

**ABBREVIATIONS**

D	Angle	LB	Pound	LT	Local Government Unit
A	Ant	LGU	Local Government Unit	LT	Light / Lighting
@	100 Year Flood Elevation	LT	Longitudinal	MAINT.	Maintenance
A.B.	Anchor Bolt	MAINT.	Maintenance	MAS	Masonry
A.D.	Area Drain	MATL.	Material	MAX.	Maximum
AC	Air Conditioning Unit	MED.	Mechanical	MED.	Medium
ADD.	Addendum	MFR.	Manufacturer	MH	Manhole
ADDL.	Additional	MIN.	Minimum / Minute	MISC.	Miscellaneous
ADJ.	Adjacent / Adjust	MNDOT	Minnesota Department Of Transportation	MOD.	Module / Modular
AHU	Air Handling Unit	MUL.	Mulch	N	North
ALT.	Alternate	N	North	N.I.C.	Not In Contract
ALUM.	Aluminum	NO, OR, #	Number	NOM	Nominal
ANOD.	Anodized	NTS	Not to Scale	NW	Normal Water Level
APPROX.	Approximate	OE	Opening	O.F.	On Center
ARCH	Architect / Architectural	OH	Overhead Electric	O.G.	Outside Dimension
AUTO.	Automatic	OH	Overhead	O.H.	Overhead Electric
AVG.	Average	OHWL	Ordinary High Water Level	OPNG.	Opening
B.C.	Back of Curb	ORIG.	Original	ORIG.	Original
B.W.	Bottom of Wall	P.C.	Point of Curvature	P.C.	Point of Curvature
BFE	Basement Floor Elevation	P.I.	Point of Intersection	P.I.	Point of Intersection
BIT	Bituminous (Asphaltic)	P.V.	Post Indicator Valve	P.V.	Post Indicator Valve
BLDG	Building	P.V.L.	Point of Vertical Tangency	P.V.L.	Point of Vertical Tangency
BM	Benchmark	PE	Polyethylene	PE	Polyethylene
BSMT.	Basement	PE.D.	Pedestal / Pedestrian	PE.D.	Pedestal / Pedestrian
C.F.	Cubic Feet	PERF.	Perforated	PERF.	Perforated
C.F.S.	Cubic Feet Per Second	PREP.	Preparation	PREP.	Preparation
C.G.	Corner Guard	PROJ.	Project	PROJ.	Project
C.J.	Control Joint	PROP.	Proposed	PROP.	Proposed
C.L.	Centerline	PVC	Poly-Vinyl-Chloride (Piping)	PVC	Poly-Vinyl-Chloride (Piping)
C.M.U.	Concrete Masonry Unit	P.V.M.T.	Pavement	P.V.M.T.	Pavement
C.O.	Cleanout	QTR.	Quarter	QTR.	Quarter
C.O.E.	Cubic Yards	QTY.	Quantity	QTY.	Quantity
C.Y.	Cubic Yards	R	Radius	R	Radius
CB	Catch Basin	RAD.	Radius	RAD.	Radius
CBMH	Catch Basin Manhole	RE	Rim Elevation (Casting)	RE	Rim Elevation (Casting)
CEM.	Cement	R.D.	Roof Drain	R.D.	Roof Drain
CIP	Cast Iron Pipe	R.E.	Remove Existing	R.E.	Remove Existing
CMP	Corrugated Metal Pipe	R.O.	Rough Opening	R.O.	Rough Opening
CONC.	Concrete (Portland)	R.P.	Radius Point	R.P.	Radius Point
CONN.	Connection	RC	Reinforced Concrete Pipe	RC	Reinforced Concrete Pipe
CONST.	Construction	R.S.	Rough Slat	R.S.	Rough Slat
CONT.	Continuous	RSD	Roof Storm Drain	RSD	Roof Storm Drain
CONTR.	Contractor	RE	Regarding	RE	Regarding
COP.	Copper	REINF.	Reinforced	REINF.	Reinforced
CU	Cubic	REQD	Required	REQD	Required
D.S.	Down Spout	REV.	Revision / Revised	REV.	Revision / Revised
DEG.	Degree	RGU	Regulatory Government Unit	RGU	Regulatory Government Unit
DEMO.	Demolition / Demolish	ROW OR RW	Right of Way	ROW OR RW	Right of Way
DEPT.	Department	S	South	S	South
DET.	Detail	S.F.	Square Feet	S.F.	Square Feet
DIA.	Diameter	SAN.	Sanitary Sewer	SAN.	Sanitary Sewer
DIAG.	Diagonal	SECT.	Section	SECT.	Section
DIM.	Dimension	SE	Split Entry / Side Exit	SE	Split Entry / Side Exit
DIP	Ductile Iron Pipe	SEWO	Furnished by Others	SEWO	Furnished by Others
DN	Down	SHT.	Sheet	SHT.	Sheet
DWG.	Drawing	SIM.	Similar	SIM.	Similar
E	East	SLNT.	Sealant	SLNT.	Sealant
E.J.	Expansion Joint	SPEC.	Specification	SPEC.	Specification
E.O.	Emergency Overflow	SQ.	Square	SQ.	Square
E.O.S.	Emergency Overflow Swale	SSD	Subsurface drain	SSD	Subsurface drain
E.W.	Each Way	STMH	Storm Sewer Manhole	STMH	Storm Sewer Manhole
E.A.	Elevation	STD.	Standard	STD.	Standard
ELEC.	Electrical	STRUCT.	Structure	STRUCT.	Structure
ELEV.	Elevation	SYMM.	Symmetrical	SYMM.	Symmetrical
EMER.	Emergency	T	Thickness	T	Thickness
ENGR.	Engineer	T/R	Top of Rim	T/R	Top of Rim
ENTR.	Entrance	TW	Top of Wall	TW	Top of Wall
EQ.	Equal	TEMP	Temporary	TEMP	Temporary
EQUIP.	Equipment	THK.	Thick / Thickness	THK.	Thick / Thickness
EQUIV.	Equivalent	T.J.	Tooled Joint	T.J.	Tooled Joint
EXIST.	Existing	TNH	Top Nut Hydrant	TNH	Top Nut Hydrant
EXP.	Expansion	TYP.	Typical	TYP.	Typical
F & I	Furnish and Install	U.N.O.	Unless Noted Otherwise	U.N.O.	Unless Noted Otherwise
F.B.O.	Faced by Others	V.B.	Vapor Barrier	V.B.	Vapor Barrier
F.C.	Face of Curb	V.C.	Vertical Curve	V.C.	Vertical Curve
F.D.	Floor Drain	V.I.F.	Verify In Field	V.I.F.	Verify In Field
F.D.C.	Fire Department Connection	VER.	Vertical	VER.	Vertical
F.V.	Field Verify	VEST.	Vestibule	VEST.	Vestibule
FB	Full Basement	W	Width	W	Width
FBWO	Full Basement Walk Out	W.P.T.	Working Point	W.P.T.	Working Point
FBLO	Full Basement Look Out	W.W.F.	Welded Wire Fabric	W.W.F.	Welded Wire Fabric
FDN.	Foundation	W/	With	W/	With
FES	Finished End Section	W/O	Without	W/O	Without
FLR	Floor	WO	Walk Out	WO	Walk Out
FT, OR ( )	Foot	VER.	Wetland	VER.	Wetland
FUT.	Future	WP	Waterproof	WP	Waterproof
G.B.	Grade Break	WETL	Wetland	WETL	Wetland
G.C.	General Contractor	YD	Yard	YD	Yard
GAL.	Gallon	YR.	Year	YR.	Year
GALV.	Galvanized				
GFE	Garage Floor Elevation				
GL	Glass				
GR	Grade				
H.	Height				
H.P.	High Point				
HDPE	High Density Polyethylene Pipe				
HGT.	Height				
HORIZ.	Horizontal				
HVAC	Heating, Ventilation, Air Conditioning				
HYD.	Hydrant				
I.D.	Inside Dimension OR Identification				
I.E. or IE	Invert Elevation				
IN, OR ( )	Inches				
INFO.	Information				
INL.	Inlet Elevation				
INSUL.	Insulation				
INV.	Invert Elevation				
JT	Joint				
L.F.	Linear Feet				
L.P.	Low Point / Liquid Petroleum				

# GARDEN VIEW VILLAS

## RAMSEY, MINNESOTA

**SYMBOLS**

EXISTING	DESCRIPTION	NEW	DESCRIPTION
120	MAJOR CONTOUR	120	MAJOR CONTOUR
123	MINOR CONTOUR	123	MINOR CONTOUR
234.5	SPOT ELEVATION	234.5	SPOT ELEVATION
[Symbol]	BUILDING	[Symbol]	BUILDING
[Symbol]	CANOPY / OVERHANG	[Symbol]	CANOPY / OVERHANG
[Symbol]	CONCRETE	[Symbol]	CONCRETE
[Symbol]	BITUMINOUS	[Symbol]	BITUMINOUS
[Symbol]	LANDSCAPING	[Symbol]	LANDSCAPING
[Symbol]	GRAVEL	[Symbol]	GRAVEL
[Symbol]	PAVING BLOCK	[Symbol]	PAVING BLOCK
[Symbol]	PAVING BLOCK	[Symbol]	PAVING BLOCK
[Symbol]	STORM SEWER LINE	[Symbol]	STORM SEWER LINE
[Symbol]	SANITARY SEWER LINE	[Symbol]	SANITARY SEWER LINE
[Symbol]	WATER MAIN	[Symbol]	WATER MAIN
[Symbol]	OVERHEAD ELECTRIC	[Symbol]	OVERHEAD ELECTRIC
[Symbol]	UNDERGROUND TELEPHONE	[Symbol]	UNDERGROUND TELEPHONE
[Symbol]	UNDERGROUND FIBER OPTIC	[Symbol]	UNDERGROUND FIBER OPTIC
[Symbol]	UNDERGROUND ELECTRIC	[Symbol]	UNDERGROUND ELECTRIC
[Symbol]	GAS LINE	[Symbol]	GAS LINE
[Symbol]	CONCRETE CURB	[Symbol]	CONCRETE CURB
[Symbol]	FENCING	[Symbol]	FENCING
[Symbol]	RETAINING WALL	[Symbol]	RETAINING WALL
[Symbol]	SET 1/2" X 14" IRON PIPE	[Symbol]	SET 1/2" X 14" IRON PIPE
[Symbol]	IRON MONUMENT FOUND	[Symbol]	IRON MONUMENT FOUND
[Symbol]	POWERPOLE	[Symbol]	POWERPOLE
[Symbol]	GUY WIRE	[Symbol]	GUY WIRE
[Symbol]	GUARD POST	[Symbol]	GUARD POST
[Symbol]	GAS METER	[Symbol]	GAS METER
[Symbol]	TRANSFORMER	[Symbol]	TRANSFORMER
[Symbol]	WATER SHUT-OFF VALVE	[Symbol]	WATER SHUT-OFF VALVE
[Symbol]	TRAFFIC SIGN	[Symbol]	TRAFFIC SIGN
[Symbol]	FLAG POLE	[Symbol]	FLAG POLE
[Symbol]	LIGHT POLE	[Symbol]	LIGHT POLE
[Symbol]	TREES	[Symbol]	TREES
[Symbol]	TREE LINE	[Symbol]	TREE LINE
[Symbol]	MANHOLE	[Symbol]	MANHOLE
[Symbol]	CATCH BASIN	[Symbol]	CATCH BASIN
[Symbol]	FIRE HYDRANT	[Symbol]	FIRE HYDRANT
[Symbol]	WATER VALVE	[Symbol]	WATER VALVE
[Symbol]	FLARED END SECTION	[Symbol]	FLARED END SECTION
[Symbol]	MAILBOX	[Symbol]	MAILBOX
[Symbol]	NOTE NUMBER	[Symbol]	NOTE NUMBER
[Symbol]	MEASURED DISTANCE	[Symbol]	MEASURED DISTANCE
[Symbol]	DISTANCE PER RECORDED PLAT	[Symbol]	DISTANCE PER RECORDED PLAT
[Symbol]	SOIL BORING	[Symbol]	SOIL BORING

**EROSION CONTROL SYMBOLS**

SYMBOL	DESCRIPTION
[Symbol]	SILT FENCE
[Symbol]	COMPOST/BIO LOG
[Symbol]	INLET PROTECTION
[Symbol]	EROSION CONTROL BLANKET

**DRAWING SYMBOLS**

SYMBOL	DESCRIPTION
[Symbol]	NOTE REFERENCE
[Symbol]	PARKING STALL COUNT
[Symbol]	LARGE SHEET DETAIL
[Symbol]	COORDINATE POINT
[Symbol]	REVISION - ADDENDUM, BULLETIN, ETC.
[Symbol]	REVISED AREA (THIS ISSUE)

**LEGAL DESCRIPTION**

Outlot E and D, Town Center Gardens Third Addition, Anoka County, Minnesota.  
 Abstract Property.  
 MinDOT Name: HYATT MNDT NGS Name: HYATT County: ANOKA, MN  
 Monument Type: CONCRETE MONUMENT (CAST-IN-PLACE) Disk Type: HORIZONTAL CONTROL DISK  
 Elevation: 878.97 (NAVD88)  
 Description: (1995) Stamping: HYATT 1974  
 4.5 MILES NORTHWEST OF ANOKA, 4.0 MILES NORTHWEST ALONG TRUNK HIGHWAY 10/TRUNK HIGHWAY 169 FROM THE JUNCTION OF TRUNK HIGHWAY 10/TRUNK HIGHWAY 169 AND TRUNK HIGHWAY 47 IN ANOKA, AT TRUNK HIGHWAY 10 MILEPOINT 220.4, 0.2 MILE SOUTHWEST OF COUNTY ROAD 83 (ARMSTRONG BOULEVARD), 45.7 FEET NORTHEAST OF THE NORTH RAIL OF A RAILROAD, 16.02 FEET SOUTHWEST OF HYATT MNDT RM 1, 20.84 FEET SOUTHWEST OF HYATT MNDT RM 2, 1.9 FEET SOUTHWEST OF A WITNESS POST.

