

City of Ramsey
Agenda
Regular City Council
Tuesday, November 10, 2020

7:00 pm
Council Chambers, 7550 Sunwood Drive NW

This meeting is being held in accordance with Minnesota Statutes 13D.021. Due to the COVID-19 Pandemic, it is not practical and prudent for all members of this board to attend in person. Current Minnesota law requires certain social distancing standards that impacts the capacity of the Council Chambers. For those at highest risk, it is advised to isolate themselves from the general public. For these reasons, it is not practical and prudent to have this meeting exclusively in person. Members of the public are welcome to attend in person or remotely.

Remote Attendance available at www.cityoframsey.com/meetings. To maximize social distancing due to the COVID-19 Pandemic, those that can join remotely are encouraged to do so. Those joining remotely and requesting to speak are asked to use a webcam when speaking.

- 1. Call to Order**
- 2. Presentation**
 1. Oath of Office - Patrol Officer
- 3. Citizen Input**
- 4. Approve Agenda**
- 5. Consent Agenda**
 1. Approve Business Licenses
 2. Approve Rental Licenses
 3. Award Contract for Review and Monitoring of Wetland Mitigation Areas in the COR
 4. Amend Policy: Post-Issuance Compliance Policies and Procedures
 5. Adopt Resolution #20-255 Approving Cash Disbursements Made and Authorizing Payment of Accounts Payable Invoicing Received During the Period of October 22, 2020 through November 4, 2020
 6. Adopt Resolution #20-243 Approving a Conditional Use Permit for Additional Outside Storage Space at 6820 143rd Avenue NW (Project No. 20-133); Case of Molin Concrete Products Company
 7. Adopt Resolution #20-258 Approving Cooperative Construction Agreement #1044547 for Bunker Lake Boulevard/CSAH 116 and Saint Francis Boulevard/TH 47 Intersection Improvements

8. Adopt Resolution #20-259 Accepting Geotechnical and Survey Proposals for 2021 Pavement Management Program Projects
9. Adopt Resolution 20-260 Approving Abatement and Code Enforcement Process for 15740 Ramsey Blvd NW
10. Adopt Resolution #20-261 Approving Final Plat for Riverstone 5th Addition, Case of Capstone Homes
11. Adopt Resolution #20-262 Authorizing the Emergency Purchase of a Self Contained Breathing Apparatus (SCBA) compressor.
6. **Public Hearing**
7. **Council Business**
 1. Introduce Ordinance: #20-20: 2021 Schedule of Rates, Fees and Charges
 2. Adopt Resolution #20-265 Approving Sanitary Sewer Maintenance and Rain Garden Agreement for River Walk Village; Case of D & N Management, LLC
 3. Adopt Resolution #20-254 Accepting Bids and Awarding Contracts for Bid Package #2 for the New Public Works Facility
 4. Adopt Resolution #20-246 Directing Staff to Prepare a Request for Interest/Qualifications for a Dynamic Display Billboard for Retail Advertising Along Highway 10 Near The COR
 5. Adopt Resolution #20-263 Renewing Enrollment in the Livable Communities Program
 6. Adopt Ordinance #20-18 to Rename 152nd Circle as Junkite Circle in Harvest Estates 2nd Addition
8. **Mayor/Council/Staff Input**
9. **Adjournment**

Meeting Date: 11/10/2020

Information

Title:

Oath of Office - Patrol Officer

Purpose/Background:

Purpose: To issue the Oath of Office to Patrol Officer Derek Anderson.

Background: Patrol Officer Derek Anderson has completed his field training program. Mayor LeTourneau will issue Officer Anderson the Oath of Office.

Attachments

No file(s) attached.

Form Review

Inbox	Reviewed By	Date
Jeff Katers	Jeff Katers	10/30/2020 09:30 AM
Colleen Lasher	Colleen Lasher	11/05/2020 02:34 PM
Kurt Ulrich	Kurt Ulrich	11/05/2020 02:37 PM
Kurt Ulrich	Kurt Ulrich	11/05/2020 02:38 PM
Form Started By: Tim Frankfurth		Started On: 10/30/2020 09:14 AM
Final Approval Date: 11/05/2020		

CC Regular Session

5. 1.

Meeting Date: 11/10/2020

Submitted For: Sean Sullivan, Community Development

By: Wendy Schlueter, Community Development

Information

Title

Approve Business Licenses

Purpose/Background:

Purpose:

To obtain City Council approval of various license requests.

Background:

Certain businesses in the City of Ramsey are required to apply for a business license in addition to the Business Registration Certificate (BRC). Other businesses that may require a license, but are not required to have a BRC, may also be included in this approval. Those new license requests and/or renewals are attached for City Council approval.

Recommendation:

Staff recommends approval of business license applications contingent upon completion of background checks.

Action:

Motion to approve the attached business license applications contingent upon successful completion of background checks.

Attachments

Business License Applications

Form Review

Inbox	Reviewed By	Date
Sean Sullivan	Sean Sullivan	11/03/2020 11:11 AM
Tim Gladhill	Tim Gladhill	11/05/2020 06:58 AM
Kurt Ulrich	Kurt Ulrich	11/05/2020 01:55 PM
Form Started By: Wendy Schlueter		Started On: 10/28/2020 04:09 PM
Final Approval Date: 11/05/2020		

Report Name: License Report - License Types

Council Dates: 8/25/2020 to 8/25/2020

Status: Active, Inactive

License Type(s): 3.2 Beer Off-Sale, 3.2 Beer On-Sale
Temporary, Liquor 2 A.M. Closing, Liquor Off-Sale,
Liquor On-Sale, Liquor On-Sale Sunday, Temporary
Intoxicating, Wine On-Sale, Amusement Center,
Amusement Devices/Billiard Tables, Business License-1st
Year, Business License-Renewal, Garbage Haulers,
Pawnbroker, Multi-Family Rental, Second Hand Goods
Dealer, Special Events, Temporary
Amusement/Carnival/Circus, Therapeutic Massage
Establishment, Therapeutic Massage Therapist, Tobacco,
Transient Merchant/Peddler/Solicitor

City of Ramsey License Report - License Types

Printed: 8/19/2020

Page: 1

<u>Company</u>	<u>Location</u>	<u>Complex</u>	<u>Exp. Date</u>	<u>Council Date</u>	<u>Status</u>
Special Events					
Grandma's House	15059 Limonite St NW		8/30/2020	8/25/2020	A
Transient Merchant/Peddler/Solicitor					
Edward Jones - Dan Terry			12/31/2020	8/25/2020	A
Legacy Restoration LLC - Alexander			12/31/2020	8/25/2020	A

Special Events License Count: 1

Transient Merchant/Peddler/Solicitor License Count: 2

Total Licenses: 3

CC Regular Session

5. 2.

Meeting Date: 11/10/2020

By: JoAnn Shaw, Community Development

Information

Title

Approve Rental Licenses

Purpose/Background:

Purpose: The purpose of this case is to approve rental license requests for 2020.

Background: Detached Single-Family Homes and Attached Single-Family Homes (townhomes, duplexes, etc.) are required to obtain a license (registration), but are not subject to inspections (unless the City has sufficient evidence of a violation of City Code).

Multi-Family Units (apartments, condos, etc.) will continue to be subject to the license and inspection program as required today, but the inspection frequency will be reduced.

License application requests are attached for Council approval.

Recommendation:

Staff recommends approval of license applications.

Action:

Motion to approve rental license applications.

Attachments

Rental License Applications

Form Review

Inbox	Reviewed By	Date
Tim Gladhill	Tim Gladhill	11/05/2020 08:55 AM
Kurt Ulrich	Kurt Ulrich	11/05/2020 01:56 PM
Form Started By: JoAnn Shaw		Started On: 10/29/2020 08:09 AM
Final Approval Date: 11/05/2020		

Report Name: License Report - License Types
Council Dates: 11/10/2020 to 11/10/2020
Status: Active, Inactive
License Type(s): Multi-Family Rental, Rental

City of Ramsey License Report - License Types

Printed: 11/5/2020
Page: 1

<u>Company</u>	<u>Applicant</u>	<u>Location</u>	<u>Complex</u>	<u>Exp. Date</u>	<u>Council</u> <u>Date</u>	<u>Status</u>
Rental						
Jeff Nygren		7228 147th Ter NW		6/13/2023	11/10/2020	A
Richard W Bandimere		15824 Neon St NW		6/13/2023	11/10/2020	A
Ehssanollah Taghizaden		16000 Nowthen Blvd NW		6/27/2023	11/10/2020	A

Rental License Count: 3

Total Licenses: 3

Meeting Date: 11/10/2020

Submitted For: Len Linton, Engineering/Public Works

By: Len Linton, Engineering/Public Works

Information

Title

Award Contract for Review and Monitoring of Wetland Mitigation Areas in the COR

Purpose/Background:

The COR, formerly Ramsey Town Center, is a master planned development that was started in the early 2000's. The site contained several wetlands that were filled to provide more developable space. The plans for the project included creating several wetland mitigation areas to off set the loss of wetlands in other parts of the project. The wetland mitigation process requires monitoring and vegetation management of the mitigated areas for five (5) years, with submittal of a monitoring report each year. The wetlands are reviewed by a Technical Evaluation Panel at the end of the 5 years to verify the mitigation is functioning as intended.

The mitigation areas were created when the site was mass graded in the mid 2000's. The City went out for proposals for the monitoring in 2009. Monitoring and reporting was conducted for 2 years. The selected consultant had staff changes, losing the expertise to provide this service. The City also had staff changes during this time and the need for completing the reporting was forgotten. The Lower Rum River Watershed Management Organization (LRRWMO), which ultimately approves the completed mitigation project, reminded the City in 2020 that the reporting needs to be completed.

The wetland mitigation areas are between East Ramsey Parkway North and East Ramsey Parkway South at Peridot Street and at the northeast corner of Bunker Lake Boulevard and Armstrong Boulevard.

Staff identified six (6) consultants that provide this services and requested proposals for completing the reporting and vegetation management for the mitigated wetlands. We received three (3) responses, one was shortly after the proposal was sent out, indicating their workload did not permit preparation of a proposal at this time. We received two (2) proposals which we have evaluated. We did not receive a response from the other three (3) consultants.

The received proposals were evaluated on Project Team. Experience, Work Plan and Cost. Three staff reviewed the proposals and all three judged one proposal to be the best.

The City needs to complete the monitoring and reporting on the mitigated wetlands, otherwise the LRRWMO could require creation of new wetland mitigation areas to replace the current areas that were not completed.

Observations/Alternatives:

The proposals were received from Houston Engineering and SEH, Inc. Both firms have experience in this type of work. The proposal from SEH, Inc. was determined to provide the best value to the City based on the project team, experience and work plan. Their proposal was also the lowest cost. Houston Engineering proposed completing the work for \$22,500, while SEH, Inc. came in at \$10, 500.

Funding Source:

Funding for this project will come from the Stormwater Management Fund.

Recommendation:

Staff recommends awarding a maximum not to exceed contract to SEH, Inc. for Review and Monitoring of Wetland Areas on the COR for the amount of \$10,500.

Action:

Award a maximum not to exceed contract to SEH, Inc. for Review and Monitoring of Wetland Areas on the COR for the amount of \$10,500.

Attachments

No file(s) attached.

Form Review

Inbox	Reviewed By	Date
Bruce Westby	Bruce Westby	11/05/2020 02:36 PM
Kurt Ulrich	Kurt Ulrich	11/05/2020 02:42 PM
Form Started By: Len Linton		Started On: 11/04/2020 08:41 AM
Final Approval Date: 11/05/2020		

Meeting Date: 11/10/2020

By: Diana Lund, Finance

Information

Title

Amend Policy: Post-Issuance Compliance Policies and Procedures

Purpose/Background:

The city adopted its Post-Issuance Compliance Policy on April 24, 2012.

The following is a description from our Bond Counsel in regard to why the city needs to adopt a policy in regard to Post-Issuance Bond Compliance:

Following issuance by the City of Ramsey, Minnesota (the "City") of tax-exempt governmental bonds, the City must continue to take certain actions with respect to the bonds in order that they retain their tax-exempt status. In particular, the City must be sure that the project financed with the bonds continues to be used for public purposes and that the proceeds of the bonds are applied in a manner that complies with the arbitrage rules on the Internal Revenue Code of 1986, as amended (the "Code"), and its related regulations.

Over the last couple of years, the IRS has increased its scrutiny of tax-exempt bonds and has strongly expressed an expectation that issuers of tax-exempt bonds have written procedures in place to ensure compliance with these rules. Most recently, in September, 2011, the IRS released a new Form 8038-G, which is the form that issuers file upon the issuance of each tax-exempt bond issue. The new version of the form specifically asks the issuer to check a box that it has established written procedures "to ensure that all nonqualified bonds of this issue are remediated according to the requirements under the Code and Regulations." There is a second box asking if the issuer has written procedures "to monitor the requirements of Section 148," which is the Code section governing arbitrage. There is no statutory or rule requirement that the City have such written procedures. By including these questions on Form 8038-G (the same questions also appear on Form 8038), however, the IRS is strongly emphasizing its view of the importance of having such procedures in place. Informally, the IRS has also indicated that having such procedures in place may result in a lower penalty in the event of any audit or voluntary compliance agreement related to an issuer's bonds. Therefore, we strongly recommend that the City adopt the proposed Post-Issuance Compliance Policies and Procedures.

The proposed Policies and Procedures have been drafted to cover the concerns and expectations that have been expressed by the IRS. Yet, at the same time, we recognize that the City, along with its bond counsel and financial advisor, are already doing many of the tasks set forth in the document. It simply demonstrates that the City is, in fact, taking the appropriate actions to ensure that its bonds remain tax-exempt.

Since this policy was adopted in 2012, numerous industry experts have suggested updating policy and procedure documents to ensure issuers are ready to comply with their continuing disclosure obligations. Paragraph 9 of the city's policy has been added to document continuing disclosure obligations.

It has been recommended by the city's financial consultant that the city revise its current policy to reflect this addition prior to the sale of the CIP bonds for the Public Works Campus in December.

Funding Source:

Not applicable.

Recommendation:

Per recommendation of financial consultant, to adopt amended policy on Post-Issuance Compliance Policies and Procedures to include Continuing Disclosure Obligations.

Action:

Adopt amended Policy Entitled Governmental Bonds Post-Issuance Compliance Policies and Procedures.

Attachments

Amended Post-Issuance Compliance Policy

Form Review

Inbox	Reviewed By	Date
Kurt Ulrich	Kurt Ulrich	11/05/2020 02:36 PM
Form Started By: Diana Lund		Started On: 11/02/2020 12:09 PM
Final Approval Date: 11/05/2020		

CITY OF RAMSEY, MINNESOTA

GOVERNMENTAL BONDS POST-ISSUANCE COMPLIANCE POLICIES AND PROCEDURES

The following policies and procedures were adopted by the City Council of the City of Ramsey, Minnesota (the “City”) as of the date indicated below with respect to the governmental bonds of the City, to require, and further ensure, the ongoing compliance of governmental bonds issued by the City with the Internal Revenue Code of 1986, as amended (the “Code”), and the Treasury Regulations promulgated thereunder (the "Regulations"), including the record retention requirements of Code Section 6001 and Section 1.6001(a) of the Treasury Regulations. Such policy and procedures were adopted after consultation with Taft Stettinius and Hollister, LLP (formerly Briggs and Morgan, P.A.), the bond counsel (“Bond Counsel”), and Northland Securities, Inc., the financial advisors, to the City and are internal operating procedures to be used by the City’s management in connection with the issuance and sale of all issues of governmental bonds.

The City Council of the City has the overall, final responsibility for monitoring whether the City is in compliance with post-issuance federal tax requirements for the City's governmental bonds. However, the City Council assigns to the Finance Director of the City the primary operating responsibility to monitor the City’s compliance with post-issuance federal tax requirements for the City’s governmental bonds. The Finance Director may further assign post-issuance compliance responsibilities to other staff of the City, Bond Counsel, the paying agent for the bonds, and a rebate analyst. The Finance Director shall provide training and educational resources to City staff who are responsible for ensuring compliance with any portion of these policies and procedures.

1. Appropriate Application of Proceeds.

- (a) The Finance Director shall ensure the timely expenditure of the proceeds of governmental bonds by monitoring the application of all bond proceeds in accordance with the source of funds used and in accordance with the documents related to the issuance of the governmental bonds, including the reimbursement of pre-issuance expenses.
- (b) The Finance Director shall ensure the correct calculation and application of bond proceeds pursuant to the Code by:
 - (i) confirming that any closing and/or allocation memorandum for the issuance of the bonds is accurate in the deposits directed thereunder, including ensuring that bond proceeds are used only for public purposes; and
 - (ii) through the draw request process, identifying requested expenditures that are not eligible expenditures.
- (c) The Finance Director shall monitor the use of all bond-financed facilities in order to:
 - (i) determine whether private business uses of bond-financed facilities have exceeded de minimus limits set forth in Section 141(b) of the Code, and
 - (ii) determine whether private security or payments that exclude the de minimus limits set forth in Section 141(b) of the Code.

2. Arbitrage Yield Restriction and Rebate Requirements.

The Finance Director shall monitor and calculate arbitrage, and shall coordinate and maintain, or cause to be maintained, records of:

- (a) Computations of the yield on the bonds by the City's financial advisor, and purchases and sales of investments made with bond proceeds (including amounts treated as "gross proceeds" of bonds under section 148 of the Code) and receipts of earnings in those investments;
- (b) Expenditures made with bond proceeds (including investment earnings on bond proceeds) for the governmental purposes of the bonds;
- (c) Calculations that will be sufficient to demonstrate to the Internal Revenue Service ("IRS") upon an audit of a bond issue that, where applicable, the City has complied with any available exception to the arbitrage rebate requirement in respect of that bond issue;
- (d) Calculations that will be sufficient to demonstrate to the IRS upon an audit of a bond issue for which no exception to the arbitrage rebate requirement was applicable, that the rebate amount, if any, was payable to the United States of America in respect of investments made with gross proceeds of that bond issue, was calculated and timely paid with Form 8038-T timely filed with the IRS; and
- (e) Information and records showing that investments held in yield-restricted advance refunding or defeasance escrows for bonds, and investments made

with unspent bond proceeds after the expiration of the applicable temporary period, were not invested in higher yielding investments.

The Finance Director shall also:

- (a) Ensure that any third-party entity tasked with investment responsibility for governmental bonds is provided with a copy of the tax compliance or arbitrage certificate for each bond issue and is advised as to all investment restrictions with respect to the proceeds of and funds related to any governmental bonds issued by the City;
- (b) Cause any funds subject to yield restriction to be segregated;
- (c) If necessary, hire an independent contractor annually or every five years, as the case may be and as required by any arbitrage certificate, to perform all arbitrage and rebate calculations and to review the City's investment process to ensure that it is in compliance; and
- (d) If necessary, consult with Bond Counsel prior to engaging in post-issuance credit enhancement transactions.

3. Record Retention Requirements.

It is the policy of the City that, unless otherwise permitted by future IRS regulations or other guidance, written records (which may be in electronic form) will be maintained with respect to each bond issue for as long as those bonds remain outstanding, plus three years. For this purpose, the bonds include refunding bonds that refund the original bonds and thereby refinance the property that was financed by the original bonds.

In maintaining electronic storage, the Finance Director will comply with applicable IRS requirements, such as those contained in Revenue Procedure 97-22.

The records to be obtained and maintained are to include:

- (a) The official transcript of proceedings for the original issuance of the bonds (including ensuring that all applicable documents are included in such transcript);
- (b) Records showing how the bond proceeds were invested, as described in 2 above;
- (c) Records showing how the bond proceeds were spent, as described in 1 above, including, but not limited to, loan documents, construction contracts, draw requests, invoices, payment of bond issuance costs, and records of “allocations” of bond proceeds to make reimbursement for project expenditures made before the bonds were actually issued;
- (d) Information, records, and calculations showing that, with respect to each bond issue, the City was eligible for an exception to the arbitrage rebate requirement or, if not, that the rebate amount, if any, that was payable to the United States of America in respect of investments made with gross proceeds of that bond issue, was calculated and timely paid with Form 8038-T timely filed with the IRS, as described in 2 above;
- (e) Schedules of all bond-financed facilities, including whether such facilities are land, buildings, or equipment, economic life calculations, and information regarding depreciation;

- (f) Records and agreements related to any trade or business activities by or with non-governmental entities or persons with respect to any facilities financed with the proceeds of governmental bonds, including, but not limited to, management agreements and leases; and
- (g) Documentations of all sources of payment or security for the issue.

The basic purpose of the foregoing record retention procedure for the City's governmental bonds is to enable the City to readily demonstrate to the IRS upon a questionnaire or an audit of any bond issue that the City has fully complied with all federal tax requirements that must be satisfied after the issue date of the bonds.

4. Reissuance.

The following policies relate to compliance with rules and regulations regarding the reissuance of bonds for federal law purposes.

The Finance Director will:

- (a) Identify and consult with Bond Counsel regarding any post-issuance change to any terms of an issue of bonds which could potentially be treated as a reissuance for federal tax purposes; and
- (b) Confirm with Bond Counsel whether any "remedial action" in connection with a "change in use" (as such terms are defined in the Code and Treasury Regulations) would be treated as a reissuance for tax purposes and, if so, confirm the filing of any new Form 8038-G.

5. Direct Pay Bonds.

- (a) In addition to the other requirements herein, should the City issue direct pay bonds pursuant to Sections 54A through 54F of the Code, the Finance Director shall also be responsible for:
 - (i) determining the amount of interest payable on each interest payment date and the proper amount of refundable credit reported on Form 8038-CP;
 - (A) as appropriate, the Finance Director shall compare the interest payment calculations to any independently-verified report prepared at closing for the bond issue; and
 - (B) the Finance Director shall approve all disbursements.
 - (ii) preparing and timely filing all Forms 8038-CP;
 - (A) timely filing of Form 8038-CP shall be made to insure that payments are timely made on the interest payment date and such timely filing is ensured by the use of a third-party filing agent; and
 - (B) in the case of bond issues with multiple maturities, a separate Form 8038-CP shall be filed for each maturity;
 - (iii) ensuring all credit payments shall be requested to be made by wire. The Finance Director is familiar with the wire payment procedures for the City and will ensure that the Form 8038-CP includes the

proper information for payment of the credit to the proper person;
and

(iv) alternatively, hiring a third party (the “Filing Agent”) who shall be responsible for the matters in this Section 5 and any other responsibilities set forth in a filing agent agreement between the City and the Filing Agent.

(b) In addition to the records retained pursuant to Section 3, the records to be obtained and maintained with respect to direct pay bonds are to include:

(i) information, records, and calculations showing that Forms 8038-CP were properly prepared and timely filed, as described in (a) above;

(ii) all contracts that are subject to the federal Davis-Bacon prevailing wage rules; and

(iii) with respect to Qualified Energy Conservation Bonds, such documents, test results, audits, and reports obtained by the City that demonstrate that the final project has achieved a reduction in energy consumption in publicly-owned buildings by at least 20%.

(c) The Finance Director shall ensure that all contracts let for projects financed with direct pay bonds shall comply with the federal Davis-Bacon prevailing wage rules.

6. Taxable Governmental Bonds.

Most of the provisions of these policies and procedures are not applicable to governmental bonds the interest on which is includable in gross income for federal income tax purposes. However, if an issue of taxable governmental bonds is later refunded with the proceeds of an issue of tax-exempt governmental refunding bonds, then the uses of the proceeds of the taxable governmental bonds and the uses of the facilities financed with the proceeds of the taxable governmental bonds will be relevant to the tax-exempt status of the governmental refunding bonds. Therefore, if there is any reasonable possibility that an issue of taxable governmental bonds may be refunded, in whole or in part, with the proceeds of an issue of tax-exempt governmental bonds then, for purposes of these policies and procedures, the Finance Director shall treat the issue of taxable governmental bonds as if such issue were an issue of tax-exempt governmental bonds and shall carry out and comply with the requirements of these policies and procedures with respect to such taxable governmental bonds. The Finance Director shall seek the advice of Bond Counsel as to whether there is any reasonable possibility of issuing tax-exempt governmental bonds to refund an issue of taxable governmental bonds.

7. Qualified 501(c)(3) Bonds.

If the City issues bonds to finance a facility to be owned by the City but which may be used, in whole or in substantial part, by a nongovernmental organization that is exempt from federal income taxation under Section 501(a) of the Code as a result of the application of Section 501(c)(3) of the Code (a "501(c)(3) Organization"), the City may elect to issue the bonds as "qualified 501(c)(3) bonds" the interest on which is exempt from federal income taxation under Sections 103 and 145 of the Code and applicable Treasury Regulations. Although such qualified 501(c)(3) bonds are not governmental bonds, at the election of the Finance Director, for purposes of these policies and procedures, the Finance Director may treat such issue of qualified 501(c)(3)

bonds as if such issue were an issue of tax-exempt governmental bonds and shall carry out and comply with the requirements of these policies and procedures with respect to such qualified 501(c)(3) bonds. Alternatively, in cases where compliance activities are reasonably within the control of the relevant 501(c)(3) Organization, the Finance Director may determine that all or some portion of the compliance responsibilities described herein shall be assigned to organization.

8. Conduit Bonds.

The provisions of these policies and procedures are primarily intended to be applicable to governmental bonds. However, the City may from time to time issue qualified 501(c)(3) bonds or other qualified private activity bonds that are not governmental bonds and loan the proceeds thereof to a nongovernmental organization that is the obligor on such conduit bonds. Although such conduit bonds are not governmental bonds, at the election of the Finance Director, for purposes of these policies and procedures, the Finance Director may treat such issue of conduit bonds as if such issue were an issue of tax-exempt governmental bonds and shall carry out and comply with the requirements of these policies and procedures with respect to such conduit bonds. Alternatively, in cases where compliance activities are reasonably within the control of the relevant obligor, the Finance Director may determine that all or some portion of the compliance responsibilities described herein shall be assigned to or required of such obligor.

9. Continuing Disclosure Obligations.

In addition to its post-issuance compliance requirements under applicable provisions of the Code and Treasury Regulations, the City has agreed to provide continuing disclosure, such as annual financial information and material event notices, pursuant to a continuing disclosure certificate or similar document (the “Continuing Disclosure Document”) prepared with assistance from the financial advisor and made a part of the transcript with respect to each issue of bonds of

the City that is subject to such continuing disclosure requirements. The Continuing Disclosure Documents are executed by the City to assist the underwriters of the City's bonds in meeting their obligations under Securities and Exchange Commission Regulation, 17 C.F.R. Section 240.15c2-12, as in effect and interpreted from time to time ("Rule 15c2-12"). The continuing disclosure obligations of the City are governed by the Continuing Disclosure Documents and by the terms of Rule 15c2-12.

10. General Requirements.

- (a) Periodically, the Finance Director shall consult with Bond Counsel, general counsel, and financial advisors to the City to determine if any changes to these procedures are advisable and shall amend these procedures accordingly.
- (b) These procedures may be amended or withdrawn from time to time and constitute internal management procedures for compliance with certain provisions of the Code and do not constitute and are not intended to be, rules of the City.

Adopted this 24th day of April, 2012, amended this 10th day of November, 2020 on behalf of the City.

CITY OF RAMSEY, MINNESOTA

CC Regular Session

5. 5.

Meeting Date: 11/10/2020

By: Jackie Lipski, Finance

Information

Title

Adopt Resolution #20-255 Approving Cash Disbursements Made and Authorizing Payment of Accounts Payable Invoicing Received During the Period of October 22, 2020 through November 4, 2020

Purpose/Background:

Adopt Resolution #20-255 Approving Cash Disbursements Made and Authorizing Payment of Accounts Payable Invoicing Received During the Period of October 22, 2020 through November 4, 2020

Recommendation:

Staff Recommends to Adopt Resolution #20-255 Approving Cash Disbursements Made and Authorizing Payment of Accounts Payable Invoicing Received During the Period of October 22, 2020 through November 4, 2020.

Action:

Motion to Adopt Resolution #20-255 Approving Cash Disbursements Made and Authorizing Payment of Accounts Payable Invoicing Received During the Period of October 22, 2020 through November 4, 2020.

Attachments

Bills List 11/10/2020

Resolution 11/10/2020

Form Review

Inbox	Reviewed By	Date
Diana Lund	Diana Lund	11/05/2020 08:24 AM
Kurt Ulrich	Kurt Ulrich	11/05/2020 02:45 PM
Form Started By: Jackie Lipski		Started On: 11/04/2020 01:17 PM
Final Approval Date: 11/05/2020		

RAMSEY CITY COUNCIL MEETING
11/10/2020
BILLS LIST

DISBURSEMENTS TO BE APPROVED THIS MEETING:

DISBURSEMENT TYPE:	<u>SUBMITTED FOR APPROVAL</u>
Purchase Journal:	
Prepays 10/22/2020-11/04/2020	435,139.48
Accounts Payable 10/22/2020-11/04/2020	129,429.73
Payroll 10/30/2020	181,988.20

TOTAL SUBMITTED FOR APPROVAL THIS MEETING
(Invoices Available for Reviewal)

\$ 746,557.41

DISBURSEMENTS PREVIOUSLY APPROVED AND PAID:	<u>APPROVED PREV. MTG</u>	<u>2020 Y.T.D.</u>
NET PAYROLL TOTAL	\$ 197,904.47	\$ 3,959,944.53
- CORRECTION TO PAYROLL		
PREPAIDS	596,484.98	7,713,539.33
- PREPAID ADJUSTMENTS		
WIRE TRANSFERS FOR DEBT SERVICE		2,616,128.35
- CORRECTION TO D.S.		
ACCOUNTS PAYABLE INVOICING - PREVIOUS MEETING:		
- BILLS LIST SUBMITTED	242,921.60	5,581,292.60
ADD (DELETE) BILLS LIST SUBMITTED		
PAY ESTIMATE(S)	719,851.96	1,673,775.08
- CHECKS VOIDED	0.00	0.00

TOTAL CASH DISBURSEMENTS PREVIOUSLY APPROVED

\$ 1,757,163.01

\$ 21,544,679.89

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Check #	Date	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description
111433	10/22/2020		100012 ACE SOLID WASTE INC						
		113.07	FIRE STATIONS OCT 2020		104063	6285253	0220.6374		REFUSE/RECYCLING
		113.07							
111434	10/22/2020		100055 ANOKA TECHNICAL COLLEGE						
		100.00	REF DAMAGE DEP 10/9/17		104064	101920	9804.1160		KEY & DAMAGE DEPOSIT
		100.00							
111435	10/22/2020		110734 CITY OF RAMSEY						
		52.34	65855596		104073	102120	9601.4651		WATER REVENUE
		52.34							
111436	10/22/2020		100117 CONNEXUS ENERGY						
		100.00	REF DAMAGE DEP 9/4/2018		104074	101920	9804.1160		KEY & DAMAGE DEPOSIT
		100.00							
111437	10/22/2020		106583 DELTA DENTAL PLAN OF MINNESOTA						
		3,788.70	NOV 2020 DENTAL INS		104075	RIS0003137895	9101.2170		DENTAL/DISABILITY/LIFE
		3,788.70							
111438	10/22/2020		111466 DYNAMIC GROUP						
		100.00	REF DAMAGE DEP 8/21/2015		104076	101920	9804.1160		KEY & DAMAGE DEPOSIT
		100.00							
111439	10/22/2020		117658 HAMMER CUSTOM HOMES INC						
		1,500.00	REF ERO ESC 9155 169TH AVE NW		104078	102220	9804.6433	00116562	REFUNDS
		1,500.00							
111440	10/22/2020		115574 HEALTHPARTNERS						
		63,349.50	NOV 2020 HEALTH INS		104079	100338094	9101.2176		LIFE/HEALTH-EMPLOYEE
		63,349.50							
111441	10/22/2020		115328 LENNAR						
		5,000.00	REF LAND ESC 15831 PERIDOT ST		104080	102220	9252.1155.1		MANUAL-ACCOUNTS RE
		1,500.00	REF ERO ESC 15831 PERIDOT ST		104081	102220A	9804.6433	00117355	REFUNDS
		5,000.00	REF LAND ESC 15985 PERIDOT		104082	102220B	9252.1155.1		MANUAL-ACCOUNTS RE
		1,500.00	REF ERO ESC 15985 PERIDOT CT		104083	102220C	9804.6433	00117467	REFUNDS
		13,000.00							
111442	10/22/2020		107894 LISA'S CATERING CORP.						
		2,173.19	2 OF 2 CARES GRANT		104084	101920	0892.6282		EMERGENCY SUPPLIES
		2,173.19							
111443	10/22/2020		117983 MODERN CONSTRUCTION OF MINNESOTA INC						
		2,000.00	REF DRIVE ESC 8954 169TH AVE		104085	102220	9252.1155.1		MANUAL-ACCOUNTS RE
		2,000.00							
111444	10/22/2020		116364 NORTHLAND CUSTOM HOMES LLC						
		1,500.00	REF ERO ESC 5690 172ND LN		104086	102220	9804.6433	00117461	REFUNDS
		5,000.00	REF LAND ESC 5690 172ND LN		104087	102220A	9252.1155.1		MANUAL-ACCOUNTS RE
		1,500.00	REF ERO ESC 8996 169TH AVE NW		104088	102220B	9804.6433	00117135	REFUNDS
		5,000.00	REF LAND ESC 8996 169TH AVE		104089	102220C	9252.1155.1		MANUAL-ACCOUNTS RE
		13,000.00							
111445	10/22/2020		112959 PREMIUM WATERS INC						
		32.64	BOTTLED WATER- FIRE STATION		104090	317772830	0220.6489		OTHER CONTRACTED SE

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111445	10/22/2020		112959 PREMIUM WATERS INC						Continued.
		23.64	BOTTLED WATER- FIRE STATION		104091	317738356	0220.6489		OTHER CONTRACTED SE
		56.28							
111446	10/22/2020		115176 PREVAIL COUNSELING GROUP PLLC						
		8,456.68	CARES GRANT		104092	102020	0892.6282		EMERGENCY SUPPLIES
		8,456.68							
111447	10/22/2020		108668 RAMSEY GARDEN CLUB						
		100.00	REF DAMAGE DEP 6/29/2015		104094	101920	9804.1160		KEY & DAMAGE DEPOSIT
		100.00							
111448	10/22/2020		109821 T H CONSTRUCTION OF ANOKA, INC						
		1,500.00	REF ERO ESC 16318 LITHIUM ST		104095	102220	9804.6433	00117535	REFUNDS
		1,500.00							
111449	10/22/2020		107744 TROTT BROOK FINANCIAL						
		100.00	REF DAMAGE DEP 12/10/2018		104096	101920	9804.1160		KEY & DAMAGE DEPOSIT
		100.00							
111503	10/29/2020		117992 ACAPULCO OF RAMSEY INC						
		10,000.00	GRANT- CARES ACT		104106	102820	0892.6282		EMERGENCY SUPPLIES
		10,000.00							
111504	10/29/2020		115203 ALL AMERICAN TITLE CO INC						
		68.96	UB REF 9040 159TH LANE NW		104107	102820	9601.4651		WATER REVENUE
		68.96							
111505	10/29/2020		117990 AMERICAN PRINT AND DIGITAL LLC						
		10,000.00	GRANT- CARES ACT		104108	102820	0892.6282		EMERGENCY SUPPLIES
		10,000.00							
111506	10/29/2020		113045 ANCONA TITLE AND ESCROW						
		182.25	UB REF 14650 HEMATITE ST NW		104109	102820	9601.4651		WATER REVENUE
		182.25							
111507	10/29/2020		111377 ANOKA MUNICIPAL UTILITY						
		40.47	BUNKER LK BLVD/DYSPOSIUM		104110	22-612000-01 SEPT 20	0260.6371		ELECTRIC UTILITIES
		45.72	14034 DYSPOSIUM ST		104111	22-610280-00 SEPT 2020	9603.6371		ELECTRIC UTILITIES
		106.93	CTY RD 116/HWY 47 SIGNAL		104112	22-613120-01 SEPT 20	0260.6371		ELECTRIC UTILITIES
		78.80	RAMSEY STREET LIGHTS		104113	22-990005-01 SEPT 20	9603.6371		ELECTRIC UTILITIES
		271.92							
111508	10/29/2020		117640 ANOKA RAMSEY DENTAL PA						
		10,000.00	GRANT- CARES ACT		104114	1002820	0892.6282		EMERGENCY SUPPLIES
		10,000.00							
111509	10/29/2020		115243 ARDEN TITLE LLC						
		214.03	UB REF 14931 WACO ST NW		104115	102820	9601.4651		WATER REVENUE
		214.03							
111510	10/29/2020		115243 ARDEN TITLE LLC						

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111510	10/29/2020		115243 ARDEN TITLE LLC						Continued.
		306.60	UB REF 15445 SODIUM ST		104116	102820A	9601.4651		WATER REVENUE
		<u>306.60</u>							
111511	10/29/2020		117991 ASADI AND BUREAU LLC						
		10,000.00	GRANT- CARES ACT		104117	102820	0892.6282		EMERGENCY SUPPLIES
		<u>10,000.00</u>							
111512	10/29/2020		118001 BRAUER, RALPH OR DONNA						
		241.87	UB REF 14419 WACO ST NW		104118	102820	9601.4651		WATER REVENUE
		<u>241.87</u>							
111513	10/29/2020		117923 BURNET TITLE						
		47.68	UB REF 7263 147TH LN NW		104119	102820	9601.4651		WATER REVENUE
		<u>47.68</u>							
111514	10/29/2020		116375 CAMBRIA TITLE						
		265.72	UB REF 14570 HELIUM CT NW		104120	102820	9601.4651		WATER REVENUE
		<u>265.72</u>							
111515	10/29/2020		100297 CENTERPOINT ENERGY						
		42.63	6701 HIGHWAY 10		104132	6011580-5 SEPT 2020	9410.6373	00041012	GAS
		67.55	14515 E TOWN CENTER DR		104133	8782239-1 SEPT 2020	9601.6373		GAS
		74.26	5650 ALPINE DR NW		104134	5961540-1 SEPT 2020	0220.6373		GAS
		1,108.49	7550 SUNWOOD DR		104135	6702493-5 SEPT 2020	0194.6373		GAS
		29.14	15050 ARMSTRONG BLVD NW		104136	5914352-9 SEPT 2020	0220.6373		GAS
		65.69	MISC PWACCOUNTS		104137	8000014064-2 SEPT 2020	0311.6373		GAS
		93.94	MISC PWACCOUNTS		104137	8000014064-2 SEPT 2020	0452.6373		GAS
		21.90	MISC PWACCOUNTS		104137	8000014064-2 SEPT 2020	9601.6373		GAS
		21.90	MISC PWACCOUNTS		104137	8000014064-2 SEPT 2020	9602.6373		GAS
		21.89	MISC PWACCOUNTS		104137	8000014064-2 SEPT 2020	9605.6373		GAS
		<u>1,547.39</u>							
111516	10/29/2020		117280 CENTRA HOMES						
		1,500.00	REF ERO ESC 7227 146TH AVE		104138	102920	9804.6433	00117706	REFUNDS
		<u>1,500.00</u>							
111517	10/29/2020		117993 CHIPS TOOL REPAIR INC						
		10,000.00	GRANT- CARES ACT		104139	102820	0892.6282		EMERGENCY SUPPLIES
		<u>10,000.00</u>							
111518	10/29/2020		118002 CHITMANY, SOMCHITH						
		228.38	UB REF 5460 149TH LN NW		104140	102820	9601.4651		WATER REVENUE
		<u>228.38</u>							
111519	10/29/2020		110734 CITY OF RAMSEY						

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111519	10/29/2020		110734 CITY OF RAMSEY						Continued.
		240.00	CASH UTILITY PYMTS		104142	102820	9601.4651		WATER REVENUE
		352.91	CASH UTILITY PYMTS		104142	102820	9601.4651		WATER REVENUE
		<u>592.91</u>							
111520	10/29/2020		111696 CITY OF RAMSEY						
		25.00	UB PYMT FOR RENTAL LICENCE		104141	102820	9601.4651		WATER REVENUE
		<u>25.00</u>							
111521	10/29/2020		117987 COMCAST CABLE CORP.						
		70.45	OVER CHARGE ROW PERMIT 222567		104143	102720	9101.4339		OTHER PUBLIC WORKS
		<u>70.45</u>							
111522	10/29/2020		118003 DENNY, JEFF						
		227.49	UB REF 14642 ARGON ST		104145	102820	9601.4651		WATER REVENUE
		<u>227.49</u>							
111523	10/29/2020		117994 DIAMOND AUTO INC						
		10,000.00	GRANT- CARES ACT		104144	102820	0892.6282		EMERGENCY SUPPLIES
		<u>10,000.00</u>							
111524	10/29/2020		114049 EAGLE CREEK TITLE LLC						
		290.67	UB REF 13885 IRONSTONE TRL		104146	102820	9601.4651		WATER REVENUE
		<u>290.67</u>							
111525	10/29/2020		100870 EDINA REALTY TITLE						
		207.40	UB REF 13915 IRONSTONE TER		104147	102820	9601.4651		WATER REVENUE
		<u>207.40</u>							
111526	10/29/2020		100164 ELECTRIC SYSTEMS OF ANOKA INC						
		10,000.00	GRANT- CARES ACT		104148	102820	0892.6282		EMERGENCY SUPPLIES
		<u>10,000.00</u>							
111527	10/29/2020		115035 EXECUTIVE TITLE NORTHWEST LLC						
		193.05	UB REF 13888 HEMATITE ST		104149	102820	9601.4651		WATER REVENUE
		416.47	UB REF 15421 RADIUM ST		104150	102820A	9601.4651		WATER REVENUE
		<u>609.52</u>							
111528	10/29/2020		117984 FEBER, LAWRENCE						
		39.75	UB REF 17441 BAUGH ST		104151	102920	9601.4651		WATER REVENUE
		<u>39.75</u>							
111529	10/29/2020		115393 GLOBAL CLOSING AND TITLE SERVICES						
		95.16	UB REF 14700 COBALT ST # 12		104152	102820	9601.4651		WATER REVENUE
		<u>95.16</u>							
111530	10/29/2020		117995 GLYNN CONSULTING LLC						
		10,000.00	GRANT- CARES ACT		104153	102820	0892.6282		EMERGENCY SUPPLIES
		<u>10,000.00</u>							
111531	10/29/2020		118004 GULYY, EDWARD						
		256.80	UB REF 6056 146TH LN NW		104154	102820	9601.4651		WATER REVENUE
		<u>256.80</u>							
111532	10/29/2020		118005 IVANAUSKAS, JOHN OR RUTH						
		245.12	UB REF 15360 XKIMO ST		104155	102820	9601.4651		WATER REVENUE

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111532	10/29/2020	245.12	118005 IVANAUSKAS, JOHN OR RUTH						Continued.
111533	10/29/2020	10,000.00	117958 JUMPN GYMNASTICS GRANT- CARES ACT		104156	102820	0892.6282		EMERGENCY SUPPLIES
		10,000.00							
111534	10/29/2020	100.00	117989 KUHA, CAROLINE REF BIKE LOCKER DEPOSIT		104157	102720	9804.1160		KEY & DAMAGE DEPOSIT
		100.00							
111535	10/29/2020	179.93	113464 LAND TITLE UB REF 5322 143RD AVE NW		104158	102820	9601.4651		WATER REVENUE
		179.93							
111536	10/29/2020	80.74	113464 LAND TITLE UB REF 14058 COBALM ST		104159	102820A	9601.4651		WATER REVENUE
		80.74							
111537	10/29/2020	69.08	118006 LARKIN, LYNOLD OR MICHELE UB REF 7125 161ST LN NW		104160	102820	9601.4651		WATER REVENUE
		69.08							
111538	10/29/2020	8,431.84	117996 LAVYSH NAILS LOUNGE INC GRANT- CARES ACT		104161	102820	0892.6282		EMERGENCY SUPPLIES
		8,431.84							
111539	10/29/2020	71.94	116779 LEGACY TITLE UB REF 4851 SALISH CIR NW		104162	102820	9601.4651		WATER REVENUE
		71.94							
111540	10/29/2020	230.35	118007 LENDSERV UB REF 15511 SODIUM ST		104163	102820	9601.4651		WATER REVENUE
		230.35							
111541	10/29/2020	10,000.00	117997 MIXMI BRANDS INC GRANT- CARES ACT		104164	102820	0892.6282		EMERGENCY SUPPLIES
		10,000.00							
111542	10/29/2020	1,500.00	117946 NC CONTRACTING INC REF ERO ESC 9015 169TH AVE NW		104166	102920	9804.6433	00117634	REFUNDS
		1,500.00							
111543	10/29/2020	432.00	100351 NCPERS GROUP LIFE INS NOV 2020 LIFE INS		104167	704800112020	9101.2170		DENTAL/DISABILITY/LIFE
		432.00							
111544	10/29/2020	220.47	117742 R G TITLE LLC UB REF 6990 137TH AVE NW		104172	102820	9601.4651		WATER REVENUE
		220.47							
111545	10/29/2020	191.26	118008 REALTECH TITLE LLC UB REF 7063 168TH AVE		104168	102820	9601.4651		WATER REVENUE
		191.26							
111546	10/29/2020		117038 RESULTS TITLE						

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111546	10/29/2020		117038 RESULTS TITLE						Continued.
		52.34	UB REF 15157 RAMSEY BLVD		104170	102820	9601.4651		WATER REVENUE
		52.34							
111547	10/29/2020		117038 RESULTS TITLE						
		399.92	UB REF 15498 TUNGSTEN ST		104171	102820A	9601.4651		WATER REVENUE
		399.92							
111548	10/29/2020		117867 RESULTS TITLE						
		237.57	UB REF 14597 OLIVINE ST NW		104169	102820	9601.4651		WATER REVENUE
		237.57							
111549	10/29/2020		117998 RIVERVIEW LODGING INC						
		10,000.00	GRANT- CARES ACT		104173	102820	0892.6282		EMERGENCY SUPPLIES
		10,000.00							
111550	10/29/2020		117999 SM ENTERPRISES CORPORATION						
		10,000.00	GRANT- CARES ACT		104174	102820	0892.6282		EMERGENCY SUPPLIES
		10,000.00							
111551	10/29/2020		118009 STANWOOD, ANDREW						
		406.51	UB REF 5410 144TH WAY # 14		104175	102820	9601.4651		WATER REVENUE
		406.51							
111552	10/29/2020		114865 STEWART TITLE CO						
		1,327.44	UB REF 15501 XKIMO ST		104177	102820	9601.4651		WATER REVENUE
		1,327.44							
111553	10/29/2020		116943 STEWART TITLE COMPANY						
		176.74	UB REF 14056 DYSPROSIUM ST		104176	102820	9601.4651		WATER REVENUE
		176.74							
111554	10/29/2020		118010 STOTLER, TIMOTHY W.						
		11.01	UB REF 15157 RAMSEY BLVD		104178	102820	9601.4651		WATER REVENUE
		11.01							
111555	10/29/2020		117988 THORSON, JEFF AND TINA						
		1,500.00	REF ERO ESC 17220 DRISCOLL		104179	102920	9804.6433	00117975	REFUNDS
		1,500.00							
111556	10/29/2020		114074 TITLE SPECIALIST INC						
		191.71	UB REF 13731 DOLOMITE ST NW		104182	102820	9601.4651		WATER REVENUE
		191.71							
111557	10/29/2020		118011 TITLE WERKS LLC						
		286.15	UB REF 6902 170TH TRL NW		104183	102820	9601.4651		WATER REVENUE
		286.15							
111558	10/29/2020		114606 TITLESMAST INC						
		62.10	UB REF 16210 MARBLE ST NW		104180	102820	9601.4651		WATER REVENUE
		62.10							
111559	10/29/2020		114606 TITLESMAST INC						
		101.17	UB REF 5280 161ST AVE NW		104181	102820A	9601.4651		WATER REVENUE
		101.17							

