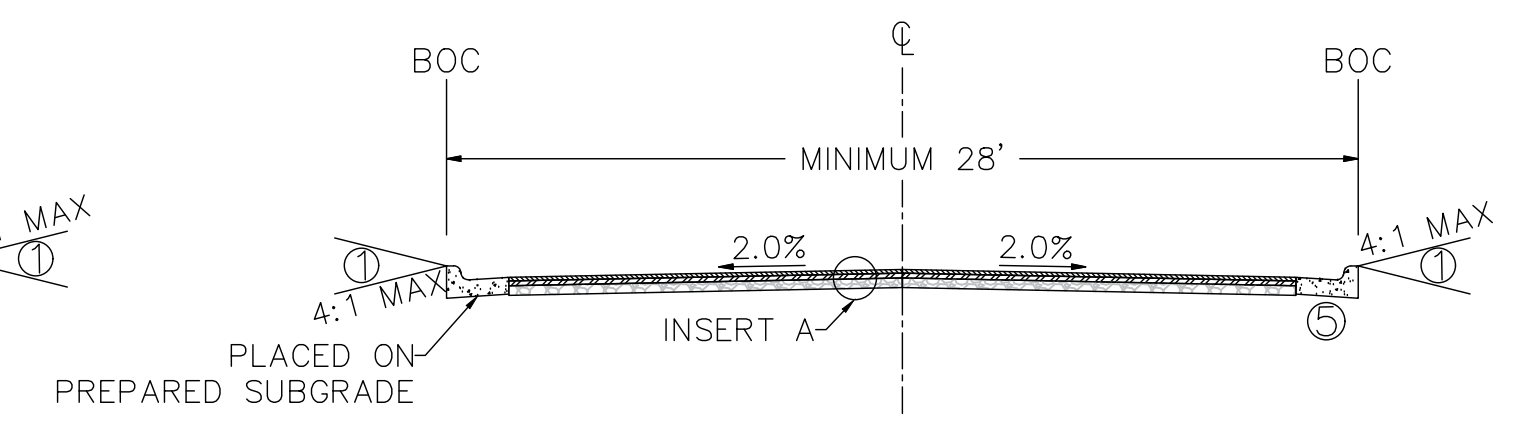


- REFERENCE NOTES:**
- GRADE TO MATCH EXISTING SURFACE MINIMUM 4" COMMON TOPSOIL BORROW IN BOULEVARDS. SEE CITY PLATE No. ERO-6
  - CLASS 5 GRADATION IS MODIFIED PER CITY PLATE No. STR-26
  - CONTRACTOR SHALL SCARIFY AND COMPACT, ACCORDING TO THE SPECIFIED DENSITY METHOD, THE TOP 12 INCHES OF MATERIAL PRIOR TO PLACING ANY FILL MATERIALS OR CLASS 5 AGGREGATE BASE.
  - ALL SIDEWALKS SHALL BE 6" THICK, 6' WIDE, PLACED ON PREPARED SUBGRADE.
  - CONCRETE CURB AND GUTTER PER PLAN. SEE CITY PLATE No. STR-1.

