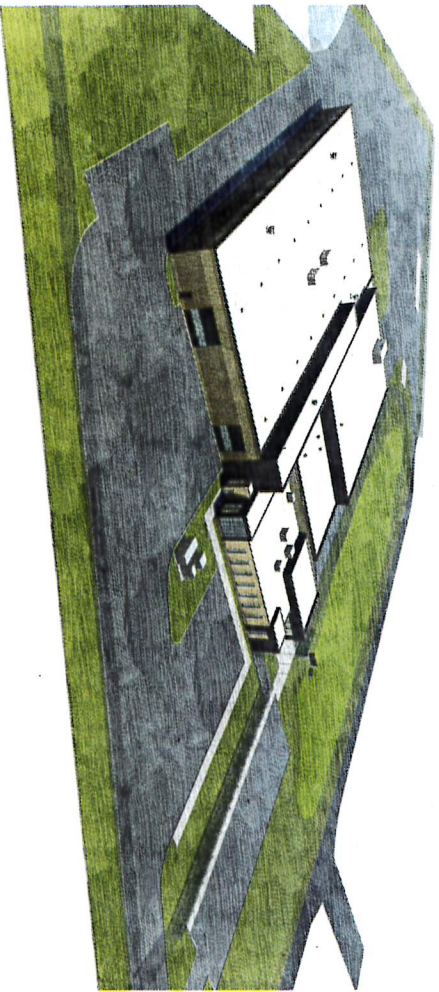


# CITY OF RAMSEY

## PUBLIC WORKS FACILITY

14199 JASPER STREET NW, RAMSEY, MN 55303  
 ARCH. PROJECT NO. 20-08



RAMSEY 04/02/2023 10:10 AM PROJECT NAME: Ramsey Public Works

### ADDITIONS

1. THE FOLLOWING SHEETS HAVE BEEN REVISED TO REFLECT THE LATEST REVISIONS TO THE PROJECT: SEE SHEET 20-08-01 FOR A COMPLETE LIST OF REVISIONS.

2. THE FOLLOWING SHEETS HAVE BEEN REVISED TO REFLECT THE LATEST REVISIONS TO THE PROJECT: SEE SHEET 20-08-01 FOR A COMPLETE LIST OF REVISIONS.

### SHEET INDEX

SHEET NUMBER	SHEET TITLE
20-08-01	GENERAL NOTES
20-08-02	FOUNDATION
20-08-03	CONCRETE
20-08-04	STEEL
20-08-05	MECHANICAL
20-08-06	ELECTRICAL
20-08-07	PLUMBING
20-08-08	PAINT
20-08-09	FINISHES
20-08-10	LANDSCAPE
20-08-11	EXTERIOR
20-08-12	INTERIOR
20-08-13	MECHANICAL
20-08-14	ELECTRICAL
20-08-15	PLUMBING
20-08-16	PAINT
20-08-17	FINISHES
20-08-18	LANDSCAPE
20-08-19	EXTERIOR
20-08-20	INTERIOR



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50% Construction Document Set for Pricing

DATE: \_\_\_\_\_  
 PROJECT DATE: \_\_\_\_\_

PROJECT NAME  
**RAMSEY PUBLIC WORKS FACILITY**  
 CITY OF RAMSEY

PROJECT NUMBER  
 00519551001518  
 Ramsey, MN 55303

DATE: 04/02/23  
 TIME: 10:10 AM  
 PROJECT NAME: Ramsey Public Works

NO.	DATE	DESCRIPTION

PROJECT NAME: Ramsey Public Works  
 SHEET: 20-08-01  
 DATE: 04/02/23  
 TIME: 10:10 AM  
 PROJECT NAME: Ramsey Public Works





Not for Construction  
 100% Construction Documents Set No. 1000

**RAMSEY PUBLIC WORKS FACILITY**  
 CITY OF RAMSEY  
 1000 15th Street, N.W.  
 Atlanta, Georgia 30334  
 Project No. 1000  
 Date: 01/12/20

NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR CONSTRUCTION	01/12/20	JM	DM
2	REVISION			
3	REVISION			

**CODE PLAN**

PROJECT NUMBER: 1000  
 SHEET NUMBER: 011220  
 DATE: 01/12/20

**FIRE RATED WALLS:**

1. FIRE RATED WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 INTERNATIONAL BUILDING CODE (IBC) AND THE 2015 INTERNATIONAL FIRE CODE (IFC).

2. FIRE RATED WALLS SHALL BE CONSTRUCTED WITH A MINIMUM 2-HOUR FIRE RESISTANCE RATING.

3. FIRE RATED WALLS SHALL BE CONSTRUCTED WITH A MINIMUM 1-HOUR FIRE RESISTANCE RATING WHERE SHOWN OTHERWISE.

**GENERAL NOTES:**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC) AND THE 2015 INTERNATIONAL FIRE CODE (IFC).

2. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL AND ELECTRICAL PLUMBING CODE (IMC) AND THE 2015 INTERNATIONAL PLUMBING AND HEATING MECHANICAL AND AIR CONDITIONING CODE (IPMVC).

3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) AND THE 2015 INTERNATIONAL GREEN BUILDING CONSTRUCTION CODE (IGBC).

**EGRESS PATH:**

1. ALL EGRESS PATHS SHALL BE CLEAR AND UNOBSTRUCTED AT ALL TIMES.

2. ALL EGRESS PATHS SHALL BE MARKED WITH EGRESS PATH MARKING.

3. ALL EGRESS PATHS SHALL BE MARKED WITH EGRESS PATH MARKING.

**EGRESS PATH:**

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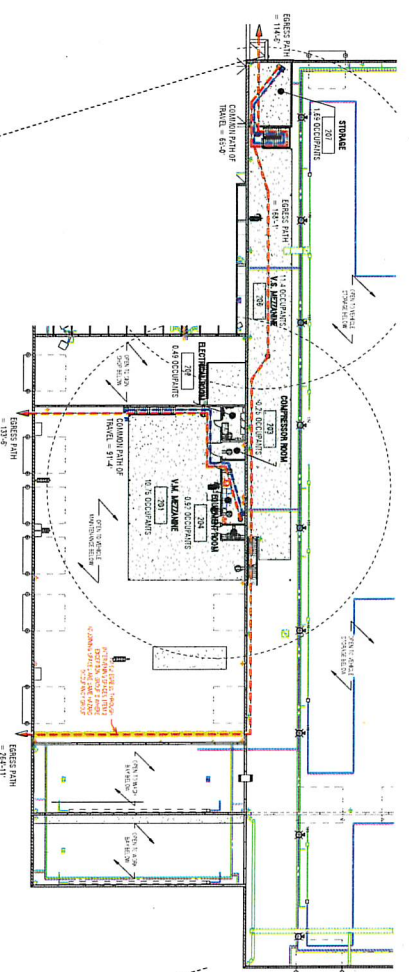
3. ALL EGRESS PATHS SHALL BE MARKED WITH EGRESS PATH MARKING.

**EGRESS PATH:**

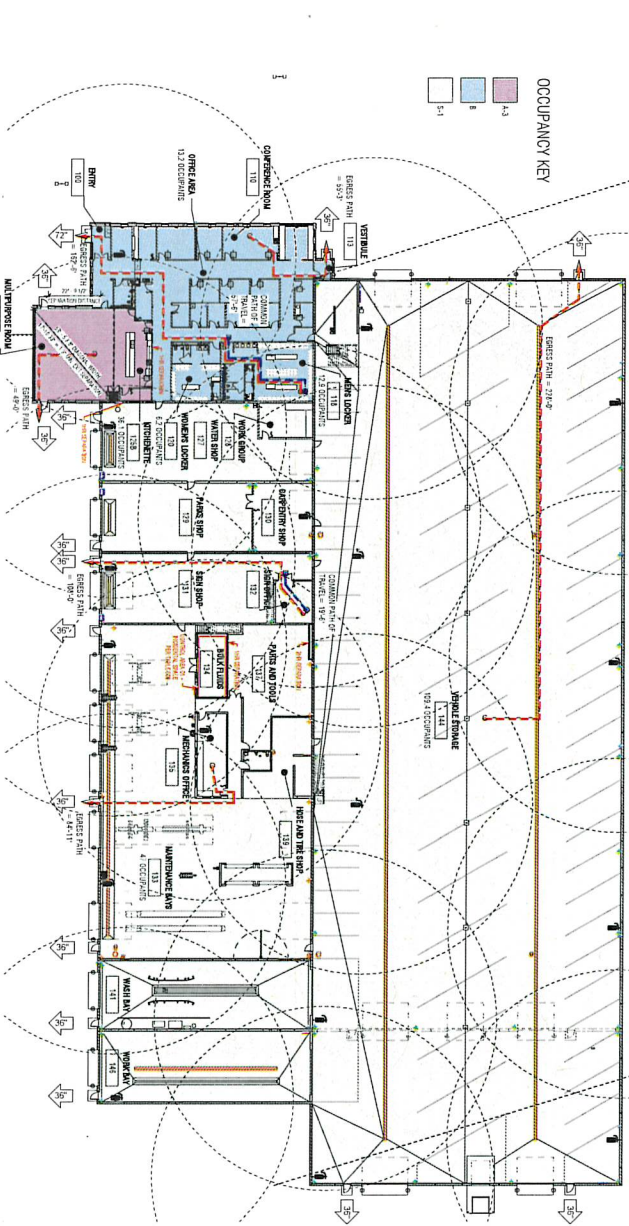
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2. ALL EGRESS PATHS SHALL BE MARKED WITH EGRESS PATH MARKING.