**BENCHMARK**

MinDOT Name: HYATT MNDT NGS Name: HYATT County: ANOKA, MN  
 Monument Type: CONCRETE MONUMENT (CAST-IN-PLACE) Disk Type: HORIZONTAL CONTROL DISK  
 Elevation: 878.97 (NAVD88)  
 Description: (1995) Stamping: HYATT 1974

**OWNER**

LANDFORM DEVELOPMENT PARTNERS, LLC  
 STREET ADDRESS  
 CITY, STATE, ZIP  
 TEL XXX-XXX-XXXX  
 FAX XXX-XXX-XXXX  
 CONTACT: DARREN LAZAN

**PROJECT CONTACTS**

CIVIL ENGINEER LANDFORM  
 105 SOUTH FIFTH AVENUE, SUITE 513  
 MINNEAPOLIS, MN 55401  
 TEL 612-252-9070  
 CONTACT: RANDY HEDLUND

SURVEYOR LANDFORM  
 105 SOUTH FIFTH AVENUE, SUITE 513  
 MINNEAPOLIS, MN 55401  
 TEL 612-252-9070  
 CONTACT: LYNN CASWELL

**LANDSCAPE ARCHITECT LANDFORM**

105 SOUTH FIFTH AVENUE, SUITE 513  
 MINNEAPOLIS, MN 55401  
 TEL 612-252-9070  
 CONTACT: NAME HERE

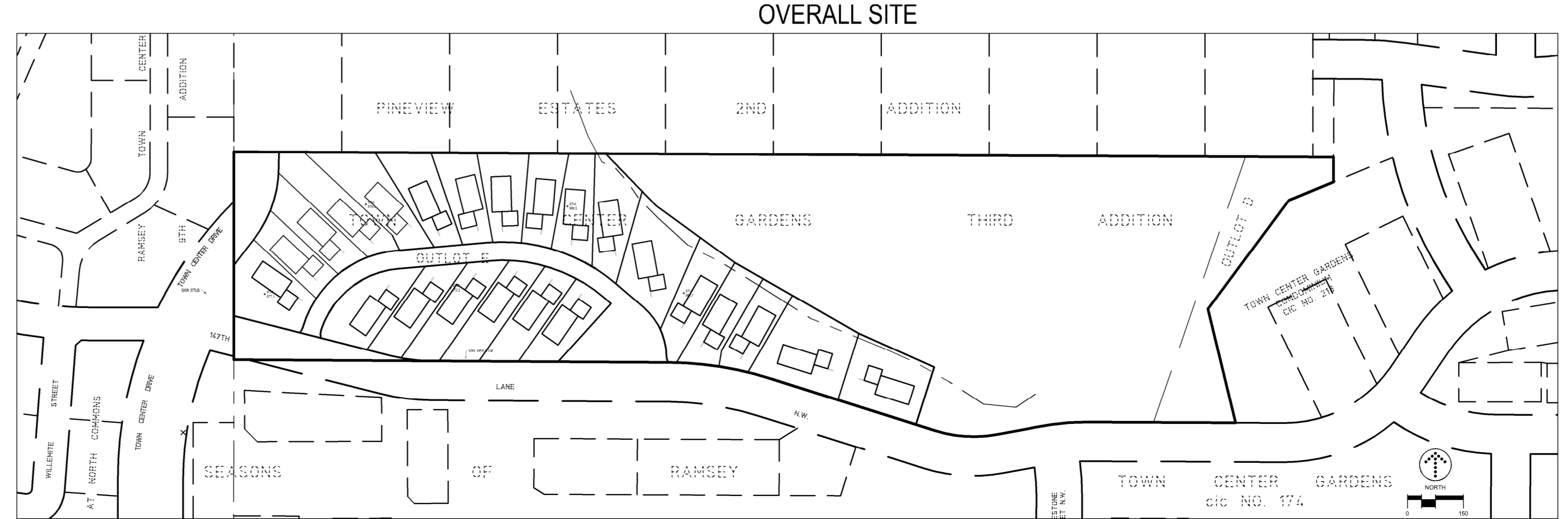
**CIVIL / LANDSCAPE SHEET INDEX & REVISION MATRIX**

SHEET NO.	DESCRIPTION	DATE
C0.1	TITLE SHEET	X
C0.2	PRELIMINARY PLAT	X
C1.1	EXISTING CONDITIONS & DEMOLITION	X
C2.1	SITE PLAN	X
C3.1	GRADING, DRAINAGE, PAVING & EROSION CONTROL	X
C3.2	MINNESOTA SWPPP	X
C4.1	UTILITIES	X
C7.1	CIVIL CONSTRUCTION DETAILS	X
C7.2	CIVIL CONSTRUCTION DETAILS	X
L1.1	LANDSCAPE	X
L7.1	LANDSCAPE DETAILS	X

**CERTIFICATIONS**

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

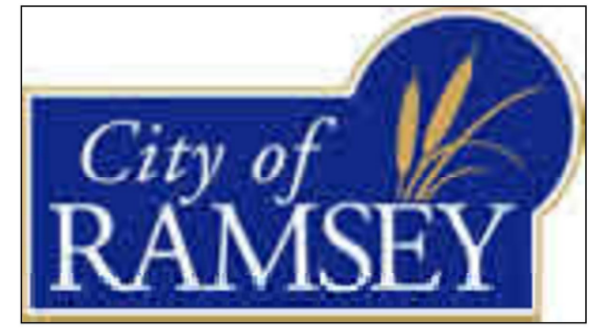
RANDALL C. HEDLUND, P.E.  
 LICENSE NUMBER 19576 DATE: XX MONTH YEAR



**DEVELOPER**

DC RAMSEY, LLC  
 105 S. 5TH AVE. STE 513  
 Minneapolis, MN 55401

**MUNICIPALITY**



**PROJECT**

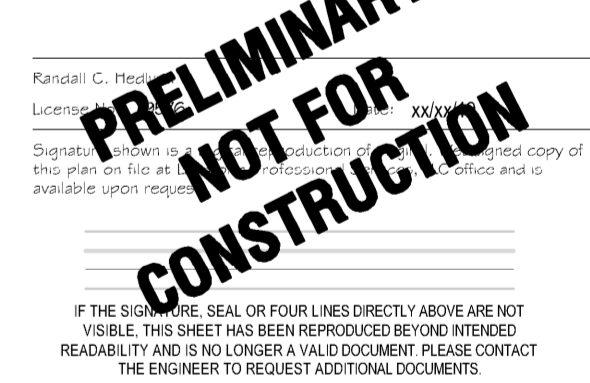
GARDEN VIEW VILLAS  
 RAMSEY, MINNESOTA

**ISSUE / REVISION HISTORY**

DATE	ISSUE / REVISION	REVIEW
02 JAN 2019	Preliminary Plat	RCH

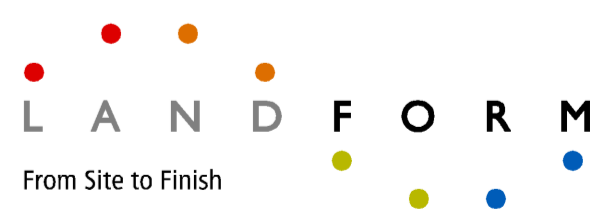
**CERTIFICATION**

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly licensed Professional Engineer under the laws of the state of MINNESOTA.



**PRELIMINARY PLAT**

12.02.2019



105 South Fifth Avenue Tel: 612-252-9070  
 Suite 513 Fax: 612-252-9077  
 Minneapolis, MN 55401 Web: landform.net

FILE NAME: C001LDP007.dwg  
 PROJECT NO.: LDP19007

**TITLE SHEET**

**C0.1**





DATE	ISSUE / REVISION	REVIEW
02 JAN 2019	Preliminary Plat	RCH

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Randall C. Hendrickson  
Landscape Architect  
No. 1000000000  
Digitally signed by Randall C. Hendrickson, DN: cn=Randall C. Hendrickson, o=Landform Development Partnership, email=rhendrick@landformmn.com, c=US



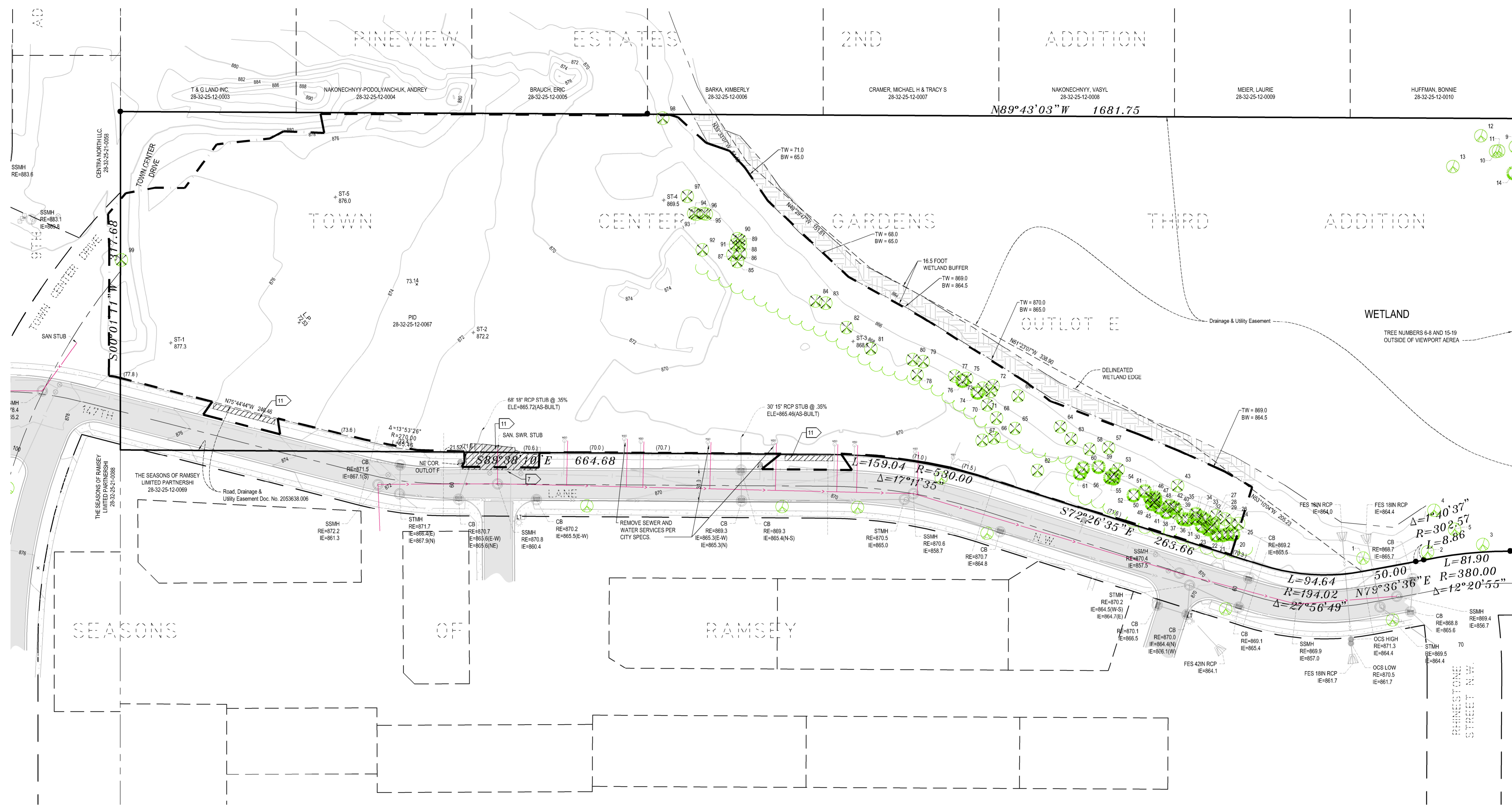
105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME C101LDP007.dwg

PROJECT NO. LDP19007

EXISTING CONDITIONS & DEMOLITION

C1.1



LEGAL DESCRIPTION

Outlots D and E, TOWN CENTER GARDENS THIRD ADDITION, Anoka County, Minnesota.  
(Abstract property)

EXISTING CONDITIONS

- BACKGROUND INFORMATION SHOWN IS FROM SURVEY BY LANDFORM, MINNEAPOLIS, MN, IN AUGUST, 2019. EXPRESSLY FOR THIS PROJECT; CITY OF RAMSEY, MINNESOTA RECORD DRAWINGS; AND UTILITY SERVICE PROVIDERS. LANDFORM OFFERS NO WARRANTY, EXPRESSED OR WRITTEN, FOR INFORMATION PROVIDED BY OTHERS. EXISTING PROJECT CONDITIONS SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ENGINEER OWNER IMMEDIATELY.
- GEOTECHNICAL BORING LOCATIONS ARE APPROXIMATE AND ARE BASED ON INFORMATION PROVIDED IN THE GEOTECHNICAL REPORT PREPARED BY INDEPENDENT TESTING TECHNOLOGIES, WAITE PARK, MINNESOTA, IN SEPTEMBER, 2018.
- SEE SHEET L1.1 FOR TREE INVENTORY.

DEMOLITION AND CLEARING NOTES

- OBTAIN PERMITS FOR DEMOLITION, CLEARING, AND DISPOSAL PRIOR TO BEGINNING.
- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING DEMOLITION AND CLEARING.
- SEE SHEET C3.1 FOR EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT MUST BE IN PLACE PRIOR TO DISTURBANCES TO SITE.
- DIMENSIONS SHOWN FOR REMOVAL ARE APPROXIMATE. COORDINATE WITH NEW CONSTRUCTION TO ENSURE APPROPRIATE REMOVAL OF EXISTING FACILITIES.
- REFER TO DETAILS FOR PAVEMENT SAWCUT. REMOVE CONCRETE WALKS AND CURBING TO THE NEAREST EXISTING JOINT BEYOND CONSTRUCTION LIMITS.
- COMPLETE DEMOLITION WITH MINIMAL DISRUPTION OF TRAFFIC. COORDINATE LANE CLOSURES WITH THE REGULATORY AUTHORITY AND PROVIDE ADVANCE NOTIFICATION TO AFFECTED EMERGENCY RESPONSE PROVIDERS.

DEMOLITION AND CLEARING NOTES (CONT.)