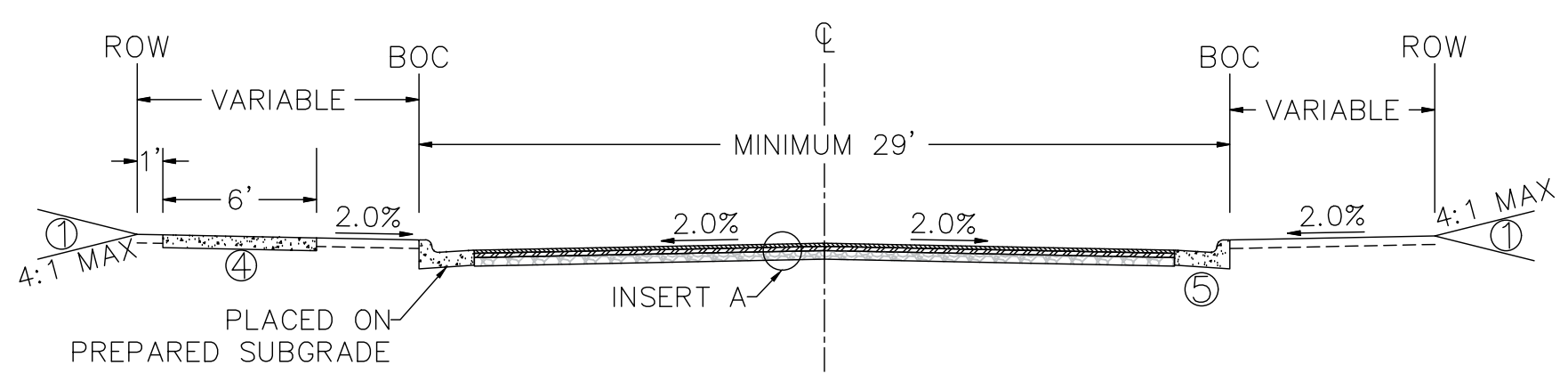
29' - URBAN STREET W/ PARKING BAY



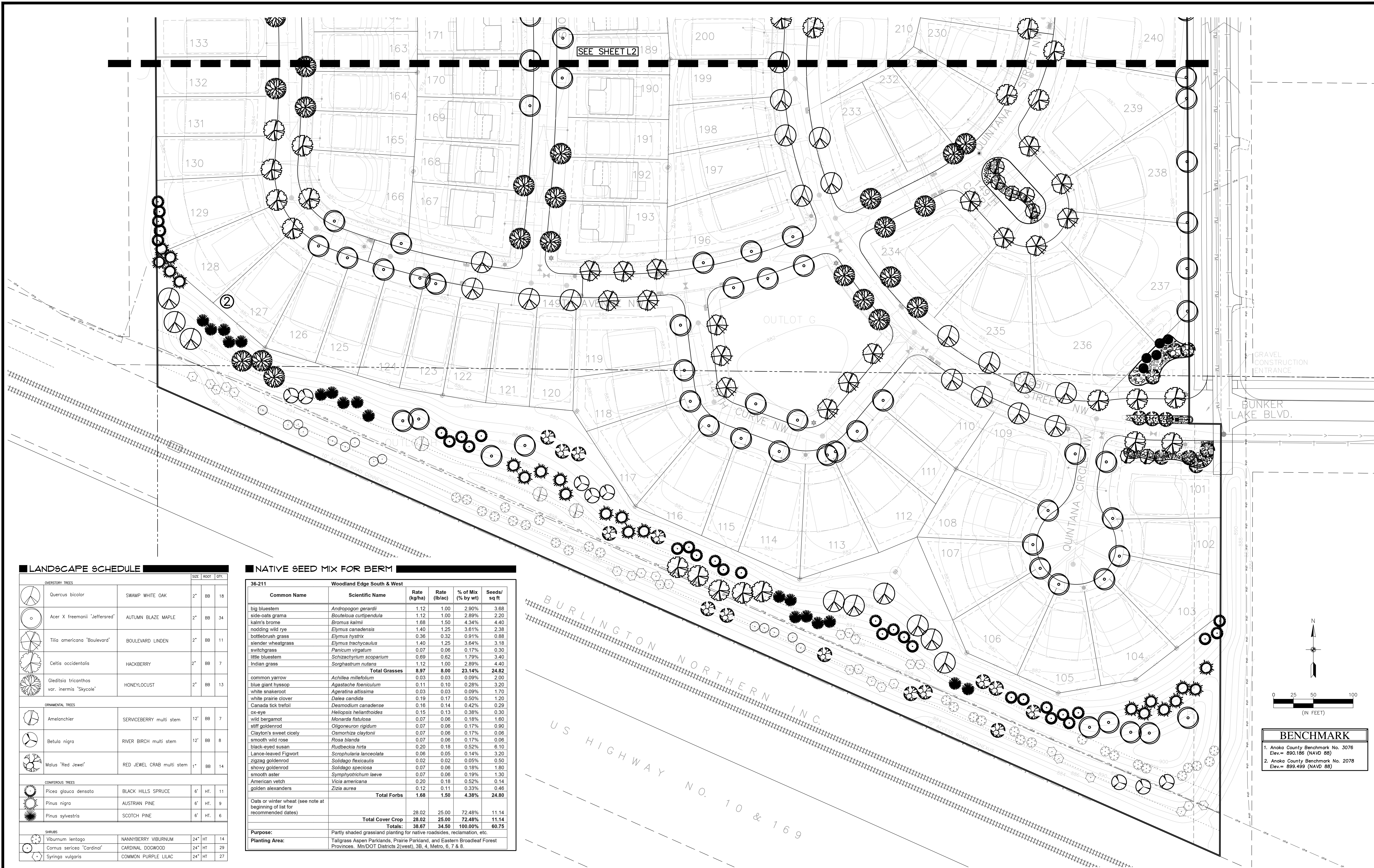
28' - PRIVATE STREET



29' - URBAN STREET







**LANDSCAPE SCHEDULE**

OVERSTORY TREES	SIZE	ROOT	QTY.
Quercus bicolor	SWAMP WHITE OAK	2"	BB 18
Acer X freemanii 'Jeffersred'	AUTUMN BLAZE MAPLE	2"	BB 34
Tilia americana 'Boulevard'	BOULEVARD LINDEN	2"	BB 11
Celtis occidentalis	HACKBERRY	2"	BB 7
Gleditsia tricanthos var. inermis 'Skycole'	HONEYLOCUST	2"	BB 13
ORNAMENTAL TREES	SIZE	ROOT	QTY.
Amelanchier	SERVICEBERRY multi stem	12"	BB 7
Betula nigra	RIVER BIRCH multi stem	12"	BB 8
Malus 'Red Jewel'	RED JEWEL CRAB multi stem	1"	BB 14
CONIFEROUS TREES	SIZE	ROOT	QTY.
Picea glauca densata	BLACK HILLS SPRUCE	6"	HT. 11
Pinus nigra	AUSTRIAN PINE	6"	HT. 9
Pinus sylvestris	SCOTCH PINE	6"	HT. 6
SHRUBS	SIZE	ROOT	QTY.
Viburnum lentago	NANNYBERRY VIBURNUM	24"	HT 14
Cornus sericea 'Cardinal'	CARDINAL DOGWOOD	24"	HT 29
Syringa vulgaris	COMMON PURPLE LILAC	24"	HT 27