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111560	10/29/2020		116311 TRADEMARK TITLE SERVICES INC						Continued.
		206.15	UB REF 7771 148TH LN NW		104184	102820	9601.4651		WATER REVENUE
		<u>206.15</u>							
111561	10/29/2020		118012 VELASQUEZ, DAVID						
		390.70	UB REF 16789 MARBLE ST NW		104187	102820	9601.4651		WATER REVENUE
		<u>390.70</u>							
1001817	10/23/2020		113508 APPRIZE TECHNOLOGY SOLUTIONS						
		360.00	BC TECH SUB 2020		104065	20021102020	0130.6315		MISCELLANEOUS PROFE
		<u>360.00</u>							
1001818	10/23/2020		116114 AVESIS THIRD PARTY ADMINISTRATORS						
		185.08	VISION INS NOV 2020		104066	2565970	9101.2170		DENTAL/DISABILITY/LIFE
		<u>185.08</u>							
1001819	10/23/2020		116845 CADY BUSINESS TECHNOLOGIES INC						
		39.00	#00000048 OCT 2020		104067	100120	0192.6405		OFFICE & DATA PROCES:
		<u>39.00</u>							
1001820	10/23/2020		112663 CAPSTONE HOMES INC						
		1,500.00	REF ERO ESC 15047 QUINTANA ST		104068	102220	9804.6433	00117674	REFUNDS
		1,500.00	REF ERO ESC 15035 QUINTANA ST		104069	102220A	9804.6433	00117723	REFUNDS
		1,500.00	REF ERO ESC 14940 TIGER ST		104070	102220B	9804.6433	00117128	REFUNDS
		1,500.00	REF ERO ESC 15048 QUINTANA ST		104071	102220C	9804.6433	00117675	REFUNDS
		1,500.00	REF ERO ESC 14956 TIGER ST NW		104072	102220D	9804.6433	00117121	REFUNDS
		<u>7,500.00</u>							
1001821	10/23/2020		115643 GARDNER, CORY						
		25.89	TRAINING LUNCHES		104077	101520	0211.6331		TRAVEL & LODGING
		<u>25.89</u>							
1001822	10/23/2020		115841 PULLAR, ROBERT						
		15.00	TRAINING LUNCH		104093	101520	0211.6331		TRAVEL & LODGING
		<u>15.00</u>							
1001873	10/30/2020		112663 CAPSTONE HOMES INC						
		1,500.00	REF ERO ESC 14979 QUINTANA		104121	102920	9804.6433	00117727	REFUNDS
		1,500.00	REF ERO ESC 15011 QUINTANA ST		104122	102920A	9804.6433	00117724	REFUNDS
		1,500.00	REF ERO ESC 15040 QUINTANA ST		104123	102920B	9804.6433	00117704	REFUNDS
		7,000.00	REF LAND/DRIVE 14975 TIGER ST		104124	102920C	9252.1155.1		MANUAL-ACCOUNTS REI
		1,500.00	REF ERO ESC 14967 TIGER ST		104125	102920D	9804.6433	00117275	REFUNDS
		1,500.00	REF ERO ESC 14975 TIGER ST NW		104126	102920E	9804.6433	00117299	REFUNDS
		5,000.00	REF ESC LAND 15031 SNOWY OWL		104127	102920F	9252.1155.1		MANUAL-ACCOUNTS REI
		1,500.00	REF ERO ESC 15031 SNOWY OWL ST		104128	102920G	9804.6433	00117204	REFUNDS
		7,000.00	REF LAND/DRIVE 15030 SNOWY OWL		104129	102920H	9252.1155.1		MANUAL-ACCOUNTS REI
		1,500.00	REF ERO ESC 15030 SNOWY OWL		104130	102920I	9804.6433	00117294	REFUNDS
		5,000.00	REF LAND ESC 14967 TIGER ST NW		104131	102920J	9252.1155.1		MANUAL-ACCOUNTS REI
		<u>34,500.00</u>							
1001874	10/30/2020		100510 VERIZON WIRELESS						
		74.20	SEPT/OCT 2020 SERVICE		104185	9864550288	0130.6323		CELLULAR PHONES
		69.20	SEPT/OCT 2020 SERVICE		104185	9864550288	0192.6321		TELEPHONE
		212.25	SEPT/OCT 2020 SERVICE		104185	9864550288	0191.6323		CELLULAR PHONES
		114.53	SEPT/OCT 2020 SERVICE		104185	9864550288	0194.6323		CELLULAR PHONES
		551.62	SEPT/OCT 2020 SERVICE		104185	9864550288	0220.6323		CELLULAR PHONES

CITY OF RAMSEY
Council Check Register by GL
Council Check Register and Summary

10/22/2020— 12/31/2020

Check #	Date	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description
1001874	10/30/2020		100510 VERIZON WIRELESS						Continued.
		110.84	SEPT/OCT 2020 SERVICE		104185	9864550288	0240.6323		CELLULAR PHONES
		259.59	SEPT/OCT 2020 SERVICE		104185	9864550288	0301.6323		CELLULAR PHONES
		239.72	SEPT/OCT 2020 SERVICE		104185	9864550288	0311.6323		CELLULAR PHONES
		254.54	SEPT/OCT 2020 SERVICE		104185	9864550288	0452.6323		CELLULAR PHONES
		325.79	SEPT/OCT 2020 SERVICE		104185	9864550288	9601.6323		CELLULAR PHONES
		<u>2,212.28</u>							
1001875	10/30/2020		112515 WSB AND ASSOCIATES INC						
		2,650.00	AUG 2020-VARIOLITE ST		104186	R-016261-000-1	9402.6530	00202001	IMPROVEMENTS OTHER
		<u>2,650.00</u>							
90578705	10/30/2020		100398 PUBLIC EMPLOYEES RETIREMENT ASSN						
		23,210.23			104098	1029201243072	9101.2174		PERA-EMPLOYEE
		31,164.82			104099	1029201243073	9101.2183		PERA-EMPLOYER
		<u>54,375.05</u>							
92408608	10/30/2020		100601 MN DEPT OF REV WH						
		11,668.34			104100	1029201243074	9101.2172		STATE WITHHOLDING
		<u>11,668.34</u>							
92511856	10/30/2020		101306 IRS						
		25,847.82			104101	1029201243075	9101.2171		FEDERAL WITHHOLDING
		13,925.57			104102	1029201243076	9101.2173		FICA & MEDICARE-EMPL
		13,813.90			104103	1029201243077	9101.2182		FICA & MEDICARE-EMPL
		<u>53,587.29</u>							
99427618	10/30/2020		100223 ICMA RETIREMENT TRUST 457						
		1,918.41			104097	1029201243071	9101.2175		DEFERRED COMPENSAT
		<u>1,918.41</u>							
99656090	10/30/2020		114790 GREAT WEST LIFE AND ANNUITY INS CO						
		8,550.34			104104	1029201243078	9101.2175		DEFERRED COMPENSAT
		<u>8,550.34</u>							
99656667	10/30/2020		114790 GREAT WEST LIFE AND ANNUITY INS CO						
		3,670.85			104105	1029201243079	9101.2176		LIFE/HEALTH-EMPLOYEE
		<u>3,670.85</u>							
		<u>435,139.48</u>	Grand Total						

Payment Instrument Totals

Checks	253,881.95
EFT Payments	133,770.28
A/P ACH Payment	<u>47,487.25</u>
Total Payments	435,139.48

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CITY OF RAMSEY
Create Payment Control Groups

Payment Group Control Number 3118
 Bank Account 999.1010 CASH IN BANK 00002224
 Version LOGIS004V
 Originator JLIPSKI
 Payment Instrument Check Payment
 Pay Through Date 12/31/2020

Payee	Stub	Document	Due	Invoice	Payment				
Number	Name / Mailing Address	Message	Ty	Number	Item	Co	Date	Number	Amount
100033	ANOKA COUNTY ATTORNEY	FORFEITURE 19-211726	PV	104243	001	09290	10/20/2020	102020	812.00
	ANOKA COUNTY ATTORNEY							Summary Total	812.00
	2100 - 3RD AVENUE NORTH							Payment Amount	812.00
	ANOKA MN 55303								
100063	ASPEN MILLS	MISC N. GOEBEL	PV	104188	001	09101	10/16/2020	263299	150.50
	ASPEN MILLS							Summary Total	150.50
	8201 C CENTRAL AVE NE	B. HESSE MISC	PV	104245	001	09101	10/26/2020	263618	625.20
	SPRING LAKE PARK MN 55432							Summary Total	625.20
		B. ELLIOTT MISC	PV	104246	001	09101	10/21/2020	263459	68.30
								Summary Total	68.30
								Payment Amount	844.00
107195	B AND D PLUMBING HEATING AC INC	DISCONNECT RV LINE 16400 RAMSE	PV	104247	001	09804	10/8/2020	179194	300.00
	B AND D PLUMBING HEATING AC INC							Summary Total	300.00
	4145 MACKENZIE COURT NE							Payment Amount	300.00
	ST. MICHAEL MN 55376								
117985	BENCO EQUIPMENT	KIT TURNTABLE CYL	PV	104248	001	09101	10/15/2020	406000660	300.00
	BENCO EQUIPMENT							Summary Total	300.00
	128 JACKSON AVENUE NORTH							Payment Amount	300.00
	HOPKINS MN 55343								
100086	BLUE VELVET INC	FIRE DEPT- WASHES OCT 2020	PV	104189	001	09101	10/20/2020	102020	149.75
	BLUE VELVET INC							Summary Total	149.75
	14101 ST FRANCIS BLVD NW							Payment Amount	149.75
	RAMSEY MN 55303								
108458	CBIZ BENEFITS INSURANCE SERVICES INC	REBA FEES JUNE 20- JUNE 21	PV	104250	001	09101	10/15/2020	REBA 2020	396.00
	CBIZ BENEFITS INSURANCE SERVICES INC							Summary Total	396.00

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CITY OF RAMSEY
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 Payment Instrument Check Payment
 Pay Through Date 12/31/2020

Number	Payee Name / Mailing Address	Stub Message	Document Ty Number Itm Co	Due Date	Invoice Number	Payment Amount
	ATTEN: DENISE GORSLINE ACCT DEPT. 700 W. 47TH STREET SUITE 1100 KANSAS CITY MO 64112					396.00
						Payment Amount
111696	CITY OF RAMSEY	AR INVOICE 27793	PV 104299 001 09101	11/3/2020	110320	900.75
	CITY OF RAMSEY 7550 SUNWOOD DR NW RAMSEY MN 55303					Summary Total 900.75
						Payment Amount 900.75
100111	COMMERCIAL ASPHALT COMPANY	ASPHALT	PV 104265 001 09101	10/15/2020	201015	158.21
	COMMERCIAL ASPHALT COMPANY P O BOX 1480 MAPLE GROVE MN 55311-6480					Summary Total 158.21
						Payment Amount 158.21
100167	CORNERSTONE FORD	REPAIR 562	PV 104266 001 09101	10/20/2020	16309471/1	391.88
	CORNERSTONE FORD 17219 HIGHWAY 10 NW PO BOX 304 ELK RIVER MN 55330					Summary Total 391.88
						Payment Amount 391.88
101185	DO ALL PRINTING COM INC	BUS CARDS- TRUDY	PV 104194 001 09101	10/16/2020	49252	37.00
	DO ALL PRINTING COM INC 6360 HIGHWAY 10 NW RAMSEY MN 55303					Summary Total 37.00
						Payment Amount 37.00
104267	ELITE SANITATION	PARK TOILET RENTAL SEPT 20	PV 104200 001 09101	10/13/2020	27160	528.00
	ELITE SANITATION PO BOX 526 ELK RIVER MN 55330					Summary Total 528.00
						Payment Amount 528.00
110388	FRATTALLONE'S ACE	MISC SUPPLIES	PV 104201 001 09101	10/19/2020	040503/J	44.94

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CITY OF RAMSEY
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 Pay Through Date 12/31/2020

Payee Number	Name / Mailing Address	Stub Message	Document Ty	Number Number	Item Itm	Co	Due Date	Invoice Number	Payment Amount
Payment Amount									559.55
117918	MACQUEEN EMERGENCY	GLOVES	PV	104211	001	09101	10/19/2020	16240	250.45
	MACQUEEN EMERGENCY		Summary Total						250.45
	1125 7TH STREET E	CHINSTRAP/HARNESS	PV	104212	001	09101	10/16/2020	16226	298.89
	ST PAUL MN 55106		Summary Total						298.89
Payment Amount									549.34
100270	MACQUEEN EQUIPMENT INC	REPAIR ON SWEEPER	PV	104213	001	09605	10/16/2020	W07024	401.82
	MACQUEEN EQUIPMENT INC	REPAIR ON SWEEPER	PV	104213	002	09605	10/16/2020	W07024	888.15
	1125 7TH STREET EAST		Summary Total						1,289.97
	ST PAUL MN 55106		Payment Amount						1,289.97
108208	METRO PRODUCTS INC	MISC PARTS	PV	104215	001	09101	10/14/2020	154934	69.06
	METRO PRODUCTS INC		Summary Total						69.06
	7401 CENTRAL AVENUE NE		Payment Amount						69.06
	FRIDLEY MN 55432		Payment Amount						69.06
117954	MINNESOTA NATIVE LANDSCAPES INC	RE: SIOUXLAND POPLAR	PV	104284	001	09101	10/26/2020	26613	4,200.00
	MINNESOTA NATIVE LANDSCAPES INC		Summary Total						4,200.00
	8740 77TH STREET NE		Payment Amount						4,200.00
	OTSEGO MN 55362		Payment Amount						4,200.00
100345	NAPA AUTO PARTS ELK RIVER	MINI LIGHTS	PV	104216	001	09101	10/19/2020	084226	12.87
	NAPA AUTO PARTS ELK RIVER		Summary Total						12.87
	17137 YALE STREET NW	FUSES	PV	104285	001	09101	10/26/2020	085314	2.99
	P O BOX 1041		Summary Total						2.99
	ELK RIVER MN 55330	MISC SUPPLIES	PV	104286	001	09101	10/21/2020	084605	102.90
			Summary Total						102.90
		MISC FILTERS	PV	104287	001	09101	10/23/2020	084968	185.09
			Summary Total						185.09
Payment Amount									303.85

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CITY OF RAMSEY
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 Payment Instrument Check Payment
 Pay Through Date 12/31/2020

Payee Number	Name / Mailing Address	Stub Message	Document Ty	Number	Itm	Co	Due Date	Invoice Number	Payment Amount
114149	NATIONAL RESEARCH CENTER INC	CITIZENS SURVEY	PV	104288	001	09101	10/28/2020	102820	15,170.00
	NATIONAL RESEARCH CENTER INC 2955 VALMONT ROAD SUITE 300 BOULDER CO 80301							Summary Total	15,170.00
								Payment Amount	15,170.00
100393	PRAIRIE RESTORATIONS INC	SUNFISH LK PRK PLANTING	PV	104220	001	09101	10/21/2020	26751	2,996.00
	PRAIRIE RESTORATIONS INC 31646 128TH STREET PRINCETON MN 55371							Summary Total	2,996.00
								Payment Amount	2,996.00
110794	SCHMIDT CURB COMPANY INC	CURBING MISC LOCATIONS	PV	104293	001	09101	10/26/2020	20M63	8,370.00
	SCHMIDT CURB COMPANY INC	CURBING MISC LOCATIONS	PV	104293	002	09101	10/26/2020	20M63	1,750.00
	13195 95TH STREET NE ELK RIVER MN 55330							Summary Total	10,120.00
								Payment Amount	10,120.00
113273	STATE OF MINNESOTA	FORFEITURE 19-211726	PV	104222	001	09290	10/20/2020	102020	406.00
	STATE OF MINNESOTA DEPARTMENT OF FINANCE TREASURY DIVISION- SEIZED PROPERTY P O BOX 64577 ST PAUL MN 55164-0577							Summary Total	406.00
								Payment Amount	406.00
117957	TARGET SOLUTIONS LEARNING LLC	FIRE TRAINING	PV	104294	001	09101	10/9/2020	15121	1,121.40
	TARGET SOLUTIONS LEARNING LLC 4890 W KENNEDY BLVD SUITE 300 TAMPA FL 33609	FIRE TRAINING	PV	104295	001	09101	10/13/2020	15197	1,246.00
								Summary Total	1,121.40
								Summary Total	1,246.00
								Payment Amount	2,367.40
106402	ZEP MANUFACTURING	MISC SUPPLIES	PV	104226	001	09101	10/15/2020	9005632226	114.89

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CITY OF RAMSEY
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 Payment Instrument Check Payment
 Pay Through Date 12/31/2020

Payee Number	Name / Mailing Address	Stub Message	Document Ty Number Itm Co	Due Date	Invoice Number	Payment Amount
COMPANY						
ZEP SALES & SERVICE	13237 COLLECTIONS	CLEANING SUPPLIES	PV 104297 001 09101	10/20/2020	9005646165	114.89
	CENTER DRIVE					199.49
CHICAGO IL 60693						199.49
						314.38
						60,604.41
						27

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CITY OF RAMSEY
Create Payment Control Groups

Payment Group Control Number 3119
 Bank Account 999.1010 CASH IN BANK 00002224
 Version LOGIS004V
 Originator JLIPSKI
 Payment Instrument T A/P ACH Payment
 Pay Through Date 12/31/2020

Payee Number	Name / Mailing Address	Stub Message	Document Ty	Number	Itm	Co	Due Date	Invoice Number	Payment Amount
100026	ANDERSON IRRIGATION	REPAIR ALPINE PARK	PV	104241	001	09101	10/26/2020	07-9655	479.97
	ANDERSON IRRIGATION	REPAIR ALPINE PARK	PV	104241	002	09101	10/26/2020	07-9655	24.68
	3200 MAIN STREET NE SUITE 240							Summary Total	504.65
	MINNEAPOLIS MN 55448	FALL 2020 WINTERIZATION	PV	104242	001	09101	11/2/2020	07-9719	6,961.86
								Summary Total	6,961.86
								Payment Amount	7,466.51
107587	ANOKA COUNTY TREASURY DEPARTMENT	NOV 2020 CAC FIBER	PV	104244	001	09101	10/20/2020	B201019M	492.00
	ANOKA COUNTY TREASURY DEPARTMENT							Summary Total	492.00
	2100 THIRD AVENUE								
	ANOKA MN 55303							Payment Amount	492.00
103641	BOYER TRUCKS ROGERS	FILTER WRENCHES	PV	104249	001	09101	10/27/2020	86387R	35.32
	BOYER TRUCKS							Summary Total	35.32
	P O BOX 18338								
	MINNEAPOLIS MN 55418							Payment Amount	35.32
112019	CENTRAL HYDRAULICS INC	MISC PARTS	PV	104251	001	09101	10/27/2020	67378	160.55
	CENTRAL HYDRAULICS INC							Summary Total	160.55
	21877 INDUSTRIAL COURT								
	ROGERS MN 55374							Payment Amount	160.55
116197	CINTAS CORPORATION	FIRE- MATS	PV	104190	001	09101	10/21/2020	4065042712	16.56
	CINTAS CORPORATION							Summary Total	16.56
	CINTAS LOC #4K	UNIFORM CLEANING	PV	104252	001	09101	10/21/2020	4065042854	28.00
	P O BOX 650838	UNIFORM CLEANING	PV	104252	002	09101	10/21/2020	4065042854	4.00
	DALLAS TX 75265-0838	UNIFORM CLEANING	PV	104252	003	09101	10/21/2020	4065042854	18.78
		UNIFORM CLEANING	PV	104252	004	09101	10/21/2020	4065042854	18.77
								Summary Total	69.55
		UNIFORM CLEANING	PV	104298	001	09101	10/28/2020	4065659630	28.00
		UNIFORM CLEANING	PV	104298	002	09101	10/28/2020	4065659630	4.00
		UNIFORM CLEANING	PV	104298	003	09101	10/28/2020	4065659630	17.61
		UNIFORM CLEANING	PV	104298	004	09101	10/28/2020	4065659630	17.60
								Summary Total	67.21
								Payment Amount	

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CITY OF RAMSEY
Create Payment Control Groups

Payment Group Control Number 3119
 Bank Account 999.1010 CASH IN BANK 00002224
 Version LOGIS004V
 Originator JLIPSKI
 Payment Instrument T A/P ACH Payment
 Pay Through Date 12/31/2020

Payee Number	Name / Mailing Address	Stub Message	Document Ty	Number	Itm	Co	Due Date	Invoice Number	Payment Amount
									153.32
110734	CITY OF RAMSEY	6701 HIGHWAY 10	PV	104253	001	09410	10/25/2020	719019 3RD QTR 2020	1,134.54
								Summary Total	1,134.54
	CITY OF RAMSEY P O BOX 251100	7550 SUNWOOD DR NW	PV	104254	001	09101	10/25/2020	444931294 3RD QTR 2020	1,255.46
								Summary Total	1,255.46
	ST PAUL MN 55125-6100	7650 SUNWOOD DR	PV	104255	001	09240	10/25/2020	444931372 3RD QTR 2020	118.67
								Summary Total	118.67
		7401 E RAMSEY PKWY	PV	104256	001	09101	10/25/2020	724628 3RD QTR 2020	118.67
								Summary Total	118.67
		16303 QUICKSILVER ST	PV	104257	001	09101	10/25/2020	724874 3RD QTR 2020	134.62
								Summary Total	134.62
		161ST AVE/URANIMITE IRRIG EAST	PV	104258	001	09101	10/25/2020	727918 3RD QTR 2020	60.45
								Summary Total	60.45
		161ST AVE/URANIMITE ST IRRIG W	PV	104259	001	09101	10/25/2020	727919 3RD QTR 2020	112.47
								Summary Total	112.47
			PV	104260	001	09101	11/10/2020	724470 3RD QTR 2020	499.33
								Summary Total	499.33
		6860 RIVERDALE DR NW	PV	104261	001	09101	10/25/2020	723960 3RD QTR 2020	118.67
								Summary Total	118.67
		14779 ZEOLITE ST NW	PV	104262	001	09101	10/25/2020	722164 3RD QTR 2020	1,748.63
								Summary Total	1,748.63
		16303 QUICKSILVER IRRIG	PV	104263	001	09101	10/25/2020	724931 3RD QTR 2020	71.73
								Summary Total	71.73
		14700 ERKIUM ST NW	PV	104264	001	09101	10/25/2020	726294 3RD QTR 2020	43.53
								Summary Total	43.53
								Payment Amount	5,416.77
100120	CONTINENTAL RESEARCH	MISTER FRESH	PV	104191	001	09101	10/15/2020	0019952	212.00

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CITY OF RAMSEY
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 Pay Through Date 12/31/2020

Number	Payee Name / Mailing Address	Stub Message	Document Ty Number Itm Co	Due Date	Invoice Number	Payment Amount
	CORP					
	CONTINENTAL RESEARCH CORP PO BOX 15204 ST LOUIS MO 63110		Summary Total			212.00
			Payment Amount			212.00
100129	CRYSTEEL TRUCK EQUIPMENT	FILL CAP ELBOW KIT	PV 104267 001 09101	10/27/2020	FP178630	18.00
	CRYSTEEL MANUFACTURING 1130 73RD AVENUE NE FRIDLEY MN 55432		Summary Total			18.00
			Payment Amount			18.00
111818	DEANO'S COLLISION SPECIALISTS INC	WORK ON 305	PV 104192 001 09101	10/19/2020	57209	184.00
	DEANO'S COLLISION SPECIALISTS INC 11063 173RD AVENUE ELK RIVER MN 55330		Summary Total			184.00
			Payment Amount			184.00
100144	DEHN OIL COMPANY	DIESEL FUEL	PV 104193 001 09101	10/20/2020	78301	1,783.51
	DEHN OIL COMPANY 6735 141ST AVENUE NW RAMSEY MN 55303		Summary Total			1,783.51
		DIESEL FUEL	PV 104268 001 09101	10/26/2020	74891	904.51
			Summary Total			904.51
		DIESEL FUEL- FIRE STATION 2	PV 104269 001 09101	10/23/2020	78490	117.18
			Summary Total			117.18
		CITY HALL- DIESEL FUEL	PV 104270 001 09101	10/23/2020	78489	258.93
			Summary Total			258.93
			Payment Amount			3,064.13
101185	DO ALL PRINTING COM INC	CARDS- N. DAHLBERG PD	PV 104271 001 09101	10/23/2020	49339	37.00
	DO ALL PRINTING COM INC 6360 HIGHWAY 10 NW RAMSEY MN 55303		Summary Total			37.00
			Payment Amount			37.00

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Payee Number	Name / Mailing Address	Stub Message	Document Ty	Number	Itm	Co	Due Date	Invoice Number	Payment Amount
100158	ECM PUBLISHERS INC	ELECTION NOTICE	PV	104195	001	09101	10/16/2020	799614	118.25
	ECM PUBLISHERS INC							Summary Total	118.25
	4095 COON RAPIDS BLVD	ACCURACY TEST	PV	104196	001	09101	10/16/2020	799615	26.88
	COON RAPIDS MN 55433							Summary Total	26.88
		AD POLICE TECH	PV	104197	001	09101	10/11/2020	798799	175.00
								Summary Total	175.00
		ORD 202009	PV	104198	001	09101	10/16/2020	799616	53.75
								Summary Total	53.75
		PW CAMPUS GEN OB FUNDS	PV	104199	001	09412	10/16/2020	799617	86.00
								Summary Total	86.00
		RE:HARVEST ESTATES 2ND	PV	104272	001	09804	10/16/2020	799618	69.88
								Summary Total	69.88
								Payment Amount	529.76
108737	EMERGENCY AUTOMOTIVE TECHNOLOGY INC	MISC SQUAD 305	PV	104273	001	09101	10/22/2020	AW101520-6A	193.72
	EMERGENCY AUTOMOTIVE TECHNOLOGY INC							Summary Total	193.72
	2755 GENEVA AVE N	WORK ON 305	PV	104274	001	09101	10/21/2020	AW101520-6	95.24
	OAKDALE MN 55128							Summary Total	95.24
								Payment Amount	288.96
113321	FACTORY MOTOR PARTS CO	OIL	PV	104275	001	09101	10/29/2020	6-1576519	29.88
	FACTORY MOTOR PARTS CO	FILTERS/SPLASHWASH	PV	104275	002	09101	10/29/2020	6-1576519	28.56
		OIL						Summary Total	58.44
	BIN 139107							Payment Amount	58.44
	P O BOX 9107								
	MINNEAPOLIS MN 55480-9107								
106428	FORCE AMERICA INC	FEEDBACK COUPLER	PV	104300	001	09101	10/28/2020	001-1486768	186.82
	FORCE AMERICA INC							Summary Total	186.82
	501 EAST CLIFF ROAD SUITE 100							Payment Amount	186.82
	BURNSVILLE MN 55337								
100186	FRANKENSIGNS INC	NAMEPLATE T. FALK	PV	104276	001	09101	10/15/2020	276594	32.00

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 Payment Instrument T A/P ACH Payment
 Pay Through Date 12/31/2020

Payee Number	Name / Mailing Address	Stub Message	Document Ty	Number Number	Item Itm	Co	Due Date	Invoice Number	Payment Amount
	FRANKENSIGNS								Summary Total 32.00
	9991 GOODHUE STREET NE	NAMEPLATE E. SIEDOW	PV	104277	001	09101	10/22/2020	276627	32.00
	P O BOX 490301								Summary Total 32.00
	BLAINE MN 55449	WINDOW VINYL PD	PV	104278	001	09101	10/22/2020	276628	145.00
									Summary Total 145.00
									Payment Amount 209.00
100650	GRAINGER	V BELTS/RODENT STATIONS	PV	104202	001	09101	10/15/2020	9686153074	159.66
	GRAINGER INC								Summary Total 159.66
	DEPT. 806511127								
	PALATINE IL 60038-0001								Payment Amount 159.66
108628	GROVE NURSERY	12 TREES	PV	104203	001	09101	10/13/2020	30944000	3,290.00
	GROVE NURSERY								Summary Total 3,290.00
	9650 TRAIL HAVEN ROAD								
	CORCORAN MN 55340								Payment Amount 3,290.00
100209	HAKANSON ANDERSON ASSOC INC	RE:CENTER/SAPPHIRE FRONTAGE	PV	104204	001	09101	10/21/2020	44841	12,218.50
	HAKANSON ANDERSON ASSOC INC								Summary Total 12,218.50
	3601 THURSTON AVENUE	RE: VARIOLITE ST PROJECT	PV	104301	001	09402	10/23/2020	44867	11,913.25
	ANOKA MN 55303-1063								Summary Total 11,913.25
									Payment Amount 24,131.75
112475	INNOVATIVE OFFICE SOLUTIONS	OFFICE SUPPLIES	PV	104280	001	09101	10/21/2020	IN3142414	44.52
	INNOVATIVE OFFICE SOLUTIONS	OFFICE SUPPLIES	PV	104280	002	09101	10/21/2020	IN3142414	36.27
	P O BOX 860627	OFFICE SUPPLIES	PV	104280	003	09101	10/21/2020	IN3142414	45.45
	MINNEAPOLIS MN 55486-0001	OFFICE SUPPLIES	PV	104280	004	09101	10/21/2020	IN3142414	22.16
		OFFICE SUPPLIES	PV	104280	005	09101	10/21/2020	IN3142414	106.95
									Summary Total 255.35
		OFFICE SUPPLIES	PV	104281	001	09101	10/19/2020	IN3138995	32.59
		OFFICE SUPPLIES	PV	104281	002	09101	10/19/2020	IN3138995	10.99
		OFFICE SUPPLIES	PV	104281	003	09101	10/19/2020	IN3138995	36.27
		OFFICE SUPPLIES	PV	104281	004	09101	10/19/2020	IN3138995	97.64

R04570

CITY OF RAMSEY
Create Payment Control Groups

Payment Group Control Number 3119
 Bank Account 999.1010 CASH IN BANK 00002224
 Version LOGIS004V
 Originator JLIPSKI
 Payment Instrument T A/P ACH Payment
 Pay Through Date 12/31/2020

Payee Number	Name / Mailing Address	Stub Message	Document Ty	Number	Item	Co	Due Date	Invoice Number	Payment Amount
Summary Total									177.49
		INK CARTRIDGE	PV	104282	001	09101	10/26/2020	IN3146203	89.83
Summary Total									89.83
Payment Amount									522.67
100283	MENARDS COON RAPIDS MENARDS COON RAPIDS 3045 MAIN STREET COON RAPIDS MN 55433	MISC SUPPLIES	PV	104214	001	09101	10/19/2020	37572	217.96
Summary Total									217.96
Payment Amount									217.96
100363	NORTHERN SANITARY SUPPLY CO NORTHERN SANITARY SUPPLY CO 341 COON RAPIDS BLVD MINNEAPOLIS MN 55433	MISC SUPPLIES	PV	104217	001	09101	10/14/2020	200068	288.62
Summary Total									288.62
Payment Amount									288.62
115071	NORTHLAND OCCUPATIONAL HEALTH NORTHLAND OCCUPATIONAL HEALTH 7533 SUNWOOD DRIVE NW SUITE 212 RAMSEY MN 55303	PRE EMPLOY DRUG SCREEN PRE EMPLOY DRUG SCREEN	PV	104218	001	09101	10/21/2020	8336	50.00
Summary Total									50.00
			PV	104219	001	09101	10/21/2020	8335	50.00
Summary Total									50.00
Payment Amount									100.00
110547	NORTHWEST LIGHTING SYSTEMS CO. NORTHWEST LIGHTING SYSTEMS CO. 746 CRAIG AVENUE TRACY MN 56175	MISC LIGHTING	PV	104289	001	09101	10/27/2020	118479	165.00
Summary Total									165.00
Payment Amount									165.00
110480	OPUS 21 MANAGEMENT SOLUTIONS OPUS 21 MANAGEMENT SOLUTIONS 680 COMMERCE DRIVE SUITE 160 WOODBURY MN 55125	SEPT 2020 SERVICES	PV	104290	001	09601	10/26/2020	200966	17.40
		SEPT 2020 SERVICES	PV	104290	002	09601	10/26/2020	200966	17.40
		SEPT 2020 SERVICES	PV	104290	003	09601	10/26/2020	200966	17.40
		SEPT 2020 SERVICES	PV	104290	004	09601	10/26/2020	200966	17.40
		SEPT 2020 SERVICES	PV	104290	005	09601	10/26/2020	200966	17.38

R04570

CITY OF RAMSEY
Create Payment Control Groups

Payment Group Control Number 3119
 Bank Account 999.1010 CASH IN BANK 00002224
 Version LOGIS004V
 Originator JLIPSKI
 Payment Instrument T A/P ACH Payment
 Pay Through Date 12/31/2020

Payee Number	Name / Mailing Address	Stub Message	Document Ty	Number	Item	Co	Due Date	Invoice Number	Payment Amount	
Summary Total									86.98	
Payment Amount									86.98	
113444	PRECISE	SEPT 2020 SERVICE	PV	104291	001	09101	10/22/2020	200-1027858	900.00	
PRECISE									Summary Total	900.00
501 EAST CLIFF ROAD SUITE 100									Payment Amount	900.00
BURNSVILLE MN 55337										
113737	RATWIK ROSZAK AND MALONEY PA	SEPT 2020 SERVICES	PV	104303	001	09804	10/1/2020	67514	74.00	
	RATWIK ROSZAK AND MALONEY PA	SEPT 2020 SERVICES	PV	104303	002	09804	10/1/2020	67514	43.50	
	300 U.S. TRUST BUILDING	SEPT 2020 SERVICES	PV	104303	003	09804	10/1/2020	67514	2,190.00	
730 SECOND AVENUE SOUTH									Summary Total	2,307.50
MINNEAPOLIS MN 55402									RETAINER SEPT 2020	246.50
RETAINER SEPT 2020									PV 104304 002 09214 10/1/2020 67515	2,968.50
Summary Total									3,215.00	
Payment Amount									5,522.50	
115381	RUMRIVER ART CENTER	ART CLASSES OCT 10, 2020	PV	104292	001	09101	10/15/2020	1213282	331.00	
RUMRIVER ART CENTER									Summary Total	331.00
2665 4TH AVENUE SUITE 102									Payment Amount	331.00
ANOKA MN 55303										
100976	SHRED IT	PD SHREDDING	PV	104221	001	09101	10/15/2020	8180682535	74.76	
SHRED IT USA MINNEAPOLIS									Summary Total	74.76
28883 NETWORK PLACE									Payment Amount	74.76
CHICAGO IL 60673-1288										
114269	SPEEDCUTTERS OUTDOOR MAINTENANCE LLC	OCT 2020 TURF CARE	PV	104305	001	09101	10/24/2020	12795	488.69	
SPEEDCUTTERS OUTDOOR MAINTENANCE LLC									Summary Total	488.69
18523 OLSON STREET NW									PV 104306 001 09101 10/28/2020 12796	3,785.45
ELK RIVER MN 55330									PV 104306 002 09101 10/28/2020 12796	900.75-
Summary Total									2,884.70	
Payment Amount									3,373.39	

R04570

CITY OF RAMSEY
Create Payment Control Groups

Payment Group Control Number 3119
 Bank Account 999.1010 CASH IN BANK 00002224
 Version LOGIS004V
 Originator JLIPSKI
 Payment Instrument T A/P ACH Payment
 Pay Through Date 12/31/2020

Payee Number	Name / Mailing Address	Stub Message	Document Ty Number Itm Co	Due Date	Invoice Number	Payment Amount
100485	TIMESAVER OFF SITE SECRETARIAL INC	OCT 2020 MEETINGS	PV 104223 001 09101	10/14/2020	M25958	444.00
	TIMESAVER OFF SITE SECRETARIAL INC 21021 KAROLINE COURT N FOREST LAKE MN 55025				Summary Total	444.00
					Payment Amount	444.00
112079	TOKLE INSPECTIONS INC	SEPT 2020 SERVICES	PV 104224 001 09101	10/14/2020	101420	7,347.00
	TOKLE INSPECTIONS INC 1748 123RD AVENUE NW COON RAPIDS MN 55448				Summary Total	7,347.00
					Payment Amount	7,347.00
106990	USA BLUE BOOK	SNOW PLOW ROUTE FLAGS	PV 104307 001 09101	10/27/2020	401414	268.13
	USA BLUE BOOK PO BOX 9004 GURNEE IL 60031-9004				Summary Total	268.13
					Payment Amount	268.13
100539	WRIGHT TIRE SERVICE INC	2 TIRES FOR 699	PV 104225 001 09101	10/19/2020	83721	259.54
	WRIGHT TIRE SERVICE INC 710 WEST MAIN STREET ANOKA MN 55303				Summary Total	259.54
					Payment Amount	259.54
100541	ZARNOTH BRUSH WORKS INC	SWEEPER BROOMS	PV 104296 001 09605	10/14/2020	0182176	1,872.00
	ZARNOTH BRUSH WORKS INC PO BOX 141 CHILTON WI 53014-0141				Summary Total	1,872.00
					Payment Amount	1,872.00
100543	ZIEGLER INC	REPAIR RAMP GENERATOR	PV 104227 001 09240	10/8/2020	SW050348315	957.78
	ZIEGLER INC SDS 12-0436				Summary Total	957.78

Councilmember introduced the following resolution and moved for its adoption:

RESOLUTION #20-255

RESOLUTION APPROVING CASH DISBURSEMENTS MADE AND AUTHORIZING PAYMENT OF ACCOUNTS PAYABLE INVOICING RECEIVED DURING THE PERIOD OF OCTOBER 22, 2020 THROUGH NOVEMBER 4, 2020

WHEREAS, the City of Ramsey Finance Department has made cash disbursements and received accounts payable invoicing during the period of October 22, 2020, through November 4, 2020, in the amount of \$ 746,557.41 and

WHEREAS, the City Council of the City of Ramsey is required to authorize payment for all disbursement transactions.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

- 1) That the Ramsey City Council hereby approves the cash disbursements made and authorizes payment of the accounts payable invoices as detailed in the attached Bills List for the period October 22, 2020, through November 4, 2020, in the amount of \$ 746,557.41.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember , and upon vote being taken thereon, the following voted in favor thereof:

Mayor LeTourneau
Councilmember
Councilmember
Councilmember
Councilmember
Councilmember

and the following voted against the same:

None

and the following abstained:

None

and the following were absent:

Existing Vacancy

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 10th day of November, 2020.

Mayor

ATTEST:

City Clerk

Meeting Date: 11/10/2020

By: Chris Anderson, Community
Development

Information

Title:

Adopt Resolution #20-243 Approving a Conditional Use Permit for Additional Outside Storage Space at 6820 143rd Avenue NW (Project No. 20-133); Case of Molin Concrete Products Company

Purpose/Background:

The City has received an application Molin Concrete Products Company (the "Applicant") for a Conditional Use Permit (the "Permit") to increase allowable outside storage area from thirty percent (30%) to thirty-five percent (35%) at 6820 143rd Ave NW (the "Subject Property").

Notification:

The City attempted to notify Property Owners, as reflected in the Anoka County Property Records, within 350 feet of the Subject Property of the request.

Observations/Alternatives:

The Applicant manufactures large concrete products at the Subject Property. They have indicated that they are likely to implement a new product line in 2021 or 2022 that would create concrete panels up to 12' by 60' in size. These panels must be stored flat and cannot be stacked upon each other, making for rather inefficient storage. Based on the current size of the Subject Property, which is approximately 19.78 acres, the Applicant is confident they could accommodate this in compliance with City Code. However, the Applicant has been contacted by the owner of the abutting parcel to the south about the potential acquisition of 2.5 acres of the Subject Property to accommodate a building expansion. That potential reduction in size of the Subject Property may impact the Applicant's ability to implement the new product line and maintain compliance with regulations pertaining to outside storage.

The Subject Property is in the E-2 Employment District, which allows open and outside storage as an accessory use providing that it does not exceed 30% of the lot size, does not take away required parking or loading areas, and is properly surfaced. In an attempt to accommodate their southern neighbor's desire to expand their facility, they are supportive of completing an Administrative Subdivision to realign the common boundary to sell them 2.5 acres. However, to ensure that this does not impact their own planned growth, they are seeking the Permit to allow outside storage up to 35% of the lot area. If approved, this would essentially allow the Applicant to reduce their lot size (to help the neighboring business expand) while maintaining the same allowable square footage based on the current size of the Subject Property.

There is already outside storage occurring on the Subject Property and the requested increase in outside storage area is relatively minor. Furthermore, if approved, it paves the way for two Ramsey businesses to expand their operations without having to contemplate relocating.

Alternatives

Alternative 1: Approve the Conditional Use Permit to increase allowable outside storage from 30% to 35% on the Subject Property. As drafted, the Conditional Use Permit would be contingent upon a successful land transaction that reduces the Subject Property from 19.78 acres to 17.28 acres. This action would assist with retaining two Ramsey businesses while also allowing both to expand their operations. Planning Commission supported this alternative.

Alternative 2: Deny the requested Conditional Use Permit. The requested increase in outside storage area is minor and is only be requested in an attempt to help a neighboring business expand their operation. Planning Commission does not support this alternative.

Funding Source:

All costs associated with this request are the responsibility of the Applicant.

Recommendation:

The Planning Commission recommends approving Resolution #20-243 granting a Conditional Use Permit for outside storage on the Subject Property not to exceed 35% of the lot size.

Action:

Motion to adopt Resolution #20-243 approving a Conditional Use Permit for outside storage on the Subject Property.

Attachments

Site Location Map

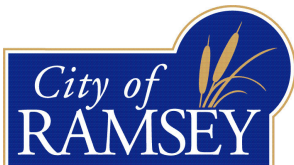
Site Plan

Proposed Lot Sale

Resolution #20-243

Form Review

Inbox	Reviewed By	Date
Tim Gladhill	Tim Gladhill	11/05/2020 06:57 AM
Tim Gladhill	Tim Gladhill	11/05/2020 09:21 AM
Kurt Ulrich	Kurt Ulrich	11/05/2020 02:27 PM
Form Started By: Chloe McGuire Brigl		Started On: 11/02/2020 10:52 AM
Final Approval Date: 11/05/2020		



Site Location Map

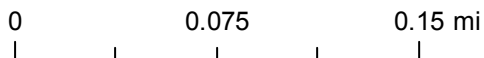
6820 143rd Ave NW
27-32-25-34-0007

Legend

-  Site
-  Parcels



October 20th, 2020



Molin Concrete



6820 143rd Ave NW



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NECG, © OpenStreetMap contributors, and the GIS User Community, LOGIS

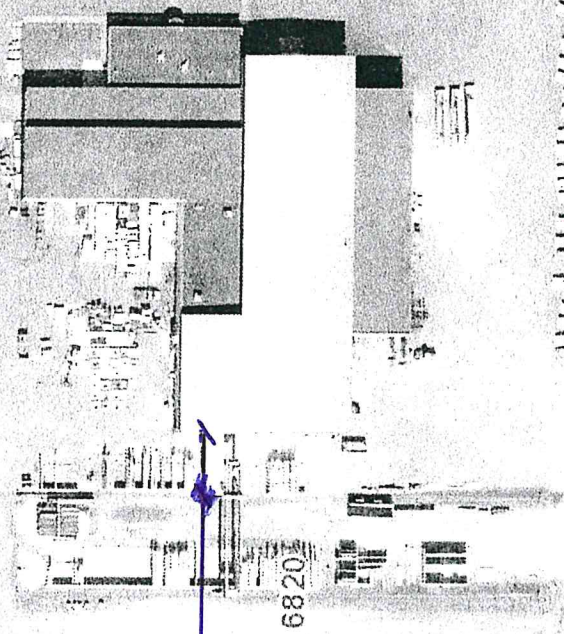
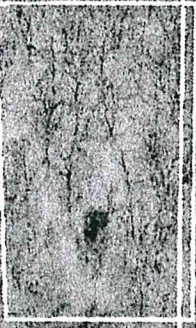
mi
0.0125 0.025 0.05 0.075 0.1

Print Date: October 20, 2020

143RD AVE NW

143RD AVE NW

NOT TO SCALE



6820

645' ± 02'

653.26 ± 02'

25' BLDG SET BACK

165'

ADDITION

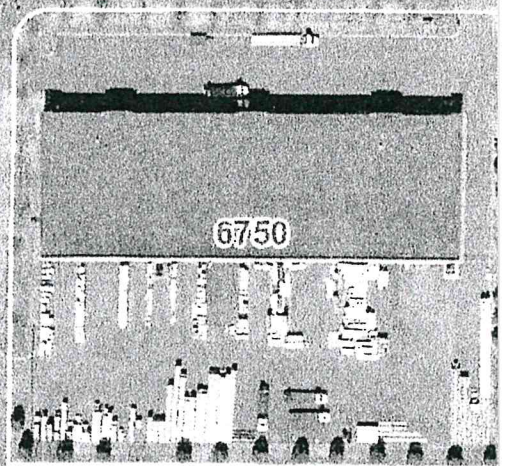
165'

6815

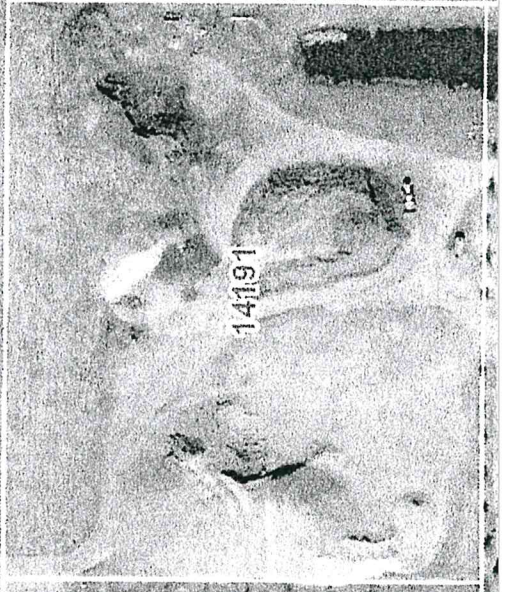
MCKINLEY STILEY ST NW

EBONY ST NW

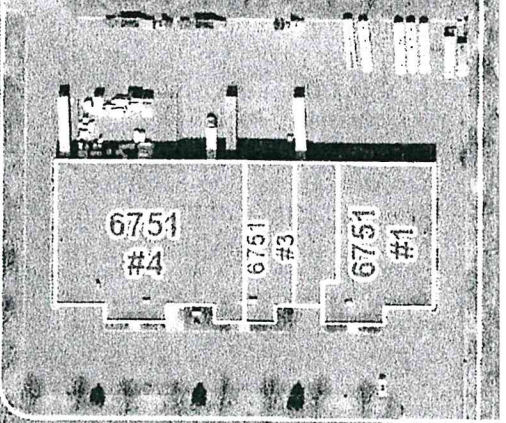
EBONY ST NW



6750



14191



6751 #4

6751 #3

6751 #1

141ST AVE NW

Councilmember _____ introduced the following resolution and moved for its adoption:

RESOLUTION #20-243

**A RESOLUTION APPROVING A CONDITIONAL USE PERMIT
TO INCREASE ALLOWABLE SQUARE FOOTAGE FOR OUTSIDE STORAGE FOR
MOLIN CONCRETE PRODUCTS COMPANY AT 6820 143RD AVENUE**

RECITALS

1. Molin Concrete Products Company, hereinafter referred to as the “Permittee”, has properly applied for a Conditional Use Permit to allow for an increase in allowable area for outside storage at the property generally known as 6820 143rd Avenue NW and legally described as follows:

The east ½ of the southeast ¼ of the southwest ¼ of Section 27, Range 32, Township 25, excluding that part described as follows: Commencing at the northwest corner of said east ½, thence south along the west line of said east ½ 409.44 feet to the point of beginning, thence east at right angle 11 feet, thence south at right angle 264 feet, thence west at right angle to west line of said east ½, thence north along said west line to point of beginning, excluding road; subject to easements of record

(“Subject Property”)

2. That the Subject Property is owned by the Permittee.
3. That the Subject Property is zoned E-2 Employment as are all the surrounding properties with the exception of a cemetery to the west, which is zoned Public/Quasi Public, and a parcel to the east, which is zoned PUD.
4. That the Subject Property is approximately 19.78 acres in size.
5. That the E-2 Employment District allows open and outdoor storage as an accessory use not to exceed thirty percent (30%) of a property provided that it does not take up required parking or loading space and provided it is surfaced accordingly.
6. That the Subject Property is currently eligible for 258,485 square feet of outside storage (30% of 19.78 acres).
7. That the Permittee has stated that they are looking *to* introduce a new product line in 2021 or 2022 which can produce concrete panels up to 12’ by 60’ in dimensions and that this product needs to be stored flat and cannot be stacked.
8. That additional outdoor storage is allowed with a Conditional Use Permit (CUP).