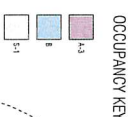
3. ALL EGRESS PATHS SHALL BE MARKED WITH EGRESS PATH MARKING.



2 MEZZANINE FLOOR PLAN



1 FIRST FLOOR PLAN

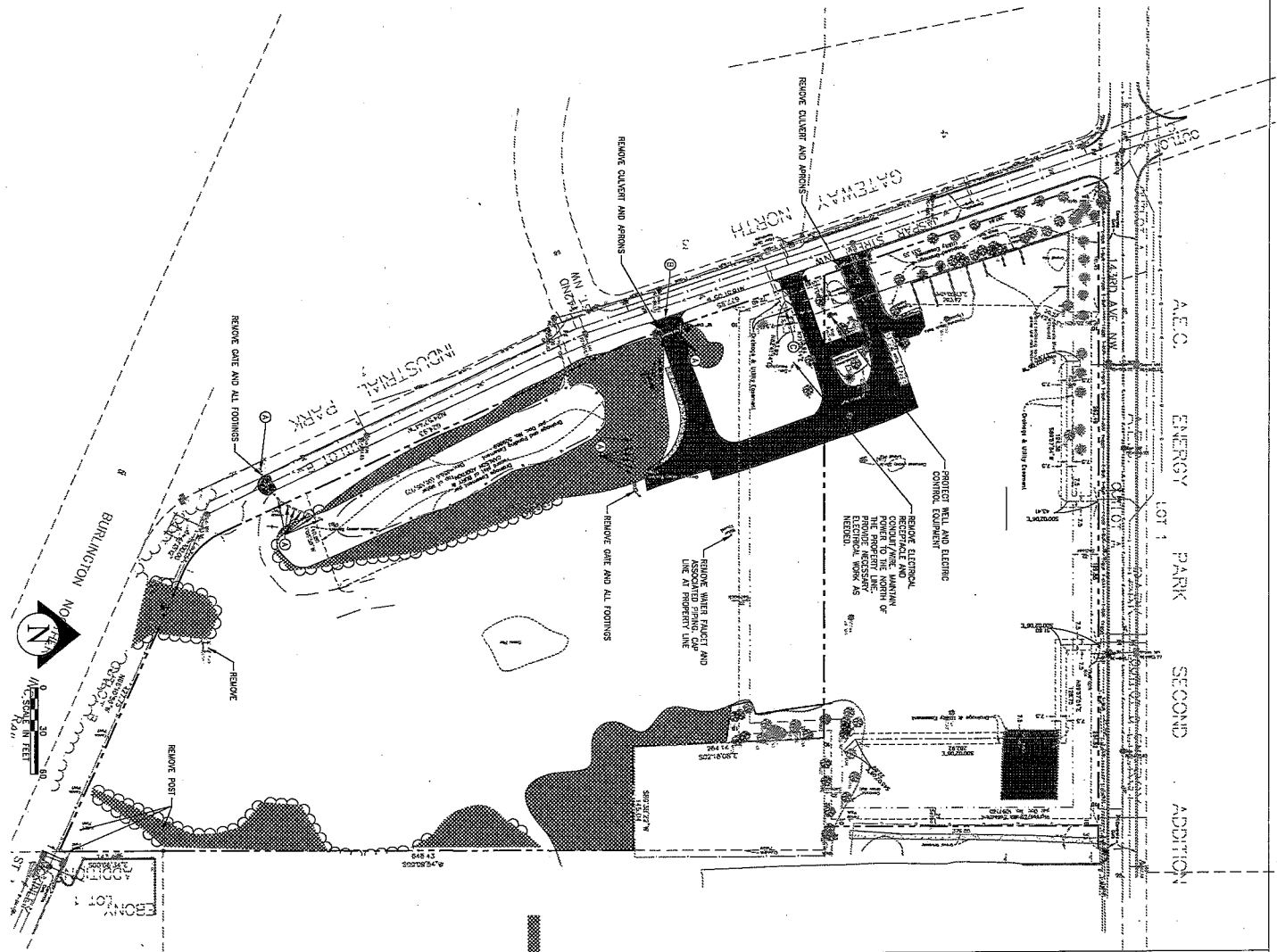


**EXISTING CONDITIONS AND SITE REMOVALS NOTES:**

1. EXISTING CONDITIONS BASED ON SURVEY TYPE OR FIELD BY SURVEY FROM DATED 03-02-2003.
2. CONTRACTOR'S SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFYING THE CITY ENGINEER AND OTHER RELATED AGENCIES.
3. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL UTILITY LOCATES. THE CONTRACTOR SHALL SUBMIT A TICKET FOR PUBLIC UTILITY LOCATIONS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES.
4. CONTRACTOR SHALL PLACE ALL NECESSARY EROSION CONTROL, WEEDS REQUIRED TO MAINTAIN SITE STABILITY PRIOR TO EXCAVATING ANY SITE REMOVALS AND IMPROVEMENTS. SEE EROSION CONTROL PLAN AND STORMWATER POLLUTION PREVENTION PLAN (SWPP) AND RELATED DOCUMENTS.
5. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES WITH PROPERLY CONSTRUCTED AND FIELD VERIFIED COVERS OF EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING, MAINTAINING, OR REPAIRING MISPLACED UTILITY MARKERS (SUCH AS FRINGS, SIGNS, REFLECTION MARKERS, ETC.) THAT MAY BE DAMAGED BY CONSTRUCTION. CONTRACTOR SHALL PROTECT SURFACE AND UNDERGROUND UTILITIES AT DISTURBANCE EDGE. SHALL AND DISPOSE OF ALL REMOVAL DEBRIS OFF-SITE.
6. CONTRACTOR SHALL REMOVE AND REPAIR ALL ITEMS LISTED ON THE PLANS AND OTHER ITEMS AS NECESSARY FOR THE PROJECT AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES.
7. CONTRACTOR SHALL REMOVE AND/OR RELOCATE EXISTING PERMITS OR PUBLIC UTILITIES AS NECESSARY AS NECESSARY. WEATHER STIPED ON THE PLANS SHALL BE REMOVED AND/OR RELOCATED AS NECESSARY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES.
8. CLEAN GRUB AND REMOVE ALL TREES AND VEGETATION WITHIN THE CONSTRUCTION LIMITS, OR AS NOTED, STUMP TORSION, STOCKPILE, AND OTHER ITEMS AS NECESSARY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES.
10. CONTRACTOR SHALL REMOVE ALL STORM AND SEWERAGE STRUCTURES FROM THE PROJECT, AS PERMITTED BY THE OWNER AND GOVERNING AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES.
11. CONTRACTOR SHALL PROVIDE TEMPORARY CONDITIONS, SUCH AS CONSTRUCTION TRAILER, TEMPORARY FENCING, AND OTHER SECURITY MEASURES FOR THE LENGTH OF THE ENTIRE PROJECT.
12. ALL CONSTRUCTION PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS NOTED OTHERWISE.
13. FOR ANY EXCAVATION AND/OR REMOVAL ITEMS, CONTRACTOR TO PROVIDE ALL WORK RELATED TO RE-LOCATION (DEEP AND PERMANENT) STORAGE, AND/OR DISPOSAL.

- NOTES:**
- 1 REMOVE CONCRETE BLOCK
  - 2 REMOVE STAINLESS STEEL (FULL DEPTH)
  - 3 REMOVE TREE
  - 4 REMOVE LIGHTPOLE
  - 5 REMOVE BENCH AND CONCRETE PAD
  - 6 REMOVE TREE
  - 7 PROTECT INFRASTRUCTURE
  - 8 REMOVE DRIVE

- REMOVAL LEGEND:**
- PROTECT LINE
  - REMOVE BITUMINOUS PAVEMENT
  - REMOVE CONCRETE PAVEMENT
  - CLEAR AND GRUB (MCA)
  - CLEAR AND GRUB (TREE)
  - TREE PROTECTION
  - REMOVE PAVEMENT (FULL-DEPTH)
  - REMOVE CURB AND OTHER
  - LIMITS OF DISTURBANCE
  - TREE PROTECTION FENCING



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**CITY OF RAMSEY  
 PUBLIC WORKS FACILITY**  
 JASPAR STREET NW  
 RAMSEY, MN, 55303

PROJECT NO.	2003
DATE	2003.XX.XX
DESIGNER	AND
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DATE	AND
SCALE	AS SHOWN
PROJECT NO.	C 101
PROJECT NAME	REMOVAL PLAN

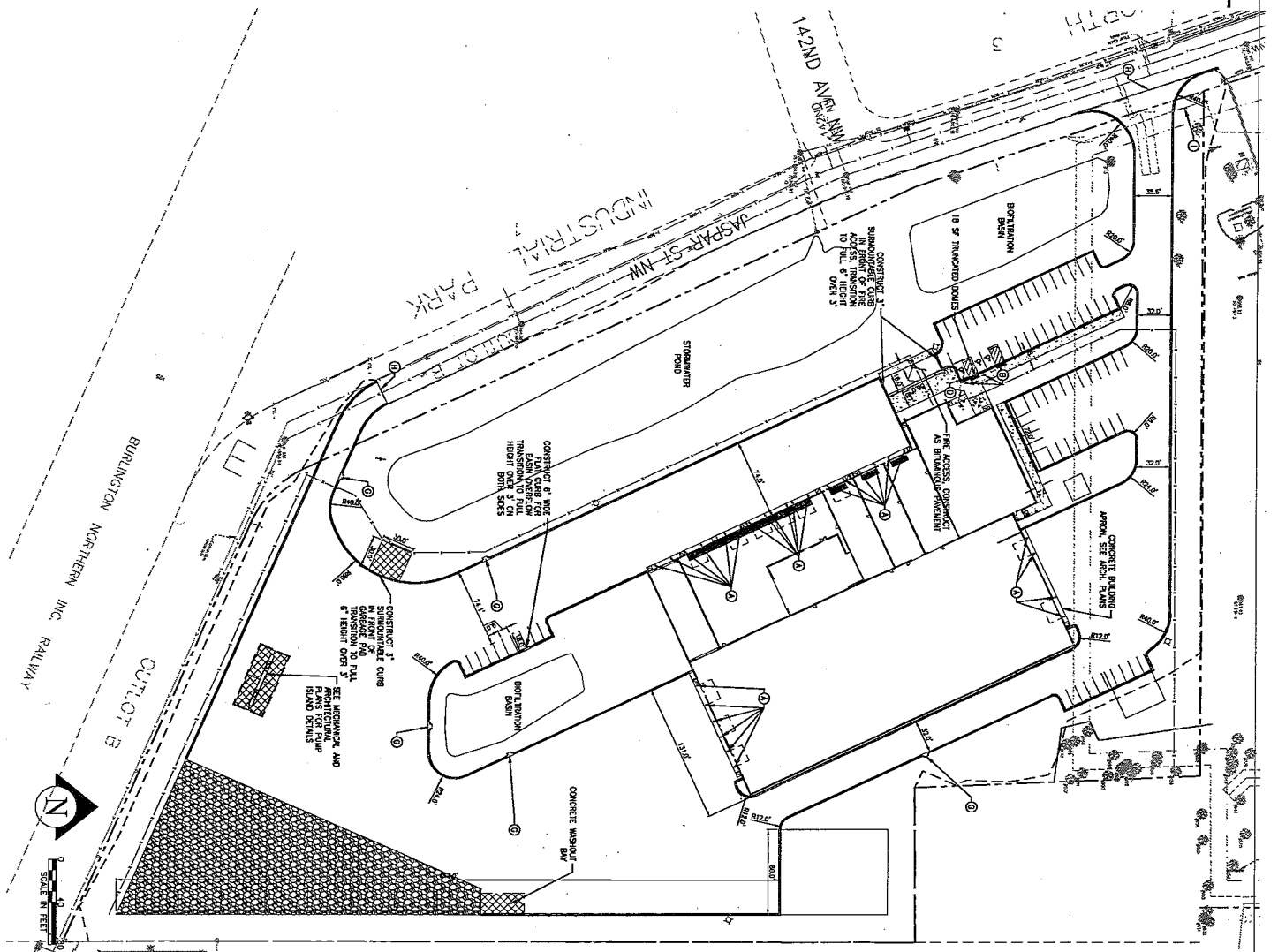
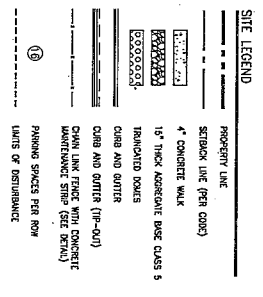
**SITE NOTES**

1. SEE EXISTING CONDITIONS AND REMAIN PLAIN. ADJUST WITH ANY RELATED SPACES FOR DETAILS BY PROJECT ACCESSION NUMBER.
2. REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION ON BUILDING, INCLUDING SPACES, TRAIL ENCLOSURES AND OTHER RELATED SPACES.
3. REMAIN PLAIN IS FOR REFERENCE ONLY; REFER TO LISTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING CONDITIONS.
4. ALL DIMENSIONS ARE TO FACE OF CURB, TOE OF CONCRETE, OR EXTERIOR FACE OF BUILDING, UNLESS NOTED OTHERWISE.
5. ALL CURB AND GUTTER SHALL BE CONCRETE UNLESS OTHERWISE NOTED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, AND CONE TRAFFIC CONTROL DEVICES TO MAINTAIN ACCESS TO THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF TRAFFIC CONTROL DEVICES IN PLACE FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF TRAFFIC CONTROL DEVICES TO MAINTAIN ACCESS TO THE PROJECT SITE.
7. ALL DIMENSIONS ARE TO FACE OF CURB, TOE OF CONCRETE, OR EXTERIOR FACE OF BUILDING, UNLESS NOTED OTHERWISE.
8. CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TIME ALL PRECAUTIONS NECESSARY TO AVOID ADJACENT PROPERTIES.
9. CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TIME ALL PRECAUTIONS NECESSARY TO AVOID ADJACENT PROPERTIES.
10. CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TIME ALL PRECAUTIONS NECESSARY TO AVOID ADJACENT PROPERTIES.
11. CONTRACTOR SHALL PROVIDE ALL SITE GOVERNMENTAL PERMITS AND FEES.

**SIGNAGE AND STRIPING NOTES**

1. ALL TRAFFIC SIGNS, PAVEMENT MARKINGS AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE STANDARDS OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION (MNDOT), OR AS NOTED OTHERWISE.
2. TRAFFIC CONTROL DEVICES SHALL BE 4" WHITE COLOR WHITE, TWO COATS OF PAINT, CONFORMANCE SHALL BE ANY/ALL DIRECTIONAL.
3. ACCESSIBLE PAVEMENT SIGNS AND MARKINGS PER LATEST ADA CODE AND REQUIREMENTS, CONTRACTOR SHALL PAINT THE INTERNATIONAL SYMBOL OF ACCESSIBILITY IN EACH DESIGNATED ACCESSIBLE STALL IN BLUE BACKGROUND WITH WHITE BORDER. TWO COATS OF PAINT, CONFORMANCE SHALL BE ANY/ALL DIRECTIONAL. SIGNS TO BE LOCATED AT THE REAR OF THE PARKING SPACE. SEE ACCESSIBLE PAVEMENT DETAILS.
4. ALL SIGNS SHALL INCLUDE MAINTAINING WORKING, PEST, CONCRETE FOOTING AND CEMENT WHERE REQUIRED. CONCRETE CEMENT SHALL BE LOCATED IN DESIGNATED WHERE SIGN IS NOT PROTECTED BY CURB.
5. SIGN LOCATION, A MINIMUM OF 4' FROM DRIVEWAY. ALL STOP SIGNS SHALL EXTEND FROM DRIVEWAY, UNLESS OTHERWISE NOTED.
6. ALL SIGNS SHALL BE PLACED 18" BEHIND THE BACK OF CURB, UNLESS OTHERWISE NOTED.

- SITE REF NOTES**
- ① BOLLARD (ALSO SEE ARCH)
  - ② METAL ADA PARKING SIGN PER MINNESOTA BUILDING CODE (77-80) AND VAN ACCESSIBLE SIGN (77-80)
  - ③ METAL NO PARKING SIGN (78-30)
  - ④ FLUSH CURB (SEE GRADING PLAN FOR LIMITS)
  - ⑤ TRANSITION FROM 6" CURB HEIGHT TO 8" CURB HEIGHT, MAX SLOPE 5:1
  - ⑥ TRANSITION FROM 8" CURB HEIGHT TO 6" CURB HEIGHT, MAX SLOPE 5:1
  - ⑦ CONCRETE PAVED CURB OUTLET FOR SURFACE DRAINAGE
  - ⑧ UNDO EXISTING
  - ⑨ REMAIN 30" STOP SIGN (71-1)



<p><b>CITY OF RAMSEY</b> <b>PUBLIC WORKS FACILITY</b> JASPAR STREET NW RAMSEY, MN, 55303</p>	<p>DATE: 08/11/2010 TIME: 10:00 AM SCALE: 1/8" = 1'-0"</p>	<p>PROJECT: XXX SHEET: 102 DATE: 08/11/2010</p>	<p>DESIGNED BY: XXX CHECKED BY: XXX DATE: 08/11/2010</p>	<p>CONTRACT NO.: XXX SHEET NO.: 102 DATE: 08/11/2010</p>	<p>PROJECT NO.: XXX SHEET NO.: 102 DATE: 08/11/2010</p>
<p><b>CITY OF RAMSEY PUBLIC WORKS FACILITY</b></p>					
<p>JASPAR STREET NW, RAMSEY, MN, 55303</p>					
<p>DATE: 08/11/2010</p>					
<p>SCALE: 1/8" = 1'-0"</p>					
<p>PROJECT: XXX</p>					
<p>SHEET: 102</p>					
<p>DATE: 08/11/2010</p>					
<p>DESIGNED BY: XXX</p>					
<p>CHECKED BY: XXX</p>					
<p>DATE: 08/11/2010</p>					
<p>CONTRACT NO.: XXX</p>					
<p>SHEET NO.: 102</p>					
<p>DATE: 08/11/2010</p>					

**C102**

SITE PLAN

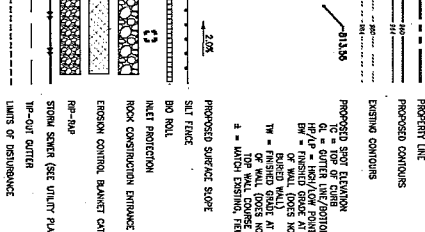
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(612) 908-5186  
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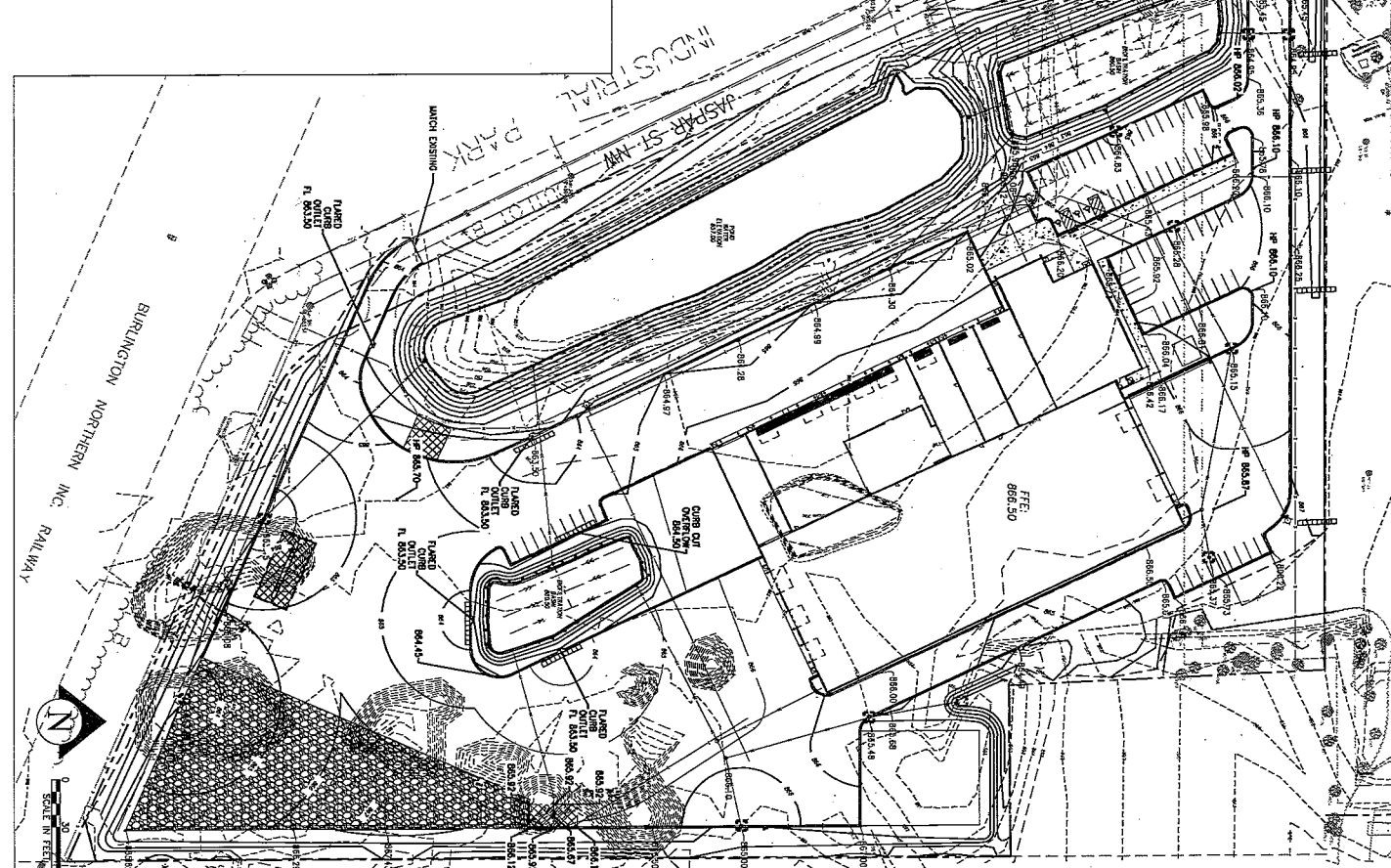
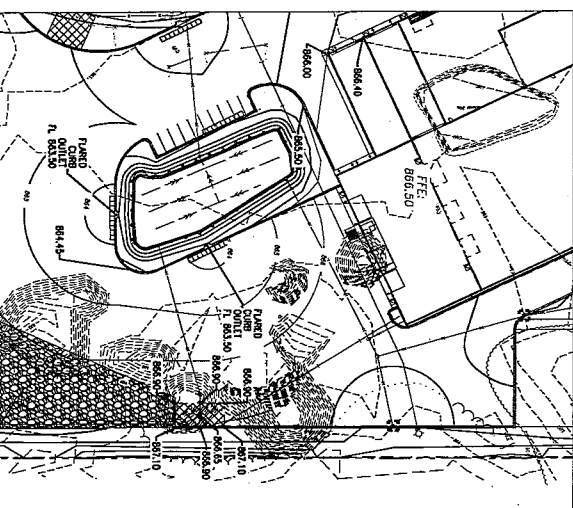
**GRADING, DRAINAGE AND EROSION CONTROL NOTES**

1. THE SURFACE GRADY REVISIONS IN THIS PLAN IS UNDER EXISTING 1.5% D. THIS GRADY 1.5% WAS DETERMINED ACCORDING TO THE GUIDELINES OF CHAPTER 8-2, LIMITED SLOPED CHANNELS FOR THE COLLECTION AND REMOVAL OF EXCESS SURFACE WATER DRAIN.
2. THE DRAINAGE SHALL BE KEPT UNCHANGED AND EXISTING DRAINAGE AND TYPICAL EROSION FEATURES SHALL BE MAINTAINED OR IMPROVED TO THE EXTENT POSSIBLE BY THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY OBSERVATIONS OR VIOLATIONS FROM THE PLAN.
3. CONSTRUCTION OF THE DRAINAGE AND TYPICAL EROSION FEATURES SHALL BE KEPT UNCHANGED FROM THE PLAN.
4. SPOT EROSION RESISTANT FINISHED SURFACE GRADES, GUTTER/TOP LINE, FACE OF BUILDING, OR EDGE OF PARKING UNLESS OTHERWISE NOTED.
5. CATCH BASINS AND TRAPBOYS IN PAVED AREAS SHALL BE SUMPED DOWN FEET. ALL CATCH BASINS IN CULVERTS SHALL BE SUMPED 0.18 FEET ABOVE THE FINISHED SURFACE GRADE.
6. ALL INTERIOR WAREHOUSE AREAS ARE TO BE RECOVERED WITHIN 4 HOURS OF TOP SOIL AND SEED/AUGER OR SO. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED. STIR, STEADY AND REINFORCE EXISTING OPENING, AS SURVIVABLE.
7. FOR SITES REMAINING WET - THE EQUALS SURFACE GRADE AT THE TOP OF WALL (NOT TOP OF WALL) TOP EQUALS SURFACE GRADE AT THE TOP OF WALL (NOT TOP OF WALL) SHALL BE MAINTAINED.
8. STRIPS MUST BE CLEANED AND SWEPT WHENEVER TRACKING OF SUBSTRATE OCCURS AND BEFORE SITES ARE LEFT FOR WEEKENDS.
9. DIRT SHALL BE RECOVERED/CONTROLLED.
10. ALL SLOPES 1:3 (V:H) OR GREATER REQUIRED TO RECEIVE SURFACE EROSION CONTROL WHETHER IT IS INDICATED ON THE PLAN OR NOT. MAINTAIN SLOPE 1:3 (V:H) OR GREATER.
11. TEMPORARY SOIL STABILIZATION SHALL BE EFFECTIVE STARTING CONTROL AND CAN NOT BE PLACED IN SURFACE WATERS OR STORM WATER COLLECTION SYSTEMS. TEMPORARY STABILIZATION SHALL BE SUFFICIENT TO PREVENT EROSION AND THAT EROSION AREAS ARE STABILIZED WITHIN 48 HOURS OF CONSTRUCTION. TEMPORARY STABILIZATION SHALL BE SUFFICIENT TO PREVENT EROSION AND THAT EROSION AREAS ARE STABILIZED WITHIN 48 HOURS OF CONSTRUCTION.
12. CONSTRUCTION SHALL BE KEPT UNCHANGED FROM THE PLAN.
13. ALL EXISTING AND PROPOSED CONSTRUCTION SHALL BE KEPT UNCHANGED FROM THE PLAN.
14. MANAGEMENT PRACTICES (MP) - THE MORE RESTRICTIVE REQUIREMENT SHALL APPLY.
15. SET STORMWATER POLLUTION PREVENTION PLAN (SWPPP) NOTES AND DETAILS FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS. CONTRACTOR SHALL PROVIDE ALL REQUIRED EROSION CONTROL, PERMITS/FEES, INSPECTIONS, INSPECTIONS, AND REPORTS AS NECESSARY TO MAINTAIN COMPLIANCE.
16. CONTRACTOR TO PROVIDE ALL SURFACE SOIL CORRECTIONS, INCLUDING REMOVAL, OF SURFACE SOILS FOR PROJECT IMPROVEMENTS. REPORT FOR ANY ADDITIONAL SITE PREPARATION INFORMATION OR REQUIREMENTS.
17. F. REMOVE WATER'S PRESENCE IN THE EXCAVATION, OR IF THE EXCAVATION IS NOT MET AND UNSTABLE, CONTACT THE OWNER OR ENGINEER FOR A RECOMMENDATION FROM THE GEOLOGICAL ENGINEER.
18. CONTRACTOR SHALL REMOVE ALL EXISTING CONSTRUCTION FROM THE EXCAVATION. THE CONTRACTOR SHALL MAINTAIN THE EXISTING CONSTRUCTION UNLESS OTHERWISE NOTED.
19. CONTRACTOR TO PREVENT DIRT AND/OR DEBRIS FROM ENTERING STORM SEWER OR BEING TRANSPORTED OFF SITE IN AN UNCONTROLLED MANNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING AND PROPOSED CONSTRUCTION AND ALL UTILITIES. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND PROPOSED CONSTRUCTION AND ALL UTILITIES. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND PROPOSED CONSTRUCTION AND ALL UTILITIES.
20. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND PROPOSED CONSTRUCTION AND ALL UTILITIES. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND PROPOSED CONSTRUCTION AND ALL UTILITIES.
21. ALL EXISTING NON-PAVED AREAS SHALL RECEIVE TEMPORARY PROTECTION OR PERMANENT COVER WITHIN 14 DAYS OF DISTURBANCE OPERATIONS.
22. WHEN PAVED STORMWATER FIELDS SHALL BE CLEANED WITHIN SEVEN DAYS OF THE DATE OF THE SUE.
23. WHEN SEEDING IS REQUIRED ON TO PAVED SURFACES, IT SHALL BE REMOVED WITHIN 24 HOURS OF DEPOSIT.
24. WHEN SEEDING IS REQUIRED ON TO PAVED SURFACES, IT SHALL BE REMOVED WITHIN 24 HOURS OF DEPOSIT.
25. WHEN SEEDING IS REQUIRED ON TO PAVED SURFACES, IT SHALL BE REMOVED WITHIN 24 HOURS OF DEPOSIT.
26. ALL EXCAVATIONS MUST COMPLY WITH THE REQUIREMENTS OF OSHA 29 CFR PART 1926, SUBPART P, EXCAVATIONS AND TRENCHES. THIS DOCUMENT IS NOT A SUBSTITUTE FOR THE OSHA 29 CFR PART 1926, SUBPART P, EXCAVATIONS AND TRENCHES. THIS DOCUMENT IS NOT A SUBSTITUTE FOR THE OSHA 29 CFR PART 1926, SUBPART P, EXCAVATIONS AND TRENCHES. THIS DOCUMENT IS NOT A SUBSTITUTE FOR THE OSHA 29 CFR PART 1926, SUBPART P, EXCAVATIONS AND TRENCHES.
27. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING AND PROPOSED CONSTRUCTION AND ALL UTILITIES. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND PROPOSED CONSTRUCTION AND ALL UTILITIES.
28. CONTRACTOR TO PROVIDE ALL SURFACE CONSTRUCTION SIGNAGE.

**GRADING AND EROSION CONTROL LEGEND**



**ALTERNATE GRADING PLAN**



**CITY OF RAMSEY  
PUBLIC WORKS FACILITY**

JASPAR STREET NW  
RAMSEY, MN, 55303

**AORTEL ARCHITECTS**  
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**GRADING, DRAINAGE & EROSION CONTROL PLAN**  
**C 104**

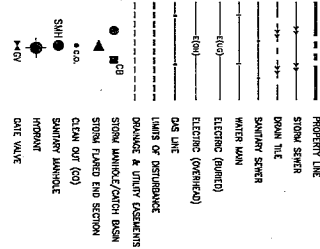




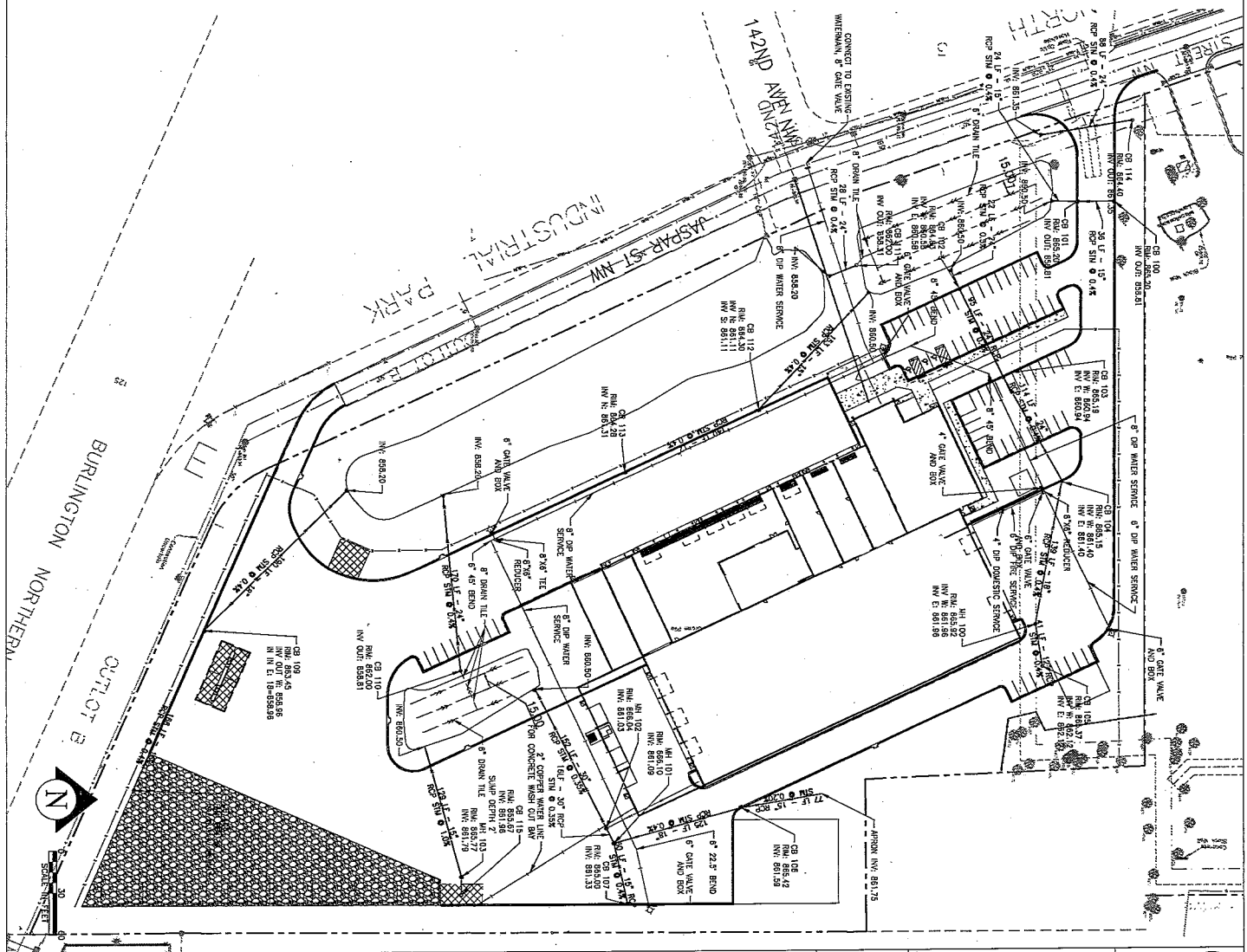
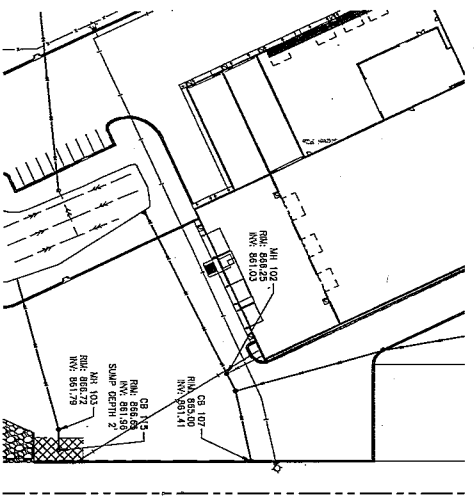
**UTILITY NOTES**

1. THE SUBSEQUENT UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL 0. THIS UTILITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDANCE OF C/ASCT 39-2. UNLIMITED STAMPAID QUERIES FOR THE COLLECTION AND DEPOSITION OF EXISTING SUBSURFACE UTILITY DATA SHALL BE EXERCISED RESPONSIBLY FOR ALL UTILITY LOCATIONS. COMPANY ENGINEERS SHALL NOT BE RESPONSIBLE FOR THE LOCATION OF UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
2. THE LOCATION OF UTILITY LOCATIONS SHALL BE DETERMINED BY THE COMPANY ENGINEER. THE COMPANY ENGINEER SHALL BE RESPONSIBLE FOR THE LOCATION OF UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
3. THE EXISTING CONDITIONS FOR UTILITY MATERIALS, INSTALLATION, AND TESTING.
4. COMPANY, WITH ALL LOCAL AND STATE REQUIREMENTS FOR UTILITY MATERIALS, INSTALLATION, AND TESTING.
5. OBTAIN ALL PERMITS OR APPROVALS FROM LOCAL UTILITY OWNERS PRIOR TO BEGINNING UTILITY INSTALLATIONS. NOTIFY UTILITY OWNERS OF THE START OF CONSTRUCTION FOR THE PROJECT AND ANY SPECIAL UTILITY WORK AT LEAST 48 HOURS IN ADVANCE.
6. FIELD VERIFY AND CORRECTIVE ACTION. VERIFY UTILITY LOCATIONS AND DEPTHS. VERIFY UTILITY DEPTHS AND DEPTHS FROM THE PLAN FOR RESTRICTIONS PRIOR TO BEGINNING UTILITY INSTALLATIONS.
7. ADVISE UTILITY OWNERS OF ANY UTILITY LOCATIONS, STRUCTURES, DEPTHS, RESTRICTIONS, AND DEPTHS. ADVISE UTILITY OWNERS OF ANY UTILITY LOCATIONS, STRUCTURES, DEPTHS, RESTRICTIONS, AND DEPTHS.
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**UTILITY LEGEND**



**ALTERNATE UTILITY PLAN**



**ORITTEL ARCHITECTS**  
 17533 CLARK AVENUE  
 ST. PAUL, MN 55103  
 (612) 655-1155  
 www.orittel.com

**CITY OF RAMSEY  
 PUBLIC WORKS FACILITY**  
 JASPAR STREET NW  
 RAMSEY, MN, 55303

**C 106**

UTILITY PLAN

DATE: XXXX  
 DRAWN BY: XXX  
 CHECKED BY: AUC

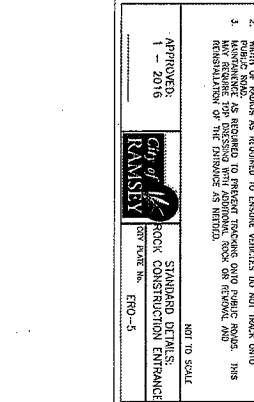
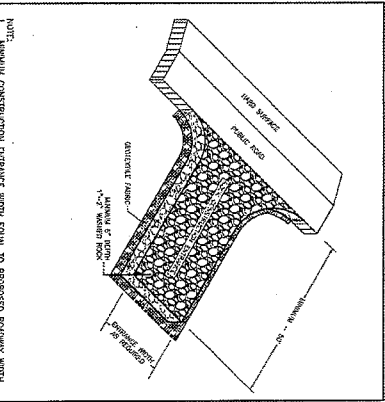
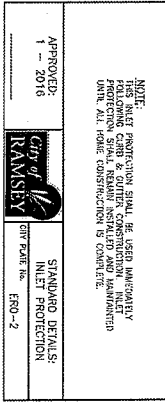
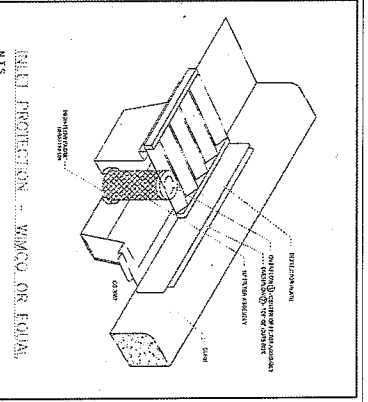
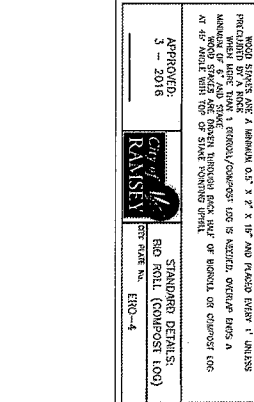
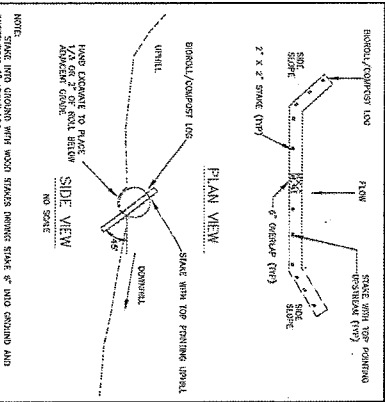
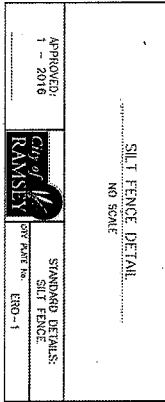
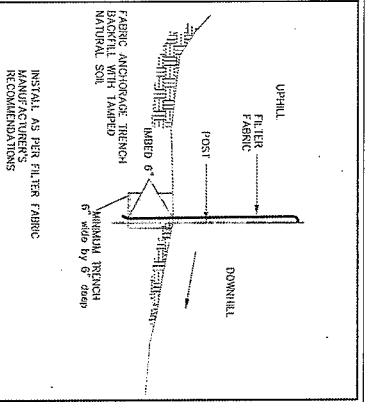
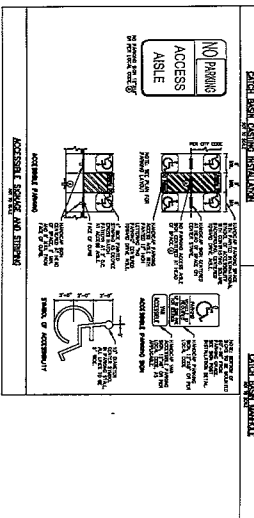
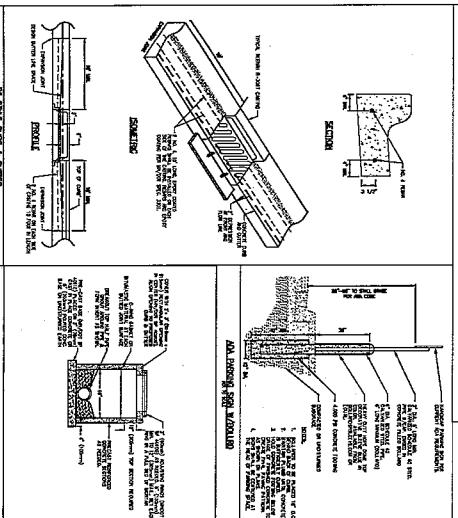
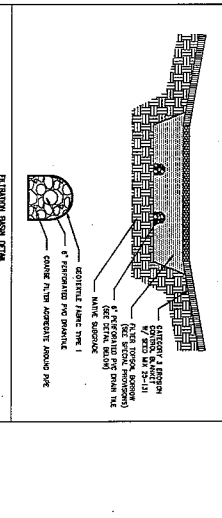
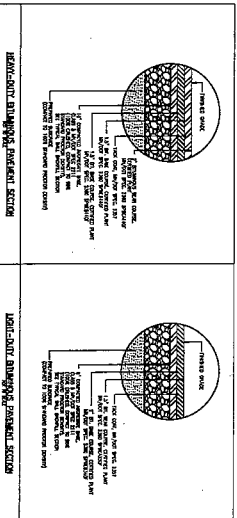
COMPARISON: XXXX

REVISIONS: XXXX

DESCRIPTION: XXXX

**CITY OF RAMSEY**  
**PUBLIC WORKS FACILITY**  
 JASPAR STREET, NW  
 RAMSEY, MN, 55303

NO. 100	300X
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NO. 150	300 X 300





**LANDSCAPE NOTES**

1. INSTALLATION OF SHRUBS AND TREES BY OWNER. CONTRACTOR SHALL PROVIDE ALL PLANTING AREAS, SEEING AND SOODING SHALL BE INSTALLED.
2. CONTRACTOR SHALL CONTACT OWNER STATE ONE DAY TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
3. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SOIL CONDITIONS.
4. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND COMPLETION HAS BEEN COMPLETED IN THE LANDSCAPE AREA.
5. COORDINATE ALL LANDSCAPE WORK WITH APPROPRIATE TEMPORARY AND PERMANENT EROSION CONTROL.
6. ALL SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER AND CITY PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
7. PLANTS SHALL BE MANUFACTURED PLANTED UPON ARRIVAL AT SITE. PROPER FIELD-MANAGEMENTS IF NECESSARY, TEMPORARY ONLY.
8. PLANTS SHALL BE PLANTED AT THE SPECIFIED LOCATIONS AND DEPTHS. PLANTS SHALL BE PLANTED AT THE SPECIFIED LOCATIONS AND DEPTHS. PLANTS SHALL BE PLANTED AT THE SPECIFIED LOCATIONS AND DEPTHS.
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17. ALL DISTURBED AREAS TO BE SEEDED, UNLESS OTHERWISE NOTED.
18. CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED. OWNER WILL NOT PROVIDE WATER FOR CONSTRUCTION.
19. REMOVE ALL DUMPED FROM PLANTING OPERATIONS AT NO COST TO OWNER.

**LANDSCAPE SUMMARY**

**CODE REQUIREMENTS**

- 1 TREE PER 50 LINEAL FEET OF SITE PERIMETER OR 1 TREE PER 1,000 SQUARE FEET OF BUILDING FOOTPRINT AREA.
- 1 SHRUB PER 50 LINEAL FEET OF SITE PERIMETER OR 1 SHRUB PER 500 SQUARE FEET OF BUILDING FOOTPRINT AREA.
- MINIMUM 10' BUFFER.

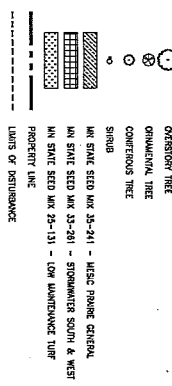
**RECOMMENDATIONS/TREES REQUIRED - BUILDING SQUARE FEET**

- BUILDING SF = 78,888 SF
- 1 TREE PER 1,000 SF
- TOTAL NUMBER OF TREES REQUIRED = 80 TREES
- 20 CONIFERUS TREES, 6 FT (25% OF TOTAL TREES)
- 5 ORNAMENTAL TREES, 2.5' O.C. (6% OF TOTAL TREES)
- 55 OVERSTORY TREES, 2.5' O.C. (69% OF TOTAL)

**RECOMMENDATIONS/SHRUBS REQUIRED - SITE PERIMETER**

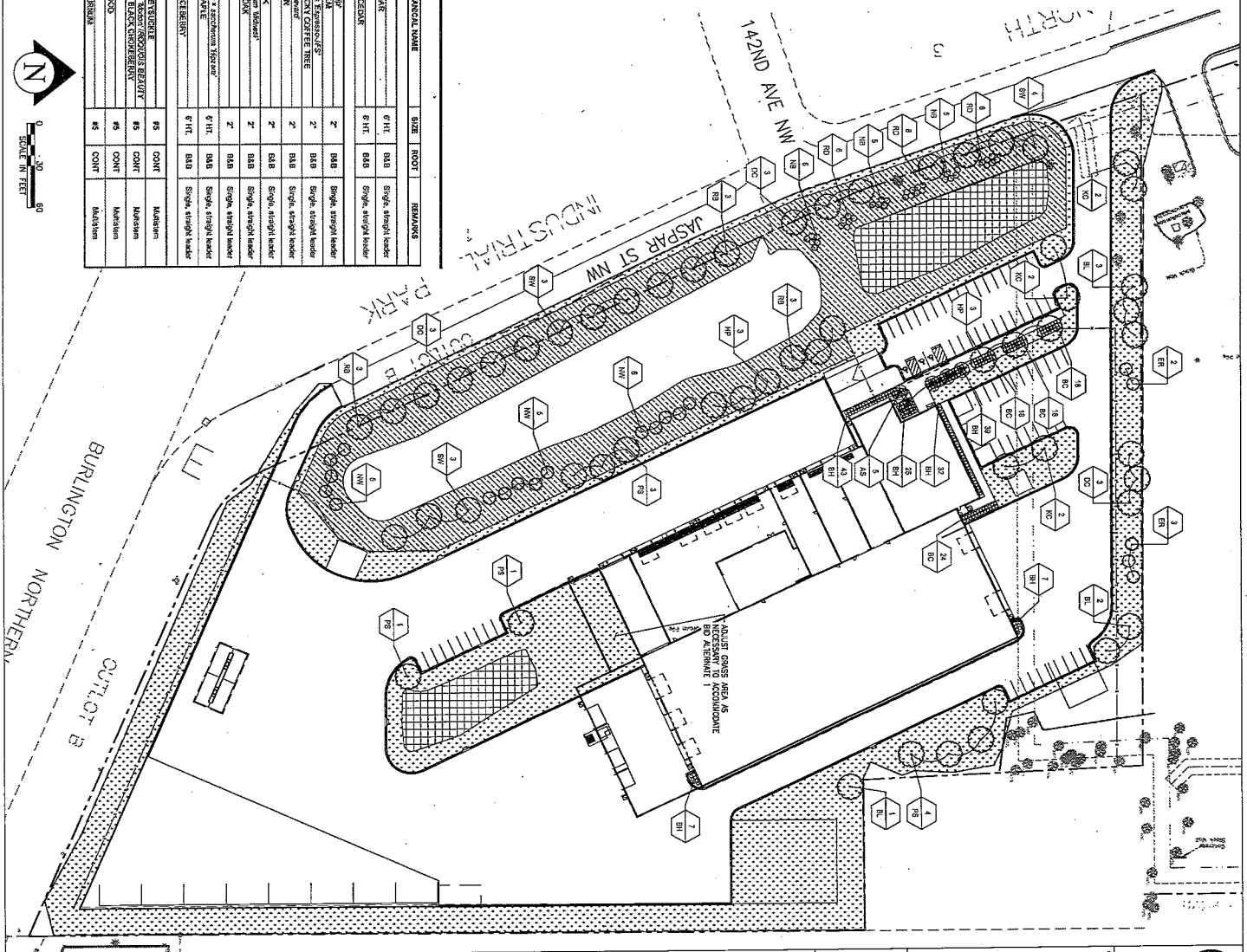
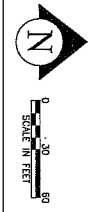
- 1 TREE PER 500 SQUARE FEET OF BUILDING FOOTPRINT AREA
- 1 TREE PER 100 LINEAL FEET OF SITE PERIMETER
- TOTAL NUMBER OF TREES REQUIRED = 60 TREES
- 20 CONIFERUS TREES, 6 FT (25% OF TOTAL TREES)
- 5 ORNAMENTAL TREES, 2.5' O.C. (6% OF TOTAL TREES)
- 35 OVERSTORY TREES, 2.5' O.C. (58% OF TOTAL)

**LANDSCAPE LEGEND**



**PLANT SCHEDULE**

QTY	SYMBOL	BOTANICAL NAME	SIZE	ROOT	REMARKS
5	ER	EMMENANTHE AFRICANA	6" HT.	BAB	Single, straight leader
15	NW	NORWAY SPRUCE	6" HT.	BAB	Single, straight leader
9	DC	DOGWOOD	2"	BAB	Single, straight leader
6	HC	HORNED OAK	2"	BAB	Single, straight leader
6	BL	BURLED OAK	2"	BAB	Single, straight leader
10	SW	SMOOTH BARK OAK	2"	BAB	Single, straight leader
9	FS	FLORIDA SPANISH OAK	2"	BAB	Single, straight leader
9	HP	HONEYLOCUST	6" HT.	BAB	Single, straight leader
6	HP	HONEYLOCUST	6" HT.	BAB	Single, straight leader
4	AS	ALTERNANDEA SEROTINA	6" HT.	BAB	Single, straight leader
15	BN	BURNING BUSH	6" HT.	COBT	Medium
7	BC	BLACK CHERRY	6" HT.	COBT	Medium
20	RS	RED SPINEL	6" HT.	COBT	Medium
16	NB	NORWAY SPRUCE	6" HT.	COBT	Medium