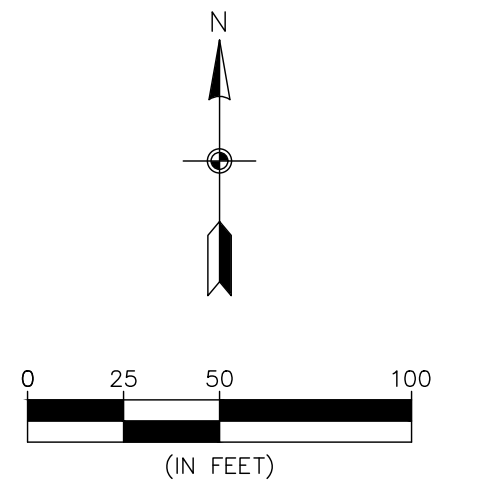
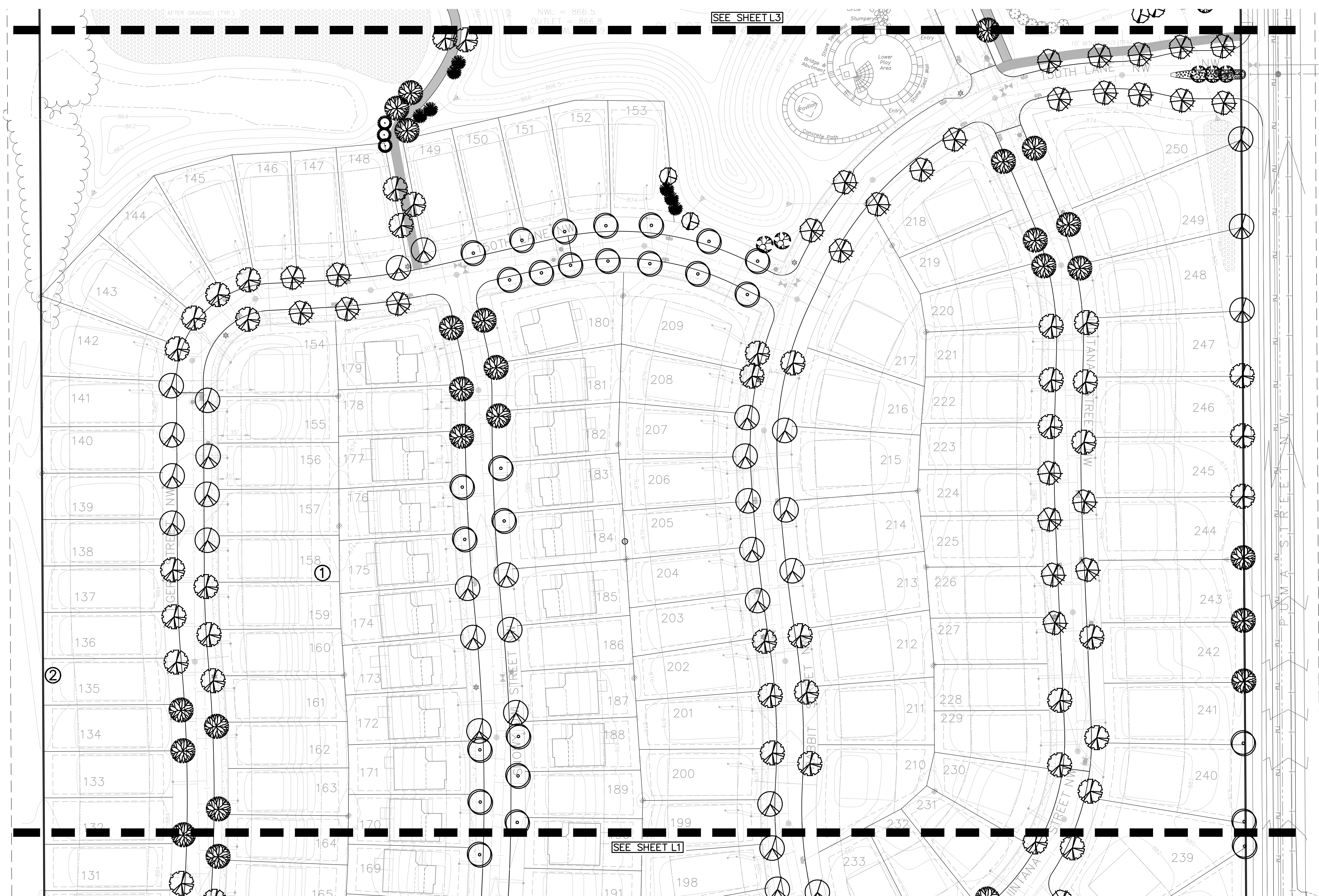
**NATIVE SEED MIX FOR BERM**