9. That the business to the south (Cullinan Rigging) of the Subject Property desires to expand their business operation and is negotiating a purchase agreement with the Permittee for the acquisition of 2.5 acres of the Subject Property to accommodate a building expansion.
10. That the Permittee wants to work with their neighbor to accommodate their needs but expressed a concern that if they reduce their lot size by 2.5 acres, it may impact their projected need for outside storage.
11. That the Permittee desires to keep their same allowable square footage for outside storage, even if the Subject Property is reduced in size as part of an Administrative Subdivision.
12. That the Building size on the Subject Property is not changing and is still under allowed coverage.
13. That the Permittee appeared before the Planning Commission on November 5, 2020 for a public hearing and that said public hearing was properly advertised and that the minutes of said public hearing are hereby incorporated by reference.

FINDINGS OF FACT

1. That the additional outdoor storage space **will not** be unduly dangerous or detrimental to persons residing or working in the vicinity of the use, or to the public welfare.
2. That the additional outdoor storage space **will not** substantially adversely impair the use, enjoyment or market value of any of the surrounding properties.
3. That the additional outdoor storage space **will** be maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and **will not** change the essential character of the area.
4. That the additional outdoor storage space **will not** be hazardous to existing or future neighboring uses.
5. That the additional outdoor storage space **will not** impact essential public facilities and services, such as highways, streets, police and fire protection.
6. That the additional outdoor storage space **will not** create excessive additional requirements at public cost for public facilities and services and will not be detrimental to the economic welfare of the community.
7. That the additional outdoor storage space **will not** involve uses, activities and equipment that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

NOW THEREFORE, BE IT RESOLVED BY THIS CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

That the Ramsey City Council hereby grants approval of a Conditional Use Permit (the “Permit”) for outdoor storage on the Subject Property contingent upon the following conditions:

CONDITIONS

1. That this **Permit** allows up to thirty-five percent (35%) of the square footage of the **Subject Property** for outside storage.
2. That the Ramsey City Council hereby waives the requirement of the 10-day waiting period between the action of the Planning Commission and action by City Council.
3. That this **Permit** is contingent upon a successful Administrative Subdivision that would transfer approximately 2.5 acres from the **Subject Property** to the abutting parcel to the south.
4. That the **Permittee** shall maintain the **Subject Property** in compliance with City Code Sections 117-356 (Commercial and Industrial Development Off-Street Parking), Chapter 117 (Zoning and Subdivisions), Article II (Zoning) Division 8 (Signs), and Chapter 30 (Nuisances) at all times.
5. That the **Permittee** shall obtain all necessary permits, which include but may not be limited to building permit and Lower Rum River Watershed Management Organization (LRRWMO) permit to complete any required building modifications and expansion of impervious surfacing.
6. That the **Permittee** shall maintain all required drive aisle widths in accordance with City Code Section 117-356.
7. That this **Permit** shall be perpetual in duration as long as the terms are herein complied with.
8. That the **Permittee** shall be responsible for all City costs incurred in administering and enforcing this Permit.
9. That the City Administrator, or his/her designee, shall have the right to inspect the premises for compliance and safety purposes annually or at any time, upon reasonable request.
10. That this **Permit** shall automatically expire if the use is not initiated by November 10, 2021 and initiation shall be considered successful completion of a subdivision to sell approximately 2.5 acres to the owner of the parcel to the south.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember _____, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Existing Vacancy

whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this 10th day of November, 2020.

Meeting Date: 11/10/2020

By: Bruce Westby, Engineering/Public Works

Information

Title

Adopt Resolution #20-258 Approving Cooperative Construction Agreement #1044547 for Bunker Lake Boulevard/CSAH 116 and Saint Francis Boulevard/TH 47 Intersection Improvements

Purpose/Background:

Purpose:

The purpose of this case is to adopt Resolution #20-258 approving Cooperative Construction Agreement #1044547 for the Bunker Lake Boulevard/County State Aid Highway 116 & Saint Francis Boulevard/Trunk Highway 47 Intersection Improvements.

Background:

To improve operations and safety for traffic at the intersection of Bunker Lake Boulevard/ County State Aid Highway 116 (CSAH 116) & Saint Francis Boulevard/Trunk Highway 47 (TH 47), Anoka County is proposing to construct improvements in 2021 on CSAH 116 between 250 feet east of Tower Pond Drive and 1,200 feet east of Trunk Highway 47, and on TH 47 between Coolidge Street NW and 142nd Avenue NW.

The proposed improvements generally include the construction of new turn lanes and concrete median islands, extending existing turn lanes, reconstructing the existing concrete bridge deck, reconstructing several bituminous trail segments and concrete pedestrian curb ramps, milling and overlaying existing bituminous pavement sections (through lanes, turn lanes and shoulders), pavement striping, signing, and replacing the existing traffic control signal system with a new signal system.

On October 27, 2020, City Council approved Joint Powers Agreement (JPA) #C0007856 that defined costs and certain responsibilities for Anoka County and the City of Ramsey related to the construction and maintenance of the proposed improvements.

The City Council is now asked to approve attached Cooperative Construction Agreement (CCA) #1044547 between the Minnesota Department of Transportation, Anoka City, and the City of Ramsey, which supersedes and terminates Traffic Control Signal Maintenance Agreement #75315 associated with the existing signal system at this intersection.

Public Works Superintendent Riemer has reviewed and approved the attached CCA.

City Attorney Langel has also reviewed and approved the attached CCA.

Approving attached CCA #1044547 will not obligate the City to any new costs related to operating and maintaining the traffic control signal system at this intersection.

Observations/Alternatives:

The City generally maintains separate maintenance agreements for all traffic control signal systems in Ramsey, which are owned by either Anoka County or MnDOT. City crews do not typically perform signal maintenance work. Instead, the City typically reimburses Anoka County or MnDOT on a quarterly basis for any maintenance work completed or directed by Anoka County or MnDOT.

Funding Source:

All City costs related to operating and maintaining traffic control signal systems are funded through the Traffic Engineering fund.

Recommendation:

Staff recommends adopting Resolution #20-258 approving Cooperative Construction Agreement #1044547 for the Bunker Lake Boulevard/County State Aid Highway 116 & Saint Francis Boulevard/ Trunk Highway 47 Intersection Improvements.

Action:

Adopt Resolution #20-258 approving Cooperative Construction Agreement #1044547 for the Bunker Lake Boulevard/County State Aid Highway 116 & Saint Francis Boulevard/ Trunk Highway 47 Intersection Improvements.

Attachments

Resolution 20-258

Signal Agreement 75315

Coop Constr Agreement 1044547

Form Review

Inbox

Kurt Ulrich

Form Started By: Bruce Westby

Final Approval Date: 11/05/2020

Reviewed By

Kurt Ulrich

Date

11/05/2020 03:29 PM

Started On: 11/03/2020 01:04 PM

Councilmember _____ introduced the following resolution and moved for its adoption:

RESOLUTION #20-258

RESOLUTION APPROVING COOPERATIVE CONSTRUCTION AGREEMENT #1044547 FOR BUNKER LAKE BOULEVARD/COUNTY STATE AID HIGHWAY 116 AND SAINT FRANCIS BOULEVARD/TRUNK HIGHWAY 47 INTERSECTION IMPROVEMENTS

WHEREAS, Anoka County proposes to construct improvements within the City of Ramsey in 2021 to improve traffic operations and safety at the intersection of Bunker Lake Boulevard/County State Aid Highway 116 & Saint Francis Boulevard/Trunk Highway 47; and

WHEREAS, the proposed improvements generally include the construction of new turn lanes and concrete median islands, extending existing turn lanes, reconstructing the existing concrete bridge deck, reconstructing several bituminous trail segments and concrete pedestrian curb ramps, milling and overlaying existing bituminous pavement sections (through lanes, turn lanes and shoulders), pavement striping, signing, and replacing the existing traffic control signal system with a new signal system; and

WHEREAS, the proposed traffic control signal system will replace the existing signal system that is being operated and maintained pursuant to Traffic Control Signal Maintenance Agreement #75315 between the Minnesota Department of Transportation, Anoka County and the City of Ramsey; and

WHEREAS, Traffic Control Signal Maintenance Agreement #75315 obligates the City of Ramsey to paying all costs for powering the signal system and attached street lights, for re-lamping and/or replacing non-functioning street lights, and for cleaning and painting the street light mast arms; and

WHEREAS, the Minnesota Department of Transportation prepared Cooperative Construction Agreement #1044547 between the Minnesota Department of Transportation, Anoka County, and the City of Ramsey, to define and assign specific costs and responsibilities associated with the construction, operation and maintenance of the proposed traffic control signal system; and

WHEREAS, Cooperative Construction Agreement #1044547 will supercede and terminate Traffic Control Signal Maintenance Agreement #75315; and

WHEREAS, the parties agree it is in the best interest of the public to construct, operate and maintain the proposed traffic control signal system.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

- 1) The Mayor and City Administrator are hereby authorized and directed to enter into Minnesota Department of Transportation Cooperative Construction Agreement #1044547 for and on behalf of the City of Ramsey to provide for operation and power of the traffic control signal system on Trunk Highway No. 47 at County State Aid Highway No. 116 (Bunker Lake Boulevard) construction to be performed upon, along, and adjacent to Trunk Highway No. 47 from 100 feet south of Coolidge Street Northwest to 142nd Avenue Northwest, and on County State Aid Highway No. 116 (Bunker Lake Boulevard) from 250 feet east of Tower Pond Drive to 1,200 feet east of Trunk Highway No. 47 under State Project No. 0206-78 within the City of Ramsey.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember _____, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Existing Vacancy

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 10th day of November, 2020.

Mayor

ATTEST:

City Clerk

MINNESOTA TRANSPORTATION DEPARTMENT

TRAFFIC CONTROL SIGNAL

AGREEMENT NO. 75315

BETWEEN

THE STATE OF MINNESOTA, DEPARTMENT OF TRANSPORTATION

AND

THE COUNTY OF ANOKA

AND

THE CITY OF RAMSEY

TO

Remove the existing Traffic Control Signal and Install a new Traffic Control Signal with Street Lights and Signing on Trunk Highway No. 47 (St. Francis Boulevard Northwest) at County State Aid Highway No. 116 (Industry Avenue Northwest) in Anoka and Ramsey, Anoka County, Minnesota.

S.P. 0206-47

S.A.P. 02-716-01

Prepared by Traffic Engineering

ESTIMATED AMOUNT RECEIVABLE

AMOUNT ENCUMBERED

County of Anoka \$4,950.00

\$102,682.81

THIS AGREEMENT made and entered into by and between the State of Minnesota, Department of Transportation, hereinafter referred to as the "State", and the County of Anoka, hereinafter referred to as the "County", and the City of Ramsey, hereinafter referred to as the "City", WITNESSETH:

WHEREAS, Minnesota Statutes Section 161.20 (1994) authorizes the Commissioner of Transportation to make arrangements with and cooperate with any governmental authority for the purposes of constructing, maintaining and improving the Trunk Highway system; and

WHEREAS, it is justified and considered mutually desirable to remove the existing traffic control signal and install a new traffic control signal with street lights and signing on Trunk Highway No. 47 (St. Francis Boulevard Northwest) at County State Aid Highway No. 116 (Industry Avenue Northwest); and

WHEREAS, it is considered in the public's best interest for the State to provide a new cabinet and controller for said new traffic control signal. Such materials as described immediately above shall hereinafter be referred to as "State furnished materials"; and

WHEREAS, it is considered in the public's best interest for the County to provide four (4) mast arm poles, eighteen (18) vehicle signal faces and required bracketing, eight (8) pedestrian signal faces and required bracketing, and eight (8)

pedestrian push buttons and signs for said new traffic control signal. Such materials as described immediately above shall hereinafter be referred to as "County furnished materials"; and

WHEREAS, the County, City and the State will participate in the cost, maintenance and operation of the traffic control signal with street lights and signing, as hereinafter set forth;

NOW, THEREFORE, IT IS AGREED AS FOLLOWS:

1. The County shall prepare the necessary plan, specifications and proposal which shall constitute "Preliminary Engineering". The County shall also perform the construction inspection required to complete the items of work hereinafter set forth, which shall constitute "Engineering and Inspection" and shall be so referred to hereinafter.

2. The contract cost of the work or, if the work is not contracted, the cost of all labor, materials, and equipment rental required to complete the work, except the cost of providing the power supply to the service pole or pad, shall constitute the actual "Construction Cost" and shall be so referred to hereinafter.

3. The County with its own forces and equipment or by contract shall remove the existing traffic control signal and install a new traffic control signal and signing on Trunk Highway No. 47 (St. Francis Boulevard Northwest) at County State Aid Highway No. 116 (Industry Avenue Northwest)

in accordance with State Project No. 0206-47 and State Aid Project No. 02-716-01. Estimated Construction Cost is \$141,905.48 which includes County furnished materials. State's share is 67 percent. County's share is 33 percent.

4. The State will furnish to the County the State furnished materials to be installed with the County work provided in Paragraph 3. Estimated cost for State furnished materials is \$15,000.00. State's share is 67 percent. County's share is 33 percent.

5. Upon execution and approval of this agreement and a request in writing by the State, the County shall advance to the State an amount equal to its portion of the costs as specified in Paragraph 4. The County's costs shall be based on the estimated costs for State furnished materials.

6. Upon compilation of the actual costs for State furnished materials, the amount of the funds advanced by the County in excess of the County's share will be returned to the County without interest and the County agrees to pay to the State that amount of its share which is in excess of the amount of the funds advanced by the County.

7. Payment to the County will be made by the State for 67 percent of the actual costs for the County furnished materials [estimated costs \$40,805.48] furnished to the project, plus eight (8) percent of its share for the cost of Engineering and Inspection, and upon submission by the County of an invoice

in quintuplicate to the State's Assistant Division Engineer in the Metro Division State Aid Office at Roseville itemizing the costs and certified by a responsible County official that said materials have been furnished under the terms of this agreement. The invoice and supporting records are subject to audit by State's representative.

8. Upon completion of the work provided for in Paragraph 3 hereof to the satisfaction of the State's Assistant Division Engineer in the Metro Division State Aid Office at Roseville or his duly authorized representative, the State shall pay to the County the State's share of the actual Construction Costs plus eight (8) percent of its share for the cost of Engineering and Inspection.

9. The amount to be encumbered for payment to the County from Trunk Highway Funds for the construction work performed under this Agreement is \$102,682.81, which is the State's share of the estimated Construction Costs plus Engineering and Inspection Costs and the estimated County furnished materials costs plus Engineering and Inspection Costs. In the event that at any time it appears that such reimbursement will exceed said sum, the County shall promptly notify the State's Assistant Division Engineer in the Metro Division State Aid Office at Roseville or his duly authorized representative of the reason for the increase in cost and the amount of additional funds necessary to complete the project. If approved by the

State's Assistant Division Engineer in the Metro Division State Aid Office at Roseville or his duly authorized representative, additional funds shall be encumbered by the State and notice by the State's Assistant Division Engineer in the Metro Division State Aid Office at Roseville or his duly authorized representative to the County of that additional encumbrance will permit the County to complete this project.

10. Payment to the County will be made by the State for such contract work which is complete and approved and upon submission by the County of an invoice in quintuplicate itemizing the actual Construction Cost and certified by a responsible County official that said work has been completed under the terms of this Agreement. The invoice and supporting records are subject to audit by the State's representative at the direction of the State.

11. The County shall submit to the State a certified copy of the low bid received and an abstract of all bids received by the County, together with the County's request for concurrence by the State in the award of a construction contract.

12. The construction work provided for herein shall be under the direction and supervision of the County. It is agreed, however, that the State shall have the right to periodically inspect said cost sharing construction work.

13. The City shall provide an adequate electrical power supply to the service pad or pole, and upon completion of

said new traffic control signal with street lights installation shall provide necessary electrical power for its operation at the cost and expense of the City.

14. Upon completion of the work contemplated in Paragraph 3 hereof, the responsibility for the new traffic control signal is as follows: a) It shall be the County's responsibility, at its cost and expense, to: (1) relamp the new traffic control signal, except for the Red LED signal indications which shall be relamped by the State for the 5 year warranty period and by the County thereafter; and (2) clean and paint the new traffic control signal and cabinet; (b) It shall be the City's responsibility, at its cost and expense, to maintain the luminaires and all its components, including replacement of the luminaire if necessary, relamp the street lights, and clean and paint the luminaire mast arm extensions; and (c) It shall be the State's responsibility, at its cost and expense, to maintain the signing and perform all other traffic control signal and street light maintenance.

15. Any and all persons engaged in the aforesaid work to be performed by the County shall not be considered employees of the State or City and any and all claims that may or might arise under the Workers' Compensation Act of this State on behalf of said employees while so engaged, and any and all claims made by any fourth party as a consequence of any act or omission on the part of said employees while so engaged on any of the work

contemplated herein shall not be the obligation and responsibility of the State or City. The County shall not be responsible under the Worker's Compensation Act for any employees of the State or City.

16. All timing of the traffic control signal provided for herein shall be determined by the State, through its Commissioner of Transportation, and no changes shall be made therein except with the approval of the State.

COUNTY OF ANOKA

APPROVED AS TO FORM:

Don Dent
County Attorney

By [Signature]
Chairman of the County Board

RECOMMENDED FOR APPROVAL

[Signature]
County Highway Engineer

(County Seal)

By John Jay McFadden
County Administrator

CITY OF RAMSEY

APPROVED AS TO FORM:

William Goodride
City Attorney

By [Signature]
Mayor

(City Seal)

By [Signature]
City Administrator

STATE OF MINNESOTA

DEPARTMENT OF TRANSPORTATION

RECOMMENDED FOR APPROVAL:



Assistant Division Engineer

DEPARTMENT OF TRANSPORTATION

By 

Assistant Commissioner

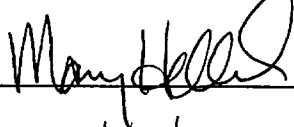
Dated 9/13/96

APPROVED AS TO FORM AND EXECUTION:

Original signed by:
Donald J. Mueting
Assistant Attorney General

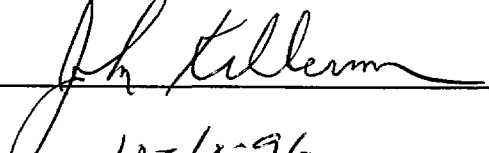
Assistant Attorney General
State of Minnesota

DEPARTMENT OF ADMINISTRATION

By 

Dated 9/19/96

DEPARTMENT OF FINANCE

By 

Dated 10-10-96

BOARD OF COUNTY COMMISSIONERS
Anoka County, Minnesota

DATE: August 13, 1996

RESOLUTION #96-112

OFFERED BY COMMISSIONERS: Berg and Lang

**RESOLUTION RELATING TO AGREEMENT #75315 WITH
STATE OF MINNESOTA, DEPARTMENT OF TRANSPORTATION
RELATING TO SIGNALS AT TRUNK HIGHWAY NO. 47 AND C.S.A.H. NO. 116**

BE IT RESOLVED that the County of Anoka enter into an agreement with the State of Minnesota, Department of Transportation for the following purposes, to-wit:

To remove the existing traffic control signal and install a new traffic control signal with street lights and signing on Trunk Highway No. 47 (St. Francis Boulevard Northwest) at County State Aid Highway No. 116 (Industry Avenue Northwest) in accordance with the terms and conditions set forth and contained in Agreement No. 75315, a copy of which was before the Board.

BE IT FURTHER RESOLVED that the proper County officers be and hereby are authorized to execute such agreement, and thereby assume for and on behalf of the County all of the contractual obligations contained therein.

RESOLUTION

BE IT RESOLVED that the City of Ramsey enter into an agreement with the State of Minnesota, Department of Transportation for the following purposes, to wit:

To remove the existing traffic control signal and install a new traffic control signal with street lights and signing on Trunk Highway No. 47 (St. Francis Boulevard Northwest) at County State Aid Highway No. 116 (Industry Avenue Northwest) in accordance with the terms and conditions set forth and contained in Agreement No. 75315, a copy of which was before the Council.

BE IT FURTHER RESOLVED that the proper City officers be and hereby are authorized to execute such agreement, and thereby assume for and on behalf of the City all of the contractual obligations contained therein.

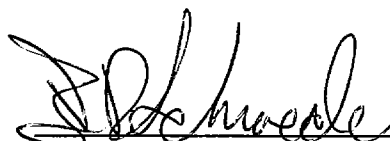
CERTIFICATION

State of Minnesota

County of Anoka

City of Ramsey

I hereby certify that the foregoing Resolution is a true and correct copy of a resolution presented to and adopted by the Council of the City of Ramsey at a duly authorized meeting thereof held on the 13th day of August, 1996, as shown by the minutes of said meeting in my possession.



City Administrator

(Seal)

**STATE OF MINNESOTA
DEPARTMENT OF TRANSPORTATION
And
CITY OF RAMSEY
And
ANOKA COUNTY
COOPERATIVE CONSTRUCTION
AGREEMENT**

State Project Number (S.P.):	<u>0206-78</u>	Original Amount Encumbered
Trunk Highway Number (T.H.):	<u>47=110</u>	<u>\$405,583.66</u>
State Aid Project Number (S.A.P.):	<u>002-716-020</u>	
Signal System ID:	<u>176055</u>	

This Agreement is between the State of Minnesota, acting through its Commissioner of Transportation ("State"), the City of Ramsey acting through its City Council ("City"), and Anoka County acting through its Board of Commissioners ("County").

Recitals

1. The County will perform grading, bituminous surfacing, mill and overlay, ADA improvements, signal revisions and modification of Bridge No. 02546 construction and other associated construction upon, along, and adjacent to Trunk Highway No. 47 from 100 feet south of Coolidge Street Northwest to 142nd Avenue Northwest, and on County State Aid Highway No. (C.S.A.H.) 116 (Bunker Lake Boulevard) from 250 feet east of Tower Pond Drive to 1,200 feet east of Trunk Highway No. 47 according to County-prepared plans, specifications, and special provisions designated by the City, the County, and the State as State Aid Project No. 002-716-020 and by the State as State Project No. 0206-78 (T.H. 47=110) ("Project"); and
2. The County requests the State participate in the costs of the Trunk Highway No. 47 storm sewer, signal system, and paving construction and the State is willing to participate in the costs of said construction; and
3. This Agreement will supersede and terminate signal maintenance Agreement No. 75315 between the State, the City, and the County; and
4. Minnesota Statutes § 161.20, subdivision 2 authorizes the Commissioner of Transportation to make arrangements with and cooperate with any governmental authority for the purposes of constructing, maintaining, and improving the trunk highway system.

Agreement

1. Term of Agreement; Survival of Terms; Plans; Incorporation of Exhibits

- 1.1. **Effective Date.** This Agreement will be effective on the date the State obtains all signatures required by Minnesota Statutes § 16C.05, subdivision 2.
- 1.2. **Expiration Date.** This Agreement will expire when all obligations have been satisfactorily fulfilled.
- 1.3. **Survival of Terms.** All clauses which impose obligations continuing in their nature and which must survive in order to give effect to their meaning will survive the expiration or termination of this Agreement, including, without limitation, the following clauses: 2.4. State Ownership of Improvements; 5. Maintenance by the County; 11. Liability; Worker Compensation Claims; Insurance; 14. State Audits;

15. Government Data Practices; 17. Governing Law; Jurisdiction; Venue; and 19. Force Majeure. The terms and conditions set forth in Article 6. Signal System and EVP System Operation and Maintenance will survive the expiration of this Agreement, but may be terminated by another Agreement between the parties.

- 1.4. Plans, Specifications, and Special Provisions.** State-Aid approved County plans, specifications, and special provisions designated by the City, the County, and the State as State Aid Project No. 002-716-020 and by the State as State Project No. 0206-78 (T.H. 47=110) are on file in the office of the County's Engineer and incorporated into this Agreement by reference ("Project Plans").
- 1.5. Exhibits.** Preliminary Schedule "I" is attached and incorporated into this Agreement. "Drainage Maintenance Exhibit" is incorporated into this Agreement by reference.

2. Right-of-Way Use

- 2.1. Limited Right to Occupy.** The State grants to the County (and its contractors and consultants) the right to occupy Trunk Highway Right-of-Way as necessary to perform the work described in the Project Plans. This right is limited to the purpose of constructing the project, and administering such construction, and may be revoked by the State at any time, with or without cause. Cause for revoking this right of occupancy includes, but is not limited to, breaching the terms of this or any other agreement (relevant to this Project) with the State, failing to provide adequate traffic control or other safety measures, failing to perform the construction properly and in a timely manner, and failing to observe applicable environmental laws or terms of applicable permits. The State will have no liability to the County (or its contractors or consultants) for revoking this right of occupancy.
- 2.2. State Access; Suspension of Work; Remedial Measures.** The State's District Engineer or assigned representative retains the right to enter and inspect the Trunk Highway Right-of-Way (including the construction being performed on such right-of-way) at any time and without notice to the County or its contractor. If the State determines (in its sole discretion) that the construction is not being performed in a proper or timely manner, or that environmental laws (or the terms of permits) are not being complied with, or that traffic control or other necessary safety measures are not being properly implemented, then the State may direct the County (and its contractor) to take such remedial measures as the State deems necessary. The State may require the County (and its contractors and consultants) to suspend their operations until suitable remedial action plans are approved and implemented. The State will have no liability to the County (or its contractors or consultants) for exercising its rights under this provision.
- 2.3. Traffic Control; Worker Safety.** While the County (and its contractors and consultants) are occupying the State's Right-of-Way, they must comply with the approved traffic control plan, and with applicable provisions of the Work Zone Field Handbook (<http://www.dot.state.mn.us/trafficeng/workzone/index.html>). All County, contractor, and consultant personnel occupying the State's Right-of-Way must be provided with required reflective clothing and hats.
- 2.4. State Ownership of Improvements.** The State will retain ownership of its Trunk Highway Right-of-Way, including any improvements made to such right-of-way under this Agreement, unless otherwise noted. The warranties and guarantees made by the County's contractor with respect to such improvements (if any) will flow to the State. The County will assist the State, as necessary, to enforce such warranties and guarantees, and to obtain recovery from the County's consultants, and contractor (including its sureties) for non-performance of contract work, for design errors and omissions, and for defects in materials and workmanship. Upon request of the State, the County will undertake such actions as are reasonably necessary to transfer or assign contract rights to the State and to permit subrogation by the State with respect to claims against the County's consultants and contractors.

3. Contract Award and Construction

- 3.1. *Bids and Award.*** The County will receive bids and award a construction contract to the lowest responsible bidder (or best value proposer), subject to concurrence by the State in that award, according to the Project Plans. The contract construction will be performed according to the Project Plans.
- 3.2. *Bid Documents Furnished by the County.*** The County will, within 7 days of opening bids for the construction contract, submit to the State's State Aid Agreements Engineer a copy of the low bid and an abstract of all bids together with the County's request for concurrence by the State in the award of the construction contract. The County will not award the construction contract until the State advises the County in writing of its concurrence.
- 3.3. *Rejection of Bids.*** The County may reject and the State may require the County to reject any or all bids for the construction contract. The party rejecting or requiring the rejection of bids must provide the other party written notice of that rejection or requirement for rejection no later than 30 days after opening bids. Upon the rejection of all bids, a party may request, in writing, that the bidding process be repeated. Upon the other party's written approval of such request, the County will repeat the bidding process in a reasonable period of time, without cost or expense to the State.
- 3.4. *Contract Terms.*** The County's contract with its construction contractor(s) must include the following terms:
- A.** A clause making the State of Minnesota, acting through its Commissioner of Transportation, an intended third-party beneficiary of the contract with respect to the portion of work performed on the State's Right-of-Way; and
 - B.** A clause requiring the State to be named as an additional insured on any insurance coverage which the contractor is required to provide; and
 - C.** A clause stating that any warranties provided by the contractor, for the work performed on the trunk highway, will flow to, and be enforceable by, the State as the owner of such improvements.
- 3.5. *Direction, Supervision, and Inspection of Construction.***
- A.** The contract construction will be under the direction of the County and under the supervision of a registered professional engineer; however, the State participation construction covered under this Agreement will be open to inspection by the State District Engineer's authorized representatives. The County will give the State Aid Agreements Engineer at Roseville five days notice of its intention to start the contract construction.
 - B.** Responsibility for the control of materials for the contract construction will be on the County and its contractor and will be carried out according to Specifications No. 1601 through and including No. 1609 in the State's current "Standard Specifications for Construction".
- 3.6. *Contaminated Soils and Groundwater within the State's Cost Participation Limits.***
- A. *24 Hour Notification.*** The County will notify the State District Engineer's authorized representative a minimum of 24 hours prior to the contractor beginning the excavation and removal of any contaminated soils that have been identified within the Project limits.
 - B. *Immediate Notification.*** The County will notify the State District Engineer's authorized representative immediately upon the contractor encountering contaminated soils and/or groundwater in areas that are within the Project limits. The County will confer with the State as to the handling, disposal, and any

other issues related to contaminated materials found on State Right-of-Way or import of materials onto State Right-of-Way.

C. *Environmental Consultant.* The County will provide for an Environmental Consultant to be on site to observe and document the excavation, handling and disposal of contaminated soils that have been identified within the Project limits. If the contractor encounters contaminated materials in areas not previously identified and upon notification by the County to the State, the County hired Environmental Consultant will be provided to collect and analyze soil and/or groundwater samples to determine contaminant levels, work with the landfill for disposal of the soil waste, and provide oversight of any soil and groundwater handling and disposal. The County will not allow the contractor to excavate any contaminated soil unless the Environmental Consultant is present.

3.8. *Completion of Construction.* The County will cause the contract construction to be started and completed according to the time schedule in the construction contract special provisions. The completion date for the contract construction may be extended, by an exchange of letters between the appropriate County official and the State District Engineer's authorized representative, for unavoidable delays encountered in the performance of the contract construction.

3.9. *Plan Changes.* All changes in the Project Plans and all addenda, change orders, supplemental agreements, and work orders entered into by the County and its contractor for contract construction must be approved in writing by the State District Engineer's authorized representative.

3.10. *Compliance with Laws, Ordinances, and Regulations.* The County will comply and cause its contractor to comply with all Federal, State, and Local laws, and all applicable ordinances and regulations. With respect only to that portion of work performed on the State's Trunk Highway Right-of-Way, the County will not require the contractor to follow local ordinances or to obtain local permits.

3.11. *Construction Documents Furnished by the County.* The County will keep records and accounts that enable it to provide the State, when requested, with the following:

- A.** Copies of the County contractor's invoice(s) covering all contract construction.
- B.** Copies of the endorsed and canceled County warrant(s) or check(s) paying for final contract construction, or computer documentation of the warrant(s) issued, certified by an appropriate County official that final construction contract payment has been made.
- C.** Copies of all construction contract change orders, supplemental agreements, and work orders.
- D.** A certification form, provided by the State, signed by the County's Engineer in charge of the contract construction attesting to the following:
 - i.** Satisfactory performance and completion of all contract construction according to the Project Plans.
 - ii.** Acceptance and approval of all materials furnished for the contract construction relative to compliance of those materials to the State's current "Standard Specifications for Construction".
 - iii.** Full payment by the County to its contractor for all contract construction.
- E.** Copies, certified by the County's Engineer, of material sampling reports and of material testing results for the materials furnished for the contract construction.
- F.** A copy of the "as built" plan sent to the State Aid Agreements Engineer.

4. Right-of-Way; Easements; Permits

- 4.1. The County will obtain all rights-of-way, easements, construction permits, and any other permits and sanctions that may be required in connection with the local and trunk highway portions of the contract construction. Before payment by the State, the County will furnish the State with certified copies of the documents for rights-of-way and easements, construction permits, and other permits and sanctions required for State participation construction covered under this Agreement.
- 4.2. The County will convey to the State by quit claim deed, all newly acquired rights needed for the continuing operation and maintenance of the Trunk Highway, if any, upon completion of the Project, at no cost or expense to the State.
- 4.3. The County will comply with Minnesota Statutes § 216D.04, subdivision 1(a), for identification, notification, design meetings, and depiction of utilities affected by the contract construction.
- 4.4. The City will submit, and the County will require the City of Anoka to submit to the State's Utility Engineer an original permit application for all utilities owned by the City of Anoka and the City (of Ramsey) to be constructed upon and within the Trunk Highway Right-of-Way. Applications for permits will be made on State form "Application for Utility Permit on Trunk Highway Right-of-Way" (Form 2525).
- 4.5. **Limited Use Permit.** The County will obtain, through the District's Right-of-Way Area Manager, a Limited Use Permit to cover the County's liability responsibilities of the non-motorized trail to be constructed upon the State's Right-of-Way.

5. Maintenance by the County

Upon completion of the Project, the County will provide the following without cost or expense to the State:

- 5.1. **Storm Sewers.** Routine maintenance of any storm sewer facilities construction as shown on the "Drainage Maintenance Exhibit". Routine maintenance includes, but is not limited to, removal of sediment, debris, vegetation and ice from grates and catch basins, and any other maintenance activities necessary to preserve the facilities and to prevent conditions such as flooding, erosion, or sedimentation, this also includes informing the District Maintenance Engineer of any needed repairs.
- 5.2. **Trail.** Maintenance of any trail construction. Maintenance includes, but is not limited to, snow and ice control/removal, sweeping and debris removal, patching, crack repair, pavement replacement, vegetation control, signing, pavement markings, and any other maintenance activities necessary to perpetuate the trail in a safe and usable condition. The Limited Use Permit, currently L.U.P. No. 0206-0093, will further address trail maintenance and liability responsibilities.
- 5.3. **Additional Drainage.** No party to this Agreement will drain any additional drainage volume into the storm sewer facilities constructed under the construction contract that was not included in the drainage for which the storm sewer facilities were designed, without first obtaining written permission to do so from the other party. The drainage areas served by the storm sewer facilities constructed under the construction contract are shown in a drainage area map.

6. Signal System and EVP System Operation and Maintenance

Operation and maintenance responsibilities will be as follows for the Signal System and EVP System on T.H. 47 (St. Francis Boulevard Northwest) at C.S.A.H. 116 (Bunker Lake Boulevard).

6.1. City Responsibilities.

- A. Power.** The City will be responsible for the hook-up cost and application to secure an adequate power supply to the service pads or poles and will pay all monthly electrical service expenses necessary to operate the Signal System and EVP System.

6.2. County Responsibilities.

- A. Minor Signal System Maintenance.** The County will provide for the following, without cost to the State.
- i. Maintain the signal pole mounted LED luminaires, including replacing the luminaires when necessary. The LED luminaire must be replaced when it fails or when light levels drop below recommended AASHTO levels for the installation.
 - ii. Replace the Signal System LED indications. Replacing LED indications consists of replacing each LED indication when it reaches end of life per the MnDOT Traffic Engineering Manual or fails or no longer meets Institute of Traffic Engineers (ITE) standards for light output.
 - iii. Clean the Signal System controller cabinet and service cabinet exteriors.
 - iv. Clean the Signal System and luminaire mast arm extensions.
 - v. Paint and maintain the pedestrian crosswalk markings.

6.3. State Responsibilities.

- A. Timing; Other Maintenance.** The State will maintain the signing, and perform all other Signal System, APS, and signal pole luminaire circuit maintenance without cost to the County. All Signal System timing will be determined by the State, and no changes will be made without the State's approval.
- B. EVP System Operation.** The EVP System will be installed, operated, maintained, and removed according to the following conditions and requirements:
- i. All maintenance of the EVP System must be done by State forces.
 - ii. Emitter units may be installed only on authorized emergency vehicles, as defined in Minnesota Statutes § 169.011, Subdivision 3. Authorized emergency vehicles may use emitter units only when responding to an emergency. The County and the City will provide the State's District Engineer or their designated representative a list of all vehicles with emitter units, if requested by the State.
 - iii. Malfunction of the EVP System must be reported to the State immediately.
 - iv. In the event the EVP System or its components are, in the opinion of the State, being misused or the conditions set forth in Paragraph ii. above are violated, and such misuse or violation continues after the County receives written notice from the State, the State may remove the EVP System. Upon removal of the EVP System pursuant to this Paragraph, all of its parts and components become the property of the State.
 - v. All timing of the EVP System will be determined by the State.

- 6.4. Right-of-Way Access.** Each party authorizes the other party to enter upon their respective public right-of-way to perform the maintenance activities described in this Agreement.

- 6.5. Related Agreements.** This Agreement will supersede and terminate Agreement No. 75315, dated October 10th, 1996, between the parties for the intersection of T.H. 47 at C.S.A.H. 116.

7. Basis of State Cost

- 7.1. Schedule "I".** The Preliminary Schedule "I" includes all anticipated State participation construction items and the cost share covered under this Agreement.
- 7.2. State Participation Construction.** The State will participate in the following at the percentages indicated.
- A.** 100 Percent will be the State's rate of cost participation in the T.H. 47 storm sewer construction as shown in the Preliminary Schedule "I". The construction includes, but is not limited to, those construction items tabulated on Sheet No. 2 of the Preliminary Schedule "I".
 - B.** 100 Percent will be the State's rate of cost participation in the T.H. 47 paving construction as shown in the Preliminary Schedule "I" up to the capped amount. The construction includes, but is not limited to, those construction items tabulated on Sheet No. 3 of the Preliminary Schedule "I". The State's cost participation for those paving items is **capped at \$200,000.00**.
 - C.** 50 Percent will be the State's rate of cost participation in the T.H. 47 at C.S.A.H. 116 (Bunker Lake Boulevard) signal system and EVP system construction as shown in the Preliminary Schedule "I" up to the capped amount. The construction includes, but is not limited to, those construction items tabulated on Sheet No. 4 of the Preliminary Schedule "I". The State's cost participation for those signal system and EVP system items is **capped at \$120,000.00**.
- 7.3. State Furnished Materials.** The State will furnish a Type "R" cabinet, Gridsmart video detection system, an additional Gridsmart camera, and a PTZ camera ("State Furnished Materials"), according to the Project Plans, to operate the traffic control signal system covered under this Agreement. The County's lump sum share for State Furnished Materials is **\$26,457.34**. The State's lump sum share for State Furnished Materials is \$26,457.35 and is considered a part of the State's total lump sum cost. The County's cost share for State Furnished Materials will be deducted from the State's total lump sum construction cost share as shown in the Schedule "I".

8. State Cost and Payment by the State

- 8.1. State Cost.** **\$405,583.66** is the State's estimated share of the costs of the contract construction (less State Furnished Materials cost) and a **\$10,000.00** contingency amount as shown in the Preliminary Schedule "I". The Preliminary Schedule "I" was prepared using estimated quantities and unit prices, and may include any credits, lump sum costs, or capped amounts. Upon review of the construction contract bid documents described in Article 3.2., the State will decide whether to concur in the County's award of the construction contract and, if so, prepare a Revised Schedule "I" based on construction contract unit prices, which will replace and supersede the Preliminary Schedule "I" as part of this Agreement. The contingency amount is provided to cover increased State cost in order to prepare the Revised Schedule "I" with contract unit prices.
- 8.2. Conditions of Payment.** The State will pay the County the full and complete lump sum amount as shown in the Revised Schedule "I", after the following conditions have been met:
- A.** Encumbrance by the State of the State's full and complete State funded lump sum cost share as shown in the Revised Schedule "I".
 - B.** Execution of this Agreement and transmittal to the County, including a letter advising of the State's concurrence in the award of the construction contract.
 - C.** The State's receipt of a written request from the County for the advancement of funds. The request will include certification by the County that all necessary parties have executed the construction contract.

8.3. Limitations of State Payment; No State Payment to Contractor. The State's participation in the contract construction is limited to the lump sum amount shown in Article 8.1, and the State's participation will not change except by a mutually agreed written amendment to this Agreement. The State's payment obligation extends only to the County. The County's contractor is not intended to be and will not be deemed to be a third party beneficiary of this Agreement. The County's contractor will have no right to receive payment from the State. The State will have no responsibility for claims asserted against the County by the County's contractor.

9. Authorized Representatives

Each party's Authorized Representative is responsible for administering this Agreement and is authorized to give and receive any notice or demand required or permitted by this Agreement.

9.1. The State's Authorized Representative will be:

Name, Title: Malaki Ruranika, Cooperative Agreements Engineer (or successor)
 Address: 395 John Ireland Boulevard, Mailstop 682, St. Paul, MN 55155
 Telephone: (651) 366-4634
 E-Mail: malaki.ruranika@state.mn.us

9.2. The County's Authorized Representative will be:

Name, Title: Joe MacPherson, County Engineer (or successor)
 Address: 1440 Bunker Lake Boulevard Northwest, Andover MN 55304
 Telephone: (763) 324-3199
 E-Mail: joe.macpherson@co.anoka.mn.us

9.3. The City's Authorized Representative will be:

Name, Title: Bruce Westby, City Engineer (or successor)
 Address: 7550 Sunwood Drive Northwest, Ramsey, MN 55303
 Telephone: (763) 433-9825
 E-Mail: bwestby@ci.ramsey.mn.us

10. Assignment; Amendments; Waiver; Contract Complete

10.1. Assignment. No party may assign or transfer any rights or obligations under this Agreement without the prior consent of the other party and a written assignment agreement, executed and approved by the same parties who executed and approved this Agreement, or their successors in office.

10.2. Amendments. Any amendment to this Agreement must be in writing and will not be effective until it has been executed and approved by the same parties who executed and approved the original Agreement, or their successors in office.

10.3. Waiver. If a party fails to enforce any provision of this Agreement, that failure does not waive the provision or the party's right to subsequently enforce it.

10.4. Contract Complete. This Agreement contains all prior negotiations and agreements between the State, the City, and the County. No other understanding regarding this Agreement, whether written or oral, may be used to bind either party.

11. Liability; Worker Compensation Claims; Insurance

11.1. Each party is responsible for its own acts, omissions and the results thereof to the extent authorized by law and will not be responsible for the acts and omissions of others and the results thereof. Minnesota

Statutes § 3.736 and other applicable law govern liability of the State. Minnesota Statutes Chapter 466 and other applicable law govern liability of the City and the County. Notwithstanding the foregoing, the City and the County will indemnify, hold harmless, and defend (to the extent permitted by the Minnesota Attorney General) the State against any claims, causes of actions, damages, costs (including reasonable attorneys fees), and expenses arising in connection with the project covered by this Agreement, regardless of whether such claims are asserted by the City's or the County's contractor(s) or consultant(s) or by a third party because of an act or omission by the City, the County, or their respective contractor(s) or consultant(s).

11.2. Each party is responsible for its own employees for any claims arising under the Workers Compensation Act.

11.3. The County may require its contractor to carry insurance to cover claims for damages asserted against the County's contractor.

12. Nondiscrimination

Provisions of Minnesota Statutes § 181.59 and of any applicable law relating to civil rights and discrimination are considered part of this Agreement.

13. Title VI/Non-discrimination Assurances. The City and the County agree to comply with all applicable US DOT Standard Title VI/Non-Discrimination Assurances contained in DOT Order No. 1050.2A, and in particular Appendices A and E, which can be found at: https://edocs-public.dot.state.mn.us/edocs_public/DMResultSet/download?docId=11149035. The City and the County will ensure the appendices and solicitation language within the assurances are inserted into contracts as required. State may conduct a review of the City's and the County's compliance with this provision. The City and the County must cooperate with State throughout the review process by supplying all requested information and documentation to State, making respective City and County staff and officials available for meetings as requested, and correcting any areas of non-compliance as determined by State.

14. State Audits

Under Minnesota Statutes § 16C.05, subdivision 5, the City's and the County's books, records, documents, accounting procedures, and practices relevant to this Agreement are subject to examination by the State and the State Auditor or Legislative Auditor, as appropriate, for a minimum of six years from the end of this Agreement.

15. Government Data Practices

The City, the County, and State must comply with the Minnesota Government Data Practices Act, Minnesota Statutes Chapter 13, as it applies to all data provided under this Agreement, and as it applies to all data created, collected, received, stored, used, maintained, or disseminated by the City and the County under this Agreement. The civil remedies of Minnesota Statutes §13.08 apply to the release of the data referred to in this clause by either the City, the County, or the State.

16. Telecommunications Certification. By signing this agreement, the City and the County certifies that, consistent with Section 889 of the John S. McCain National Defense Authorization Act for Fiscal Year 2019, Pub. L. 115-232 (Aug. 13, 2018), County does not and will not use any equipment, system, or service that uses "covered telecommunications equipment or services" (as that term is defined in Section 889 of the Act) as a substantial or

essential component of any system or as critical technology as part of any system. The City and the County will include this certification as a flow down clause in any contract related to this agreement.

17. Governing Law; Jurisdiction; Venue

Minnesota law governs the validity, interpretation and enforcement of this Agreement. Venue for all legal proceedings arising out of this Agreement, or its breach, must be in the appropriate state or federal court with competent jurisdiction in Ramsey County, Minnesota.

18. Termination; Suspension

18.1. *By Mutual Agreement.* This Agreement may be terminated by mutual agreement of the parties or by the State for insufficient funding as described below.

18.2. *Termination for Insufficient Funding.* The State may immediately terminate this Agreement if it does not obtain funding from the Minnesota Legislature, or other funding source; or if funding cannot be continued at a level sufficient to allow for the payment of the services covered here. Termination must be by written or fax notice to the City and the County. The State is not obligated to pay for any services that are provided after notice and effective date of termination. However, the County will be entitled to payment, determined on a pro rata basis, for services satisfactorily performed to the extent that funds are available. The State will not be assessed any penalty if this Agreement is terminated because of the decision of the Minnesota Legislature, or other funding source, not to appropriate funds.

18.3. *Suspension.* In the event of a total or partial government shutdown, the State may suspend this Agreement and all work, activities, performance and payments authorized through this Agreement. Any work performed during a period of suspension will be considered unauthorized work and will be undertaken at the risk of non-payment.

19. Force Majeure

No party will be responsible to the other for a failure to perform under this Agreement (or a delay in performance), if such failure or delay is due to a force majeure event. A force majeure event is an event beyond a party's reasonable control, including but not limited to, unusually severe weather, fire, floods, other acts of God, labor disputes, acts of war or terrorism, or public health emergencies.

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STATE ENCUMBRANCE VERIFICATION

Individual certifies that funds have been encumbered as required by Minnesota Statutes § 16A.15 and 16C.05.

Signed: _____

Date: _____

SWIFT Purchase Order: 3000560918

ANOKA COUNTY

The undersigned certify that they have lawfully executed this contract on behalf of the Governmental Unit as required by applicable charter provisions, resolutions, or ordinances.

By: _____
(Chair, Anoka County Board of Commissioners)

Date: _____

By: _____
(Anoka County Administrator)

Date: _____

Recommended for Approval:

By: _____
(Anoka County Engineer)

Date: _____

Approved as to form:

By: _____
(Assistant Anoka County Attorney)

Date: _____

DEPARTMENT OF TRANSPORTATION

Recommended for Approval:

By: _____
(District Engineer)

Date: _____

Approved:

By: _____
(State Design Engineer)

Date: _____

COMMISSIONER OF ADMINISTRATION

By: _____
(With Delegated Authority)

Date: _____

INCLUDE COPY OF RESOLUTION APPROVING THE AGREEMENT AND AUTHORIZING ITS EXECUTION.

CITY OF RAMSEY

The undersigned certify that they have lawfully executed this contract on behalf of the Governmental Unit as required by applicable charter provisions, resolutions, or ordinances.

By: _____

Title: _____

Date: _____

By: _____

Title: _____

Date: _____

INCLUDE COPY OF RESOLUTION APPROVING THE AGREEMENT AND AUTHORIZING ITS EXECUTION.