**CITY OF RAMSEY**  
**PUBLIC WORKS FACILITY**  
 JASPAR STREET NW  
 RAMSEY, MN, 55303

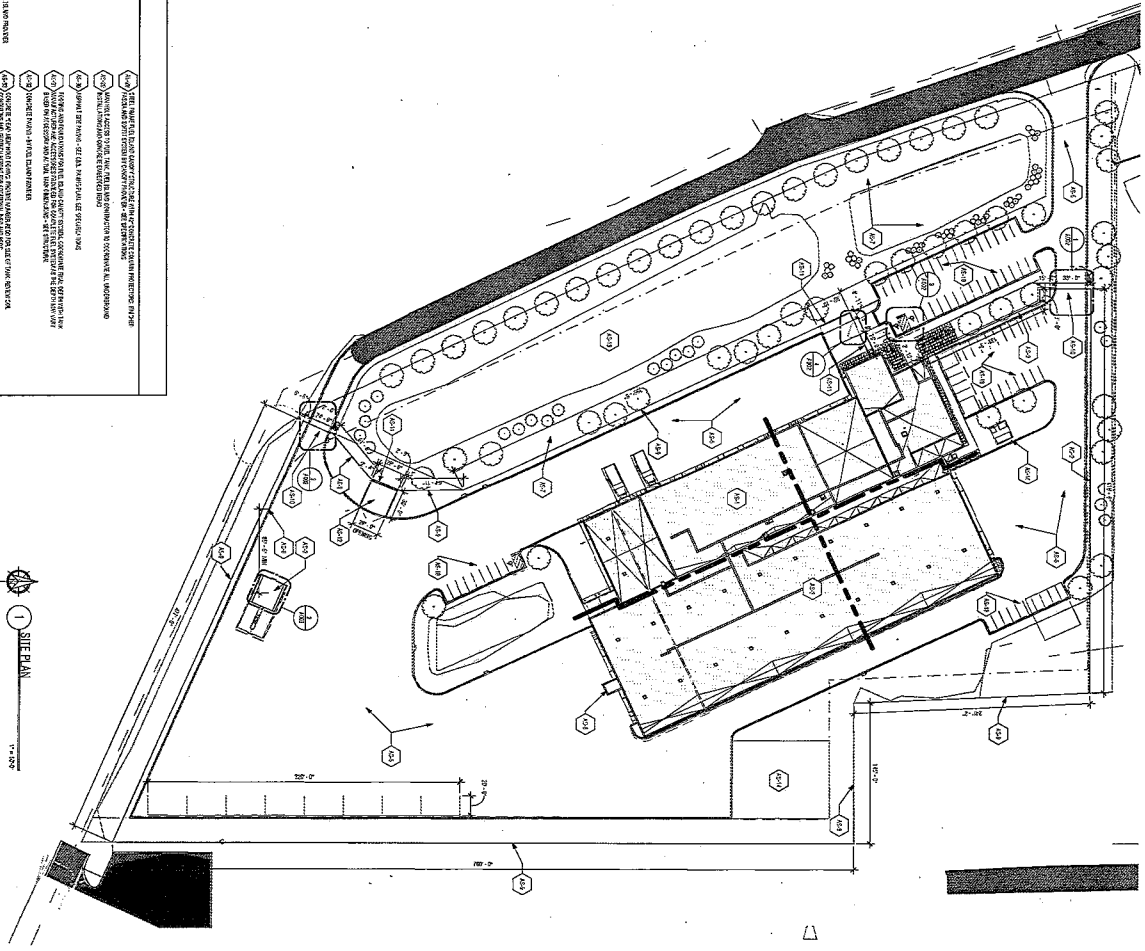
**ORTEL ARCHITECTS**  
 19887 CLARE AVENUE  
 ST. PAUL, MN 55108  
 (651) 956-4185  
 www.ortelarchitects.com

50% Development Document Fee for Planning

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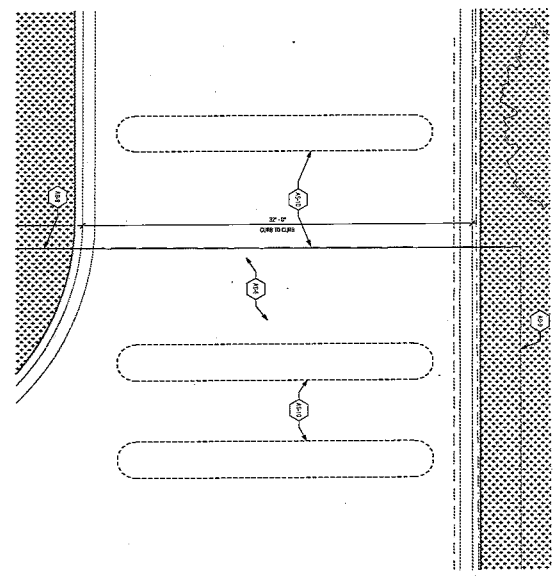
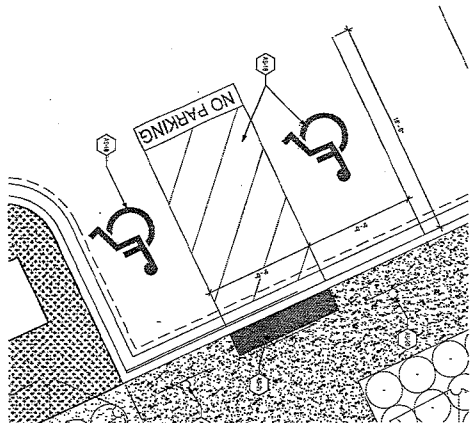
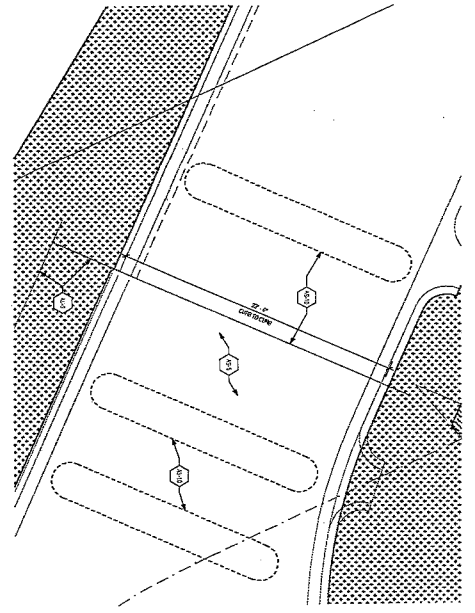
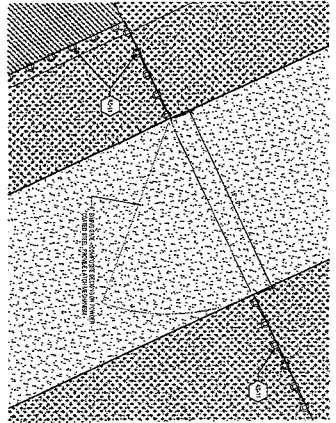
NOT FOR CONSTRUCTION  
 50% CONSULTATION DOCUMENT SET FOR PERMITTING



1 SITE PLAN  
 1" = 20'-0"

- SITE KEYNOTES:**
- 401 EXISTING UTILITY LOCATIONS SHOWN FOR INFORMATION ONLY. VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
  - 402 ALL UTILITIES TO BE DELETED OR RELOCATED AS SHOWN ON THIS PLAN.
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NOT FOR CONSTRUCTION  
 50% Construction Document Set for Planning



**SITE KEYNOTES:**

401	EXISTING IMPROVED ROAD	406	EXISTING SIDEWALK	411	EXISTING SIDEWALK
402	EXISTING SIDEWALK	407	EXISTING SIDEWALK	412	EXISTING SIDEWALK
403	EXISTING SIDEWALK	408	EXISTING SIDEWALK	413	EXISTING SIDEWALK
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450	EXISTING SIDEWALK	455	EXISTING SIDEWALK	460	EXISTING SIDEWALK

**ENLARGED SITE PLAN**  
 DATE: 04/11/19  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]

**PROJECT NAME:**  
 RAMSEY PUBLIC WORKS FACILITY  
 CITY OF RAMSEY  
 14150 Zimpe St NW  
 Ramsey, MN 55303

**DESIGNED BY:**  
 AKTEL ARCHITECTS LTD.  
 1000 SHEPPARD AVENUE EAST  
 SUITE 1000  
 SCARBOROUGH, ONTARIO M1S 1W7  
 CANADA

**A002**





























S.E. BUILDING PERSPECTIVE



N.E. BUILDING PERSPECTIVE