Common Name	Scientific Name	Rate (kg/ha)	Rate (lb/ac)	% of Mix (% by wt)	Seeds/sq ft
big bluestem	<i>Andropogon gerardii</i>	1.12	1.00	2.90%	3.68
side-oats grama	<i>Bouteloua curtipendula</i>	1.12	1.00	2.89%	2.20
kalm's brome	<i>Bromus kalmii</i>	1.68	1.50	4.34%	4.40
nodding wild rye	<i>Elymus canadensis</i>	1.40	1.25	3.61%	2.38
bottlebrush grass	<i>Elymus hystrix</i>	0.36	0.32	0.91%	0.88
slender wheatgrass	<i>Elymus trachycaulus</i>	1.40	1.25	3.64%	3.18
switchgrass	<i>Panicum virgatum</i>	0.07	0.06	0.17%	0.30
little bluestem	<i>Schizachyrium scoparium</i>	0.69	0.62	1.79%	3.40
Indian grass	<i>Sorghastrum nutans</i>	1.12	1.00	2.89%	4.40
<b>Total Grasses</b>		<b>8.97</b>	<b>8.00</b>	<b>23.14%</b>	<b>24.82</b>
common yarrow	<i>Achillea millefolium</i>	0.03	0.03	0.09%	2.00
blue giant hyssop	<i>Agastache foeniculum</i>	0.11	0.10	0.28%	3.20
white snakeroot	<i>Ageratina altissima</i>	0.03	0.03	0.09%	1.70
white prairie clover	<i> Dalea candida</i>	0.19	0.17	0.50%	1.20
Canada tick trefoil	<i>Desmodium canadense</i>	0.16	0.14	0.42%	0.29
ox-eye	<i>Helopsis helianthoides</i>	0.15	0.13	0.38%	0.30
wild bergamot	<i>Monarda fistulosa</i>	0.07	0.06	0.18%	1.60
stiff goldenrod	<i>Oligoneuron rigidum</i>	0.07	0.06	0.17%	0.90
Clayton's sweet cicely	<i>Osmorhiza claytonii</i>	0.07	0.06	0.17%	0.06
smooth wild rose	<i>Rosa blanda</i>	0.07	0.06	0.17%	0.06
black-eyed susan	<i>Rudbeckia hirta</i>	0.20	0.18	0.52%	6.10
lance-leaved Figwort	<i>Scrophularia lanceolata</i>	0.06	0.05	0.14%	3.20
zigzag goldenrod	<i>Solidago flexicaulis</i>	0.02	0.02	0.05%	0.50
showy goldenrod	<i>Solidago speciosa</i>	0.07	0.06	0.18%	1.80
smooth aster	<i>Symphotrichum laeve</i>	0.07	0.06	0.19%	1.30
American vetch	<i>Vicia americana</i>	0.20	0.18	0.52%	0.14
golden alexanders	<i>Zizia aurea</i>	0.12	0.11	0.33%	0.46
<b>Total Forbs</b>		<b>1.68</b>	<b>1.50</b>	<b>4.38%</b>	<b>24.80</b>
Oats or winter wheat (see note at beginning of list for recommended dates)		28.02	25.00	72.48%	11.14
<b>Total Cover Crop</b>		<b>28.02</b>	<b>25.00</b>	<b>72.48%</b>	<b>11.14</b>
<b>Totals:</b>		<b>38.67</b>	<b>34.50</b>	<b>100.00%</b>	<b>60.75</b>

**Purpose:** Partly shaded grassland planting for native roadsides, reclamation, etc.  
**Planting Area:** Tallgrass Aspen Parklands, Prairie Parkland, and Eastern Broadleaf Forest Provinces. Mn/DOT Districts 2(west), 3B, 4, Metro, 6, 7 & 8.

**LANDSCAPE SCHEDULE**

		SIZE	ROOT	QTY.
<b>OVERSTORY TREES</b>				
	Quercus bicolor	SWAMP WHITE OAK	2"	BB 28
	Acer X freemanii 'Jeffersred'	AUTUMN BLAZE MAPLE	2"	BB 24
	Tilia americana 'Boulevard'	BOULEVARD LINDEN	2"	BB 27
	Celtis occidentalis	HACKBERRY	2"	BB 39
	Gleditsia tricanthos var. inermis 'Skycole'	HONEYLOCUST	2"	BB 22
<b>ORNAMENTAL TREES</b>				
	Amelanchier	SERVICEBERRY multi stem	12'	BB 2
	Betula nigra	RIVER BIRCH multi stem	12'	BB -
	Malus 'Red Jewel'	RED JEWEL CRAB multi stem	1"	BB 5
<b>CONIFEROUS TREES</b>				
	Picea glauca densata	BLACK HILLS SPRUCE	6'	HT. 3
	Pinus nigra	AUSTRIAN PINE	6'	HT. -
	Pinus sylvestris	SCOTCH PINE	6'	HT. 7
<b>SHRUBS</b>				
	Viburnum lentago	NANNYBERRY VIBURNUM	24"	HT -
	Cornus sericea 'Cardinal'	CARDINAL DOGWOOD	24"	HT -
	Syringa vulgaris	COMMON PURPLE LILAC	24"	HT -



**BENCHMARK**

- Anoka County Benchmark No. 3076  
Elev. = 890.186 (NAVD 88)
- Anoka County Benchmark No. 2078  
Elev. = 899.499 (NAVD 88)

**Carlson McCain**  
 • environmental  
 • engineering  
 • surveying

3890 Pheasant Ridge Drive NE,  
 Suite 100  
 Blaine, MN 55449  
 Phone: (763) 489-7900  
 Fax: (763) 489-7959  
 www.carlsonmccain.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota

Print Name: Ryan J. Rutger  
 Signature:   
 Date: 12/04/19 License #: 56346

Drawn: SDB  
 Designed: SDB  
 Date: 04/13/18

Revisions:  
 1. 5/24/17 Per City Comments  
 2. 6/23/17 Per City Comments  
 3. 4/13/18 Revise Street names, B12L15-28 & B13L1-13 & add NE Trail  
 4. 6/13/18 Per City Comments  
 5. 12/4/19 Revise Layout Per Owner