PRELIMINARY SCHEDULE "I"

Agreement No. 1044547

Anoka County

S.P. 0206-78 (T.H. 47=110)

Preliminary: October 20, 2020

S.A.P. 002-716-020

Grading, bituminous surfacing, mill and overlay, ADA improvements, signal revisions and modification of Bridge No. 02546 construction performed under County contract with _____ located on T.H. 47 from 100 feet south of Coolidge Street Northwest to 142nd Avenue Northwest, and located on C.S.A.H. 116 (Bunker Lake Boulevard) from 250 feet east of Tower Pond Drive to 1,200 feet east of T.H. 47

STATE COST PARTICIPATION	
Storm Sewer (From Sheet No. 2)	104,019.00
Paving (From Sheet No. 3)	198,022.00
Signal System (From Sheet No. 4)	120,000.00
Subtotal	\$422,041.00
State Furnished Materials (From Sheet No. 4) (County Cost)	(26,457.34)
(1) Subtotal	\$395,583.66
(2) Contingency Amount	10,000.00
Encumbered Amount	\$405,583.66

(1) Amount of advance payment as described in Article 8 of the Agreement (estimated amount)

(2) For the State's use only as described in Article 8.1 of the Agreement

(3) 50% STATE (capped), 50% COUNTY

1044547

ITEM NUMBER	S.P. 0206-78 SIGNAL WORK ITEM	UNIT	QUANTITY	UNIT PRICE	COST (3)
2565.501	EMERGENCY VEHICLE PREEMPTION SYSTEM	LUMP SUM	1.00	7,500.00	7,500.00
2565.516	TRAFFIC CONTROL SIGNAL SYSTEM	SYSTEM	1.00	250,000.00	250,000.00
				TOTAL	\$257,500.00
		(3) 50% STATE	\$120,000.00	(capped at \$120,000.00)	
		50% COUNTY	\$128,750.00		
		BALANCE COUNTY	\$8,750.00		

(4) 50% STATE, 50% COUNTY

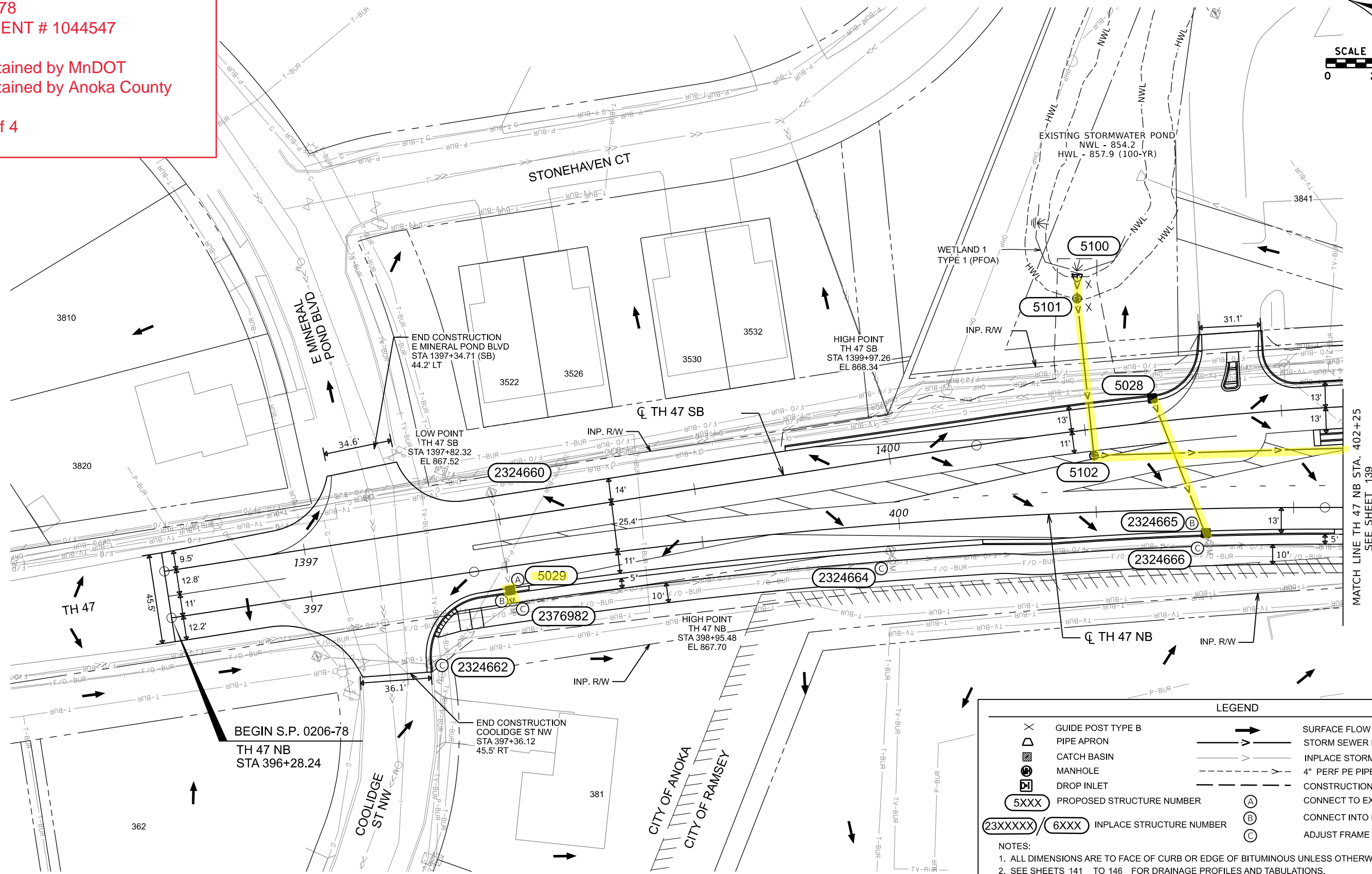
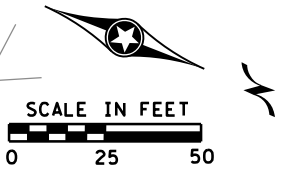
ITEM NUMBER	S.P. 0206-78 STATE FURNISHED MATERIALS - LUMP SUM	UNIT	QUANTITY	UNIT PRICE	COST (4)
	-FOR INFORMATION ONLY-				
	TYPE "R" SIGNAL CABINET AND CONTROLLER	EACH	1.00	29,528.69	29,528.69
	GRIDSMART VIDEO DETECTION SYSTEM	EACH	1.00	15,500.00	15,500.00
	ADDITIONAL GRIDSMART CAMERA	EACH	1.00	4,500.00	4,500.00
	PTZ CAMERA	EACH	1.00	3,386.00	3,386.00
				TOTAL	\$52,914.69
		(4) 50% STATE	\$26,457.35		
		50% COUNTY	\$26,457.34		

TRUNK HIGHWAY 47

DRAINAGE MAINTENANCE EXHIBIT
SP 0206-78
AGREEMENT # 1044547

Maintained by MnDOT
 Maintained by Anoka County

Sheet 1 of 4



LEGEND	
	GUIDE POST TYPE B
	PIPE APRON
	CATCH BASIN
	MANHOLE
	DROP INLET
	PROPOSED STRUCTURE NUMBER
	INPLACE STRUCTURE NUMBER
	SURFACE FLOW DIRECTION
	STORM SEWER PIPE
	INPLACE STORM SEWER
	4" PERF PE PIPE DRAIN
	CONSTRUCTION LIMITS
	CONNECT TO EXISTING STORM SEWER
	CONNECT INTO DRAINAGE STRUCTURE
	ADJUST FRAME AND RING CASTING

NOTES:
 1. ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF BITUMINOUS UNLESS OTHERWISE NOTED.
 2. SEE SHEETS 141 TO 146 FOR DRAINAGE PROFILES AND TABULATIONS.
 3. SEE SHEETS 33 AND 37 FOR DRAINAGE DETAILS.
 4. SEE SHEETS 150 TO 152 FOR EROSION CONTROL AND TURF ESTABLISHMENT PLANS.

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NO.	DATE	BY	CHK	REVISIONS

Design By: MJS
 Plan By: MJS
 Checked By: LGR
 Approved By: EAE

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

CERTIFIED BY:
 LICENSED PROFESSIONAL ENGINEER - EARTH EVANS, PE
 DATE: 6/25/2020 LICENSE NO. 41235



CSAH 116 & TH 47 INTERSECTION IMPROVEMENTS
 ANOKA COUNTY HIGHWAY DEPARTMENT

ANOKA COUNTY, MN
 TRUNK HIGHWAY 47
 DRAINAGE PLANS
 S.P. 0206-78 (TH 47), S.A.P. 002-716-020

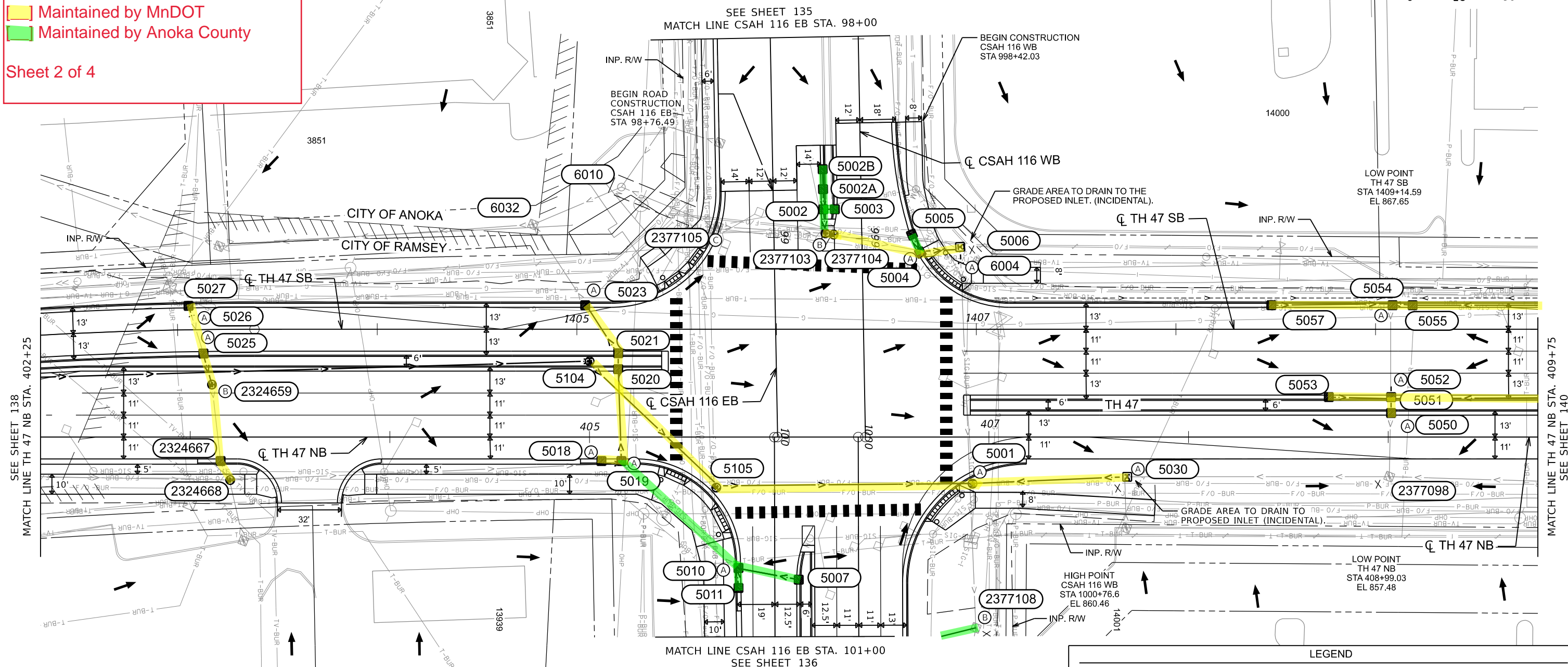
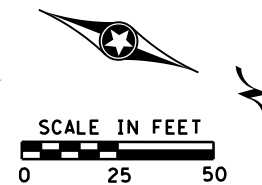
SHEET
 138
 OF
 194
 SHEETS

TRUNK HIGHWAY 47

DRAINAGE MAINTENANCE EXHIBIT
SP 0206-78
AGREEMENT # 1044547

Maintained by MnDOT
 Maintained by Anoka County

Sheet 2 of 4



LEGEND

- GUIDE POST TYPE B
- PIPE APRON
- CATCH BASIN
- MANHOLE
- DROP INLET
- 5XXX** PROPOSED STRUCTURE NUMBER
- 23XXXXX / 6XXX** INPLACE STRUCTURE NUMBER
- SURFACE FLOW DIRECTION
- STORM SEWER PIPE
- INPLACE STORM SEWER
- 4" PERF PE PIPE DRAIN
- CONSTRUCTION LIMITS
- CONNECT TO EXISTING STORM SEWER
- CONNECT INTO DRAINAGE STRUCTURE
- ADJUST FRAME AND RING CASTING

NOTES:

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- SEE SHEETS 141 TO 146 FOR DRAINAGE PROFILES AND TABULATIONS.
- SEE SHEETS 33 AND 37 FOR DRAINAGE DETAILS.
- SEE SHEETS 150 TO 152 FOR EROSION CONTROL AND TURF ESTABLISHMENT PLANS.

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NO.	DATE	BY	CHK	REVISIONS

Design By: MJS
 Plan By: MJS
 Checked By: LGR
 Approved By: EAE

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

CERTIFIED BY:
 LICENSED PROFESSIONAL ENGINEER - EARTH EVANS, PE
 DATE: 6/25/2020 LICENSE NO. 41235

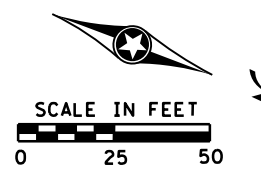


ANOKA COUNTY
CSAH 116 & TH 47 INTERSECTION IMPROVEMENTS
 ANOKA COUNTY HIGHWAY DEPARTMENT

ANOKA COUNTY, MN
TRUNK HIGHWAY 47
DRAINAGE PLANS
 S.P. 0206-78 (TH 47), S.A.P. 002-716-020

SHEET 139 OF 194 SHEETS

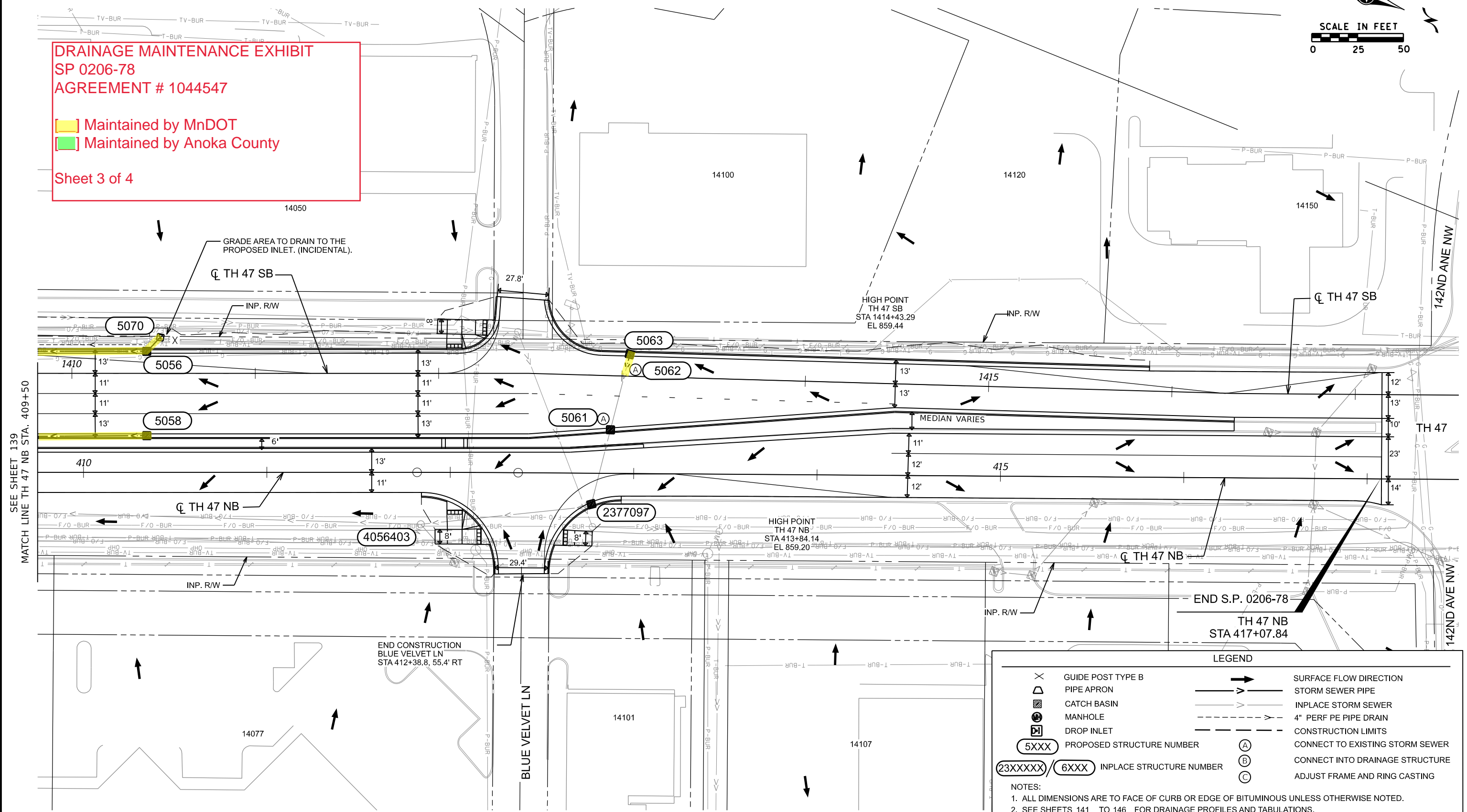
TRUNK HIGHWAY 47



DRAINAGE MAINTENANCE EXHIBIT
SP 0206-78
AGREEMENT # 1044547

Maintained by MnDOT
 Maintained by Anoka County

Sheet 3 of 4



SEE SHEET 139
MATCH LINE TH 47 NB STA. 409+50

LEGEND

	GUIDE POST TYPE B		SURFACE FLOW DIRECTION
	PIPE APRON		STORM SEWER PIPE
	CATCH BASIN		INPLACE STORM SEWER
	MANHOLE		4" PERF PE PIPE LIMIT
	DROP INLET		CONSTRUCTION LIMITS
	PROPOSED STRUCTURE NUMBER		CONNECT TO EXISTING STORM SEWER
	INPLACE STRUCTURE NUMBER		CONNECT INTO DRAINAGE STRUCTURE
			ADJUST FRAME AND RING CASTING

NOTES:

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- SEE SHEETS 150 TO 152 FOR EROSION CONTROL AND TURF ESTABLISHMENT PLANS.

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NO.	DATE	BY	CHK	REVISIONS

Design By: MJS
 Plan By: MJS
 Checked By: LGR
 Approved By: EAE

DATE: 6/25/2020 LICENSE NO. 41235

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

CERTIFIED BY:

LICENSE NO. 41235



ANOKA COUNTY

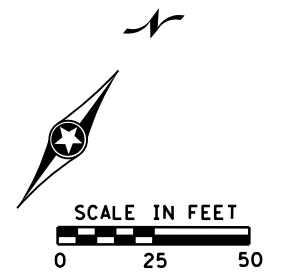
CSAH 116 & TH 47 INTERSECTION IMPROVEMENTS
 ANOKA COUNTY HIGHWAY DEPARTMENT

ANOKA COUNTY, MN

TRUNK HIGHWAY 47
DRAINAGE PLAN
 S.P. 0206-78 (TH 47), S.A.P. 002-716-020

SHEET
 140
 OF
 194
 SHEETS

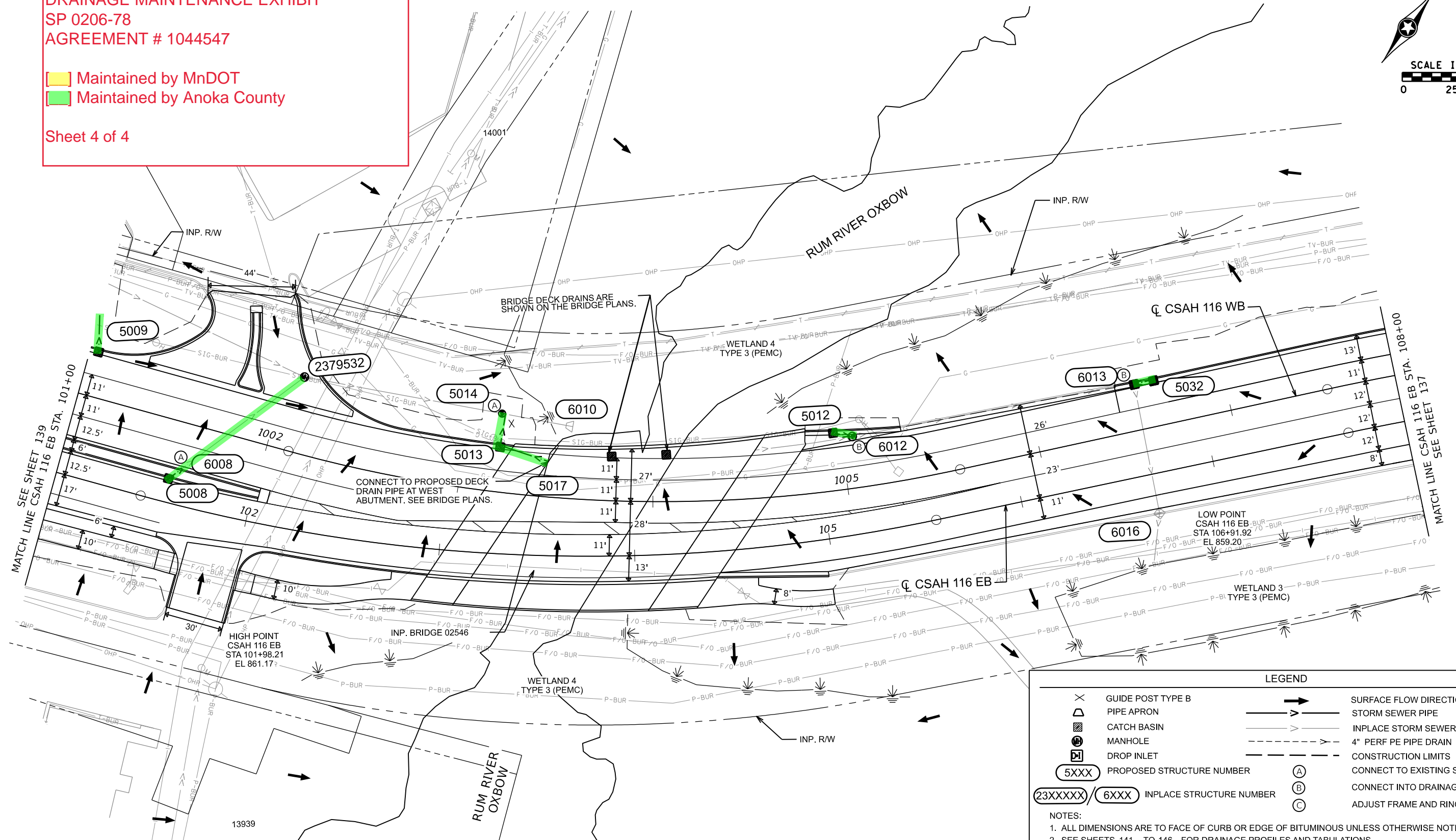
CSAH 116 (BUNKER LAKE BLVD)



DRAINAGE MAINTENANCE EXHIBIT
 SP 0206-78
 AGREEMENT # 1044547

Maintained by MnDOT
 Maintained by Anoka County

Sheet 4 of 4



LEGEND

	GUIDE POST TYPE B		SURFACE FLOW DIRECTION
	PIPE APRON		STORM SEWER PIPE
	CATCH BASIN		INPLACE STORM SEWER
	MANHOLE		4" PE PIPE DRAIN
	DROP INLET		CONSTRUCTION LIMITS
	PROPOSED STRUCTURE NUMBER		CONNECT TO EXISTING STORM SEWER
	INPLACE STRUCTURE NUMBER		CONNECT INTO DRAINAGE STRUCTURE
			ADJUST FRAME AND RING CASTING

NOTES:

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- SEE SHEETS 150 TO 152 FOR EROSION CONTROL AND TURF ESTABLISHMENT PLANS.

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NO.	DATE	BY	CHK	REVISIONS

Design By: MJS
 Plan By: MJS
 Checked By: LGR
 Approved By: EAE

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

CERTIFIED BY:
 LICENSED PROFESSIONAL ENGINEER - EARTH EVANS, PE
 DATE: 6/25/2020 LICENSE NO. 41235



ANOKA COUNTY

CSAH 116 & TH 47 INTERSECTION IMPROVEMENTS
 ANOKA COUNTY HIGHWAY DEPARTMENT

ANOKA COUNTY, MN

CSAH 116 DRAINAGE PLANS
 S.P. 0206-78 (TH 47), S.A.P. 002-716-020

SHEET 136 OF 194 SHEETS

ANOKA COUNTY

RESOLUTION

IT IS RESOLVED that Anoka County enter into MnDOT Agreement No. 1044547 with the State of Minnesota, Department of Transportation for the following purposes:

To provide for payment by the State to the County of the State's share of the costs of the grading, bituminous surfacing, mill and overlay, ADA improvements, signal revisions and modification of Bridge No. 02546 construction and other associated construction to be performed upon, along, and adjacent to Trunk Highway No. 47 from 100 feet south of Coolidge Street Northwest to 142nd Avenue Northwest, and on County State Aid Highway No. 116 (Bunker Lake Boulevard) from 250 feet east of Tower Pond Drive to 1,200 feet east of Trunk Highway No. 47 under State Project No. 0206-78.

IT IS FURTHER RESOLVED that the _____
(Title)

and the _____
(Title)

are authorized to execute the Agreement and any amendments to the Agreement.

CERTIFICATION

I certify that the above Resolution is an accurate copy of the Resolution adopted by the Board of Commissioners of Anoka County at an authorized meeting held on the _____ day of _____, 2020, as shown by the minutes of the meeting in my possession.

Subscribed and sworn to me this
_____ day of _____, 2020

Notary Public _____

My Commission Expires _____

(Signature)

(Type or Print Name)

(Title)

CITY OF RAMSEY

RESOLUTION

IT IS RESOLVED that the City of Ramsey enter into MnDOT Agreement No. 1044547 with the State of Minnesota, Department of Transportation for the following purposes:

To provide for operation and power of the traffic control signal system on Trunk Highway No. 47 at County State Aid Highway No. 116 (Bunker Lake Boulevard) construction to be performed upon, along, and adjacent to Trunk Highway No. 47 from 100 feet south of Coolidge Street Northwest to 142nd Avenue Northwest, and on County State Aid Highway No. 116 (Bunker Lake Boulevard) from 250 feet east of Tower Pond Drive to 1,200 feet east of Trunk Highway No. 47 under State Project No. 0206-78.

IT IS FURTHER RESOLVED that the Mayor and the _____
(Title)
are authorized to execute the Agreement and any amendments to the Agreement.

CERTIFICATION

I certify that the above Resolution is an accurate copy of the Resolution adopted by the Council of the City of Ramsey at an authorized meeting held on the _____ day of _____, 2020, as shown by the minutes of the meeting in my possession.

Subscribed and sworn to me this _____ day of _____, 2020
Notary Public _____
My Commission Expires _____

_____ (Signature)
_____ (Type or Print Name)
_____ (Title)

Meeting Date: 11/10/2020

By: Bruce Westby, Engineering/Public Works

Information

Title

Adopt Resolution #20-259 Accepting Geotechnical and Survey Proposals for 2021 Pavement Management Program Projects

Purpose/Background:

Purpose:

The purpose of this case is to adopt Resolution #20-259 accepting geotechnical and survey proposals for 2021 pavement management program projects.

Background:

The updated 2021 through 2030 10-Year Capital Improvement Plan (CIP) proposes street reconstructions of; Tiger Street between Armstrong Boulevard and 173rd Avenue, and the Business Park 95 subdivision including McKinley Street, Unity Street, Radium Street, and 140th Avenue in 2021.

The updated CIP has not yet been approved by City Council, but to solicit bids this winter, staff needs to begin designing the projects and preparing plans. Topographic surveys are essential to locate all existing site features and to create an existing ground surface, used as the base for designing the project.

Quotes received are shown below.

TOPOGRAPHIC SURVEYS		
Contractor	TIGER STREET TOTAL QUOTE	BUSINESS PARK 95 TOTAL QUOTE
Bolton & Menk, Inc.	\$ 2,690.00	\$ 4,860.00
Hakanson Anderson	\$ 3,500.00	\$ 5,900.00

Bolton & Menk, Inc. submitted the lowest responsible quotes. Based on the submitted quotes, staff recommends accepting the proposal for Tiger Street and Business Park 95 topographic surveys from Bolton & Menk, Inc.

The Contractor is required to complete their work by December 31, 2020, which will allow staff to complete design work for these proposed improvements in time for winter bidding.

Geotechnical Reports inform staff of subsoil conditions, which is essential when designing the pavement section for the reconstructed streets. Also included are groundwater elevations and support capabilities of the soils for utilities and trenches, as well as associated back filling recommendations.

Quotes received are shown below.

GEOTECHNICAL REPORTS		
Contractor	TIGER STREET TOTAL QUOTE	BUSINESS PARK 95 TOTAL QUOTE
Chosen Valley Testing	\$ 4,564.00	\$ 4,064.00
American Engineering Testing	\$ 7,390.00	\$ 6,149.00
Braun Intertec	\$ 7,875.00	\$ 7,525.00

Chosen Valley Testing submitted the lowest responsible quotes. Based on the submitted quotes, staff recommends accepting the proposal for Tiger Street and Business Park 95 geotechnical reports from Chosen Valley Testing.

The Contractor is required to complete their work by December 11, 2020, which will allow staff to complete design work for these proposed improvements in time for winter bidding.

Notification:

No notifications are required with this case.

Observations/Alternatives:

Motion to adopt Resolution #20-259 accepting geotechnical and survey proposals for 2021 pavement management program projects.

Funding Source:

Funding for this work is proposed to come from the Pavement Management Fund.

Recommendation:

Staff recommends adopting Resolution #20-259 accepting geotechnical and survey proposals for 2021 pavement management program projects.

Action:

Adopt Resolution #20-259 accepting geotechnical and survey proposals for 2021 pavement management program projects.

Attachments

Tiger Street Topo RFP

Business Park 95 Topo RFP

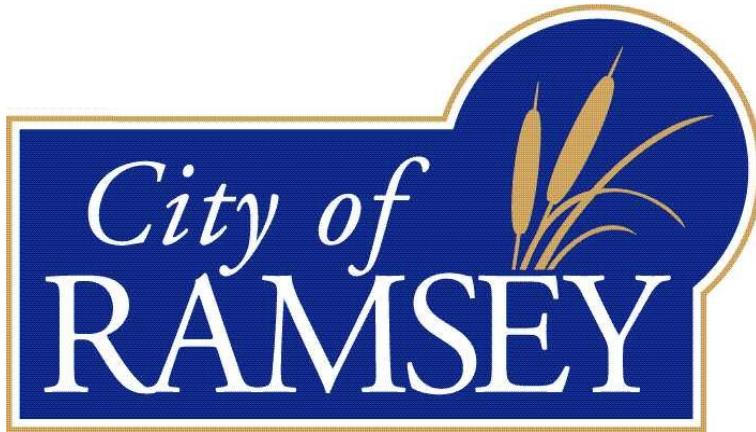
Resolution #20-259

Tiger Street Geotech RFP

Bus. Park 95 Geotech RFP

Form Review

Inbox	Reviewed By	Date
Bruce Westby (Originator)	Bruce Westby	11/05/2020 02:31 PM
Bruce Westby (Originator)	Bruce Westby	11/05/2020 03:52 PM
Kurt Ulrich	Kurt Ulrich	11/05/2020 04:04 PM
Kurt Ulrich	Kathy Schmitz	11/06/2020 09:15 AM
Bruce Westby (Originator)	Kathy Schmitz	11/06/2020 09:16 AM
Bruce Westby (Originator)	Bruce Westby	11/06/2020 09:37 AM
Bruce Westby (Originator)	Bruce Westby	11/06/2020 09:39 AM
Kurt Ulrich	Kathy Schmitz	11/06/2020 09:41 AM
Form Started By: Bruce Westby		Started On: 11/03/2020 01:22 PM
Final Approval Date: 11/06/2020		



**REQUEST FOR PROPOSAL
21-02 TIGER STREET RECONSTRUCTION
Topographic Survey
City of Ramsey**

ISSUE DATE
October 23, 2020

PROPOSAL MUST BE RECEIVED BY:
4:30 pm on Thursday, November 5, 2020

DELIVER PROPOSAL TO:
City of Ramsey Municipal Center
7550 Sunwood Drive NW
Ramsey, MN 55303
Attn: Marsha Weidner
763-433-9839

INTRODUCTION: The City of Ramsey (City) is requesting proposals for the delivery of a topographic survey along Tiger Street between Armstrong Boulevard and 173rd Avenue as shown in the attached exhibit. Tiger Street is a 0.4 mile rural section street, typically 24-feet wide with a 30 mph speed limit. The scope of this work includes:

- Topographic Survey
- Contacting Gopher State One call to locate utility markings
- Delivery of survey points in an Excel/CSV format
- Point Code listing

FIELD SURVEY REQUIREMENTS: The field survey is not limited to, but is expected to include the following:

- Elevations along the centerline, edge of bituminous pavement, edge of shoulder, ditch cross section up to the right-of-way at 50-foot stations and grade changes.
- Elevations of intersecting streets along the centerline, edge of bituminous pavement and ditch cross section, and/or gutter and top of curb and boulevard to the right-of-way, to the distance specified in the exhibit.
- Location and elevations on driveway edges and corners to the right-of-way along with driveway culverts.
- Location and elevations of trees/tree lines, landscaping, mailboxes, signage, fence lines, utilities, etc. in the right-of-way.
- Location of pavement striping.
- Location and elevations of off-street bituminous trail.
- Location and elevations of any storm sewer structure and culverts.

SCHEDULE: A written schedule of the work shall be submitted identifying all work components and showing work start and completion dates required to comply with the schedule. Once work has commenced, the Contractor shall continuously pursue completion in accordance with the approved schedule. The final Topographic Survey must be delivered to the City by Thursday, December 31, 2020.

PROPOSAL SUBMITTAL: A lump sum quote shall be submitted for the proposed work using the form at the end of this Request for Proposal (RFP).

COMMUNICATION WITH THE CITY: If any requirements of this RFP are not clearly understood, the Contractor is responsible for contacting the City for further clarification in a prompt manner. Responses to inquiries, if they change or clarify the RFP in a substantial manner, will be forwarded by addenda to the RFP.

SUBMISSION: A signed copy of the attached proposal form is requested by **4:30 P.M. Thursday, November 5, 2020.** Deliver to the Ramsey Municipal Center, 7550 Sunwood Drive NW, Ramsey MN 55303 to the attention of Marsha Weidner, Engineering Administrative Assistant. E-mail quotes will be accepted and may be sent to MWeidner@cityoframsey.com.

PROPOSAL UNDERSTANDING: By submitting a proposal, the Contractor agrees to be bound to the terms and conditions herein.

COSTS OF PREPARATION: Under no condition will any costs of preparation of the proposal be reimbursed by the City.

LICENSE AND INSURANCE: By submitting a proposal, the Contractor affirms they shall maintain the following minimum insurance coverage while completing their work as related to this RFP in the following amounts: Commercial General Liability \$1,000,000 per occurrence (written on an occurrence based form bodily injury and property damage); automobile liability \$1,000,000 per occurrence (including hired & non-owned bodily injury and property damage). The City of Ramsey shall be named as an additional insured on the Commercial General Liability insurance. Certificates of Insurance for all of the above insurance shall be filed with the City prior to the work. The Contractor also affirms they shall be licensed to perform the work in the State of Minnesota, and the work shall comply with all state and local laws.

WORKING HOURS: The work shall be carried out during normal working hours so as not to cause any unreasonable nuisance to affected residents and businesses. Under emergency conditions, this limitation may be waived in writing by the Engineer in conjunction with qualified local authority. Normal working hours for this work are considered to be from 7:00 a.m. to 10:00 p.m., Monday through Friday.

WORK AND STAGING AREAS: The Contractor shall confine their work activities within City owned properties and right of way. No equipment shall be left on City streets outside normal working hours.


TRAFFIC CONTROL: Work shall be conducted in conformance with the specifications set forth herein and in accordance with the Minnesota Department of Transportation Standard Specifications for Construction, 2018 Edition, which is incorporated by reference to these specifications.

PAYMENT: Payment will be made upon submittal of an invoice to the City on a net 30 day basis following City acceptance of the work. An IC 134 form will be required prior to final payment.

BASIS OF PAYMENT: Payment shall be made on a lump sum basis for all components of the work as specified in the RFP. The cost of any additional equipment, labor, materials, permits, tools and supplies which have not been specifically identified in this section for payment, but are required to complete the work, shall be considered incidental to the project. The City is also requesting an hourly rate for additional survey work to be submitted, if we find a need to expand the project scope after reviewing the initial survey.

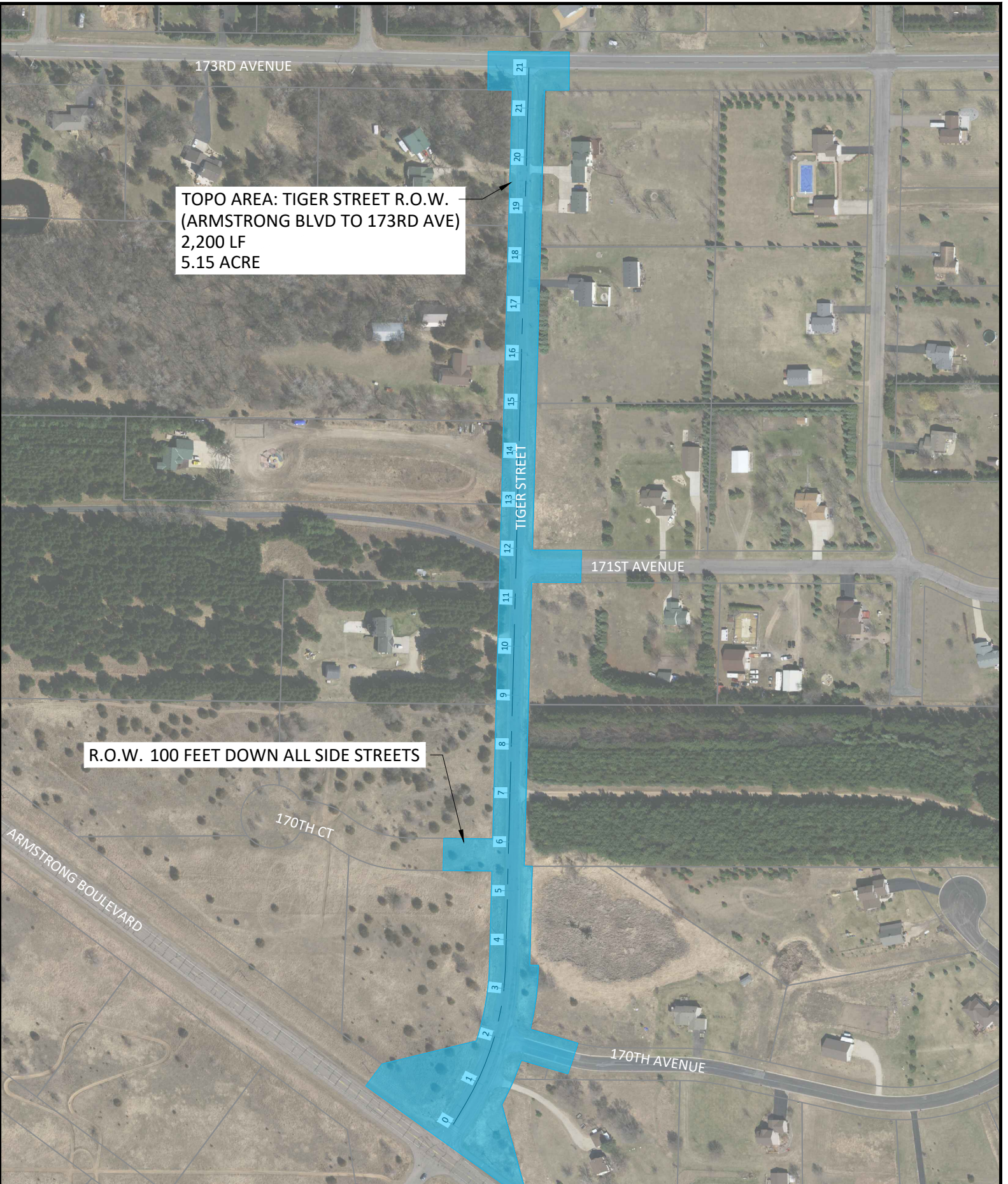
PROPOSAL

Bolton & Menk, Inc. accepts the terms and conditions herein and agrees to complete all work described herein in the lump sum not-to-exceed amount of \$ 2,690.00, and to deliver the final 20-02 Tiger Street Topographic Survey to the City by Thursday, December 31, 2020.

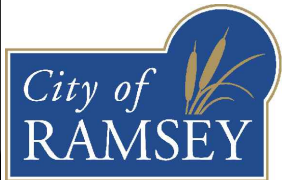
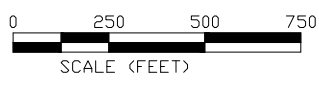
Contractor Name	<u>Bolton & Menk, Inc.</u>
Owner or representative	<u>Kevin P. Kielb, P.E.</u>
Phone(s)	<u>(651) 968-7760</u>
E-mail	<u>Kevin.Kielb@Bolton-Menk.com</u>
Signature	<u></u>
Date	<u>November 2, 2020</u>

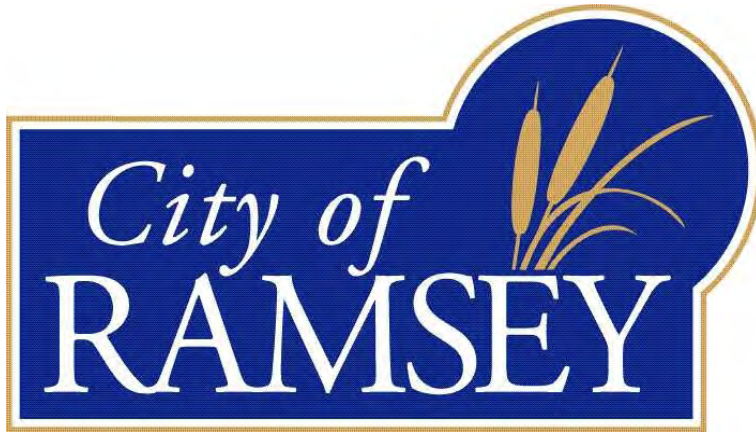
TOPO AREA: TIGER STREET R.O.W.
(ARMSTRONG BLVD TO 173RD AVE)
2,200 LF
5.15 ACRE

R.O.W. 100 FEET DOWN ALL SIDE STREETS



TOPO AREA MAP
TIGER STREET
(ARMSTRONG BLVD TO 173RD AVE)





**REQUEST FOR PROPOSAL
21-03 BUSINESS PARK 95
STREET RECONSTRUCTIONS
Topographic Survey
City of Ramsey**

ISSUE DATE
October 23, 2020

PROPOSAL MUST BE RECEIVED BY:
4:30 pm on Thursday, November 5, 2020

DELIVER PROPOSAL TO:
City of Ramsey Municipal Center
7550 Sunwood Drive NW
Ramsey, MN 55303
Attn: Marsha Weidner
763-433-9839

INTRODUCTION: The City of Ramsey (City) is requesting proposals for the delivery of a topographic survey of the Business Park 95 commercial subdivision including; McKinley Street, Unity Street, Radium Street, and 140th Avenue. These streets are 38 to 44-feet wide, with concrete curb and gutter, and the speed limit is 30 mph. The scope of this work includes:

- Topographic Survey
- Contacting Gopher State One call to locate utility markings
- Delivery of survey points in an Excel/CSV format
- Point Code listing

FIELD SURVEY REQUIREMENTS: The field survey is not limited to, but is expected to include the following:

- Street Topo Area (Approximately 1.2 miles, 6.2 acres)
 - Elevations along the centerline, and curb gutter at 50-foot stations and grade changes.
 - Location and elevations on driveway edges and corners to the right-of-way.
 - Location and elevations of any storm sewer, sanitary sewer, watermain structures within the pavement, as well as hydrants and hydrant valves in the boulevard.
- Full Topo Area (Approximately 1.0 acres.)
 - Locations and elevations of any storm sewer, sanitary sewer, watermain, utilities, structures, etc. within the survey area
 - Locations and elevations of trees/tree lines, landscaping signage, fence lines, etc. within the survey area
 - Elevations to create existing ground of the survey area, including edge of existing ponds.

SCHEDULE: A written schedule of the work shall be submitted identifying all work components and showing work start and completion dates required to comply with the schedule. Once work has commenced, the Contractor shall continuously pursue completion in accordance with the approved schedule. The final Topographic Survey must be delivered to the City by Thursday, December 31, 2020.

PROPOSAL SUBMITTAL: A lump sum quote shall be submitted for the proposed work using the form at the end of this Request for Proposal (RFP).

COMMUNICATION WITH THE CITY: If any requirements of this RFP are not clearly understood, the Contractor is responsible for contacting the City for further clarification in a prompt manner. Responses to inquiries, if they change or clarify the RFP in a substantial manner, will be forwarded by addenda to the RFP.

SUBMISSION: A signed copy of the attached proposal form is requested by **4:30 P.M. Thursday, November 5, 2020.** Deliver to the Ramsey Municipal Center, 7550 Sunwood Drive NW, Ramsey MN 55303 to the attention of Marsha Weidner, Engineering Administrative Assistant. E-mail quotes will be accepted and may be sent to MWeidner@cityoframsey.com.

PROPOSAL UNDERSTANDING: By submitting a proposal, the Contractor agrees to be bound to the terms and conditions herein.

COSTS OF PREPARATION: Under no condition will any costs of preparation of the proposal be reimbursed by the City.

LICENSE AND INSURANCE: By submitting a proposal, the Contractor affirms they shall maintain the following minimum insurance coverage while completing their work as related to this RFP in the following amounts: Commercial General Liability \$1,000,000 per occurrence (written on an occurrence based form bodily injury and property damage); automobile liability \$1,000,000 per occurrence (including hired & non-owned bodily injury and property damage). The City of Ramsey shall be named as an additional insured on the Commercial General Liability insurance. Certificates of Insurance for all of the above insurance shall be filed with the City prior to the work. The Contractor also affirms they shall be licensed to perform the work in the State of Minnesota, and the work shall comply with all state and local laws.

WORKING HOURS: The work shall be carried out during normal working hours so as not to cause any unreasonable nuisance to affected residents and businesses. Under emergency conditions, this limitation may be waived in writing by the Engineer in conjunction with qualified local authority. Normal working hours for this work are considered to be from 7:00 a.m. to 10:00 p.m., Monday through Friday.

WORK AND STAGING AREAS: The Contractor shall confine their work activities within City owned properties and right of way. No equipment shall be left on City streets outside normal working hours.


TRAFFIC CONTROL: Work shall be conducted in conformance with the specifications set forth herein and in accordance with the Minnesota Department of Transportation Standard Specifications for Construction, 2018 Edition, which is incorporated by reference to these specifications.