- PROVIDE BARRICADES, LIGHTS, SIGNS, TRAFFIC CONTROL, AND OTHER MEASURES NECESSARY FOR PROTECTION AND SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT CONSTRUCTION.
- PROTECT STRUCTURES, UTILITIES, TREES, PLANT MATERIAL, SOIL, AND ADJACENT PROPERTY FROM DAMAGE DURING CONSTRUCTION UNLESS NOTED FOR REMOVAL. DAMAGE SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION AT NO ADDITIONAL COST.
- ABANDON WELLS AND REMOVE ON SITE SEWAGE FACILITIES PRIOR TO ANY OTHER DEMOLITION IN ACCORDANCE WITH REQUIREMENTS OF REGULATORY AUTHORITIES.
- REFER TO TREE PRESERVATION PLAN FOR ADDITIONAL INFORMATION.
- REMOVE EXISTING SITE FEATURES INCLUDING, BUT NOT LIMITED TO, UNDERGROUND UTILITIES, PAVING, CURBING, WALKWAYS, FENCING, RETAINING WALLS, SCREEN WALLS, APRONS, LIGHTING, RELATED FOUNDATIONS, SIGNAGE, BOLLARDS, LANDSCAPING, AND STARWAYS WITHIN THE CONSTRUCTION LIMITS UNLESS NOTED OTHERWISE.
- COORDINATE REMOVAL, RELOCATION, TERMINATION, AND RE-USE OF EXISTING PRIVATE UTILITY SERVICES AND APPURTENANCES WITH THE UTILITY COMPANIES. RESTORE ELECTRIC HANDHOLES, PULLBOXES, POWERPOLES, GUYLINES, AND STRUCTURES DISTURBED BY CONSTRUCTION IN ACCORDANCE WITH UTILITY OWNER REQUIREMENTS.
- EXISTING PIPING AND CONDUITS MAY BE ABANDONED IN-PLACE IF FILLED WITH SAND AND IF NOT IN LOCATION OF PROPOSED BUILDING OR IN CONFLICT WITH PROPOSED UTILITIES OR STRUCTURES. TERMINATE EXISTING SERVICES AT THE SUPPLY SIDE IN CONFORMANCE WITH PROVIDERS STANDARDS.
- HAUL DEMOLITION DEBRIS OFF-SITE TO A FACILITY APPROVED BY REGULATORY AUTHORITIES FOR THE HANDLING OF DEMOLITION DEBRIS, UNLESS NOTED OTHERWISE.

SITE SYMBOLS/LEGEND

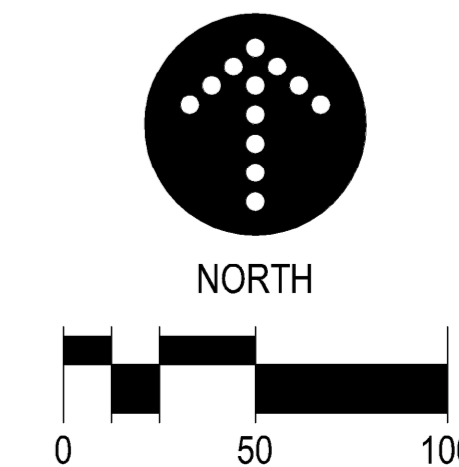
EXISTING	DESCRIPTION	EXISTING	DESCRIPTION
	BUILDING		MANHOLE
	CONCRETE SURFACE		CATCH BASIN
	BITUMINOUS SURFACE		FLARED END SECTION
	GRAVEL SURFACE		FIRE HYDRANT
	WETLAND		WATER VALVE/CURB STOP
	CONCRETE CURB		WELL
	PEDESTRIAN RAMP		GUY WIRE
	FENCING		POWERPOLE
	STORM SEWER		TRANSFORMER
	SANITARY SEWER		AIR CONDITIONER
	WATER MAIN		UTILITY BOX (TV, TEL, ELEC)
	UNDERGROUND GAS MAIN		HAND-HOLE
	UNDERGROUND TELEPHONE		TRAFFIC SIGN
	OVERHEAD TELEPHONE		1/2" x 1/4" IRON PIPE MONUMENT WITH PLASTIC CAP #48176 SET
	UNDERGROUND ELECTRIC		CAST IRON MONUMENT FOUND
	OVERHEAD ELECTRIC		IRON MONUMENT FOUND
	UNDERGROUND FIBER OPTIC		PLAT EASEMENT
	UNDERGROUND CABLE TV		TITLE ITEM NUMBER

LEGEND

	:TREE REMOVAL
	:SOIL BORING
	:CONSTRUCTION LIMITS



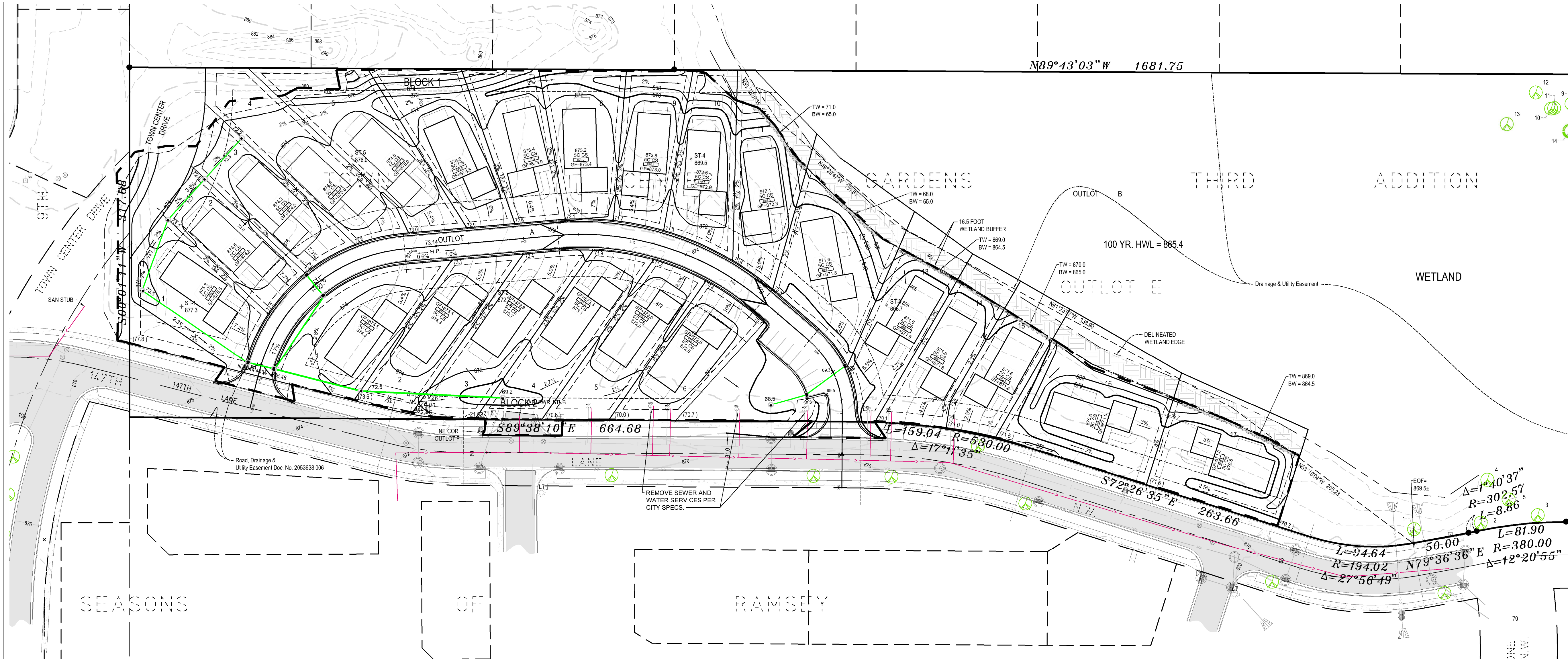
Know what's Below.  
Call before you dig.







DATE	ISSUE / REVISION	REVIEW
02 JAN 2019	Preliminary Plat	RCH



GENERAL NOTES

- For construction staking and surveying services contact Landform at 612.252.9070.
- EROSION PREVENTION AND SEDIMENT CONTROL NOTES**
- Install perimeter sediment controls prior to beginning work and maintain for duration of construction. Remove controls after areas contributing runoff are permanently stabilized and dispose of off site.
- Limit soil disturbance to the grading limits shown. Schedule operations to minimize length of exposure of disturbed areas.
- Management practices shown are the minimum requirement. Install and maintain additional controls as work proceeds to prevent erosion and control sediment carried by wind or water.
- Refer to SWPPP Notes on Sheet C3.2 for additional requirements.
- All exposed soil areas must be stabilized within 14 days of completion of work in each area.
- Seed, Sod, Mulch and Fertilizer shall meet the following Specifications, as modified:
 

Item	Specification Number	Estimated Quantities
Sod	MNDOT 3878	
Seed	MNDOT 3875	
	MN Type 21-111 @ 100 lb./ac. - Temporary Erosion Control - Temporary Erosion Control, May 1 - Jul 31	
	MN Type 21-112 @ 100 lb./ac. - Temporary Erosion Control - Temporary Erosion Control, Aug 1 - Oct 31	
	MN Type 25-151 @ 120 lb./ac. - Permanent Turf	
Mulch	MNDOT 3882	
	(MNDOT Type 1 @ 2 ton/ac., Disc Anchored)	
Fertilizer	MNDOT 3881	
General Placement	MNDOT 2575	
- See Landscape Sheets for permanent turf and landscape establishment.
- Scrape adjacent streets clean daily and sweep clean weekly.

WET CAST/DRY CAST RETAINING WALL NOTES

- Wet Cast / Dry Cast Concrete Segmental Retaining Wall. Color to be determined by Owner or Architect.
- Provide structural design of retaining walls, following Landform / MNDOT Retaining Wall specifications for minimum design and performance. Provide construction of walls in accordance with approved design. Contact Landform for the Specification.
- Confirm architectural requirements for wall units with owner.
- Submit design to City for approval prior to Building Permit issuance.
- Provide coordination and assurance that related work constructed within the reinforced earth zone, including fences, underground utilities, guard rails, etc., is in accordance with approved design and does no damage to reinforcing elements of the retaining wall.

GRADING NOTES

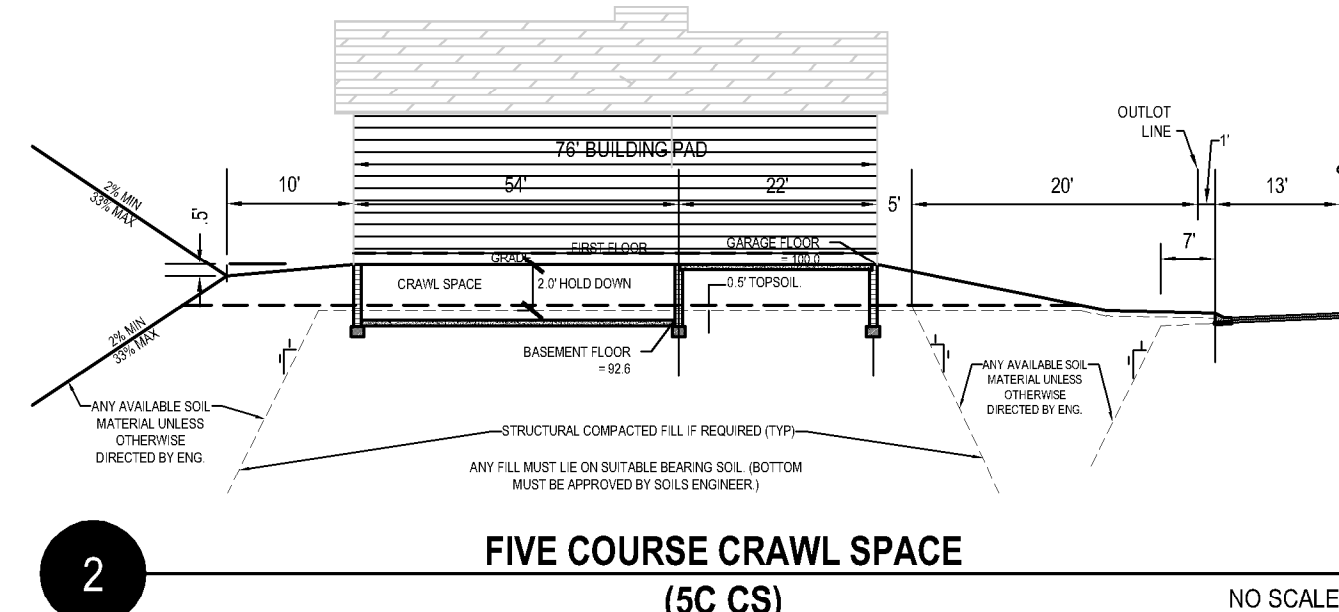
- Contact utility service providers for field location of services 72 hours prior to beginning grading.
- Refer to the Geotechnical Report prepared by Independent Testing Technologies, Inc. Dated September 24, 2019, for additional information on backfill material and groundwater conditions.
- Remove topsoil from grading areas and stockpile sufficient quantity for reuse. Materials may be mined from landscape areas for use on site and replaced with excess organic material with prior Owner approval.
- Remove surface and ground water from excavations. Provide initial lifts of stable foundation material if exposed soils are wet and unstable.
- An Independent Testing Firm shall verify the removal of organic and unsuitable soils, soil correction, and compaction and provide periodic reports to the Owner.
- Place and compact fill using lift thicknesses matched to soil type and compaction equipment to obtain specified compaction throughout the lift.
- Compact cohesive soils in paved areas to 95% of maximum dry density, Standard Proctor (ASTM D698) except the top 3 feet which shall be compacted to 100%. Compact to 98% density where fill depth exceeds 10 feet. The soils shall be within 3% of optimum moisture content. In granular soils all portions of the embankment shall be compacted to not less than 95% of Modified Proctor Density (ASTM D1557).