**RIVERSTONE DEVELOPMENT, LLC.**  
 14015 Sunfish Lake B, Suite 400  
 Ramsey, MN 55303

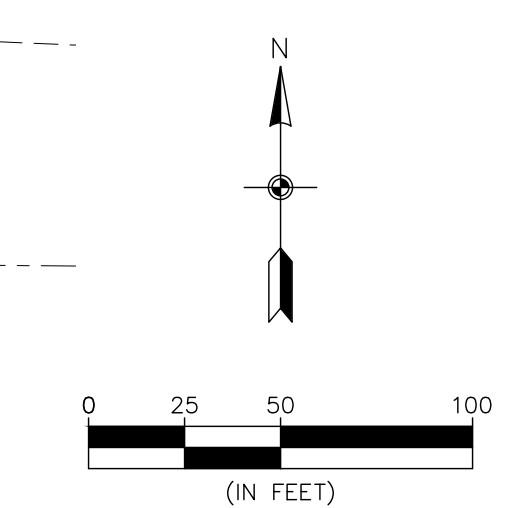
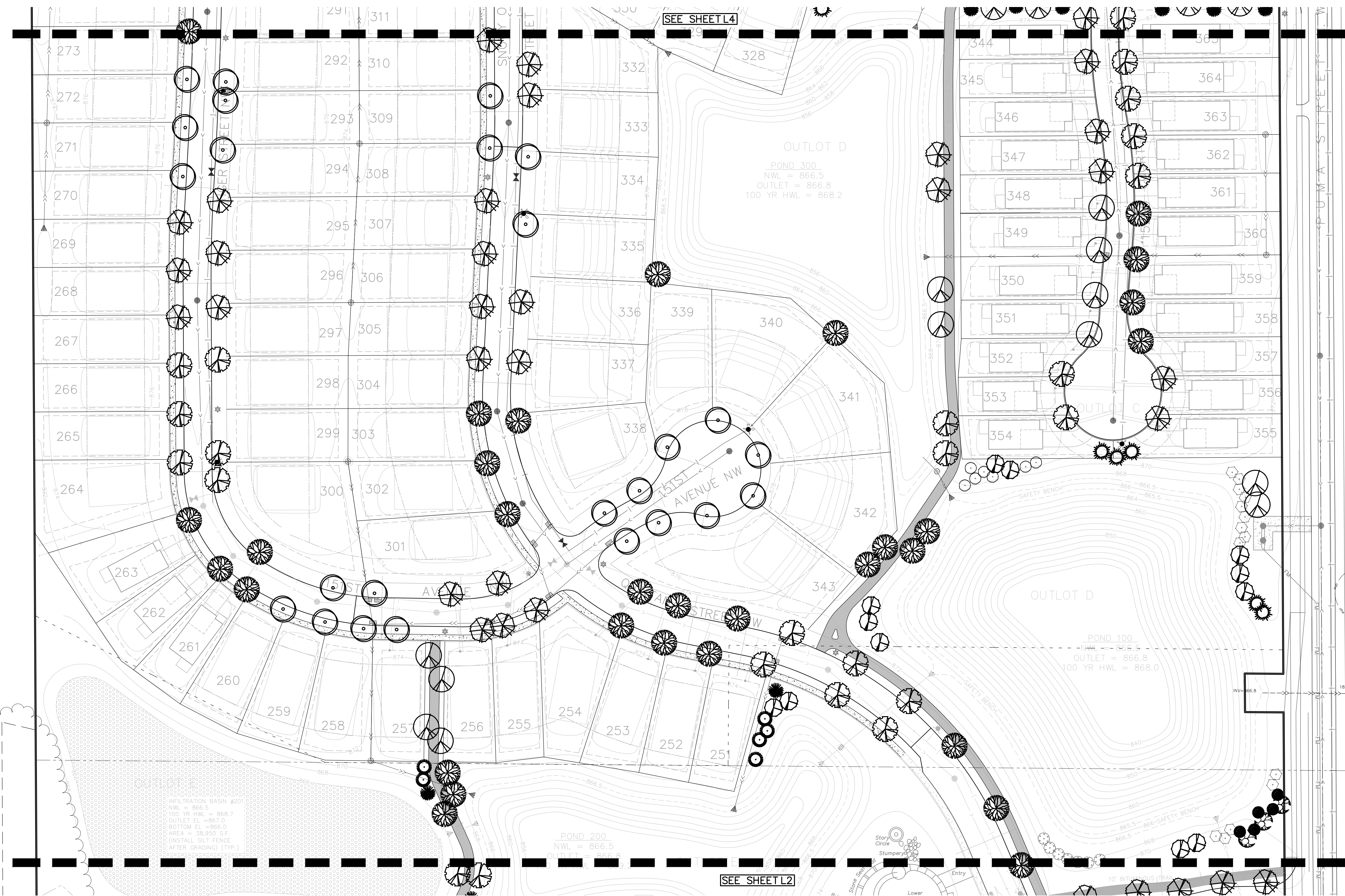
**RIVERSTONE**  
 Ramsey, MN

**LANDSCAPE PLAN**

L2  
 of  
 5

**LANDSCAPE SCHEDULE**

			SIZE	ROOT	QTY.
<b>OVERSTORY TREES</b>					
	Quercus bicolor	SWAMP WHITE OAK	2"	BB	12
	Acer X freemanii 'Jeffersred'	AUTUMN BLAZE MAPLE	2"	BB	25
	Tilia americana 'Boulevard'	BOULEVARD LINDEN	2"	BB	27
	Celtis occidentalis	HACKBERRY	2"	BB	20
	Gleditsia tricanthos var. inermis 'Skycole'	HONEYLOCUST	2"	BB	30
<b>ORNAMENTAL TREES</b>					
	Amelanchier	SERVICEBERRY multi stem	12"	BB	12
	Betula nigra	RIVER BIRCH multi stem	12"	BB	-
	Malus 'Red Jewel'	RED JEWEL CRAB multi stem	1"	BB	3
<b>CONIFEROUS TREES</b>					
	Picea glauca densata	BLACK HILLS SPRUCE	6"	HT.	6
	Pinus nigra	AUSTRIAN PINE	6"	HT.	5
	Pinus sylvestris	SCOTCH PINE	6"	HT.	2
<b>SHRUBS</b>					
	Viburnum lentago	NANNYBERRY VIBURNUM	24"	HT	7
	Cornus sericea 'Cardinal'	CARDINAL DOGWOOD	24"	HT	7
	Syringa vulgaris	COMMON PURPLE LILAC	24"	HT	14