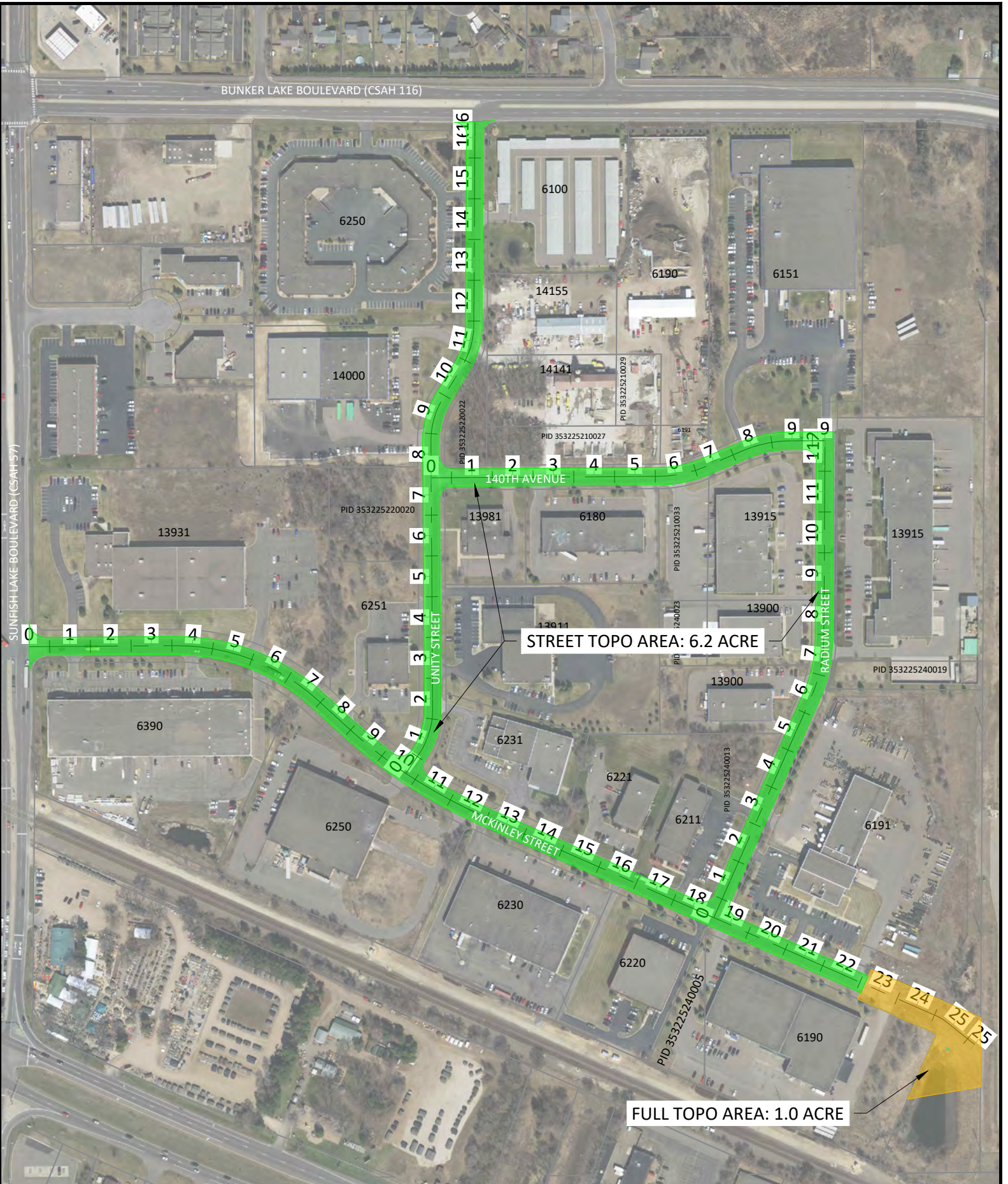
PAYMENT: Payment will be made upon submittal of an invoice to the City on a net 30 day basis following City acceptance of the work. An IC 134 form will be required prior to final payment.

BASIS OF PAYMENT: Payment shall be made on a lump sum basis for all components of the work as specified in the RFP. The cost of any additional equipment, labor, materials, permits, tools and supplies which have not been specifically identified in this section for payment, but are required to complete the work, shall be considered incidental to the project. The City is also requesting an hourly rate for additional survey work to be submitted, if we find a need to expand the project scope after reviewing the initial survey.

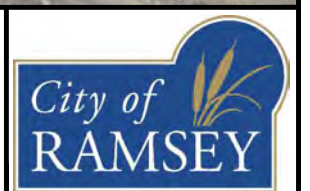
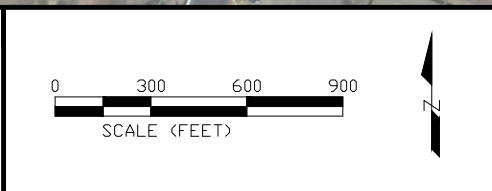
PROPOSAL

Bolton & Menk, Inc. accepts the terms and conditions herein and agrees to complete all work described herein in the lump sum not-to-exceed amount of \$4,860.00, and to deliver the final 21-03 Business Park 95 Topographic Survey to the City by Thursday, December 31, 2020.

Contractor Name	<u>Bolton & Menk, Inc.</u>
Owner or representative	<u>Kevin P. Kielb, P.E.</u>
Phone(s)	<u>(651) 968-7760</u>
E-mail	<u>Kevin.Kielb@Bolton-Menk.com</u>
Signature	<u></u>
Date	<u>November 2, 2020</u>



TOPO AREA MAP
BUSINESS PARK 95
 MCKINLEY STREET / UNITY STREET /
 RADIUM STREET / 140TH AVENUE



Councilmember _____ introduced the following resolution and moved for its adoption:

RESOLUTION #20-259

RESOLUTION ACCEPTING GEOTECHNICAL AND SURVEY PROPOSALS FOR 2021 PAVEMENT MANAGEMENT PROGRAM PROJECTS

WHEREAS, geotechnical reports and topographic surveys are required to accurately evaluate and design proposed 2021 pavement management program projects; and

WHEREAS, requests for proposals were submitted to two firms for the purpose of obtaining quotes for completing the proposed survey services; and

WHEREAS, the two survey quotes received are tabulated below; and

Contractor	Tiger Street Total Quote	Business Park 95 Total Quote
Bolton & Menk, Inc.	\$ 2,690.00	\$ 4,860.00
Hakanson Anderson	\$ 3,500.00	\$ 5,900.00

WHEREAS, the quote of Bolton & Menk, Inc. in the amount of \$ 2,690.00 for the survey of Tiger Street and \$ 4,860.00 for the survey of Business Park 95, for said services in accordance with the prepared proposal is the lowest responsible quote and their quote shall be and hereby is accepted.

WHEREAS, request for proposals were submitted to four firms for the purpose of obtaining quotes for completing the proposed geotechnical services; and

WHEREAS, the three geotechnical quotes received are tabulated below; and

Contractor	Tiger Street Total Quote	Business Park 95 Total Quote
Chosen Valley Testing	\$ 4,564.00	\$ 4,064.00
American Engineering Testing	\$ 7,390.00	\$ 6,149.00
Braun Intertec	\$ 7,875.00	\$ 7,525.00

WHEREAS, the quote of Chosen Valley Testing in the amount of \$ 4,564.00 for the geotechnical report of Tiger Street and \$4,064.00 for the geotechnical report of Business Park 95, for said services in accordance with the prepared proposal is the lowest responsible quote and their quote shall be and hereby is accepted.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA:

- 1) The Mayor and City Administrator are hereby authorized and directed to enter into a contract with Bolton & Menk, Inc. for said survey services for and on behalf of the City of Ramsey.
- 2) The Mayor and City Administrator are hereby authorized and directed to enter into a contract with Chosen Valley Testing for said geotechnical services for and on behalf of the City of Ramsey.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember _____ and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

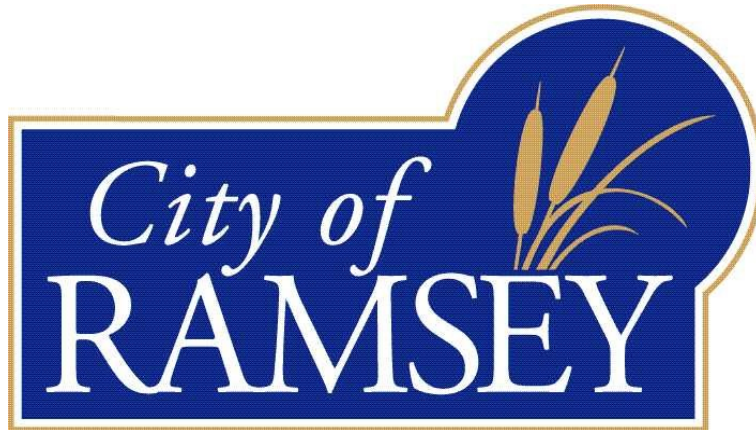
and the following were absent:

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 10th day of November, 2020.

Mayor

ATTEST:

City Clerk



**REQUEST FOR PROPOSAL
21-02 Tiger Street Reconstruction
Geotechnical Report
City of Ramsey**

ISSUE DATE
October 23, 2020

PROPOSAL MUST BE RECEIVED BY:
4:30 pm on Thursday November 5, 2020

DELIVER PROPOSAL TO:
City of Ramsey Municipal Center
7550 Sunwood Drive NW
Ramsey, MN 55303
Attn: Marsha Weidner
763-433-9839

INTRODUCTION: The City of Ramsey (City) is requesting proposals for the preparation and delivery of a geotechnical report along Tiger Street between Armstrong Boulevard and 173rd Avenue, as shown in the attached exhibit. Tiger Street is 24-foot wide rural section street, with a 30 mph speed limit. The scope of this work includes:

- 10 soil borings per the attached exhibit
- A standard geotechnical report including construction feasibility for public utilities and pavement section
- Logs of soil borings with descriptions of nomenclature used for defining the site soils
- Estimated subgrade support strength parameters for design of the bituminous roadway and recommendations for soil corrections
- Recommendations for earthwork associated with installation of storm sewer
- Recommendations for management of groundwater for design of structures and pavements

SOIL BORING REQUIREMENTS: Soil borings to a depth of 10-feet will be taken at stationing shown on the attached “Boring Hole Location” exhibit. Soil borings will alternate between drive lanes. Cores of the existing bituminous pavement will be required. Cores will be taken to verify thickness and structural integrity of the existing pavement and base. Pictures of the cores will be included in the final report. Any additional depth beyond 10-feet will be paid per lineal foot. The Contractor must perform sufficient survey work to locate holes approximately 5 feet horizontally and approximately 0.5 feet vertically. The Contractor is responsible for locating all utilities prior to starting boring operations.

SOIL BORING LOG REQUIREMENTS: A field boring log will be prepared by the Contractor for each boring with a copy included in the final report. The field boring logs will include the following information:

- The project identification number
- Location of the boring referenced by centerline stationing using the Anoka County Coordinate System with NAD 83
- Boring log number
- Method of drilling and sampling, diameter of bore hole
- Date, name of driller and crew
- Ground surface elevation and ground water elevation measured to the nearest 0.5 feet
- Definition of all symbols that are not otherwise self-explanatory
- Classification, thickness, color, moisture condition (dry, moist, wet, saturated), composition and degree of compactness
- Field number of any samples taken, type of sample and depth taken
- Depth at which obstacles were encountered in advancing the boring
- Any other unusual conditions encountered during drilling and sampling

SCHEDULE: A written schedule of the work shall be submitted identifying all work components and showing work start and completion dates required to comply with the schedule. Once work has commenced, the Contractor shall continuously pursue completion in accordance with the approved schedule. The final Geotechnical Report must be delivered to the City by Friday, December 11, 2020.

PROPOSAL SUBMITTAL: An itemized quote shall be submitted for the proposed work using the form at the end of this Request for Proposal (RFP).

COMMUNICATION WITH THE CITY: If any requirements of this RFP are not clearly understood, the Contractor is responsible for contacting the City for further clarification in a prompt manner. Responses to inquiries, if they change or clarify the RFP in a substantial manner, will be forwarded by addenda to the RFP.

SUBMISSION: A signed copy of the attached proposal form is requested by **4:30 P.M. Thursday, November 5, 2020.** Deliver to the Ramsey Municipal Center, 7550 Sunwood Drive NW, Ramsey MN 55303 to the attention of Marsha Weidner, Engineering Administrative Assistant. E-mail quotes will be accepted and may be sent to MWeidner@cityoframsey.com.

PROPOSAL UNDERSTANDING: By submitting a proposal, the Contractor agrees to be bound to the terms and conditions herein.

COSTS OF PREPARATION: Under no condition will any costs of preparation of the proposal be reimbursed by the City.

LICENSE AND INSURANCE: By submitting a proposal, the Contractor affirms they shall maintain the following minimum insurance coverage while completing their work as related to this RFP in the following amounts: Commercial General Liability \$1,000,000 per occurrence (written on an occurrence based form bodily injury and property damage); automobile liability \$1,000,000 per occurrence (including hired & non-owned bodily injury and property damage). The City of Ramsey shall be named as an additional insured on the Commercial General Liability insurance. Certificates of Insurance for all of the above insurance shall be filed with the City prior to the work. The Contractor also affirms they shall be licensed to perform the work in the State of Minnesota, and the work shall comply with all state and local laws.

WORKING HOURS: The work shall be carried out during normal working hours so as not to cause any unreasonable nuisance to affected residents and businesses. Under emergency conditions, this limitation may be waived in writing by the Engineer in conjunction with qualified local authority. Normal working hours for this work are considered to be from 7:00 a.m. to 8:00 p.m., Monday through Friday.

WORK AND STAGGING AREAS: The Contractor shall confine their work activities within City owned properties and right of way. No equipment shall be left on City streets outside normal working hours.

SPECIFICATIONS: Work shall be conducted in conformance with the specifications set forth herein and in accordance with the latest edition of the Minnesota Department of Transportation Standard Specifications for Construction which is incorporated by reference to these specifications.

TRAFFIC CONTROL: All traffic control devices and layouts shall conform and be installed in accordance to the latest addition of the Minnesota Temporary Traffic Control Field Manual.

PAYMENT: Payment will be made upon submittal of an invoice to the City on a net 30 day basis following City acceptance of the work. An IC 134 form will be required prior to final payment.

BASIS OF PAYMENT: Payment shall be made for the work on the basis specified below. The cost of any additional labor, materials, permits, tools and supplies which have not been specifically identified in this section for payment, but required to complete the project as per the plans and specifications shall be considered incidental to the project.

Mobilization – Payment shall be made on a lump sum basis for the mobilization of equipment.

Geotechnical Report – Payment shall be made on a lump sum basis as compensation for all development of the geotechnical report meeting the requirements outlined in this RFP.

Soil Boring – Payment shall be made on a per each basis as compensation for all equipment, material and labor costs required for the soil boring and all required documentation of soil borings as outlined in this RFP.

Soil Boring Additional Depth – Payment shall be made on a per lineal foot basis as compensation for all equipment, material and labor costs required for soil boring at depth beyond 10-feet. The cost of meeting any Minnesota Department of Health requirement for abandonment of geotechnical soil bore holes, including holes deeper than 15-feet are incidental to this pay item.

Traffic Control – Payment shall be made on a lump sum basis as compensation for all equipment, material, and labor costs required for the installation and maintenance of traffic control measures (signage, barricades, flashers, flaggers, etc.), as directed by the Engineer, for any local traffic disruptions or temporary closures.

PROPOSAL

This proposal is submitted to the City of Ramsey for Improvement Project #21-02 Tiger Street Reconstruction Geotechnical Report. That _____ accepts the terms and conditions herein and agrees to deliver the final Geotechnical Report to the City by Friday, December 11, 2020, and to complete all work described herein for the following unit prices:

Item No.	Item Description	Unit	Quantity	Price	Extension
1	Mobilization	LS	1	_____	_____
2	Geotechnical Report	LS	1	_____	_____
3	Soil Boring	EA	10	_____	_____
4	Soil Boring Additional Depth	LF	1	_____	_____
5	Traffic Control	LS	1	_____	_____
Total Proposal Lines 1-5					_____

Contractor Name _____

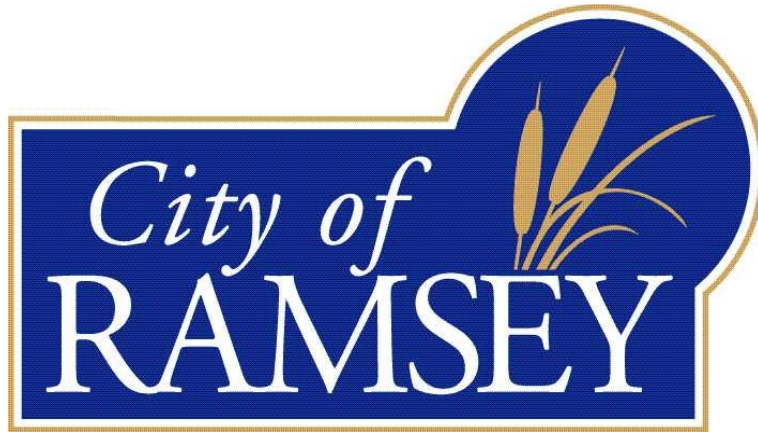
Owner or representative _____

Phone(s) _____

E-mail _____

Signature _____

Date _____



**REQUEST FOR PROPOSAL
21-03 Business Park 95
Street Reconstructions
Geotechnical Report
City of Ramsey**

ISSUE DATE
October 23, 2020

PROPOSAL MUST BE RECEIVED BY:
4:30 pm on Thursday November 5, 2020

DELIVER PROPOSAL TO:
City of Ramsey Municipal Center
7550 Sunwood Drive NW
Ramsey, MN 55303
Attn: Marsha Weidner
763-433-9839

INTRODUCTION: The City of Ramsey (City) is requesting proposals for the preparation and delivery of a geotechnical report for the Business Park 95 sub-division including; McKinley Street, Unity Street, Radium Street and 140th Avenue. This sub-division is located in the SE corner of CSAH 57 and CSAH 116. This is a business commercial sub-division with 38 to 44-foot wide streets. The speed limit is 30 mph. The scope of this work includes:

- 8 soil borings per the attached exhibit
 - 6 soil borings located within existing bituminous pavement
 - 2 soil borings located in green space for future cul-de-sac
- A standard geotechnical report including construction feasibility for public utilities and pavement section
- Logs of soil borings with descriptions of nomenclature used for defining the site soils
- Estimated subgrade support strength parameters for design of the bituminous roadway and recommendations for soil corrections
- Recommendations for earthwork associated with installation of storm sewer, sanitary sewer, and watermain
- Recommendations for management of groundwater for design of structures and pavements

SOIL BORING REQUIREMENTS: Soil borings to a depth of 10-feet will be taken at stationing shown on the attached “Boring Hole Location” exhibit. Soil borings will alternate between drive lanes. Cores of the existing bituminous pavement will be required. Cores will be taken to verify thickness and structural integrity of the existing pavement and base. Pictures of the cores will be included in the final report. Any additional depth beyond 10-feet will be paid per lineal foot. The Contractor must perform sufficient survey work to locate holes approximately 5 feet horizontally and approximately 0.5 feet vertically. The Contractor is responsible for locating all utilities prior to starting boring operations.

SOIL BORING LOG REQUIREMENTS: A field boring log will be prepared by the Contractor for each boring with a copy included in the final report. The field boring logs will include the following information:

- The project identification number
- Location of the boring referenced by centerline stationing using the Anoka County Coordinate System with NAD 83
- Boring log number
- Method of drilling and sampling, diameter of bore hole
- Date, name of driller and crew
- Ground surface elevation and ground water elevation measured to the nearest 0.5 feet
- Definition of all symbols that are not otherwise self-explanatory
- Classification, thickness, color, moisture condition (dry, moist, wet, saturated), composition and degree of compactness
- Field number of any samples taken, type of sample and depth taken
- Depth at which obstacles were encountered in advancing the boring
- Any other unusual conditions encountered during drilling and sampling

SCHEDULE: A written schedule of the work shall be submitted identifying all work components and showing work start and completion dates required to comply with the schedule. Once work has commenced, the Contractor shall continuously pursue completion in accordance with the approved schedule. The final Geotechnical Report must be delivered to the City by Friday, December 11, 2020.

PROPOSAL SUBMITTAL: An itemized quote shall be submitted for the proposed work using the form at the end of this Request for Proposal (RFP).

COMMUNICATION WITH THE CITY: If any requirements of this RFP are not clearly understood, the Contractor is responsible for contacting the City for further clarification in a prompt manner. Responses to inquiries, if they change or clarify the RFP in a substantial manner, will be forwarded by addenda to the RFP.

SUBMISSION: A signed copy of the attached proposal form is requested by **4:30 P.M. Thursday, November 5, 2020.** Deliver to the Ramsey Municipal Center, 7550 Sunwood Drive NW, Ramsey MN 55303 to the attention of Marsha Weidner, Engineering Administrative Assistant. E-mail quotes will be accepted and may be sent to MWeidner@cityoframsey.com.

PROPOSAL UNDERSTANDING: By submitting a proposal, the Contractor agrees to be bound to the terms and conditions herein.

COSTS OF PREPARATION: Under no condition will any costs of preparation of the proposal be reimbursed by the City.

LICENSE AND INSURANCE: By submitting a proposal, the Contractor affirms they shall maintain the following minimum insurance coverage while completing their work as related to this RFP in the following amounts: Commercial General Liability \$1,000,000 per occurrence (written on an occurrence based form bodily injury and property damage); automobile liability \$1,000,000 per occurrence (including hired & non-owned bodily injury and property damage). The City of Ramsey shall be named as an additional insured on the Commercial General Liability insurance. Certificates of Insurance for all of the above insurance shall be filed with the City prior to the work. The Contractor also affirms they shall be licensed to perform the work in the State of Minnesota, and the work shall comply with all state and local laws.

WORKING HOURS: The work shall be carried out during normal working hours so as not to cause any unreasonable nuisance to affected residents and businesses. Under emergency conditions, this limitation may be waived in writing by the Engineer in conjunction with qualified local authority. Normal working hours for this work are considered to be from 7:00 a.m. to 8:00 p.m., Monday through Friday.

WORK AND STAGGING AREAS: The Contractor shall confine their work activities within City owned properties and right of way. No equipment shall be left on City streets outside normal working hours.

SPECIFICATIONS: Work shall be conducted in conformance with the specifications set forth herein and in accordance with the latest edition of the Minnesota Department of Transportation Standard Specifications for Construction which is incorporated by reference to these specifications.

TRAFFIC CONTROL: All traffic control devices and layouts shall conform and be installed in accordance to the latest addition of the Minnesota Temporary Traffic Control Field Manual.

PAYMENT: Payment will be made upon submittal of an invoice to the City on a net 30 day basis following City acceptance of the work. An IC 134 form will be required prior to final payment.

BASIS OF PAYMENT: Payment shall be made for the work on the basis specified below. The cost of any additional labor, materials, permits, tools and supplies which have not been specifically identified in this section for payment, but required to complete the project as per the plans and specifications shall be considered incidental to the project.

Mobilization – Payment shall be made on a lump sum basis for the mobilization of equipment.

Geotechnical Report – Payment shall be made on a lump sum basis as compensation for all development of the geotechnical report meeting the requirements outlined in this RFP.

Soil Boring – Payment shall be made on a per each basis as compensation for all equipment, material and labor costs required for the soil boring and all required documentation of soil borings as outlined in this RFP.

Soil Boring Additional Depth – Payment shall be made on a per lineal foot basis as compensation for all equipment, material and labor costs required for soil boring at depth beyond 10-feet. The cost of meeting any Minnesota Department of Health requirement for abandonment of geotechnical soil bore holes, including holes deeper than 15-feet are incidental to this pay item.

Traffic Control – Payment shall be made on a lump sum basis as compensation for all equipment, material, and labor costs required for the installation and maintenance of traffic control measures (signage, barricades, flashers, flaggers, etc.), as directed by the Engineer, for any local traffic disruptions or temporary closures.

PROPOSAL

This proposal is submitted to the City of Ramsey for Improvement Project #21-03 Business Park 95 Street Reconstructions Geotechnical Report. That _____ accepts the terms and conditions herein and agrees to deliver the final Geotechnical Report to the City by Friday, December 11, 2020, and to complete all work described herein for the following unit prices:

Item No.	Item Description	Unit	Quantity	Price	Extension
1	Mobilization	LS	1	_____	_____
2	Geotechnical Report	LS	1	_____	_____
3	Soil Boring	EA	8	_____	_____
4	Soil Boring Additional Depth	LF	1	_____	_____
5	Traffic Control	LS	1	_____	_____
Total Proposal Lines 1-5					_____

Contractor Name _____

Owner or representative _____

Phone(s) _____

E-mail _____

Signature _____

Date _____

Meeting Date: 11/10/2020

By: Chloe McGuire Brigl, Community
Development

Information

Title

Adopt Resolution 20-260 Approving Abatement and Code Enforcement Process for 15740 Ramsey Blvd NW

Purpose/Background:

The purpose of this case is to declare the structure hazardous and approve abatement of nuisance items and lay out a proposed code enforcement process for 15740 Ramsey Blvd NW (the "Subject Property").

Notification:

No notification required. Staff has sent letters to the Subject Property and attempted to get in contact with the owner to inform them of the process and meetings.

Observations/Alternatives:

The Subject Property is currently abandoned and vacant, and has had numerous police calls to the property lately for public safety reasons. There have been fires lit inside the abandoned home, and the Police Department has found the property to be unsecured (front door open). The Subject Property has been a known vacant building for many years. As the threat to public safety continues, the Public Safety and Community Development Departments are requesting authorization from the City Council to board up the home, ensuring that others are not able to get inside the home. The home is considered unfit for human occupancy at this time, as there is not gas, power, or water supply to our knowledge to the property.

The home on the Subject Property has been posted by the Building Department as unsafe. Staff is requesting authorization to board up the home, including windows and locking all doors, to ensure that it is not continued to be broken into.

Staff has attempted to make contact with the Property Owner numerous times, and was able to reach an apparent partner of the Property Owner who has stated they will board up the home. Staff is hopeful that they follow through on this, but is requesting authorization as the previous deadline for boarding has passed.

Ensuring that this structure is stopped from being broken into is a public safety priority. The fires being lit inside the building are likely from kids and teenagers, and if the building becomes engulfed in fire, it could potentially put the surrounding area and responding fire fighters at risk. Staff feels strongly that boarding-up the building is the easiest and safest route to ensure safety for our community and to lower the risk and continued need for City services (e.g. police and fire calls onsite) at this home, thereby allowing Staff to focus on other issues throughout the City.

Specific abatement options, including removal of structure, will be forwarded to the City Council at a future date. This starts a process of enforcement. Staff hopes that this action will lead to voluntary compliance by the Owner. Staff hopes that aggressive enforcement shall not be required, but this step is an important tool in the toolbox.

Funding Source:

Staff handles all Code Enforcement as part of regular duties.

Recommendation:

Staff recommends the Council adopt Resolution 20-260.

Action:

Motion to adopt Resolution 20-260.

Attachments

Unsafe Building Report

Resolution 20-260

Posting Onsite (1 of 2)

Posting Onsite (2 of 2)

Photos of Property Conditions

Form Review**Inbox**

Tim Gladhill

Kurt Ulrich

Form Started By: Chloe McGuire Brigl

Final Approval Date: 11/05/2020

Reviewed By

Tim Gladhill

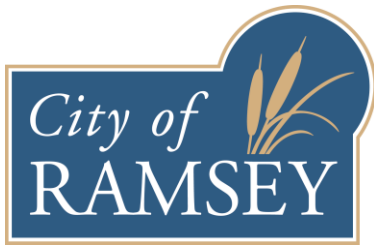
Kurt Ulrich

Date

11/05/2020 07:01 AM

11/05/2020 02:01 PM

Started On: 11/02/2020 10:47 AM



7550 Sunwood Drive NW • Ramsey, MN 55303

City Hall: 763.427.1410 • Fax: 763.427.5543

www.cityoframsey.com

MEMORANDUM

Date: October 26, 2020
To: File
From: Bill Barber
Building Inspector
Re: 15740 Ramsey Blvd NW

On this date an inspection was done to determine the condition of the home. Following are the noted items that were visible.

- Deteriorating fascia
- Broken glass in from window on upper level
- Garage door is deteriorating
- House needs to be painted
- Electrical meter has been removed and socket covered and sealed
- Gas meter has been shut off and is locked.
- Back door of garage is boarded up.
- Back door into house is boarded up
- Window adjacent to back door to house is boarded up
- Interior is torn apart.
- Furniture is scattered all over.
- Kitchen cabinets are destroyed

Pictures were taken of the situation and property was posted as “Unsafe” at 1:45 PM, and the reason being that the situation is a Fire Hazard and Health Hazard.

Councilmember _____ introduced the following resolution and moved for its adoption:

RESOLUTION #20-260

RESOLUTION DECLARING 15740 RAMSEY BLVD NW A HAZARDOUS STRUCTURE AND APPROVING ABATEMENT AND CODE ENFORCEMENT ACTIONS RELATED TO STRUCTURE

RECITALS

1. The City of Ramsey has an open code enforcement case at 15740 Ramsey Blvd NW legally described as: THAT PRT OF SW1/4 OF SW1/4 OF SEC 15 TWP 32 RGE 25 DESC AS FOL: COM AT SW COR OF SD 1/4 1/4, TH E ALG S LINE THEREOF 393.9 FT TO C/L OF CSAH NO 56, TH DEFL 41 DEG 40 MIN 15 SEC LEFT IN NELY DIR ALG SD C/L 388.67 FT TO POB, TH DEFL 90 DEG LEFT IN NWLY DIR (the 'Subject Property').
2. The Police Department has attempted to contact the Property Owner as listed in Anoka County Property Records to remedy the situation.
3. The home on the Subject Property is abandoned and unoccupied.
4. The home on the Subject Property has been deemed unfit for human occupancy by the City's Building Official due to lack of necessary utilities and services, as well as the condition of the interior of the home.
5. The home on the Subject Property has been the site for trespassing and there appear to have been fires lit inside the home, causing a threat and potential hazardous situation.
6. Minnesota Statute 463.251 allows the City to secure vacant buildings.
7. The City Council approved the Code Enforcement Process and Abatement on November 10, 2020.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

- 1) That the Ramsey City Council hereby approves the following actions:
 - a. Securing of the building by the City and its abatement contractors as allowed via Minnesota Statute 463.251.
 - b. Posting the home unfit for human occupancy by the City's Building Official.

- c. That the home on the Subject Property is in violation of the City’s Nuisance Provisions (Chapter 30) and the International Property Maintenance Code.
- d. That the City should send a first notice of violation related to the Code violations onsite, including Nuisance violations and International Property Maintenance Code violations.
 - i. Staff should follow the typical process after the first notice of violation and send a subsequent abatement notice for the violations.
 - ii. If the violations are not resolved, City Staff may work with the City Attorney to bring the issues to a Court setting to be resolved.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember _____, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this 10th day of November, 2020.

Mayor

ATTEST:

City Clerk

EXHIBIT A: Minnesota Statute 463.251 Securing Vacant Buildings

The following terms have the meanings given them for the purposes of this section.

- (a) "City" means a statutory or home rule charter city.
- (b) "Neighborhood association" means an organization recognized by the city as representing a neighborhood within the city.
- (c) "Secure" may include, but is not limited to, installing locks, repairing windows and doors, boarding windows and doors, posting "no-trespassing" signs, installing exterior lighting or motion-detecting lights, fencing the property, and installing a monitored alarm or other security system.

Subd. 2.Order; notice.

(a) If in any city a building becomes vacant or unoccupied and is deemed hazardous due to the fact that the building is open to trespass and has not been secured and the building could be made safe by securing the building, the governing body may order the building secured and shall cause notice of the order to be served upon the owner of record of the premises or the owner's agent, the taxpayer identified in the property tax records for that parcel, the holder of the mortgage or sheriff's certificate, and any neighborhood association for the neighborhood in which the building is located that has requested notice, by delivering or mailing a copy to the owner or agent, the identified taxpayer, the holder of the mortgage or sheriff's certificate, and the neighborhood association, at the last known address. Service by mail is complete upon mailing.

(b) The notice under this subdivision must include a statement that:

(1) informs the owner and the holder of any mortgage or sheriff's certificate of the requirements of subdivision 3 and that costs may be assessed against the property if the person does not secure the building;

(2) informs the owner and the holder of any mortgage or sheriff's certificate that the person may request a hearing before the governing body challenging the governing body's determination that the property is vacant or unoccupied and hazardous; and

(3) notifies the holder of any sheriff's certificate of the holder's duty under section [582.031, subdivision 1](#), paragraph (b), to enter the premises to protect the premises from waste and trespass if the order is not challenged or set aside and there is prima facie evidence of abandonment of the property as described in section [582.032, subdivision 7](#).

Subd. 3.Securing building by city; lien.

If the owner of the building or a holder of the sheriff's certificate of sale fails to either comply or provide to the governing body a reasonable plan and schedule to comply with an order issued

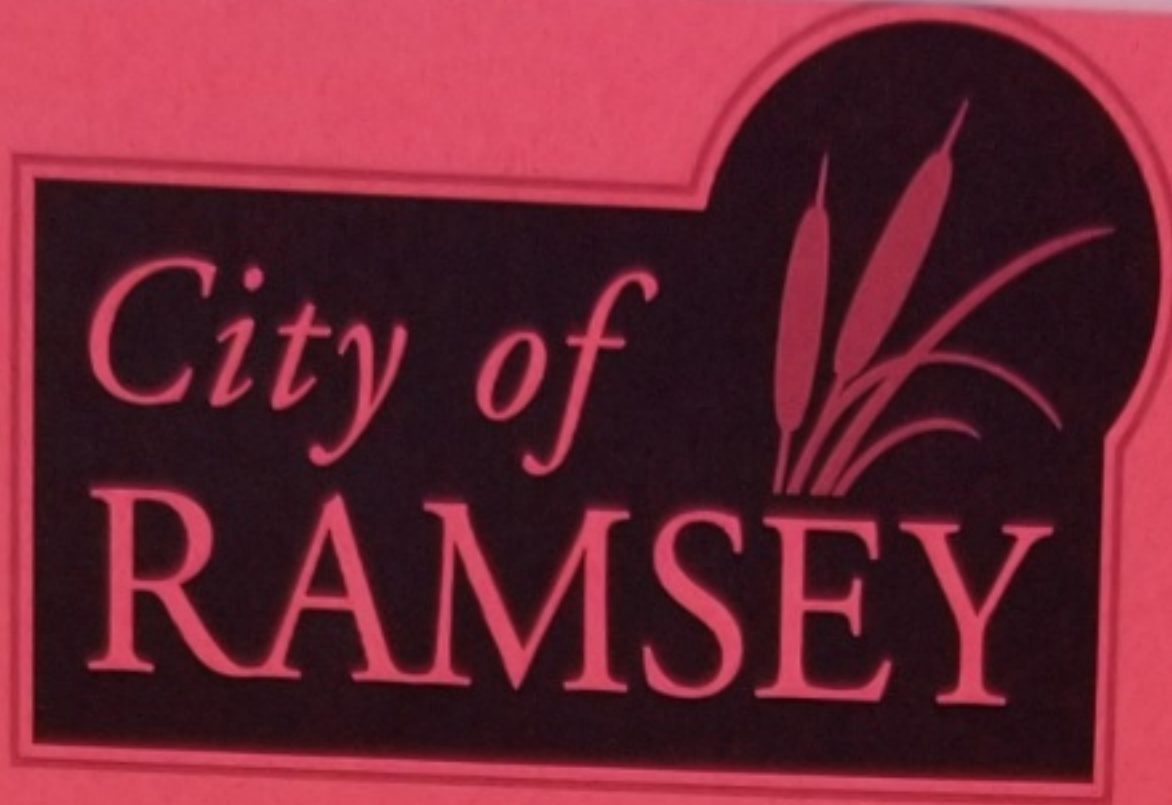
under subdivision 2 or to request a hearing on the order within six days after the order is served, the governing body shall cause the building to be properly secured and the cost of securing the building may be charged against the real estate as provided in section [463.21](#). In the metropolitan area, as defined in section [473.121, subdivision 2](#), the governing body may work with neighborhood associations to develop and implement plans to secure vacant buildings in a timely and cost-effective fashion. The city may use rehabilitation and revitalization funds in implementing this section.

Subd. 4. Emergency securing.

A city may provide by ordinance for emergency securing of a building that presents an immediate danger to the health and safety of persons in the community.

DuPont™
Tyvek
Tape

DuPont™
Tyvek
Tape



WARNING

This Structure is Considered Unsafe

**The use or occupation of this building or portion of
for any purpose is prohibited.**

2020 MN Building Code Administration – 1300.0180

MN Statutes – Sections 463.15 to 463.26

Date: 10/26/2020

Address: 15740 RAMSEY BLVD NW

Reason: FIRE HAZARD
HEALTH HAZARD

Contact the City of Ramsey prior to beginning any remediation.

City of Ramsey Inspector: William D. Barlow

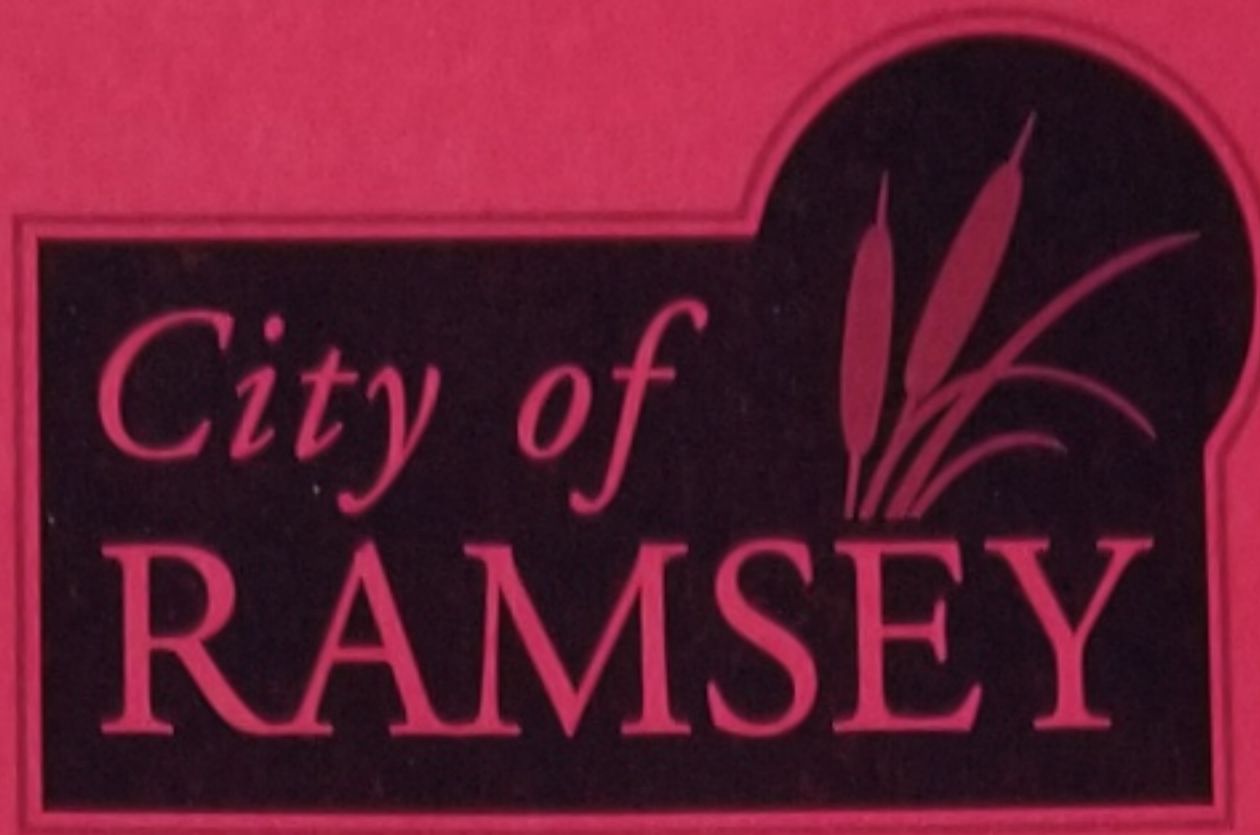
City of Ramsey – Community Development Department – 763-433-9850

7550 Sunwood Dr. NW

Ramsey, MN 55303

DuPont™
Tyvek

DuPont™
Tyvek
Tape



WARNING

This Structure is Considered Unsafe

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Date: 10/26/2020

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HEALTH HAZARD

Contact the City of Ramsey prior to beginning any remediation.

City of Ramsey Inspector: William D. Barber

City of Ramsey – Community Development Department – 763-433-9850

7550 Sunwood Dr. NW

Ramsey, MN 55303









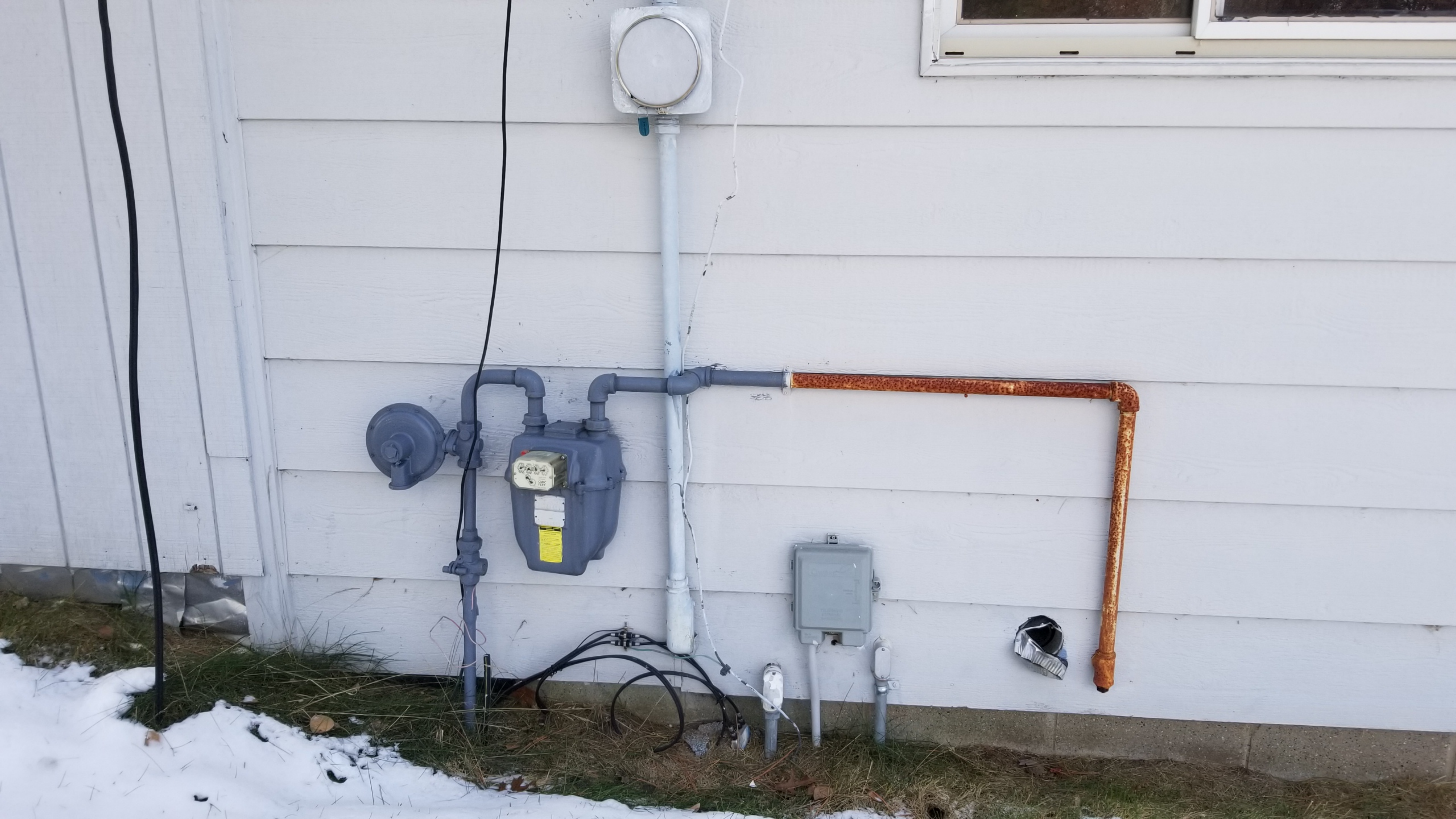


CAUTION











WARRANTS - OFFICE

COMAREDI



Meeting Date: 11/10/2020

By: Chloe McGuire Brigl, Community
Development

Information

Title

Adopt Resolution #20-261 Approving Final Plat for Riverstone 5th Addition, Case of Capstone Homes

Purpose/Background:

The purpose of this case is to review a request from Capstone Homes to Final Plat for Riverstone 5th Addition. In reviewing the proposed Final Plat to the approved Preliminary Plat, the Final Plat appears consistent. Riverstone 5th Addition proposes 87 lots and is the final addition for Riverstone, utilizing the remaining land in the north area of the site. The site is approximately 23 acres.

Notification:

No notification required.

Observations/Alternatives:

The Final Plat project is consistent with the approved Planned Unit Development which includes the following lot types. The most recent revision to the Planned Unit Development and Preliminary Plat was via Resolution 20-028.

Traditional Single Family/Small Lot Single Family Lots

- 65-foot-wide traditional single-family lot
- 50-foot-wide traditional single-family lot

Association Maintained/Detached Townhomes

- 50-foot-wide 'villa' lot (association maintained lawn care and snow removal)
- 40 foot-wide 'villa' lot (association maintained lawn care)

This specific final plat includes the following lot types

- All Lots Blocks 3, 4, 5 & 6 are 50', 55' & 65' SF with HOA for common area maintenance.
- Lots 1 - 4, Blocks 1 & 2 are 50' single level villas, HOA for common area & lawn and snow
- Lots 5-7, Blocks 2, 7, & 8 are 40 ft HOA for common area & lawn and snow

Bulk standards are outlined in the attached review memo. The proposal appears to meet all of the required bulk standards outlined in the preliminary plat approval.

Funding Source:

The Applicant is responsible for all costs associated with review.