LEGEND

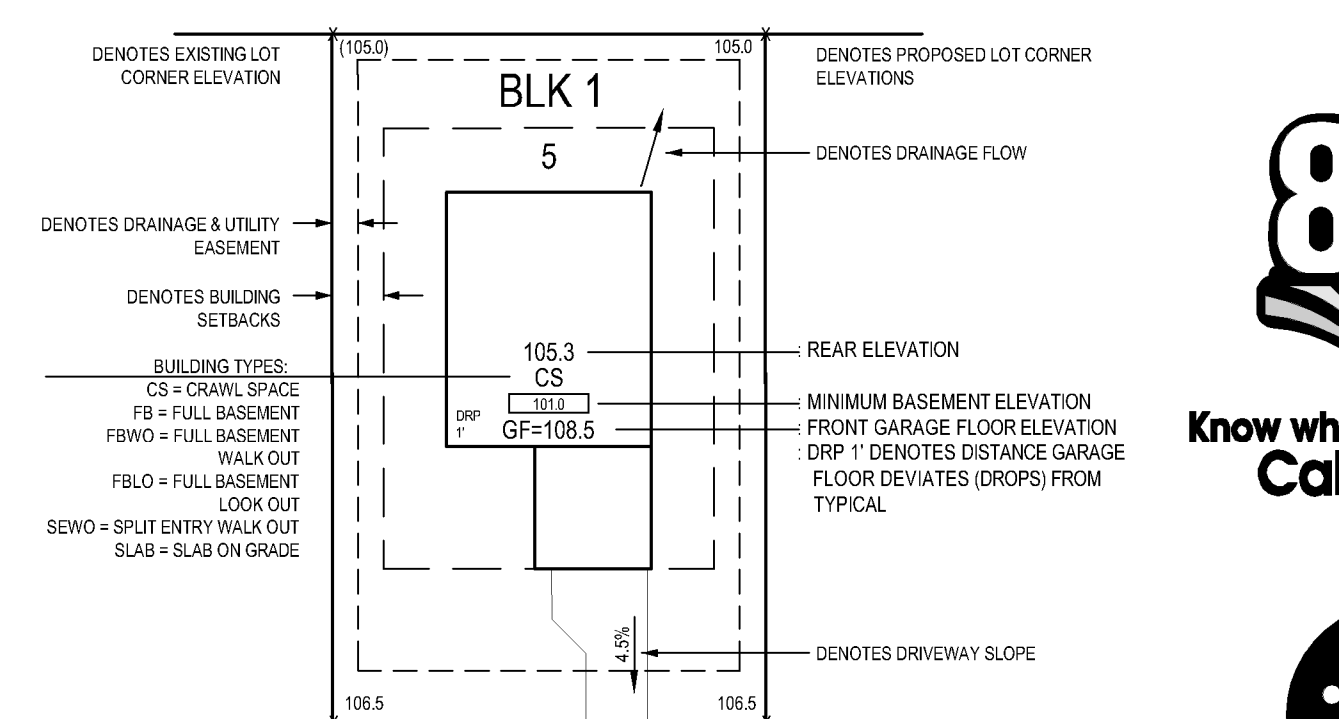
SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	Inlet Protection	3 ea.
	Silt Fence	2,500 ft.
	Vehicle Tracking Pad	1 ea.
	Tip Out Curb	
	Pavement Sawcut	
	Construction Limits	
	Top of Wall	
	Bottom of Wall	

LOT BY LOT TABULATION

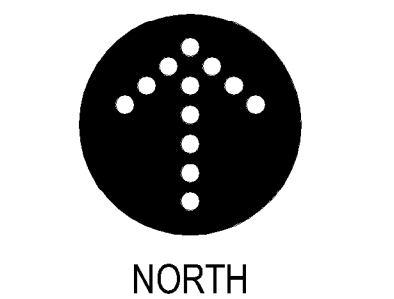
Lot	Block	House Type	Garage Floor Ele	Driveway Grade (%)	Lowest Floor Ele	Lowest Opening Ele (Living space)	100 Year Flood Ele	Emergency Overflow Ele	Highest Anticipate d Water Table or Mottled Soil
1	1	5C CS	875.5	7.2	872.8	876.0	865.4	869.5	862.0
2	1	5C CS	874.8	7.7	872.1	875.3	865.4	869.5	862.0
3	1	5C CS	874.5	7.3	871.8	875.0	865.4	869.5	862.0
4	1	5C CS	875.0	7.0	872.3	875.5	865.4	869.5	862.0
5	1	5C CS	875.0	5.4	872.3	875.5	865.4	869.5	862.0
6	1	5C CS	874.5	6.0	871.8	875.0	865.4	869.5	862.0
7	1	5C CS	873.9	6.4	871.2	874.4	865.4	869.5	862.0
8	1	5C CS	873.4	7.0	870.7	873.9	865.4	869.5	862.0
9	1	5C CS	873.0	6.4	870.3	873.5	865.4	869.5	862.0
10	1	5C CS	872.8	7.0	870.1	873.3	865.4	869.5	862.0
11	1	5C CS	872.3	5.0	869.6	872.8	865.4	869.5	862.0
12	1	5C CS	871.6	5.0	869.1	872.1	865.4	869.5	862.0
13	1	5C CS	871.8	6.5	869.1	872.3	865.4	869.5	862.0
14	1	5C CS	871.8	4.0	869.1	872.3	865.4	869.5	862.0
15	1	5C CS	871.8	2.5	869.1	872.3	865.4	869.5	862.0
16	1	5C CS	871.0	3.0	868.3	871.5	865.4	869.5	862.0
17	1	5C CS	871.0	3.0	868.3	871.5	865.4	869.5	862.0
1	2	5C CS	874.5	3.4	871.8	875.0	865.4	869.5	862.0
2	2	5C CS	874.5	5.0	871.8	875.0	865.4	869.5	862.0
3	2	5C CS	873.9	5.0	871.2	874.4	865.4	869.5	862.0
4	2	5C CS	873.3	6.0	870.6	873.8	865.4	869.5	862.0
5	2	5C CS	873.0	8.5	870.3	873.5	865.4	869.5	862.0
6	2	5C CS	872.8	10.0	870.1	873.3	865.4	869.5	862.0



FIVE COURSE CRAWL SPACE (5C CS) NO SCALE



TYPICAL LOT DETAIL NO SCALE



CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

**PRELIMINARY NOT FOR CONSTRUCTION**

PRELIMINARY PLAT  
12.02.2019

LANDFORM  
From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME C301LDP007.dwg  
PROJECT NO. LDP19007

GRADING, DRAINAGE, PAVING AND EROSION CONTROL

C3.1

SHEET NO. 4/11





# GARDEN VIEW VILLAS

RAMSEY, MINNESOTA

DATE	ISSUE / REVISION	REVIEW
02 JAN 2019	Preliminary Plat	RCH

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

**PRELIMINARY NOT FOR CONSTRUCTION**

IF THE SIGNATURE SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED REPRODUCIBILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

## PRELIMINARY PLAT

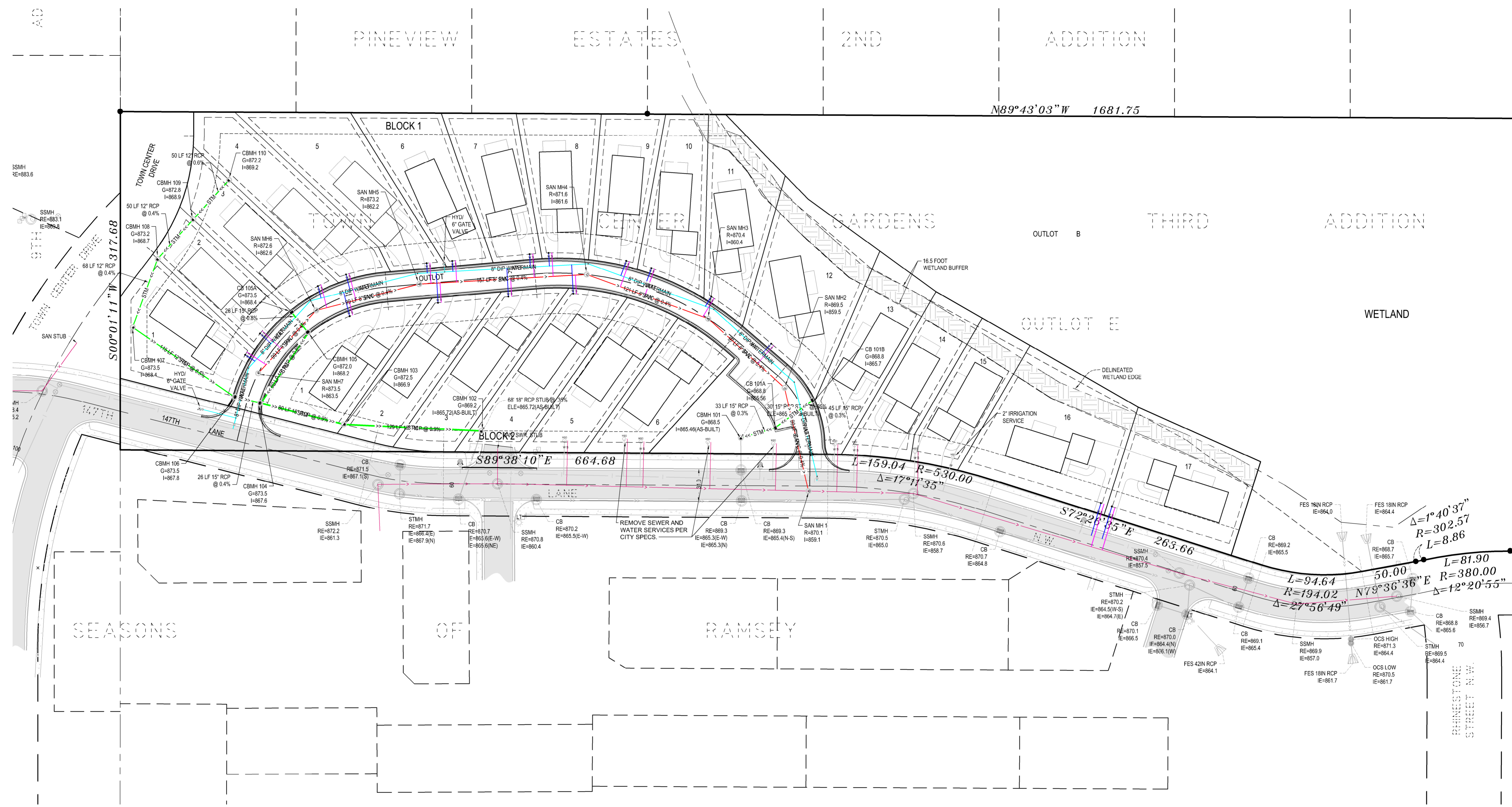
12.02.2019



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Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME C401LDP007.dwg

PROJECT NO. LDP19007



### GENERAL NOTES

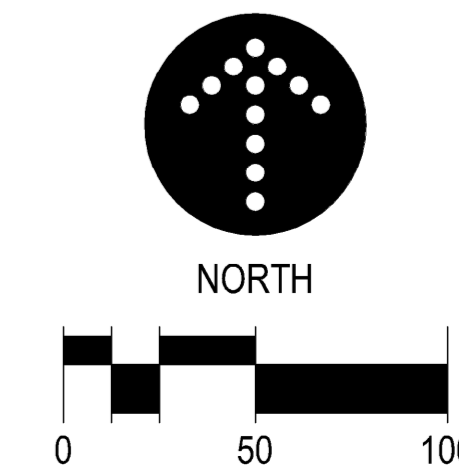
- For construction staking and surveying services contact Landform at 612.252.9070.

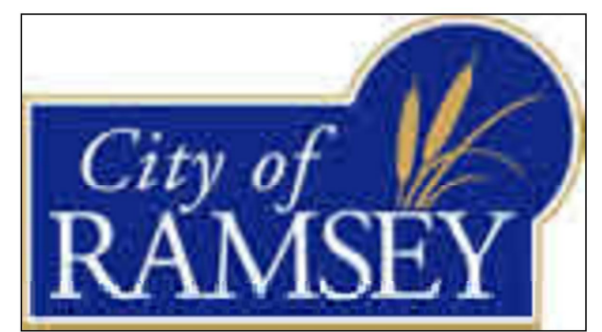
### UTILITY NOTES

- Pipe Materials**
  - Watermain: DIP Class 52 (ANSI A21.51/AWWA C151), C900 PVC
  - Water Service: Copper Type K (ASTM B88)
  - Public Sanitary Sewer: PVC SDR 35, SDR 26 (ASTM: D3034, F477, & F891)
  - Sanitary Sewer Service: PVC Schedule 40 (ASTM: D1785, D2665, F794, & F1866)
  - Grease Trap Service: PVC Schedule 40 (ASTM: D1785, D2665, F794, & F1866)
  - Storm Sewer: RCP 12" 15' Class 5 (ASTM C76)
  - RCP 21" Class 4 (ASTM C76)
  - RCP 24" 48" Class 3 (ASTM C76)
  - HDPE - Corrugated, Smooth Interior, Water Tight (ASTM D3350, ASTM D4976, ASTM F2306, AASHTO M252)
  - CMP Aluminized Steel Type 2, Water Tight, 12"-120" (AASHTO: M36, M274; ASTM: A929, A760, A798)
  - HDPE - Corrugated & Perforated (ASTM D3350, ASTM D4976, AASHTO M252, AASHTO M294)
- Contact utility service providers for field location of services 72 hours prior to beginning.
- Contractor to field verify location and elevation of all utility points of connection prior to construction of any proposed utilities. Contractor to notify Engineer immediately if there is any discrepancy.
- Contractor to pothole all utility crossings prior to construction of new utilities to verify depths of existing lines. Contact Engineer immediately if any conflicts are discovered.
- Provide means and measures to protect adjacent property from damage during utility installation.
- Pipe lengths shown are from center of structure to center of structure or end of end section.
- Install tracer wire with all non-conductive utilities in accordance with City of Ramsey standards.
- Connect to city utilities in accordance with City of Ramsey standards.

### UTILITY NOTES(CONT.)

- Contact Ramsey at ###-###-#### for wet tap inspection.
- Maintain 7.5 feet of cover on water.
- Deflect water to maintain 18-inch minimum outside separation at sewer crossings. Center pipe lengths to provide greatest separation between joints.
- Contact XXX, City of XXX XXXX Department, at ###-###-#### for flushing and pressure test inspections.
- The water distribution system shall be disinfected per 10 State Standards.
- Provide 4-inch rigid foam (ASTM D1621) insulation on sanitary sewer less than x feet deep.
- Catch basins in curb and gutter are sumped 2 inches below the gutter grade. Refer to Detail X on Sheet C7.X.
- Rock media in infiltration or filtration systems shall be angular, non-calcareous rock.
- Coordinate with private utilities to provide electric, natural gas, and communications services.
- See Site Lighting Plan for additional information.
- Compact cohesive soils in paved areas to 95% of maximum dry density, Standard Proctor (ASTM D698) except the top 3 feet which shall be compacted to 100%. Compact to 90% density where fill depth exceeds 10 feet. The soils shall be within 3% of optimum moisture content. In granular soils all portions of the embankment shall be compacted to not less than 95% of Modified Proctor Density (ASTM D1557).
- Adjust structures to final grade where disturbed. Comply with requirements of Utility. Meet requirements for traffic loading in paved areas.