**BENCHMARK**

- Anoka County Benchmark No. 3076  
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- Anoka County Benchmark No. 2078  
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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota

Print Name: Ryan J. Rutger  
Signature:

Date: 12/04/19 License #: 56346

Drawn: SDB  
Designed: SDB

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Date: 04/13/18

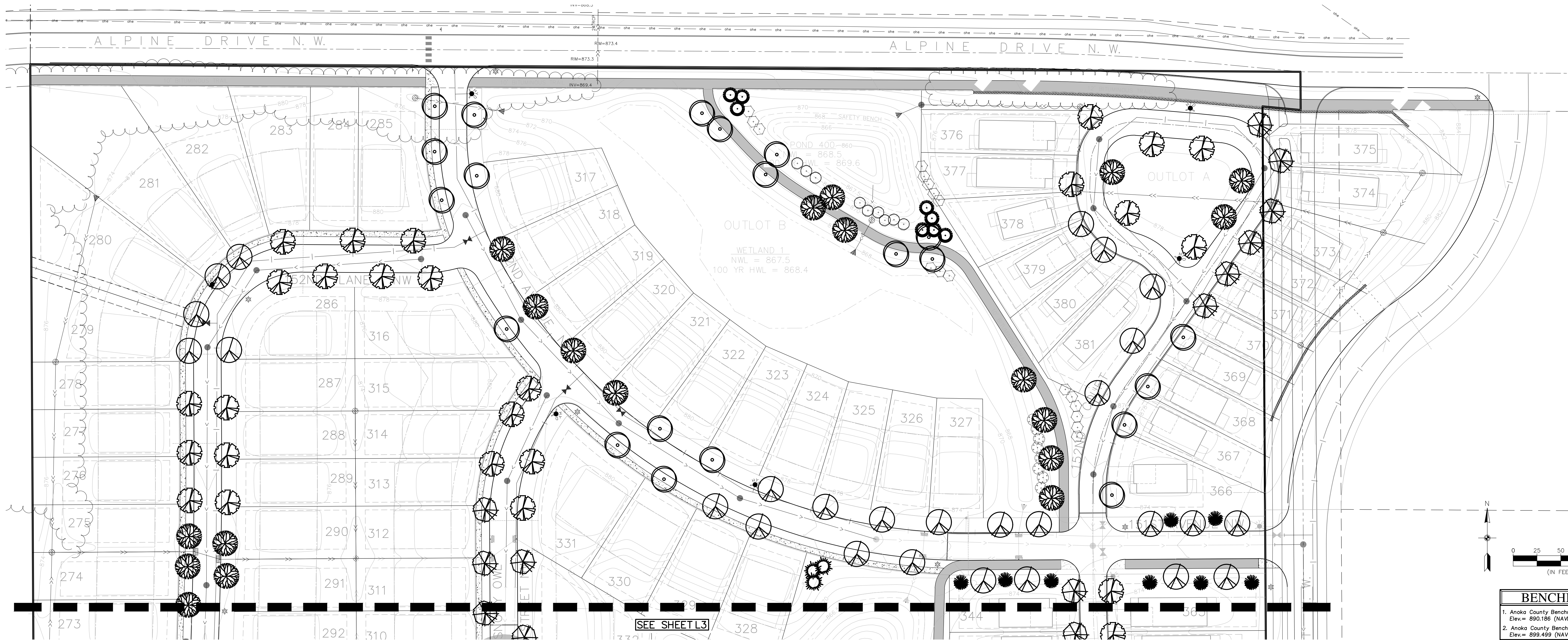
**RIVERSTONE DEVELOPMENT, LLC.**  
14015 Sunfish Lake B, Suite 400  
Ramsey, MN 55303

**RIVERSTONE**  
Ramsey, MN

**PRELIMINARY LANDSCAPE PLAN**

**LANDSCAPE SCHEDULE**

			SIZE	ROOT	QTY.
<b>OVERSTORY TREES</b>					
	Quercus bicolor	SWAMP WHITE OAK	2"	BB	27
	Acer X freemanii 'Jeffersred'	AUTUMN BLAZE MAPLE	2"	BB	21
	Tilia americana 'Boulevard'	BOULEVARD LINDEN	2"	BB	10
	Celtis occidentalis	HACKBERRY	2"	BB	25
	Gleditsia tricanthos var. inermis 'Skycole'	HONEYLOCUST	2"	BB	19
<b>ORNAMENTAL TREES</b>					
	Amelanchier	SERVICEBERRY multi stem	12'	BB	-
	Betula nigra	RIVER BIRCH multi stem	12'	BB	-
	Malus 'Red Jewel'	RED JEWEL CRAB multi stem	1"	BB	-
<b>CONIFEROUS TREES</b>					
	Picea glauca densata	BLACK HILLS SPRUCE	6'	HT.	8
	Pinus nigra	AUSTRIAN PINE	6'	HT.	3
	Pinus sylvestris	SCOTCH PINE	6'	HT.	8
<b>SHRUBS</b>					
	Viburnum lentago	NANNYBERRY VIBURNUM	24"	HT	-
	Cornus sericea 'Cardinal'	CARDINAL DOGWOOD	24"	HT	17
	Syringa vulgaris	COMMON PURPLE LILAC	24"	HT	17