Recommendation:

Staff Recommends the City Council Adopt Resolution #20-261

Action:

Motion to adopt Resolution #20-261

Attachments

Final Plat

Planning Report

Resolution #20-261

Form Review

Inbox

Tim Gladhill

Kurt Ulrich

Form Started By: Chloe McGuire Brigl

Final Approval Date: 11/05/2020

Reviewed By

Tim Gladhill

Kurt Ulrich

Date

11/05/2020 06:55 AM

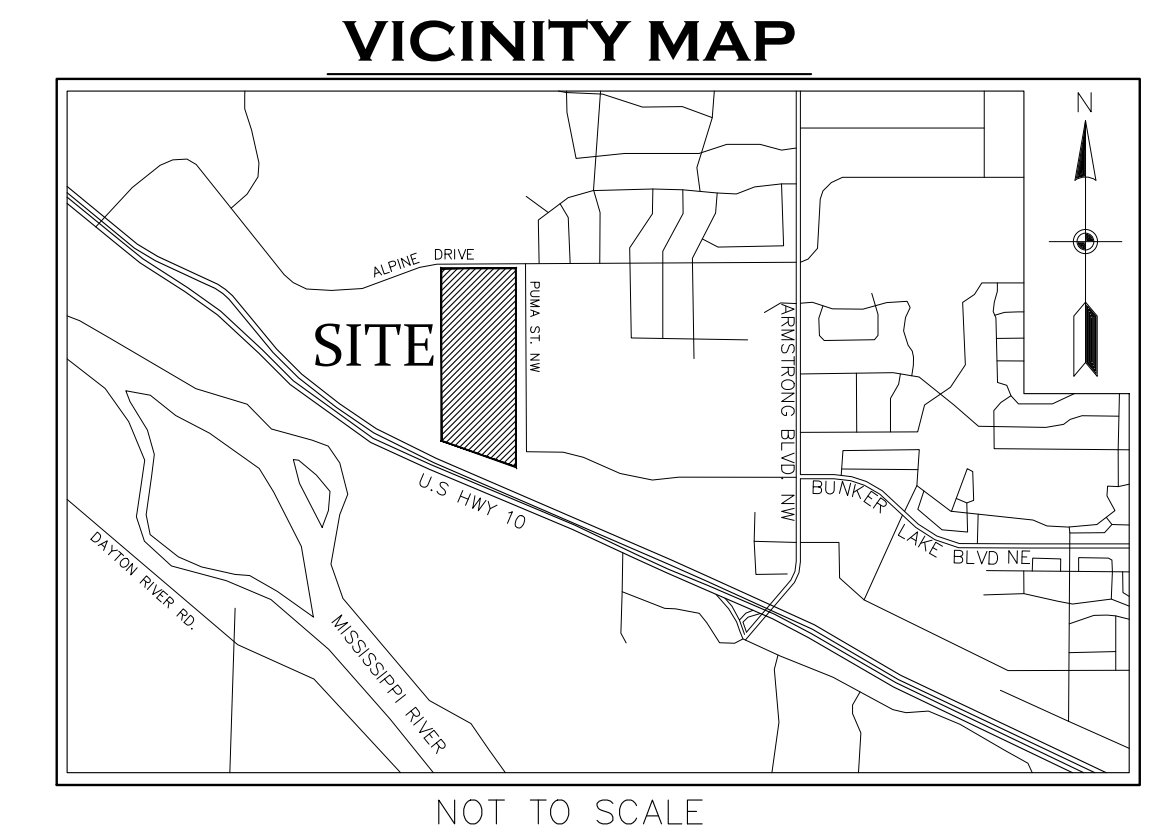
11/05/2020 02:40 PM

Started On: 11/03/2020 02:41 PM

RIVERSTONE 5TH ADDITION

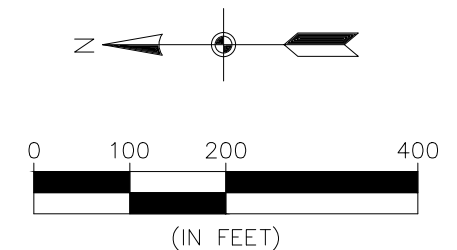
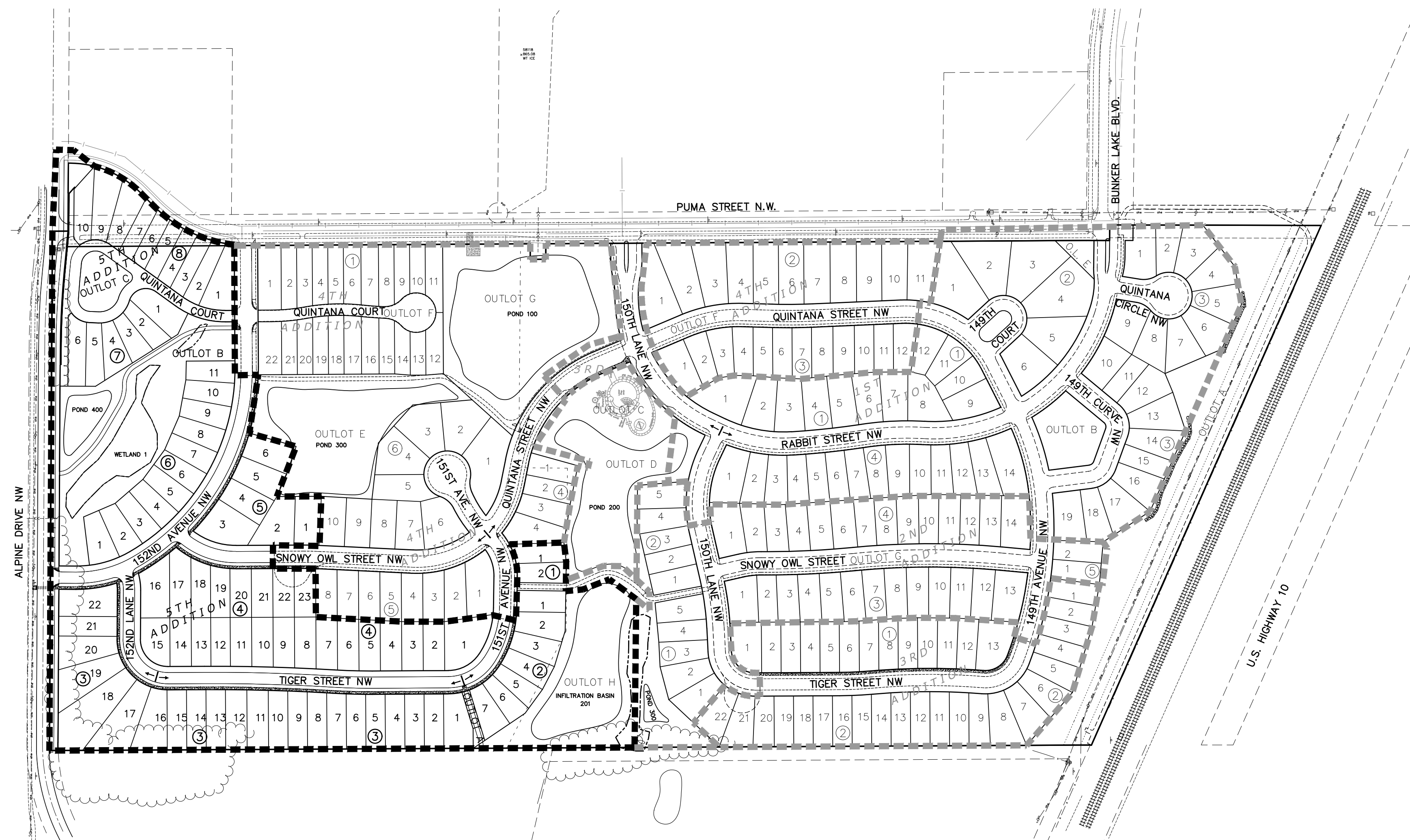
SANITARY SEWER, WATER MAIN, STORM SEWER AND STREET CONSTRUCTION PLANS

RAMSEY, MINNESOTA



SHEET INDEX

1. COVER
2. SANITARY SEWER INDEX
3. STORM SEWER INDEX
4. SANITARY SEWER & WATERMAIN
 - TIGER STREET NW/152ND LANE NW
5. SANITARY SEWER & WATERMAIN
 - 152ND AVENUE NW/SNOWY OWL STREET NW
6. SANITARY SEWER & WATERMAIN
 - QUINTANA COURT
- 7-9. STORM SEWER
10. STREET CONSTRUCTION
 - TIGER STREET NW/152ND LANE NW
11. STREET CONSTRUCTION
 - 152ND AVENUE NW/SNOWY OWL STREET NW
12. STREET CONSTRUCTION
 - QUINTANA COURT
13. TRAIL CONSTRUCTION
- 14-18. DETAILS



BENCHMARK

1. Anoka County Benchmark No. 3076
Elev. = 890.186 (NAVD 88)
2. Anoka County Benchmark No. 2078
Elev. = 899.499 (NAVD 88)



The subsurface utility information shown on this plan is utility Quality Level D. This quality level was determined according to the guidelines of CI/ASCE 38-02, entitled "Standard Guideline for the Collection and Depiction of Existing Subsurface Utility Data."

City of Ramsey Land Use Application

Technical Review File

Date	10/20/19	Project Address	Riverstone Addition, remaining parcels
Project Title	Riverstone 5 th Addition		
Project Number	20-130		
Department	Community Development – Planning Division		
Reviewer	Chloe McGuire, Senior Planner cmcguire@cityoframsey.com 763-433-9821		

This letter is the City’s Staff Review Letter pertaining to a proposal to Final Plat for Riverstone 5th Addition. In reviewing the proposed Final Plat to the approved Preliminary Plat, the Final Plat appears consistent. Riverstone 5th Addition proposes 87 lots and is the final addition for Riverstone, utilizing the remaining land in the north area of the site. The site is approximately 23 acres.

Comprehensive Plan

The project is consistent with the Comprehensive Plan guiding a majority of the area as Medium Density Residential.

Permitted Uses

The Final Plat project is consistent with the approved Planned Unit Development which includes the following lot types. The most recent revision to the Planned Unit Development and Preliminary Plat was via Resolution 20-028.

Traditional Single Family/Small Lot Single Family Lots

- 65-foot-wide traditional single-family lot
- 50-foot-wide traditional single-family lot

Association Maintained/Detached Townhomes

- 50-foot-wide ‘villa’ lot (association maintained lawn care and snow removal)
- 40 foot-wide ‘villa’ lot (association maintained lawn care)

This specific final plat includes the following lot types (see last page for Exhibit)

- All Lots Blocks 3, 4, 5 & 6 are 50’, 55’ & 65’ SF with HOA for common area maintenance.
- Lots 1 - 4, Blocks 1 & 2 are 50’ single level villas, HOA for common area & lawn and snow
- Lots 5-7, Blocks 2, 7, & 8 are 40 ft HOA for common area & lawn and snow

Layout

The following design standards are required for the various housing types proposed within the development. Please note that due to the variety of housing types, it is difficult to apply a single- set of layout standards to the project. Any perceived deviation to City Code appears to be reasonable with the utilization of a Planned Unit Development. A significant portion of the project area is being preserved for open space, a key component of the PUD Approval, and a requirement of the R-2 Residential District.

Bulk Standards

Standards	Requirement	Proposed
Lot size	Allowed lot types outlined on Page 1	40 foot lots (Villa) – 19 50 foot lots (Villa) - 6 50 foot lots (SF) – 40 55 foot lots (SF) – 10 60 foot lots (SF) – 6
Minimum density (net)	3.0	Overall ~3.8 units/acre
Maximum density (net)	7.0	
Front yard setback from public or private street	25 feet	25 feet
Building setback from exterior development boundary line	25 feet (detached)	25 feet
Minimum separation between buildings, including any appurtenances thereto (i.e., patios, decks)	10 feet (detached)	10 feet (wall to wall) (8 feet with overhang)
Maximum lot coverage	35%	<35%
Maximum building height (measured from lowest adjacent grade to mean gable)	35 feet	<35 feet
Side yard easements	4 feet	4 feet
Side yard setback	5 feet	5 feet

Street Widths and Design

The proposed street widths are shown at twenty-nine (29) feet. Traditional City Streets in Ramsey are measured at thirty-two (32) foot widths. These street widths were approved with

the Preliminary Plat. A Street Light Plan must be created and submitted to the City for review. The City will work with Connexus Energy to determine the final, appropriate Street Light Plan.

Development Fees

Standard Development Fees are due on the plat. The Developer has entered into a Master Park Dedication and Trail Development Fee Agreement guiding satisfaction of these fees.

Standard Development Fees are due on the plat at time of recording of the Final Plat. The fees will be collected at the rate in effect at time of recording of the plat for buildable lots.

- Water Trunk/Connection
- Sanitary Sewer Trunk/Connection
- Stormwater Management

Environmental Review

An Environmental Assessment Worksheet (EAW) is mandatory by the State of Minnesota for this project as was previously accepted as adequate with the original Preliminary Plat approval.

Civil Engineering Comments

Comments from the City Engineer have been forwarded to the Developer through the City's online plan review system.

Architectural Standards

Below are approved residential home models for construction. Permit submittals must be in substantial compliance with these models as determined by the City's Community Development Department.





Villas



It is our mission to work together to responsibly grow our community, and to provide quality, cost-effective and efficient government services.

Councilmember _____ introduced the following resolution and moved for its adoption:

RESOLUTION #20-261

RESOLUTION GRANTING FINAL PLAT APPROVAL AND DEVELOPMENT AGREEMENT FOR RIVERSTONE 5th ADDITION

WHEREAS, Riverstone Development LLC, hereafter referred to as “Developer”, properly applied for Final Plat approval of the following described property located in the City of Ramsey:

Outlots F and H, RIVERSTONE, and Outlot A, ALPHA DEVELOPMENT 2nd Addition, Anoka County, Minnesota.

(the ‘Subject Property’);

WHEREAS, the City Council approved a revised Preliminary Plat with several contingencies on February 24, 2020; and

WHEREAS, the City Council approved the Final Plat for Riverstone 5th Addition on November 10, 2020.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

- 1) That the Ramsey City Council hereby grants Final Plat approval for Riverstone 5th Addition contingent upon:
 - a. Approval to legal form by City Attorney
 - b. Conformance with Staff Comments in ProjectDox
 - c. The Developer entering into a Development Agreement with the City
 - d. Final review and approval by City Engineer

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember _____, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this 10th day of November, 2020.

Mayor

ATTEST:

City Clerk

Meeting Date: 11/10/2020

By: Matt Kohner, Fire Department

Information

Title

Adopt Resolution #20-262 Authorizing the Emergency Purchase of a Self Contained Breathing Apparatus (SCBA) compressor.

Purpose/Background:

The purpose of this case is to seek City Council approval for the emergency purchase of a Self Contained Breathing Apparatus (SCBA) compressor. The current compressor has recently failed after 17 years of service at Station 2. An SCBA compressor is a multi-stage high pressure compressor system used to compress ambient air for use in SCBA breathing air system that is worn by firefighters in the fire-safety and hazardous materials environments. The compressor also serves as the every day compressor for Station 2 maintenance and workshop needs. Staff obtained two (2) quotes for a replacement, with the lowest bid from Alex Air Apparatus for \$21,950.00 plus \$500,00 for delivery and installation.

Funding Source:

Funding for the purchase of the Self Contained Breathing Apparatus (SCBA) compressor will come from the Equipment Revolving Fund.

Recommendation:

Staff recommends the emergency purchase of the Self Contained Breathing Apparatus (SCBA) compressor in order to provide immediate delivery and replace the existing failed compressor.

Action:

Motion to adopt Resolution #20- 262 authorizing emergency purchase of Self Contained Breathing Apparatus (SCBA) compressor.

Attachments

Resolution #20-262

Jefferson Fire & Safety

Alex Air Apparatus

Form Review

Inbox

Kurt Ulrich

Form Started By: Matt Kohner

Final Approval Date: 11/05/2020

Reviewed By

Kurt Ulrich

Date

11/05/2020 02:44 PM

Started On: 11/04/2020 09:44 AM

Councilmember introduced the following resolution and moved for its adoption:

RESOLUTION #20-262

RESOLUTION AUTHORIZING PURCHASE OF SELF CONTAINED BREATHING APPARATUS (SCBA) COMPRESSOR FROM ALEX AIR APPARATUS

WHEREAS, the current SCBA compressor has recently failed after 17 years of service at Fire Station 2, and

WHEREAS, a SCBA compressor is a multi-stage high pressure compressor system used to compress ambient air for use in SCBA breathing air system used in the fire-safety and hazardous materials environments; and

WHEREAS, staff received two(2) quotes for a replacement Bauer Legacy 4stage, 10hp compressor ; and

WHEREAS, Jefferson Fire & Safety quoted \$24,745.00 plus \$1000.00 installation and Alex Air Apparatus quoted \$21,950.00 plus \$500.00 installation ; and

WHEREAS, the Fire Chief has requested that the purchase of a new SCBA compressor be considered an emergency purchase in order to provide for immediate delivery of a new compressor ; and

NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

- 1) Motion to adopt resolution #20-262 to authorize the immediate purchase a replacement SCBA compressor; effective on or near November 10, 2020.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 10th day of November 2020.

Mayor

ATTEST:

City Clerk



Quote PDF

Jefferson Fire & Safety, Inc
 7620 Donna Drive,
 Middleton, WI 53562
 1-800-697-3473
 www.jeffersonfire.com



QUOTE DETAILS

Quote #: _____ **Date:** Oct 6th, 2020 **Sales Rep:** Scott Bakos
 952-567-1927
 sbakos@jeffersonfire.com

CUSTOMER DETAILS

Ramsey Fire Department

CUSTOMER ADDRESS

Billing Address:
 7550 Sunwood Dr. NW
 Ramsey, MN 55303-5137

Shipping Address:
 7550 Sunwood Dr. NW
 Ramsey, MN 55303-5137

PURCHASE ORDER

SHIPPING OPTION

BEST WAY

SHIPPING INSTRUCTION

This Quote Does Not Include Shipping Costs

NOTES

THIS DOES NOT INCLUDE ELECTRICAL DISCONNECT OF OLD UNIT AND HOOK UP OF NEW UNIT. THIS IS TO BE PROVIDED BY FIRE DEPT.

ORDER DETAILS

QTY.	U/M	ITEM #	Dropship	Vendor Part #	TAX	UNIT PRICE	TOTAL
1	Each	BAU NS	No	BAU LEGACY-13-E3	0	\$24745.00	\$24745
BAUER LEGACY OPEN DESIGN COMPRESSOR. 13SCFM, 4 STAGE, 10HP, 3 PHASE, AUTO DRAIN, 6000PSI GRADE E PURIFICATION.							
1	Each	BAU NS	No	BAU VAC10H-E3	0	\$35775.00	\$35775
BAUER VERTICUS ENCLOSED DESIGN COMPRESSOR. 9.7SCFM, 4 STAGE, 7.5HP, 3 PHASE, AUTO DRAIN. 6000PSI GRADE E PURIFICATION							
1	Each	INSTALL LABOR	No	-	0	\$1000.00	\$1000
DELIVERY & INSTALLATION OF COMPRESSOR							

SUBTOTAL: \$ 61,520.00
TAX: \$ 0.00



1897 Co. RD 87 SE
 Alexandria, MN 56308
 Phone: 800-264-2320
 Fax: 320-763-9077
 Email: orders@alexairapparatus.co
 Website: www.alexairapparatus.c

QUOTE

Date	Customer PO
9/30/2020	

BILL TO
Ramsey Fire Department Ramsey, MN

SHIP TO
Alexandria Office

S.O. #	Promise Date	Terms	Sales Rep
		N30	Corey Thorson

QTY	STOCK ORDER	PART NUMBER	DESCRIPTION	PRICE (Each)	PRICE (Extended)
		LEGACY-13-E3	Bauer Legacy 13scfm, 4stage, 10hp, 3 phase compressor	\$21,950.00	\$0.00
			P2securus filter, automatic drain, interstage gauges		\$0.00
			6000psi Grade E purification,		\$0.00
			Open design compressor		\$0.00
		VAC10H-E3	Verticus 9.7scfm, 4stage, 7.5hp, 3phase compressor	\$32,691.00	\$0.00
			P2securus filter, automatic drain, interstage gauges		\$0.00
			6000psi Grade E purification		\$0.00
			Enclosed design compressor		\$0.00
					\$0.00
		Service	Delivery and installation of Unit	\$500.00	\$0.00
			To be installed by Alex Air Certified Technician		\$0.00
					\$0.00
			There will need to be an electrician available to disconnect old		\$0.00
			unit and connect new unit during install		\$0.00
			To be provided by FD		\$0.00
					\$0.00
			Shipping from factory not included		\$0.00
					\$0.00

*CUSTOMERS THAT HAVE NOT PROVIDED TAX EXEMPT FORMS WILL BE CHARGED APPLICABLE

SALES TAX

*F.O.B SHIPPING POINT

*THIS IS NOT AN INVOICE

SHIPPING:
 SUB: \$0.00
 TAX: \$0.00
TOTAL: \$0.00

 Authorized Signature of Approval

Meeting Date: 11/10/2020

By: Diana Lund, Finance

Information

Title:

Introduce Ordinance: #20-20: 2021 Schedule of Rates, Fees and Charges

Purpose/Background:

The city annually adopts a schedule of rates, fees and charges which outlines the fees that the city charges for such items as building construction, business licenses, utility rates and planning and zoning.

A listing of the schedule of rates, fees and charges is attached. Changes are noted on the far right column of the schedule. The majority of the changes from 2020 to 2021 are reflected in the utility section related to water rates.

Under Administrative Hearings/Citations/Abatements section a \$75.00 fee has been added for a 1st violation within 12 months related to zoning code violations.

In the Building Construction section, the only fee proposed to change is the Water Availability Charge (WAC) from \$1,365 to \$1,399 per address as recommended in the City's 2017 Comprehensive Water System Study.

Under the Miscellaneous Charges Section the only proposed increase is from \$3.00 to \$5.00 which is the fee established by State Statute.

The Professional Services section has only one change for Police Officer billable time to reflect the average 2021 personnel costs (salary and benefits) of Patrol Officers and Sergeants for when their time is billed out for respective events such as Game Fair.

The Utility Section has been updated to reflect the following increases: water usage rates and Connection Charges (both Sewer and Water) at 2.5% which are all per the 2017 Comprehensive Sewer and Water Studies. Water and sewer laterals are proposed to increase at 3% for residential and commercial construction based on the construction cost index since 2012. The proposed utility water rate ranks 7th lowest out of 27 cities (includes Blaine, Maple Grove, Coon Rapids, Eden Prairie, Anoka, Plymouth, Fridley) based on 2020 metro rates for like utilities.

Notification:

The Schedule of Rates, Fees and Charges are adopted annually by ordinance. A public hearing on the ordinance is normally held in November to allow the thirty-day waiting period and have the rates become effective January 1, 2021.

Observations/Alternatives:

Options:

1. Accept the rates as proposed.
2. Hold all rates constant with 2020 rates.
3. Recommend changes that arise from input at public hearing.

Recommendation:

Staff's recommendation is to Introduce Ordinance #20-20: 2021 Schedule of Rates, Fees and Charges

Action:

Introduce Ordinance #20-20: 2021 Schedule of Rates, Fees and Charges.

Attachments

Proposed 2021 Schedule of Rates, Fees & Charges

Ord #20-20 Rates & Fees

Form Review

Inbox

Kurt Ulrich

Form Started By: Diana Lund

Final Approval Date: 11/05/2020

Reviewed By

Kurt Ulrich

Date

11/05/2020 01:25 PM

Started On: 10/12/2020 12:00 PM

SERVICE OR LICENSE	SPECIAL NOTES	2020 Adopted	2021 Proposed
Administrative Hearings/Citations/Abatements			
Abatement: Administration Fee		25% of cost of abatement or 750.00, whichever is less	
Administrative Citation: Violations of 10 - Animals		25.00	
Administrative Citation: Violations of 26 - Rental Property		75.00	
	2nd offense w/in 12months	250.00	
	3rd offense w/in 12 months	500.00	
Administrative Citation: Violations of 30 - Public Nuisance	1st offense after failure to abate within 14 days	75.00	
	2nd offense w/in 12months	250.00	
	3rd offense w/in 12 months	500.00	
Administrative Citation: Violations of 42 - Dump Garbage/Refuse		75.00	
	2nd offense w/in 12months	250.00	
	3rd offense w/in 12 months	500.00	
Administrative Citation: Violations of 54 - Prohibited Parking		25.00	
Administrative Citation: Violations of 54 - Recreational Vehicles		75.00	
	2nd offense w/in 12months	250.00	
	3rd offense w/in 12 months	500.00	
Administrative Citation: Violations of 54 - Time Zone Parking		25.00	
Administrative Citation: Violations of 105 - Construction		75.00	
	2nd offense w/in 12months	250.00	
	3rd offense w/in 12 months	500.00	
Administrative Citation: Violations of 105 - Exterior Completion		75.00	
	2nd offense w/in 12months	250.00	
	3rd offense w/in 12 months	500.00	
Administrative Citation: Violations of 105 - No Permit		75.00	
	2nd offense w/in 12months	250.00	
	3rd offense w/in 12 months	500.00	
Administrative Citation: Violations of 105 - Property Identification		75.00	
	2nd offense w/in 12months	250.00	
	3rd offense w/in 12 months	500.00	
Administrative Citation: Violations of 113 - Sewage		75.00	
	2nd offense w/in 12months	250.00	
	3rd offense w/in 12 months	500.00	
Administrative Citation: Violations of 117 - Off Street Parking		25.00	
Administrative Citation: Violations of 117 - Signs		75.00	
	2nd offense w/in 12months	250.00	
	3rd offense w/in 12 months	500.00	
Administrative Citation: Violations of 117 - Landscaping		75.00	
	2nd offense w/in 12months	250.00	
	3rd offense w/in 12 months	500.00	
Administrative Citation: 1st Violation within 12 Months (Zoning Code Violations)			75.00
Administrative Hearing: Filing Fee		250.00	
Alcoholic Beverages			
3.2 beer off-sale		100.00	
3.2 beer on Sale		200.00	
Change of Name-Liquor Establishment		50.00	
Liquor license investigation fee	Corporate	500.00	
	Partnership	500.00	
	Sole-Proprietor	500.00	
Liquor off-sale		380.00	

SERVICE OR LICENSE	SPECIAL NOTES	2020 Adopted	2021 Proposed
	Tiered Payment System:		
	License Reduced by:		
	\$100-Meet State Statutes Conditions		
	\$100-Purchase/Utility ID Technology		
Liquor on-sale		5,000.00	
Liquor on-sale Sunday		200.00	
Wine license investigation fee	Corporate	500.00	
	Partnership	500.00	
	Sole-Proprietor	500.00	
Wine on-sale		1,000.00	
2 a.m. closing (optional)		300.00	
Amusement & Commercial Recreation			
Temporary Amusement Center (Carnivals, Circus)		250.00	
Lawful gambling investigation fee - New applicant only	Limit \$100.00	100.00	
Lawful gambling investigation fee - Single Events		50.00	
Fire Works Sales-Business selling only fireworks	Ordinance Adopted 6/11/02	350.00	
Fire Works Sales-Retail Sellers		100.00	
Parade Permit		100.00	
Special Events - Ex: Music festival, performing arts, parades, carnivals, 5K Runs	Including Clean Up Fees, Electrical Inspection Fees etc.	50.00 Application fee +License Fee to be	
		determined per event by CC + Staff Time @ 2.30*wage/hour	
All Other Misc. Permit/Licenses		50.00/Admin fee + Staff time @ 2.30/hr. if needed	
Building Construction			
Administrative Fee-Process Returned Bldg. Permits		25.00	
Basement Finish	Cover 3 trips	158.00	
Building permit		City of Ramsey Valuation Fee Schedule	
Electronic Plan Review-Application Fee	Building Permit only	20.00	
Electronic Plan Review-Application Fee	All Other Permits: Fire, Mechanical, Plumbing, Septic, Zoni	25.00	
Building plan check - Residential		50% of Bldg. Permit Fee	
Plan Review fee for Similar Plans		25% of Bldg. Permit Fee	
Plan Check Fee for Accessory Structures	Garages, Remodels, Additions, etc.	50% of Bldg. Permit Fee	
Plan Check Fee for changes, additions, or revisions to plans		53.00/hr./Minimum 1 hr. (Non-Refundable)	
Plan Check Fee for Commercial, Industrial & Apartments		50% of Bldg. Permit Fee (Non-Refundable)	
Plan Check Fee (Outside Contracted)	All administrative and Overhead Costs	Actual Costs (Non-Refundable)	
Air Conditioner Replacement		50.00	
Air Conditioner & Furnace Replacement (Combination)		50.00	
Deck Permit		50.00	
Demo Permit		50.00	
Driveway Escrow		2,000.00	
Water Heater Replacement		50.00	
Electrical Permit Fee	Per Tokle Contract	Electrical Permit Fee Schedule	
Erosion Control Escrow - New Construction	Returned when complete - not part of building code	1,500.00	
Fence Permit	Over 7 feet in height	City of Ramsey Valuation Fee Schedule	

SERVICE OR LICENSE	SPECIAL NOTES	2020 Adopted	2021 Proposed
Fence Permit	Less than 7 feet in height	10.00	
Fireplace Permit	Cover 2 trips	25.00	
Furnace Replacement		50.00	
Home Improvement Erosion Control Escrow		100 + Assessment Agreement	
Inspections-After Hours/Weekend	1.5 times hourly rate	80.00/hr./minimum 2 hr.	
Investigation Fee	Work Started Without a Permit	Equal to Permit Fee	
Gas Line (Residential)		50.00	
Landscape Escrow		5,000.00	
Lawn Irrigation-Residential	Cover 1 trip	25.00	
Lawn Irrigation-Commercial (Multi)		50.00	
Mechanical Permit-Residential	New Construction	150.00	
	Remodel/Addition	100.00	
Mechanical permit-Commercial	New Construction	150.00	
	Remodel/Addition	75.00	
Plan Check fee (65% of commercial mechanical permit)		50% of Comm Mech Permit fee (None-Refundable)	
Moving Structure Permit		50.00	
Moving Structure Permit Site Inspection		50.00	
Mobile Home Tie Down		50.00	
Mobile Home Water Hookup	1.25 hours	50.00	
Plumbing permit- Residential/Single Family	New Construction	100.00	
	Remodel/Addition	100.00	
Plumbing permit- Commercial	New Construction	250.00	
	Remodel/Addition	100.00	
Public Sidewalk Panels-Broken		Min \$500.00/Max \$1,500.00	
ReInspection Fees		80.00 per trip	
Re-Roofing/Shingling Permit-Residential	Cover 2 trips	75.00	
Re-Roofing/Shingling Permit-Commercial/Multi-Family		City of Ramsey Valuation Fee Schedule	
Re-Siding Permit	Cover 2 trips	75.00	
Replacement Windows (Residential)	City Required pre-inspection	75.00	
Septic system permit-residential		125.00	
Septic system permit-commercial		250.00	
Septic Tank Installation Permit-Residential		125.00	
Service Availability Charge (SAC)	[current MCES rates]	2,485.00	
Septic Tank Pumping Permit		15.00	
Sewer permit (Utility Connection)-Residential		25.00	
Sewer permit (Utility Connection)-Commercial		2% of Job Value/Minimum 258.00	
Site Evaluation Fee		50.00	
State Surcharge	Applies to all permit types	1.00	
	Per State of Minnesota Fee Schedule		
Swimming pool permit		100.00	
Vacuum Breaker Verification for Irrigation System (RPZ)-Residential		50.00	
Vacuum Breaker Verification for Irrigation System (RPZ)-Commercial	1.25 Hours	50.00	

SERVICE OR LICENSE	SPECIAL NOTES	2020 Adopted	2021 Proposed
Water Availability Charge (WAC) - per address	Per 2012 & 2017 Comprehensive Water System Study	1,365.00	1,399.00
Water Softener Permit-Residential		50.00	
Water permit (Utility Connection)-Residential		25.00	
Water permit (Utility Connection)-Commercial		2% of Job Value/Minimum 258.00	
Business			
Administrative Fee - Process Returned Business Permits		25.00	
Business Registration Certificate (BRC)	Original Application	30.00	
Contractor License	All Contractors	50.00	
Garbage & refuse hauler		50.00	
License Late Fee		15% of license fee/month	
Massage Establishment		100.00/annual	
Massage Establishment Owner/Manager Background Check Fee		50.00	
Massage Therapist		50.00/annual	
Massage Therapist Background Check Fee		35.00	
Pawn broker/Precious Metals		4,000.00	
Yearly Fee-Pawnbroker enters		\$250/per year all transactions	
Transaction Fee-State Entered		2.10/per transaction	
Pawn broker investigation fee	in-state investigation	500.00	
	out-of-state investigation	1,500.00	
Residential Rental - Multifamily	3-Year License	400.00/building	
Residential Rental - Single Family/Townhome	3-Year License	25.00/unit	
Second Hand Dealer		2,000.00	
Second Hand Dealer investigation fee	in-state investigation	500.00	
	out-of-state investigation	1,500.00	
Transient merchant/peddler/solicitor		100 + 35 per person backgrounded	
City Financing			
Interest rate charge - non-bonded programs		US Treas. rate + 2 points	
[bonded projects will be dependent upon interest rates being paid]		Bond Int rate + 2 points	
Equipment Chargeback			
All Equipment Rental		Per FEMA Schedule + Staffing	
Public Works Maintenance Worker		2.30 x wage/hr.	
Portable Toilet		Actual Cost	
Facility Use			
Antenna Lease - City Owned Property [PCS towers]	Per Individual Agreement	Per Individual Agreement	
Concession stand/pavilion/shelter- per day/event- residents	Includes 7.125% sales tax	See Facility Use & Rental Policy	
Concession stand pavilion/shelter- per day/event - non-res.	Includes 7.125% sales tax	See Facility Use & Rental Policy	
Key deposit - per building		55.00	
Softball/baseball field maintenance - youth teams	Includes 7.125% sales tax	12.00/game	
Football field maintenance - youth teams			
Large Fields	Includes 7.125% sales tax	47.00/week	
Soccer & Lacrosse field maintenance - youth teams			
Full Size (Large Field)	Includes 7.125% sales tax	37.00/week	
1/2 Size (Medium Field)	Includes 7.125% sales tax	20.00/week	
Small Field	Includes 7.125% sales tax	12.00/week	
Field Layout Field-Soccer, Football, Lacrosse		300.00	
Tennis court - non-residents	Includes 7.125% sales tax	20.00	
Basketball court - non-residents	Includes 7.125% sales tax	20.00	
Horseshoe pit - non-residents	Includes 7.125% sales tax	20.00	
Lighted ballfield Deposit Fee		100/individual	
		500/athletic organization	

SERVICE OR LICENSE	SPECIAL NOTES	2020 Adopted	2021 Proposed
Lighted ballfield - residents	Includes 7.125% sales tax	45.00/Per 3 hours and then 15.00/Each Additional hour	
Lighted ballfield - non-residents	Includes 7.125% sales tax	60.00/Per 3 hours minimum and then 20.00/Each Additional hour + 25.00 for lights	
Light - Used By ARAA			Actual Cost
General Field Use - Residents (football, soccer, softball,baseball)		45.00/Per 3 hours minimum and then 15.00/Each Additional hour	
General Field Use - Non-Residents (football, soccer, softball,baseball)		60.00/Per 3 hours minimum and then 20.00/Each Additional hour	
Athletic Field Marking Paint - ARAA			Actual Cost
Pact School Field Maintenance	5% Increase per year		600.00
Municipal Center per day/event - Refer to Facility Use and Rental Policy	See Ramsey Municipal Center Conference Room Rental & Park Facilities Rental Rates Schedule	See Ramsey Municipal Center Conference Room Rental & Park Facilities Rental Rates Schedule	
Coffee for Meetings			5.00/pot
Park Facilities - Refer to Facility Use and Rental Policy	See Ramsey Municipal Center Conference Room Rental & Park Facilities Rental Rates Schedule	See Ramsey Municipal Center Conference Room Rental & Park Facilities Rental Rates Schedule	
Miscellaneous			
Cemetery Plot (Trott Brook Cemetery)			900.00
Cemetery Plot Perpetual Care			400.00
Comp Plan CD			10.00
City Information-CD Format			10.00/disc
Kennel License (Administrative)	4th Dog on Property		30.00
Maps - City (28X 24)			5.00
Maps - Zoning (28 X 34)			15.00
Maps - Zoning/Address (34 X 44)			25.00
Maps-Zoning or Comp Plan (11 X 17)			6.00
Maps - Plat			10.00
Maps - Topo aerials per half section			20.00
Maps- Parks & Trails 11 X 17)			6.00
Maps - Parks & Trails (36 X 24)			15.00
Maps-Large Ward/Precinct	With Addresses		25.00
Notary Fee	State Statute		3.00
Photo copies - one-sided/duplexed	Up to 100 pages; over 100 pages plus staff time		0.25
Political office filing fee	State Statute		5.00
Public hearing publications			At City Cost
Returned check			35.00
Reissued Check Fee			15.00
Special assessment search			30.00
Planning and Zoning			
Comp Plan Amendment Application			200.00
Comp Plan Escrow			700.00
Conditional use escrow minimum			800.00
Conditional use permit application			200.00
Conditional use escrow min-environ sens			2,000.00

SERVICE OR LICENSE	SPECIAL NOTES	2020 Adopted	2021 Proposed
Conditional use permit app.-environ sens		200.00	
Conditional use permit annual inspection		75.00	
Dock permit		25.00	
Environmental Permit		200.00	
Environmental Escrow		400.00	
Grading Permit		200.00	
Industrial Revenue Bond - application		200.00	
Industrial Revenue Bond - escrow		1,000.00	
Interim Use Permit Escrow - Minimum		600.00	
Interim Use Permit Application		200.00	
Interim Use Annual Inspection Fee		75.00	
Park Dedication - Cash Contribution: Residential Unit	Including Townhomes & Apartment Units	3,500.00/dwelling unit	
Park Dedication - Cash Contribution: Residential Unit	Exceed 12+ units per acre	7.5% Discount/\$2,775.00	
Park Dedication - Cash Contribution: Residential Unit	Exceed 20+ units per acre	15% Discount/\$2,550.00	
Park Dedication - Cash Contribution: Commercial/Assisted Living Facilities		5,100.00/acre	
Park Dedication - Cash Contribution: Industrial		4,375.00/acre	
Park Dedication - Land Contribution: Residential	0 - 3.0 dwelling units per acre	10% of land	
	3.1 - 5.0 dwelling units per acre	15% of land	
	5.1 + dwelling units per acre	Add .5% for each over 5	
Park Dedication - Land Contribution: Commercial/Industrial/Assisted Living Facilities		5% gross land area	
Park Dedication - Land Contribution: Planned Unit Developments	(public open space/rec. uses-not including wetlands)	10% gross land area	
		2,800.00/dwelling unit	
Sidewalk Panel Replacement Escrow		1500.00	
Trail Development Fee - Cash Contribution: Residential Unit		1,000.00/dwelling unit	
Trail Development Fee - Commercial/Industrial/Assisted Living Facilities		1,300.00/acre	
Approval/Recording of Deeds:			
Abstract Property		County Fee+10.00/staff Time	
Torrens Property		County Fee+10.00/staff Time	
Rezoning application		200.00	
Rezoning escrow		400.00	
Sign permit application - permanent		25.00	
Sign permit - permanent		75.00	
Sign permit - temporary		25.00	
Site plan review application		200.00	
Site plan review escrow		800.00	
Special Council, HRA or Commission meeting fee		350.00	
Temporary Structure escrow		500.00	
TIF/Conduit Debt Application Fee		4,000.00/+legal fee deposit	
Vacation of easement application		200.00	
Vacation of easement escrow		300.00	
Variance application		200.00	
Variance escrow		400.00	
Zoning Permit		25.00	
Platting or Subdividing			
Address Charge		175.00	
Administrative (interior lot lines) escrow		225.00	
Administrative (interior lot lines) app.		200.00	
Major Subdivision escrow		1,500.00	
Major Subdivision application		300.00	
Minor subdivision escrow		900.00	
Minor subdivision application		200.00	
Registered land survey escrow		300.00	

SERVICE OR LICENSE	SPECIAL NOTES	2020 Adopted	2021 Proposed
Registered land survey application		200.00	
Professional Services			
Administrative Fee (Project Related Activity-Staff admin)	Consultants hired for project: Ex: Hakanson Anderson	3% of contractor bill	
Attorney - municipal		At City cost	
Attorney - non-municipal		At City cost	
City Staff Services		2.30 x wage/hr.	
Police Officer		93.00/hr	97.00/hr
Other professional /staff services		2.30 X wage/hr.	
Public Safety			
Alarms: False (3rd offense)	In a Calendar Year	75.00	
Alarms: False (4th offense)	In a Calendar Year	150.00	
Alarms: False (5th offense)	In a Calendar Year	225.00	
Alarms: False (6th offense)	In a Calendar Year	300.00	
ATV/Golf Cart Permit		10.00	
Car Seat Check -Non-Resident only		25.00	
Clandestine Drug Labs Remediation	Recovery of Public Costs	125% of Recovery Costs (Recovery Cost + 25% admin Fee)	
Copies: Audio/Video CD/DVD		20.00	
Copies: Incident/Investigative Reports	Per statute Ch163 sec 8 adopted 8/1/05	.25/page	
Copies: Statistical Summary Reports		5.00	
Dangerous Dog License		500.00	
Dog Impoundment fee		125.00+board	
Dog Impoundment fee - If Non Licensed		145.00 +board	
Dog Impoundment fee (2nd offense)	w/in 12 months (+50.00 each addtl w/in 12 mo)	175.00 +board	
Dog license - duplicate		5.00	
Dog license - male/female - 3 yr. license		20	
Dog license - male/female neutered/spayed - 3 yr. license		10	
Fire Prevention:			
Fire Suppression Fees:			
Permit		Valuation based/1997 UBC Fee Table 1-A	
		Minimum of 23.50	
Plan Review		65% of permit fee	
		5.00 Minimum State Surcharge	
Fire Alarm Fees:			
Permit		Valuation based/1997 UBC Fee Table 1-A	
		Minimum of 23.50	
Plan Review		65% of permit fee	
		5.00 Minimum State Surcharge	
Temporary Assembly/Tent Permit(Greater than 100 sq. ft.)		50.00/per tent	
Aboveground Tank Storage		100.00/per tank	
Underground Tank Storage		100.00/per tank	
Fuel Tank Storage Removal		100.00/per tank	
Daycare Inspection Fee		50.00	
Permit Re-Inspection Fee		50.00	
Fireworks/Pyrotechnic Display Permit		200.00	
Fireworks -Retail Sale Permit - Retailer only selling fireworks		350.00	
Fireworks-Retail Sale Permit-All other retailers		100.00	
Double Permit Fee		2 x normal permit fee	
Lock Box Fee:			

SERVICE OR LICENSE	SPECIAL NOTES	2020 Adopted	2021 Proposed
Surface Mount		Per Vendor Pricing	
Recessed Box		Per Vendor Pricing	
All Others		Actual cost + 10% Admin fee	
Fire Code Re-Inspection Fee		140.00	
Gas Line Hit By Contractors	Effective 4-1-10	300.00	
Open Burn Permits:			
Open burn permit application	Residential	25.00	
Open burn permit fire suppression escrow		500.00	
Open burn permit fire suppression services		300.00/hr. - min 300.00	
Illegal Burning	Effective 4-1-10	200.00	
Subsequent Site Evaluations		45.00/visit	
Fire Service Fee:			
Disaster Assistance		300.00/hr. per truck	
Ordinance Violations		300.00/hr.	
Victim Service Fee		300.00/hr. per truck	
Hunting Permit (Bow) per person		5.00	0.00
Hunting Permit (Shotgun) per person		5.00	0.00
Hunting Permit (Target Shooting) per person		5.00	0.00
Letter of Good Standing		10.00	
Photo CD		20.00/cd	
Photo Electrical Transfers		10.00/transmission	
Photo Reprints		5.00 min chg + 1.00/print	
Vehicle Lockout		20.00	
Vehicle Storage		10.00/day	
Reimbursements			
Mileage/personal vehicle (IRS allowable rate)	Always follow IRS adopted rate	.5754/mile	
Right-of-Way			
Permit Fee - Boring/Open Trench	Centerpoint Energy, City of Anoka & Connexus Energy Exempt from ROW fees if Franchise Fees are in effect	95.00+15.00/Driveway, 20.00/Road Closing + \$10,000 Bond per mile	
Boulevard Tree Replacement		700.00/Tree	
Permit Fee - Overhead		95.00\+.05/linear foot	
Street and Traffic Charges			
Developer contribution:			
street and/or traffic signs		Developer Installed	
Bituminous Paving/Patching		25.00/sq yard	
Culverts		Price + Tax	
Road Improvement Assessment	Per Special Assessment Policy	Per Policy	
Street Sweeping: Equipment Only:	Per FEMA Schedule of Equipment Rates	74.00/Hr	
Traffic Sign Replacement		200.00	225.00

SERVICE OR LICENSE	SPECIAL NOTES	2020 Adopted	2021 Proposed
Tobacco			
Cigarette Sales (vending and over-the counter)		250.00	
Cigarette Sales with age verification technology		150.00	
E-Cigarette Sales		250.00	
E-Cigarette Sales with age verification technology		150.00	
UTILITY RATES			
Assessment Charge for Unpaid Items Assessed	Administration fee	30.00/account	
Interest Rate on Unpaid Items Assessed		5.50%	
Penalty/late payment	Past due on current billing	10%	
Recycling Rates			
Residential Curb-side Program fee/qtr	Per Ace Contract	8.85/qtr	Per Negotiated Contract
Sewer Rates			
Residential/Single dwelling usage fee/qtr	Per 2016 Comprehensive Sewer Study	75.14	
Multi-family(apt) & commercial usage fee/qtr		75.14+3.13/1000 gal. in excess of 20,000 gal.	
Connection charge/res. equivalent	Per 2012 & 2017 Comprehensive Sewer System Study	1,243.00	1,274.00
Connection charge/acre comm./ind.	Per 2012 & 2017 Comprehensive Sewer System Study	3,743.00	3,837.00
Lateral Benefit Charges: Residential	Increased by construction cost index-Avg 3% since 2012	4,968.00	5,117.00
Lateral Benefit Charges: Commercial	Increased by construction cost index-Avg 3% since 2012	8,179.00	8,424.00
Street Lights			
Developer contribution:			
installation of Cobra street light		Per Connexus Energy Fee Schedule	
traditionaire subdivision street light (w/100 ft of wire)		Developer Installed	
New ROW COR Lights		Per Connexus Energy Fee Schedule	
street light O & M 3 year @ \$98/year		294/light	
Residential billing:			
urban subdivision street light rate per lot (>7/92)		9.01/qtr	
rural subdivision street light rate per lot		14.85/qtr	
priority street light rate per residential/apartment/ lot		1.37/qtr	

SERVICE OR LICENSE	SPECIAL NOTES	2020 Adopted	2021 Proposed
Storm Water Management Rates			
Residential		15.95/qtr	
Commercial		63.80/REU/qtr	
Trunk charge/res. equivalent	Increased by construction cost index-Avg 3% since 2012	487.00	502.00
Trunk charge/acre comm./ind.	Increased by construction cost index-Avg 3% since 2012	4,855.00	5,001.00
Water Rates			
Minimum usage fee/qtr	Per 2012 & 2017 Comprehensive Water System Study	41.10	42.15
Quarterly Rate Structure	Conservation Rates	\$41.10 Minimum	\$42.15 Minimum
		\$2.82 per 1,000 for 15,001-25,000	\$2.89 per 1,000 for 15,001-25,000
		\$2.91 per 1,000 for 25,001-40,000	\$2.98 per 1,000 for 25,001-40,000
		\$3.11 per 1,000 for 40,001-60,000	\$3.19 per 1,000 for 40,001-60,000
		\$3.33 per 1,000 for 60,001-99,000	\$3.41 per 1,000 for 60,001-99,000
		\$3.69 per 1,000 for 99,001-201,000	\$3.78 per 1,000 for 99,001-201,000
		\$4.40 per 1,000 for 201,001 and above	\$4.51 per 1,000 for 201,001 and above
Odd/Even Sprinkling Violations:	Effective day after Memorial Day thru Day after Labor Day		
	No Sprinkling between 10 am-8:00 pm		
First Violation		Written Warning & Registered Letter	
Second Violation		50.00	
Third Violation		100.00	
Fourth Violation		Water Service turned off	
Meter Replacement Admin Fee for Non-Compliance		75.00/qtr	
Installation of meter w/remote (Res & Commercial)		140.00	
5/8" Meter - Radio Read System		275.00	
1" Meter - Radio Read System		439.00	
1 1/2" Meter - Radio Read System		839.00	
2" Meter - Radio Read System (Irrigation Only)		1,039.00	
2" Compound Domestic Meter - Radio Read System		2,286.00	
3" Compound Domestic Meter - Radio Read System		3,004.00	
4" Compound Domestic Meter - Radio Read System		3,818.00	
Other than Meters Noted Above		Cost plus 5%	
Water shut off at Curbstop		100.00	
Water shut off at Curbstop	Winter Period of November 1 - April 1	150.00	
Townhouse Irrigation Meter Winterization		150.00	
Broken Hydrant Replacement - Summer		500.00	
Broken Hydrant Replacement - Winter		750.00	
Connection charge/res. equivalent	Per 2012 & 2017 Comprehensive Water System Study	1,852.00	1,898.00
Connection charge/res. Within Reimbursement Area	PER \$6M Agreement with 21st Century Bank		
Connection charge/acre comm./ind.	Per 2012 & 2017 Comprehensive Water System Study	6,766.00	6,935.00
Lateral Benefit Charges: Residential	Increased by construction cost index-Avg 3% since 2012	6,346.00	6,536.00
Lateral Benefit Charges: Commercial	Increased by construction cost index-Avg 3% since 2012	7,100.00	7,313.00

**ORDINANCE #20-20
CITY OF RAMSEY
ANOKA COUNTY
STATE OF MINNESOTA**

AN ORDINANCE ESTABLISHING PERMIT FEES, SERVICE CHARGES, AND VARIOUS OTHER FEES TO BE COLLECTED BY THE CITY OF RAMSEY.

The City of Ramsey ordains:

SECTION 1. AUTHORITY

This ordinance is adopted pursuant to and under the authority of the Charter of the City of Ramsey.

SECTION 2. PURPOSE

Per S701.10 (Fees) the purpose of this Ordinance is to establish the Permit Fees, service Charges, and Other Fees that will be collected by the City in year 2021. This is known as the Schedule of Rates, Fees and Charges.

SECTION 3. SCHEDULE

The attached permit fees and service charges are hereby established for the year 2021.

SECTION 4. EFFECTIVE DATE

This Ordinance becomes effective 30 days after its passage and publication, subject to City Charter Section 5.04.