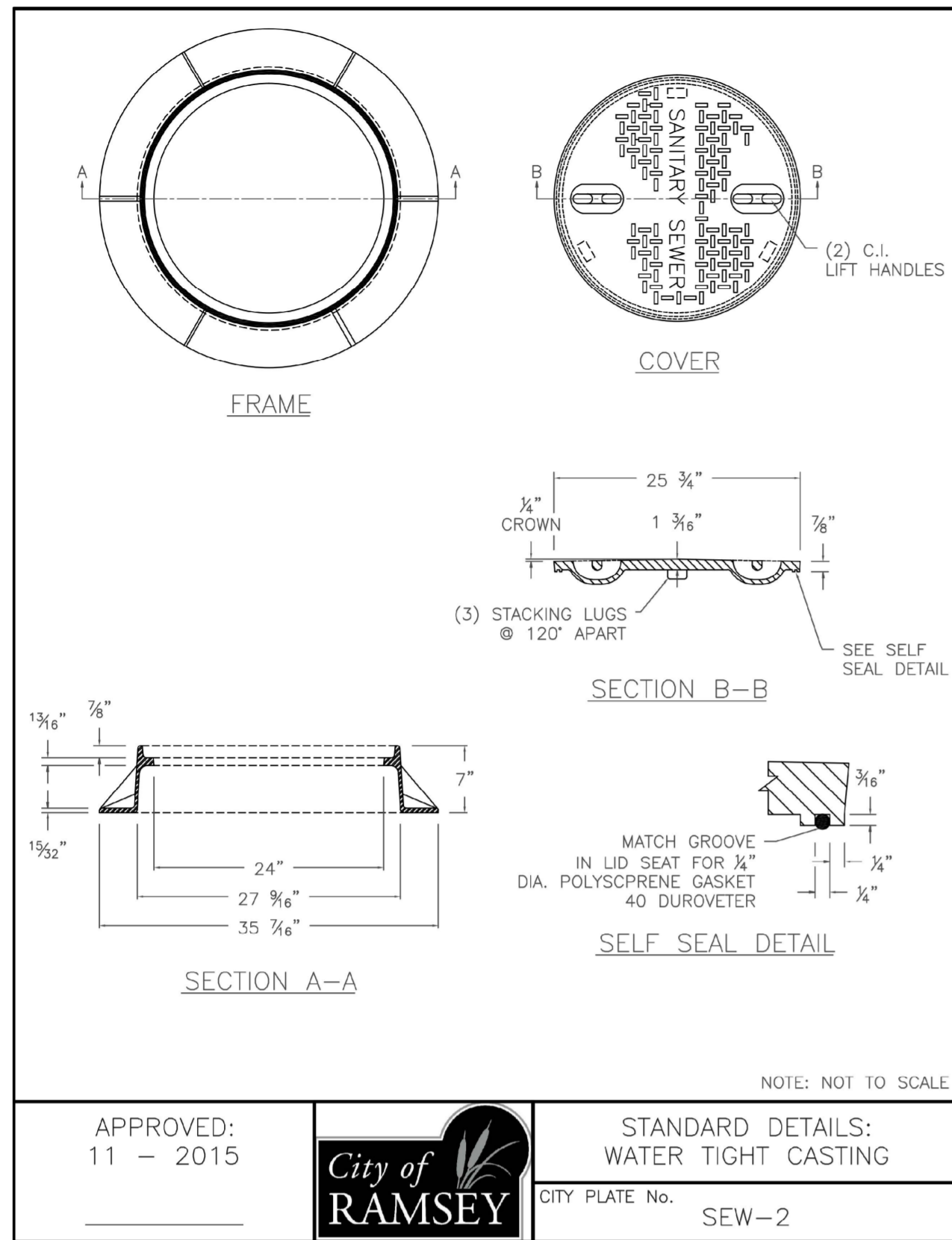




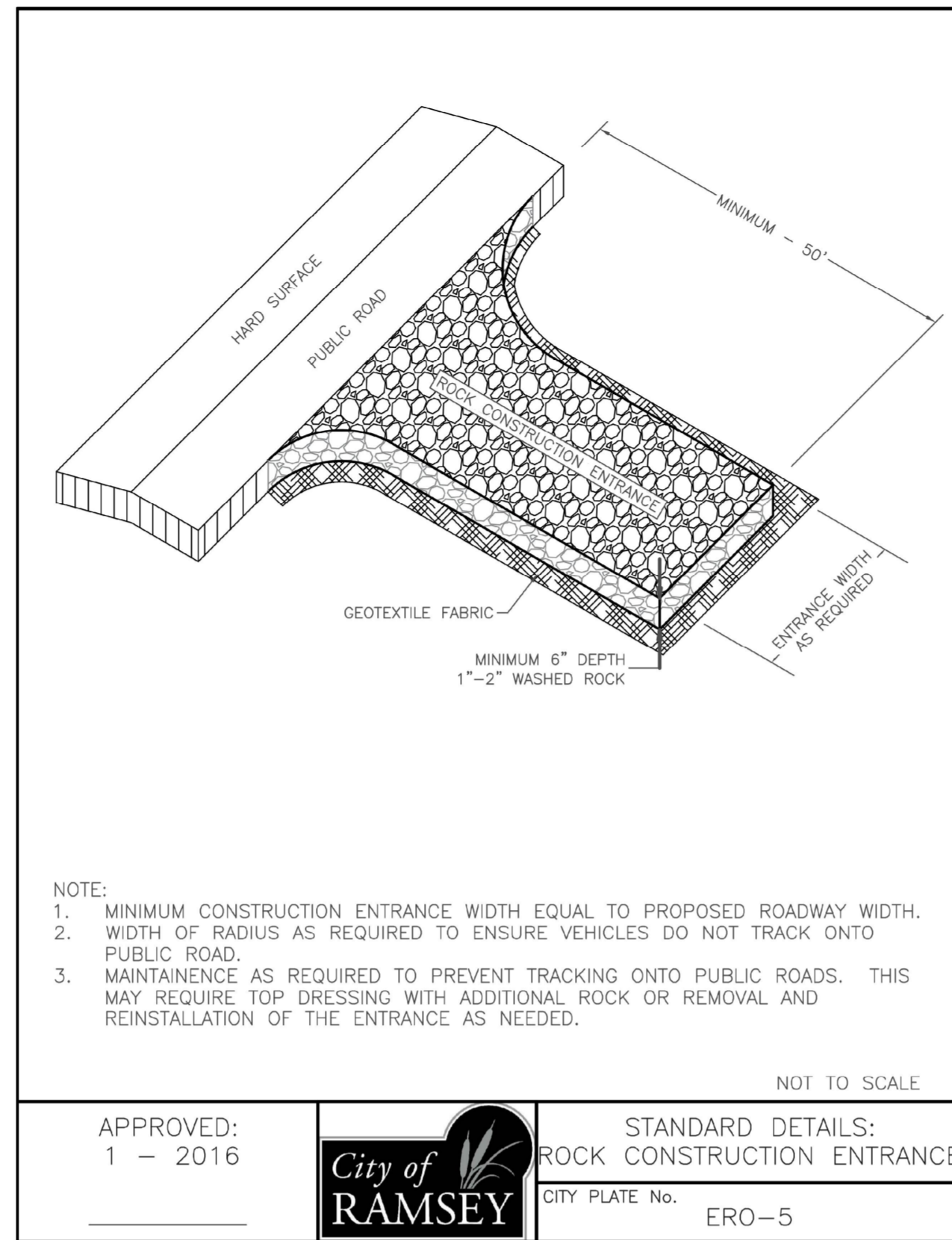
# GARDEN VIEW VILLAS

RAMSEY, MINNESOTA

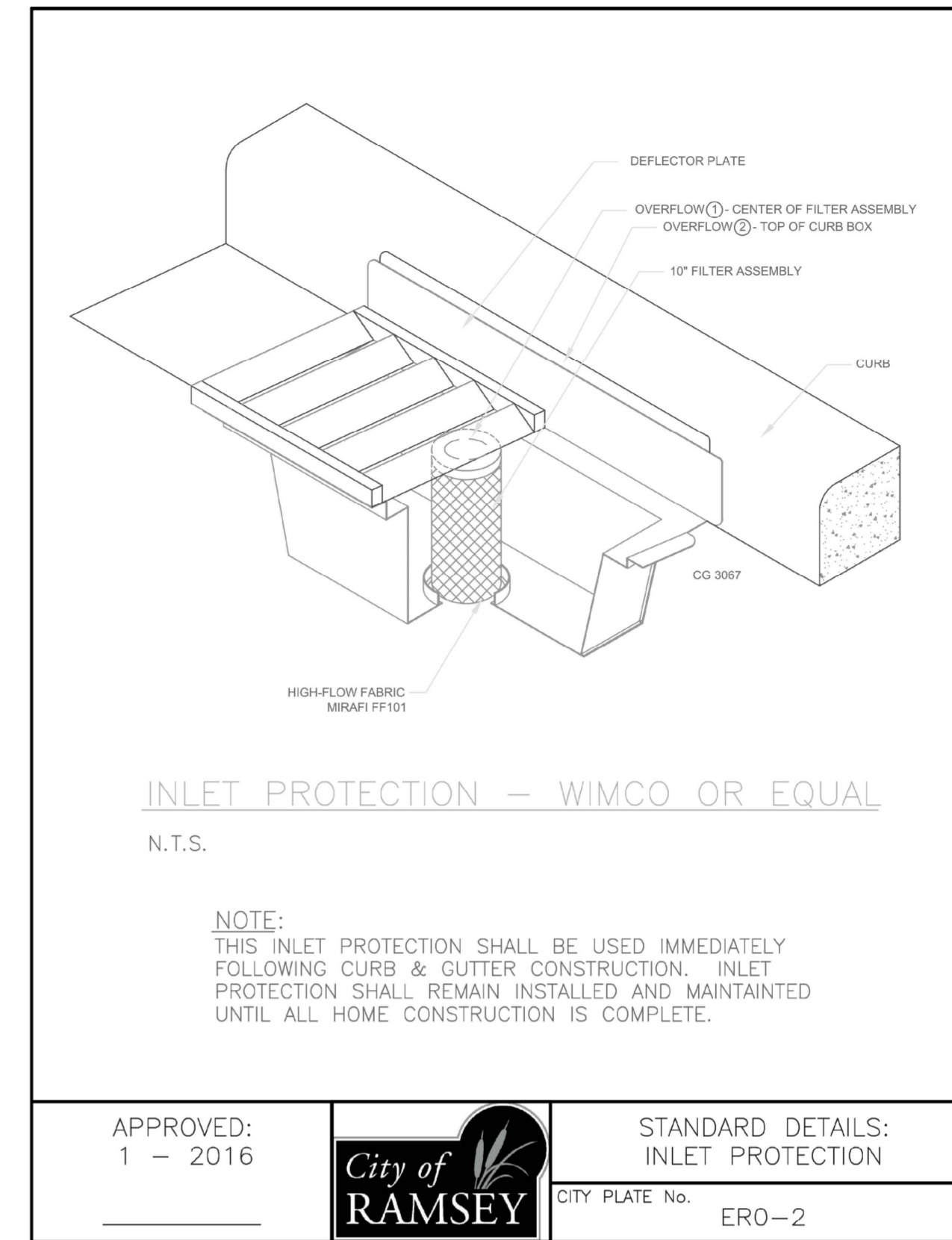
DATE	ISSUE / REVISION	REVIEW
02 JAN 2019	Preliminary Plat	RCH



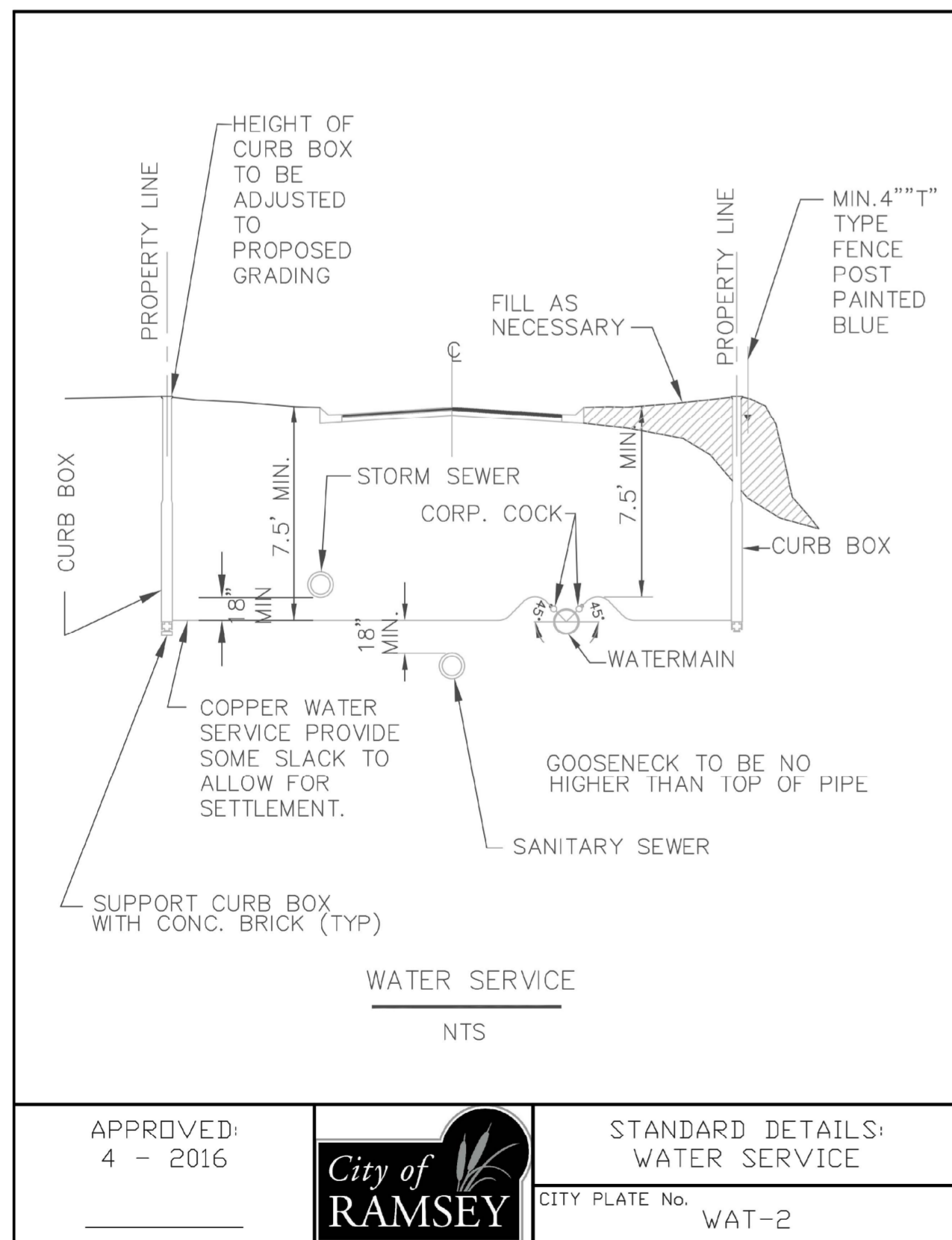
5 WATER TIGHT CASTING NO SCALE



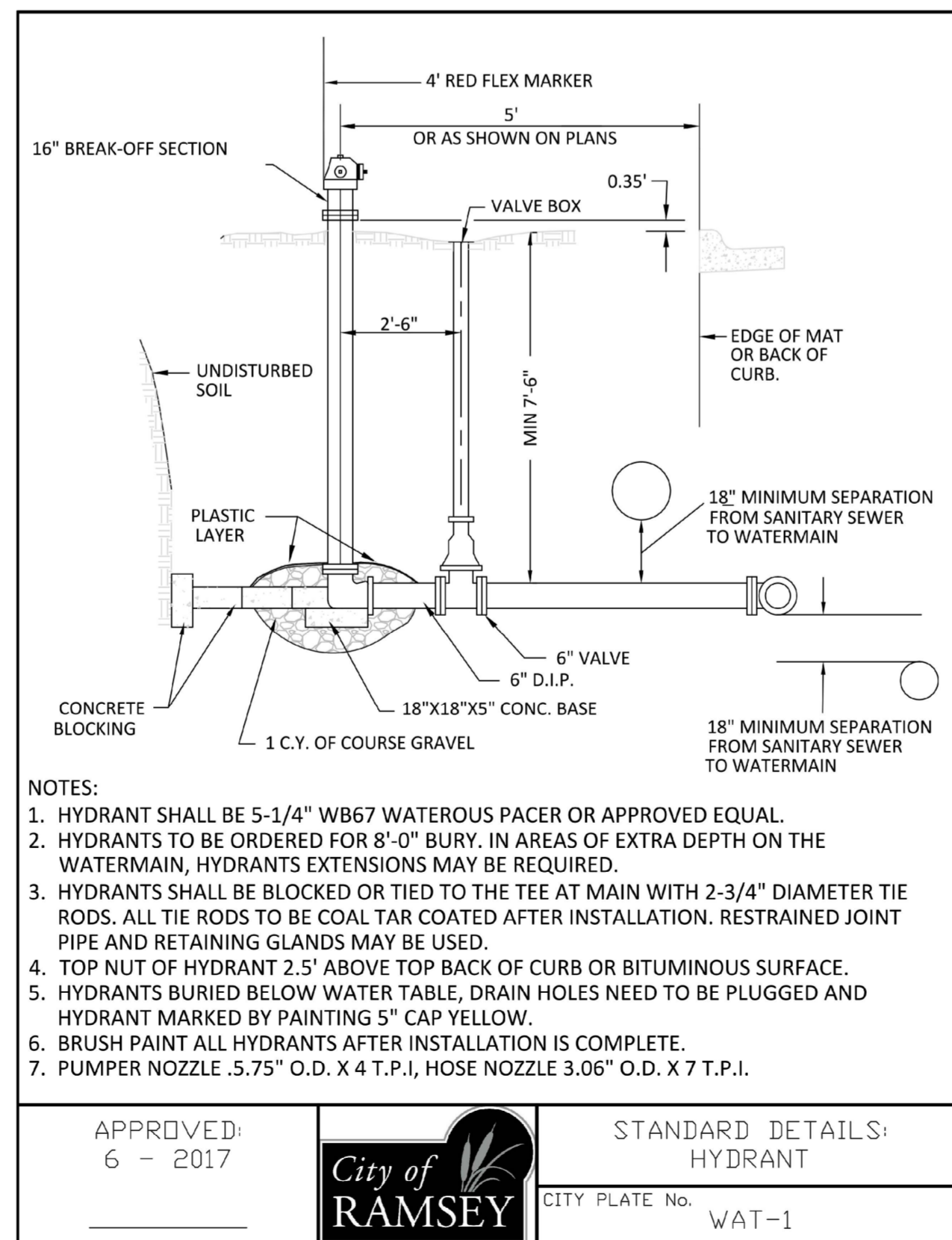
3 ROCK CONSTRUCTION ENTRANCE NO SCALE



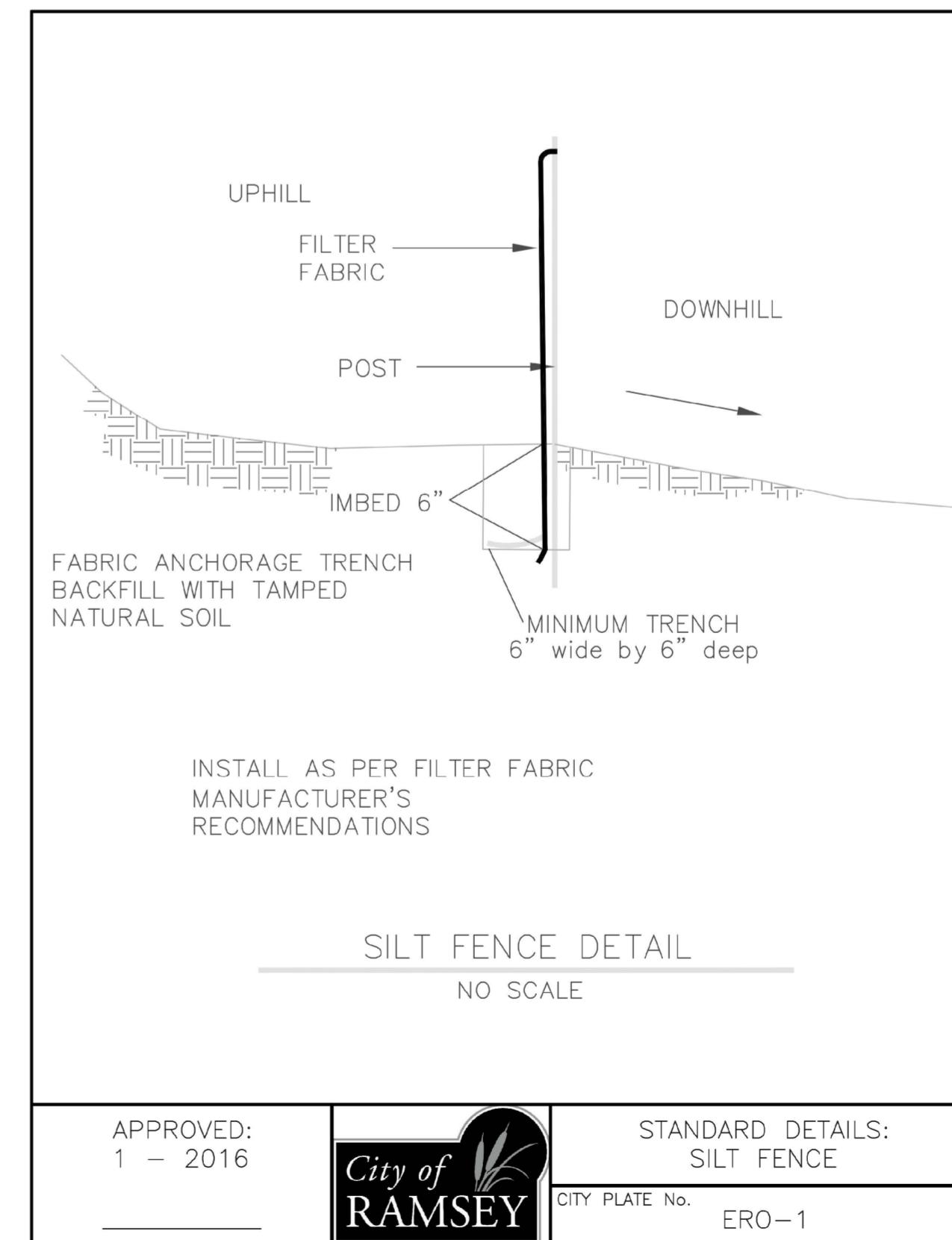
1 INLET PROTECTION NO SCALE



6 WATER SERVICE NO SCALE



4 HYDRANT NO SCALE

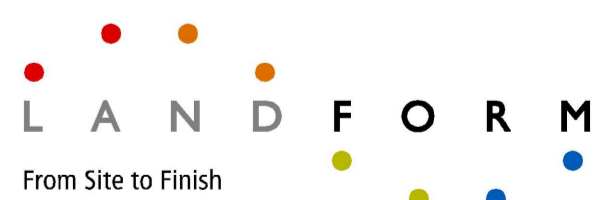


2 SILT FENCE NO SCALE

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

**PRELIMINARY NOT FOR CONSTRUCTION**

PRELIMINARY PLAT  
12.02.2019



105 South Fifth Avenue Tel: 612-252-9070  
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FILE NAME C701LDP007.dwg

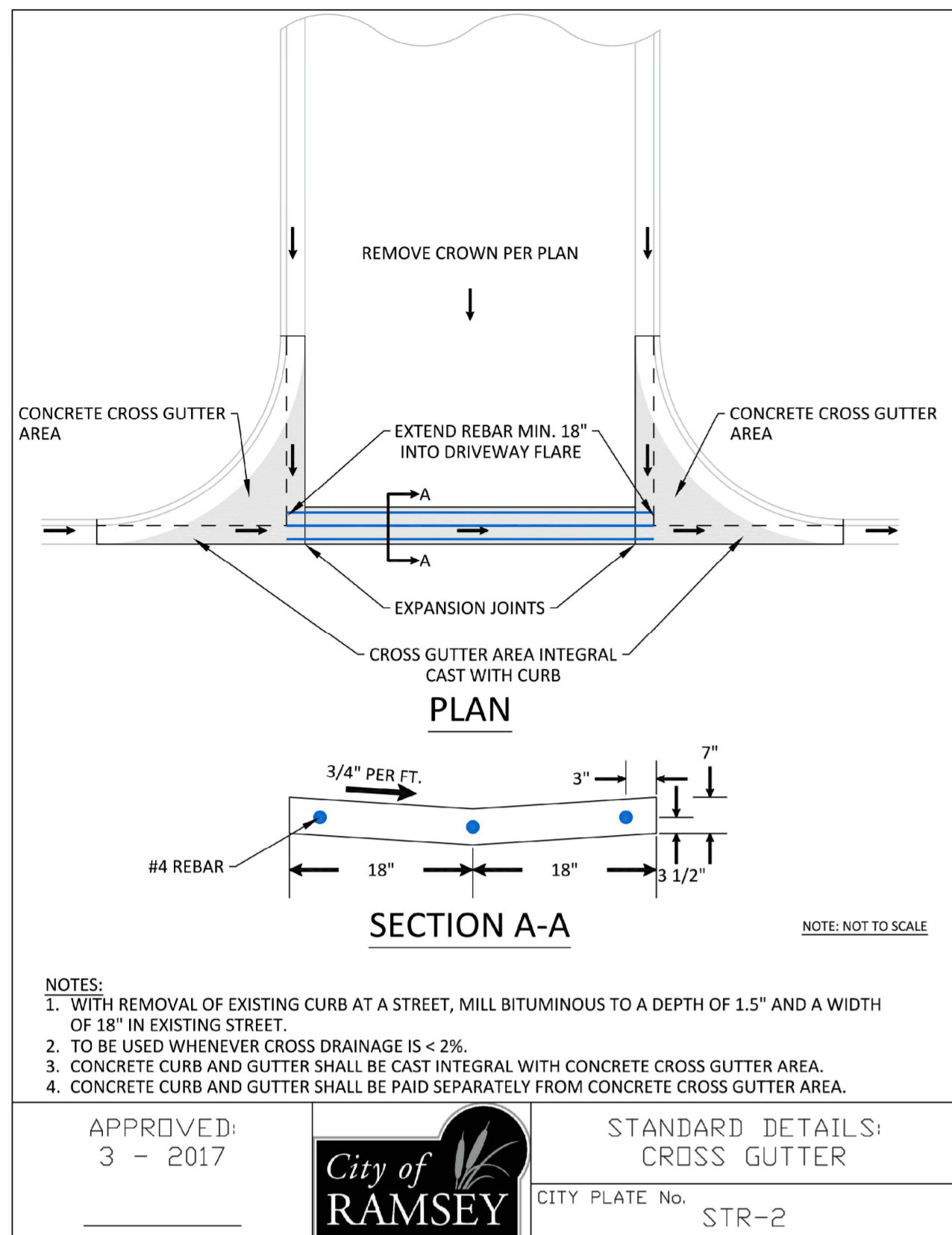
PROJECT NO. LDP19007

CIVIL CONSTRUCTION DETAILS  
**C7.1**

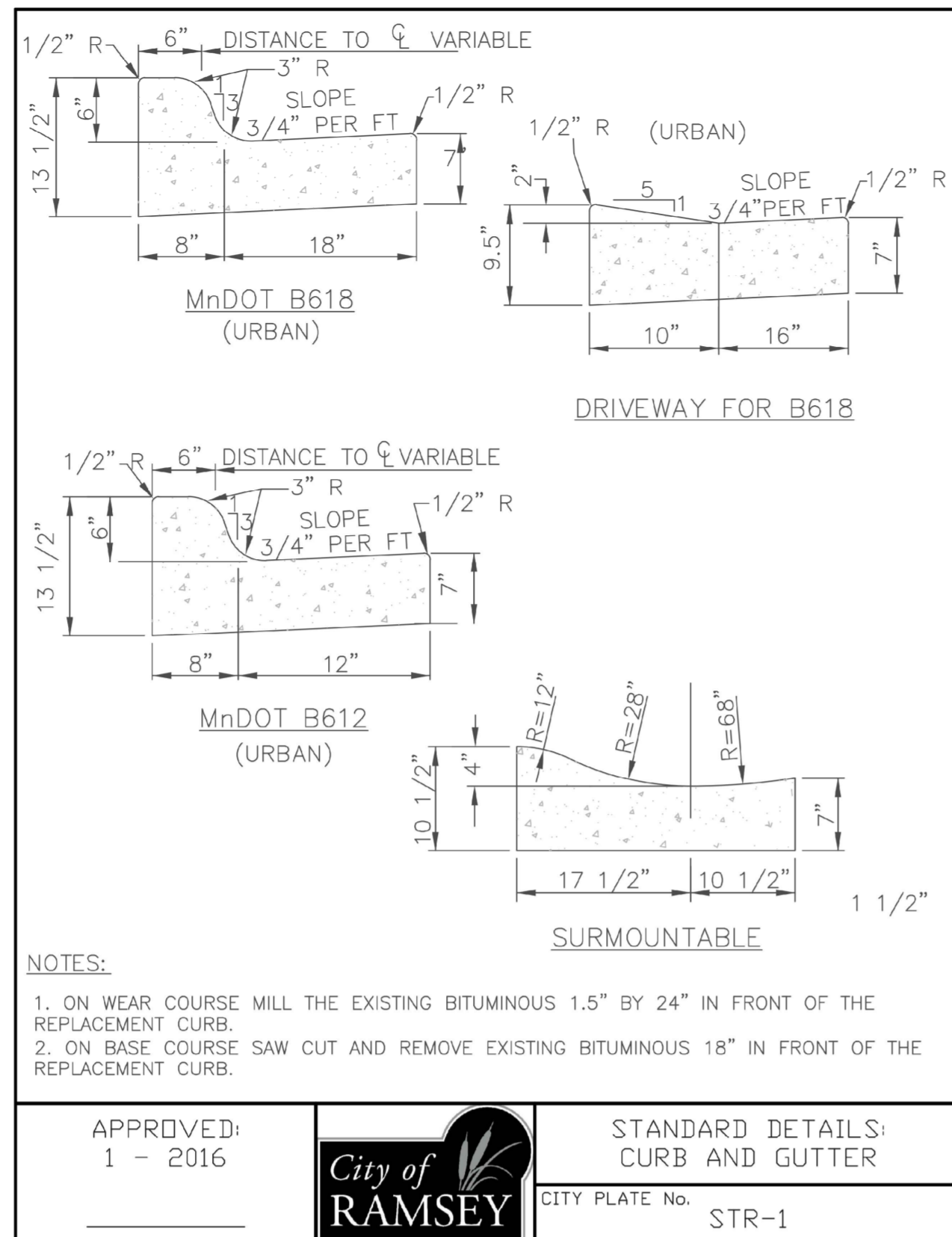


# GARDEN VIEW VILLAS RAMSEY, MINNESOTA

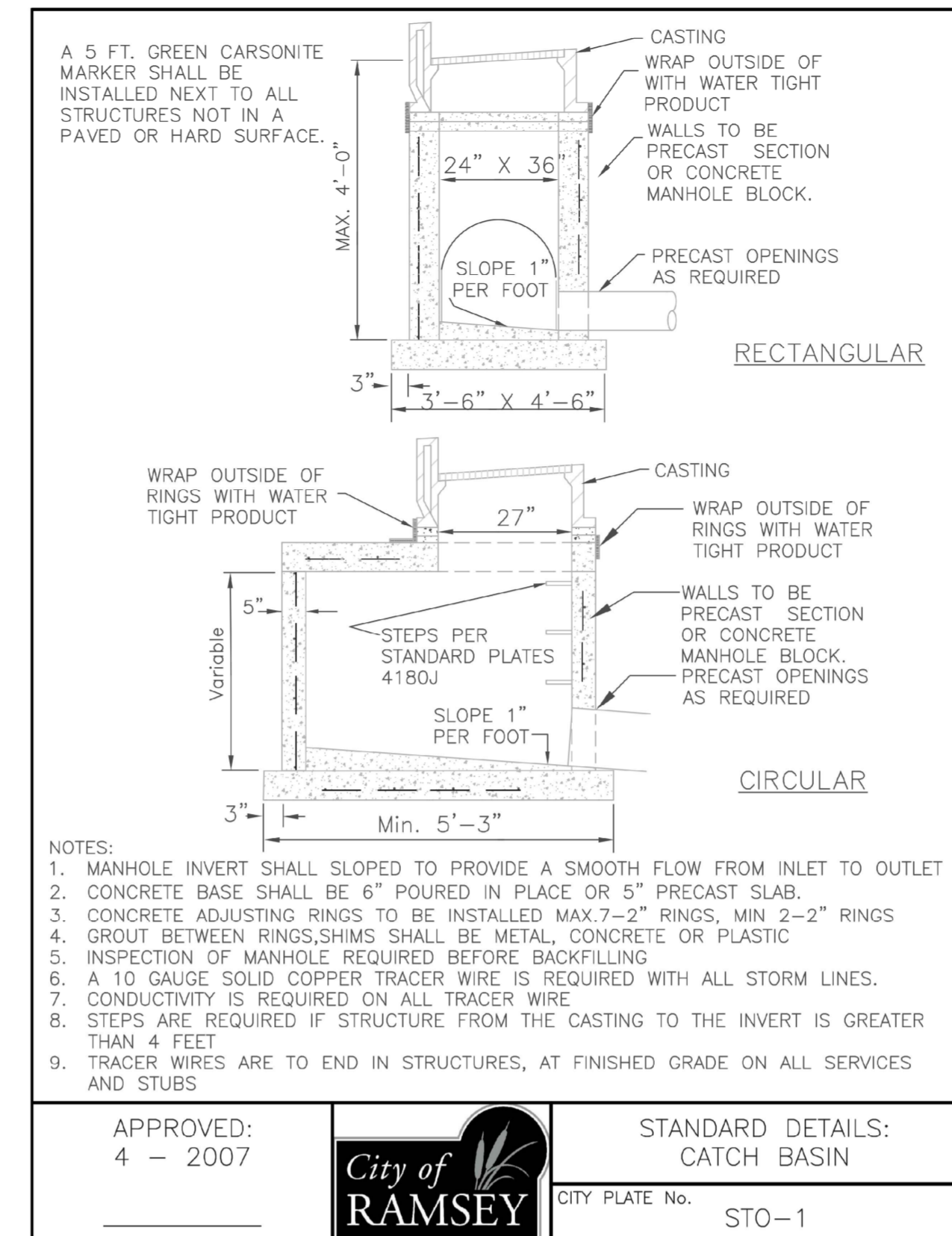
DATE	ISSUE / REVISION	REVIEW
02 JAN 2019	Preliminary Plat	RCH



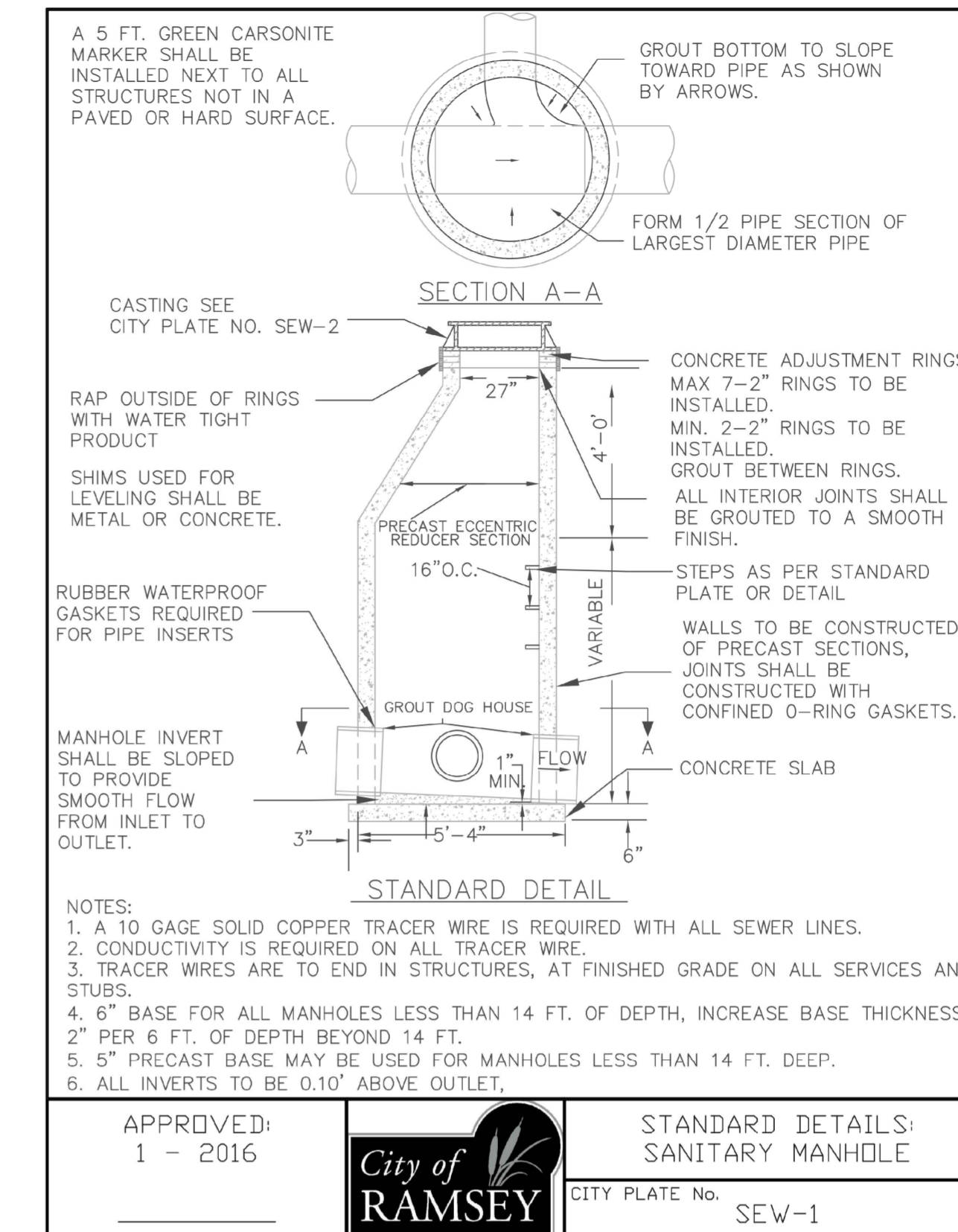
CROSS GUTTER



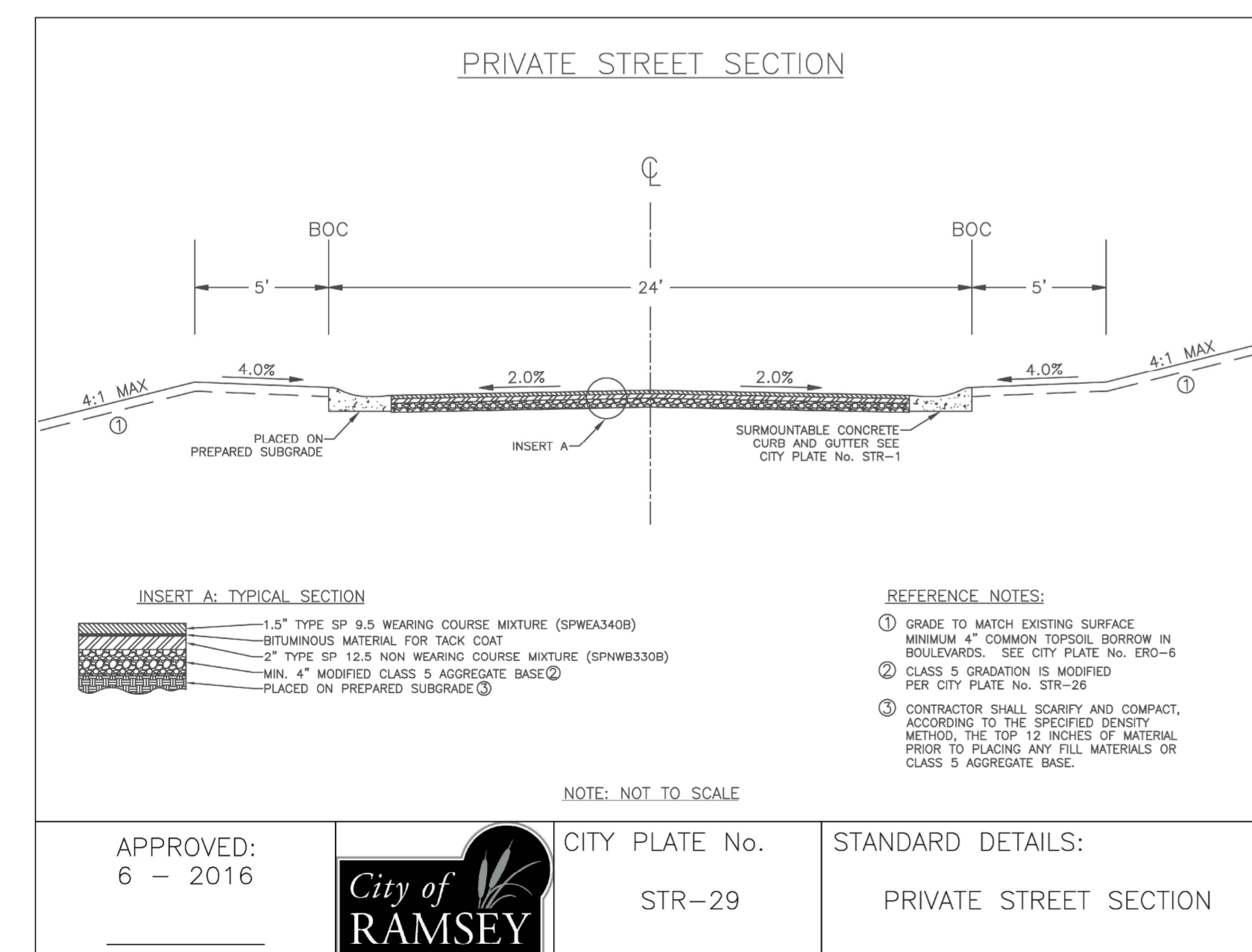
CURB AND GUTTER



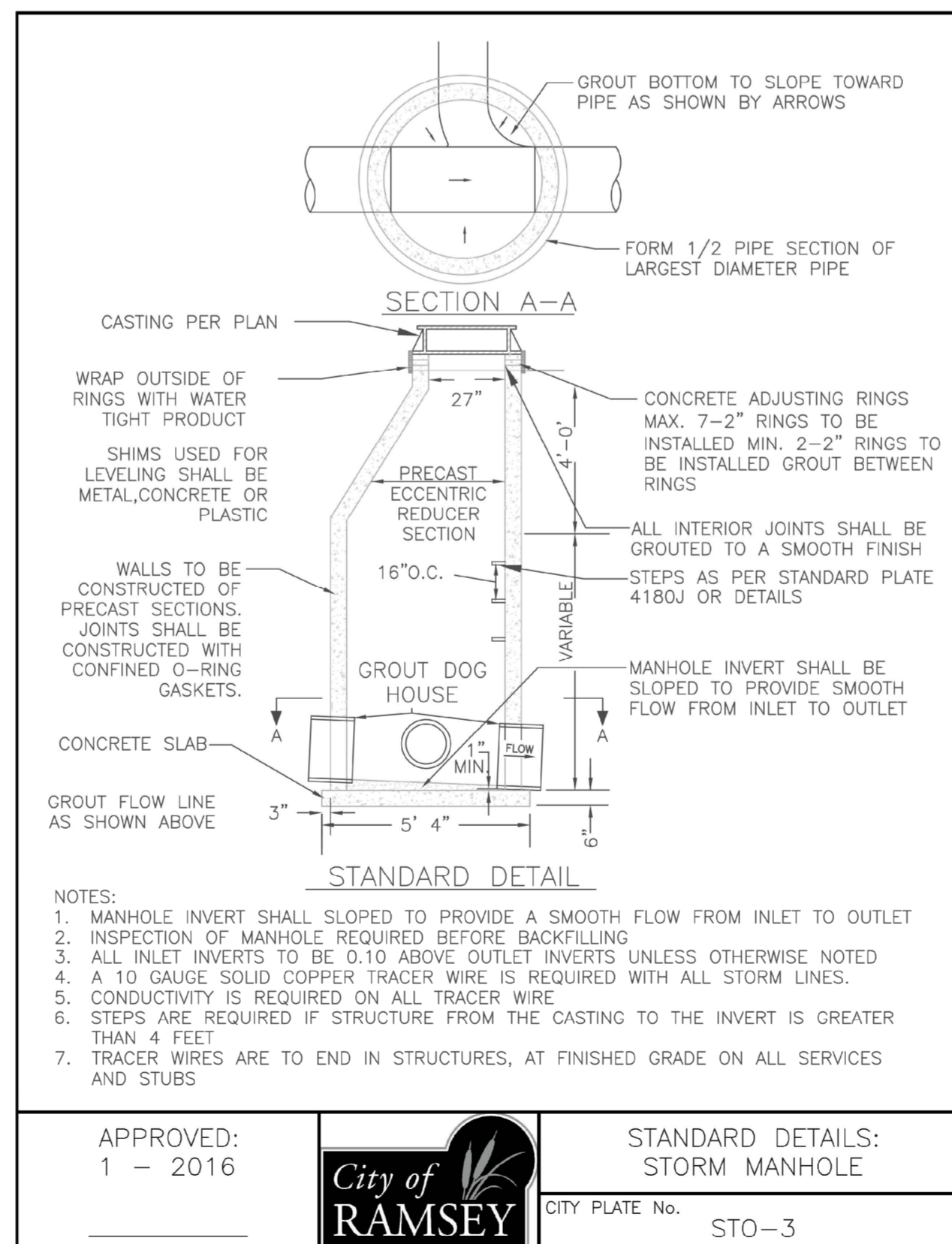
CATCH BASIN



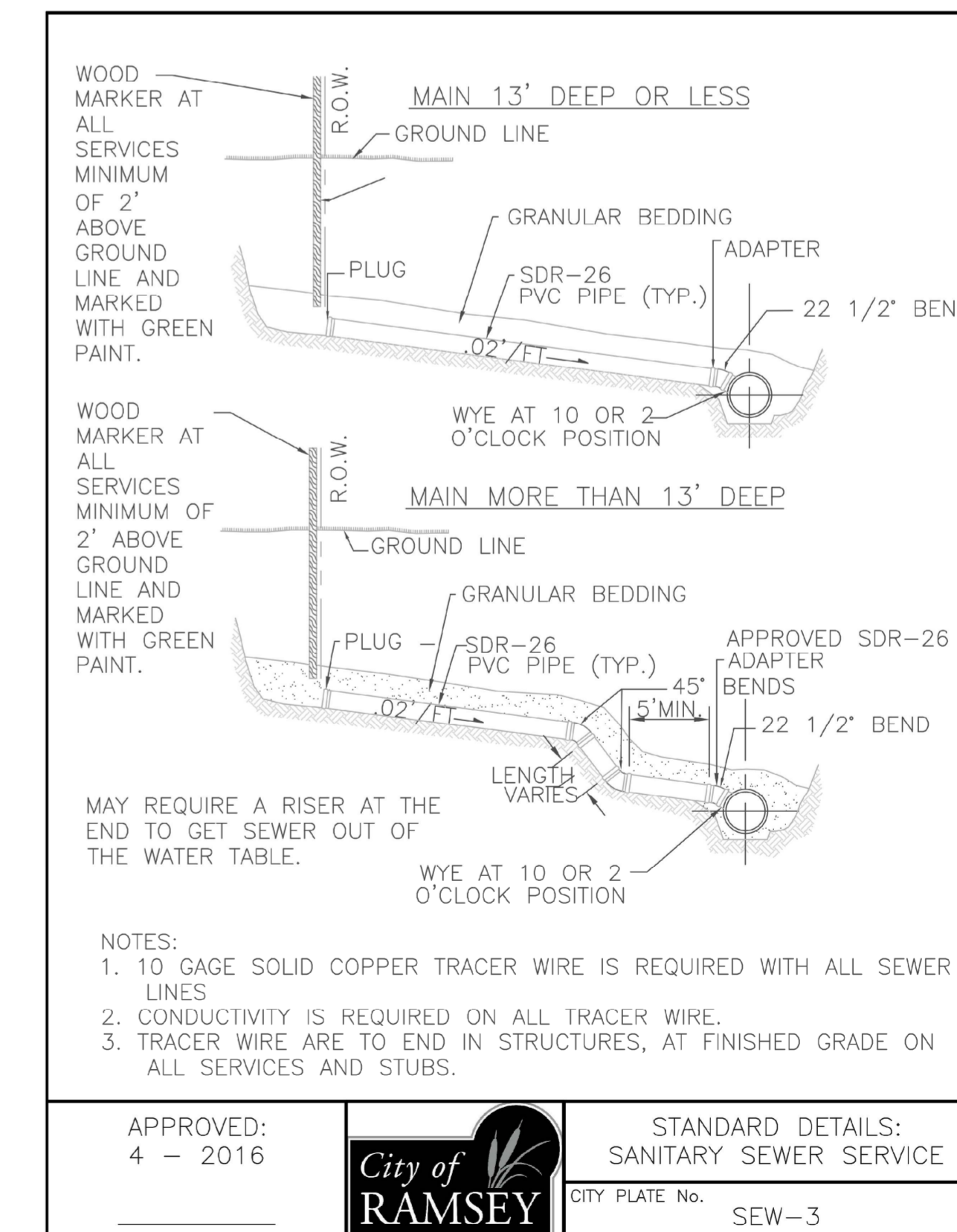
SANITARY MANHOLE



PRIVATE STREET SECTION



STORM MANHOLE



SANITARY SEWER SERVICE

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PRELIMINARY PLAT  
12.02.2019

LANDFORM  
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FILE NAME C702LDP007.dwg

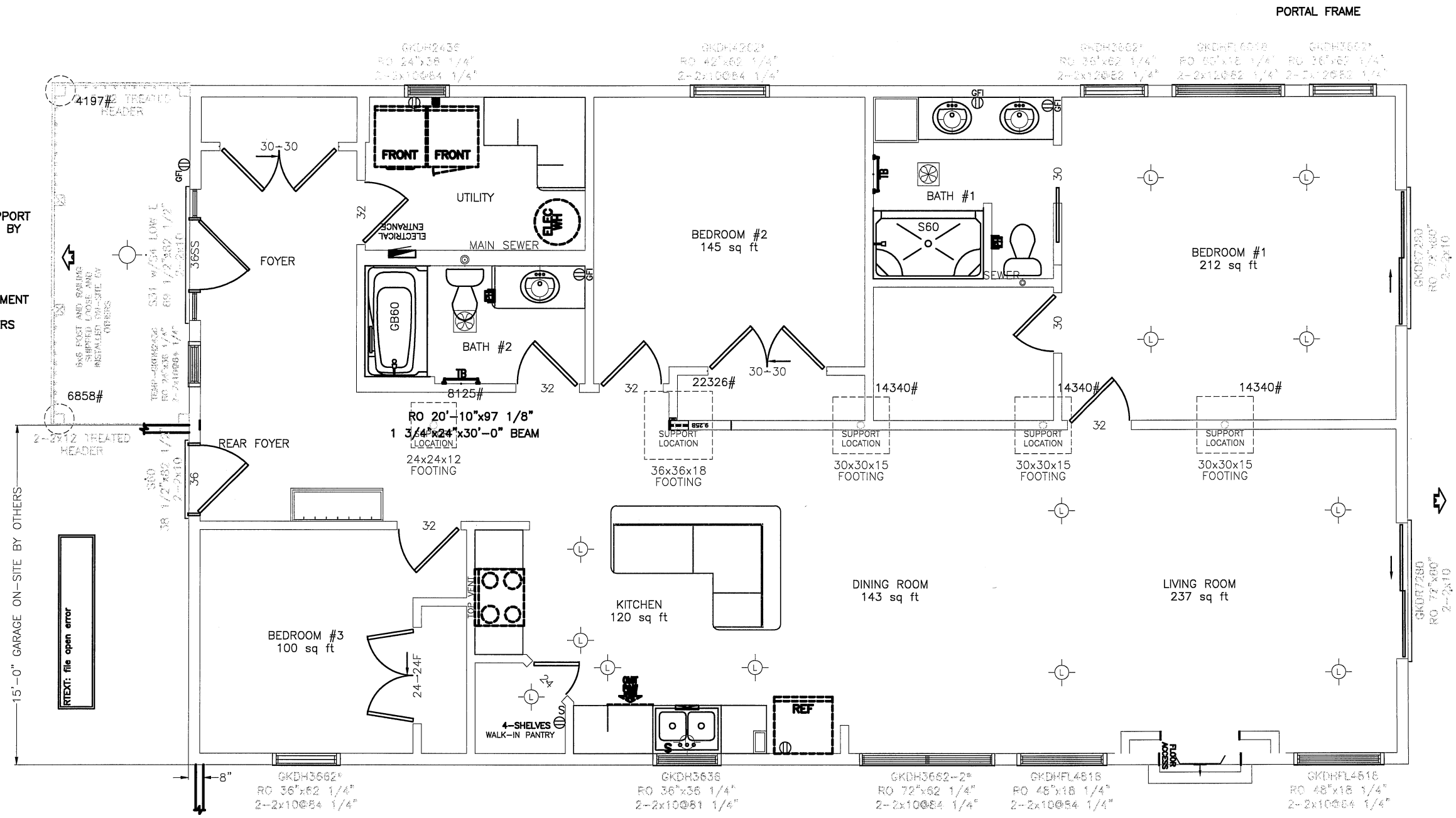
PROJECT NO. LDP19007

CIVIL CONSTRUCTION DETAILS  
**C7.2**









1st Floor  
 1620 sq ft  
 Perimeter 168'-0" ft

**PRELIMINARY PRINT:  
 NOT FOR CONSTRUCTION  
 WISCONSIN HOMES, INC.**

Ideas for porch revisions:

- swap window and /or porch rails for other details: lighting, columns, or wider door/window frame
- Minimize # of columns from 4 to 2 - make the two wider with articulation
- Pull columns in from edge of porch
- Wider steps
- Wider trim
- Rock / stone only an option for base of porch



FYI unclear from CAD what this condition is in the front elevation (applies to all concepts)

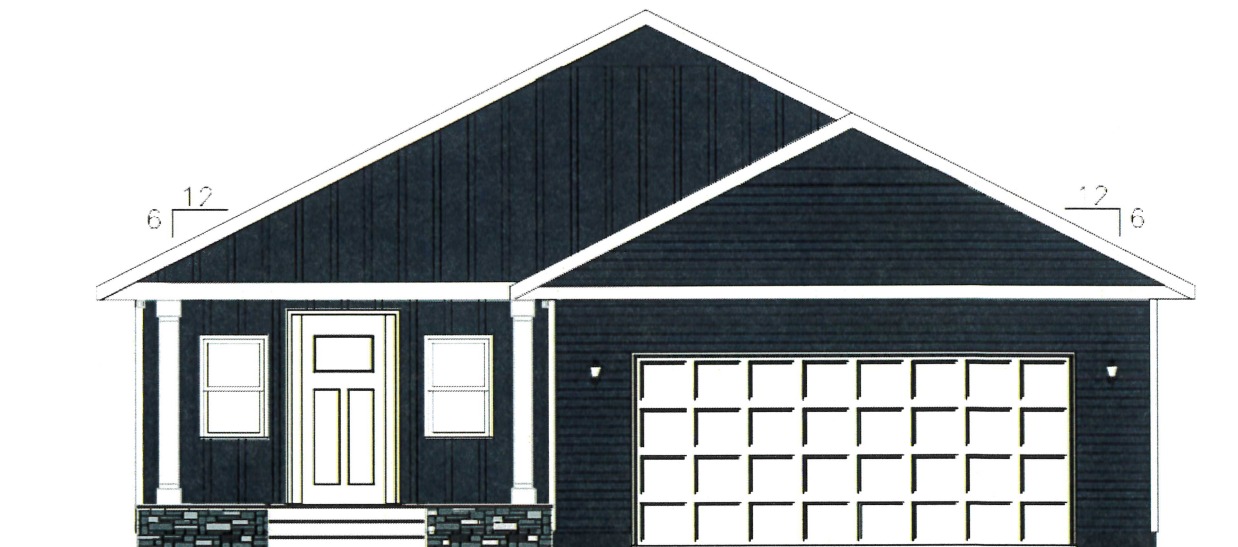
- wider door/window frame



- wider door/window frame
- wider steps up to porch
- wider trim details
- add trim detail between bottom of vinyl and top of concrete slab?



- with porch rails, make opening in railing wider
- no regular windows, add lights instead



- no side windows on door, two regular windows
- stone on base on porch