SEE SHEET L3

**BENCHMARK**  
 1. Anoka County Benchmark No. 3076  
 Elev. = 890.186 (NAVD 88)  
 2. Anoka County Benchmark No. 2078  
 Elev. = 899.499 (NAVD 88)

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 Print Name: Ryan J. Ruttger  
 Signature:   
 Date: 12/04/19 License #: 56346

Drawn: SDB  
 Designed: SDB  
 Date: 04/13/18

Revisions:  
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6. 1/13/20 Per City Comments

**RIVERSTONE DEVELOPMENT, LLC.**  
 14015 Sunfish Lake B, Suite 400  
 Ramsey, MN 55303

**RIVERSTONE**  
 Ramsey, MN

**PRELIMINARY LANDSCAPE PLAN**

Save Date: 12/06/19 | \\northstar.local\h\mccain\public\jobs\6421 - 6440\6435 - ramsey site\cad\c30\p\6435\_lscp.dwg

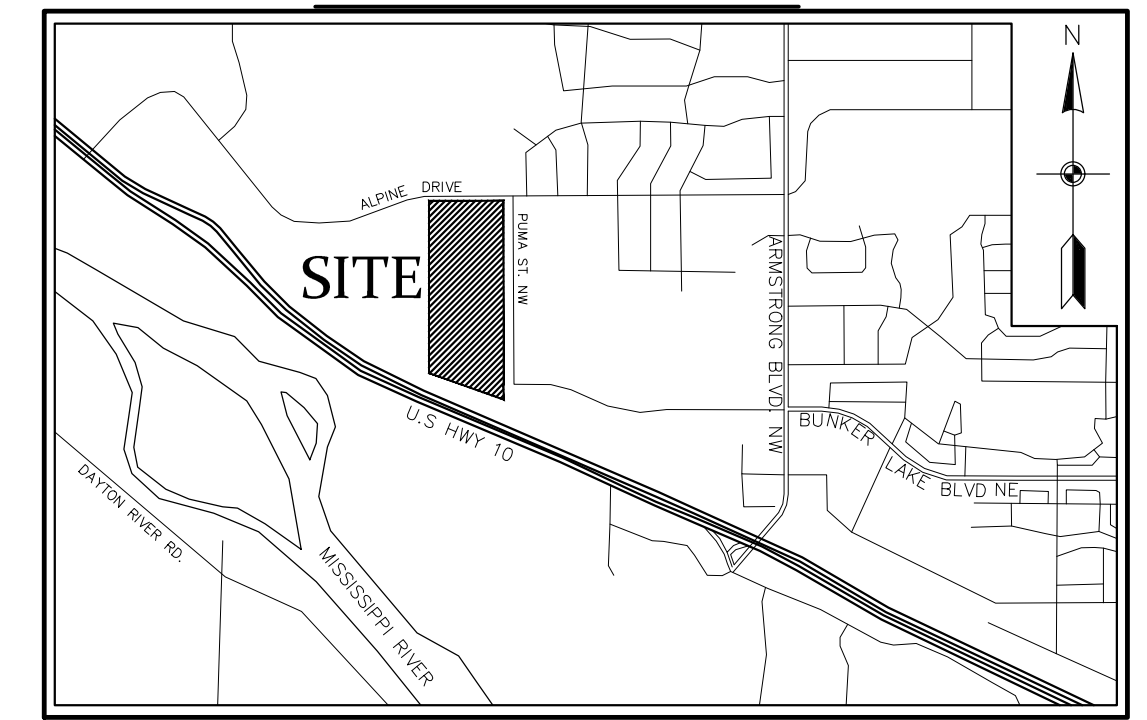


# RIVERSTONE

## TREE PRESERVATION PLAN

### RAMSEY, MINNESOTA

#### VICINITY MAP



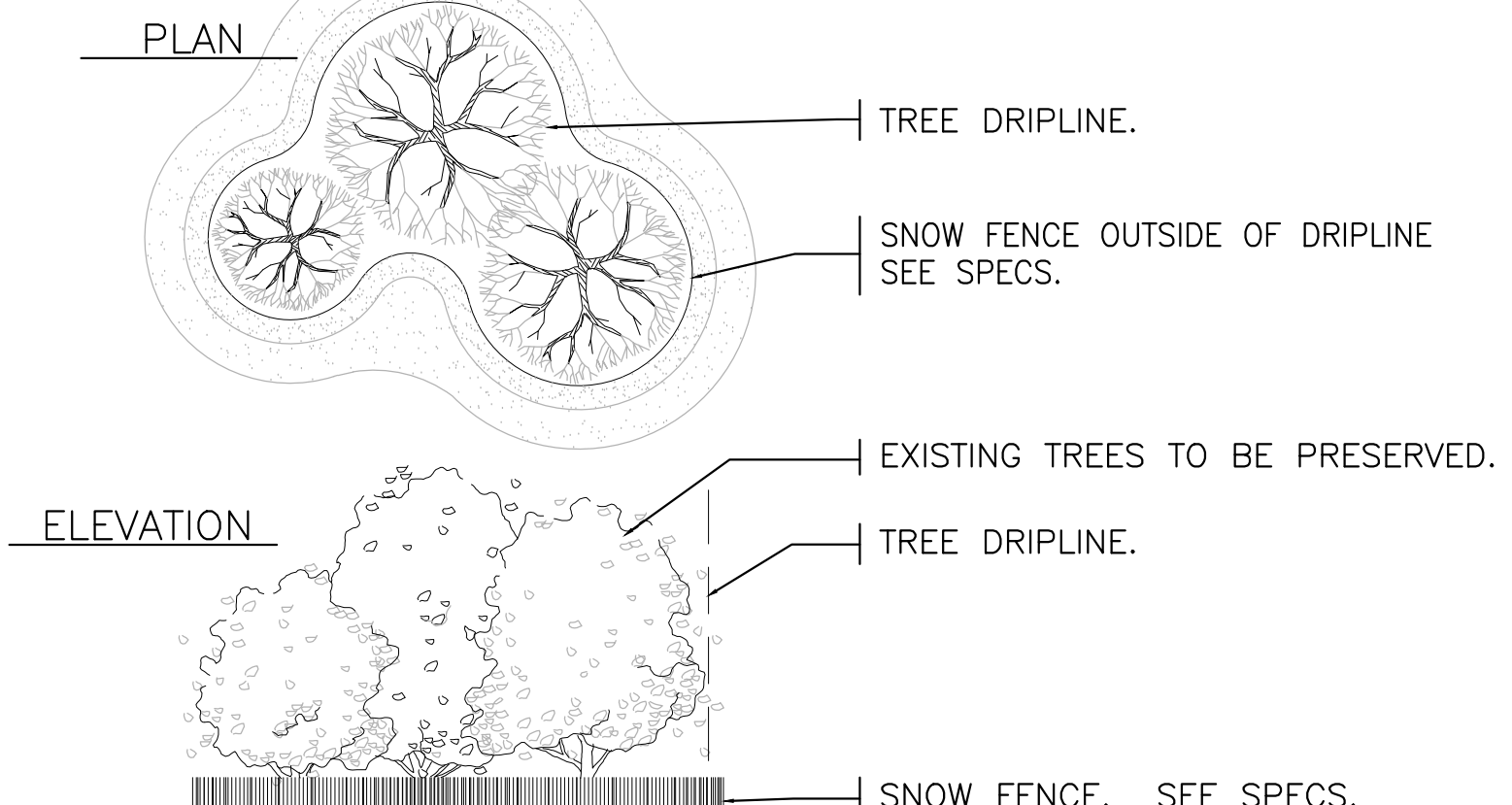
NOT TO SCALE

#### SHEET INDEX

1. COVER
2. TREE PRESERVATION PLAN & TREE TABLES



#### TREE PROTECTION FENCE

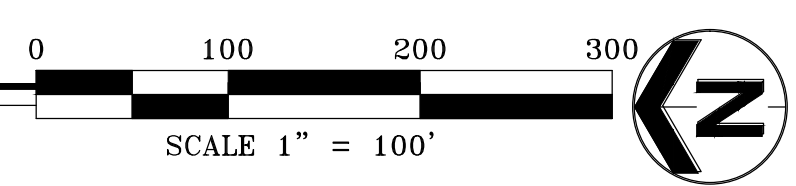


ERECT PROTECTIVE SNOW FENCE PRIOR TO ANY CONSTRUCTION ACTIVITY. DO NOT STORE ANY EQUIPMENT OR MATERIALS WITHIN PROTECTIVE AREA. REMOVE THE PROTECTIVE SNOW FENCE ONLY AFTER CONSTRUCTION OPERATIONS ARE COMPLETED.