PASSED by the City Council of the City of Ramsey, Minnesota the 24th day of November, 2020.

Mayor

ATTEST:

City Clerk

Introduction date: November 10, 2020
Posting dates: November 10 – November 24, 2020
Adoption date:
Publication date:
Effective date:

Meeting Date: 11/10/2020

By: Tim Gladhill, Community Development

Information

Title:

Adopt Resolution #20-265 Approving Sanitary Sewer Maintenance and Rain Garden Agreement for River Walk Village; Case of D & N Management, LLC

Purpose/Background:

The purpose of this case is to review a request by D & N Management, LLC to revise previous approvals for the sanitary sewer maintenance for River Walk Village. This case has been updated with final documents. Regardless of policy direction per the request of the Developer for the City to take on maintenance obligations, the attached agreement still needs to be approved.

When the River Walk Village project was approved, the sanitary sewer plans included a small, private forcemain. due to the . The forcemain was necessary because the topography of the site did not allow wastewater to gravity flow to connect with the existing sanitary sewer. This forcemain is much smaller (2-inch diameter) than the City's existing forcemains, so approval was contingent upon maintenance by the individual homeowners/HOA. The City does not have the appropriate equipment to remove any blockages from the small diameter pipe. The intent of this compromise was for the homeowners to be responsible for regular maintenance of the line.

Additionally, the Developer proposed a rain garden to meet the requirements of the Lower Rum River Watershed Management Organization. A requirement of that was also to enter into a maintenance agreement. Both obligations have been included in a single agreement.

Notification:

Notification is not required.

Observations/Alternatives:

Alternatives:

1. Adopt Agreement as Drafted - Follow original approval making individual homeowners responsible for regular maintenance.
2. Approve request to make City responsible for maintenance [agreement would not be required].
3. Compromise and make Homeowners responsible for regular maintenance and removal of any blockages and make City responsible for replacement of pipes as needed [agreement must be amended to reflect division of obligations].

Funding Source:

The Applicant is responsible for all costs associated with processing the request.

Recommendation:

Staff recommends that the City approve the final version of the Maintenance Agreement and deny the request for City to agree to regular maintenance. This is consistent with the original direction of making homeowners responsible for maintenance of this line. Documentation clearly listed out this requirement. That being said, Staff will support either policy direction of the City Council.

Action:

Motion to adopt Resolution #20-265 approving final version of Maintenance Agreement and approving/denying request for City to agree to regular maintenance of force main.

Attachments

Site Plan

Maintenance Agreement

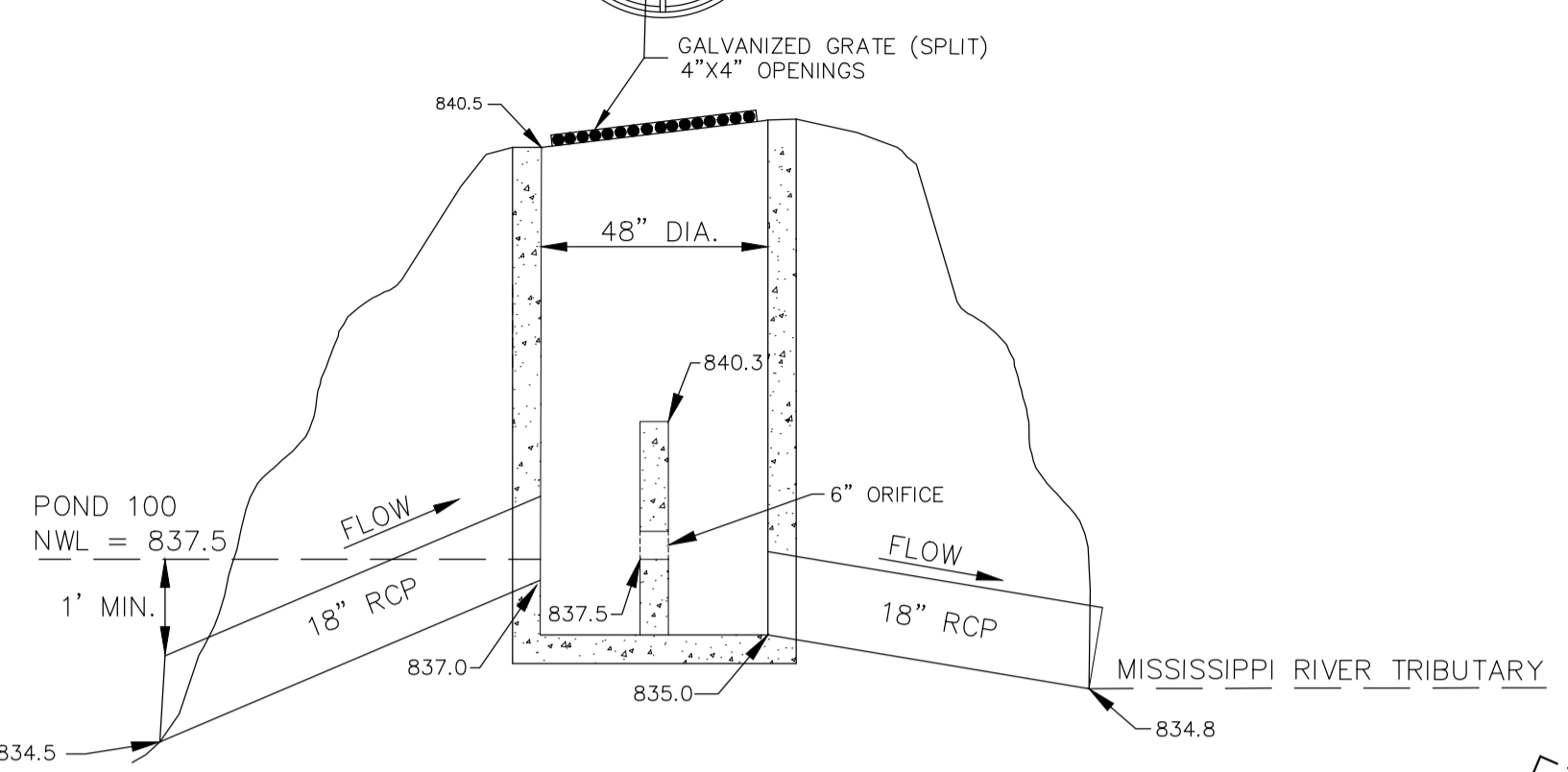
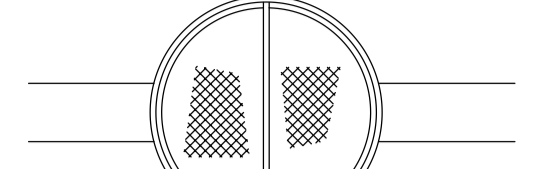
Resolution #20-265

Form Review

Inbox	Reviewed By	Date
Kurt Ulrich	Kurt Ulrich	11/05/2020 02:20 PM
Form Started By: Tim Gladhill		Started On: 10/22/2020 02:50 PM
Final Approval Date: 11/05/2020		

OUTLET CONTROL STRUCTURE

POND 100 (NOT TO SCALE)



SITE PLAN LEGEND

Table with columns for EXISTING and PROPOSED symbols. Includes items like LIGHT POLE, SANITARY MANHOLE, MISCELLANEOUS SIGN, EXISTING SPOT ELEVATION, EXISTING TREE, TELEVISION BOX, FIRE HYDRANT, FLUSHING HYDRANT, GATE VALVE, CLEANOUT, ELECTRIC BOX, GAS METER, CATCH BASIN, RAIN GUARDIAN, ELECTRIC METER, TELEPHONE BOX, UTILITY POLE, FLARED END SECTION (W/ RIP RAP), STORM MANHOLE, BREAKAWAY BOLLARD SERVICE, SOIL BORING/TEST HOLE, RETAINING WALL, WATERMAIN, SANITARY SEWER, FORCEMAIN, STORM SEWER, PROPERTY LINE, SETBACK LINE, CURB, WATER LINE, WETLAND, DITCH, TREE LINE, UNDERGROUND TELEPHONE, UNDERGROUND ELECTRIC, UNDERGROUND GAS, UNDERGROUND FIBEROPTIC, FENCE, OVERHEAD ELECTRIC, CONCRETE SURFACE, BITUMINOUS SURFACE, MAINTENANCE ACCESS, INFILTRATION BASIN, FEMA FLOODWAY, FEMA FLOODPLAIN.

U.S. HWY 10 / HWY 169

OUTLET F

Sanitary Sewer Force Main

Rain Garden

OUTLET A

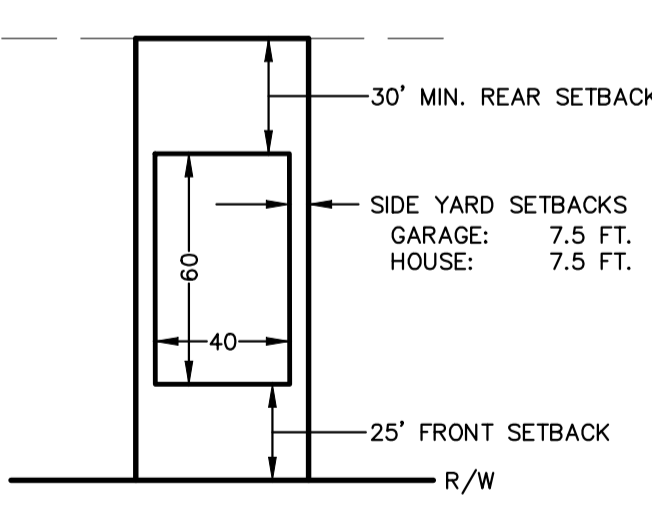
OUTLET B

OUTLET D

OUTLET

RIVLYN AVE. NW

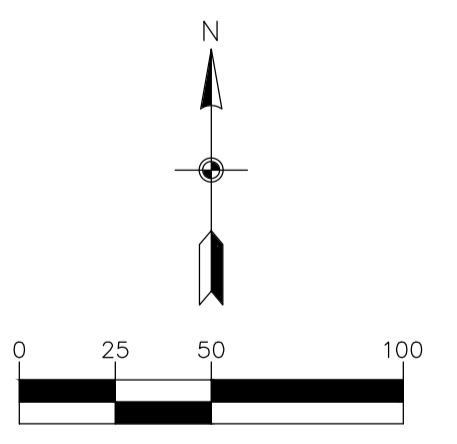
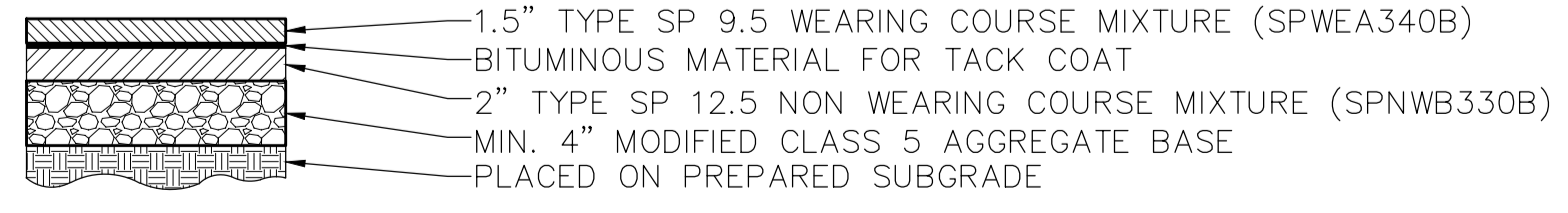
50' LOT DETAIL



LOTS 1-2, BLK 1 & LOT 1, BLK 2
TYPICAL SERVICES SHALL BE:
WATER: 1" COPPER TYPE K
SEWER: 4" PVC SDR 26
SERVICES TO BE BURIED AT 7.5' MINIMUM DEPTH
CURB STOP TO BE PLACED AT THE R/W

LOTS 3-7, BLK 1, LOT 2 BLK 2 & LOTS 1-5, BLK 3
* TYPICAL SERVICES SHALL BE:
WATER: 1" COPPER TYPE K
SEWER: 1-1/4" HDPE IPS SDR 11
DHO71-57 INDOOR GRINDER PUMP
SERVICES TO BE BURIED AT 7.5' MINIMUM DEPTH
CURB STOP AND CHECK VALVE TO BE PLACED AT THE R/W
(SEE STAINLESS STEEL LATERAL ASSEMBLY DETAIL B)

STREET SECTION



BENCHMARK table with 2 entries:
1. MNDOT GSD Station #833, Named "Lumber MNDT RM 1", Elev. = 859.11
2. MNDOT GSD Station #775, Named "E 257", Elev. = 863.67



3890 Pheasant Ridge Drive NE, Suite 100
Blaine, MN 55449
Phone: (763) 489-7900
Fax: (763) 489-7959
www.carlsonmccain.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Print Name: Brian J. Krystofiak, P.E.
Signature: *Brian J. Krystofiak*
Date: 1/25/19 License #: 25063

Drawn: ADB
Designed: BJK
Date: 1/25/19

Revisions:
1. 4/4/19 per City Comments
2. 5/16/19 per City Comments
3. 7/26/19 per City Comments

VILLAGE BANK
9298 Central Avenue NE
Blaine, MN 55434

RIVER WALK VILLAGE
Ramsey, Minnesota

PRELIMINARY SITE & UTILITY PLAN

(Reserved for Recording Data)

PRIVATE SANITARY SEWER LINE AND RAIN GARDEN MAINTENANCE AGREEMENT

THIS AGREEMENT (this “Agreement”) made this _____ day of _____, 2020, by and between the **CITY OF RAMSEY**, a Minnesota municipal corporation (hereinafter referred to as the “City”) and **N & D MANAGEMENT, LLC**, (hereinafter referred to as the “Owner”).

Recitals

1. The Owner is the fee owner of certain real property situated in the City of Ramsey, County of Anoka, State of Minnesota legally described as:

Lots ___ and ___, Block _____, subject to easements of record, Anoka County, Minnesota (the “Property”).
2. The Owner received final plat approval from the City to subdivide the Property to be known as River Walk Village (the “Plat”) on _____, 2019.
3. The Owner has constructed a private sanitary sewer and forcemain in public right of way benefitting Lots ___ and ___ of the Plat, (“Private Sanitary Sewer Line”) within the boundaries of the Plat as shown on Exhibit ___, attached hereto.
4. The Owner has constructed a private rain garden (the “Rain Garden”) to meet the requirements of the Lower Rum River Watershed Management Organization,
5. City approved the Plat conditioned on the requirement that the Owner enter into an agreement for the maintenance of the Private Sanitary Sewer Line for the Plat.
6. The City and Owner desire to set forth their understanding with respect to the construction, repair and maintenance of the Sanitary Sewer Line and Rain Garden and the

responsibility relating to the costs of the repair and maintenance of the Sanitary Sewer Line and Rain Garden.

NOW THEREFORE, in consideration of the foregoing facts and circumstances, and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties hereto agree as follows:

1. Recitals Incorporated. Recitals above are hereby incorporated into this Agreement.

2. Construction of the Private Sanitary Sewer Line and Rain Garden. The Developer shall construct the Private Sanitary Sewer Line according to the Plans and repair and maintain the Private Sanitary Sewer Line at its sole cost and expense.

3. Maintenance of the Private Sanitary Sewer Line shall include, but not be limited to:

- (i) Quarterly inspections of all manholes and sanitary sewer lines with one in each the spring and fall. Such inspections shall be documented in a maintenance log retained by the Owner and submitted to the City upon request; and
- (ii) Bi-annual inspection reports and certifications by a professional engineer (provided by Owner) that the Private Sanitary Sewer Line is functioning in accordance with the approved plans and have maintained the proper operation of according to the manufacturer's operation and maintenance guidelines and City standards. Such inspections and reports shall include actual visual inspection of the inlets, outlets, chambers, and feed connectors through either access portals, manholes, or CCTV. Copies of the quarterly and bi-annual inspection reports shall be provided to the City within 30 days of their preparation.

If, as a result of any inspection by the Owner or City staff, it is reasonably determined that the Private Sanitary Sewer Line (i) have not been maintained; or (ii) are not functioning as originally designed and intended; or (iii) are in need of repair, the Owner agrees to restore the Private Sanitary Sewer Line so that they function as they were originally designed and intended pursuant to the Plans, subject to the review and approval of the City, which approval shall not be unreasonably withheld or delayed.

The Owner, as present owner of the Property, for itself and its respective successors and assigns agree to be solely responsible for the repair and maintenance of the Private Sanitary Sewer Line and shall bear all costs of such maintenance. If the Property is sold, the owners of the Property shall be equally responsible for the maintenance of the Private Sanitary Sewer Line. If the Owner does not undertake the necessary maintenance within thirty (30) days of notification by the City, the City may contract such maintenance, and the costs reasonably incurred by the City for contracting such maintenance shall be reimbursed to the City by the Owner and/or its successors and assigns.

4. Maintenance of Rain Garden. The Owner shall maintain the Rain Garden in accordance with Lower Rum River Watershed Management Organization.

5. Assessment. The Owner, for itself and respective successors and assigns, hereby waives any statutory right to contest any assessment by the City for its costs of maintenance/repair as permitted herein, on the basis of the benefit to portions of the Property.

6. Terms and Conditions. The terms and conditions of this Agreement shall be binding upon, and shall insure to the benefit of, the parties hereto and their respective successors and assigns.

7. This Agreement shall be recorded in the Anoka County, Minnesota Recorder's Office. It shall be the Developer's responsibility to pay the applicable recording fees.

IN WITNESS WHEREOF, the parties hereto have caused this document to be executed as of the day and year first above written.

[Signature Page Follows]

CITY OF RAMSEY:

By: _____
Its Mayor

By: _____
Its City Administrator

STATE OF MINNESOTA)
)ss.
COUNTY OF _____)

The foregoing instrument was acknowledged before me this _____ day of _____, 2020, by John LeTourneau and by Kurt Ulrich, respectively the Mayor and City Administrator of the City of Ramsey, a Minnesota municipal corporation, on behalf of the corporation and pursuant to the authority granted by its City Council.

Notary Public

Exhibit A
Plan of Private Sanitary Sewer Line

Councilmember _____ introduced the following resolution and moved for its adoption:

RESOLUTION #20-265

**RESOLUTION APPROVING SANITARY SEWER AND RAIN GARDEN
MAINTENANCE AGREEMENT FOR RIVER WALK VILLAGE**

WHEREAS, in 2018, the City approved the plat known as River Walk Village; and

WHEREAS, a contingency of approval was entering into a maintenance agreement for maintenance of the private sanitary sewer force main in public right of way as well as the maintenance of the private rain garden to ensure compliance with Lower Rum River Watershed Management Organization; and

WHEREAS, construction of the project began at the end of 2018, starting with the remediation of contaminated soils; and

WHEREAS, recording of this agreement was delayed until Certificates of Occupancy and the project is now substantially complete and ready for Certificates of Occupancy.

NOW THEREFORE, BE IT RESOLVED BY THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

- 1) That the City Council hereby approves the Sanitary Sewer and Rain Garden Maintenance Agreement; subject to City Attorney Review.

That the motion for the adoption of the forgoing resolution was duly seconded by Councilmember _____, and upon vote being taken thereon, the following voted in favor:

and the following voted against the same:

and the following abstained:

and the following were absent:

Existing Vacancy

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 10th day of November, 2020.

Mayor

ATTEST:

City Clerk

Meeting Date: 11/10/2020

Submitted For: Grant Riemer, Engineering/Public Works

By: Grant Riemer, Engineering/Public Works

Information

Title:

Adopt Resolution #20-254 Accepting Bids and Awarding Contracts for Bid Package #2 for the New Public Works Facility

Purpose/Background:

Purpose:

The purpose of this case is to adopt Resolution # 20-254 accepting bids and awarding contracts for Bid Package #2 for the New Public Works Facility. The first phase of construction was previously approved and is already underway.

Background:

The City of Ramsey has long planned for a new public works facility and added it to our Capital Improvement Plan (CIP) in 2006. The land was secured in 2008 by the purchase of the former Bury-Carlson site. That purchase was finalized in 2013 and the BKV Group was hired in 2015 to perform a space needs study. This study would be used to determine the size of facility needed to serve the Public Works Department's needs for now and into the future. The size of the current facility is 32,000 sq.ft, which consists of 3 separate buildings with offsite equipment storage spread out over 3 additional sites. The new facility would be approximately 93,000 square feet and is designed to house all Public Works functions and equipment. It is anticipated that the existing buildings will be renovated at a future date and re-used as storage facilities for Public Works and the Police Department, with the current building housing the Utilities Division and Sign Shop to be used as future recycling center.

From the mid 1980's until 1995, the Public Works Department operated out of two pole barns on Highway 47 next to the old Town Hall Building. At that time, the Public Works Department had a total staff of 7 people for all three divisions (Parks Division, Streets Division and Utilities Division). Ramsey's population was 12,400 in 1995. In 1995, the Public Works Department moved into its present location and currently houses 19 full time staff with 11-14 seasonal employees during the summer months.

Ramsey's current population estimate is 27,400. Additionally, Staff works out of a temporary office trailer that is showing significant signs of deterioration. This proposed facility not only improves operational efficiencies, the office space is in urgent need of replacement to ensure a safe and healthy working condition for Public Works Employees and avoid operating in a facility that could have potential issues with our Property Maintenance Code.

The current Public Works Facility was actually a series of purchases of existing buildings over a series of several years. None of the current buildings on the campus were constructed by the City. The original purchase represented the size needs at the the time but was not designed for Public Works Operations. In 2005, the Public Works Department added a temporary construction trailer to hold our offices and lunch room with the intent that this would be a stop gap measure until a new facility was constructed. After 15 years, the Public Works Department can no longer operate out of this location efficiently or safely.

Prior to bidding, the estimated cost for the new facility was \$18.85M for the base bid with an alternate bid for \$1.26m to add space to bring the facility to eventual full design build out. The new Public Works Facility is being designed to serve the needs of the City of Ramsey for the next 30-50 years with space to adjust for needs beyond that date. At the September 8th council meeting council approved bid package # 1, plus the alternate bid for expanded vehicle storage for a total cost of \$6,580,299.00 Construction on the new facility began in October of

2020 and will be substantially completed in September of 2021.

Notification:

Complete digital Bidding Documents were available online at QuestCDN and also posted in the Anoka Union Herald for potential bidders. Paper documents were also available for viewing at RJM Construction, the City's Construction Manager on this project.

Sealed bids were received at the Ramsey City Hall, 7550 Sunwood Drive NW, Ramsey, MN 55303 until 1:00 p.m., Wednesday, October 28th, 2020 at which time bids were publicly opened, reviewed, and read aloud. Bidders were also able to join the bid opening online. Staff is excited to report that there was great interest in the project in that a total of 183 bids and quotes were received for the 15 bid categories and 17 quote categories.

Observations/Alternatives:

The new PW facility consists of two components at this time,

- 1. Main Structure
- 2. Alternate # 1 for constructing future expansion today

The reason the addition is being considered for construction at this time is, because of the need for large vehicle storage space. The addition is approximately 12,300 square feet in size. As designed, the main structure will be close to capacity in regard to large vehicle storage.

With the anticipated growth in the next few years, the City will need to add several large vehicles to keep up with the demand for services. The original design included this space to accommodate this growth, but was scaled back for budgetary reasons. Staff feels the current bidding climate is conducive to adding this addition with the original construction of the new facility. If the addition is constructed now, savings will be realized in mobilization charges, material and labor costs. It's also estimated that to add the space in the future, the future project would include higher costs to re-certify the architectural plans, a probable increase in bonding rates, inflationary costs, changes in building code and a 6 month disruption of the Public Works Facility due to construction.

After the bids were tabulated, the base bid for Bid Pack # 2 came in at **\$1,427,859.00 below** the original estimate. A table with bid comparisons is attached to this case. Bid comparisons for Alternate #1 were harder to illustrate, because not all bids had original estimates provided. Overall though, alternate #1 came in at **\$292,038.00 below** the original overall estimate of \$1,266,950.00.

Overall cost for the project is now estimated at \$ **17,338,423.00**. A summary sheet illustrating the final estimated costs for both the Base bid and the Alternate #1 are attached. That is over one million dollars less than original estimate for the overall facility.

Note: there has been a change in bid category 10C Lockers. The original low bidder, the Locker Guy, did not meet the specifications of the bid and therefore was rejected by our construction manager. The next low bidder, Olympus, was selected to install the lockers on the project. This change resulted in a \$20,088.00 increase in that category.

Funding Source:

The funding source is a combination of the Facility Fund, Landfill Fund, Water Utility Fund, Sewer Utility Fund, Street Light Utility Fund, Storm Drainage Utility Fund and CIP Bond.

Recommendation:

Staff recommendation is to accept bids and award contracts for Bid Pack #2 and Alternate # 1 as follows:

BID CATEGORY	AWARD AMOUNT
6A-Carpentry Materials and Install Ebert Construction Co. 23350 County Road 10 Corcoran, Mn 55357	Base Bid: \$152,700.00 Alternate Bid # 1 \$1,700.00

7B-Architectural Metal Panels Atomic Architectural Sheet Metal 3207 Labore Road St. Paul, Mn 55110	Base Bid: \$220,200.00 Alternate Bid # 1 \$4,000.00
7C-EPDM Roofing Granite City Roofing PO Box 1482 St. Cloud, Mn 56302	Base Bid: \$767,000.00 Alternate Bid # 1 \$107,000.00
8A-Doors, Frames And Hardware-Materials Bredemus Hardware Company 1285 Sylvan Street St. Paul, Mn 55117	Base Bid: \$111,795.00 Alternate Bid # 1: \$0.00
8D-Sectional Overhead Doors Twin City Garage Door Company 5601 Boone Ave North New Hope, Mn 55428	Base Bid: \$196,650.00 Alternate Bid # 1: \$11,250.00
8E- Aluminum Framed Storefronts and Ent. Top Lite Contract Glazing 15548 260th St Lindstrom, Mn 55045	Base Bid: \$143,000.00 Alternate Bid # 1: \$0.00
9A-Gypsum Assemblies RTL Construction Inc 4000 Valley Industrial Blvd South Shakopee, Mn 55379	Base Bid: \$243,733.00 Alternate Bid # 1: \$0.00
9E-Painting Swanson & Youngdale Inc. Decorating 6565 West 23rd Street Mpls, Mn 55426	Base Bid: \$165,781.00 Alternate Bid # 1 \$0.00
11B- Vehicle Fueling Station Pump and Meter Service, Inc 11303 Excelsior Blvd Hopkins, Mn 55343	Base Bid: \$292,572.00 Alternate Bid # 1: \$0.00
21A- Fire Suppression Systems Brothers Fire & Security 9950 E US 10 Elk River, Mn 55330	Base Bid:\$147,800.00 Alternate Bid #1:\$10,500.00
22A-Plumbing Systems Klamm Mechanical Contractors, Inc 12409 County Road 11 Burnsville, Mn 55337	Base Bid: \$944,250.00 Alternate Bid # 1: \$97,000.00
23A- HVAC Systems Architect Mechanical 2917 Anthony Ln St. Anthony, Mn 55418	Base Bid: \$1,216,000.00 Alternate Bid: \$67,464.00
32C-Fencing and Gates Midwest Fence and Manufacturing 525 Villaume Ave St. Paul, Mn 55075	Base Bid: \$313,330.00 Alternate Bid # 1 \$0.00

26A-Electrical Systems Wolf River Electric Company 101 Isanti Parkway NE Isanti, Mn 55040	Base Bid:\$792,196.00 Alternate #1:\$58,086.00
QUOTE CATEGORY	
1C-Final Cleaning Midwest Specialty Maintenance 8856 Zealand Ave N Brooklyn Park, Mn 55445	Base Bid: \$49,247.00 Alternate # 1: \$2,800.00
3C-Polished and Sealed Concrete Donlar Construction Company 550 Shoreview Park Road St. Paul, Mn 55126	Base Bid: \$81,225.00 Alternate # 1: \$6,100.00
7D-Joint Sealants WCS1 LLC PO Box 156 Fountain City, WI	Base Bid:\$9,448.00 Alternate # 1: \$0.00
8B-Overhead Coiling Doors Twin City Garage Door Company 5601 Boone Avenue North New Hope, MN 55428	Base Bid: \$17,000.00 Alternate #1: \$0.00
8C-Accordion Security Doors Won-Door Corporation 1631 James Road Saint Paul, MN 55118	Base Bid: \$20,273.00 Alternate #1: \$0.00
8F-Translucent Wall Panels W.L. Hall Co. Alternate #1: \$5,814.00 530 15th Avenue South Hopkins, MN 55343	Base Bid: \$84,737.00 Alternate #1: \$5,814.00
9B-Tiling Tim's Construction Group, LLC 15345 Sodium Street NW Ramsey, MN 55303	Base Bid: \$35,882.00 Alternate #1: \$0.00
9C-Acoustical Ceilings Acoustic Associates Inc. 1250 Zane Avenue North Minneapolis, MN 55422	Base Bid: \$32,500.00 Alternate #1: \$0.00
9D-Carpet and Resilient Base Henricksen 1101 W River Parkway Suite 100 Minneapolis, MN 55415	Base Bid: \$16,572.00 Alternate #1: \$0.00
10A-Signage Spectrum Sign Systems 8786 W 35W Service Drive NE Blaine, MN 55449	Base Bid: \$16,431.00 Alternate #1: \$0.00
10B-Specialties Materials Construction Supply, Inc. 6121 Excelsior Blvd Minneapolis, MN 55416	Base Bid: \$15,783.00 Alternate #1: \$228.00
10C-Lockers Olympus 6560 Edenvale Blvd Eden Prairie, Mn 55346	Base Bid: \$52,713.00 Alternate #1: \$0.00

10D-Operable Partitions Acoustics Associates Inc. 1250 Zane Avenue North Minneapolis, MN 55422	Base Bid: \$18,089.00 Alternate #1: \$0.00
11A-Vehicle Wash	Allowance: \$75,000.00 **Note: Allowance will be held for this quote category until further scope review can occur with bidders.
12A- Window Treatments	Allowance: \$45,000.00 **Note: No quotes were received for this quote category. Allowance will be held for buyout of this quote category
12B – Casework Materials Distinctive Cabinet Design 30 2nd Avenue West Foley, MN 56329	Base Bid: \$58,672.00 Alternate #1: \$0.00
32D-Landscaping Peterson Companies 8326 Wyoming Trail Chisago City, MN 55013	Base Bid: \$68,219.00 Alternate #1: \$0.00

Alternatives

1. Adopt Resolution #20-254 accepting bids and awarding contracts for Bid Package #2 with a base bid amount of \$6,407,901.00 and including the Alternate Bid #1 in the amount of \$532,974 for a total of \$6,940,875.00

Action:

Motion to adopt Resolution #20-254 accepting bids and awarding contracts for Bid Package #2 with a base bid amount of \$6,407,901.00 and including the Alternate Bid #1 in the amount of \$532,974 for a total of \$6,940,875.00

Attachments

[Bid Pack # 2 Summary](#)

[Bid Pack # 2 Comparison](#)

[Award Recommendation](#)

[Resolution # 20-54](#)

Form Review

Inbox	Reviewed By	Date
Tim Gladhill	Tim Gladhill	11/05/2020 07:50 AM
Diana Lund	Diana Lund	11/05/2020 08:40 AM
Kurt Ulrich	Kurt Ulrich	11/05/2020 01:51 PM
Form Started By: Grant Riemer		Started On: 10/27/2020 09:09 AM
Final Approval Date: 11/05/2020		



ESTIMATE DATE:	October 30, 2020
PROJECT:	City of Ramsey Public Works
ARCHITECT:	Oertel
DRAWING DATE:	September 29, 2020

DESCRIPTION	Sub Contractors	Final Estimate	\$/sf 86,018
Construction Costs			
1A - Special Inspections	City of Ramsey	\$52,800	\$0.61
1B - Surveying	Hakanson Anderson	\$22,160	\$0.26
1C - Final Cleaning	Midwest Specialty Maintenance	\$49,247	\$0.57
3A - Cast-in-Place Concrete	Northland Concrete and Masonry	\$1,194,000	\$13.88
3B - Precast Structural & Architectural Concrete	Moline	\$1,379,458	\$16.04
3C - Polished and Sealed Concrete	Donlar	\$81,225	\$0.94
4A - Unit Masonry	Steenburg Watrud	\$213,240	\$2.48
5A - Structural Steel/Misc. Metals - Material	Thorneburg Steel	\$754,161	\$8.77
5B - Structural Steel & Misc. Metals - Erection	MetCon Construction	\$249,000	\$2.89
6A - Carpentry Materials and Install	Ebert Construction	\$152,700	\$1.78
7A - Waterproofing & Weatherproofing	Herzog Coatings	\$41,000	\$0.48
7B - Architectural Metal Panels	Atomic Architectural Sheet Metal	\$220,200	\$2.56
7C - EPDM Roofing	Granite City Roofing	\$767,000	\$8.92
7D - Joint Sealants	WCS1 LLC	\$9,448	\$0.11
8A - Doors, Frames and Hardware - Materials	Bredemus Hardware	\$111,795	\$1.30
8B - Overhead Coiling Doors	Twin City Garage Door	\$17,000	\$0.20
8C - Accordion Security Doors	Won Door	\$20,273	\$0.24
8D - Sectional Overhead Doors	Twin City Garage Door	\$196,650	\$2.29
8E - Aluminum Framed Storefronts & Entrances	Top Lite Contract Glazing	\$143,000	\$1.66
8F - Translucent Wall Panels	W.L. Hall	\$84,737	\$0.99
9A - Gypsum Board Assemblies	RTL Construction	\$234,733	\$2.73
9B - Tiling	Tims Construction Group	\$35,882	\$0.42
9C - Acoustical Ceilings	Acoustic Associates	\$32,500	\$0.38
9D - Carpet and Resilient Base	Henricksen	\$16,572	\$0.19
9E - Painting	Swanson and Youngdale	\$165,781	\$1.93
10A - Signage	Spectrum Signs	\$16,431	\$0.19
10B - Specialties Materials	Construction Supply Inc.	\$15,783	\$0.18
10C - Lockers	Olympus	\$52,713	\$0.61
10D - Operable Partitions	Acoustic Associates	\$19,497	\$0.23
11A - Vehicle Wash Equipment	RJM Allowance	\$75,000	\$0.87
11B - Vehicle Fueling System	Pump and Meter Service	\$292,572	\$3.40
11C - Loading Dock Equipment	Star Equipment	\$11,695	\$0.14
12A - Window Treatments	RJM Allowance	\$45,000	\$0.52
12B - Casework Materials	Distictive Cabinet Design	\$58,672	\$0.68
14A - Vehicle Lifts	Midwest Lift Works	\$281,054	\$3.27
21A - Fire Suplestion Systems	Brothers Fire and Security	\$147,800	\$1.72
22A - Plumbing Systems	Klamm Mechanical Contracts	\$944,250	\$10.98
23A - HVAC Systems	Architect Mechanical	\$1,216,000	\$14.14
26A - Electrical Systems	Wolf River Electric	\$792,196	\$9.21
31A - Earthwork	MUE	\$636,549	\$7.40
32A - Asphalt Paving	Northland Paving	\$619,000	\$7.20
32B - Concrete Paving	Stapf Concrete Construction	\$124,900	\$1.45
32C - Fences and Gates	Midwest Fence	\$313,330	\$3.64
32D - Landscaping	Peterson Companies	\$68,219	\$0.79
33A - Utilities	Jacon	\$503,809	\$5.86
41A - Overhead Crane System	Aero Material Handling	\$83,348	\$0.97

General Conditions - Preconstruction		\$19,985	\$0.23
General Conditions - Construction		\$447,929	\$5.21
General Requirements		\$173,486	\$2.02
COVID Screening and Sanitation		\$63,924	\$0.74
Temporary Barriers and Enclosures	Multiple Contractors	\$174,538	\$2.03
Winter Conditions	Multiple Contractors	\$169,302	\$1.97
General Liability Insurance		\$173,738	\$2.02
Builders Risk Insurance	By City of Ramsey	\$27,549	\$0.32
Building Permit		\$61,640	\$0.72
Bond		\$0	\$0.00
Subtotal Construction Costs		\$13,874,471	\$161.30
Escalation		\$0	\$0.00
Design Contingency		\$481,981	\$5.60
Construction Contingency		\$803,303	\$9.34
Contractor's Fee		\$254,506	\$2.96
Total Construction Estimate		\$15,414,261	\$179.20

Owner Costs			
SAC/WAC		\$96,250	\$1.40
Owner Furniture		\$100,000	\$1.16
Owner Appliances		\$10,000	\$0.12
Owner Equipment		\$10,000	\$0.12
Phone and Data		\$25,000	\$0.29
Audio Visual		\$18,000	\$0.21
Security Systems		\$55,000	\$0.64
Owner Moving Expense		\$0	\$0.00
Soils Testing		\$7,500	\$0.09
Environmental Remediation		\$0	\$0.00
Special Testing & Inspections		\$0	\$0.00
Utility Connection and Consumption		\$0	\$0.00
Commissioning		\$18,000	\$0.23
Owner Signage		\$23,500	\$0.47
Subtotal Owner Costs		\$363,250	\$4.71
Design Fees			
Arch. Design Fees		\$586,000	\$6.81
Subtotal Design Fees		\$586,000	\$6.81
Contingency			
Owner Contingency		\$0	\$0.00
Subtotal Contingency		\$0	\$0.00
Total Project Estimate		\$16,363,511	\$190.72

Additional
building
square
footage.

Description	Final Estimate
Alternates	
1A - Special Inspections	\$0
1B - Surveying	\$0
1C - Final Cleaning	\$2,800
3A - Cast-in-Place Concrete	\$153,350
3B - Precast Structural & Architectural Concrete	\$176,000
3C - Polished and Sealed Concrete	\$6,100
4A - Unit Masonry	\$0
5A - Structural Steel/Misc. Metals - Material	\$64,000
5B - Structural Steel & Misc. Metals - Erection	\$34,000
6A - Carpentry Materials and Install	\$1,700
7A - Waterproofing & Weatherproofing	\$3,000
7B - Architectural Metal Panels	\$4,000
7C - EPDM Roofing	\$107,000
7D - Joint Sealants	\$0
8A - Doors, Frames and Hardware - Materials	\$0
8B - Overhead Coiling Doors	\$0
8C - Accordion Security Doors	\$0
8D - Sectional Overhead Doors	\$11,250
8E - Aluminum Framed Storefronts & Entrances	\$0
8F - Translucent Wall Panels	\$5,814
9A - Gypsum Board Assemblies	\$0
9B - Tiling	\$0
9C - Acoustical Ceilings	\$0
9D - Carpet and Resilient Base	\$0
9E - Painting	\$0
10A - Signage	\$0
10B - Specialties Materials	\$228
10C - Lockers	\$0
10D - Operable Partitions	\$0
11A - Vehicle Wash Equipment	\$0
11B - Vehicle Fueling System	\$0
11C - Loading Dock Equipment	\$0
12A - Window Treatments	\$0
12B - Casework Materials	\$0
14A - Vehicle Lifts	\$0
21A - Fire Suppression Systems	\$10,500
22A - Plumbing Systems	\$97,000
23A - HVAC Systems	\$67,464
26A - Electrical Systems	\$58,086
31A - Earthwork	\$12,439
32A - Asphalt Paving	(\$22,000)
32B - Concrete Paving	\$0
32C - Fences and Gates	\$0
32D - Landscaping	\$0
33A - Utilities	(\$3,500)
41A - Overhead Crane System	\$0

General Conditions - Preconstruction	
General Conditions - Construction	\$25,842
General Requirements	\$8,295
COVID Screening and Sanitation	\$4,316
Temporary Barriers and Enclosures	\$8,264
Winter Conditions	\$8,671
General Liability Insurance	\$10,724
Builders Risk Insurance	\$0
Building Permit	\$12,830
Bond	\$0
Subtotal Alternate	\$868,173
Escalation	\$14,318
Design Contingency	\$34,362
Construction Contingency	\$44,125
Contractor's Fee	\$13,934
Total Alternate Cost	\$974,912

Description	Sub Contractor	Bid Pack #2 Est.	Original Est.	Difference
1C - Final Cleaning	Midwest Specialty Maintenance	\$49,247.00	\$80,646.00	-\$31,399.00
3C - Polished and Sealed Concrete	Donlar	\$81,225.00	\$75,445.00	\$5,780.00
6A -Carpentry Materials and Install	Ebert Construction	\$152,700.00	\$163,400.00	-\$10,700.00
7B - Architectural Metal Panels	Atomic ArchitecturalSheet Metal	\$220,200.00	\$336,000.00	-\$115,800.00
7C - EPDM Roofing	Granite City Roofing	\$767,000.00	\$804,092.00	-\$37,092.00
7D - Joint Sealing	WCS1LLC	\$9,448.00	\$56,650.00	-\$47,202.00
8A - Doors,Frames and Harware Material Install	Bredemus Hardware	\$111,795.00	\$135,113.00	-\$23,318.00
8B - Overhead coiling Doors	Twin City Garage Door	\$17,000.00	\$27,236.00	-\$10,236.00
8C - Accordian Security Doors	Won Door	\$20,273.00	\$44,500.00	-\$24,227.00
8D Sectional Overhead Doors	Twin City Garage Doors	\$196,650.00	\$195,500.00	\$1,150.00
8E - Aluminum Framed Store Fronts & Entrances	Top Lite Contract Glazing	\$143,000.00	\$170,700.00	-\$27,700.00
8F - Translucent Wall Panels	W.L.Hall	\$84,737.00	\$73,900.00	\$10,837.00
9A - Gypsum Board Assemblies	RTL Construction	\$234,733.00	\$189,635.00	\$45,098.00
9B - Tiling	Tim's Construction Group	\$35,882.00	\$45,515.00	-\$9,633.00
9C - Acoustical Ceilings	Acoustic Associates	\$32,500.00	\$38,140.00	-\$5,640.00
9D - Carpet aand resilient Base	Henricksen	\$16,572.00	\$9,535.00	\$7,037.00
9E - Painting	Swanson and Youngdale	\$165,781.00	\$200,519.00	-\$34,738.00
10A - Signage	Spectrum Signs	\$16,431.00	\$0.00	\$16,431.00
10B - Specialties Materials	Construction Supply Company	\$15,783.00	\$27,817.00	-\$12,034.00
10C - Lockers	Olympus	\$52,713.00	\$20,526.00	\$32,187.00
10D - Operable Partitions	Acoustic Associates	\$19,497.00	\$18,089.00	\$1,408.00
11A - Vehicle Wash Equipment	RJM Allowance	\$75,000.00	\$50,472.00	\$24,528.00
11B - Vehicle Fueling System	Pump and Meter Service	\$292,572.00	\$590,000.00	-\$297,428.00
11C - Loading Dock Equipment	Start Equipment	\$11,695.00	\$0.00	\$11,695.00
12A - Window Treatments	RJM Allowance	\$45,000.00	\$14,760.00	\$30,240.00
12B - Casework Materials	Distictive Cabinet Design	\$58,672.00	\$55,739.00	\$2,933.00
21A - Fire Suppression Systems	Brothers Fire and Security	\$147,800.00	\$177,900.00	-\$30,100.00
22A - Plumbing Systems	Klamm Mechanical Contracts	\$944,250.00	\$1,083,000.00	-\$138,750.00
23A - HVAC Systems	Architect Mecanical	\$1,216,000.00	\$1,508,500.00	-\$292,500.00
26A - Electrical Systems	Wolf River Electric	\$792,196.00	\$1,250,000.00	-\$457,804.00
32C - Fences and Gates	Midwest Fence	\$313,330.00	\$240,386.00	\$72,944.00
32D -Landscaping	Peterson Companies	\$68,219.00	\$152,045.00	-\$83,826.00
Total		\$6,407,901.00	\$7,835,760.00	-\$1,427,859.00



October 30, 2020

Grant Riemer
Public Works Superintendent
City of Ramsey
7550 Sunwood Drive NW
Ramsey, MN 55303

**RE: City of Ramsey – Public Works Facility Bid Package #2
Recommendations for Award of Contract**

Dear Mr. Riemer;

On October 28, 2020, bids and quotes were received at the City of Ramsey for the City of Ramsey – Public Works Facility project. We are excited to report that there was great interest in the project in that a total of one hundred eight three (183) bids and quotes were received for the fifteen (15) bid categories and seventeen (17) quote categories. Please find attached a summary by trade for each of these bid and quote categories for your reference. At this time RJM has completed its review of all bids and quotes and are recommending award as noted below. The recommendations are based on the low cumulative total bid received for the base bid, as well as the following additive alternates.

Alternate #1 – Addition of Work Bay 146, extension of Vehicle Storage 144 to South and associated design modifications per the bidding documents.

We recommend to the City Council that they approve the award of the following contracts at this time.

BID CATEGORY

AWARD AMOUNT

6A – Carpentry Materials and Install
Ebert Construction Co. Inc.
23350 County Road 10
Corcoran, MN 55357

Base Bid: \$152,700.00
Alternate #1: \$1,700.00

7B - Architectural Metal Panels

Atomic Architectural Sheet Metal, Inc.
3207 Labore Road
Saint Paul, MN 55110

Base Bid: \$220,200.00
Alternate #1: \$4,000.00

7C – EPDM Roofing

Granite City Roofing
P.O. Box 1482
Saint Cloud, MN 56302

Base Bid: \$767,000.00
Alternate #1: \$107,000.00

8A – Doors, Frames and Hardware - Materials

Bredemus Hardware Company
1285 Sylvan Street
Saint Paul, MN 55117

Base Bid: \$111,795.00
Alternate #1: \$0.00

8D – Sectional Overhead Doors

Twin City Garage Door Company
5601 Boone Avenue North
New Hope, MN 55428

Base Bid: \$196,650.00
Alternate #1: \$11,250.00

8E – Aluminum Framed Storefronts & Ent.

Top Lite Contract Glazing
15548 260th Street
Lindstrom, MN 55045

Base Bid: \$143,000.00
Alternate #1: \$0.00

9A – Gypsum Assemblies

RTL Construction, Inc.
4000 Valley Industrial Blvd South
Shakopee, MN 55379

Base Bid: \$234,733.00
Alternate #1: \$0.00

9E – Painting

Swanson & Youngdale Inc. Decorating
6565 West 23rd Street
Minneapolis, MN 55426

Base Bid: \$165,781.00
Alternate #1: \$0.00

11B – Vehicle Fueling Station

Pump & Meter Service, Inc.
11303 Excelsior Blvd
Hopkins, MN 55343

Base Bid: \$292,572.00
Alternate #1: \$0.00

21A – Fire Suppression Systems

Brothers Fire & Security
9950 E US-10
Elk River, MN 55330

Base Bid: \$147,800.00
Alternate #1: \$10,500.00

22A – Plumbing Systems

Klamm Mechanical Contractors, Inc.
12409 County Road 11
Burnsville, MN 55337

Base Bid: \$944,250.00
Alternate #1: \$97,000.00

23A – HVAC Systems

Architect Mechanical
2917 Anthony Lane
Saint Anthony, MN 55418

Base Bid: \$1,216,000.00
Alternate #1: \$67,464.00

26A – Electrical Systems

Wolf River Electric Company
101 Isanti Parkway NE
Isanti, MN 55040

Base Bid: \$792,196.00
Alternate #1: \$58,086.00

32C – Fences and Gates

Midwest Fence and Manufacturing
525 Villaume Avenue
Saint Paul, MN 55075

Base Bid: \$313,330.00
Alternate #1: \$0.00

QUOTE CATEGORY

AWARD AMOUNT

1C – Final Cleaning

Midwest Specialty Maintenance
8856 Zealand Avenue North
Brooklyn Park, MN 55445

Base Bid: \$49,247.00
Alternate #1: \$2,800.00

3C – Polished and Sealed Concrete

Donlar Construction Company
550 Shoreview Park Road
Saint Paul, MN 55126

Base Bid: \$81,225.00
Alternate #1: \$6,100.00

7D – Joint Sealants
WCS1, LLC
P.O. Box 156
Fountain City, WI 54629

Base Bid: \$9,448.00
Alternate #1: \$0.00

8B – Overhead Coiling Doors
Twin City Garage Door Company
5601 Boone Avenue North
New Hope, MN 55428

Base Bid: \$17,000.00
Alternate #1: \$0.00

8C – Accordion Security Doors
Won-Door Corporation
1631 James Road
Saint Paul, MN 55118

Base Bid: \$20,273.00
Alternate #1: \$0.00

8F – Translucent Wall Panels
W.L. Hall Co.
530 15th Avenue South
Hopkins, MN 55343

Base Bid: \$84,737.00
Alternate #1: \$5,814.00

9B – Tiling
Tim's Construction Group, LLC
15345 Sodium Street NW
Ramsey, MN 55303

Base Bid: \$35,882.00
Alternate #1: \$0.00

9C – Acoustical Ceilings
Acoustic Associates Inc.
1250 Zane Avenue North
Minneapolis, MN 55422

Base Bid: \$32,500.00
Alternate #1: \$0.00

9D – Carpet and Resilient Base
Henricksen
1101 W River Parkway Suite 100
Minneapolis, MN 55415

Base Bid: \$16,572.00
Alternate #1: \$0.00

10A - Signage
Spectrum Sign Systems
8786 W 35W Service Drive NE
Blaine, MN 55449

Base Bid: \$16,431.00
Alternate #1: \$0.00

10B – Specialties Materials

Construction Supply, Inc.
6121 Excelsior Blvd
Minneapolis, MN 55416

Base Bid: \$15,783.00
Alternate #1: \$228.00

10C – Lockers

Olympus Lockers & Storage Products, Inc.
6560 Edenvale Blvd
Eden Prairie, MN 55346

Base Bid: \$52,713.00
Alternate #1: \$0.00

10D – Operable Partitions

Acoustics Associates Inc.
1250 Zane Avenue North
Minneapolis, MN 55422

Base Bid: \$18,089.00
Alternate #1: \$0.00

11A – Vehicle Wash Equipment

**Note: Allowance will be held for this quote category until further scope review can occur with bidders.

Allowance: \$75,000.00

12A – Window Treatments

**Note: No quotes were received for this quote category. Allowance will be held for buyout of this quote category.

Allowance: \$45,000.00

12B – Casework Materials


Distinctive Cabinet Design
30 2nd Avenue West
Foley, MN 56329

Base Bid: \$58,672.00
Alternate #1: \$0.00

32D – Landscaping

Peterson Companies
8326 Wyoming Trail
Chisago City, MN 55013

Base Bid: \$68,219.00
Alternate #1: \$0.00



If you should have any questions, please contact by phone at 612-214-4610.