#### TREE REMOVAL/REPLACEMENT SUMMARY

REMOVED/SAVED	REPLACEMENT/CREDIT
1. SIGNIFICANT TREES;	
1.1. OAK AND EVERGREEN OVER 4 DBH	
1.2. ALL TREES OVER 8 DBH	
2. REMOVAL THRESHOLD	
2.1. AT LEAST 40% OF THE EXISTING SIGNIFICANT TREE DBH SHALL BE RETAINED ON-SITE	
2.2. FOR EVERY SIGNIFICANT DBH REMOVED ABOVE THE 40%, REPLACE AT 1.25%	
SIGNIFICANT TREES (OAK / EVERGREEN)	374 dbh
SIGNIFICANT TREES (ALL OTHERS)	1884 dbh
TOTAL DBH ON SITE -	2258 dbh
TOTAL (2258 TOTAL- 882 EXEMPT TREES = 1376DBH)	1376 DBH
EXEMPT TREES	862 dbh
40% TO REMAIN ON-SITE	550 dbh
60% ALLOWABLE REMOVAL	826 dbh
TREES REMOVED FOR GRADING	939 dbh
TOTAL REPLACEMENT REQUIRED	113 dbh
REPLACE TREES @ 125%	141 dbh
REPLACEMENT TREES @ 2.5 DBH	57 ADDITIONAL TREES

1 TREE PRESERVATION PLAN  
TP1



BENCHMARK	
1. Anoka County Benchmark No. 3076	Elev.= 890.186 (NAVD 88)
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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota

Print Name: James A. Kalkes  
Signature: *James A. Kalkes*  
Date: 06/19/18 License #: 45071

Drawn: JAK  
Designed: JAK  
Date: 06/19/18

Revisions:  
1.

**RIVERSTONE DEVELOPMENT, LLC.**  
14015 Sunfish Lake B, Suite 400  
Ramsey, MN 55303

**RIVERSTONE**  
Ramsey, MN

COVER

TP1  
of  
2