Sincerely,

Curtis Sell
Project Manager
RJM Construction

CC:
Brad Barickman – Vice President – Community - RJM Construction
Matt Manders – Estimator - RJM Construction

Councilmember introduced the following resolution and moved for its adoption:

RESOLUTION #20-254

RESOLUTION ACCEPTING BIDS AND AWARDING CONTRACT FOR BID PACKAGE # 2 FOR THE NEW RAMSEY PUBLIC WORKS FACILITY, IMPROVEMENT PROJECT #20-07

WHEREAS, the City of Ramsey has planned for a new public works facility and added it to our Capital Improvement Plan in 2006; and

WHEREAS, the location of the new for the new public works facility was purchased in 2008 adjacent to the current facility and that purchase was finalized in 2013; and

WHEREAS, a third party architectural firm (BKV Group) was hired in 2015 to perform a space needs analysis to determine the size of facility needed to serve the public works departments needs for now and 30-50 years into the future.; and

WHEREAS, the old facility consists of three buildings and multiple off site storage locations, the new site will contain all public works functions and equipment at one centralized location ; and

WHEREAS, on September 10th 2019 Ramsey City Council entered into a contract with RJM Construction to provide construction management services for the new Ramsey public works facility; and

WHEREAS, on February 11th 2020 Ramsey City Council entered into a contract with Oertel Architectural to provide design and engineering services for the new Ramsey Public Works Facility; and

WHEREAS, pursuant to Ramsey City Council Resolution #20-148 adopted July 14th , 2020, the City Council approved plans and specifications and authorized advertisements for bid on Quest CDN for Bid Package #1 for the New City of Ramsey Public Works facility. A total of ninety (90) bids and quotes were received for ten (10) bid categories and five (5) quote categories

WHEREAS, pursuant to Ramsey City Council Resolution #20-171 adopted September 8, 2020, Bids were received, opened, and tabulated on August 26, 2020. The bids of the listed contractors in amount of \$6,138,361.00 for the Base Bid for Bid Package # 1 and \$441,938.00 for Alternate # 1 for construction of the new City of Ramsey Public Works Facility in accordance with the approved plans and specifications and advertisement for bids, is the lowest responsible bidder, regardless of whether Alternate #1 is awarded in addition to the base bid, and their bid shall be and hereby is accepted.

WHEREAS, on October 28, 2020, bids and quotes were received at the City of Ramsey for construction of the New City of Ramsey Public Works Facility project. We are excited to report that there was great interest in the project in that a total of one hundred eight three (183) bids and quotes

were received for the fifteen (15) bid categories and seventeen (17) quote categories. Please find attached a summary by trade for each of these bid and quote categories for your reference. At this time RJM has completed its review of all bids and quotes and are recommending award as noted below. The recommendations are based on the low cumulative total bid received for the base bid, as well as the following additive alternates.

Alternate #1 – Addition of Work Bay 146, extension of Vehicle Storage 144 to South and associated design modifications per the bidding documents.

BID CATEGORY	AWARD AMOUNT
6A - Carpentry Materials and Install Ebert Construction Co. Inc. 23350 County Road 10 Corcoran, MN 55357	Base Bid: \$152,700.00 Alternate # 1 \$1,700.00
7B – Architectural Metal Panels Atomic Architectural Sheet Metal 3207 LaBore Road St. Paul, Mn 55110	Base Bid:\$220,200.00 Alternate #1 \$4,000.00
7C - EPDM Roofing Granite City Roofing P.O. Box 1482 St. Cloud, MN 56302	Base Bid: \$767,000.00 Alternate # 1 \$107,000.00
8A - Doors, Frames and Hardware – Materials Bredemus Hardware Company 1285 Sylvan Street St. Paul, MN 55117	Base Bid: \$111,795.00 Alternate # 1 \$0.00
8D - Sectional Overhead Doors Twin City Garage Door Company 5601 Boone Avenue North New Hope, MN 55428	Base Bid: \$196,650.00 Alternate # 1: \$11,250.00
8E - Aluminum Framed Storefronts & Ent. Top Lite Contract Glazing 15548 260th Street Lindstrom, MN 55045	Base Bid: \$143,000.00 Alternate # 1: \$0.00
9A - Gypsum Assemblies RTL Construction, Inc. 4000 Valley Industrial Blvd South Shakopee, MN 55379	Base Bid: \$ 234,733.00 Alternate # 1: \$0.00
9E - Painting Swanson & Youngdale Inc. Decorating 6565 West 23rd Street Minneapolis, MN 55426	Base Bid: \$165,781.00 Alternate # 1: \$0.00
11B - Vehicle Fueling Station Pump & Meter Service, Inc. 11303 Excelsior Blvd Hopkins, MN 55343	Base Bid: \$292,572.00 Alternate # 1: 0.00

21A - Fire Suppression Systems Brothers Fire & Security 9950 E US-10 Elk River, MN 55330	Base Bid: \$147,800.00 Alternate # 1: \$10,500.00
22A - Plumbing Systems Klamm Mechanical Contractors, Inc. 12409 County Road 11 Burnsville, MN 55337	Base Bid: \$944,250.00 Alternate # 1: \$97,000.00
23A - HVAC Systems Architect Mechanical 2917 Anthony Lane Saint Anthony, MN 55418	Base Bid: \$1,216,000.00 Alternate #1: \$67,464.00
26A - Electrical Systems Wolf River Electric Company 101 Isanti Parkway NE Isanti, MN 55040	Base Bid: \$792,196.00 Alternate #1: \$58,086.00
32C - Fences and Gates Midwest Fence and Manufacturing 525 Villaume Avenue Saint Paul, MN 55075	Base Bid: \$313,330.00 Alternate #1: \$0.00
Quote Category	
1C - Final Cleaning Midwest Specialty Maintenance 8856 Zealand Avenue North Brooklyn Park, MN 55445	Base Bid: \$49,247.00 Alternate #1: \$2,800.00
3C - Polished and Sealed Concrete Donlar Construction Company 550 Shoreview Park Road Saint Paul, MN 55126	Base Bid: \$ 81,225.00 Alternate # 1 \$6,100.00
7D - Joint Sealants WCS1, LLC P.O. Box 156 Fountain City, WI 54629	Base Bid: \$9,448.00 Alternate #1: \$0.00
8B - Overhead Coiling Doors Twin City Garage Door Company 5601 Boone Avenue North New Hope, MN 55428	Base Bid: \$17,000.00 Alternate #1: \$0.00
8C – Accordion Security Doors Won-Door Corporation 1631 James Road Saint Paul, MN 55118	Base Bid: \$20,273.00 Alternate #1: \$0.00
8F - Translucent Wall Panels W.L. Hall Co. Alternate #1: \$5,814.00 530 15th Avenue South Hopkins, MN 55343	Base Bid: \$84,737.00 Alternate #1: \$5,814.00

9B - Tiling Tim's Construction Group, LLC 15345 Sodium Street NW Ramsey, MN 55303	Base Bid: \$35,882.00 Alternate #1: \$0.00
9C - Acoustical Ceilings Acoustic Associates Inc. 1250 Zane Avenue North Minneapolis, MN 55422	Base Bid: \$32,500.00 Alternate #1: \$0.00
9D - Carpet and Resilient Base Henricksen 1101 W River Parkway Suite 100 Minneapolis, MN 55415	Base Bid: \$16,572.00 Alternate #1: \$0.00
10A - Signage Spectrum Sign Systems 8786 W 35W Service Drive NE Blaine, MN 55449	Base Bid: \$16,431.00 Alternate #1: \$0.00
10B - Specialties Materials Construction Supply, Inc. 6121 Excelsior Blvd Minneapolis, MN 55416	Base Bid: \$15,783.00 Alternate #1: \$228.00
10C – Lockers Olympus Lockers and Storage Products 6560 Edenvale Blvd Eden Prairie, Mn 55346	Base Bid: \$52,713.00 Alternate #1: \$0.00
10D – Operable Partitions Acoustics Associates Inc. 1250 Zane Avenue North Minneapolis, MN 55422	Base Bid: \$18,089.00 Alternate #1: \$0.00
11A – Vehicle Wash Equipment	Allowance: \$75,000.00 **Note: Allowance will be held for this quote category until further scope review can occur with bidders.
12A – Window Treatments	Allowance: \$45,000.00 **Note: No quotes were received for this quote category. Allowance will be held for buyout of this quote category.
12B – Casework Materials Distinctive Cabinet Design 30 2nd Avenue West Foley, MN 56329	Base Bid: \$58,672.00 Alternate #1: \$0.00
32D – Landscaping Peterson Companies 8326 Wyoming Trail Chisago City, MN 55013	Base Bid: \$68,219.00 Alternate #1: \$0.00

WHEREAS, the bids of the listed contractors in amount of \$6,407,901.00 for the Base Bid for Bid Package # 2 and \$532,974.00 for Alternate # 1 for construction of the new City of Ramsey Public Works Facility in accordance with the approved plans and specifications and advertisement for bids, is the lowest responsible bidder and their bid shall be and hereby is accepted.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

- 1) The Mayor and City Administrator are hereby authorized and directed to enter into a contract with said bidders for the construction of the new City of Ramsey Public Works Facility on behalf of the City of Ramsey.
- 2) That RJM Construction is hereby authorized and directed to return forthwith to all bidders the deposits made with their bids at such time that a contract has been executed.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember , and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 10 day of November, 2020.

Mayor

ATTEST:

City Clerk

Meeting Date: 11/10/2020

Submitted For: Sean Sullivan, Community Development

By: Sean Sullivan, Community Development

Information

Title:

Adopt Resolution #20-246 Directing Staff to Prepare a Request for Interest/Qualifications for a Dynamic Display Billboard for Retail Advertising Along Highway 10 Near The COR

Purpose/Background:

Staff has received input from developers and potential end-users indicating that it is difficult to be seen from Highway 10 in the COR and surrounding areas. The City Council and Planning Commission have recently granted approvals for 75 foot tall signage on the land under contract by RGH Ramsey and another parcel owned by PSD LLC to assist in increasing visibility to Highway 10 traffic.

The EDA met on September 10, 2020 and discussed the possibility of a Dynamic Display Billboard somewhere on Hwy 10 to assist in marketing for the COR and other businesses in Ramsey. At the EDA meeting a presentation made by Blue Ox Media highlighted the Ramsey market, items to consider when locating a Billboard of this type and experience with a new Dynamic Display Billboard in Champlin. Blue Ox Media is a Dynamic Display Billboard owner and operator. Blue Ox Media erected the newer billboard on Highway 169 in Champlin, which provides additional advertising opportunities for local and national businesses. The cost of this Dynamic Display Signage was around \$500,000. The consensus of the EDA was to explore this option further and to solicit proposals from interested parties and the minutes from that meeting are attached.

Within the last 1-2 years, the City renovated the Community Sign adjacent to the Northstar Commuter Rail Station. The intent of this sign was clearly defined as a community sign providing community messaging only, not advertising for local businesses. This current discussion is to consider ways to provide an additional signage that is focused on advertising for local businesses; not a community message sign.

Notification:

N/A

Observations/Alternatives:

Blue Ox Media did a great job answering questions and providing some feedback on the prospects of a Dynamic Display Billboard in Ramsey at the September EDA meeting. Generally speaking, they indicated that Ramsey was a market for consideration and that they would have interest in exploring it further. In addition, they indicated that often times there are local advertising opportunities for local businesses at reduced rates but that the majority of the revenue was for national advertisers for long term contracts. All of these items could be negotiated if the City was party to the sign agreement. Although the preference from Blue Ox Media was to enter into an Exclusivity Agreement, the subsequent discussion by the EDA led to a consensus that the City should let other interested parties pitch their proposals as well.

Staff would like to know if the City Council has interest in exploring the possibility of locating a Dynamic Display Billboard on Highway 10, or another location, to provide opportunities for Ramsey businesses to increase marketing exposure for businesses. If the City Council is in support of moving this forward Staff believes the direction to create a Request for Proposal (RFP), Request for Qualifications (RFQ) or some other solicitation to see if there is interest from the private sector in Ramsey should be given to staff. This solicitation of proposal document process will require staff time to develop and to bring back to Council for consideration.

Things to consider in a RFP, RFQ or other solicitation for proposals include:

- Location of Dynamic Display Billboard
- Size of Dynamic Display Billboard
- Development Standard and Maintenance
- Duration
- Ad Content (guaranteeing that Ramsey Businesses can advertise)
- Level of City Participation
- Ordinance Changes
- Community Branding (similar to City Signs on Hwy 10?)
- Timing

Alternatives:

1. Direct Staff to draft a formal RFP, RFQ or some other solicitation for proposals for a dynamic display billboard
2. Direct Staff to simply ask for proposals from interested parties, without parameters, and evaluate each proposal and report back to EDA/Council for further direction
3. Do not initiate City involvement in dynamic display billboards in the City of Ramsey and address proposals as they come forward.
4. Something else

Funding Source:

This project would be handled under normal staff duties.

There would be no cost to the City at this time. If a parcel owned by the City were selected, the City would receive lease revenue for a ground lease. The City would not be handling the ad sales. The billboard company would own and operate the sign itself.

Recommendation:

The EDA met on September 10, 2020 and the consensus was to solicit a Dynamic Display Billboard proposal from the two parties that had expressed interest as of the meeting date. Since the EDA meeting on September 10, 2020, the City has been contacted by Clear Channel and I Digital Outdoor (Fargo) and they have expressed interest in the Ramsey Market. Based on this level of interest, Staff believes that if staff is directed to create a RFP, RFQ or other solicitation proposal, it should be open to all interested parties.

Planning Commission reviewed the concept of a dynamic display billboard at its October 2020 meeting and was supportive to the process moving forward as long as it was consistent with the City Sign plan.

Staff recommendation is to begin preparing a request for interest.

Action:

Motion to adopt Resolution #20-246 directing Staff to prepare a Request for Interest/Qualifications for an advertising billboard along Highway 10.

Attachments

ACTION ITEM - Res #20-246

Champlin Sign Photo and Information

Excerpt from 9.10.20 EDA Minutes

Form Review

Inbox

Reviewed By

Date

Sean Sullivan (Originator)
Tim Gladhill
Sean Sullivan (Originator)
Tim Gladhill
Kurt Ulrich

Form Started By: Sean Sullivan
Final Approval Date: 11/05/2020

Sean Sullivan
Tim Gladhill
Sean Sullivan
Tim Gladhill
Kurt Ulrich

11/03/2020 02:48 PM
11/05/2020 07:45 AM
11/05/2020 10:14 AM
11/05/2020 10:22 AM
11/05/2020 01:39 PM
Started On: 10/16/2020 05:18 PM

Councilmember _____ introduced the following resolution and moved for its adoption:

RESOLUTION #20-246

RESOLUTION DIRECTING STAFF TO PREPARE A REQUEST FOR INTEREST/QUALIFICATIONS FOR A DYNAMIC DISPLAY BILLBOARD FOR RETAIL ADVERTISING ALONG HIGHWAY 10 NEAR THE COR

WHEREAS, the Developers, potential developers and end-users in the COR and surrounding areas have indicated that it is challenging to advertise to travelers on Hwy 10 due to the lack of visibility or proximity to this major highway; and

WHEREAS, the City has invested significantly into the COR to provide an opportunity for retail, commercial and housing investment in the heart of Ramsey and the lack of visibility from Hwy 10 is a barrier for retail development; and

WHEREAS, Dynamic Display Billboard has proven to be an effective way to market local and national businesses to high traffic roadways; and

WHEREAS, the private Dynamic Display Billboard market sector has expressed interest in the Ramsey market which presents an opportunity for the City to help our local businesses advertise to a larger audience; and

WHEREAS, the EDA supports soliciting proposals for Dynamic Display Billboard in Ramsey.

NOW THEREFORE, BE IT RESOLVED BY THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

- 1) That the City hereby direct Staff to develop a Request for Proposal (RFP), Request for Qualifications (RFQ) or another form of formal solicitation of proposals for the development of Dynamic Display Billboard in Ramsey; subject to City Attorney Review.

That the motion for the adoption of the forgoing resolution was duly seconded by Councilmember _____, and upon vote being taken thereon, the following voted in favor:

and the following voted against the same:

and the following abstained:

and the following were absent:

Existing Vacancy

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 10th day of November, 2020.

Mayor

ATTEST:

City Clerk

CHAMPLIN – Blue Ox Media

West Side of Highway 169, 500 feet south of 120th Ave.

Blue Ox Media's EXCLUSIVE Highway 169 advertising coverage provides brands with the only digital Out of home billboard coverage within a 5+ mile radius! No other OOH coverage exists along Highway 169 from I-694 through the entire area.

Reaching consumers in the heart of the northwest metro, this location is ideal marketing coverage for healthcare, higher education, technology and auto brands. Additionally, the sign is a short drive from several colleges, some of the metros top retailers and the affluent communities of Anoka, Coon Rapids, Osseo & Maple Grove!

Size: 14' X 48'

Facing: North & South

Type: Digital



**ECONOMIC DEVELOPMENT AUTHORITY
CITY OF RAMSEY
ANOKA COUNTY
STATE OF MINNESOTA**

The City of Ramsey Economic Development Authority (EDA) conducted a regular meeting on Thursday, September 10, 2020, at the Ramsey Municipal Center, 7550 Sunwood Drive NW, Ramsey, Minnesota.

Members Present: Chairperson Jim Steffen
 Member Brian Burandt
 Member Scott Cords
 Member Ryan Heineman
 Member Mark Kuzma
 Member Chris Riley

Members Absent: Member Glen Hardin

Also Present: Sean Sullivan, Economic Development Manager
 Tim Gladhill, Deputy City Administrator
 Kurt Ulrich, City Administrator

1. CALL TO ORDER

Chairperson Steffen called the Economic Development Authority meeting to order at 7:30 a.m.

2. APPROVE AGENDA

Motion by Member Cords, seconded by Member Kuzma, to approve the agenda.

Motion carried. Voting Yes: Chairperson Steffen, Members Cords, Kuzma, Burandt, Heineman, and Riley. Voting No: None. Absent: Member Hardin.

4.02: Discuss Potential Billboard and Dynamic Display Sign Plan for Highway 10

Economic Development Manager Sullivan presented the staff report.

Tom McCarver, Blue Ox Media, stated that his intent is not to provide a “pitch”, but he is present to open up the discussion on the topic. He stated that the traffic counts in this area are similar to Champlin, where they recently installed a sign of this nature. He provided details on the factors they consider for locations of digital billboards and the businesses that chose to advertise. He noted that the majority of businesses that have chosen to advertise on the Champlin sign are local businesses looking for a new way to advertise. He provided details on the difference between national and local customers in terms of advertising on digital signs. He reviewed information on traffic counts at the different Highway 10 intersections in Ramsey. He provided details on the cost

to construct and maintain a digital billboard sign. He stated that his company focuses on the local advertisers, providing opportunities for smaller local businesses to use that type of advertising, in order to compete with the two national businesses that also provide digital billboard services in this market. He explained that because they are not tied to a large national corporation, they are able to move quickly once the decision is made to move forward on a digital sign.

Member Cords stated that Highway 10 will be completely disrupted in the near future and asked how that type of project would impact this type of activity.

Mr. McCarver stated that they would want to have additional discussions to ensure that the location of the sign would not be impacted by an overpass. He noted that the pattern of traffic changes slightly during construction but did not believe that it would change so dramatically that it would result in an asset that is not saleable. He stated that these deals typically involve 30-year leases, therefore construction of that activity is considered short-term. He provided details on how COVID has impacted the market because of the large reductions in the volumes of traffic. He noted that some areas, such as Minneapolis, continue to see much lesser traffic volumes, while the other service corridors have had most of their traffic return.

Member Riley stated that the EDA is interested in helping local businesses and attracting additional businesses. He asked how this would benefit businesses in the community, the EDA, and the City.

Mr. McCarver stated that generally cities receive revenue but noted that formula is different for each partnership. He stated that the City could choose to implement a business of the week, which would allow a small business that does not have the revenue to advertise to be featured in advertising on the sign. He explained that could allow the business to gain its footing and perhaps then return to pay for advertising in the future. He highlighted the benefits of a municipal/private company partnership noting that it allows the City to have additional control and the flexibility in order to best serve the business community. He noted that sign efforts could be combined with local businesses allowed to advertise on both the Ramsey and Champlin signs. He stated through those partnerships with municipalities they also provide for a certain amount of public service announcements and advertising of City sponsored events.

Chairperson Steffen asked and received confirmation that the sign would generate revenue for the City and the City would not have expense to construct.

Mr. McCarver stated that each situation is unique in its circumstances but confirmed that the cost would be borne by Blue Ox Media.

Chairperson Steffen asked for details on the advertising model.

Mr. McCarver provided details on how advertising is sold.

Chairperson Steffen asked how the advertising would direct those seeing the sign to the businesses within The COR that may not have highway visibility.

Mr. McCarver stated that while many in this area are familiar with The COR, they could also work with the City on its branding of The COR to make others that see the sign aware of that location.

Chairperson Steffen asked why every city would not want a sign.

Mr. McCarver stated that it is a personal choice and every aesthetic is different. He noted that digital billboards allow for a magnitude of advertising opportunity on one double sided sign, rather than having a proliferation of signs along its corridor.

Member Burandt asked if a sign in Ramsey would be feasible without any subsidies from the City.

Mr. McCarver stated that Ramsey is essentially on the bubble from an advertising perspective. He stated that because Ramsey is a growing community with increasing activity, that encourages his company in wanting to work with Ramsey. He explained that the majority of advertisers for a Ramsey sign would be generated within a five-mile radius of the sign.

Member Heineman asked for information on light pollution for a high double-sided sign that would operate 24 hours per day.

Mr. McCarver stated that a sign can be tuned to its environment. He stated that the signs are sophisticated and are programmed to ensure they are under a threshold at all times. He stated that if done correctly, a sign would not have any more impact than a backlit sign. He confirmed that the sign would be designed to only focus its impact on the intended corridor and the light would not impact from the sides.

Chairperson Steffen asked what the next steps would be in this process.

Mr. McCarver stated that the City would need to decide if this is something that makes sense for the community. He believed that it would be a good location because of the highly dense commercial corridor. He stated that if the City chooses that it would like a digital billboard, his company would only be interested in a partnership and provided details on that process that would begin with a vendor agreement.

Member Cords asked if the City has a process that would require an open RFP process.

Assistant City Administrator Gladhill stated that there is a purchasing policy that requires RFP for certain expenditures. He believed that direct negotiation could occur on this type of project but noted that it could benefit the City to go through the RFP process as other vendors could be interested.

Economic Development Manager Sullivan asked if there is any concern that the digital sign of the City would be a conflict.

Mr. McCarver stated that he would not be worried about that but noted that it would be a part of the discussion as they would want to ensure there is proper spacing.

Economic Development Manager Sullivan stated that if the EDA is supportive of this type of activity, further discussion could be gained from the City Council and Planning Commission. He stated that while he understands the vendors preference for exclusivity, there is another vendor interested as well and therefore an RFP process may be the preferred route if this is something desired in the community.

Mr. McCarver noted that the City could also go through an RFQ process rather than an RFP process.

Member Cords stated that he thinks this would be a relatively good idea for the City of Ramsey as the businesses in The COR are essentially invisible to the traffic on the corridor. He commented that this would be an asset to those businesses. He stated that he does not have a preference on vendor but was comfortable with the information presented by Blue Ox.

Member Burandt agreed that this would be a great idea if the City did not have to front the expenditure and believed this would be a great solution to the challenge in visibility from the corridor.

Chairperson Steffen agreed that this would be a great opportunity for businesses.

Member Riley stated that from an EDA standpoint he believes this would be a great asset for businesses. He noted that this would be the first step and from an EDA and business standpoint, this appears to be something the City should pursue. He noted that additional input will be gathered from the Planning Commission and City Council.

Member Kuzma agreed that this seems like a great opportunity for business. He stated that he would be more interested in the benefits that would be available for the City.

Assistant City Administrator Gladhill provided details related to on premise signs and off premise signs and the different regulations within City Code.

Member Heineman stated that while he agrees this could be good for the business community, he would caution against moving forward with an exclusive vendor and would want to hear from additional vendors.

It was the consensus of the EDA that this topic should move forward on this topic and the City should review the opportunities from both vendors interested.

Economic Development Manager Sullivan noted that he was unsure that a formal RFP would be required and provided the idea of using a subcommittee to further vet the vendors interested.

Assistant City Administrator Gladhill noted that currently there are two vendors interested and the City could make a statement, without using much staff time, to make a statement expressing interest which would determine whether additional vendors would be interested. He noted that the next step would be to gain the input of the Planning Commission and City Council before seeking interest from vendors.

Meeting Date: 11/10/2020

By: Tim Gladhill, Community Development

Information

Title:

Adopt Resolution #20-263 Renewing Enrollment in the Livable Communities Program

Purpose/Background:

The purpose of this case is to consider renewing enrollment in the Metropolitan Council's Livable Communities Program. Participants must renew their enrollment every ten years following completion of local Comprehensive Plans. Ramsey's Comprehensive Plan was just recently considered complete for review and is slated for final adoption in November/December. Ramsey was not eligible to start this renewal process until the Comprehensive Plan was considered complete for review.

Ramsey has been one of the original participants in this voluntary grant program. Over the past 20+ years, Ramsey has secured over \$6M for development projects including, but not limited to the list below.

- Sunwood Drive in The COR
- Center Street in The COR
- The Draw Park and Amphitheater in The COR
- Planning and Design for Future Grade Separated Pedestrian Crossing over Highway 10
- Brownfield Cleanup in Business Park 95
- Soils Remediation in former Municipal Center for Harvest Estates Redevelopment
- Brownfield Cleanup for River Walk Village Redevelopment

Notification:

Notification is not required.

Observations/Alternatives:

This is a voluntary program; the City is not obligated to participate. Participation does not require any additional resources; requirements of the program are activities already completed (i.e. development reporting). While participation in the program does require establishing certain housing goals, these goals are not regulatory in nature. In fact, these goals are simply a reflection of what is already in our Comprehensive Plan.

At the end of the day, participation in this program is a net benefit to the City. There are not costs to participate in the program and no penalties for not meeting any of the stated goals. It simply provides an additional funding opportunity that has been critical to a number of projects and necessary infrastructure.

Looking forward, there are a number of potential development projects in the near term that might benefit from this program. Of note, Riverstone South might have a number of grant eligible activities that this program could support.

Funding Source:

This case is being handled as part of normal Staff duties.

Recommendation:

Staff recommends renewing enrollment in the program.

Action:

Motion to adopt Resolution #20-263 renewing enrollment in the Livable Communities Program.

Attachments

Resolution #20-263

Renewal Notice

Form Review

Inbox

Kurt Ulrich

Form Started By: Tim Gladhill

Final Approval Date: 11/05/2020

Reviewed By

Kurt Ulrich

Date

11/05/2020 02:25 PM

Started On: 09/29/2020 06:39 PM

Councilmember _____ introduced the following resolution and moved for its adoption:

RESOLUTION #20-263

**RESOLUTION ELECTING TO PARTICIPATE IN
THE LOCAL HOUSING INCENTIVES ACCOUNT PROGRAM
UNDER THE METROPOLITAN LIVABLE COMMUNITIES ACT**

CALENDAR YEARS 2021 THROUGH 2030

WHEREAS, the Metropolitan Livable Communities Act (Minnesota Statutes sections 473.25 to 473.255) establishes a Metropolitan Livable Communities Fund which is intended to address housing and other development issues facing the metropolitan area defined by Minnesota Statutes section 473.121; and

WHEREAS, the Metropolitan Livable Communities Fund, comprising the Tax Base Revitalization Account, the Livable Communities Demonstration Account, the Local Housing Incentive Account and the Inclusionary Housing Account, is intended to provide certain funding and other assistance to metropolitan-area municipalities; and

WHEREAS, a metropolitan-area municipality is not eligible to receive grants or loans under the Metropolitan Livable Communities Fund or eligible to receive certain polluted sites cleanup funding from the Minnesota Department of Employment and Economic Development unless the municipality is participating in the Local Housing Incentives Account Program under Minnesota Statutes section 473.254; and

WHEREAS, the Metropolitan Livable Communities Act requires that each municipality establish affordable and life-cycle housing goals for that municipality that are consistent with and promote the policies of the Metropolitan Council as provided in the adopted Metropolitan Development Guide; and

WHEREAS, a metropolitan-area municipality can participate in the Local Housing Incentives Account Program under Minnesota Statutes section 473.254 if: (a) the municipality elects to participate in the Local Housing Incentives Program; (b) the Metropolitan Council and the municipality successfully negotiate new affordable and life-cycle housing goals for the municipality; (c) the Metropolitan Council adopts by resolution the new negotiated affordable and life-cycle housing goals for the municipality; and (d) the municipality establishes it has spent or will spend or distribute to the Local Housing Incentives Account the required Affordable and Life-Cycle Housing Opportunities Amount (ALHOA) for each year the municipality participates in the Local Housing Incentives Account Program.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

- 1) Elects to participate in the Local Housing Incentives Program under the Metropolitan Livable Communities Act for calendar years 2021 through 2030.

- 2) Agrees to the following affordable and life-cycle housing goals for calendar years 2021 through 2030:

Affordable Housing Goals Range	Life-Cycle Housing Goal
274-499	963

- 3) Will prepare and submit to the Metropolitan Council a plan identifying the actions it plans to take to meet its established housing goals.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember _____, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared fully passed and adopted by the Ramsey City Council this 10th day of November, 2020

Mayor

ATTEST:

City Clerk

From: [Beard, Tara](#)
To: [Tim Gladhill](#); [Kurt Ulrich](#)
Cc: [Torres, Angela](#); [Woichik, Eric](#); [Zeran, Raymond](#)
Subject: 2021-2030 LCA re-enrollment
Date: Tuesday, September 29, 2020 4:59:09 PM
Attachments: [image001.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[Goals Methodology Attachment.docx](#)
[lcaresolution2021-2030.doc](#)

RE: Livable Communities Act (Re)Enrollment and Affordable and Life-cycle Housing Goals for 2021-2030 for the City of Ramsey

Dear City of Ramsey Official,

This is a follow up letter about the upcoming need to re-enroll in the Livable Communities Act (LCA) to begin or continue your participation for the 2021-2030 decade.

To (re)enroll you must adopt new affordable and life-cycle housing goals for the 2021-2030 decade by November 15, 2020, particularly if your city wishes to apply for LCA grants in 2021. Communities that do not adopt new housing goals by November 15, 2020, can adopt them by November 15 of any given year to be eligible for funding for the following year.

[Affordable and Life-cycle Housing Goals](#)

While enrollment can occur annually, to be consistent with other Council housing policies and measures, housing goals are determined by a methodology consistent across communities and cover the 10-year planning cycle. Council staff has been conducting outreach on the best way to determine 2021-2030 affordable and life-cycle housing goals in a variety of ways since December of 2019, which is summarized in a presentation provided at the [May 4 Communities Development Committee](#) meeting.

The table below summarizes your community's 2021-2030 affordable and life-cycle housing goals. Attached you will find a detailed summary of the methodology used, including a comparison to how 2011-2020 goals were calculated.

Table 1. City of Ramsey 2011-2020 and 2021-2030 Affordable and Life-cycle Housing Goals

Decade	Affordable Housing Goal	Life-cycle Housing Goal
2011-2020	434-669	665-2,430
2021-2030	274-499	963

[What's next?](#)

As mentioned earlier, communities that wish to enroll or re-enroll in LCA for the 2021-2030 decade need to adopt, by resolution, the affordable and lifecycle housing goals from the Table 1 by November 15, 2020. Attached is a template resolution for adopting your goals and stating the community's desire to participate in LCA. Again, you can opt to participate at any time, but must adopt your housing goals by November 15 of any given year to be able to apply for funds in the following year.

No later than January 15, 2021 the Council will hold a public hearing and adopt participating communities' goals to formalize (re)enrollment.

If you are undecided about enrolling or re-enrolling, or wish to speak with staff about how goals

were calculated and what they mean, please don't hesitate to contact me at Tara.Beard@metc.state.mn.us. It is our sincere wish that all eligible communities participate and that any questions or concerns are understood and responded to.

Sincerely,

Tara Beard

Tara Beard, AICP

Livable Communities Manager

Attachments

CC: Raymond Zeran, Metropolitan Council District «District_»
Angela Torres, Local Planning Assistance Manager
Eric Wojchik, Sector Representative



Tara Beard, AICP

She/Her/Hers

Manager, Livable Communities | Community Development

Tara.beard@metc.state.mn.us

P. 651.602.1051 | F. 651.602.1674

390 North Robert Street | St. Paul, MN | 55101 | metro council.org

CONNECT WITH US



CC Regular Session

7. 6.

Meeting Date: 11/10/2020

By: Chris Anderson, Community
Development

Information

Title:

Adopt Ordinance #20-18 to Rename 152nd Circle as Junkite Circle in Harvest Estates 2nd Addition

Purpose/Background:

It has come to the City's attention that the recorded Final Plat for Harvest Estates 2nd Addition identified a cul-de-sac serving five (5) homes as 152nd Circle NW rather than Junkite Circle. A change was made after recording of the Plat to ensure better consistency with the public safety grid. The approved Address Map correctly shows this street as Junkite Circle, so this street name change would not impact addresses for these five (5) lots. The existing street sign identifies this as Junkite Circle as well. Public Safety Staff have requested that the street name in the Final Plat be updated accordingly so that in mapping applications, the street name shows as Junkite Circle.

Notification:

A notice of the proposed Ordinance was published in the Anoka Union Herald, the City's Official newspaper. The Ordinance was introduced and approved by the City Council for a first reading on October 27, 2020. No amendments were made at the time of introduction.

Funding Source:

This is being addressed as part of Staff's regular duties.

Recommendation:

Staff recommends introducing Ordinance #20-18 to amend the street name on the Plat of Harvest Estates 2nd Addition from 152nd Circle to Junkite Circle in accordance with the street name grid.

Action:

Motion to waive the Charter Requirement to read the Ordinance aloud and adopt Ordinance #20-18.

Roll Call Vote
Councilmember Musgrove
Councilmember Riley
Councilmember Kuzma
Councilmember Specht
Councilmember Menth
Mayor LeTourneau

Attachments

Site Location Map

Recorded Plat of Harvest Estates 2nd Addition

Approved Address Map

Ordinance #20-18

Form Review

Inbox

Tim Gladhill

Chris Anderson

Tim Gladhill

Kurt Ulrich

Form Started By: Chloe McGuire Brigl

Final Approval Date: 11/05/2020

Reviewed By

Chloe McGuire Brigl

Kathy Schmitz

Tim Gladhill

Kurt Ulrich

Date

10/27/2020 10:32 AM

10/28/2020 01:12 PM

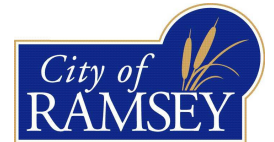
11/05/2020 06:59 AM

11/05/2020 01:54 PM

Started On: 10/27/2020 10:29 AM

Site Location Map

Harvest Estates 2nd Addition



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community, LOGIS

00.0045009 0.018 0.027 0.036
mi

HARVEST ESTATES 2ND ADDITION

City of Ramsey
County of Anoka
Sec. 23, T. 32, R. 25

KNOW ALL PERSONS BY THESE PRESENTS: That Meadow Creek Builders, Inc., a Minnesota corporation, owner of the following described property:

Lot 25, Block 1, HARVEST ESTATES, Anoka County, Minnesota.

Has caused the same to be surveyed and platted as HARVEST ESTATES 2ND ADDITION and does hereby dedicate to the public for public use the public ways and the drainage and utility easements as created by this plat.

In witness whereof said Meadow Creek Builders, Inc., a Minnesota corporation, has caused these presents to be signed by its proper officer this 3 day of May, 2019.

MEADOW CREEK BUILDERS, INC.

[Signature] (Signature)
Michael D. Pomerleau, Vice President

STATE OF MINNESOTA
COUNTY OF Hennepin

This instrument was acknowledged before me this 3 day of May, 2019 by Michael D. Pomerleau, Vice President of Meadow Creek Builders, Inc., a Minnesota corporation.

[Signature] (Signature)
Christeen Hennes (Print)
Notary Public, Hennepin County, Minnesota
My Commission Expires Jan 31, 2020

I Lynn P. Caswell do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this 30th day of April, 2019.

[Signature]
Lynn P. Caswell, Licensed Land Surveyor
Minnesota License No. 13057

STATE OF MINNESOTA
COUNTY OF Hennepin

This instrument was acknowledged before me this 30 day of April, 2019 by Lynn P. Caswell.

[Signature] (Signature)
Michelle Marie Chapman (Print)
Notary Public, Dakota County, Minnesota
My Commission Expires 1/31/20

CITY COUNCIL, CITY OF RAMSEY, MINNESOTA

This plat of HARVEST ESTATES 2ND ADDITION was approved and accepted by the City Council of the City of Ramsey, Minnesota at a regular meeting thereof held this 9th day of April, 2019, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

CITY COUNCIL, CITY OF RAMSEY, MINNESOTA
By: [Signature] Mayor By: [Signature] Clerk

COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this 3rd day of May, 2019.

By: [Signature]
Charles F. Gitzen
Anoka County Surveyor

COUNTY AUDITOR/TREASURER

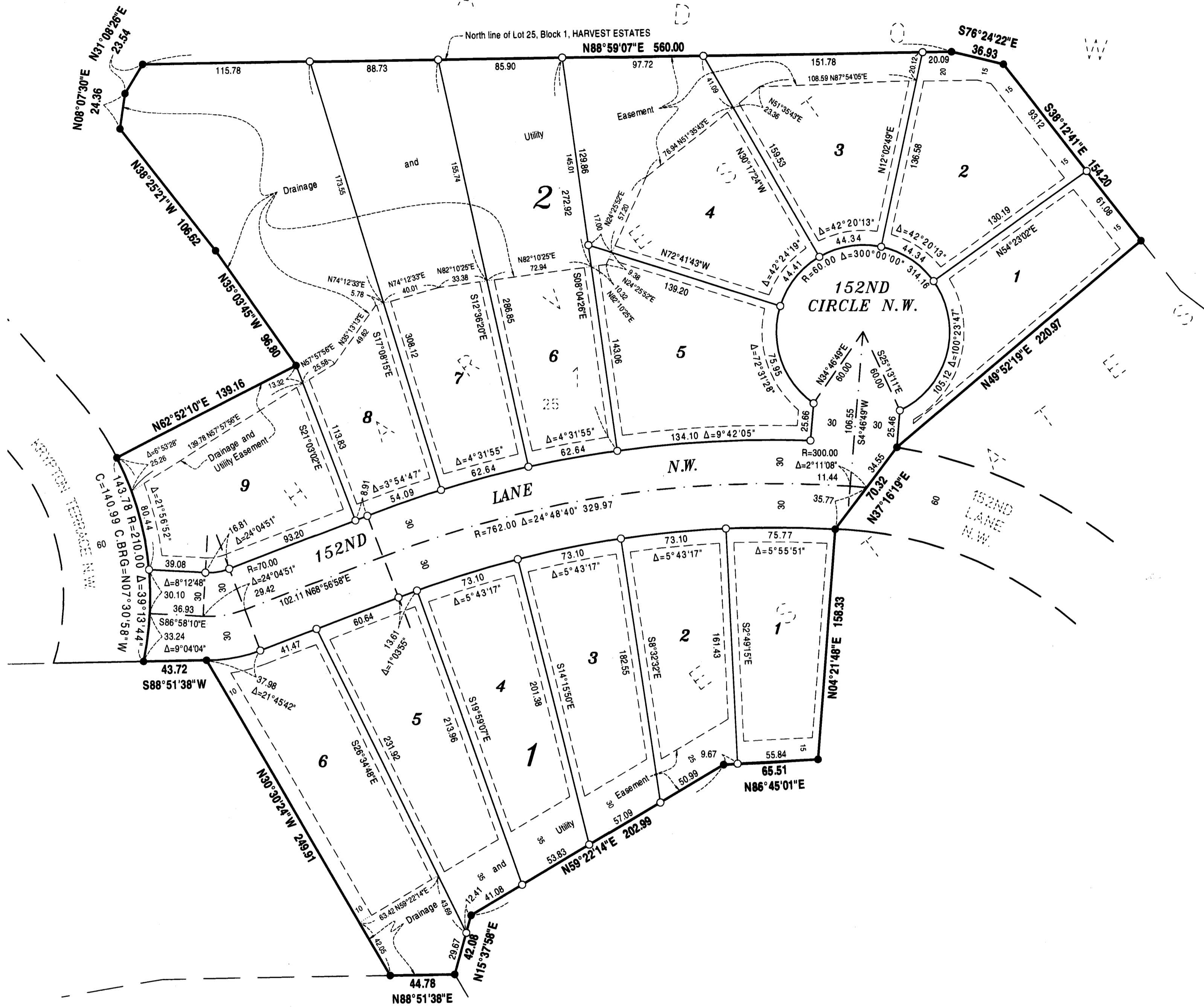
Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 2019 on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this 3 day of May, 2019.

[Signature]
Jonell M. Sawyer
Property Tax Administrator
By: [Signature] Deputy

COUNTY RECORDER/REGISTRAR OF TITLES
COUNTY OF ANOKA, STATE OF MINNESOTA

I hereby certify that this plat of HARVEST ESTATES 2ND ADDITION was filed in the office of the County Recorder/Registrar of Titles for public record on this 3 day of May, 2019 at 11:21 o'clock A.M. and was duly recorded as Document Number 2226009.006.

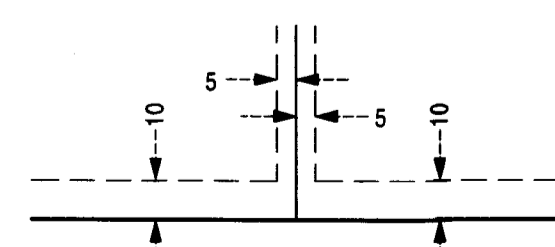
[Signature]
Jonell M. Sawyer
County Recorder/Registrar of Titles
By: [Signature] Deputy



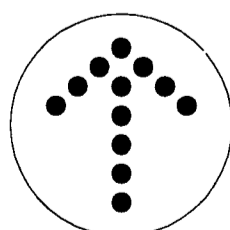
M E A D O W

● Denotes 1/2 inch iron pipe monument found.
○ Denotes 1/2 inch by 14 inch iron pipe monument set and marked by License No. 13057.
Bearings shown are based upon the North line of Lot 25, Block 1, HARVEST ESTATES, which has an assumed bearing of N 88°59'07" E.

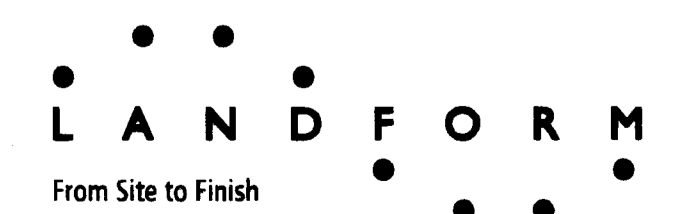
Drainage and Utility Easements are shown thus:



Being 5 feet in width and adjoining side lot lines, unless otherwise shown, and 10 feet in width and adjoining street lines as shown on the plat.



NORTH
1 INCH = 50 FEET
0 50 100
SCALE IN FEET



#56



R
A

Record ID 4198691

THIS DOCUMENT NUMBER REPRESENTS A PLAT

This page has been added for recording purposes only. It is not part of the document.

MUNICIPALITY: RAMSEY CERTIFIED BY: _____ ON: _____

MAP # 4473

2226009.006

DOC. DATE: 5/3/19

NO OF PAGES: 1

PLAT

SHORT NAME: HARVEST ESTATES 2ND ADDITION

LONG NAME: HARVEST ESTATES 2ND ADDITION

A/T	PARENT PINS & TCA CODES	RES	GRANTORS (Fees, C/Ps, Mortgagees)
A	23-32-25-41-0081 630110	N	Meadow Creek Builders INC A COMPANY

FILED BY: Edina Realty Title PHONE: (952) 928-5181

TAXPAYER NAME: Meadow Creek Builders INC

ADDRESS: 10122 Ewing Lane N Brooklyn Park, MN 55443

NEW PARCELS

LOT	BLOCK	LOT	BLOCK	LOT	BLOCK
1-6	1				
1-9	2				

DELQ & CURRENT TAXES ARE PAID:	INITIALS: <u>[Signature]</u>	DATE: <u>5/3/19</u>	DIV. NO.: _____
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ANOKA COUNTY MINNESOTA

Document No.: 2226009.006 ABSTRACT

I hereby certify that the within instrument was filed in
this office for record on: 05/03/2019 11:21:00 AM

Fees/Taxes In the Amount of \$56.00

JONELL M. SAWYER

Anoka County Property Tax

Administrator/Recorder/Registrar of Titles

MDT, Deputy

Record ID: 4198691

ORDINANCE #20-18

CITY OF RAMSEY ANOKA COUNTY STATE OF MINNESOTA

**AN ORDINANCE AMENDING A STREET NAME
IN THE HARVEST ESTATES 2ND ADDITION PLAT.**

SECTION 1. AUTHORITY

This ordinance is adopted pursuant to and under the authority of the Home Rule Charter of the City of Ramsey, Section 12.06 and Minnesota Statutes 412.851.

SECTION 2. AMENDMENT

Within the HARVEST ESTATES 2ND ADDITION Plat only, 152nd Circle NW shall be renamed as Junkite Circle NW.

SECTION 3. EFFECTIVE DATE

This ordinance becomes effective 30 days after its passage and publication, subject to City Charter Section 5.04.

PASSED by the City Council of the City of Ramsey, Minnesota this the 10th day of November, 2020.

Mayor John LeTourneau

ATTEST:

City Clerk Colleen Lasher

Introduction date:

Posting dates:

Adoption date:

Publication date:

Effective date: