

City of Ramsey
Agenda
Regular Planning Commission
Thursday, January 2, 2020
7:00 pm
Council Chambers, 7550 Sunwood Drive NW

- 1. Call to Order**
- 2. Pledge of Allegiance**
- 3. Citizen Input**
- 4. Approve Agenda**
- 5. Consent Agenda**
 1. Approve the November 7, 2019 Planning Commission Work Session Minutes
Approve the December 5, 2019 Planning Commission Meeting Minutes.
- 6. Public Hearing**
 1. PUBLIC HEARING: Consider Request for a Zoning Amendment for Two Parcels at 9340 Highway 10 NW (Project No. 19-151); Case of MYWC, LLC
 2. PUBLIC HEARING: Review Preliminary Plat for Garden View Villas (DC Townhomes); Project 19-136
- 7. Commission Business**
 1. Consider Amended Request for a Home Occupation Permit for a Garbage Hauling Company at 17030 Baugh St NW; Case of Allen and Joyce Birchem/Birchem Sanitation (Project #19-141)
 2. Consider Amended Sketch Plan for Odyssey Homes; Case of Odyssey Homes (Project No. 19-140)
- 8. Commission/Staff Input**
- 9. Adjournment**

Regular Planning Commission

5. 1.

Meeting Date: 01/02/2020

By: JoAnn Shaw, Community Development

Information

Title:

Approve the November 7, 2019 Planning Commission Work Session Minutes
Approve the December 5, 2019 Planning Commission Meeting Minutes.

Purpose/Background:

n/a

Notification:

Observations/Alternatives:

Funding Source:

Recommendation:

Action:

Attachments

[11 07 19 Work Session Minutes](#)

[12 05 19 Meeting Minutes](#)

Form Review

Inbox

Tim Gladhill

Form Started By: JoAnn Shaw

Final Approval Date: 12/27/2019

Reviewed By

Tim Gladhill

Date

12/27/2019 09:54 AM

Started On: 12/23/2019 08:59 AM

**PLANNING COMMISSION
CITY OF RAMSEY
ANOKA COUNTY
STATE OF MINNESOTA**

The Ramsey Planning Commission conducted a worksession meeting on Thursday, November 7, 2019, at the Ramsey Municipal Center, 7550 Sunwood Drive NW, Ramsey, Minnesota.

Members Present: Chairperson Randy Bauer
 Commissioner Bruce Anderson
 Commissioner Cheri Gengler
 Commissioner Torrey Johnson
 Commissioner Eric Peters
 Commissioner Gary VanScoy
 Commissioner Matt Woestehoff

Members Absent: None

Also Present: Community Development Director Timothy Gladhill
 City Planner Chloe McGuire Brigl
 City Planner Chris Anderson

1. CALL TO ORDER

Chairperson Bauer called the regular meeting to order at 5:30 p.m.

2. TOPICS FOR DISCUSSION

None.

2.01: Discuss 2020 Planning Commission Work Plan

Community Development Director Gladhill reviewed the staff report including reorganization of the community development staffing assignments and review of the Strategic Plan developed by the City Council. He asked the Planning Commissioners to brainstorm three to five ideas for the Commission for the upcoming year. He determined that signage was an overarching theme for the group.

Chairperson Bauer commented that there have been a number of variances requested and approved by the Commission and therefore believed that the Commission should review if the size limit should be increased. He noted the other changes that may be necessary to handle specific signage for Highway 10 signage.

Community Development Director Gladhill noted that the question for the Commission would be whether it would like to continue to review those sign requests as they come in or whether they would prefer those approvals to be handled administratively.

Commissioner Anderson commented that the Commission has already agreed that large signs would be appropriate along the railroad corridor. He noted that the businesses he has spoken with have expressed difficulty in finding signs of the appropriate size and placing those in the allowed locations. He asked if there should be thought to allowing higher signs on multi-story buildings.

Commissioner Woestehoff stated that he has a different perspective as he believes that less signage should be allowed along Highway 10 and would prefer to preserve a more natural character for Ramsey.

Community Development Director Gladhill commented that one method to achieve that objective would be to encourage shared signage along the highway corridor.

City Planner Anderson noted that there are different standards in The COR compared to other commercial/industrial districts. He asked if the interest of the Commission would be specific to The COR or across all commercial/industrial districts.

Commissioner Woestehoff stated that he would like to see the different zoning districts mapped out more and suggested that perhaps Highway 10 become just one district on its own.

Commissioner Anderson commented that this is a topic that should be discussed as a group and perhaps better ground rules should be developed for The COR specifically.

Community Development Director Gladhill moved to the next topic of housing, accessory dwelling, and affordable housing.

Commissioner Gengler stated that she would be interested in what could be done in terms of policy to help encourage more affordable housing in the community. She stated that Ramsey has so many different types of housing available and she would want to ensure that the community remains open to providing housing for everyone.

Commissioner Woestehoff agreed and noted that many developers state that affordable in the in \$200,000's range, which is not typically considered affordable.

Community Development Director Gladhill noted that the City Council will be studying the topic of housing and this feedback will be helpful as there has been some pushback from the community related to multi-family housing. He stated that the issue of "she-sheds" and accessory dwelling units is a trend that the group could tackle as well.

Commissioner Anderson commented that it would be helpful to have better communication between the Boards and Commissions to ensure that the groups are working cohesively. He commented that it would also be helpful to have a method to provide updates to the public on the activity of the Planning Commission and other groups.

Community Development Director Gladhill noted that the City has begun updating its website to become more user friendly and has been posting more updates to its social media as well.

Commissioner Anderson recognized that it is hard to coordinate everyone to meet together from different Boards and Commissions but noted that it would be helpful to have an annual or bi-annual joint meeting of the different Boards and Commissions to provide updates on the activity of other groups.

Commissioner Woestehoff commented that perhaps a better idea would be to attend some of the meetings of the other Boards or Commissions.

Commissioner Anderson explained that when you attend a meeting of another group, you are attending as a citizen and are not provided with an opportunity to speak, whereas a joint meeting would provide an opportunity for open discussion between the groups.

Commissioner VanScoy commented that the open houses have been very helpful for the residents and the developers.

Commissioner Gengler recognized that staff sends out notifications as required but there are still a lot of comments from residents stating that they were unaware of the topic.

Community Development Director Gladhill noted that residents can sign up for development alerts through the City website. He moved to the topic of zoning for religious uses.

Chairperson Bauer stated that he would like to review the zoning districts to determine which zoning districts would be appropriate and to ensure consistent regulations throughout the different districts where that use is allowed. He stated that he does not like the use of interim use permits and would prefer to allow the use as a conditional use.

Community Development Director Gladhill provided additional input on why the uses is allowed as an interim use currently and confirmed the topic could be added to the work plan. He asked for input on the administrative/procedural items.

Chairperson Bauer stated that there should be a review of the ordinances that receive a lot of variance requests to determine if adjustments should be made to the ordinance itself rather than continuing to issue variances.

Commissioner Woestehoff stated that perhaps use of the consent agenda would be helpful for items that simply need approval of the Commission and would not require discussion.

Commissioner Anderson stated that he would like some additional notification from staff on potential upcoming projects which would allow the Commission members to visit the site if desired.

Community Development Director Gladhill provided input on the 60-day review period allowed by the City. He noted that staff has been attempting to bring projects forward onto the radar of the Commission earlier through the use of concept plans and sketch plans. He provided additional input on the use of PUD's and that process.

Commissioner Gengler suggested that perhaps a statement be shared when the meeting begins or as a written statement for attendees related to the desired code of conduct. It was noted that perhaps the statement could be shared on the screens prior to the meeting beginning.

Commissioner VanScoy referenced the shared parking desire for The COR and noted that it does not seem that the City is following that policy and therefore that should be reviewed to determine if its still appropriate. He provided additional details related to his comments regarding density and net density.

City Planner Anderson provided additional input on density transitioning. He also provided input on the street names in Ramsey and different spellings used.

Community Development Director Gladhill referenced the topic of food trucks and provided input on the related staff discussions thus far.

Chairperson Bauer commented on the desire to perhaps review the City's development scale to ensure the City remains competitive with other surrounding communities.

Commissioner Woestehoff stated that the discussion of Franchise Fees should continue, although recognized that may not be under the Planning Commission.

Commissioner Anderson stated that it would be helpful if the staff report for cases reference the applicable section of City Code.

Community Development Director Gladhill summarized the topics that will be a focus for 2020: administrative policies, signage, parking, zoning for religious uses, housing and accessory structures, density/density transitioning, and communication. He stated that staff will use this information to create a draft work plan for the Commission to formally approve.

3. ADJOURNMENT

The regular meeting of the Planning Commission adjourned at 6:53 p.m.

Respectfully submitted,

Tim Gladhill
Community Development Director

ATTEST:

JoAnn Shaw
Community Development Assistant

Drafted by Amanda Staple
TimeSaver Off Site Secretarial, Inc.

**PLANNING COMMISSION
CITY OF RAMSEY
ANOKA COUNTY
STATE OF MINNESOTA**

The Ramsey Planning Commission conducted a regular meeting on Thursday, December 5, 2019, at the Ramsey Municipal Center, 7550 Sunwood Drive NW, Ramsey, Minnesota.

Members Present: Chairperson Randy Bauer
 Commissioner Bruce Anderson
 Commissioner Cheri Gengler
 Commissioner Torrey Johnson
 Commissioner Eric Peters
 Commissioner Gary VanScoy
 Commissioner Matt Woestehoff

Members Absent: None

Also Present: Community Development Director Timothy Gladhill
 City Planner Chris Anderson
 City Planner Chloe McGuire Brigl
 Planning Consultant Eric Maass

1. CALL TO ORDER

Chairperson Bauer called the regular meeting to order at 7:00 p.m.

2. CITIZEN INPUT

None.

3. APPROVAL OF AGENDA

Motion by Commissioner VanScoy, seconded by Commissioner Johnson, to approve the agenda as presented.

Motion Carried. Voting Yes: Chairperson Bauer, Commissioners VanScoy, Johnson, Anderson, Gengler, Peters, and Woestehoff. Voting No: None. Absent: None.

4. CONSENT AGENDA

4.01: Approve the November 7, 2019 Planning Commission Minutes

4.02: Consider Request for Extension of Variance and Conditional Use Permit related to Indoor Horse-Riding Arenas at 17902 Saint Francis Blvd NW (Project No. 19-101); Case of Dale and Tammy Wills

Motion by Commissioner Woestehoff, seconded by Commissioner Peters, to approve the consent agenda as presented.

Motion Carried. Voting Yes: Chairperson Bauer, Commissioners Woestehoff, Peters, Anderson, Gengler, Johnson, and VanScoy. Voting No: None. Absent: None.

5. PUBLIC HEARINGS/COMMISSION BUSINESS

5.01: Public Hearing: Consider Resolution 19-279 Approving an Interim Use Permit at 16839 Saint Francis Blvd NW to Temporarily Allow Two Homes on the Subject Property (Project No. 19-148): Case of Chelsea and Robert Jones

Public Hearing

Chairperson Bauer called the public hearing to order at 7:02 p.m.

Presentation

City Planner McGuire Brigl presented the staff report stating staff recommends approval of Resolution #19-279 approving an Interim Use Permit for 16839 Saint Francis Blvd to maintain an existing residence during construction of a new home.

Chairperson Bauer asked if the language is appropriate to ensure there is sufficient time for construction of the home.

City Planner McGuire noted that the language could be changed to allow one year rather than six months or the six-month period could remain, and an extension could be granted if needed. She confirmed that the six months would begin after the permit is issued, rather than six months from the time of approval.

Citizen Input

Robert and Chelsea Jones, 16839 Saint Francis Blvd NW, stated that this will make it easier for them to remain in the existing home while the new home is constructed rather than finding a temporary location to live while the home is built.

Chairperson Bauer asked if the applicant would be satisfied with the six-month timeframe.

Mr. Jones agreed that six months should be sufficient.

Commissioner Anderson asked when the existing home was constructed.

Mr. Jones commented that the home was constructed in 1910.

Motion by Commissioner Anderson, seconded by Commissioner Johnson, to close the public hearing.

Motion Carried. Voting Yes: Chairperson Bauer, Commissioners Anderson, Johnson, Gengler, Peters, VanScoy, and Woestehoff. Voting No: None. Absent: None.

Chairperson Bauer closed the public hearing closed at 7:06 p.m.

Commission Business

Motion by Commissioner VanScoy, seconded by Commissioner Peters, to recommend that City Council adopt Resolution #19-279 Approving the Issuance of an Interim Use Permit to Chelsea and Robert Jones to Maintain Two Principal Buildings at 16839 St. Francis Blvd NW for a Temporary Period of Time.

Motion Carried. Voting Yes: Chairperson Bauer, Commissioners VanScoy, Peters, Anderson, Gengler, Johnson, and Woestehoff. Voting No: None. Absent: None.

5.02: Public Hearing: Consider Ordinance #19-16 Approving Zoning Amendments for Outlot A, Alpha Development and Outlot C, Northfork

Public Hearing

Chairperson Bauer called the public hearing to order at 7:07 p.m.

Presentation

Community Development Director Gladhill presented the staff report stating that based on the direction of the Draft 2040 Comprehensive Plan update, staff recommends approval of the Ordinance amending the Official Zoning Map. If the Planning Commission is not comfortable with the amendment, it should recommend to the City Council to modify the Draft 2040 Comprehensive Plan update before submittal to the Metropolitan Council.

Citizen Input

Leslie Clark, 15150 Kangaroo Street, stated that this has been a long process and she has been regularly active throughout the process. She commented that this seems to be the best compromise thus far, although she would have preferred the entire site remain low density. She asked that the developer be held to the larger lots abutting the neighboring properties as shown in the proposal.

William Kingston, 15760 Andre St NW, stated that he served on the Committee for the draft 2040 Comprehensive Plan. He commented that the plan is not yet approved, and he would be surprised to see changes made to that plan. He stated that he is very concerned with the intersection of Armstrong and Alpine and there would be a large increase in density and traffic, not only from this proposed development but also Riverstone once completed and the parcel adjacent this parcel. He stated that his other concern would be the upcoming improvements for Highway 10, Ramsey

Boulevard, and Sunfish Lake Boulevard and how that would impact the traffic on Ramsey Boulevard, Alpine Boulevard and Sunfish Lake Boulevard. He stated that he would like to see the traffic studies that have been completed as he did not believe that the traffic levels would be acceptable. He commented that if improvements are needed to specific intersections because of the three developments he mentioned, those improvements should be funded by those developers rather than the taxpayers.

Nick Kunkle, 9040 162nd Lane NW, referenced Andre and noted that there is already traffic that cuts through on Andre to avoid sections of Highway 10. He stated that he would be concerned with additional traffic attempting to avoid congestion on Highway 10 attempting to cut through the Northfork neighborhood. He asked that a comprehensive traffic plan be developed to get the residents out of the proposed neighborhoods without impacting Northfork.

Commissioner VanScoy asked if the traffic studies are available and whether they apply to these parcels.

Community Development Director Gladhill stated that there have been several traffic studies in this area but believed that updated information would be provided through preliminary plat. He referenced the other traffic studies that are publicly available that were completed for Riverstone and the industrial park.

Commissioner VanScoy stated that as he understood the case, the draft 2040 Comprehensive Plan would be consistent with the changes proposed tonight.

Community Development Director Gladhill commented that the draft 2040 Comprehensive Plan was changed after the Committee development due to comments received during the public comment period. He confirmed that the information proposed tonight would be in line with the draft 2040 plan as it states now. He noted that official action is not requested tonight, at the request of the developer, and the public hearing can remain open to take comments on the other parcel in discussion.

Chairperson Bauer moved to the discussion of the other parcel and welcomed the developer to come forward.

Zach Brown, BK Land Development, recognized that there was some concern with the density of the villa product. He explained that there is a big demand for this type of product which would also enhance the golf course community as it would be in demand for empty nesters that would utilize the golf course whereas the single-family homes will most likely appeal to families with young children. He commented that the mix of products would most likely ensure that the development would be constructed and sold quickly rather than taking years to build out.

Nick Kunkle, 9041 162nd Lane, thanked staff for their kindness and attention when he and his wife shared their concerns regarding this development. He stated that he is here to speak for the wildlife, noting that group was here first. He recognized that development will come but noted that his concern is that as property is developed there should also be thought and balance between development and the wildlife community and greenspace for the animals. He stated that Lake

Itasca has struggled to maintain water levels since the developments have begun. He noted that the water levels have decreased, and the wetland levels have decreased as well. He asked how water that used to feed those lake and wetlands could be redirected to those water bodies. He stated there are a lot of migratory animals that cross Alpine, specifically turtles, and he struggles with the increased amount of traffic on the roadway that threatens the wildlife crossing the roadway. He asked for a balance between increasing development and preserving the wildlife habitat. He stated that Andre is becoming more dangerous to walk along and with another 400 plus vehicles that would have the option to cut through on Andre that danger will only increase. He asked if there are any City provisions that would allow control over the amount of drive through truck traffic that cuts through Northfork to avoid the weigh scales.

Chairperson Bauer stated that Mr. Kunkle mentioned the speed limit on Alpine, which is currently 40 mph, during the worksession earlier tonight.

Community Development Director Gladhill noted that there is a process to petition for a speed change through the Public Works Committee. He noted that process includes a speed study and often following that study the results recommend a higher speed limit, which is often not the desired result. He stated that perhaps traffic calming measures could be added during the future reconstruction of Alpine. He noted that there would be pedestrian crossing elements added to Alpine during that reconstruction as well.

Chairperson Bauer asked if there is anything within City Code which could restrict truck traffic.

Community Development Director Gladhill stated that Andre is a public road and therefore traffic cannot be restricted. He noted that weight limits can be placed on the roads and additional enforcement could be encouraged.

Chairperson Bauer commented that the concerns on Andre are not perhaps a point of discussion for this case but encouraged the residents to continue to bring those concerns to City staff and/or the City Council for further investigation.

Mr. Kunkle commented that there are places where turtles cross to access Lake Itasca and the curb height on Alpine is too high for the turtles. He stated that perhaps there could be an area where curb is reduced to allow turtles to continue on their migratory paths.

Chairperson Bauer stated that there are several areas that have the rounded curbs and perhaps that could be a part of the Alpine reconstruction project.

William Kingston, 15760 Andre St NW, stated that he understands change. He stated that the change to density for this area was completed after the Committee provided its recommended draft 2040 plan. He believed that it was a good compromise with the two densities on the yellow parcel. He stated that one of his concerns is that a proposed access to the development would occur in a curved downhill section of Alpine and believed that would be prone to accidents. He stated that there would be a proposed trail along Alpine proposed by the developer that only goes part way across the Riverstone development and would not connect to Puma. He recognized that is not a concern of this developer but there should be thought towards a more comprehensive trail plan

rather than segments. He stated that a previous development for this parcel proposed ten to 16 homes on larger lots with well and septic whereas this is a much higher density. He stated that when you add this development, the previously discussed development, and Riverstone that is a lot of extra traffic. He did not believe that the traffic studies have been updated with the two proposals discussed tonight and asked that those studies be updated with the higher densities.

Chairperson Bauer stated that he lives in the Riverstone development and noted that there is a three-way stop at Puma and Bunker. He noted that he brought concerns to the City and was told there was a traffic study to justify that traffic control. He stated that in the time he has lived in Riverstone he has only ever met another vehicle at that intersection three times. He commented that the traffic studies seem to have taken into account the additional traffic to come. He commented that the developer could be asked to extend the trail to the end of their property and perhaps Riverstone could be asked to extend their portion of the trail as well.

Community Development Director Gladhill confirmed that this developer is doing their part to construct the trail along the entirety of their property. He provided additional details on the Capstone preliminary plat revision and believed that the extension of the trail was a condition and noted that would continue to be an item of discussion.

Mr. Kunkle referenced the trail on the north side of Alpine. He stated that if he was living in the new development and was aware that there was a great trail on the other side of Alpine, he would be attempting to cross Alpine, which is a busy roadway, to access that trail. He stated that there should be a safety plan to allow the pedestrian traffic that wants to cross Alpine to connect to the trails.

Chairperson Bauer confirmed that he does cross Alpine to get to the trails on the other side.

Community Development Director Gladhill stated that there is room to have that discussion during the next agenda item.

Mr. Brown stated that with the empty nester product, a lot of those residents are snowbirds and not home during the winter months. He stated that most of those residents have one vehicle and do not add to traffic during the peak traffic times are they are retired. He noted that the impact to traffic will be must lower with the mix of products compared to all single-family homes.

Commissioner Woestehoff asked if there would be any work on the intersection at Alpine and Highway 10 during the reconstruction of Alpine.

Community Development Director Gladhill explained that the reconstruction of Alpine does not propose any changes to that intersection, but the Highway 10 Gateway project does take that intersection into account. He noted that there are multiple entities involved in that discussion and therefore planning for that intersection will be a part of the next phase of discussions.

Motion by Commissioner Gengler, seconded by Commissioner Anderson, to close the public hearing.

Motion Carried. Voting Yes: Chairperson Bauer, Commissioners Gengler, Anderson, Johnson, Peters, VanScoy, and Woestehoff. Voting No: None. Absent: None.

Chairperson Bauer closed the public hearing closed at 7:56 p.m.

Commission Business

Motion by Commissioner VanScoy, seconded by Commissioner Anderson, to recommend that City Council adopt Ordinance #19-16 Amending the Official Zoning Map for Outlot C, Northfork.

Further discussion

Commissioner VanScoy asked if this change to Outlot C would make the zoning consistent with the draft 2040 Comprehensive Plan.

Community Development Director Gladhill confirmed that this change will make the zoning consistent with the draft 2040 Comprehensive Plan. He confirmed that a request to rezone Outlot A will most likely move forward in the next few months when that developer is available.

Commissioner Anderson stated that it seems that Alpine would be an ideal candidate for a roundabout to slow down the traffic.

Motion Carried. Voting Yes: Chairperson Bauer, Commissioners VanScoy, Anderson, Gengler, Johnson, Peters, and Woestehoff. Voting No: None. Absent: None.

6. COMMISSION BUSINESS

6.01: Consider Sketch Plan for BK Land Development (formerly known as Villas at Northfork); Project No. 19-147

Presentation

City Planner McGuire Brigl presented the Staff Report stating that based on guidance within the Draft 2040 Comprehensive Plan, staff recommends that the applicant move forward with preparing a Preliminary Plat that includes staff feedback. She highlighted the noted items from the open house prior to the meeting tonight. She asked that the Commission provide the applicant with any additional feedback.

Commission Business

Chairperson Bauer asked that the carbon neutral suggestion related to trees be forwarded to City Planner Anderson to determine if there should be modification to the tree preservation ordinance.

Commissioner VanScoy asked if pedestrian crossing could be added to the list.

City Planner McGuire Brigl confirmed that is on the list. She noted that the public safety item was related to whether additional manpower would be added to the police force for the added population.

Zach Brown, BK Land Development, stated that he appreciates the feedback that has been received throughout the process and they have used that to amend the plan to this version.

Chairperson Bauer asked for input on the timeline for the developer.

Mr. Brown stated that if all approvals are gained in a timely manner he would love to begin grading in the spring or as soon as they could after ground thaw.

Commissioner VanScoy referenced the north/south trail and asked if that goes through the entire property or whether there is a gap.

Luke Konewko BK Land Development, confirmed that there was a gap in the trail. He noted that they have been working with the golf course to possibly move the gap to connect to the golf course trail.

Commissioner VanScoy asked if there would be density transitioning required between the two density products.

City Planner McGuire commented that transitioning would not be required because the development is not existing.

Chairperson Bauer asked if Pearson Park is part of the Riverstone Development or whether that is a public park.

City Planner McGuire Brigl replied that is a part of the Riverstone Development but is open to the public.

Chairperson Bauer stated that there should be thought to connecting trails to allow residents to access that park. He commented that there was good input received at the open house tonight prior to this meeting which provides the developer with valuable input.

Luke Konewko commented that they are very appreciative of the feedback they have received from City staff, the Commission, and the public.

7. COMMISSION / STAFF INPUT

7.01: Receive Staff Update

The Staff Update was noted.

Commissioner VanScoy commented that whoever types the minutes is doing an excellent job.

Community Development Director Gladhill stated that beginning in January his department will begin to phase in some staffing transitions, noting that City Planner McGuire Brigl will be the contact for the Planning Commission.

8. ADJOURNMENT

Motion by Commissioner VanScoy, seconded by Commissioner Anderson, to adjourn the meeting.

Motion Carried. Voting Yes: Chairperson Bauer, Commissioners VanScoy, Anderson, Gengler, Johnson, Peters, and Woestehoff. Voting No: None. Absent: None.

The regular meeting of the Planning Commission adjourned at 8:13 p.m.

Respectfully submitted,

Tim Gladhill
Community Development Director

ATTEST:

JoAnn Shaw
Community Development Assistant

Drafted by Amanda Staple
TimeSaver Off Site Secretarial, Inc.

Regular Planning Commission

6. 1.

Meeting Date: 01/02/2020

By: Chloe McGuire Brigl, Community Development

Information

Title:

PUBLIC HEARING: Consider Request for a Zoning Amendment for Two Parcels at 9340 Highway 10 NW (Project No. 19-151); Case of MYWC, LLC

Purpose/Background:

The purpose of this case is to consider a zoning amendment request from MYWC, LLC (the "Applicant") to rezone two (2) properties from B-1 Business District to R-1 Single Family Detached Homes (MUSA). The properties were rezoned in the 1990s from Residential to Business and guided in the Comprehensive Plan as Mixed Use (which includes both business and residential uses). The eastern property includes a residential home that appears to have been built in the 1970s under a previous residential zoning district, and the western property is vacant. Since the home was built as a residential structure under a residential zoning district at the time, the use was provided lawful, non-conforming protections at the time of the 1990s Zoning Amendment. The property with the existing home is up for sale and via a request for a zoning verification letter, Staff found a potential issue with lawful non-conforming status as the Owner previously used the property exclusively for commercial (office) use.

Notification:

Notifications of this proposal were sent via Standard US Mail to Property Owners within 350 feet of the Subject Property, as reflected by Anoka County Property Records. A notice was also published in the Anoka Union Herald, the City's Official newspaper.

Observations/Alternatives:

Summary

There are two properties owned by the Applicant; 9340 Highway 10 NW, which has an existing home, and the adjacent parcel to the west, which is currently vacant. The property with the home is up for sale and through the sales process, Staff became aware of the potential issue with lawful, nonconforming status. In working with the City Attorney, it does not appear that the residential use is lawful, nonconforming based on the most recent uses of the property. There was a gap of more than 12 months without a residential use, thereby abandoning the lawful, nonconforming protection under Minnesota Statutes.

Evaluating existing conditions of the property and surrounding area, Staff does believe a residential zoning district is most appropriate. Staff recommends a zoning amendment to R-1 Residential to allow the residential use 'by right' and to remove any issues with lawful, nonconforming uses. The Owner agrees with this approach and has applied for this Zoning Amendment.

Previous Uses

The best information Staff has been able to find shows that the home was used in the following ways:

From original construction until 2009	100% residential
2010 - 2015	100% office
2015 - 2019	Mix of office and residential

The property was rezoned in the 1990s to B-1 Business District. According to the City Attorney, if there is any gap in residential use after rezoning for more than one (1) year, the property is no longer allowed to claim lawful, nonconforming residential use. From what Staff can determine, the property was used as strictly office (commercial/business) for approximately five (5) years. This means the property, under City Code, can only be used as business at this time.

Process

In order to allow this structure and property to be used for residential purposes, City Code requires a rezoning to R-1 Residential (MUSA). The Owner (Seller) has an active Purchase Agreement for residential purposes, and the Buyer is unwilling to close on this transaction unless this zoning verification/amendment is completed. The property was unaltered when used as offices, as the offices were for a residential builder.

Proposed Use

There is an offer for the eastern property (9340 Highway 10 NW) to be purchased and utilized as a strictly residential property.

Code Sections

- R-1 Single Family Detached Homes (MUSA) is found under City Code Section 117-111.
- B-1 General Business District is found under Section 117-114.
- Zoning Amendments alter the official zoning map under Section 117-90.

Funding Source:

The Applicant is responsible for all costs related to this request.

Recommendation:

Staff recommends the City Council adopt Ordinance #20-01 approving a Zoning Amendment for both properties from B-1 Business to R-1 Residential (MUSA).

Action:

Recommend the City Council adopt Ordinance #20-01.

Attachments

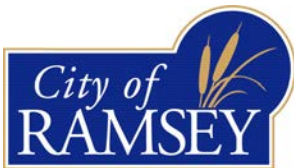
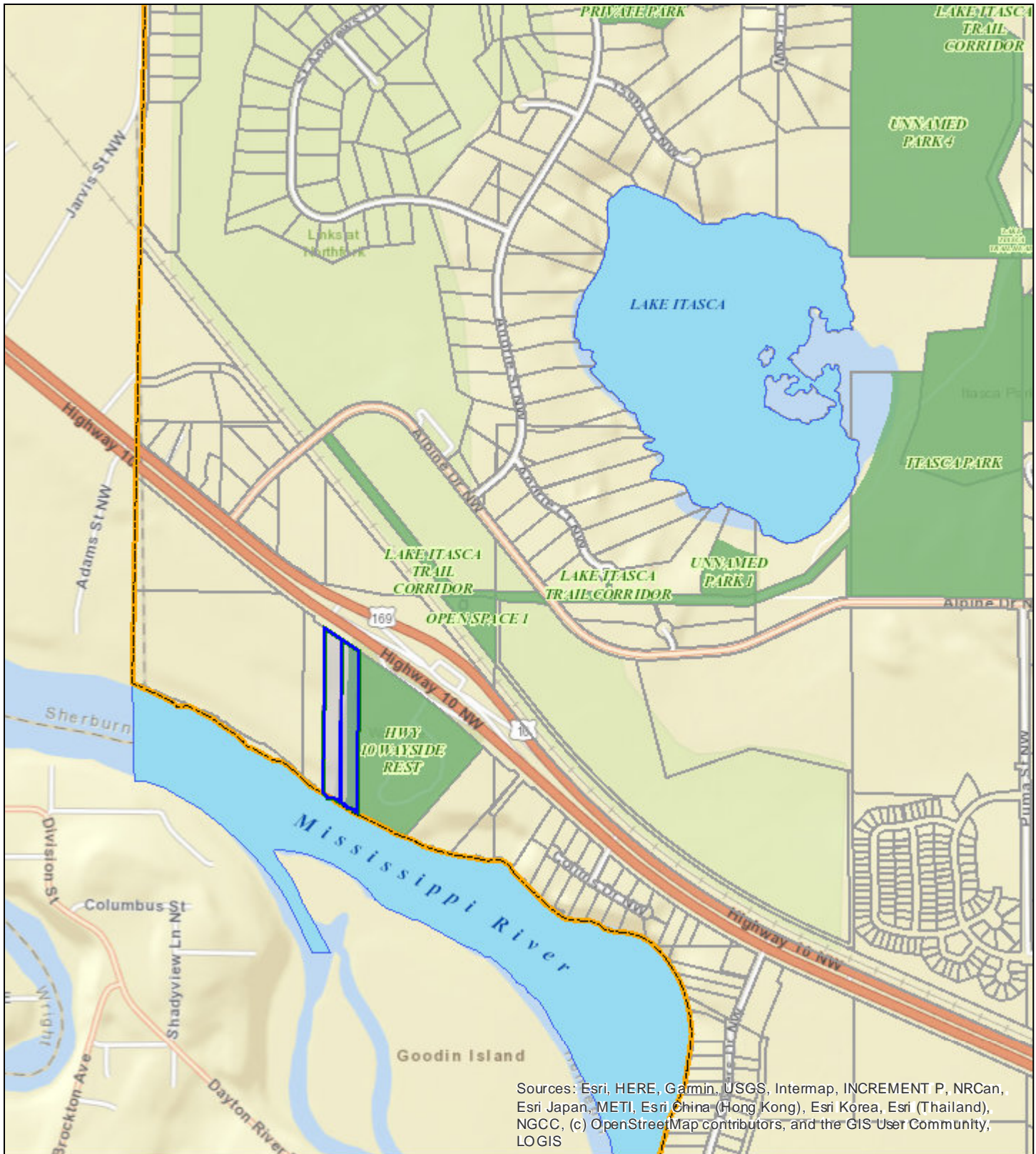
[Site Location Map](#)

[League of Minnesota Cities Memo on Nonconformities](#)

[Ordinance #20-01](#)



Form Review

Inbox	Reviewed By	Date
Chris Anderson	Chris Anderson	12/18/2019 11:43 AM
Tim Gladhill	Tim Gladhill	12/27/2019 07:58 AM
Form Started By: Chloe McGuire Brigl		Started On: 12/16/2019 09:16 AM
Final Approval Date: 12/27/2019		



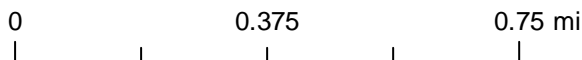
Site Location Map

Legend

-  Site
-  Parcels



Print Date: December 13, 2019



Land Use Nonconformities

Learn what the city can and cannot do about land uses, structures or lots that do not comply with the city's current zoning ordinance. Read about statutory restrictions and the city's role in administering nonconforming uses.

RELEVANT LINKS:

[Minn. Stat. § 462.357 subd. 1e\(c\).](#)

See MNDNR web page, [National Flood Insurance Program.](#)

I. Nonconformities

Nonconformities are simply any land uses, structures or lots that do not comply with the current zoning ordinance of a city.

A. Legal nonconformities

Legal nonconformities are those that were legal when the zoning ordinance or amendment was adopted, in that they complied with then existing ordinance and law. Legal nonconformities generally have a statutory right to continue. The rights of legal nonconformities are often referred to as grandfather rights.

B. Illegal nonconformities

Illegal nonconformities are those that were not permitted when established. In contrast to legal nonconformities, illegal nonconformities do not have the rights associated with legal nonconformities. Illegal nonconformities may exist because a prior zoning ordinance was not enforced as written. Failure by the city to enforce a prior zoning ordinance does not give a landowner the legal right to continue an illegal nonconformity. Before assuming a particular nonconformity is entitled to the statutory right to continue, it is important to consider whether the nonconformity ever complied with existing ordinance or law.

C. Floodplain nonconformities

Legal nonconformities in floodplain areas have more limited rights. Cities may regulate the repair, replacement, maintenance, improvement or expansion of nonconforming uses and structures in floodplain areas to the extent necessary to maintain community eligibility for the National Flood Insurance Program (NFIP).

This material is provided as general information and is not a substitute for legal advice. Consult your attorney for advice concerning specific situations.

RELEVANT LINKS:

[Minn. Stat. § 462.357, subd. 1e.](#)

[Minn. Stat. § 462.357 subd. 1e\(a\)\(1\).](#)

[Minn. Stat. § 462.357 subd. 1e\(a\)\(2\).](#)

[Minn. Stat. § 462.357 subd. 1c.](#)

II. Statutory rights of legal nonconformities

In Minnesota, any legal nonconformity generally has a statutory right to continue. Specifically, legal nonconformities may be continued, including through repair, replacement, restoration, maintenance, or improvement, but not including expansion. These rights were once limited to repair and maintenance, but in 2004 the legislature afforded the rights to replacement, restoration or improvement but not expansion.

A. Who benefits from nonconforming rights

The rights of legal nonconformities attach to and benefit the land and are not limited to a particular landowner. If the benefited property is sold, the new owner will have the continuance rights.

B. Loss of nonconforming rights

The right to continue a legal nonconformity can be lost if the use is discontinued or destroyed.

1. Discontinuance

There is an exception to continuance rights when a nonconforming use is discontinued for more than one year.

2. Destruction

There is an exception to continuance rights when a nonconforming structure is destroyed by more than 50% of its assessed market value, and no building permit is applied for within 180 days. This exception is known as the 50% rule and used to have greater impact before the 2004 legislature provided that applying for a building permit within 180 days of destruction defeats the exception.

3. Phasing out

Historically, the theory behind legal nonconformities was that the property would eventually comply with the zoning ordinance. The statutory right to continue was more limited, and cities could phase out nonconformities over time through a process called amortization. Current law prohibits amortization, except for adult uses.

RELEVANT LINKS:

[Minn. Stat. § 462.357 subd. 1d.](#)

III. City role in administering nonconformities

The rights of legal nonconformities to continue does not depend on local ordinance, and so a city often has little role administering nonconformities. A landowner may assert their continuance rights in response to city enforcement of a zoning ordinance. The burden is on the landowner to establish their property qualifies for nonconforming rights.

A. Zoning ordinances

Some cities choose to address nonconformities in their zoning ordinance either by merely codifying the statutory rights, or sometimes by setting up systems to register legal nonconformities. If a zoning ordinance covers nonconformities, cities should carefully review the ordinance provisions and make sure they are consistent with the current state statute.

B. Expansion of nonconforming uses

The statutory right of legal nonconformities to continue specifically provides that the right does not include expansion of the use. Because the state statute does not define expansion, some cities choose to define expansion in the city zoning ordinance. The definition could refer to any physical expansion of the nonconforming use, or even intensifying the use.

C. Violation of other city ordinances

Despite their right to continue without complying with the current zoning ordinance, it is important to keep in mind that all legal nonconformities must generally comply with all other city ordinances, such as a nuisance ordinance or a licensing ordinance.

ORDINANCE #20-01

**CITY OF RAMSEY
ANOKA COUNTY
STATE OF MINNESOTA**

**AN AMENDMENT TO CHAPTER 117 WHICH IS KNOWN AS THE ZONING AND
SUBDIVISIONS CHAPTER OF THE CITY CODE OF RAMSEY, MINNESOTA.**

**AN ORDINANCE AMENDING SECTION 117-90 "MAP" OF CHAPTER 117 OF THE
CITY CODE OF RAMSEY, MINNESOTA.**

SECTION 1. AMENDMENT

The following legally described properties or portions thereof, are hereby rezoned from B-1 General Business District to R-1 Single Family Detached Homes (MUSA):

East 132 Feet of Lot 6 Auditors Subdivision Number 33, Anoka County, Minnesota
and
West 132 Feet of Lot 6 Auditors Subdivision Number 33, Anoka County, Minnesota.

SECTION 2. MAP

The City is hereby instructed to cause this amendment to be shown on the "City of Ramsey Zoning Map", which map was adopted pursuant to Section 117-90 of the Ramsey City Code.

SECTION 3. EFFECTIVE DATE

This ordinance becomes effective 30 days after its passage and publication, subject to City Charter Section 5.04.

PASSED by the City Council of the City of Ramsey, Minnesota the _____ day of _____, 2020.

Mayor

ATTEST:

City Clerk

Introduction date:

Posting dates:

Adoption date:

Publication date:
Effective date:

Regular Planning Commission

6. 2.

Meeting Date: 01/02/2020

By: Chloe McGuire Brigl, Community
Development

Information

Title:

PUBLIC HEARING: Review Preliminary Plat for Garden View Villas (DC Townhomes); Project 19-136

Purpose/Background:

The purpose of this case is to review a Preliminary Plat Application for a twenty-three (23) lot medium density residential, detached townhome development on the property known as Outlots E and D, Town Center Gardens 3rd Addition (the "Subject Property"). The property is north of 147th Lane NW and east of Center Street. The site is currently zoned R-2 Medium Density Residential and is guided as Medium Density Residential in the comprehensive plan. The Applicant, DC Ramsey, LLC (the "Applicant") is proposing a development that generally meets all the requirements of the R-2 District.

Notification:

The City sent a mailing via USPS to property owners within 700 feet of the Subject Property, as noted in the Anoka County Property Records, notifying them of the public hearing.

Observations/Alternatives:

Summary

The Subject Property is zoned R-2 Medium Density Residential, which allows for detached villas, attached townhomes, or multifamily units. The Applicant is proposing twenty-three (23) detached villas with 50 foot wide lots, which meets the requirements of the R-2 Detached Villa regulations. The allowed density in the R-2 District is 4 - 7 units per acre, and the proposal is approximately 4.1 units per acre. Please see the attached review letter for additional information on bulk zoning standards.

Density Transitioning

The Subject Property is zoned R-2, and is adjacent to COR, R-2, and PUD-zoned properties. The PUD to the north is a unique PUD that was guided as a "live-work" neighborhood, which allows for home-based businesses and more commercial-type uses in the southern portions of the properties abutting the Subject Property. The underlying zoning for the PUD is R-1 Residential (Rural Developing), which is the large-lot single family zoning district on private well and septic systems. There is no density transitioning required between the properties zoned R-2 and COR, but typically there would be density transitioning required between R-2 and R-1 Residential (Rural Developing). The City Code does allow flexibility to density transitioning for unique situations such as these, and in speaking with the City Attorney, the City has the ability to be flexible with the density transitioning requirements, which would typically require 45 feet of buffer. Because the area abutting the Subject Property is largely wetland (encumbered by drainage and utility easement, and unbuildable) and then large out-buildings which allow for commercial uses, Staff does not feel it is reasonable to enforce the 45 foot buffer requirement. Staff is open to suggestions from the Planning Commission; however, the Applicant proposed a 20 foot buffer, which is the required rear yard setback in the R-2 District, and would be allowed if the properties to the north were zoned Commercial (which is how they function).

Landscaping is still required in this reduced buffer area per City Code, which will require significant alterations to the proposed landscape plan.

Items to consider to increase architectural standards of the site for reduced buffer width:

- Public street facing improvements for homes on south portion of lot (abutting 147th Ln) including front porch, door, and typical “front of home” look
- Required porches of at least 48 square feet on the front of homes
- Inclusion of stone or other high quality materials

City Staff would like feedback from the Planning Commission on this requirement.

Streets

The Applicant has proposed a private street running east-west through the development. This street is required to be at least 24 feet wide with no parking signs on both sides of the street.

Bulk Standards

The proposal appears to meet the requirements for density, overall lot coverage, driveway length, house size, and setbacks.

Wetlands

There are significant wetlands that have been delineated and will need to be encumbered with drainage and utility easement entirely, as well as a 16.5 foot setback from the edge of the wetland that will need to be covered by easement. The Applicant is aware of the wetland onsite and has noted the 16.5 foot wetland setback.

Architecture

The Applicant is proposing modular-style homes, which are built off-site in two pieces and are connected onsite. The homes would be slab-on-grade homes with garages and porches constructed onsite. The Applicant has noted that the modular-style construction allows for a lower price point, under \$300,000, which provides an affordable option for first-time homebuyers and those looking to downsize. They use a midwestern company based out of Wisconsin for construction. This is an acceptable construction method so long as the exterior design requirements are met. Generally, the hope is that these units will look similar to surrounding homes. The home is affixed to a foundation.

City Code Requirements

- Section 117-112: R-2 Bulk Standards
- Section 117-588: Major Plat Requirements

Funding Source:

The Applicant is responsible for all costs associated with this project and review.

Recommendation:

Staff recommends City Council adopt Resolution #20-002 Approving Preliminary Plat for Garden View Villas

Action:

Motion to Recommend the City Council Adopt Resolution #20-002

Attachments

Site Location Map

Plan Sheets

Planning Report 12.18.19

Landscape Report 12.11.19

Written Comment Received

Resolution #20-002

Form Review

Inbox

Chris Anderson

Tim Gladhill

Form Started By: Chloe McGuire Brigl

Final Approval Date: 12/27/2019

Reviewed By

Chris Anderson

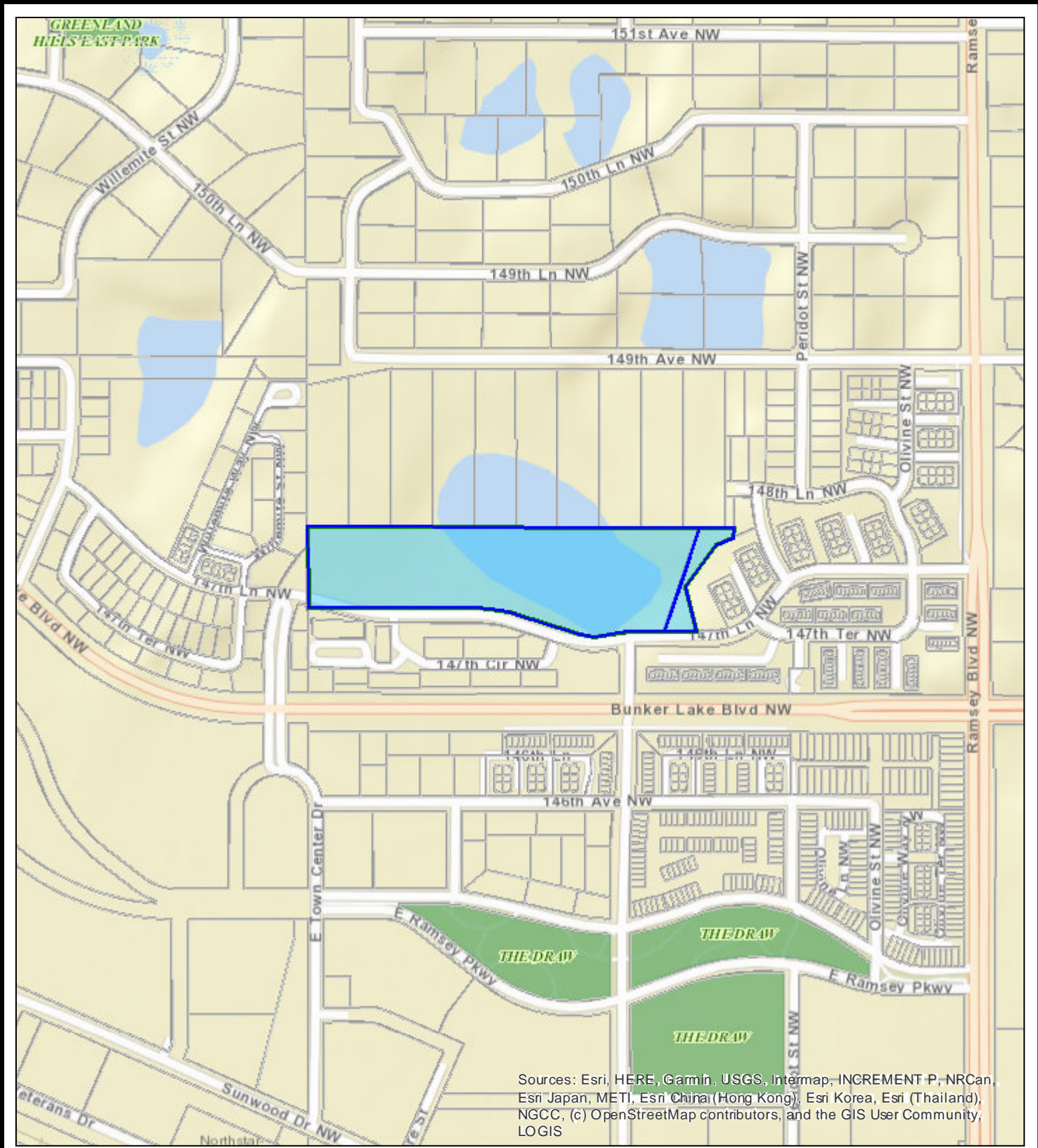
JoAnn Shaw

Date

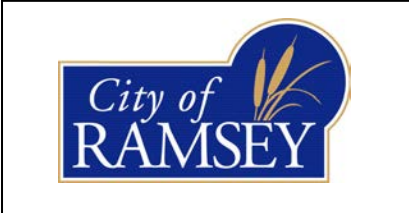
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12/27/2019 02:25 PM

Started On: 12/16/2019 09:53 AM



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community, LOGIS

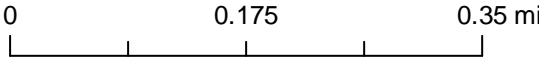


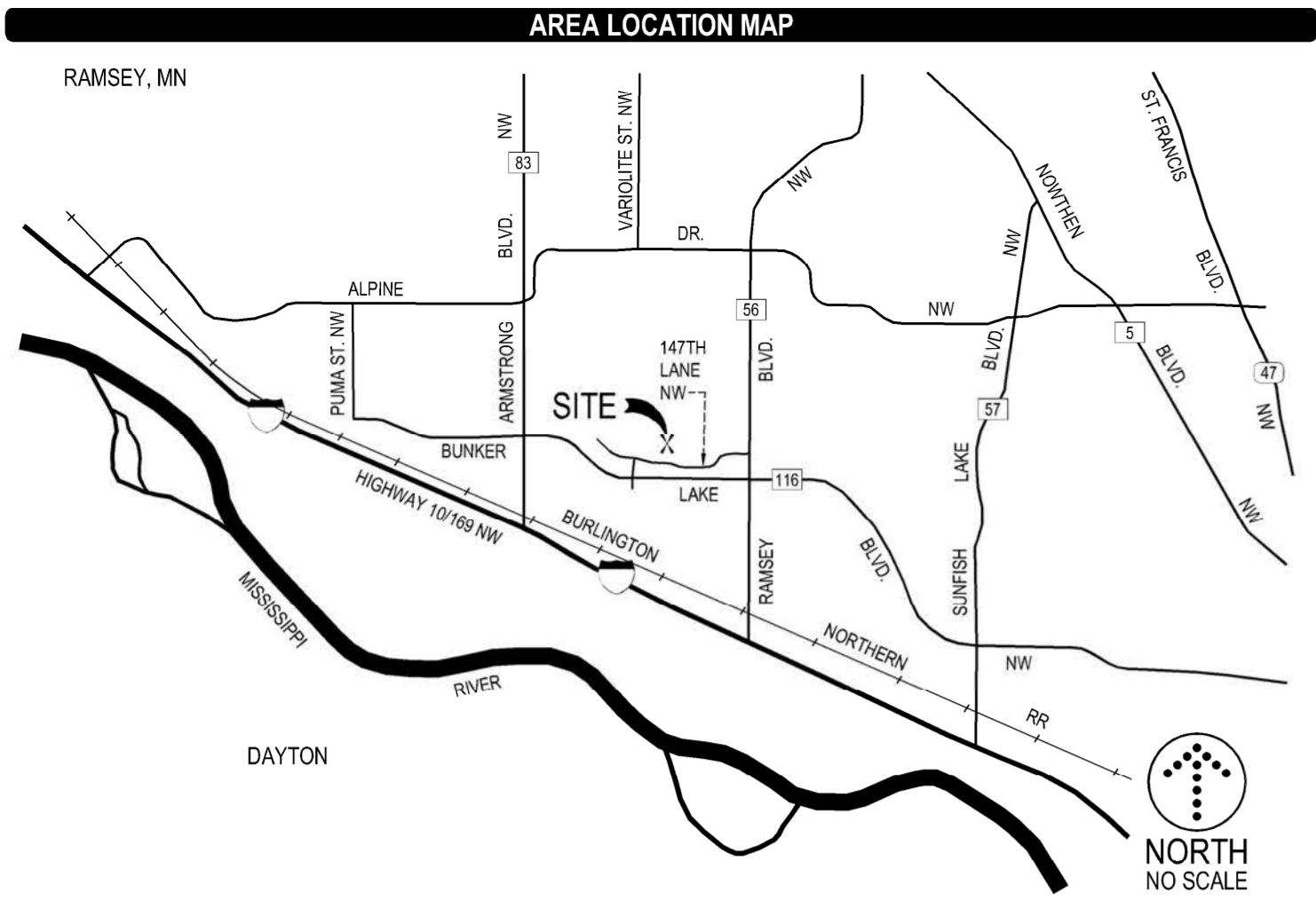
Site Location Map

- Legend**
- Site
 - Parcels



Print Date: September 13, 2019





GARDEN VIEW VILLAS

RAMSEY, MINNESOTA

DEVELOPER
DC RAMSEY, LLC
 105 S. 5TH AVE. STE 513
 Minneapolis, MN 55401

MUNICIPALITY

ABBREVIATIONS			
D	Angle	LB.	Pound
A	Ant	L.G.U.	Local Government Unit
@		LB.	Pound
100 YR.	100 Year Flood Elevation	LB.	Longitudinal
A.B.	Anchor Bolt	MAINT.	Maintenance
A.D.	Area Drain	MAS.	Masonry
AC	Air Conditioning Unit	MATL.	Material
ADD.	Addendum	MAX.	Maximum
ADDL.	Additional	MECH.	Mechanical
ADJ.	Adjacent / Adjust	MED.	Medium
AHU	Air Handling Unit	MFR.	Manufacturer
ALT.	Alternate	MH	Manhole
ALUM.	Aluminum	MIN.	Minimum / Minute
ANOD.	Anodized	MISC.	Miscellaneous
APPROX.	Approximate	MNDOT	Minnesota Department Of Transportation
ARCH	Architect / Architectural	MOD.	Module / Modular
AUTO.	Automatic	MUL.	Mulch
AVG.	Average	N	North
B.C.	Back of Curb	N.I.C.	Not In Contract
B.W.	Bottom of Wall	NO. OR #	Number
BFE	Basement Floor Elevation	NOM	Nominal
BIT	Bituminous (Asphaltic)	NTS	Not to Scale
BLDG	Building	W/E	Normal Water Elevation
BM	Benchmark	NWL	Normal Water Level
BSMT.	Basement	O.F.	On Center
C.F.	Cubic Feet	O.G.	Outside Dimension
C.F.S.	Cubic Feet Per Second	O.H.	Overhead Electric
C.G.	Corner Guard	OH.	Overhead
C.J.	Control Joint	OHWL	Ordinary High Water Level
C.L.	Centerline	OPNG.	Opening
C.M.U.	Concrete Masonry Unit	ORIG.	Original
C.O.	Cleanout	P.C.	U.S. Army Corps Of Engineers
C.O.E.	Cubic Yards	P.I.	Point of Intersection
C.Y.	Catch Basin	P.V.	Post Indicator Valve
CB	Catch Basin	P.V.L.	Point of Vertical Tangency
CBMH	Catch Basin Manhole	PE	Polyethylene
CEM.	Cement	PEP.	Pedestal / Pedestrian
CIP	Cast Iron Pipe	PERF.	Perforated
CMP	Corrugated Metal Pipe	PREP.	Preparation
CONC.	Concrete (Portland)	PROJ.	Project
CONN.	Connection	PROP.	Proposed
CONST.	Construction	P.V.C.	Poly-Vinyl-Chloride (Piping)
CONT.	Continuous	P.V.M.T.	Pavement
CONTR.	Contractor	QTR.	Quarter
COP.	Copper	QTY.	Quantity
CUL.	Culvert	R	Radius
D.S.	Down Spout	RAD.	Radius
DEG.	Degree	RE	Rim Elevation (Casting)
DEMO.	Demolition / Demolish	R.D.	Roof Drain
DEPT.	Department	R.E.	Remove Existing
DET.	Detail	R.O.	Rough Opening
DIA.	Diameter	R.P.	Radius Point
DIAG.	Diagonal	RC	Reinforced Concrete Pipe
DIM.	Dimension	R.S.	Roof Slat
DIP	Ductile Iron Pipe	RSD	Roof Storm Drain
DN	Down	RE.	Regarding
DWG.	Drawing	REINF.	Reinforced
E	East	REQD	Required
E.J.	Expansion Joint	REV.	Revision / Revised
E.O.S.	Emergency Overflow	RGU	Regulatory Government Unit
E.O.S.	Emergency Overflow Swale	ROW OR RW	Right of Way
E.W.	Each Way	S	South
E.A.	Elevation	S.F.	Square Feet
ELEC.	Electrical	SAN.	Sanitary Sewer
ELEV.	Elevation	SECT.	Section
EMER.	Emergency	SE	Split Entry / Side Exit
ENGR.	Engineer	SEWO	Furnished by Others
ENTR.	Entrance	SHT.	Sheet
EQ.	Equal	SIM.	Similar
EQUIP.	Equipment	SLNT.	Sealant
EQUIV.	Equivalent	SPEC.	Specification
EXIST.	Existing	SQ.	Square
EXP.	Expansion	SSD	Subsurface drain
F & I	Furnish and Install	STMH	Storm Sewer Manhole
F.B.O.	Face of Curb	STD.	Standard
F.C.	Floor Drain	STRUCT.	Structural
F.D.C.	Fire Department Connection	SYM.	Symmetrical
F.V.	Field Verify	T	Thickness
FB	Full Basement	T/R	Top of Rim
FBWO	Full Basement Walk Out	T/W	Top of Wall
FBLO	Full Basement Look Out	TEMP.	Temporary
FDN.	Foundation	THK.	Thick / Thickness
FES	Finished End Section	T.J.	Tooled Joint
FFE	Finished Floor Elevation	TNH	Top Nut Hydrant
FLR	Floor	TYP.	Typical
FT. OR ()	Foot	U.N.O.	Unless Noted Otherwise
FUT.	Future	V.B.	Vapor Barrier
G.B.	Grade Break	V.C.	Vertical Curvature
G.C.	General Contractor	V.I.F.	Verify In Field
GAL.	Gallon	VER.	Vertical
GALV.	Galvanized	VEST.	Vestibule
GFE	Garage Floor Elevation	W	Width
GL.	Glass	W.P.T.	Working Point
GR.	Grade	W.W.F.	Welded Wire Fabric
H.	Height	W/	With
H.P.	High Point	W/O	Without
HDPE	High Density Polyethylene Pipe	WO	Walk Out
HGT.	Height	VER.	Wetland
HORIZ.	Horizontal	WP	Waterproof
HVAC	Heating, Ventilation, Air Conditioning	WETL.	Wetland
HYD.	Hydrant	Y	Yard
I.D.	Inside Dimension OR Identification	YR.	Year
I.E. or IE	Invert Elevation		
IN. OR ()	Inches		
INFO.	Information		
INL.	Inlet Elevation		
INSUL.	Insulation		
INV.	Invert Elevation		
JT	Joint		
L.F.	Linear Feet		
L.P.	Low Point / Liquid Petroleum		

SYMBOLS			
EXISTING	DESCRIPTION	NEW	DESCRIPTION
	MAJOR CONTOUR		MAJOR CONTOUR
	MINOR CONTOUR		MINOR CONTOUR
	SPOT ELEVATION		SPOT ELEVATION
	BUILDING		BUILDING
	CANOPY/OVERHANG		CANOPY/OVERHANG
	CONCRETE		CONCRETE
	BITUMINOUS		BITUMINOUS
	LANDSCAPING		LANDSCAPING
	GRAVEL		GRAVEL
	PAVING BLOCK		PAVING BLOCK
	STORM SEWER LINE		STORM SEWER LINE
	SANITARY SEWER LINE		SANITARY SEWER LINE
	WATER MAIN		WATER MAIN
	OVERHEAD ELECTRIC		OVERHEAD ELECTRIC
	UNDERGROUND TELEPHONE		UNDERGROUND TELEPHONE
	UNDERGROUND FIBER OPTIC		UNDERGROUND FIBER OPTIC
	UNDERGROUND ELECTRIC		UNDERGROUND ELECTRIC
	GAS LINE		GAS LINE
	CONCRETE CURB		CONCRETE CURB
	FENCING		FENCING
	RETAINING WALL		RETAINING WALL
	IRON MONUMENT FOUND		IRON MONUMENT FOUND
	POWERPOLE		POWERPOLE
	GUY WIRE		GUY WIRE
	GUARD POST		GUARD POST
	GAS METER		GAS METER
	TRANSFORMER		TRANSFORMER
	WATER SHUT-OFF VALVE		WATER SHUT-OFF VALVE
	TRAFFIC SIGN		TRAFFIC SIGN
	FLAG POLE		FLAG POLE
	LIGHT POLE		LIGHT POLE
	TREES		TREES
	TREE LINE		TREE LINE
	MANHOLE		MANHOLE
	CATCH BASIN		CATCH BASIN
	FIRE HYDRANT		FIRE HYDRANT
	WATER VALVE		WATER VALVE
	FLARED END SECTION		FLARED END SECTION
	MAILBOX		MAILBOX
	NOTE NUMBER		NOTE NUMBER
	MEASURED DISTANCE		MEASURED DISTANCE
	DISTANCE PER RECORDED PLAT		DISTANCE PER RECORDED PLAT
	SOIL BORING		SOIL BORING

EROSION CONTROL SYMBOLS	
SYMBOL	DESCRIPTION
	SILT FENCE
	COMPOST/BIO LOG
	INLET PROTECTION
	EROSION CONTROL BLANKET

DRAWING SYMBOLS	
SYMBOL	DESCRIPTION
	NOTE REFERENCE
	PARKING STALL COUNT
	LARGE SHEET DETAIL
	COORDINATE POINT
	REVISED AREA (THIS ISSUE)

LEGAL DESCRIPTION		
Outlot E and D, Town Center Gardens Third Addition, Anoka County, Minnesota.		
Abstract Property.		
MinDOT Name: HYATT MNDT NGS Name: HYATT County: ANOKA, MN		
Monument Type: CONCRETE MONUMENT (CAST-IN-PLACE) Disk Type: HORIZONTAL CONTROL DISK		
Elevation: 878.97 (NAVD88) Stamping: HYATT 1974		
Description: (1995) 4.5 MILES NORTHWEST OF ANOKA 4.0 MILES NORTHWEST ALONG TRUNK HIGHWAY 10/TRUNK HIGHWAY 169 FROM THE JUNCTION OF TRUNK HIGHWAY 10/TRUNK HIGHWAY 169 AND TRUNK HIGHWAY 47 IN ANOKA AT TRUNK HIGHWAY 10 MILEPOINT 220.4, 0.2 MILE SOUTHWEST OF COUNTY ROAD 83 (ARMSTRONG BOULEVARD), 45.7 FEET NORTHEAST OF THE NORTH RAIL OF A RAILROAD, 16.02 FEET SOUTHWEST OF HYATT MNDT RM 1, 20.84 FEET SOUTHWEST OF HYATT MNDT RM 2, 1.9 FEET SOUTHWEST OF A WITNESS POST.		

BENCHMARK	
MinDOT Name: HYATT MNDT NGS Name: HYATT County: ANOKA, MN	
Monument Type: CONCRETE MONUMENT (CAST-IN-PLACE) Disk Type: HORIZONTAL CONTROL DISK	
Elevation: 878.97 (NAVD88) Stamping: HYATT 1974	

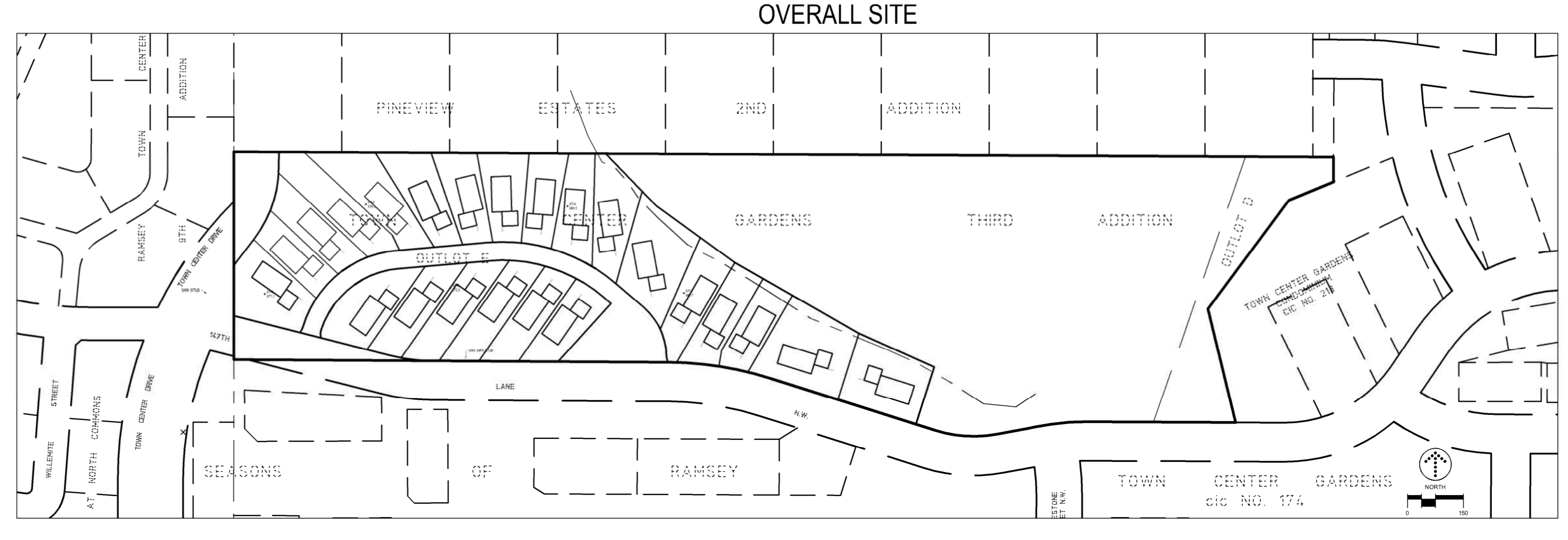
OWNER	
LANDFORM DEVELOPMENT PARTNERS, LLC	
STREET ADDRESS	
CITY, STATE, ZIP	
TEL XXX-XXX-XXXX	
FAX XXX-XXX-XXXX	
CONTACT: DARREN LAZAN	

PROJECT CONTACTS	
CIVIL ENGINEER	SURVEYOR
LANDFORM	LANDFORM
105 SOUTH FIFTH AVENUE, SUITE 513	105 SOUTH FIFTH AVENUE, SUITE 513
MINNEAPOLIS, MN 55401	MINNEAPOLIS, MN 55401
TEL 612-252-9070	TEL 612-252-9070
CONTACT: RANDY HEDLUND	CONTACT: LYNN CASWELL

LANDSCAPE ARCHITECT	
LANDFORM	
105 SOUTH FIFTH AVENUE, SUITE 513	
MINNEAPOLIS, MN 55401	
TEL 612-252-9070	
CONTACT: NAME HERE	

CIVIL / LANDSCAPE SHEET INDEX & REVISION MATRIX		
SHEETS ISSUED BY DATE		
SHEET NO.	DESCRIPTION	(mm/dd/yy)
C0.1	TITLE SHEET	X
C0.2	PRELIMINARY PLAT	X
C1.1	EXISTING CONDITIONS & DEMOLITION	X
C2.1	SITE PLAN	X
C3.1	GRADING, DRAINAGE, PAVING & EROSION CONTROL	X
C3.2	MINNESOTA SWPPP	X
C4.1	UTILITIES	X
C7.1	CIVIL CONSTRUCTION DETAILS	X
C7.2	CIVIL CONSTRUCTION DETAILS	X
L1.1	LANDSCAPE	X
L7.1	LANDSCAPE DETAILS	X

CERTIFICATIONS	
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.	
RANDALL C. HEDLUND, P.E.	DATE: XX MONTH YEAR
LICENSE NUMBER 19576	



PROJECT

GARDEN VIEW VILLAS

RAMSEY, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
02 JAN 2019	Preliminary Plat	RCH

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly licensed Professional Engineer under the laws of the state of MINNESOTA.

PRELIMINARY NOT FOR CONSTRUCTION

PRELIMINARY PLAT

12.02.2019

LANDFORM

From Site to Finish

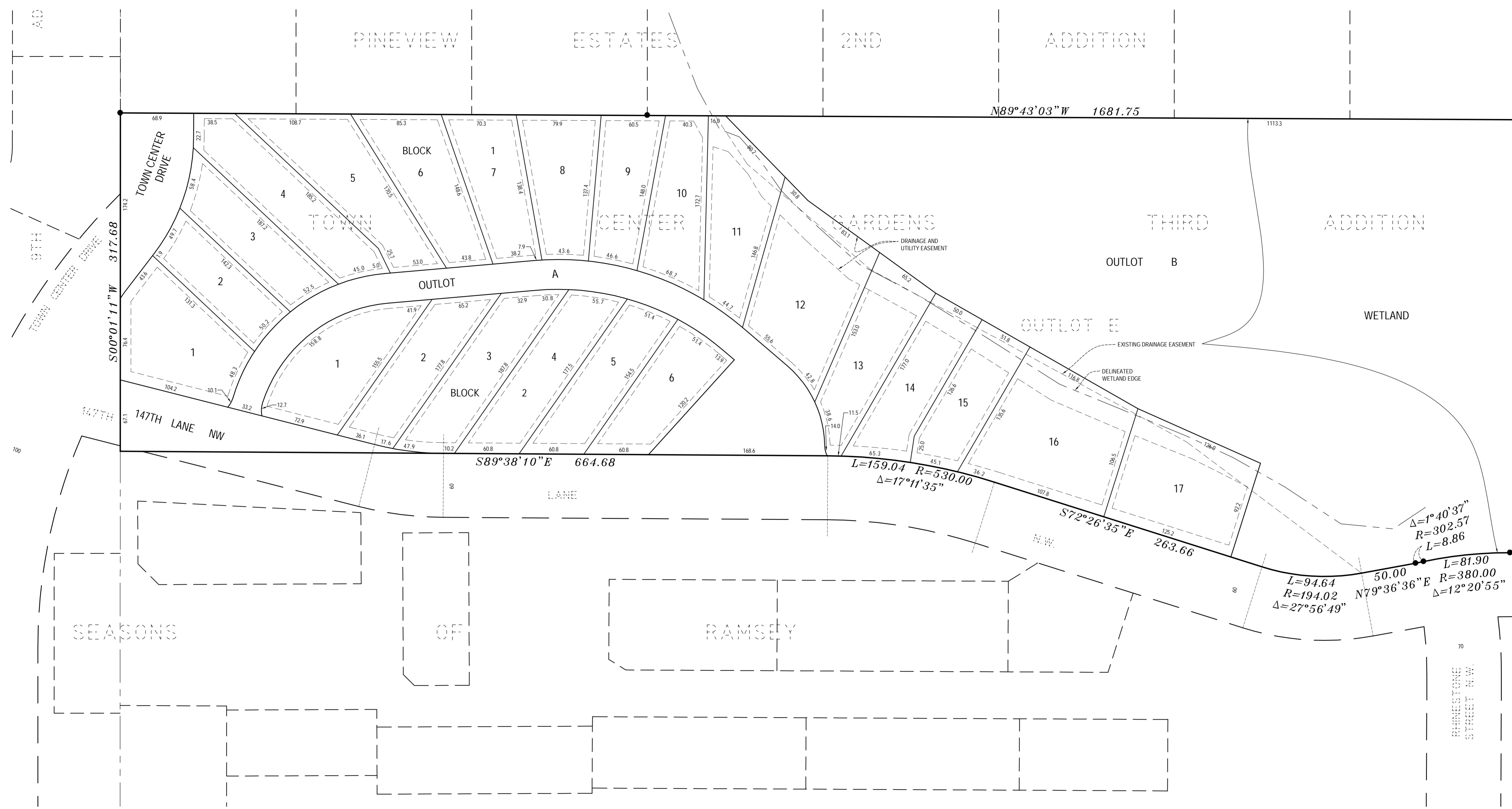
105 South Fifth Avenue Tel: 612-252-9070
 Suite 513 Fax: 612-252-9077
 Minneapolis, MN 55401 Web: landform.net

FILE NAME: C001LDP007.dwg
 PROJECT NO.: LDP19007

TITLE SHEET

C0.1

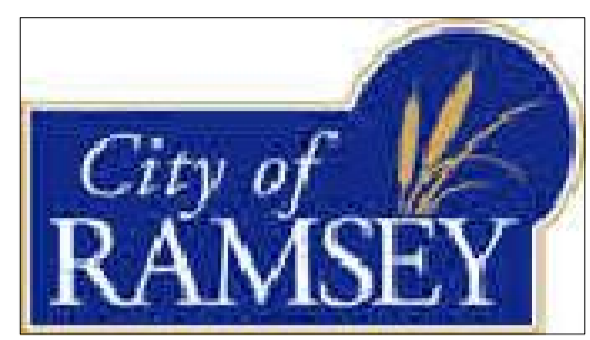
SHEET NO. 1/11



DEVELOPER

Landform Development Partnership
 Address
 City, MN ZIP
 TEL (XXX) XXX-XXXX

MUNICIPALITY



PROJECT

GARDEN VIEW VILLAS
 RAMSEY, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
02 JAN 2019	Preliminary Plat	RCH

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Signature shown is a reproduction of the original signed copy of this plan on file at the office of the Engineer. This plan is available upon request.

IF THE SIGNATURE SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

PRELIMINARY PLAT

12.02.2019



105 South Fifth Avenue Tel: 612-252-9070
 Suite 513 Fax: 612-252-9077
 Minneapolis, MN 55401 Web: landform.net

FILE NAME C002LDP007.dwg
 PROJECT NO. LDP19007

PRELIMINARY PLAT
C0.2
 SHEET NO. 2/11

LEGAL DESCRIPTION

Outlots D and E, TOWN CENTER GARDENS THIRD ADDITION, Anoka County, Minnesota.
 (Abstract property)

AREA SUMMARY

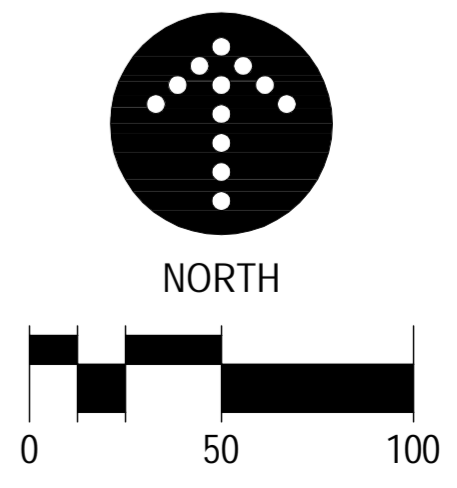
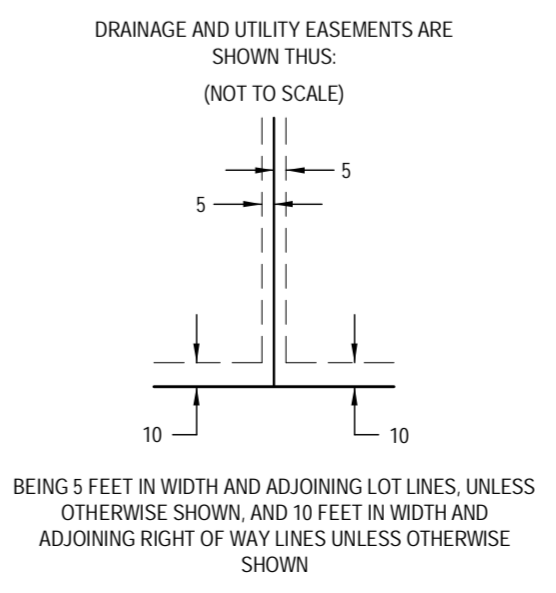
TOTAL SITE AREA: 556,748 S.F. = 12.78 AC.
 OUTLOT B: 293,890 S.F. = 6.75 AC.
 RIGHT OF WAY AREA: 17,567 S.F. = 0.40 AC.
 NET AREA: 245,291 S.F. = 5.63 AC.
 TOTAL SINGLE FAMILY LOTS = 23
 NET DENSITY = 4.1 U/A

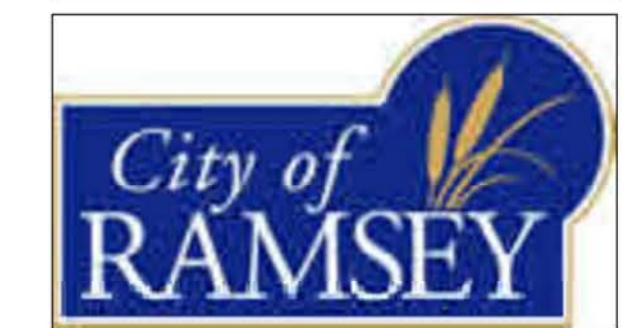
ZONING AND SETBACK SUMMARY

THE PROPERTY IS ZONED R-2: MEDIUM DENSITY RESIDENTIAL.
 BUILDING SETBACK INFORMATION IS AS FOLLOWS:
 FRONT YARD - 25 FT. FROM PRIVATE STREETS (MEASURED FROM BACK OF CURB)
 REAR - 20 FT.
 SIDE (INTERIOR) - 5 FT.
 SIDE (STREET) - 25 FT.
 LOT COVERAGE INFORMATION IS AS FOLLOWS:
 REQUIRED LOT AREA = 15 AC.
 MINIMUM LOT WIDTH = 50 FT.
 MAXIMUM LOT COVERAGE = 35%

LOT AREA TABLE

Lot Area Table			Lot Area Table		
Parcel #	Lot/Block	Area	Parcel #	Lot/Block	Area
1	1/1	11052	15	15/1	7338
2	2/2	6715	16	16/1	15508
3	3/1	8073	17	17/1	12433
4	4/1	10485	18	1/2	10303
5	5/1	11291	19	19	8344
6	6/1	9308	20	3/2	9238
7	7/1	8105	21	4/2	9192
8	8/1	8402	22	5/2	8349
9	9/1	7555	23	6/2	7839
10	10/1	8316	24	Outlot A	25898
11	11/1	9853	25	Outlot B	293890
12	12/1	14056	26	R/W 147th	9123
13	13/1	9280	27	R/W new	8444
14	14/1	8359			





GARDEN VIEW VILLAS

RAMSEY, MINNESOTA

DATE	ISSUE / REVISION	REVIEW
02 JAN 2019	Primary Plat	RCH

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

PRELIMINARY NOT FOR CONSTRUCTION

PRELIMINARY PLAT

12.02.2019



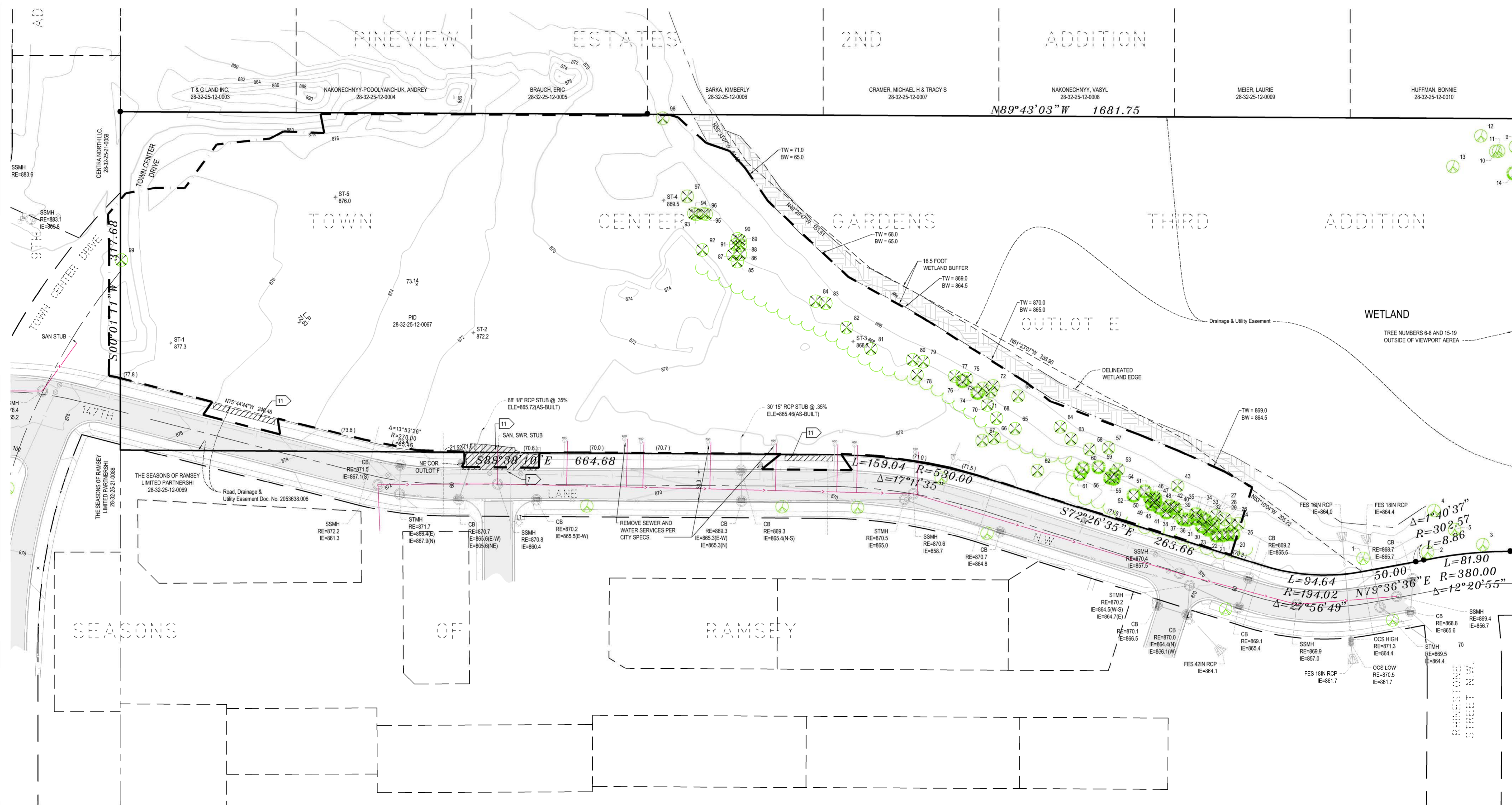
105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME C101LDP007.dwg

PROJECT NO. LDP19007

EXISTING CONDITIONS & DEMOLITION

C1.1



LEGAL DESCRIPTION

Outlots D and E, TOWN CENTER GARDENS THIRD ADDITION, Anoka County, Minnesota.
(Abstract property)

EXISTING CONDITIONS

- BACKGROUND INFORMATION SHOWN IS FROM SURVEY BY LANDFORM, MINNEAPOLIS, MN, IN AUGUST, 2019. EXPRESSLY FOR THIS PROJECT; CITY OF RAMSEY, MINNESOTA RECORD DRAWINGS; AND UTILITY SERVICE PROVIDERS. LANDFORM OFFERS NO WARRANTY, EXPRESSED OR WRITTEN, FOR INFORMATION PROVIDED BY OTHERS. EXISTING PROJECT CONDITIONS SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ENGINEER OWNER IMMEDIATELY.
- GEOTECHNICAL BORING LOCATIONS ARE APPROXIMATE AND ARE BASED ON INFORMATION PROVIDED IN THE GEOTECHNICAL REPORT PREPARED BY INDEPENDENT TESTING TECHNOLOGIES, WAITE PARK, MINNESOTA, IN SEPTEMBER, 2018.
- SEE SHEET L1.1 FOR TREE INVENTORY.

DEMOLITION AND CLEARING NOTES

- OBTAIN PERMITS FOR DEMOLITION, CLEARING, AND DISPOSAL PRIOR TO BEGINNING.
- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING DEMOLITION AND CLEARING.
- SEE SHEET C3.1 FOR EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT MUST BE IN PLACE PRIOR TO DISTURBANCES TO SITE.
- DIMENSIONS SHOWN FOR REMOVAL ARE APPROXIMATE. COORDINATE WITH NEW CONSTRUCTION TO ENSURE APPROPRIATE REMOVAL OF EXISTING FACILITIES.
- REFER TO DETAILS FOR PAVEMENT SAWCUT. REMOVE CONCRETE WALKS AND CURBING TO THE NEAREST EXISTING JOINT BEYOND CONSTRUCTION LIMITS.
- COMPLETE DEMOLITION WITH MINIMAL DISRUPTION OF TRAFFIC. COORDINATE LANE CLOSURES WITH THE REGULATORY AUTHORITY AND PROVIDE ADVANCE NOTIFICATION TO AFFECTED EMERGENCY RESPONSE PROVIDERS.

DEMOLITION AND CLEARING NOTES (CONT.)

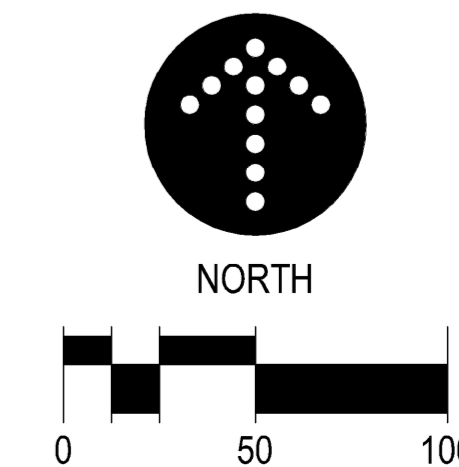
- PROVIDE BARRICADES, LIGHTS, SIGNS, TRAFFIC CONTROL, AND OTHER MEASURES NECESSARY FOR PROTECTION AND SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT CONSTRUCTION.
- PROTECT STRUCTURES, UTILITIES, TREES, PLANT MATERIAL, SOIL, AND ADJACENT PROPERTY FROM DAMAGE DURING CONSTRUCTION UNLESS NOTED FOR REMOVAL. DAMAGE SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION AT NO ADDITIONAL COST.
- ABANDON WELLS AND REMOVE ON SITE SEWAGE FACILITIES PRIOR TO ANY OTHER DEMOLITION IN ACCORDANCE WITH REQUIREMENTS OF REGULATORY AUTHORITIES.
- REFER TO TREE PRESERVATION PLAN FOR ADDITIONAL INFORMATION.
- REMOVE EXISTING SITE FEATURES INCLUDING, BUT NOT LIMITED TO, UNDERGROUND UTILITIES, PAVING, CURBING, WALKWAYS, FENCING, RETAINING WALLS, SCREEN WALLS, APRONS, LIGHTING, RELATED FOUNDATIONS, SIGNAGE, BOLLARDS, LANDSCAPING, AND STARWAYS WITHIN THE CONSTRUCTION LIMITS UNLESS NOTED OTHERWISE.
- COORDINATE REMOVAL, RELOCATION, TERMINATION, AND RE-USE OF EXISTING PRIVATE UTILITY SERVICES AND APPURTENANCES WITH THE UTILITY COMPANIES. RESTORE ELECTRIC HANDHOLES, PULLBOXES, POWERPOLES, GUYLINES, AND STRUCTURES DISTURBED BY CONSTRUCTION IN ACCORDANCE WITH UTILITY OWNER REQUIREMENTS.
- EXISTING PIPING AND CONDUITS MAY BE ABANDONED IN-PLACE IF FILLED WITH SAND AND IF NOT IN LOCATION OF PROPOSED BUILDING OR IN CONFLICT WITH PROPOSED UTILITIES OR STRUCTURES. TERMINATE EXISTING SERVICES AT THE SUPPLY SIDE IN CONFORMANCE WITH PROVIDERS STANDARDS.
- HAUL DEMOLITION DEBRIS OFF-SITE TO A FACILITY APPROVED BY REGULATORY AUTHORITIES FOR THE HANDLING OF DEMOLITION DEBRIS, UNLESS NOTED OTHERWISE.

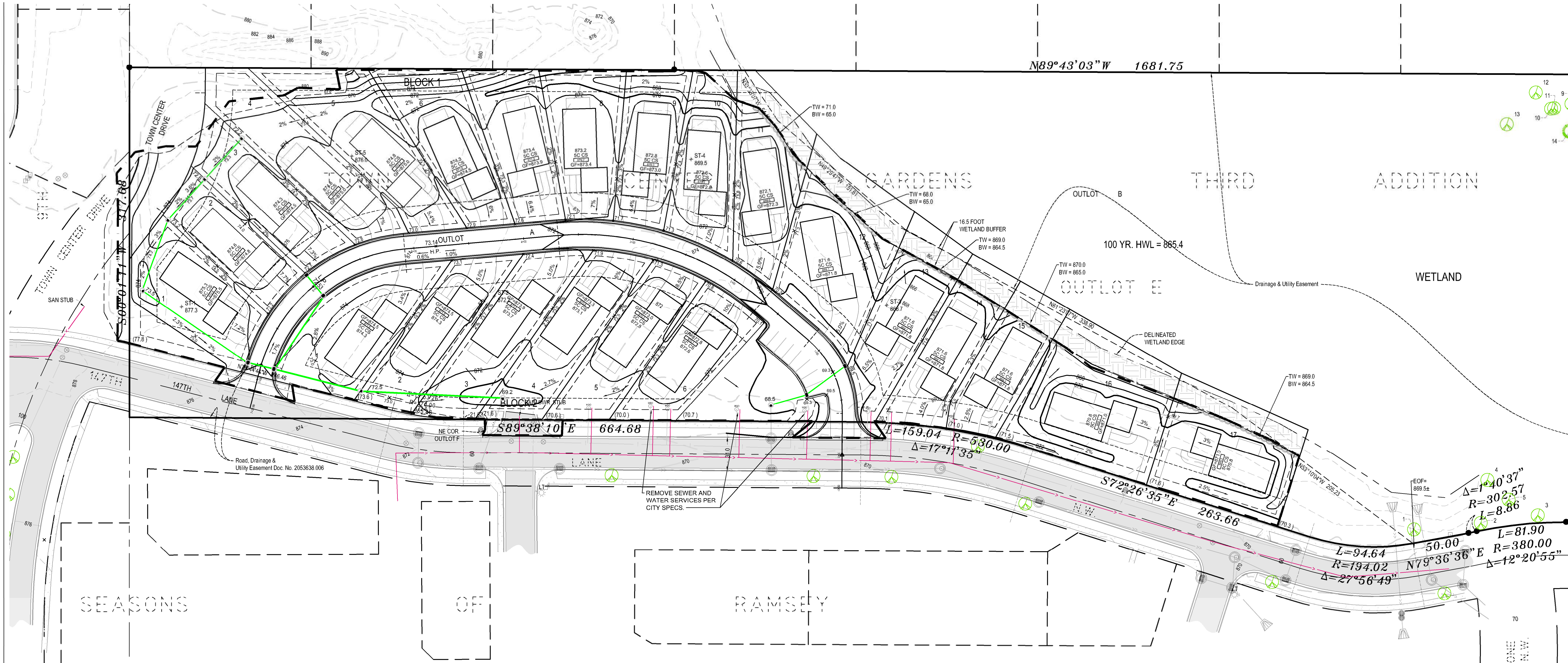
SITE SYMBOLS/LEGEND

EXISTING	DESCRIPTION	EXISTING	DESCRIPTION
	BUILDING		MANHOLE
	CONCRETE SURFACE		CATCH BASIN
	BITUMINOUS SURFACE		FLARED END SECTION
	GRAVEL SURFACE		FIRE HYDRANT
	WETLAND		WATER VALVE/CURB STOP
	CONCRETE CURB		WELL
	PEDESTRIAN RAMP		GUY WIRE
	FENCING		POWERPOLE
	STORM SEWER		TRANSFORMER
	SANITARY SEWER		AIR CONDITIONER
	WATER MAIN		UTILITY BOX (TV, TEL, ELEC)
	UNDERGROUND GAS MAIN		HAND-HOLE
	UNDERGROUND TELEPHONE		TRAFFIC SIGN
	OVERHEAD TELEPHONE		

LEGEND

	:TREE REMOVAL
	:SOIL BORING
	:CONSTRUCTION LIMITS





DEVELOPER
 Landform Development Partnership
 Address
 City, MN ZIP
 TEL (XXX) XXX-XXXX

MUNICIPALITY

 City of
RAMSEY

PROJECT
GARDEN VIEW VILLAS
 RAMSEY, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
02 JAN 2019	Preliminary Plat	RCH

GENERAL NOTES

- For construction staking and surveying services contact Landform at 612.252.9070.
- EROSION PREVENTION AND SEDIMENT CONTROL NOTES**
- Install perimeter sediment controls prior to beginning work and maintain for duration of construction. Remove controls after areas contributing runoff are permanently stabilized and ground water disposed of off site.
 - Limit soil disturbance to the grading limits shown. Schedule operations to minimize length of exposure of disturbed areas.
 - Management practices shown are the minimum requirement. Install and maintain additional controls as work proceeds to prevent erosion and control sediment carried by wind or water.
 - Refer to SWPPP Notes on Sheet C3.2 for additional requirements.
 - All exposed soil areas must be stabilized within 14 days of completion of work in each area.
 - Seed, Sod, Mulch and Fertilizer shall meet the following Specifications, as modified:
- | Item | Specification Number | Estimated Quantities |
|-------------------|--|----------------------|
| Sod | MNDOT 3878 | |
| Seed | MNDOT 3875 | |
| | MN Type 21-111 @ 100 lb./ac. - Temporary Erosion Control - Temporary Erosion Control, May 1 - Jul 31 | |
| | MN Type 21-112 @ 100 lb./ac. - Temporary Erosion Control - Temporary Erosion Control, Aug 1 - Oct 31 | |
| | MN Type 25-151 @ 120 lb./ac. - Permanent Turf | |
| Mulch | MNDOT 3882 | |
| | (MNDOT Type 1 @ 2 ton/ac., Disc Anchored) | |
| Fertilizer | MNDOT 3881 | |
| General Placement | MNDOT 2575 | |
- See Landscape Sheets for permanent turf and landscape establishment.
 - Scrape adjacent streets clean daily and sweep clean weekly.

WET CAST/DRY CAST RETAINING WALL NOTES

- Wet Cast / Dry Cast Concrete Segmental Retaining Wall. Color to be determined by Owner or Architect.
- Provide structural design of retaining walls, following Landform / MNDOT Retaining Wall specifications for minimum design and performance. Provide construction of walls in accordance with approved design. Contact Landform for the Specification.
- Confirm architectural requirements for wall units with owner.
- Submit design to City for approval prior to Building Permit issuance.
- Provide coordination and assurance that related work constructed within the reinforced earth zone, including fences, underground utilities, guard rails, etc.; is in accordance with approved design and does no damage to reinforcing elements of the retaining wall.

GRADING NOTES

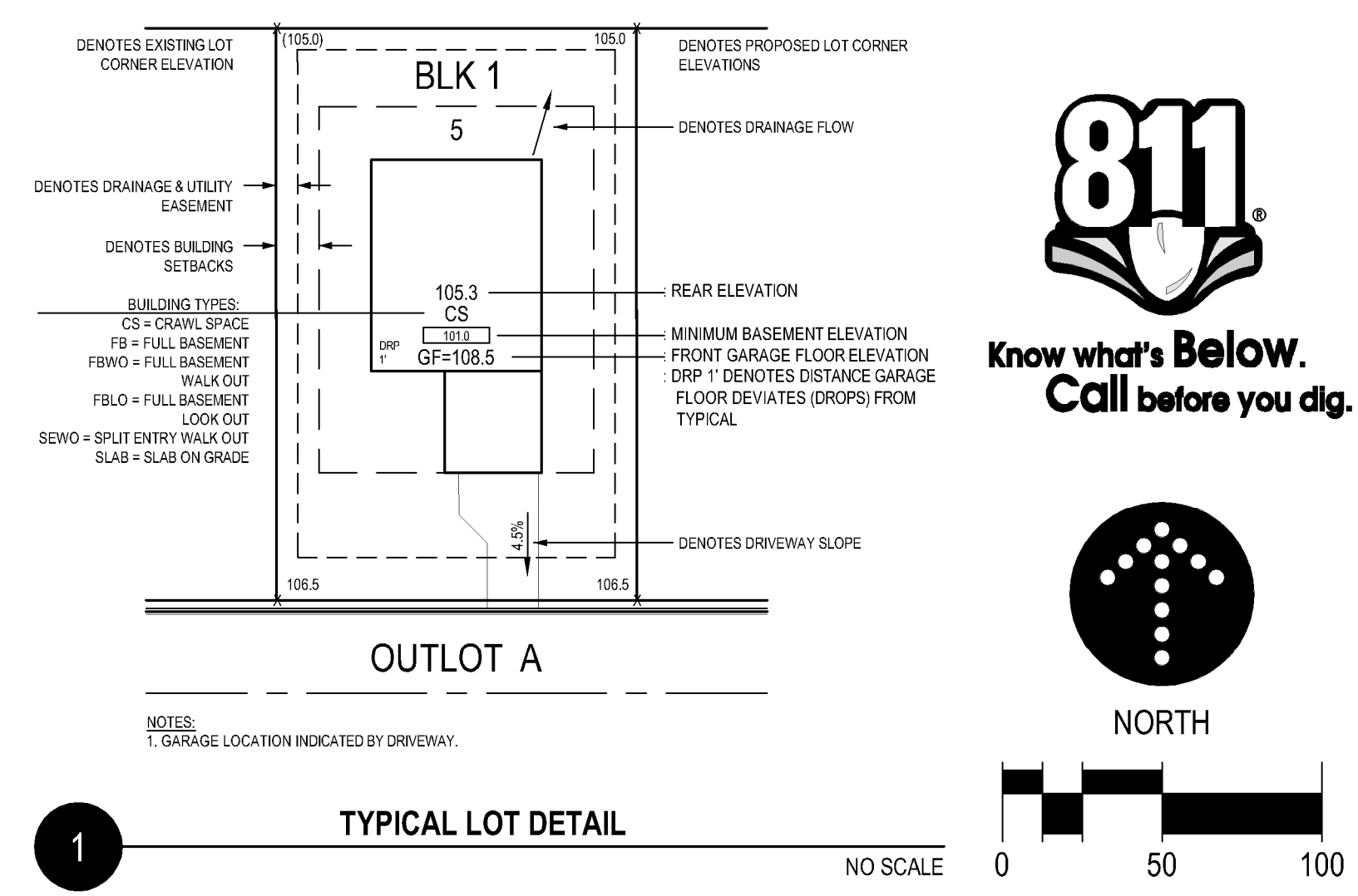
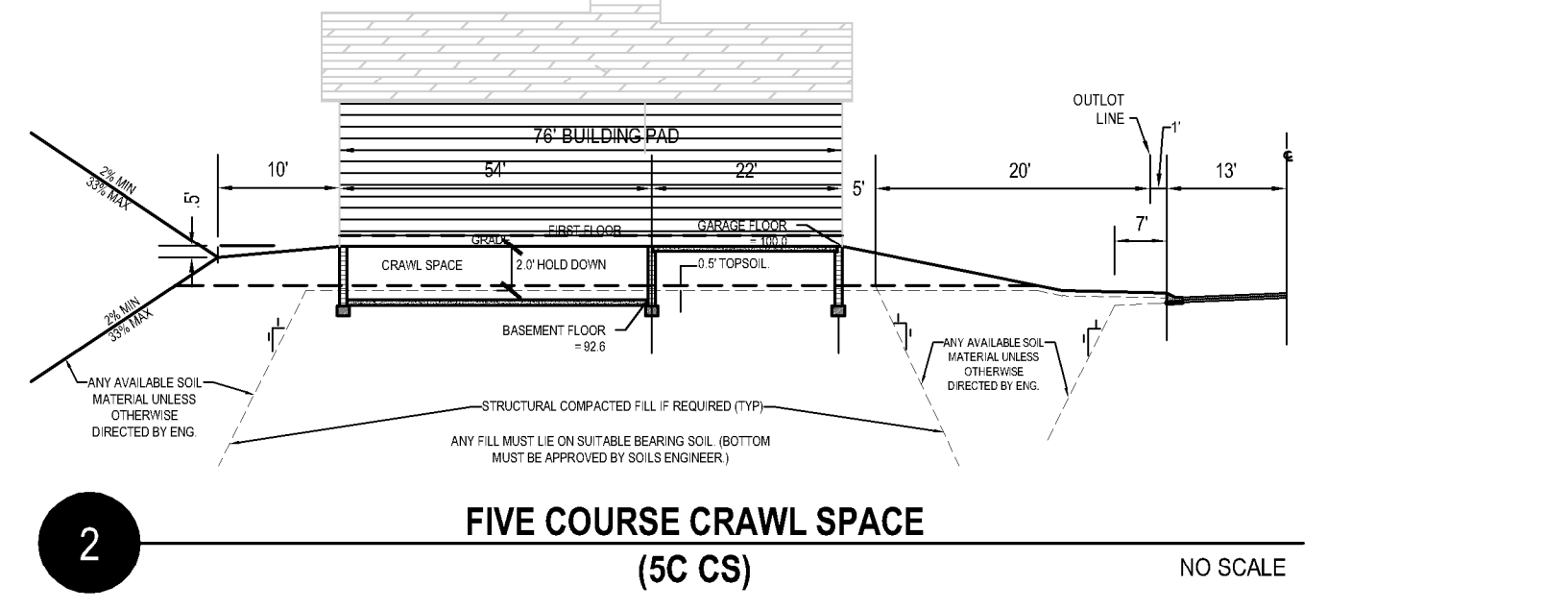
- Contact utility service providers for field location of services 72 hours prior to beginning grading.
- Refer to the Geotechnical Report prepared by Independent Testing Technologies, Inc. Dated September 24, 2019, for additional information on backfill material and groundwater conditions.
- Remove topsoil from grading areas and stockpile sufficient quantity for reuse. Materials may be mined from landscape areas for use on site and replaced with excess organic material with prior Owner approval.
- Remove surface and ground water from excavations. Provide initial lifts of stable foundation material if exposed soils are wet and unstable.
- An Independent Testing Firm shall verify the removal of organic and unsuitable soils, soil correction, and compaction and provide periodic reports to the Owner.
- Place and compact fill using lift thicknesses matched to soil type and compaction equipment to obtain specified compaction throughout the lift.
- Compact cohesive soils in paved areas to 95% of maximum dry density, Standard Proctor (ASTM D698) except the top 3 feet which shall be compacted to 100%. Compact to 98% density where fill depth exceeds 10 feet. The soils shall be within 3% of optimum moisture content. In granular soils all portions of the embankment shall be compacted to not less than 95% of Modified Proctor Density (ASTM D1557).

LEGEND

SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	Inlet Protection	3 ea.
	Silt Fence	2,500 ft.
	Vehicle Tracking Pad	1 ea.
	Tip Out Curb	
	Pavement Sawcut	
	Construction Limits	
	Top of Wall	
	Bottom of Wall	

LOT BY LOT TABULATION

Lot	Block	House Type	Garage Floor Ele	Driveway Grade (%)	Lowest Floor Ele	Lowest Opening Ele (living space)	100 Year Flood Ele	Emergency Overflow Ele	Highest Anticipate d Water Table or Mottled Soil
1	1	5C CS	875.5	7.2	872.8	876.0	865.4	869.5	862.0
2	1	5C CS	874.8	7.7	872.1	875.3	865.4	869.5	862.0
3	1	5C CS	874.5	7.3	871.8	875.0	865.4	869.5	862.0
4	1	5C CS	875.0	7.0	872.3	875.5	865.4	869.5	862.0
5	1	5C CS	875.0	5.4	872.3	875.5	865.4	869.5	862.0
6	1	5C CS	874.5	6.0	871.8	875.0	865.4	869.5	862.0
7	1	5C CS	873.9	6.4	871.2	874.4	865.4	869.5	862.0
8	1	5C CS	873.4	7.0	870.7	873.9	865.4	869.5	862.0
9	1	5C CS	873.0	6.4	870.3	873.5	865.4	869.5	862.0
10	1	5C CS	872.8	7.0	870.1	873.3	865.4	869.5	862.0
11	1	5C CS	872.3	5.0	869.6	872.8	865.4	869.5	862.0
12	1	5C CS	871.6	5.0	869.1	872.1	865.4	869.5	862.0
13	1	5C CS	871.8	6.5	869.1	872.3	865.4	869.5	862.0
14	1	5C CS	871.8	4.0	869.1	872.3	865.4	869.5	862.0
15	1	5C CS	871.8	2.5	869.1	872.3	865.4	869.5	862.0
16	1	5C CS	871.0	3.0	868.3	871.5	865.4	869.5	862.0
17	1	5C CS	871.0	3.0	868.3	871.5	865.4	869.5	862.0
1	2	5C CS	874.5	3.4	871.8	875.0	865.4	869.5	862.0
2	2	5C CS	874.5	5.0	871.8	875.0	865.4	869.5	862.0
3	2	5C CS	873.9	5.0	871.2	874.4	865.4	869.5	862.0
4	2	5C CS	873.3	6.0	870.6	873.8	865.4	869.5	862.0
5	2	5C CS	873.0	8.5	870.3	873.5	865.4	869.5	862.0
6	2	5C CS	872.8	10.0	870.1	873.3	865.4	869.5	862.0



CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

PRELIMINARY NOT FOR CONSTRUCTION

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED REPRODUCIBILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

PRELIMINARY PLAT
 12.02.2019

LANDFORM
 From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070
 Suite 513 Fax: 612-252-9077
 Minneapolis, MN 55401 Web: landform.net

FILE NAME C301LDP007.dwg
 PROJECT NO. LDP19007

GRADING, DRAINAGE, PAVING AND EROSION CONTROL
C3.1
 SHEET NO. 4/11

NPDES PERMIT AND SWPPP COMPONENTS

1. The current Minnesota Construction Stormwater General Permit dated Month Day, 2019 is referenced in this document as the Permit.

The SWPPP includes the following components:

- Construction Documents prepared by Landform
- Stormwater Management Plan / Narrative / Report prepared by Landform
- Maintenance Plan for permanent stormwater BMPs
- Geotechnical Report prepared by Independent Testing Technologies, Inc.

All components must be kept onsite by the Operator. The Operator shall contact Civil Engineer if they do not have all of the above documents.

SITE INFORMATION

Site location: Latitude: 45.238914, Longitude: -93.459000

Disturbed area = 5.3 ac.

Pre-construction impervious area within disturbed area = 0.0 ac.

Post-construction impervious area within disturbed area = 2.3 ac.

Net change in impervious area within disturbed area = 2.3 ac.

Type of stormwater management:

- Infiltration
- Filtration
- Wet sedimentation
- Dry sedimentation
- Reuse

Erosion prevention and sediment control quantities are on sheets C3.1 and C3.2.

SITE EVALUATION / ASSESSMENT / PLANNING

1. The Operator shall have primary responsibility and significant authority for the development, implementation, maintenance, inspection and amendments to the approved SWPPP. Duties include but are not limited to:
 - Ensuring full compliance with the SWPPP and the Permit
 - Implementing all elements of the SWPPP, including but not limited to:
 - Implementing prompt and effective erosion and sediment control measures
 - Implementing all non-storm water management, and good housekeeping BMPs ensuring that no materials other than storm water are discharged in quantities, which will have an adverse effect on receiving waters or storm drain systems, etc.
 - Conducting routine inspections and maintenance
 - Ensuring elimination of all unauthorized discharges
 - Coordinating to ensure all of the necessary corrections / repairs are made immediately, and that the project complies with the SWPPP, the Permit, and approved plans at all times.

STORMWATER POLLUTION PREVENTION MANAGEMENT MEASURES

1. Operator must develop pollution prevention management measures, implement good housekeeping BMPs, must follow all applicable federal, state, and local building codes, Occupational Safety and Health Act (OSHA), and the general conditions and general requirements of the construction contract.
2. The Operator shall minimize the exposure to stormwater of any of the products, material, or wastes stored on site that may wash downstream or contaminate stormwater.
3. Building products that have the potential to leach pollutants must be under cover.
4. Chemicals and landscape materials shall be under cover to prevent the discharge of pollutants.
5. Operator to track progress of the following items on site maps: portable toilets, material storage areas, vehicle and equipment fueling and maintenance areas, concrete washouts, paint and stucco washouts, dumpsters or other trash and debris containers, spill kits, stockpiles, any other non-structural non-storm water management BMPs, any temporarily removed structural BMPs, any changes to the structural BMPs.
6. Solid waste: collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris and other wastes must be disposed of properly and must comply with MPCA disposal requirements.
7. Hazardous waste: oil, gasoline, paint and any hazardous substances must be properly stored in sealed containers to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste or materials must be in compliance with Minn. R. Ch. 7045 including secondary containment as applicable.
8. Portable toilets must be positioned so that they are secure and will not be tipped or knocked over.
9. Concrete and other washout waste: operator must provide effective containment for all liquid and solid wastes generated by washout operations. The liquid and solid wastes must not contact the ground, and the containment must be designed so that it does not result in runoff from the washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with MPCA rules. A sign must be installed adjacent to each washout facility that requires site personnel to utilize the proper facilities for disposal of concrete and other washout wastes.
10. External vehicle washing: external washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of. No engine degreasing is allowed on site.
11. Operator shall take reasonable steps to prevent the discharge of spilled or leaked chemicals, including fuel, from any area where they will be loaded or unloaded as detailed in the Permit.

SWPPP CONTACT AND TRAINING INFORMATION

1. Owner:
 - Landform Development Partners, LLC
 - attn: Darren Lazan
 - Street Address
 - City, State Zip
 - Phone#
 - Email Address
2. SWPPP Designer:
 - Randy Hedlund, P.E.
 - Landform Professional Services
 - 105 South Fifth Avenue, Suite 513 / 580 Dodge Avenue NW
 - Minneapolis, MN 55401 / Elk River, MN 55330
 - 612-252-9070
 - rhedlund@landform.net
 - Certification: U Of MN, Design Of Construction SWPPP, Exp. May 31, 2022 (verify date)
3. SWPPP Inspector / Manager:
 - To Be Determined: Contact Owner until Contractor And SWPPP Inspector / Manager is selected.
 - Certification: .Exp.
4. BMP Installation And Repair:
 - To Be Determined: Contact Owner until BMP Installer And Maintainer is selected.
 - Certification: .Exp.

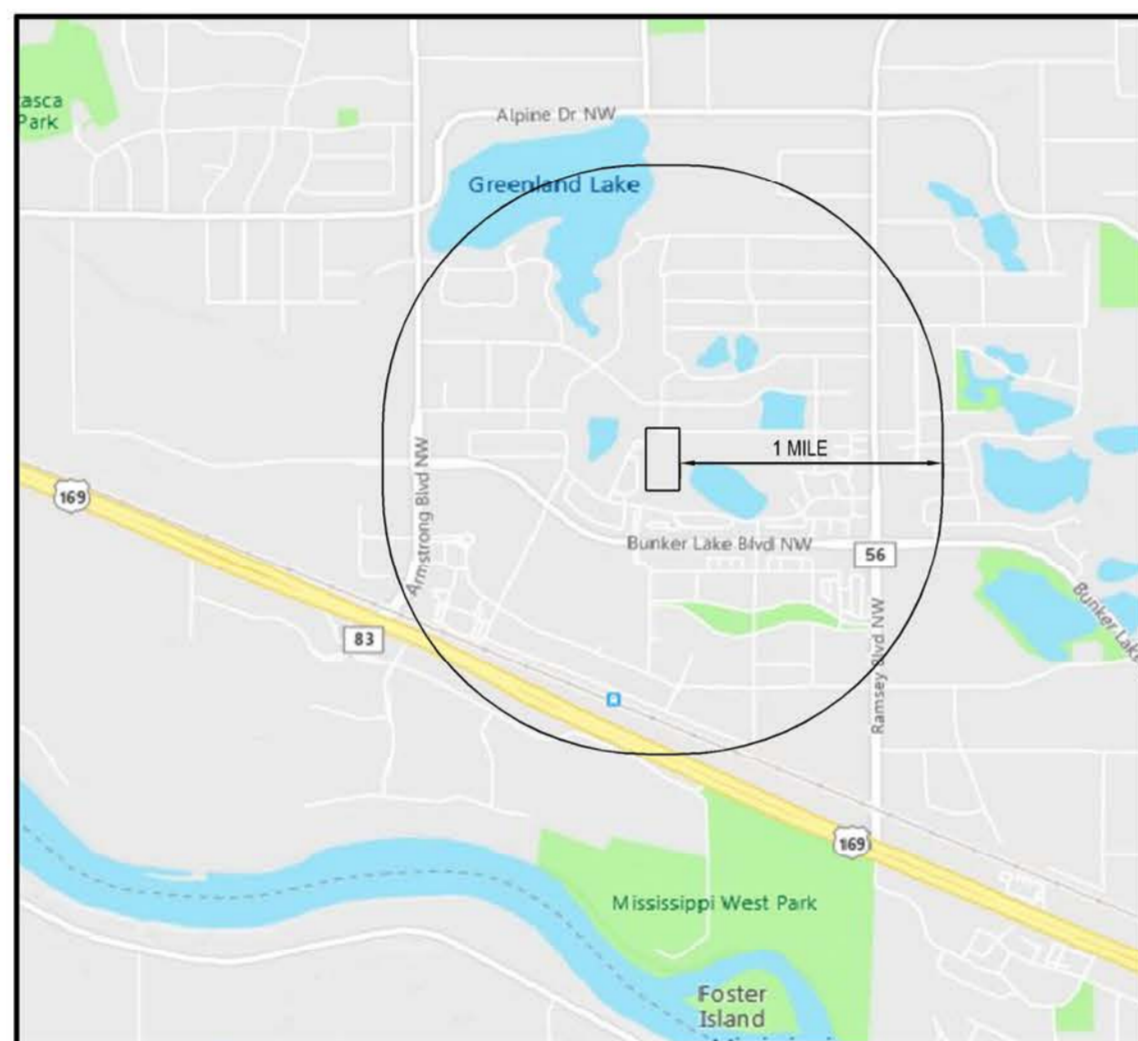
DESCRIPTION OF CONSTRUCTION ACTIVITY

1. Construction activity includes erosion and sediment control BMPs installation, clearing and grubbing, site grading, utility installation, building construction, paving, and landscaping.

SCHEDULE OF BMP INSTALLATION AND CONSTRUCTION ACTIVITY

1. Install perimeter sediment control BMPs prior to start of other site work. Refer to Grading, Drainage, Paving and Erosion Control sheets) for initial locations of BMPs.
2. Protect infiltration areas with construction fencing. Install fencing prior to site grading or within 24-hours of excavating an infiltration basin.
3. Construct temporary / permanent sedimentation basins prior to upland disturbance. Install perimeter sediment control BMPs around normal water levels within 48-hours of completion of basin grading.
4. Stabilize outlets from temporary / permanent sedimentation basins within 24-hours of outlet construction.
5. Perform work in phases to minimize disturbed area at any one time. Operator to develop phasing plan prior to start of work.
6. Strip topsoil from areas to be disturbed and stockpile with perimeter sediment control BMPs. Provide stabilization if stockpile is left longer than 14 days.
7. Rough grade site.
8. Install utilities.
9. Install small utilities (gas, electric, communications).
10. Final grade pavement areas and compact subgrade.
11. Lay down pavement aggregate and compact.
12. Install curb and gutter. Backfill after a minimum of three days and provide a minimum of two rolls of sod at the back of curb.
13. Construct building / addition and site features.
14. Construct site walks and paths.
15. Provide final stabilization.
16. Connect infiltration / filtration practices to storm sewer inlets.
17. Remove temporary BMPs and dispose of properly.

WATERS WITHIN ONE MILE OF SITE



STORMWATER POLLUTION MITIGATION MEASURES

1. Required stormwater mitigation measures to meet the final environmental review document are:
 - Regional Ponds
 - Infiltration credits purchased from the city

MN SPECIAL (PROHIBITED, RESTRICTED, OTHER) & IMPAIRED WATERS

1. There are no impaired waters within 1 mile of the Project site.
2. Project Site is within the Lower Rum River Watershed Management Organization District.

EROSION PREVENTION AND SEDIMENT CONTROL

1. See Grading, Drainage, Paving and Erosion Control sheets for the location and type of temporary erosion prevention and sediment control BMPs. See Grading and Drainage, Utility, and Landscape sheets for the location and type of permanent erosion prevention and sediment control BMPs.
2. Minimize Disturbed Areas and Protect Natural Features and Soil
Appropriate construction practices (e.g. construction phasing, vegetative buffer strips, horizontal slope grading) shall be used to minimize erosion.
Areas not to be disturbed (buffers, infiltration basins, etc.) shall be protected with construction or silt fence before work begins.
Operator shall develop methods to minimize soil compaction outside of building pads, pavement areas and utility trenches and shall use tracked equipment wherever practicable.
Topsoil shall be salvaged and reused to the extent practicable.
3. Phase Construction Activity
Operator must not disturb more land than can be effectively inspected and maintained.
Sediment control practices shall be established on all down gradient perimeters before any upgradient land disturbing activities begin. These practices shall remain in place until final stabilization has been established in accordance with the Permit.
The timing of the installation of sediment control practices may be adjusted to accommodate short-term activities such as clearing or grubbing, or passage of vehicles. Any short-term activity must be completed as quickly as possible and the sediment control practices shall be installed immediately after the activity is completed. However, sediment control practices shall be installed before the next precipitation event even if the activity is not complete.
4. Control Stormwater Flowing onto and Through the Project
The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts water around the site, shall be stabilized within 200 linear feet from the property edge, or from the point of discharge into any surface water.
Stabilization of the last 200 linear feet shall be completed within 24 hours after connecting to a surface water.
Stabilization of the remaining portions of any temporary or permanent ditches or swales shall be complete within 14 days after connecting to a surface water and construction in that portion of the ditch has temporarily or permanently ceased.
Temporary or permanent ditches or swales that are being used as a sediment containment system (with properly designed rock ditch checks, bio rolls, silt dikes etc.) do not need to be stabilized. These areas shall be stabilized within 24 hours after no longer being used as a sediment containment system.

The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts water around the site, shall be stabilized within 200 linear feet from the property edge, or from the point of discharge into any surface water.

Stabilization of the last 200 linear feet shall be completed within 24 hours after connecting to a surface water.

Stabilization of the remaining portions of any temporary or permanent ditches or swales shall be complete within 14 days after connecting to a surface water and construction in that portion of the ditch has temporarily or permanently ceased.

Temporary or permanent ditches or swales that are being used as a sediment containment system (with properly designed rock ditch checks, bio rolls, silt dikes etc.) do not need to be stabilized. These areas shall be stabilized within 24 hours after no longer being used as a sediment containment system.

5. Stabilize Soils
All exposed soil areas, including stockpiles, must be stabilized.

Stabilization must be started immediately to limit soil erosion when the construction activity in that portion of the site has temporarily or permanently ceased and will not resume for 14 calendar days. Stabilization must be complete within 14 days of cessation of construction activity.

Temporary soil stockpiles shall have silt fence or other effective sediment controls, and cannot be placed in surface waters, including storm water conveyances such as curb and gutter systems, or conduits and ditches unless there is a bypass in place for the storm water.

Temporary stockpiles without significant silt, clay or organic components (e.g. clean aggregate stockpiles, demolition concrete stockpiles, sand stockpiles) and the constructed base components of roads, parking lots and similar surfaces, are exempt from this requirement.

6. Protect Slopes

Operator shall avoid work on slopes with a grade of 3:1 or greater when practicable. Grading on slopes with a grade of 3:1 or steeper will require techniques such as phasing and stabilization practices designed for steep slopes (e.g. slope draining and terracing).

7. Protect Storm Drain Inlets

All storm drain inlets shall be protected by appropriate BMPs during construction until all sources with potential for discharging to the inlet have been stabilized. Inlet protection may be temporarily removed if a specific safety concern has been identified.

8. Provide Energy Dissipation at all Pipe Outlets within 24 Hours

After connection to a surface water or permanent stormwater treatment system.

9. Establish Perimeter Controls and Sediment Barriers

Prior to disturbing soils on a project site, establish sediment control BMPs on all down-gradient perimeters and where site discharges to public waters.

10. Retain Sediment On-site and Control Dewatering Practices

Discharge shall not cause nuisance conditions, erosion in receiving channels, adversely affect receiving water or impact wetlands, or downstream properties. Discharge points shall be adequately protected from erosion and scour by accepted energy dissipation measures.

Discharge water containing oil or grease shall be treated to remove oil or grease prior to discharge to surface waters.

Refer to Permit requirements for temporary or permanent sediment basins.

11. Establish Stabilized Construction Exits

Vehicle tracking pads shall be established as shown on the Grading, Drainage, Paving and Erosion Control sheet to minimize tracking of sediment from the construction site onto adjacent streets.

12. Infiltration Basin Protection

Operator must not excavate infiltration systems to final grade or within three (3) feet of final grade until the contributing drainage area has been constructed and fully stabilized unless rigorous erosion prevention and sediment controls have been installed.

When excavating an infiltration system to within three (3) feet of final grade, operator shall mark off and protect the area from heavy construction equipment to prevent compaction of soils.

13. Dewatering and Basin Draining

Permittees must discharge turbid or sediment-laden waters related to dewatering or basin draining to a temporary or permanent sediment basin. Discharges must not cause erosion or scour near the discharge points.

14. Remove Sediment from Surface Waters

All sediment deposits and deltas must be removed from surface waters, including drainage ways, catch basins, and other drainage systems, and the removal areas restabilized within seven (7) days.

TEMPORARY SEDIMENTATION BASIN(S)

1. This project does not have more than ten disturbed acres draining to a common location and The site DOES NOT drain to an impaired or special water, therefore a temporary sediment basin is not required.
2. Temporary sediment basins shall provide treatment to runoff before it leaves the construction site or enters surface waters. The contractor shall comply with the following requirements:
 - A. Sedimentation basins must provide live storage of runoff resulting from the 2-year 24-hour rainfall event from each acre drained to the basin, with a minimum of 1,800 c.f./acre live storage volume. (Where no calculation has been performed, each basin shall provide at least 3,600 c.f./acre live storage.) Sedimentation basins must include a stabilized emergency overflow to prevent basin integrity failure.
 - B. Discharge from temporary sedimentation basins will be withdrawn from the surface in order to minimize the discharge of pollutants.
3. Discharge from basin draining shall not adversely affect the receiving water or downstream properties. Contractor will visually check to ensure adequate treatment has been obtained and that nuisance conditions will not result from the discharge.
4. Any discharge observed to be occurring during the inspection shall be recorded, described, and photographed.
5. If any proposed temporary BMPs are not working as intended refer to the "Stormwater Compliance Assistance Toolkit for Small Construction Operators" MPCA, 2017 for additional information. Operator shall contact the SWPPP Designer for additional requirements and information.

POST CONSTRUCTION / PERMANENT BMPs

1. See Grading and Drainage, Utility, and Landscape sheets for post construction and permanent stormwater BMPs.

INSPECTIONS AND MAINTENANCE

1. Permittees must ensure that a trained person will inspect the entire construction site at least once every seven days during active construction and within 24 hours after a rainfall event greater than 0.5-inches in 24 hours.
 2. Inspections shall include stabilized areas, erosion prevention and sediment control BMPs, and infiltration areas.
 3. Permittees must record all inspection and maintenance activities within 24 hours of being conducted as detailed in the Permit.
 4. Inspection Records content shall include:
 - A. Date and time of inspections;
 - B. Name of persons conducting inspections;
 - C. Findings of inspections, including specific locations where corrective actions are needed;
 - D. Corrective actions taken including dates, times, and the party taking the corrective action;
 - E. Dates of all rainfall events greater than 1/2 inch in 24 hours (refer to Permit for measurement requirements);
 - F. Any discovered discharge must be recorded, including photographs, descriptions of discharge (color, odor, settled or suspended solids, oil sheen, or other obvious indicators of pollution), and specific location of discharge location;
 - G. Any amendments to the Permit as a result of inspections must be documented within seven calendar days as described in the Permit.
 5. BMP Maintenance:
 - A. Nonfunctional BMPs must be repaired or replaced by the end of the next business day after discovery unless a different time frame is indicated.
 - B. Follow the designer's or manufacturer's recommended maintenance procedures for all BMPs.
 - C. Remove sediment from BMPs when the depth of sediment has reached 1/2 the height of the BMP and properly dispose of sediment into controlled areas to prevent soil from returning to the BMP during subsequent rain events.
 - D. Remove sediment from paved roadways within one calendar day of discovery.
 - E. Remove sediment from around BMPs protecting storm drain inlets.
 - F. Surface waters with evidence of sediment deposition must be stabilized and sediment removed within seven calendar days of discovery, or as stated by the Permit.
 - G. Ensure that construction support activities, including borrow areas, waste areas, contractor work areas, and material storage areas and dedicated concrete and asphalt batch plants are cleaned and maintained.
 - H. Replace damaged BMPs that no longer operate effectively.
- Add BMPs as needed during construction to minimize erosion and prevent sediment from leaving the site.

RECORD KEEPING / RECORD RETENTION

1. The SWPPP (original or copies), including all changes to it, and inspections and maintenance records, shall be kept at the site during construction by the Owner / Operator who has operational control of that portion of the site. The SWPPP can be kept in either the field office or in an on site vehicle during normal working hours.
2. All Owners(s) must keep the SWPPP, along with the following additional records, on file for three (3) years after submittal of the Notice of Termination (NOT). This does not include any records after submittal of the NOT.
 - Copy of the SWPPP, with any modifications;
 - Inspection and maintenance records;
 - Permanent operation and maintenance agreements;
 - Calculations for the design of temporary and permanent stormwater management systems;
 - Any other permits required for the project;
 - Records of all inspection and maintenance conducted during construction; and
 - All permanent operation and maintenance agreements that have been implemented, including all right-of-way, contracts, covenants and other binding requirements regarding perpetual maintenance
3. The following is a list of records that shall be kept at the project site available for inspectors to review:
 - Copy of the SWPPP, with any modifications;
 - Inspection and maintenance records;
 - Permanent operation and maintenance agreements;
 - Calculations for the design of temporary and permanent stormwater management systems;
 - Any other permits required for the project;
 - Records of all inspection and maintenance conducted during construction; and
 - All permanent operation and maintenance agreements that have been implemented, including all right-of-way, contracts, covenants and other binding requirements regarding perpetual maintenance

LOG OF CHANGES TO THE SWPPP / AMENDMENTS

1. The Owner / Operator(s) must amend the SWPPP as necessary to include additional requirements, such as additional or modified BMPs, designed to correct problems identified or address situations as detailed in the Permit.

FINAL STABILIZATION

1. The Owner / Operator(s) must ensure final stabilization of the site. Final stabilization includes:
 - A. Ensuring all areas have permanent cover.
 - B. Vegetative areas must have perennial cover with a density of 70% of expected final growth.

TERMINATION OF COVERAGE

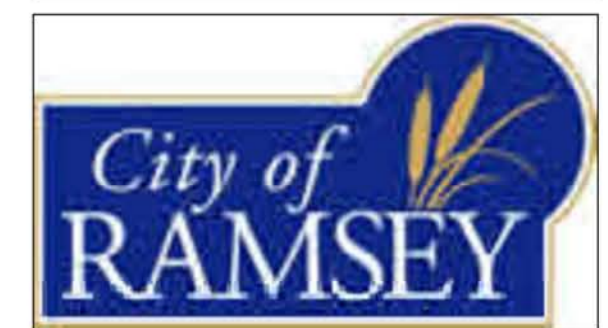
1. Owner / Operator(s) wishing to terminate coverage under the Permit must submit a Notice of Termination (NOT) to the MPCA. Compliance with the Permit is required until a NOT is submitted. Refer to the Permit for details. Conditions for submitting a NOT include:
 - A. Site must have achieved final stabilization (refer to section above).
 - B. The permanent stormwater treatment and conveyance systems must be clean and all accumulated sediment removed.
 - C. All temporary synthetic erosion prevention and sediment control BMPs must be removed from the site and disposed of properly.
 - D. Single Family Residential - Permit termination on individual lots occurs once building construction is complete, temporary erosion prevention and downgradient perimeter control is complete, the residence sells to the homeowner, and the permittee distributes the MPCA's "Homeowner Fact Sheet" to the homeowner.

DEVELOPER

Landform Development Partnership

Address
City, MN ZIP
TEL (XXX) XXX-XXXX

MUNICIPALITY



PROJECT

GARDEN VIEW
VILLAS
RAMSEY, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
02 JAN 2019	Preliminary Plat	RCH

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Randy C. Hedlund, P.E.
Landform Professional Services
105 South Fifth Avenue, Suite 513 / 580 Dodge Avenue NW
Minneapolis, MN 55401 / Elk River, MN 55330
612-252-9070
rhedlund@landform.net

IF THE SIGNATURE SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

PRELIMINARY PLAT
12.02.2019

LANDFORM
From Site to Finish

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Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME C302LDP007.dwg

PROJECT NO. LDP19007

MN SWPPP NOTES

C3.2

SHEET NO. 6/11
Landform and Site to Finish are registered service marks of Landform Professional Services, LLC.



DATE	ISSUE / REVISION	REVIEW
02 JAN 2019	Primary Plat	RCH

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

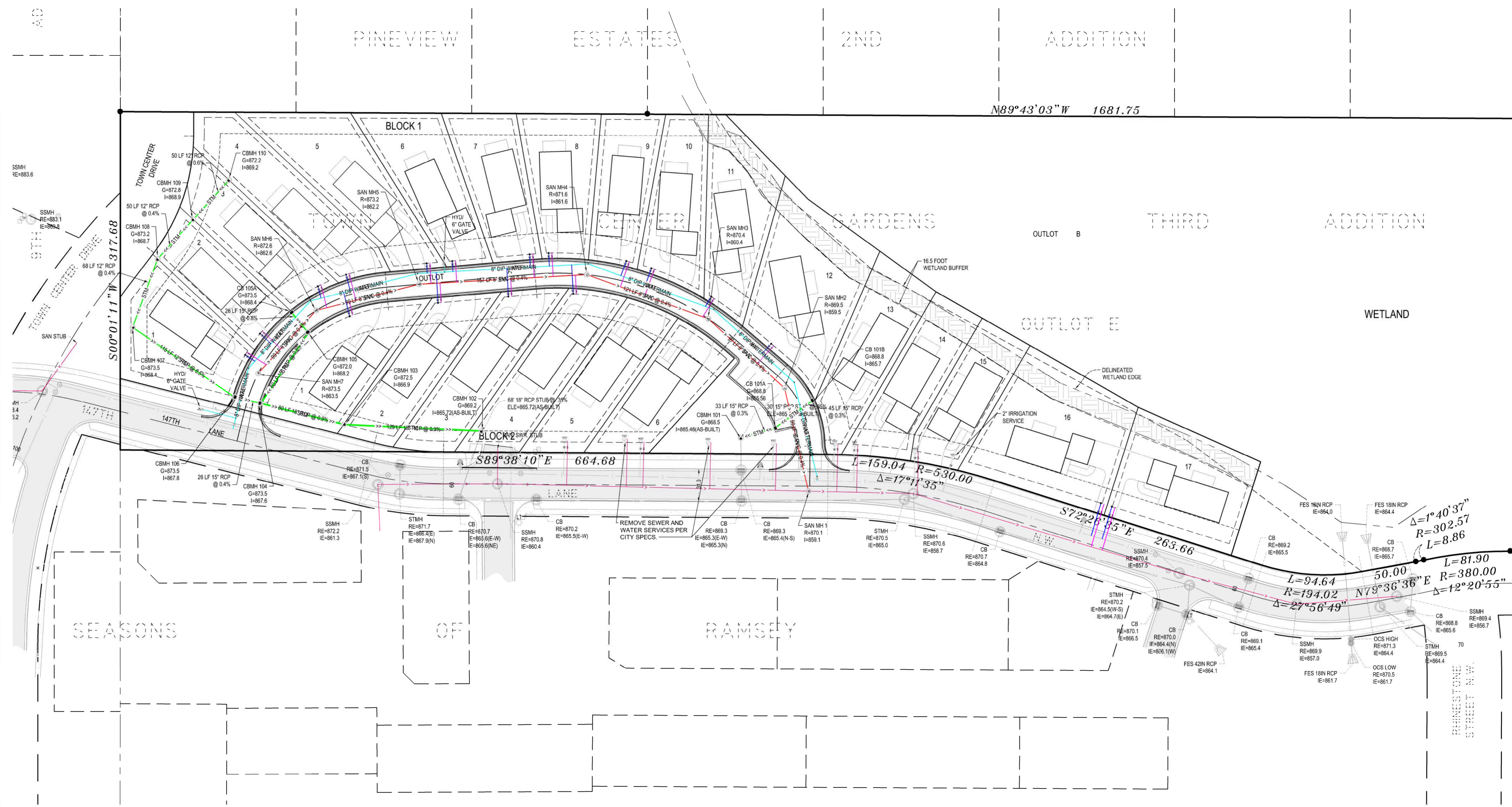
Randall C. Hendrickson
License No. 0000000000
Digital Signature: [Signature]

**PRELIMINARY
NOT FOR
CONSTRUCTION**



105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
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FILE NAME C401LDP007.dwg
PROJECT NO. LDP19007



GENERAL NOTES

- For construction staking and surveying services contact Landform at 612.252.9070.

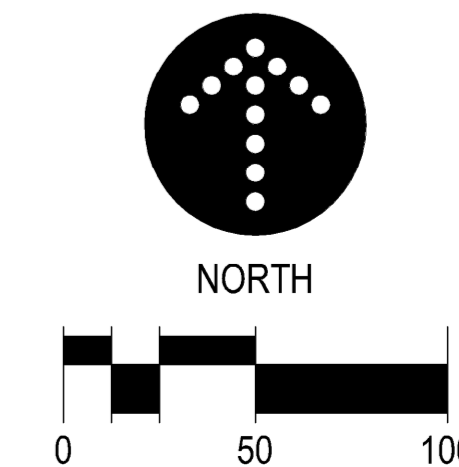
UTILITY NOTES

- Pipe Materials**

 - Watermain: DIP Class 52 (ANSI A21.51/AWWA C151), C900 PVC
 - Water Service: Copper Type K (ASTM B88)
 - Public Sanitary Sewer: PVC SDR 35, SDR 26 (ASTM: D3034, F477, & F891)
 - Sanitary Sewer: PVC Schedule 40 (ASTM: D1785, D2665, F794, & F1866)
 - Sanitary Sewer Service: PVC Schedule 40 (ASTM: D1785, D2665, F794, & F1866)
 - Grease Trap Service: PVC Schedule 40 (ASTM: D1785, D2665, F794, & F1866)
 - Storm Sewer: RCP 12" 15' Class 5 (ASTM C76)
 - Storm Sewer: RCP 21" Class 4 (ASTM C76)
 - Storm Sewer: RCP 24"-48" Class 3 (ASTM C76)
 - Drain Tile: HDPE - Corrugated, Smooth Interior, Water Tight (ASTM D3350, ASTM D4976, ASTM F2306, AASHTO M252)
 - Drain Tile: CMP Aluminized Steel Type 2, Water Tight, 12"-120" (AASHTO: M36, M274; ASTM: A929, A760, A798)
 - Drain Tile: HDPE - Corrugated & Perforated (ASTM D3350, ASTM D4976, AASHTO M252, AASHTO M294)
- Contact utility service providers for field location of services 72 hours prior to beginning.
- Contractor to field verify location and elevation of all utility points of connection prior to construction of any proposed utilities. Contractor to notify Engineer immediately if there is any discrepancy.
- Contractor to pothole all utility crossings prior to construction of new utilities to verify depths of existing lines. Contact Engineer immediately if any conflicts are discovered.
- Provide means and measures to protect adjacent property from damage during utility installation.
- Pipe lengths shown are from center of structure to center of structure or end of end section.
- Install tracer wire with all non-conductive utilities in accordance with City of Ramsey standards.
- Connect to city utilities in accordance with City of Ramsey standards.

UTILITY NOTES(CONT.)

- Contact Ramsey at ###-###-#### for wet tap inspection.
- Maintain 7.5 feet of cover on water.
- Deflect water to maintain 18-inch minimum outside separation at sewer crossings. Center pipe lengths to provide greatest separation between joints.
- Contact XXX, City of XXX Department, at ###-###-#### for flushing and pressure test inspections.
- The water distribution system shall be disinfected per 10 State Standards.
- Provide 4-inch rigid foam (ASTM D1621) insulation on sanitary sewer less than x feet deep.
- Catch basins in curb and gutter are sumped 2 inches below the gutter grade. Refer to Detail X on Sheet C7.X.
- Rock media in infiltration or filtration systems shall be angular, non-calcareous rock.
- Coordinate with private utilities to provide electric, natural gas, and communications services.
- See Site Lighting Plan for additional information.
- Compact cohesive soils in paved areas to 95% of maximum dry density, Standard Proctor (ASTM D698) except the top 3 feet which shall be compacted to 100%. Compact to 90% density where fill depth exceeds 10 feet. The soils shall be within 3% of optimum moisture content. In granular soils all portions of the embankment shall be compacted to not less than 95% of Modified Proctor Density (ASTM D1557).
- Adjust structures to final grade where disturbed. Comply with requirements of Utility. Meet requirements for traffic loading in paved areas.

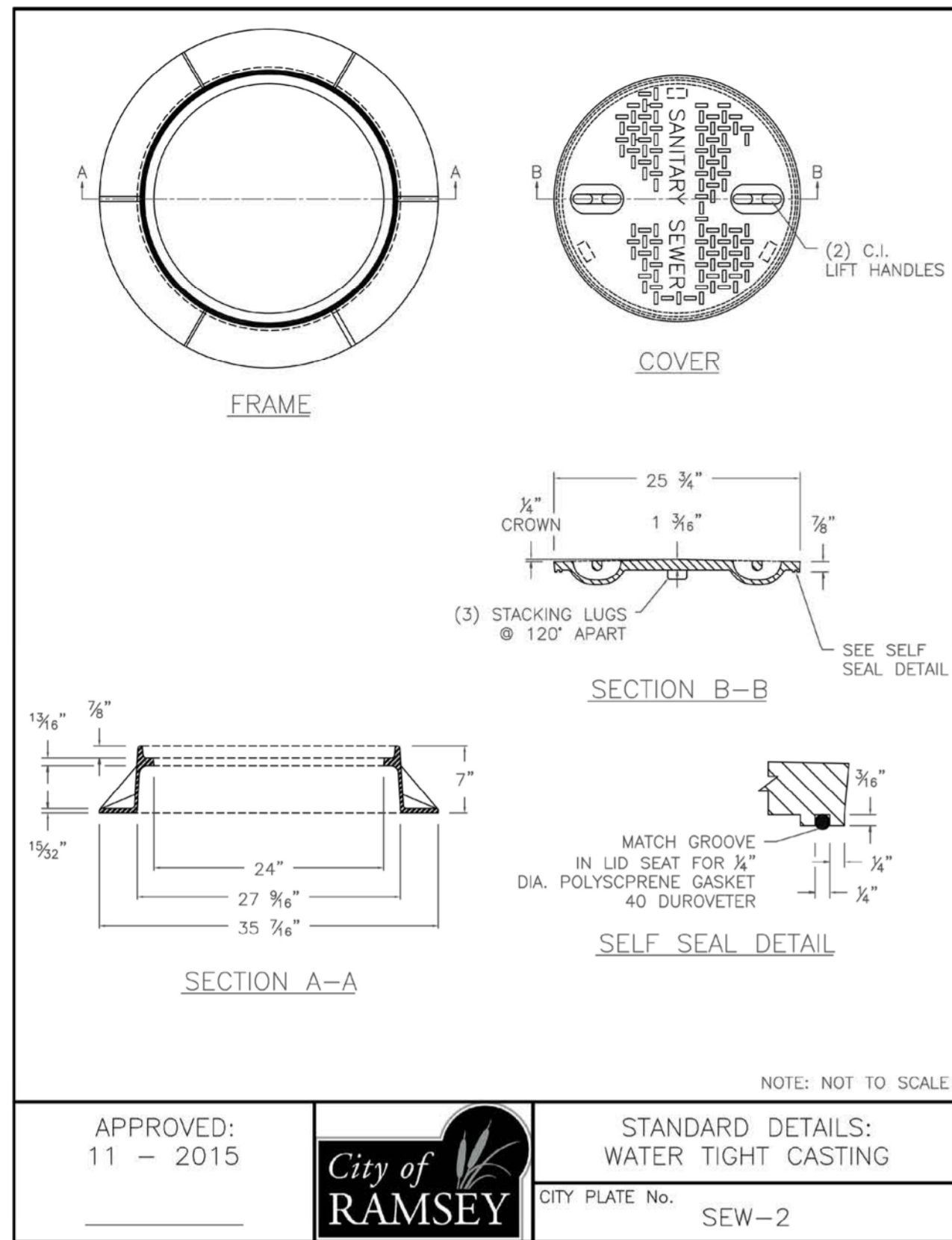




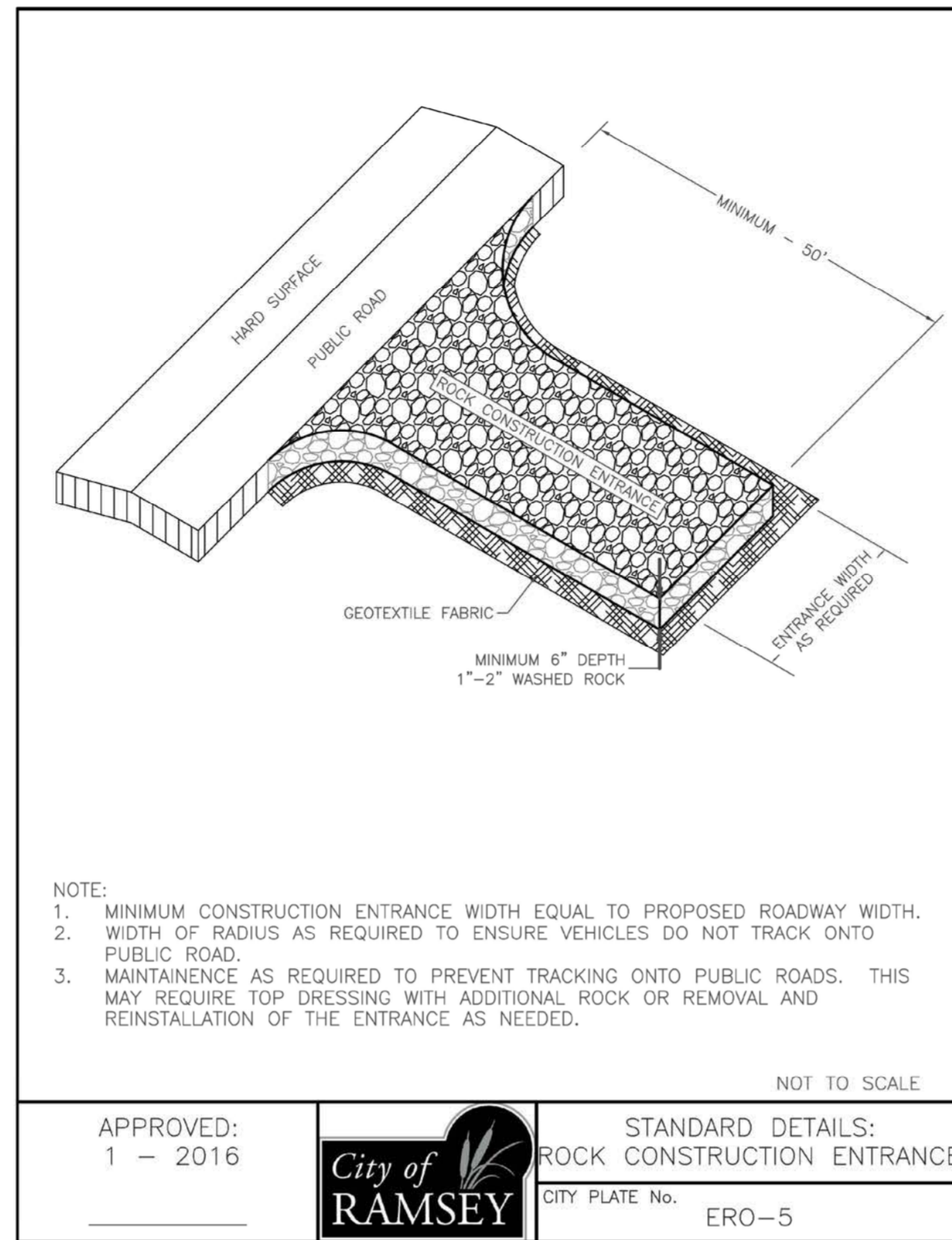
GARDEN VIEW VILLAS

RAMSEY, MINNESOTA

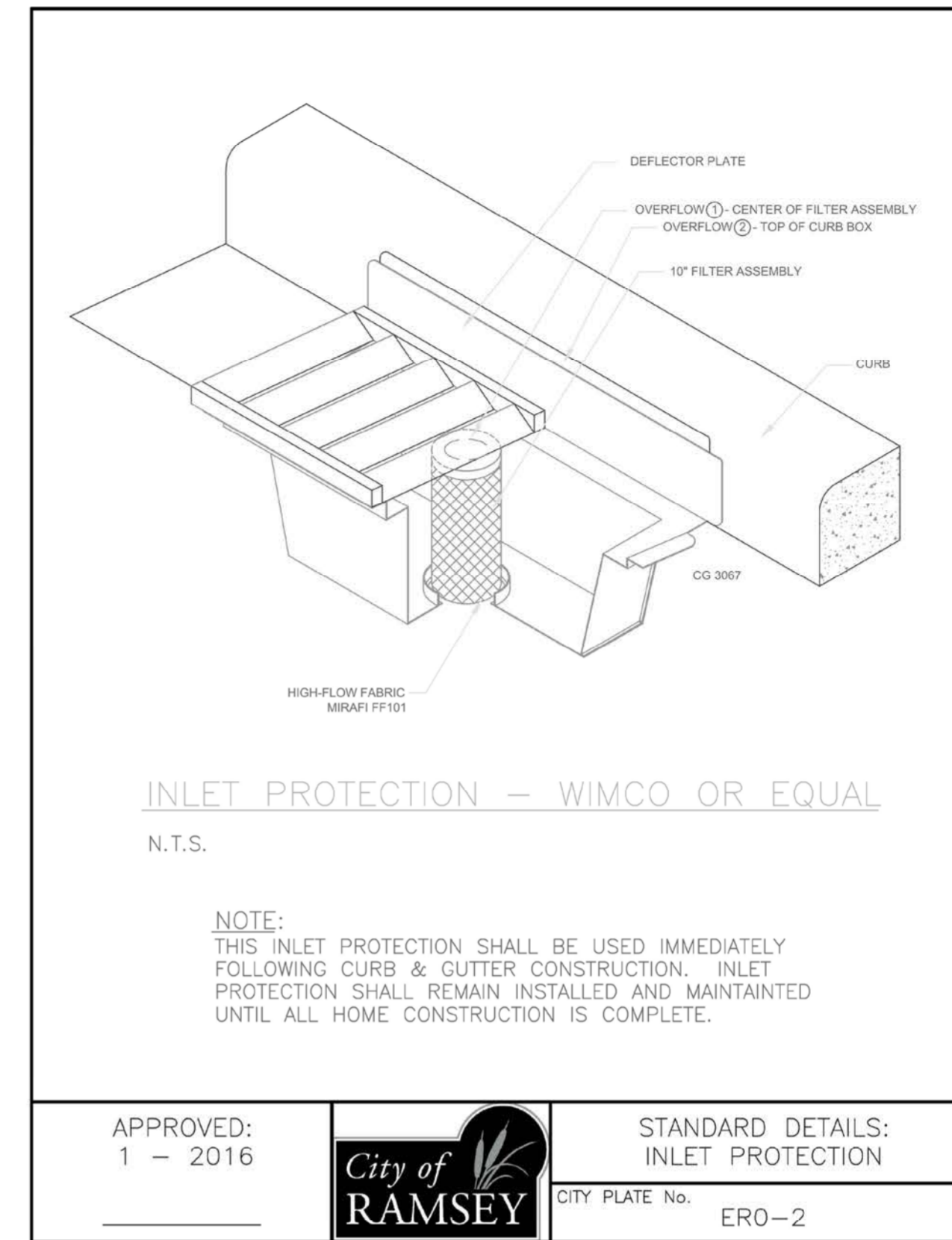
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02 JAN 2019	PRELIMINARY PLAT	RCH



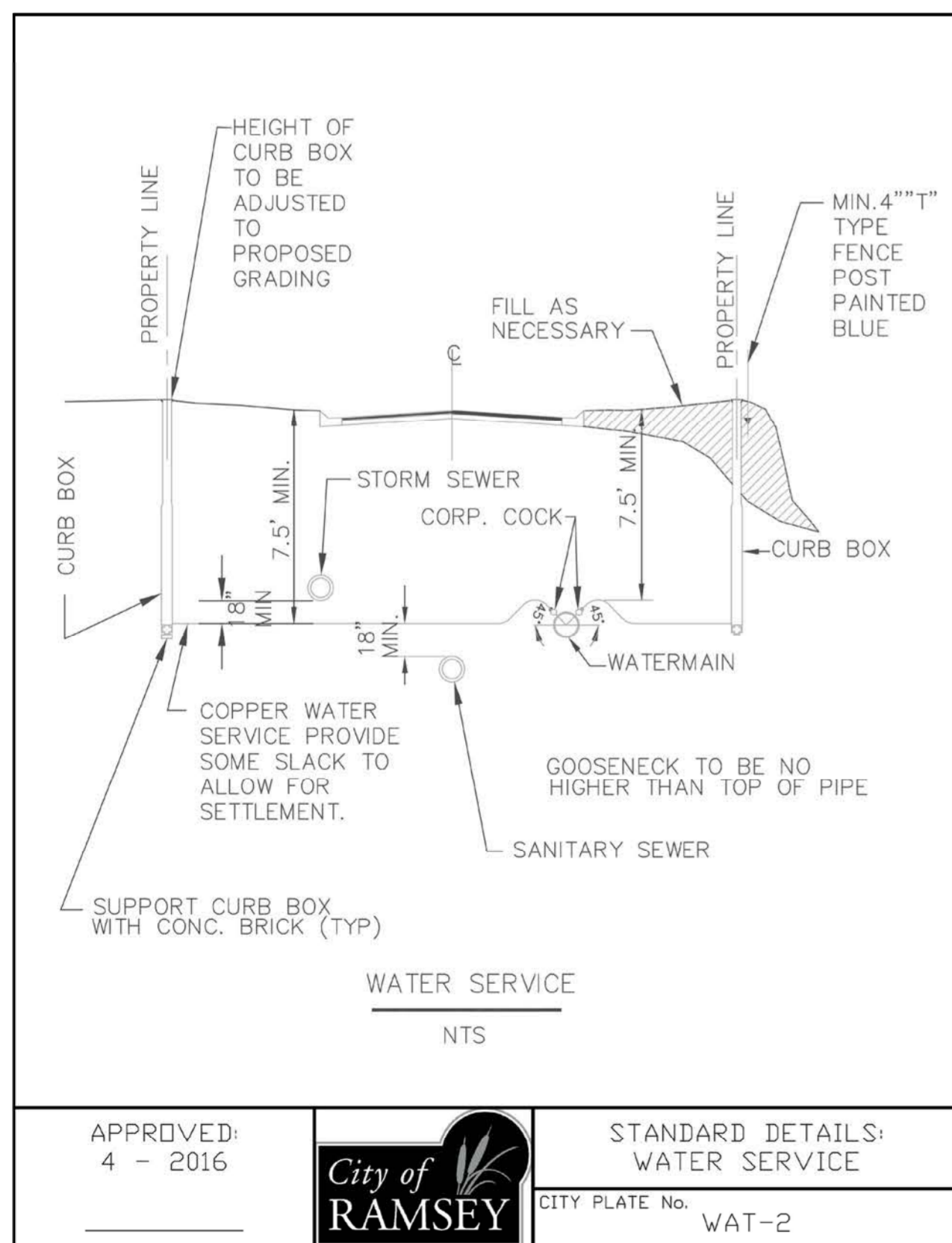
5 WATER TIGHT CASTING NO SCALE



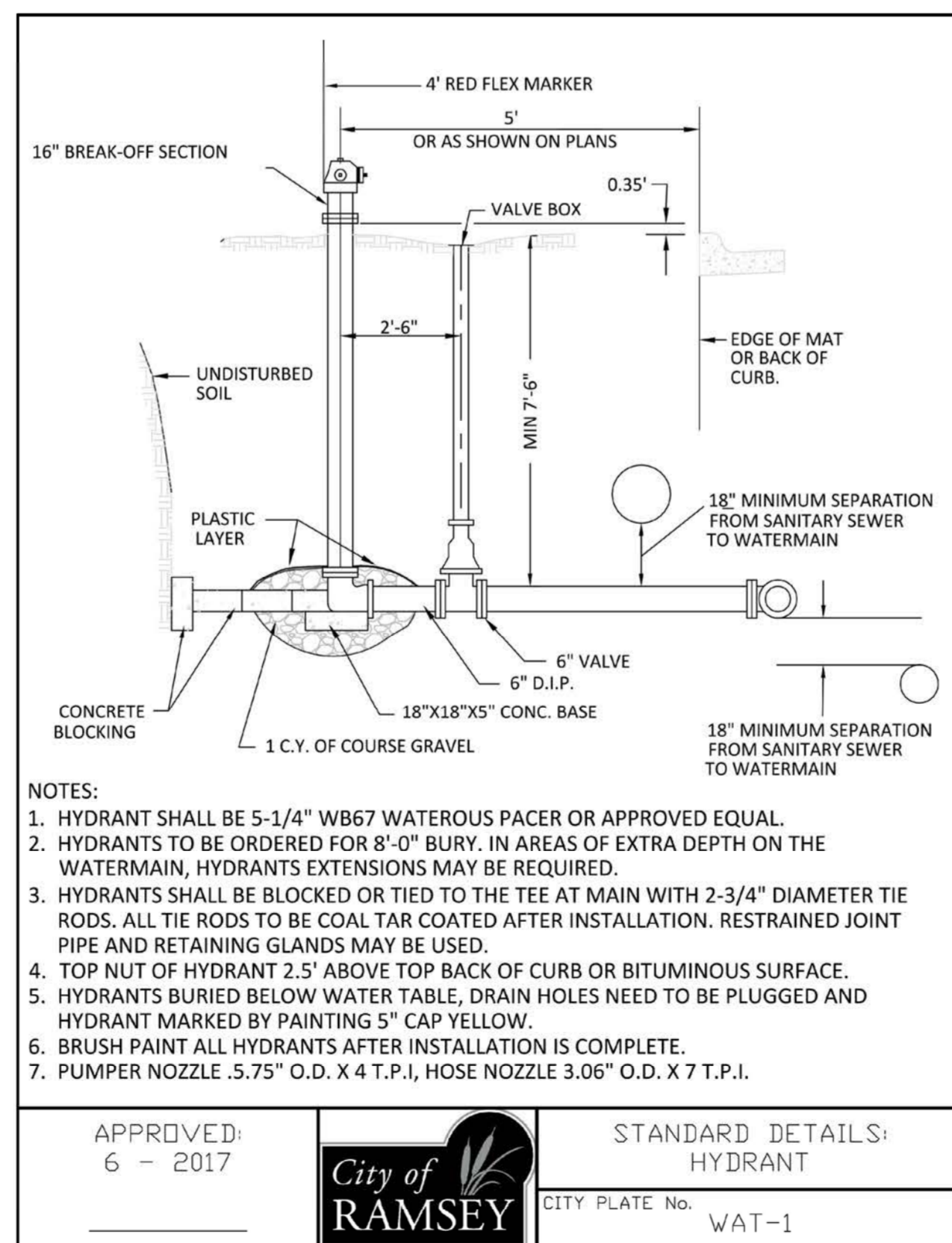
3 ROCK CONSTRUCTION ENTRANCE NO SCALE



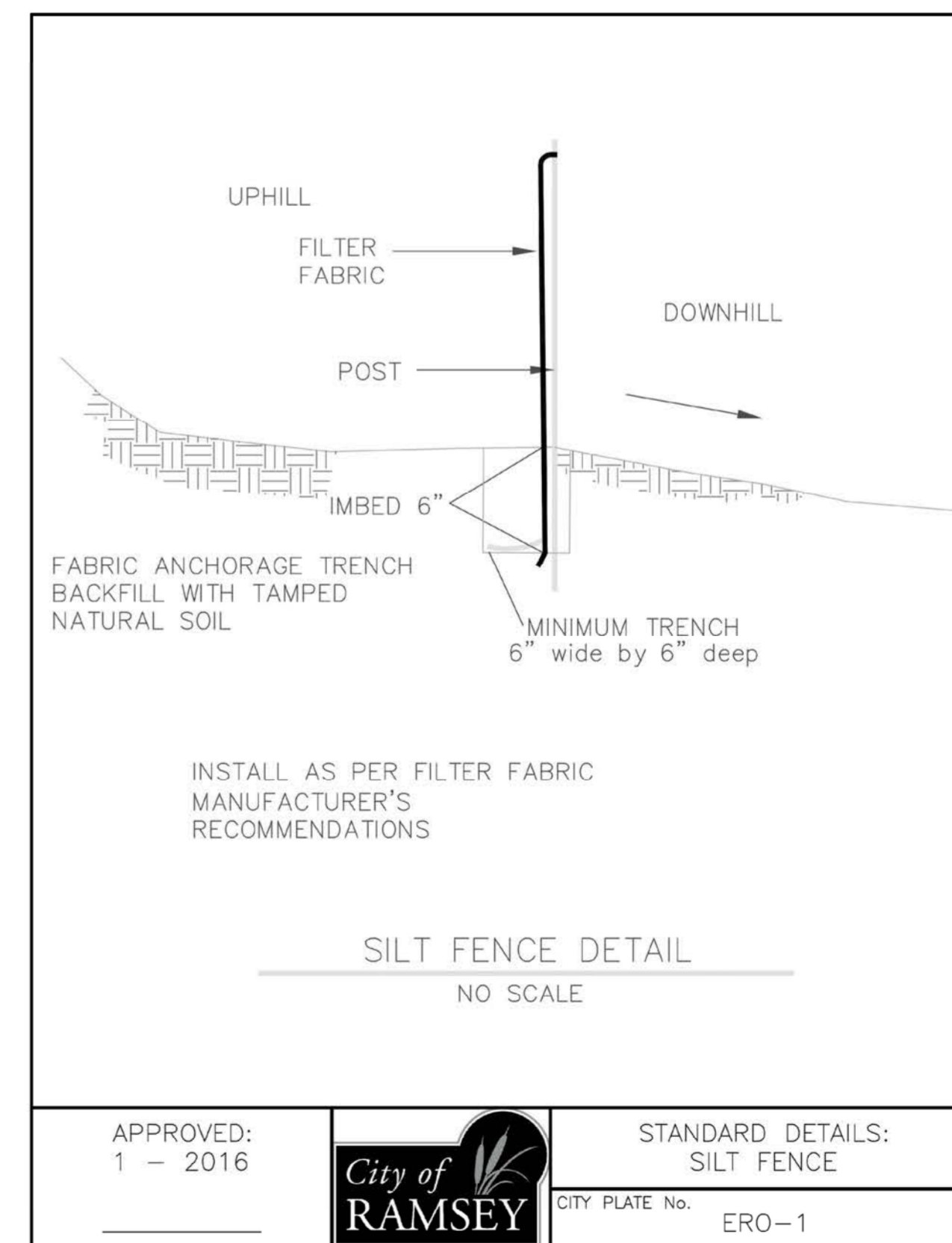
1 INLET PROTECTION NO SCALE



6 WATER SERVICE NO SCALE



4 HYDRANT NO SCALE



2 SILT FENCE NO SCALE

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

PRELIMINARY NOT FOR CONSTRUCTION

PRELIMINARY PLAT
12.02.2019



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FILE NAME C701LDP007.dwg

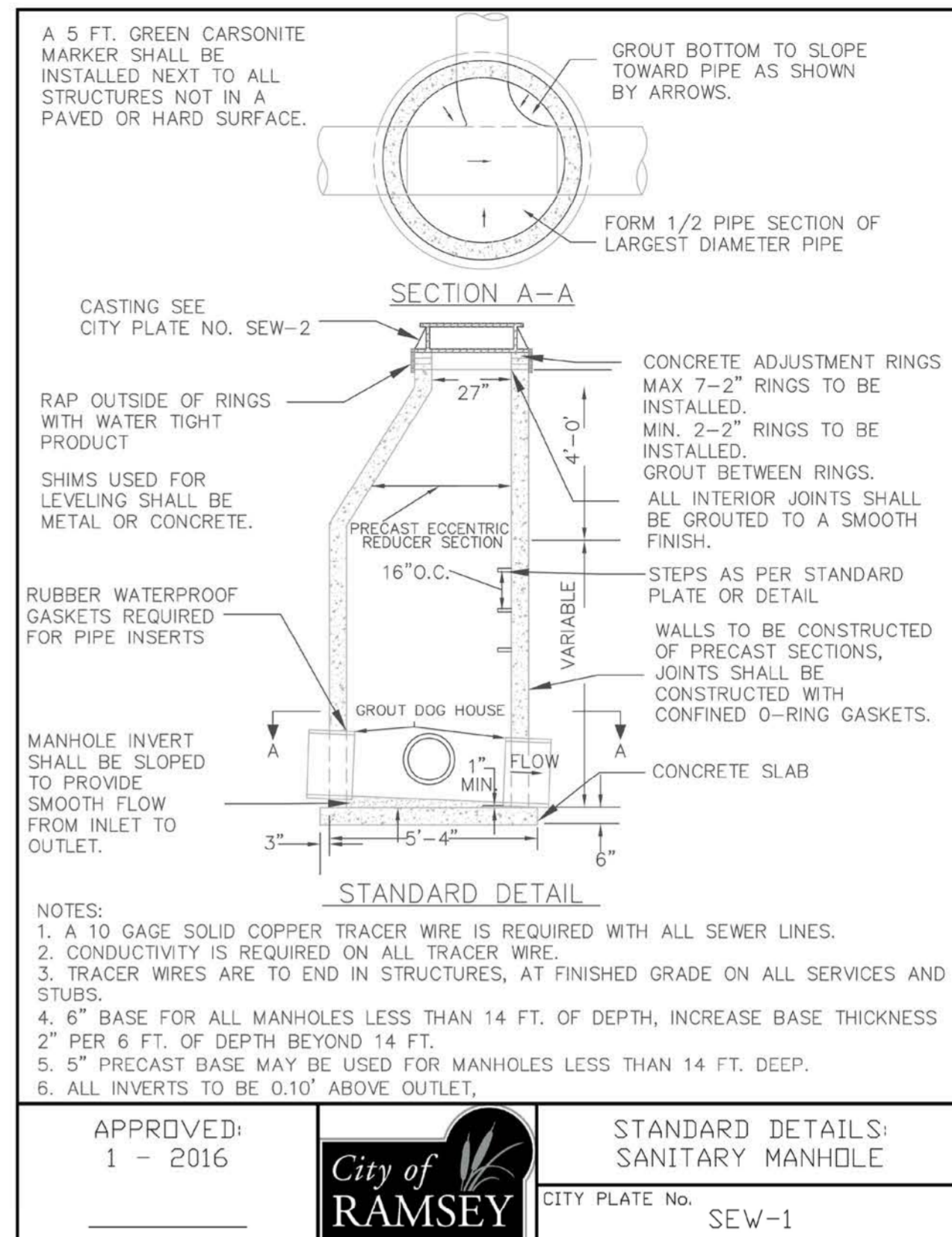
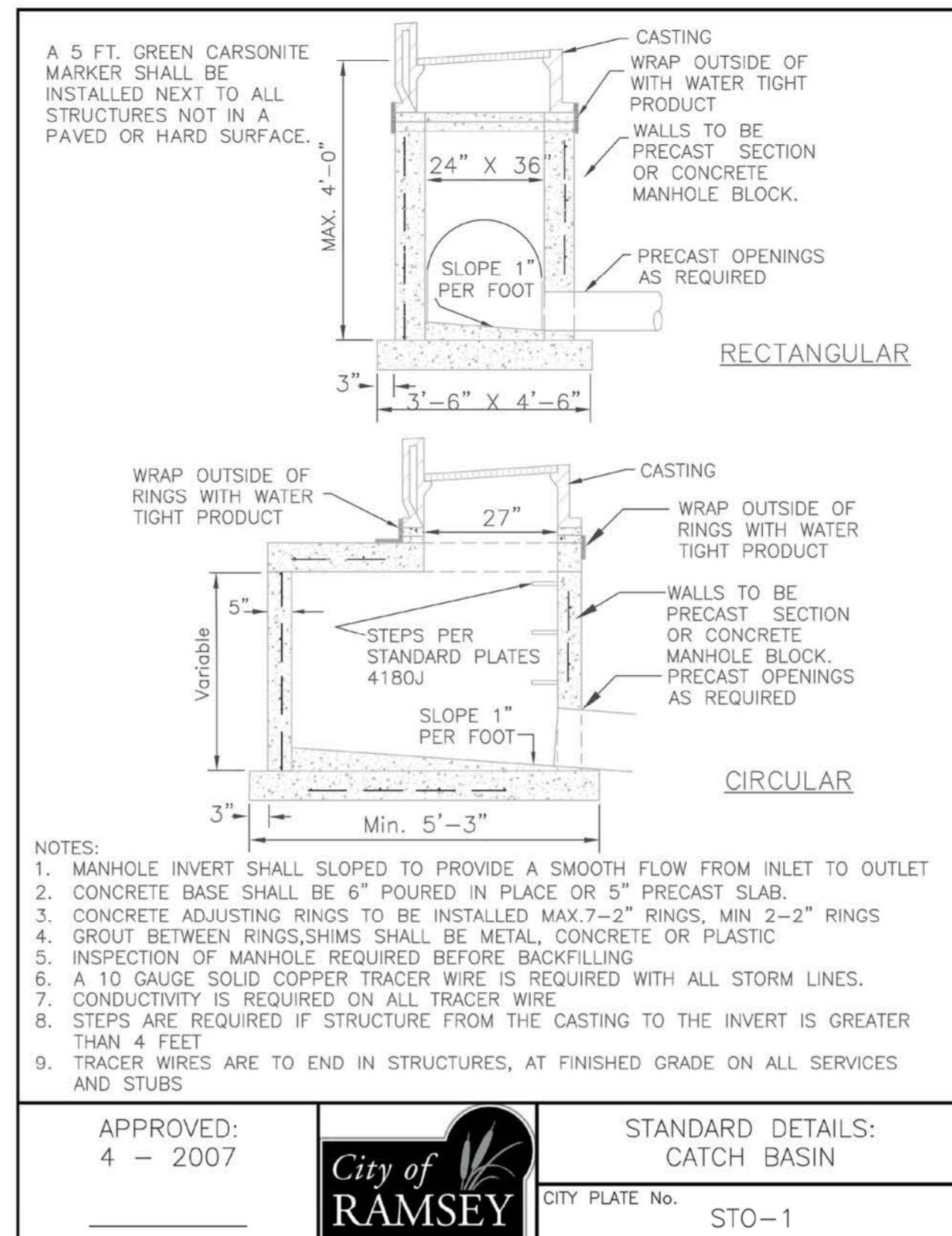
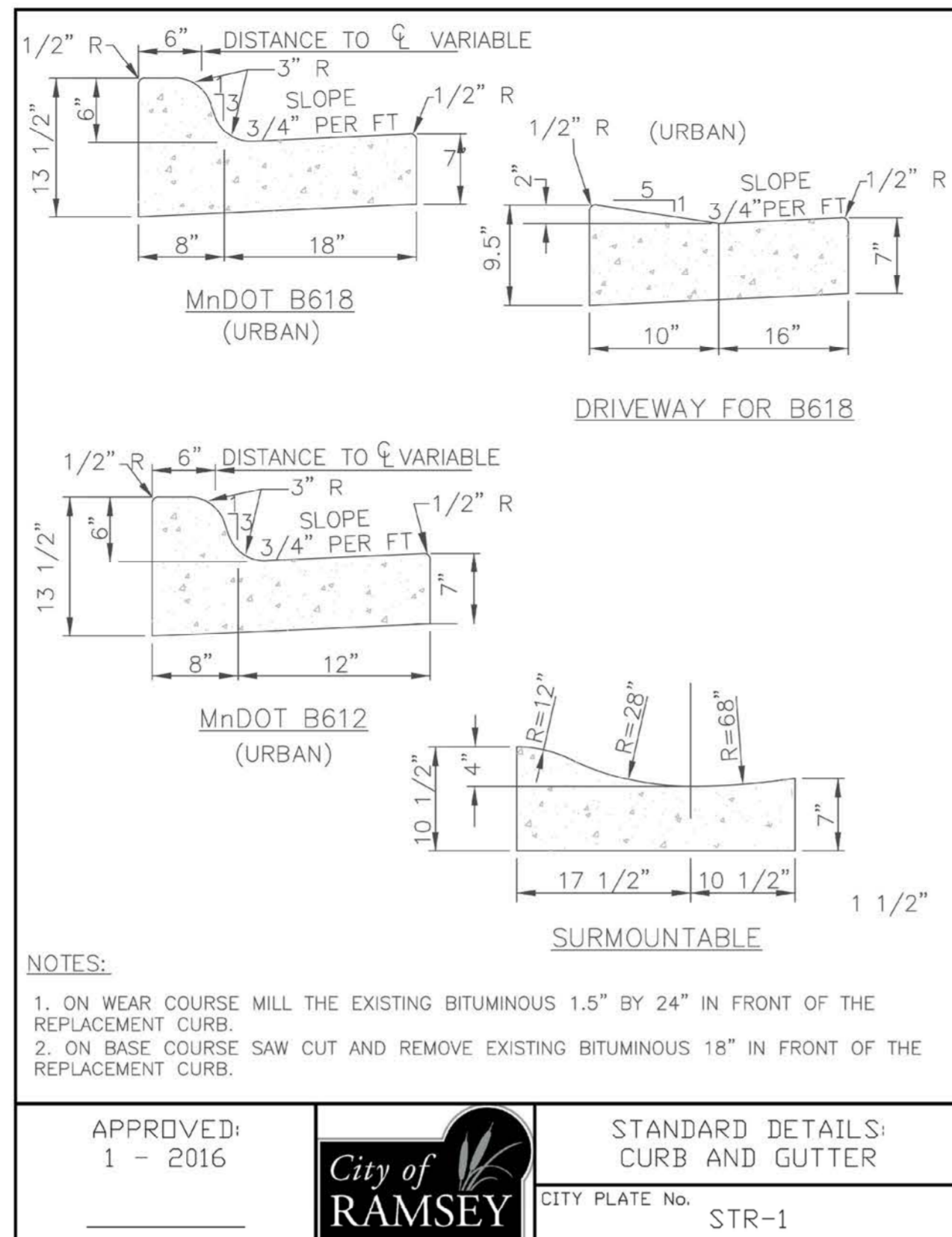
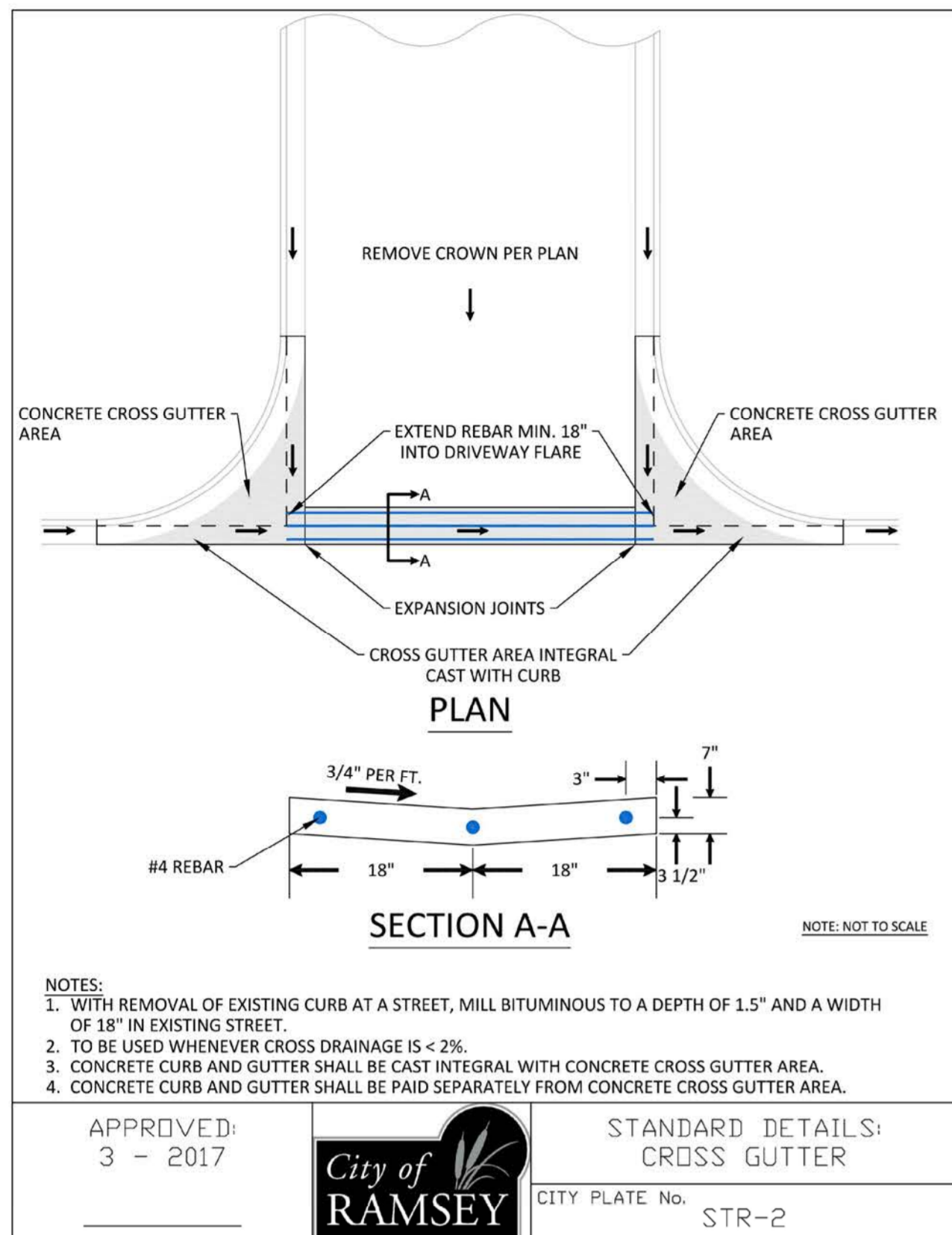
PROJECT NO. LDP19007

CIVIL CONSTRUCTION DETAILS
C7.1

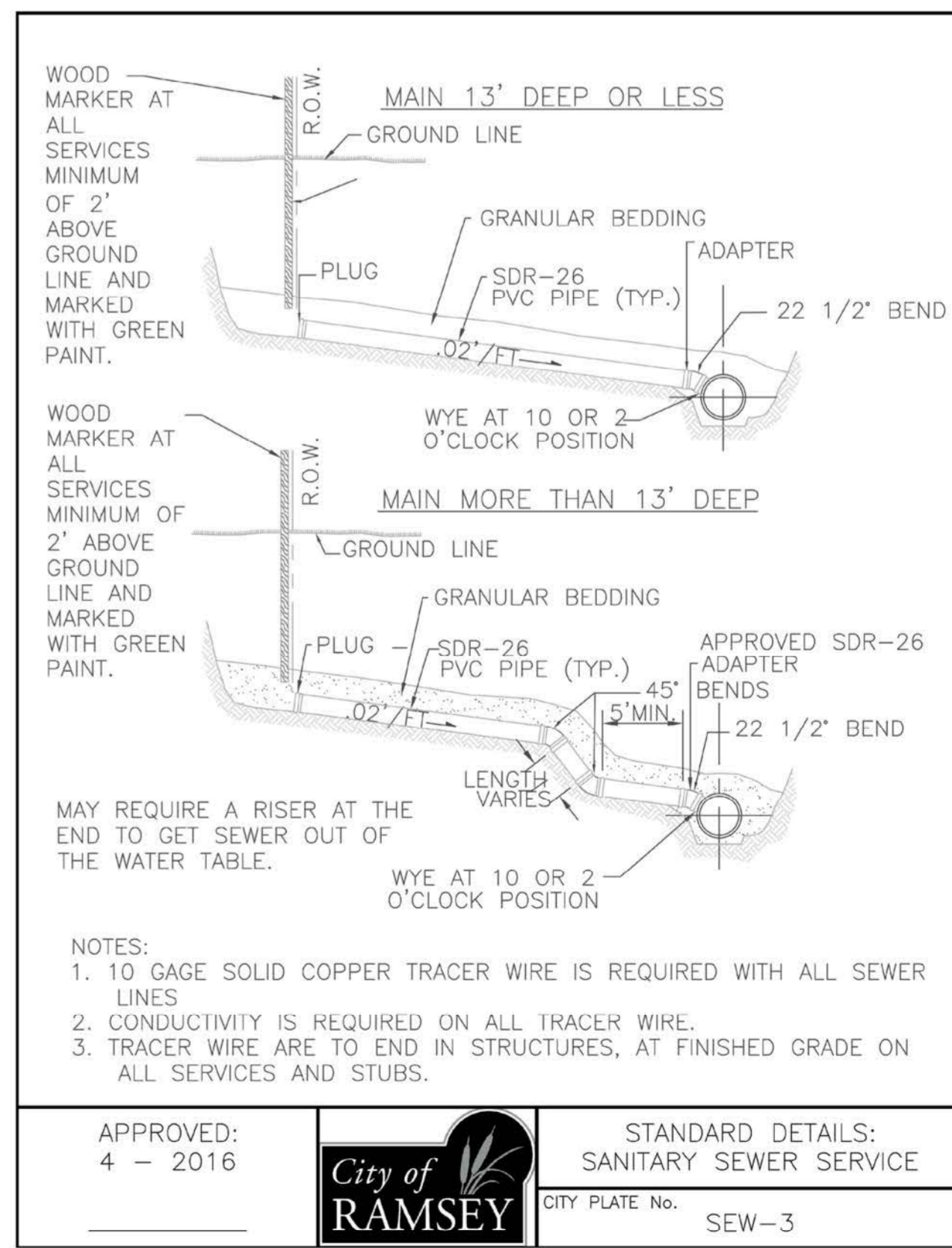
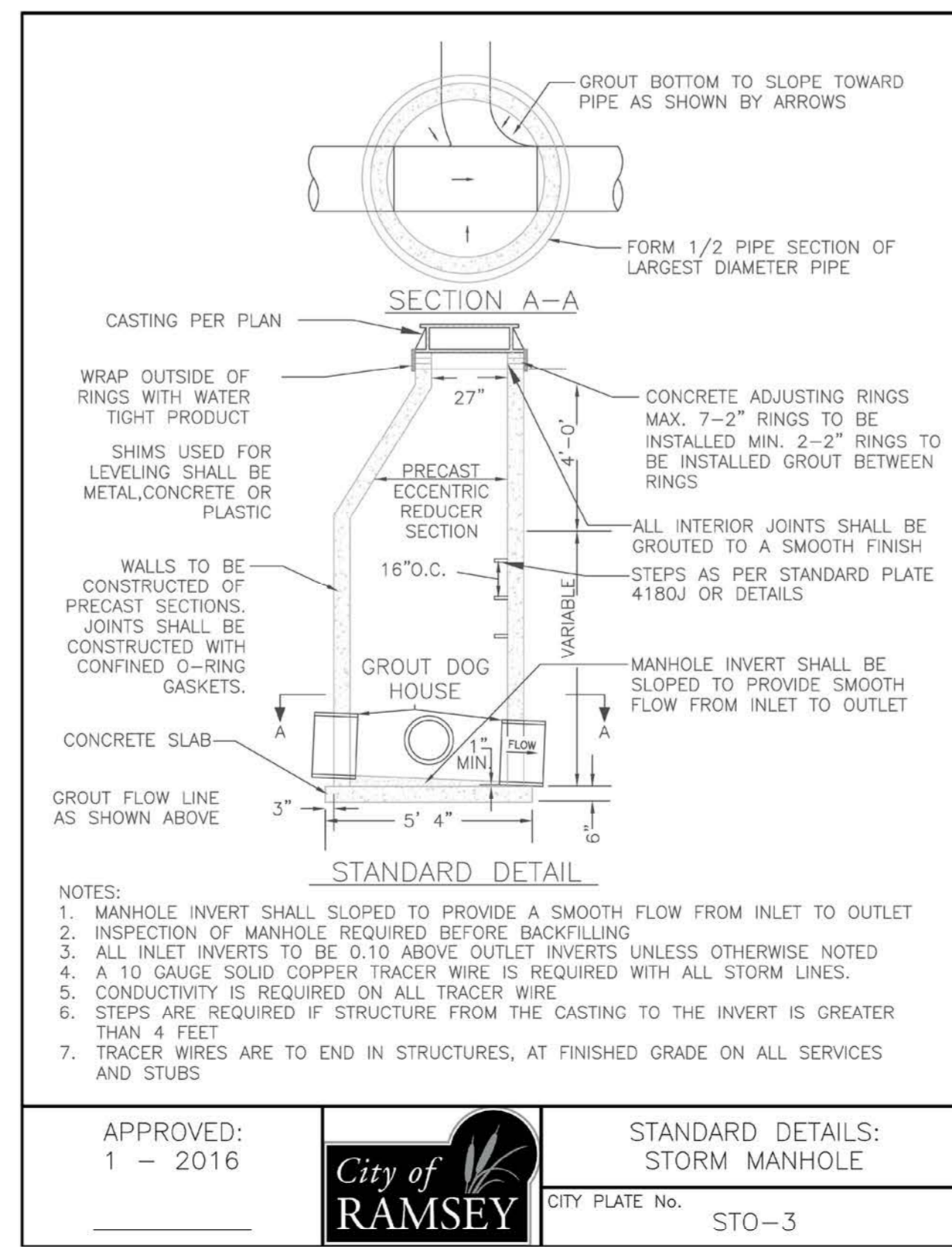
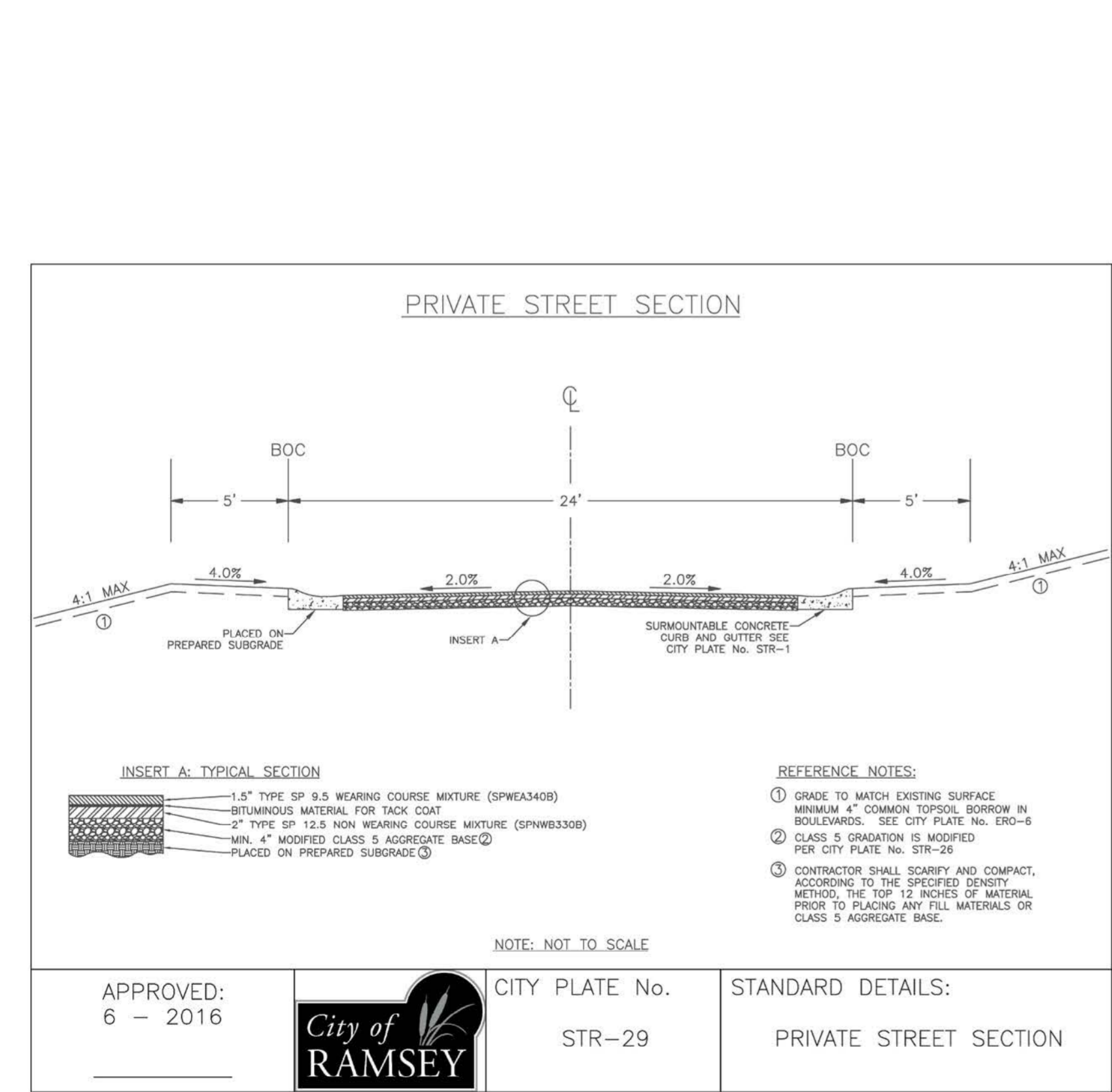


GARDEN VIEW VILLAS RAMSEY, MINNESOTA

DATE	ISSUE / REVISION	REVIEW
02 JAN 2019	Preliminary Plat	RCH



7 CROSS GUTTER NO SCALE 5 CURB AND GUTTER NO SCALE 3 CATCH BASIN NO SCALE 1 SANITARY MANHOLE NO SCALE



6 PRIVATE STREET SECTION NO SCALE 4 STORM MANHOLE NO SCALE 2 SANITARY SEWER SERVICE NO SCALE

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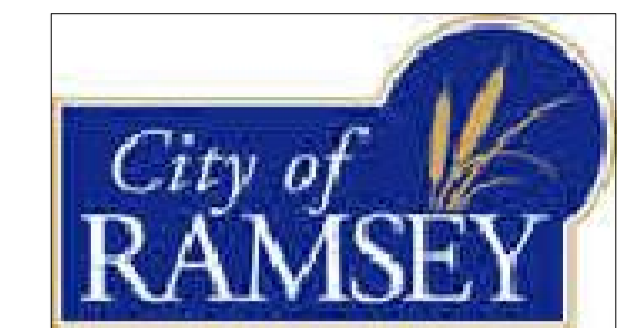
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FILE NAME C702LDP007.dwg

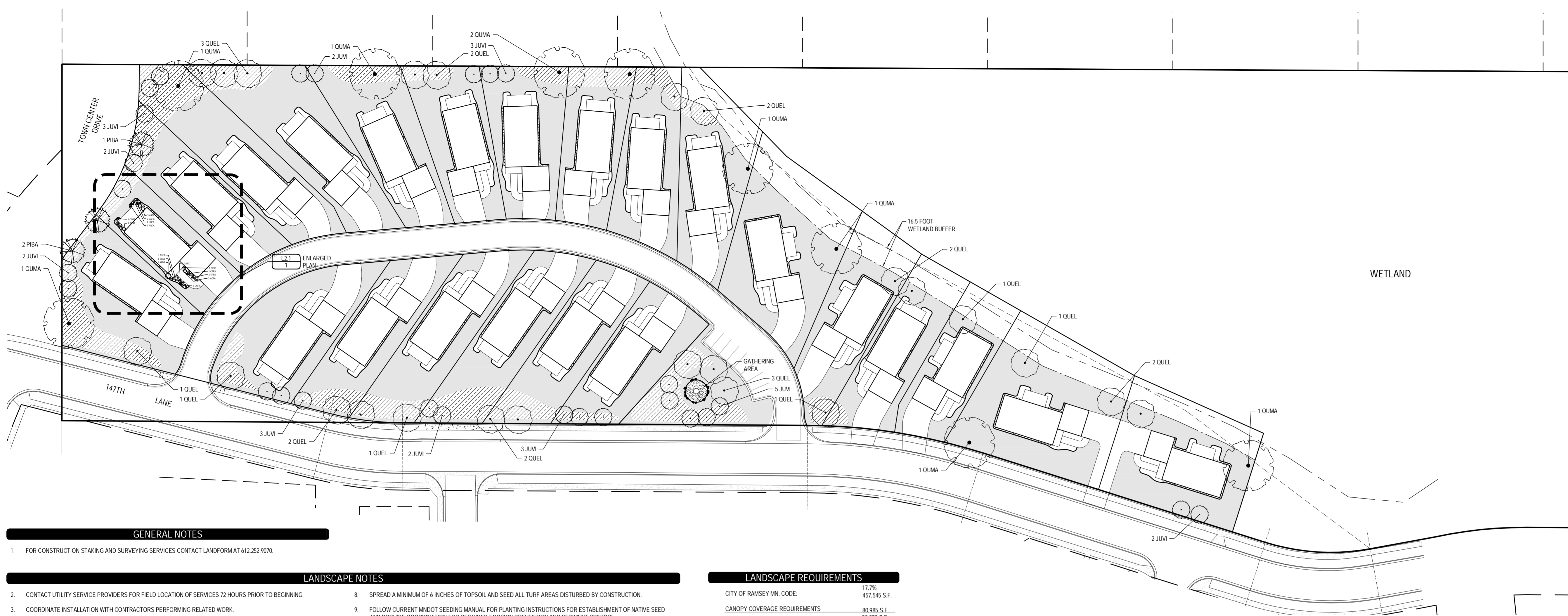
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PROJECT
GARDEN VIEW VILLAS
RAMSEY, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
02 JAN 2019	Preliminary Plat	RCM



GENERAL NOTES

- FOR CONSTRUCTION STAKING AND SURVEYING SERVICES CONTACT LANDFORM AT 612.252.9070.

LANDSCAPE NOTES

- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING.
- COORDINATE INSTALLATION WITH CONTRACTORS PERFORMING RELATED WORK.
- SEED MIXTURE (DEER RESISTANT SHORT PRAIRIE FOR DRY SOIL) AS DEFINED BY PAIRIE NURSERY NATIVE SEEDS AND PLANTS (1-800-478-9453) OR APPROVED EQUAL. PROVIDE VERIFYING DOCUMENTATION TO THE OWNER 30 DAYS MINIMUM PRIOR TO INSTALLATION.
- PLANT MATERIAL SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND BE OF HARDY STOCK, FREE FROM DISEASE, INFESTATION, DAMAGE, AND DISFIGURATION. FOR DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE SCHEDULE AND THE NUMBER SHOWN ON THE DRAWING, THE DRAWING SHALL GOVERN.
- ALL EXISTING DECIDUOUS/CONIFEROUS TREES ARE TO BE TRIMMED OF DEAD WOOD AND PRUNED TO A NATURAL UNIFORM SHAPE.
- PLANTING SOIL SHALL CONSIST OF 4 PARTS TOPSOIL TO 1 PART PEAT HUMUS, WITH 3 POUNDS OF COMMERCIAL FERTILIZER ADDED PER CUBIC YARD.
- SPREAD A MINIMUM OF 6 INCHES OF TOPSOIL AND SEED ALL TURF AREAS DISTURBED BY CONSTRUCTION.
- FOLLOW CURRENT MNDOT SEEDING MANUAL FOR PLANTING INSTRUCTIONS FOR ESTABLISHMENT OF NATIVE SEED AND PROVIDE COORDINATION FOR REQUIRED EROSION PREVENTION AND SEDIMENT CONTROL.
- QUANTITIES LISTED IN THE PLANT SCHEDULE FOR DECIDUOUS AND EVERGREEN TREES ARE TOTAL QUANTITIES FOR DESIGN.
- QUANTITIES LISTED IN THE PLANT SCHEDULE FOR SHRUBS, GRASSES AND PERENNIALS ARE FOR ONE (1) TYPICAL UNIT FOUNDATION PLANTING.
- PLACE PLANTS ACCORDING TO LAYOUT WITH PROPER NOMINAL SPACING. IF THERE IS A DISCREPANCY OF THE NUMBER OF PLANTS SHOWN IN THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE PLAN SHALL GOVERN.
- INSTALL A 4 FOOT DIAMETER SHREDDED HARDWOOD MULCH DISH AROUND TREES NOT PLACED WITHIN A SHRUB OR PERENNIAL PLANTING BED. VINYL EDGING IS NOT REQUIRED, UNLESS NOTED OTHERWISE.

LANDSCAPE REQUIREMENTS

CITY OF RAMSEY MN. CODE: 17.7%
457,545 S.F.

CANOPY COVERAGE REQUIREMENTS: 80.98% S.F.
82,253 S.F.

TOTAL SITE AREA: 457,545 S.F.
RATIO OF IMPERVIOUS TO SITE AREA: 17.7%
PERVIOUS AREA: 375,292 S.F.

REQUIRED CANOPY COVERAGE (0.177 x 457,545): 80,985 S.F.
PROVIDED CANOPY COVERAGE: 82,253 S.F.

NOTE:
FOR PURPOSES OF THE ABOVE CALCULATIONS, MULTIPLY SHRUBS FROM PLANT SCHEDULE BY (20) TO GET TOTALS. ALL TREES FROM PLANT SCHEDULE ARE AS SHOWN IN SCHEDULE.

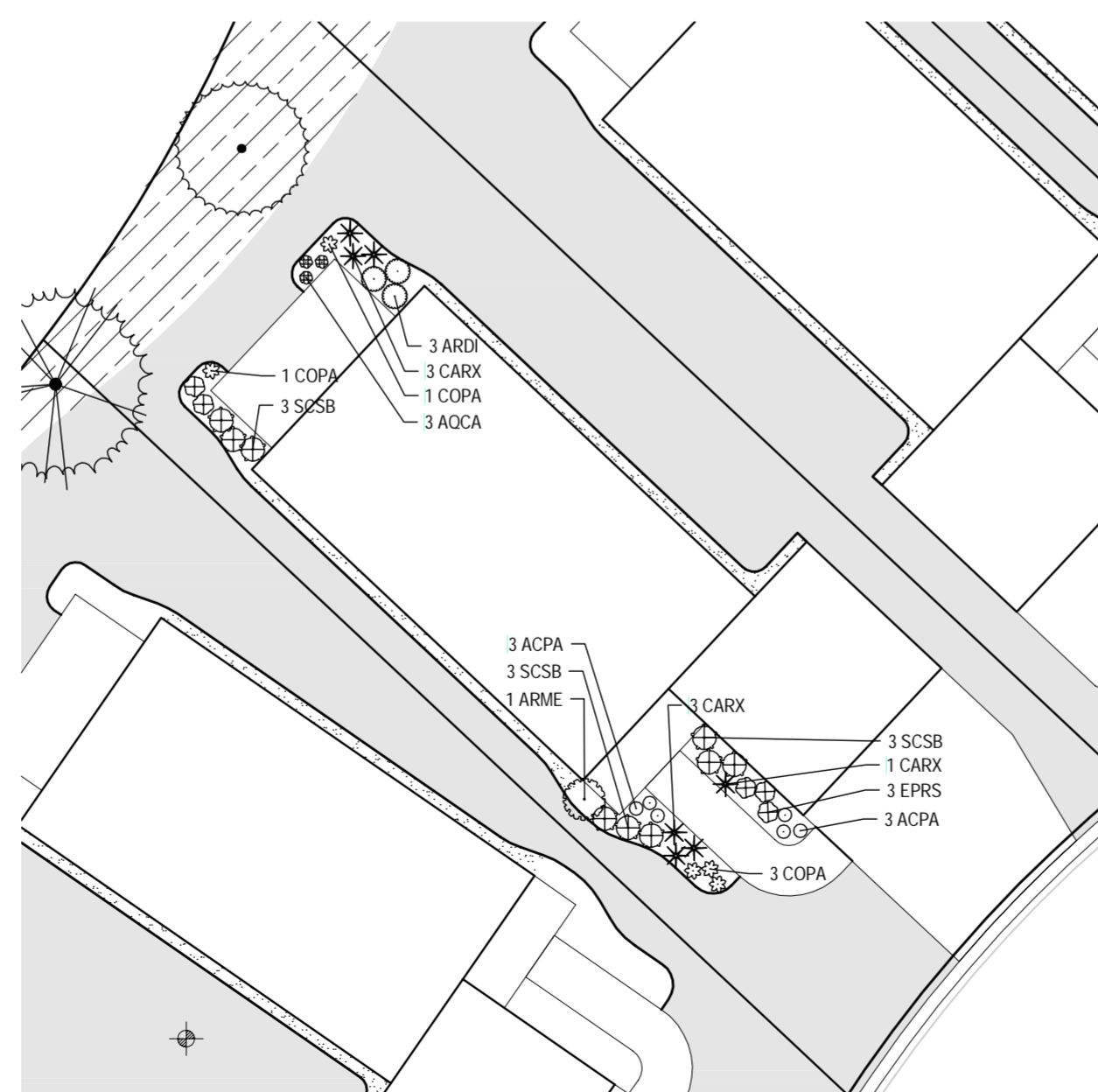
TREE PRESERVATION LIST

- SEE SHEET C1.1 FOR LOCATIONS OF EXISTING TREES.

Tree #	Species	DBH	Condition	Stems	Lost	Tree #	Species	DBH	Condition	Stems	Lost	Tree #	Species	DBH	Condition	Stems	Lost
1	Cottonwood	20.0	Fair	1		34	Redcedar	9.5	Good	1	X	68	Elm, Siberian	8.5	Good	1	X
2	Maple, amur	18.0	Good	6		35	Redcedar	6.5	Good	1	X	69	Boxelder	9.0	Good	1	X
3	Maple, amur	25.0	Good	5		36	Redcedar	10.0	Good	1	X	70	Elm, Siberian	12.0	Good	1	X
4	Boxelder	13.0	Fair	2		37	Redcedar	9.0	Good	1	X	71	Boxelder	29.0	Fair	5	X
5	Olive, Russian	18.0	Good	1		38	Hackberry	8.0	Good	1	X	72	Boxelder	15.0	Fair	2	X
6	Cottonwood	8.0	Good	1		39	Redcedar	7.5	Good	1	X	73	Boxelder	8.0	Good	1	X
7	Willow	25.0	Good	1		40	Hackberry	9.0	Good	1	X	74	Redcedar	7.5	Good	1	X
8	Cottonwood	9.0	Good	1		41	Redcedar	8.5	Good	1	X	75	Boxelder	21.5	Poor	3	X
9	Ash, green	8.0	Fair	2		42	Redcedar	5.5	Fair	1	X	76	Redcedar	9.5	Good	1	X
10	Cottonwood	9.0	Good	1		43	Boxelder	19.5	Fair	3	X	77	Boxelder	12.0	Good	1	X
11	Cottonwood	14.0	Good	1		45	Redcedar	5.0	Fair	1	X	78	Elm, Siberian	8.5	Good	1	X
12	Cottonwood	14.0	Good	1		46	Redcedar	5.0	Good	1	X	79	Boxelder	8.0	Good	1	X
13	Elm, American	20.0	Good	1		47	Redcedar	7.5	Good	1	X	80	Boxelder	21.0	Fair	4	X
14	Redcedar	4.5	Good	1		48	Redcedar	7.5	Good	1	X	81	Elm, Siberian	14.0	Good	1	X
15	Boxelder	28.0	Fair	3		49	Redcedar	4.5	Good	1	X	82	Elm, Siberian	12.0	Good	1	X
16	Boxelder	32.0	Fair	4		50	Redcedar	7.0	Good	1	X	83	Boxelder	16.0	Fair	1	X
17	Cottonwood	9.0	Good	1		51	Redcedar	8.0	Good	1	X	84	Aspen	8.0	Good	1	X
18	Boxelder	11.5	Good	1		52	Redcedar	8.5	Good	1	X	85	Boxelder	15.0	Fair	1	X
19	Boxelder	10.0	Good	1		53	Cottonwood	69.0	Good	1	X	86	Boxelder	10.0	Good	1	X
20	Redcedar	8.0	Good	1	X	54	Redcedar	4.0	Good	1	X	87	Willow	10.0	Very Poor	1	X
21	Redcedar	9.0	Good	1	X	55	Redcedar	6.5	Fair	1	X	88	Boxelder	11.5	Good	1	X
22	Redcedar	6.0	Fair	1	X	56	Redcedar	5.5	Good	1	X	89	Boxelder	10.0	Good	1	X
23	Redcedar	6.5	Fair	1	X	57	Ash, green	9.0	Good	1	X	90	Boxelder	20.0	Good	3	X
24	Cottonwood	78.0	Very Poor	2	X	58	Boxelder	11.0	Fair	2	X	91	Boxelder	9.0	Good	1	X
25	Boxelder	22.0	Fair	2	X	59	Redcedar	8.0	Good	1	X	92	Elm, Siberian	14.0	Good	1	X
26	Boxelder	11.0	Fair	1	X	60	Redcedar	5.0	Good	1	X	93	Boxelder	25.0	Good	2	X
27	Cottonwood	62.0	Fair	1	X	61	Redcedar	6.0	Good	1	X	94	Boxelder	8.0	Good	1	X
28	Redcedar	5.0	Very Poor	1	X	62	Elm, Siberian	9.0	Poor	1	X	95	Boxelder	10.0	Good	1	X
29	Redcedar	5.0	Good	1	X	63	Boxelder	16.0	Good	2	X	96	Boxelder	9.0	Good	1	X
30	Redcedar	6.0	Fair	1	X	64	Boxelder	11.0	Good	1	X	97	Boxelder	38.0	Good	4	X
31	Redcedar	8.0	Fair	1	X	65	Elm, Siberian	19.0	Fair	2	X	98	Boxelder	18.0	Good	1	X
32	Redcedar	5.0	Good	1	X	66	Elm, Siberian	9.0	Good	1	X	99	Elm, Siberian	12.0	Good	1	X
33	Redcedar	7.5	Good	1	X	67	Elm, Siberian	14.0	Good	1	X						

PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	MATURE SIZE	PLANTING SIZE	ROOT COND.
QUEL	24	3	QUERCUS ELLIPSOIDALIS / NORTHERN PIN OAK	60 H X 50 W	2.5" CAL	B & B
QUMA	9	1	QUERCUS MACROCARPA / BURR OAK	70 H X 70 W	2.5" CAL	B & B
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	MATURE SIZE	PLANTING SIZE	ROOT COND.
JUVI	27	1	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR	45 H X 20 W	6 HT.	B & B
PIBA	3	1	PINUS BANKSIANA / JACK PINE	50 H X 30 W	6 HT.	B & B
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	MATURE SIZE	PLANTING SIZE	ROOT COND.
ARME	1	1	ARONIA MELANOCARPA / CHOKEBERRY	6 H X 6 W	2 GAL.	POT
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	MATURE SIZE	PLANTING SIZE	ROOT COND.
CARX	7	1	CAREX SPRENGELII / SPRENGEL'S SEDGE	3 H X 3 W	1 GAL.	POT
SCSB	9	1	SCHIZACHYRIUM SCOPARIUM / BLUE HEAVEN / BLUE HEAVEN LITTLE BLUESTEM	2 H X 3 W	1 GAL.	POT
PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	MATURE SIZE	PLANTING SIZE	ROOT COND.
ACPA	6	1	ACHILLEA MILLEFOLIUM / PAPER DAZY / RED YARROW	2 H X 2 W	1 GAL.	POT
AOCA	3	1	AQUILEGIA CANADENSIS / CANADIAN COLUMBINE	3 H X 1.5 W	1 GAL.	POT
ARDI	3	1	ARUNCUS DIOMICUS / GOAT'S BEARD	5 H X 3 W	1 GAL.	POT
COPA	5	1	COREOPSIS PALMATA / STIFF TICKSEED	3 H X 3 W	1 GAL.	POT
EPRS	5	1	ECHINACEA PURPUREA / RUBY STAR / PURPLE CONEFLOWER	3 H X 3 W	1 GAL.	POT



TYPICAL UNIT FOUNDATION PLANTING

1" = 20'

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Landscape Architect under the laws of the state of MINNESOTA.

PRELIMINARY NOT FOR CONSTRUCTION

IF THE SIGNATURE SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED REPRODUCIBILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

PRELIMINARY PLAT
12.02.2019



105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401

Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

FILE NAME: L101LDP007.dwg

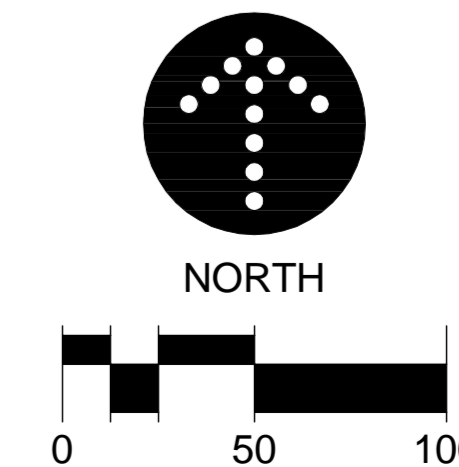
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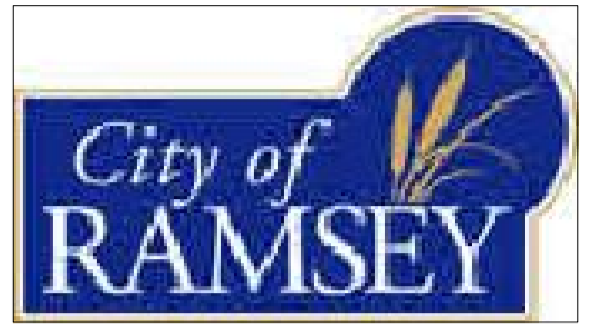
LANDSCAPE PLAN

L1.1

SHEET NO. 10/11

Landform and Site to Finish are registered service marks of Landform Professional Services, LLC.





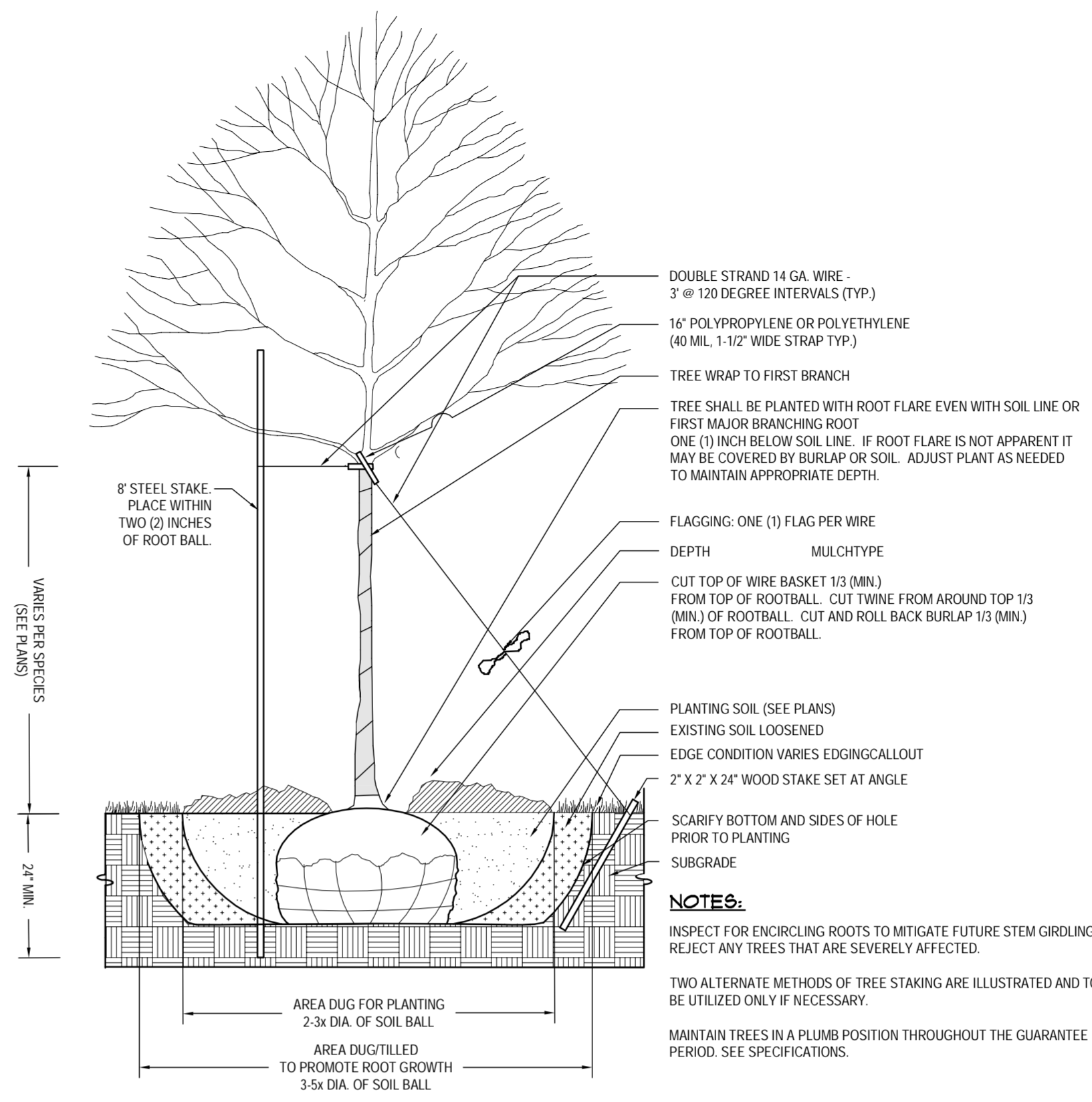
DATE	ISSUE / REVISION	REVIEW
02 JAN 2019	Preliminary Plat	RCM

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Landscape Architect under the laws of the state of MINNESOTA.

Joshua K. Poretsky
Landscape Architect
No. 19077
Signature shown is a reproduction of the original copy of this plan on file at the State of Minnesota and is available upon request.

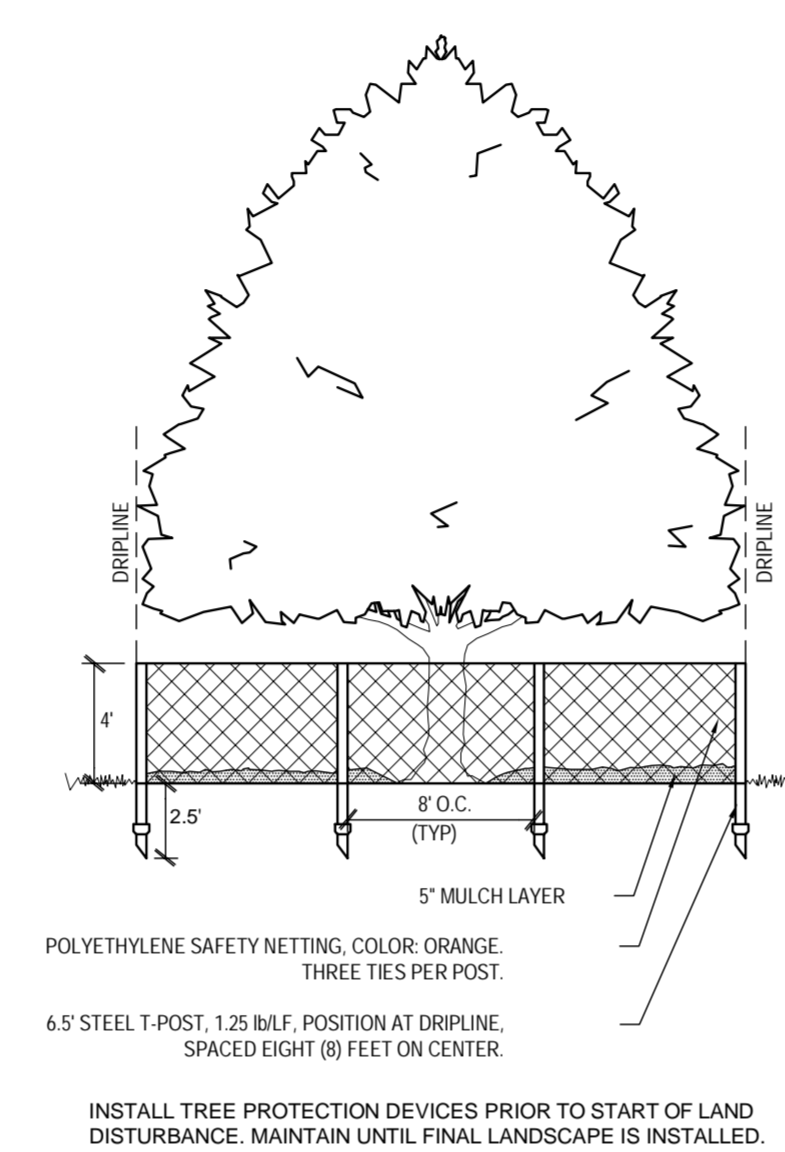
PRELIMINARY NOT FOR CONSTRUCTION

IF THE SIGNATURE SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.



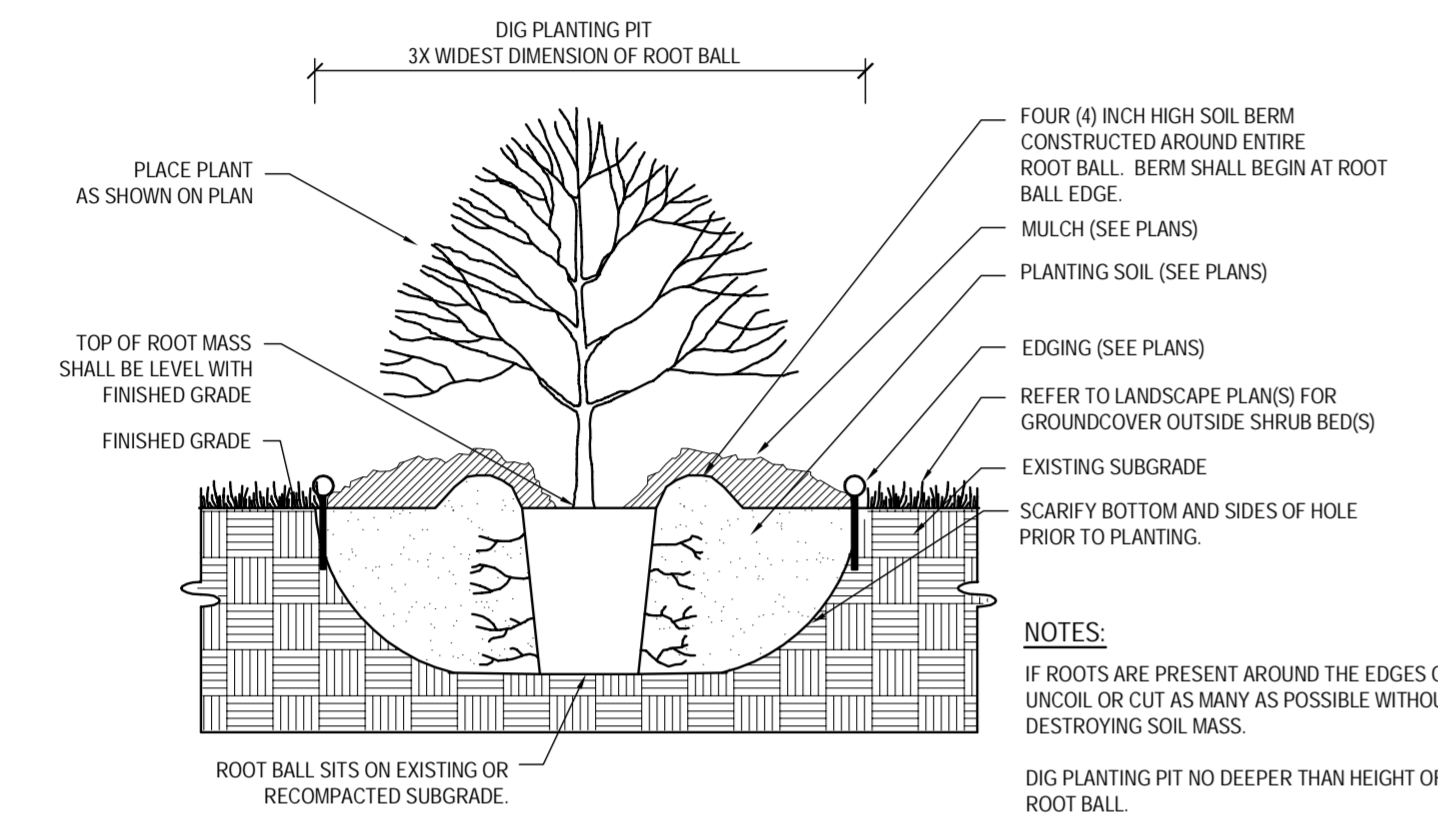
1 DECIDUOUS TREE PLANTING

NO SCALE



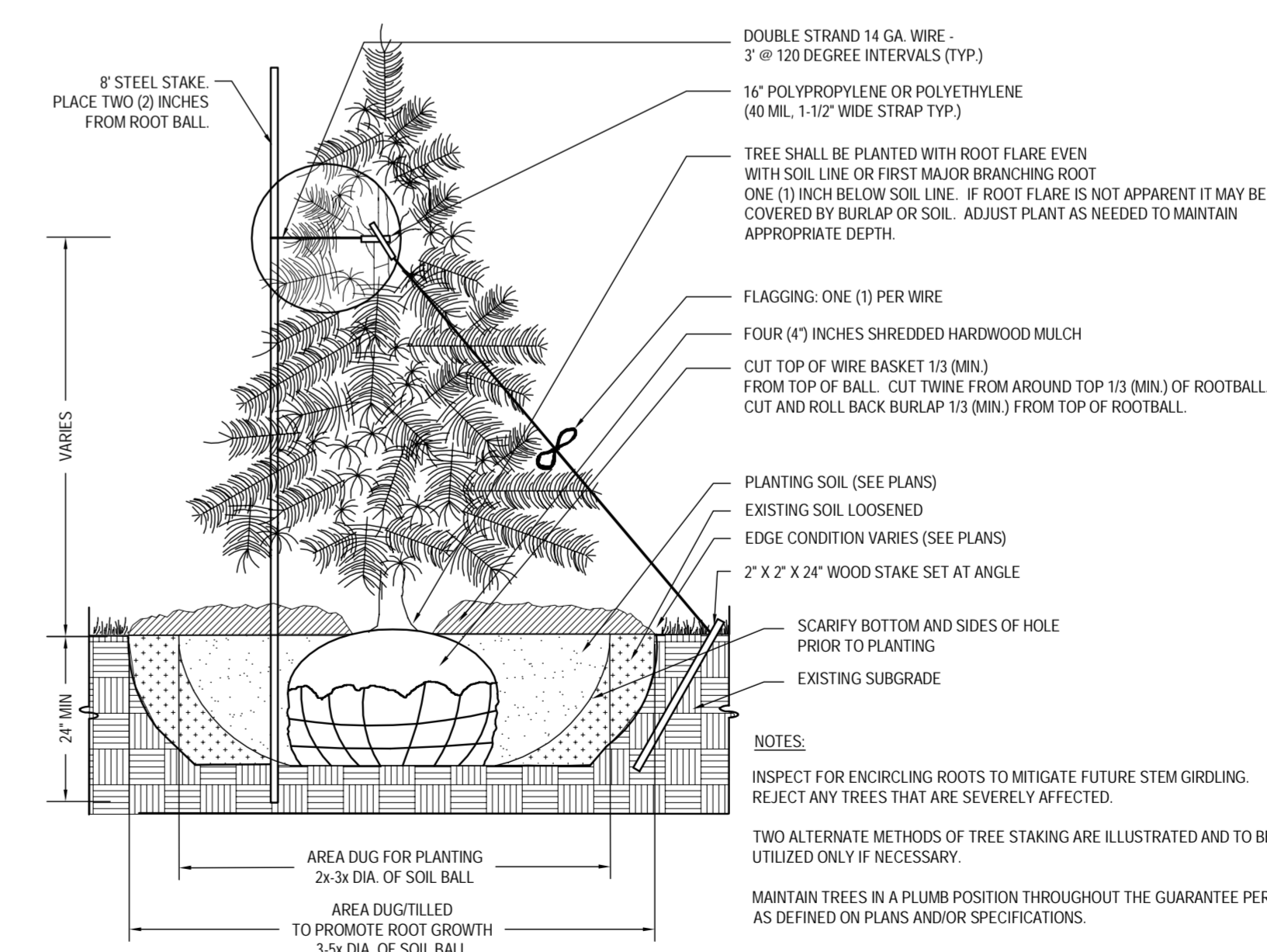
3 TREE PROTECTION

NO SCALE



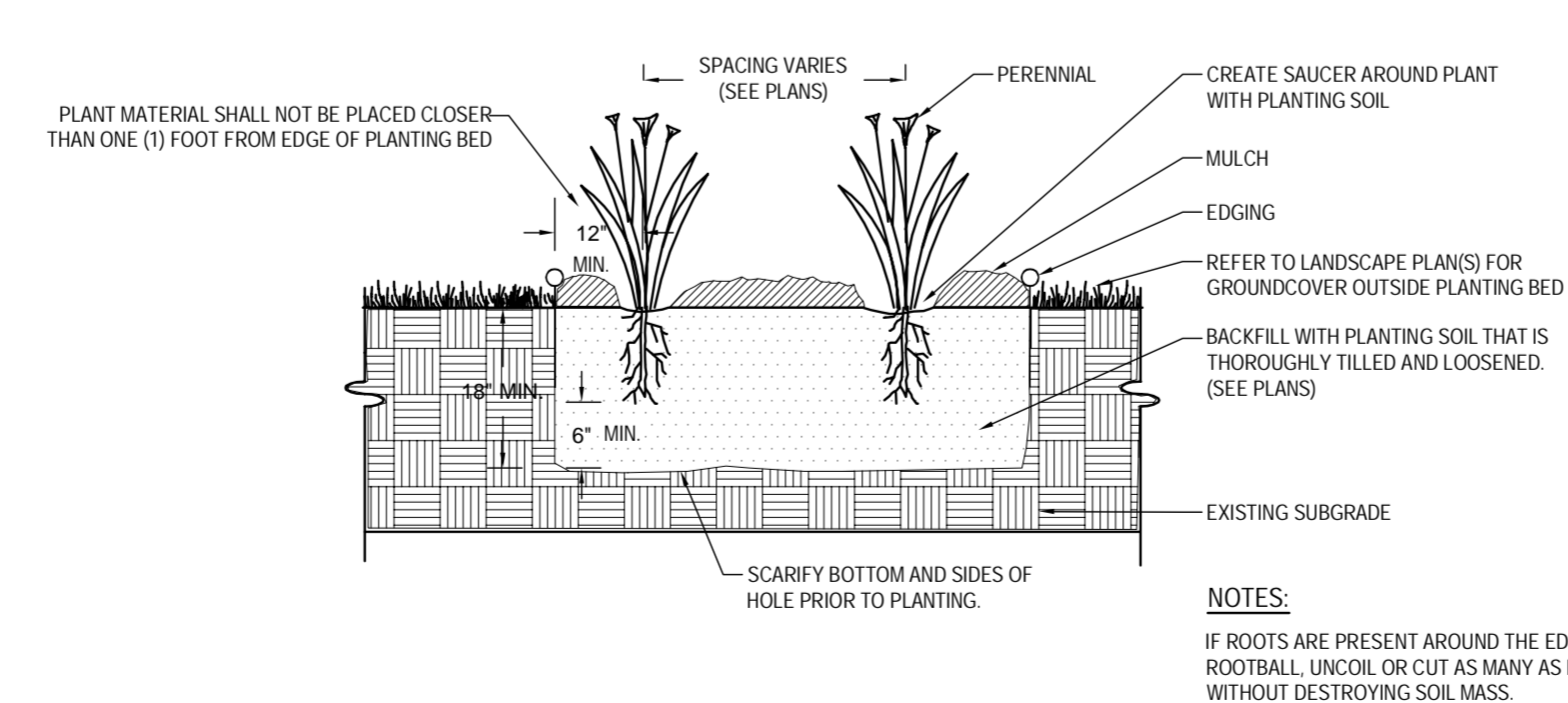
5 SHRUB PLANTING

NO SCALE



2 CONIFEROUS TREE PLANTING

NO SCALE



4 PERENNIAL PLANTING

NO SCALE

5

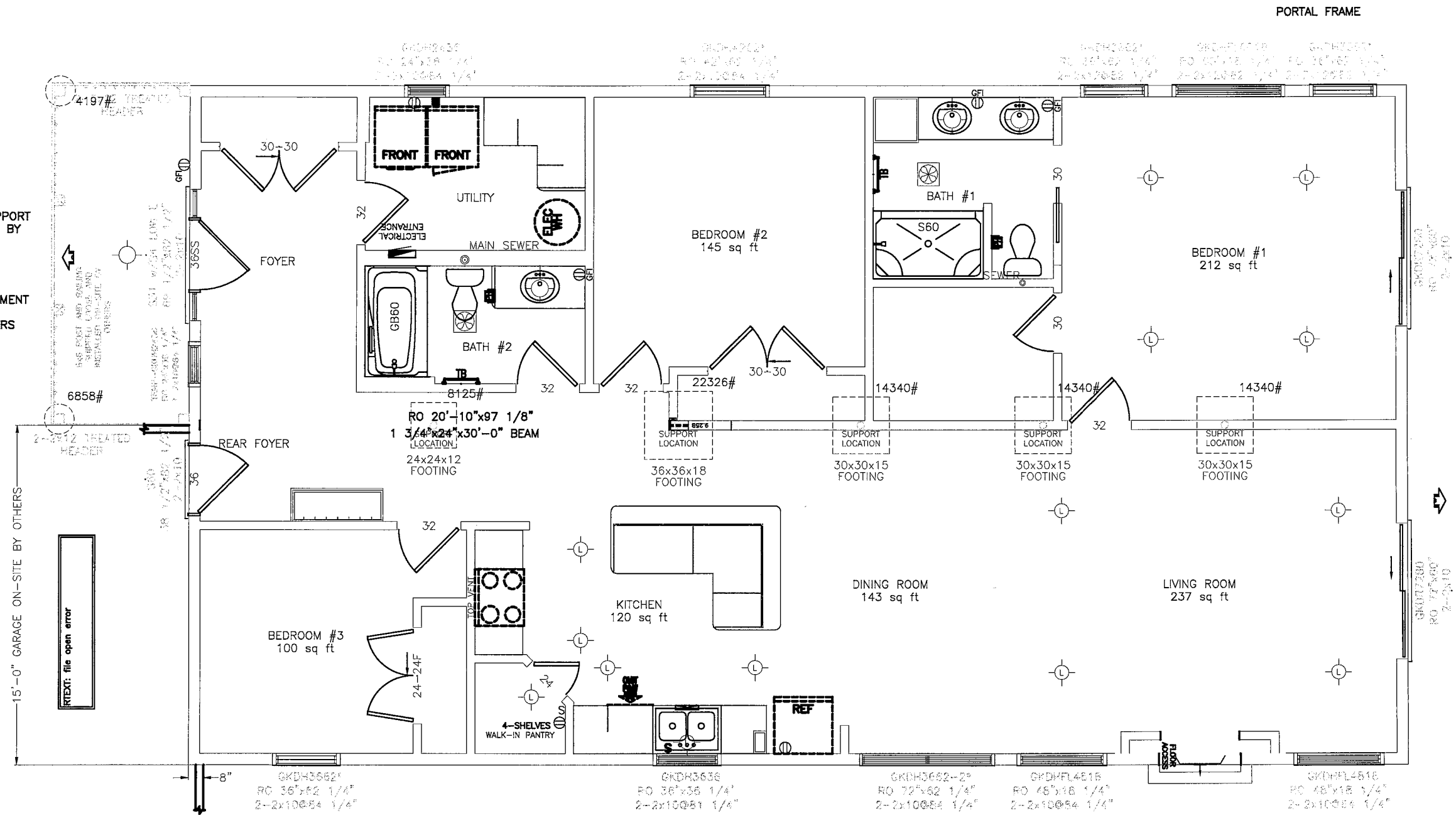
3

1

4

2





1st Floor
 1620 sq ft
 Perimeter 168'-0" ft

**PRELIMINARY PRINT:
 NOT FOR CONSTRUCTION
 WISCONSIN HOMES, INC.**

Ideas for porch revisions:

- swap window and /or porch rails for other details: lighting, columns, or wider door/window frame
- Minimize # of columns from 4 to 2 - make the two wider with articulation
- Pull columns in from edge of porch
- Wider steps
- Wider trim
- Rock / stone only an option for base of porch



FYI unclear from CAD what this condition is in the front elevation (applies to all concepts)

- wider door/window frame



- wider door/window frame
- wider steps up to porch
- wider trim details
- add trim detail between bottom of vinyl and top of concrete slab?



- with porch rails, make opening in railing wider
- no regular windows, add lights instead



- no side windows on door, two regular windows
- stone on base on porch

**CITY OF RAMSEY LAND USE APPLICATION
TECHNICAL REVIEW FILE**

Date	9/17/2019 Updated 12/18/2019	Project Site	PID: 28-32-25-12-0067
Project Title	DC Ramsey Townhome Development		
Escrow #	19-136		
Department:	Community Development: Planning Division		
Technical Reviewer:	Name: Chloe McGuire Phone: 763-433-9821 Email: cmcguire@cityoframsey.com		

Required Steps

1. ~~Sketch Plan – Planning Commission~~
2. Site Plan – Planning Commission + City Council
3. Final Plat – City Council

Site Plan Review

Notes:

- Maximum driveway width at street is 20 feet
- Staff would like to discuss higher architectural standards
- Areas platted as ROW need to be indicated as such on preliminary plat sheet
- Note to staff if Outlot A is going to be private road (assumed)
- Landscape plan needs to be significantly changed to meet density transitioning requirements

General: The property is currently platted as Outlot E Town Center Gardens 3rd Addition, and is PID 25-32-25-12-0067. The site does not have an assigned address at this time, but is north of 147th Ln and East of Center Street. The site is approximately 12.07 acres. The Applicant has proposed 17 lots. (The previous sketch plan was for 23 lots.)

Zoning: The site is currently zoned as R-2 Medium Density Residential. The properties to the west and south are zoned COR (townhomes) and to the north are zoned PUD with underlying zoning of R-1 Detached Single Family Homes (well and septic, large lot homes). The property to the east and southeast are zoned R-2 Medium Density Residential.

Intent: The intent of the R-2 Medium Density Residential District is to accommodate attached townhomes, small multifamily buildings, and detached villas with an overall density of 4 – 7 units per acre.

R-2 Detached Villa Standards		
<i>Standard</i>	<i>Required</i>	<i>Proposed</i>
Minimum Lot Size	.15 Acres	.15 Acre or larger Smallest lot = lot 2
Density Range	4 – 7 Units/Acre	~4.1 units/acre excludes wetlands
Minimum Lot Width	50 feet	50 feet
<i>Building Setbacks</i>		
Front, Side Corner	25 Feet	25 feet
Rear	20 Feet	20 feet
Side	5 Feet	5 feet
From Development Boundary	25 Feet	25 feet
Maximum Lot Coverage (All Buildings, Excludes Paving)	35%	18% total over site
Minimum Building Size for Townhouse with Garage	1 Bedroom – 700 sq ft 2 Bedroom – 800 sq ft 3 Bedroom – 960 sq ft Each additional bedroom – 125 sq ft	
Required Parking Stalls	2 enclosed (townhome)	2 enclosed per unit 8 visitor stalls
Maximum Driveway Width at Street	20 feet	25 feet
Side Yard Setback for Driveway	5 feet	5+ feet
Driveway Surface	Bituminous or Concrete	Bituminous
Minimum Driveway Length	25 feet	25 feet
Wetland Setback	16.5 feet	16.5 feet
Minimum Private Street Width (With No Parking)	24 feet	26 feet

Wetlands: The property contains significant wetlands on the eastern portion of the site. A wetland delineation has been provided and needs to be reviewed by Staff. The City requires at 16.5 buffer that cannot be altered or impacted from the wetland to protect the wetlands.

Streets and Access: The property will contain a portion of public road Center Street running north-south through the site on the western boundary of the site, the applicant has proposed a private road running east west through the site, likely to be named 147th Place NW. This road is proposed at approximately 23 feet in width.

Lots: The City Code requires that corner lots are at least ten feet wider than interior lots (per H-3 in Article III).

Parking: The Applicant has proposed visitor parking near Outlot A, which is an amenity space (such as a park or green space) for the resident. There are 8 visitor parking spaces. The City will require no parking signs on the private road.

Lighting: The applicant should submit a lighting plan as part of site plan review with preliminary plat for any street lighting.

Utilities and Municipal Services: The property will be connected to City Utilities.

Density Transitioning: Under the City Code, density transitioning is typically required for R-2 to R-1 Rural Residential (single family detached homes with well and septic). This would include 45 feet of buffer in a typical situation. However, the City Code also provides flexibility to the density transitioning requirements; because the homes to the north are part of a live-work PUD that allows for commercial uses in the rear yards, and each home to the north also has significant wetlands (unbuildable) on the south portion of the lots, Staff is supportive of flexible density transitioning requirements. The applicant has proposed 20 feet, the required rear yard setback, on the northern property line abutting the PUD. 30 feet seems to be a reasonable compromise, but staff would be open to the 20 foot setback requirement if the applicant would be open to higher architectural standards, including but not limited to:

- Public street facing improvements for homes on south portion of lot (abutting 147th Ln) including front porch, door, and typical “front of home” look
- Required porches of at least 48 square feet on the front of homes
- Inclusion of stone or other high quality materials

City Staff would like feedback from the Planning Commission on this requirement.

Landscaping: Landscaping of the overall site, in addition to density transitioning landscaping, is required and is based on a Canopy Cover Formula (determine the ratio of impervious area to entire site area, then multiply that ratio by the square footage of the pervious area to determine the canopy cover square footage required). A combination of trees and shrubs shall be utilized to satisfy the planting requirements. Their associated canopy square footages can be found at <http://www.ci.ramsey.mn.us/DocumentCenter/View/258/Ramsey-Tree-Book-PDF>.

All disturbed areas not otherwise improved with impervious surfacing shall be finished with four (4) inches of topsoil with not more than thirty-five percent (35%) sand content. Permanent ground cover (turf, flower beds, etc.) is also required.

Sheet Notes

Street Plan	Included – C Sheets
Utility Plan	Included – C401LDP007
Landscape Plan	Included L701LDP007 L101LDP007
Grading Plan	C301LDP007
Pre Plat Sheet	C201LDP007

**CITY OF RAMSEY LAND USE APPLICATION
TECHNICAL REVIEW FILE**

DATE	DECEMBER 11, 2019	PROJECT ADDRESS	TBD
PROJECT. TITLE	DC TOWNHOMES (GARDEN VIEW VILLAS)		
ESCROW #	117177		
DEPARTMENT:	Planning Division (Landscape Plan & Environmental Resources)		
TECHNICAL REVIEWER:	Name: Chris Anderson Phone: 763-433-9817 Email: canderson@cityoframsey.com		

We offer the following comments regarding the civil engineering plans, prepared by Landform and dated December 2, 2019:

Sheet L1

- Based on the Canopy Cover Formula, 80,986 square feet of canopy cover is required. The proposed landscaping equates to 75,230 square feet of canopy cover. Additional plantings must be incorporated to comply with the minimum planting requirements.
- Greater diversity of species should be incorporated into the Plant Schedule. At least one other genus (preferably two or more) shall be incorporated to protect against threats such as Oak Wilt.
- There is an existing boulevard along 147th Lane that is sufficiently wide enough to accommodate shade trees. There are one or two existing trees along this stretch of boulevard and from an aesthetic perspective, adding some boulevard plantings would enhance the ‘curb appeal’ of this project.
- Under Landscape Requirements, adjust text so that the quantities are properly aligned and add note to specify that separate plantings are required for Density Transitioning.
- Density Transitioning is required along the northern boundary of the project, spanning from the western boundary to the wetland. The Planning Commission was supportive of a reduced buffer width, but plantings, separate from the base landscaping requirements determined by the Canopy Cover Formula, are required. Plantings shall consist of eight (8) overstory trees, eight (8) evergreen trees, and eight (8) understory trees per 100 feet of common boundary line (approximately 550 feet in length).
- Revise Plant Schedule to specify that shrub size at installation shall be at least 24 inches in height.
- Sod is required within all boulevard areas (at least the first ten [10] feet back from street).
- Four (4) inches of topsoil, with no more than 35% sand content, is required across all disturbed areas not otherwise improved with impervious surfacing.
- Specify if an in-ground irrigation system will be installed. If so, a permit is required and the system must be equipped with both a rain sensor and some form of water efficient technology, such as a smart controller, soil moisture sensor, etc.
- At least forty percent (40%) of existing, significant tree inches must be preserved onsite. If removals exceed this threshold, reforestation at a rate of 1.25 inches for every 1 inch removed over the threshold, or \$125 per 1 inch removed over the threshold, or some combination thereof, shall be provided.
- Tree Preservation data must be updated. Please add tallies for:
 - Total Significant Tree inches on site;
 - Proposed Significant Tree inches to be preserved;

Review File:

DC Townhomes (Garden View Villas): Landscaping and Tree Preservation

Page 2 of 2

- Proposed Significant Tree inches to be removed;
- Invasive Species total inches (this can be excluded from removal threshold calculation);
- Add comments as to why each tree is being removed (e.g. for stormwater pond, general grading, etc.) as certain removals may be eligible for exclusion from removal threshold calculation.
- Use of a native landscape, while typically supported by Staff, does not seem appropriate as proposed, especially the narrow strip along 147th Lane. Modify the Landscape Plan to either eliminate the use of the native seed mix or to identify one or two larger, contiguous areas to establish the native landscape. Additionally, a management plan for this native landscape must be provided to the City for review and ultimately to the HOA for long term guidance on maintenance.

City of Ramsey
Department of Economic Development
Ramsey, MN 55303

RE: Proposed Plat by DC Ramsey LLC Townhomes

Dear Planning Commission,

We have reviewed the sketch plat and plan for the above titled development. While we support development of the property, it must be done appropriately. We have the following comments regarding the proposed plat:

1. The boundary transition plan for the adjacent R-1 zoned property north of the proposed lots 8 thru 14:
 - The proposed plat does not include a transition plan for the adjacent R-1 zoned properties.
 - In “Review of Sketch Plan for DC Ramsey, LLC Townhomes” (Plat) it is acknowledged that the underlying zoning of the adjacent north properties are R-1 but tries to utilize the justification that the use is commercial as to why the transition plans are not required. While the use may be commercial, the underlying R-1 zoning is still controlling. Furthermore, there is no commercial zoning listed on the official zoning map; it is only Business Districts (B-1, B-2, or H-1) zoning. Therefore, a transition plan would be required by the City of Ramsey Zoning Ordinance (Zoning) Chapter 117-110(a).
 - Considering Chapter 117-110(e).2 for a PUD, the landscape requirement should be determined by correlating the overall density to either R-1, R-2, or R-3. Since the underlying zoning is R-1 it is reasonable to use that correlation and require landscaping to meet Level 4 requirements. This requirement should be implemented for lots 8-14.
 - The Plat indicated that the border between the proposed development is mostly wetland. Only lots 1-7 and Outlot B are buffered by the wetland. We agree that no transition plan is needed for the wetland area. However, lots 8-14 have little to no wetland buffer to the adjacent property therefore the reasoning that a transition plan is not needed does not reflect the reality of the property.
 - In addition, Chapter 117-112(e).7. should be implemented for this development. This would require a minimum of 30 feet of buffer and a 10% increase in number of plantings.
 - The Plat also indicated the willingness to “trade” the transition plan for additional architecture features on the front of the property.

“Staff would like feedback on the density transitioning requirement. Staff is comfortable with the 20 feet of buffer, with some additional architectural features on the homes, which could include “fronts” of homes facing the public road to the south to increase visual interest and continue the trend of townhomes in the COR.

This “trade” does not seem to reflect the reasonableness of the flexibility of the ordinance. It would be a reasonable accommodation if the proposal was to improve the development facing the area that required the transition plan, however to “trade” for property features that face away from the transition areas does not align with the intent of the ordinance. We believe the ordinance is clear in requiring a transition plan with adjacent properties and should be implemented for this property and alternatives such as improving the rear facing of the structure is not a reasonable alternative to a transition plan.

- Because of the openness of the adjacent property, it is important that a transition buffer is included to prevent unintended assumption of property lines or public open spaces. Without the transitions, there may be future conflicts involving neighbors that do not realize the adjoining areas of the PUD are private property. The transition plan would define these areas and ensure future homeowners are aware of the property lines and features to avoid these conflicts.
2. Review of required grading plan.
 - For lots 1-14 it is important that the grading plan addresses the concerns regarding tying into elevations of adjacent properties, the required transition plan, and prevent any impact to the adjacent wetlands.
 3. Required wetland protections.
 - Lots 1, 5, 6, and 7 have structures located in wetland buffer area.
 - Buffer averaging is not an acceptable practice. The purpose of a buffer is to protect the adjacent wetland. While averaging may appear to be protective on paper, in practice it will not provide the necessary protection as required by the Wetland Conservation Act (WCA) or the intent of the ordinance. There shall be minimum buffer distances maintained even if averaging is allowed and 50 feet (as indicated below) will provide the necessary protection of this resource for the greater public good and comply with state laws and the ordinance.
 - Chapter 117-145.2.c shall be implemented for this development. Therefore, there should be additional review of the drainage plan and grading plan. Consideration should be given to utilizing a buffer distance in alignment with the new Minnesota Buffer Law (2019 MN Statutes 103F.48) of 50 feet to provide the protection of this valuable resource and review the buildability of lots 1, 5, 6 and 7. There should be no rain gardens in the buffer area to ensure the integrity of the wetland buffer.
 - With regards to the WCA, it is important to consider the detrimental impact that the additional stormwater, both in amount and rate of runoff, will have on the wetland and would be in violation of WCA. Additional water at a faster rate will degrade the wetland and does not meet the intent of WCA.

Based on the above comments we request that the plat be adjusted to include a transition plan along lots 8-14, the grading plan be scrutinized to ensure compatibility with adjacent property elevations, and wetland protections be implemented to ensure no impacts and full compliance with the letter and spirit of WCA. We appreciate the time and consideration of the Commission and recognize that the property should be developed but in an orderly fashion that minimize impact on the environment and

provides the required transitions between development densities to ensure long term harmony between uses.

Sincerely,

Noah and Kimberly Barka
7520 149th Ave NW
Ramsey, MN 55303

Councilmember _____ introduced the following resolution and moved for its adoption:

RESOLUTION #20-002

**RESOLUTION GRANTING PRELIMINARY PLAT APPROVAL
OF GARDEN VIEW VILLAS**

WHEREAS, DC Ramsey, LLC, hereafter referred to as “Developer,” properly applied for Preliminary Plat approval of the following described property located in the City of Ramsey:

Outlot E and Outlot D, Town Center Gardens 3rd Addition, Anoka County, Minnesota

(the ‘Subject Property’);

WHEREAS, the City has received an Application for Preliminary Plat Approval for Garden View Villas, which includes seventeen detached townhomes; and

WHEREAS, the Subject Property is zoned R-2 Medium Density Residential; and

WHEREAS, the Developer has proposed 50 foot-wide lots consistent with the R-2 Detached Villa Zoning designation; and

WHEREAS, the Planning Commission reviewed the sketch plan on November 7, 2019; and

WHEREAS, the Planning Commission met and held a public hearing for the Preliminary Plat on January 2, 2020 and recommended approval of the Preliminary Plat contingent upon increased plantings and compliance with Staff comments; and

WHEREAS, the City Council reviewed the Preliminary Plat on January 28, 2020; and

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

1. That the Ramsey City Council hereby grants preliminary plat approval for Garden View Villas in accordance with relevant City Codes, subject to the following conditions:
 - a. Compliance with the Staff Review Letters
 - b. Compliance with all Staff Review Comments in ProjectDox.
 - c. Additional plantings satisfying Planning Commission and Environmental Policy Board (EPB) recommendations to be reviewed and approved by Community Development Department.
 - d. Contingent upon final approval by City Engineer.
 - e. The Developer entering into a Development Agreement with the City.
 - f. Approved wetland delineation and 16.5 foot setback encumbered by easement.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember _____, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this _____ day of _____, 2020.

Mayor

ATTEST:

City Clerk

Regular Planning Commission

7. 1.

Meeting Date: 01/02/2020

By: Chloe McGuire Brigl, Community
Development

Information

Title:

Consider Amended Request for a Home Occupation Permit for a Garbage Hauling Company at 17030 Baugh St NW; Case of Allen and Joyce Birchem/Birchem Sanitation (Project #19-141)

Purpose/Background:

The purpose of this case is to consider an application for a Home Occupation Permit to run a garbage hauling company at 17030 Baugh St NW (the "Subject Property"), including a home office, indoor storage and outdoor storage of related items. Allen and Joyce Birchem (the "Applicants") applied for the Home Occupation Permit (HOP) after staff discovered the business through the code enforcement program. The Planning Commission discussed the HOP request at their November 2019 Planning Commission meeting where the topic was tabled to give the homeowners time to clean up the site. The Planning Commission seemed generally supportive of an HOP for one garbage truck with no outdoor storage.

This case was postponed at the November Planning Commission to allow the Applicant more time to come into compliance and attempt to strike a compromise on allowing the business to continue to operate on a smaller scale. The Applicant has made significant cleanup, but has additional work to be done. Staff desires to discuss updates and provide policy clarification on the Application. Staff believes that this case may need to be postponed to the February Planning Commission Meeting.

Notification:

Notifications of this proposal (OF THE PREVIOUS REVIEW) were sent via Standard US Mail to Property Owners within 350 feet of the Subject Property, as reflected by Anoka County Property Records. A notice was also published in the Anoka Union Herald, the City's Official newspaper.

Observations/Alternatives:

General

The Subject Property is located at 17030 Baugh St NW. The Subject Property is zoned R-1 Residential (Rural Developing) and is approximately 1.6 acres in size. All surrounding properties are zoned the same.

Summary of Request

The Applicants seek permission to continue to operate a waste collection business from the Subject Property, with direction as recommended by the Planning Commission at their November Meeting. On site business operations include (revised from original request):

- Office (bookkeeping, accounting, billing)
- Parking for 2 waste hauling trucks (one in pole barn, one outside)

Waste collection services occur in Sherburne and Wright Counties, with disposal of the collected waste occurring at a waste management facility in Sherburne County. The trucks are cleaned and maintained at this waste management facility. No waste is taken to the Subject Property. If HOP is approved, the Applicant will be required to get the proper license(s) from Anoka County and any other agency requiring permit.

Hours of Operation (Proposed)

The hours of operation begin at 8:00 am (trucks leave the Subject Property) and end at 4:30 pm (trucks return to the

Subject Property), Monday through Wednesday. This schedule is consistent barring schedule changes related to holidays or inclement weather.

Original Request Outdoor Storage

The original request included continuing the operation as-is, which includes the storage of:

- ~50 residential waste containers (large curb-side garbage cans)
- ~2 - 5 waste hauling trucks (garbage trucks, some kept onsite for parts for running trucks)
- ~5 waste dumpsters (large, e.g. dropped off for construction projects)

Since the previous Planning Commission meeting, the Applicant has removed the residential waste containers from the site and has three (3) waste hauling trucks. There are still approximately seven (7) dumpsters onsite. The Planning Commission recommended removal of the outdoor storage related to the use, except one (1) truck, with a second truck parked inside. The Applicant will need additional time to complete the remaining cleanup required.

The Planning Commission seemed generally supportive of the Home Occupation Permit (HOP) with the following:

- Office (bookkeeping, accounting, billing) inside home
- Parking for 2 waste hauling trucks (one in pole barn, one outside)
- Applicant lives onsite full-time

Code Enforcement

Staff became aware of the home-based business through the City's Code Enforcement Program. The Subject Property has had a significant amount storage of items related to the business, including the storage listed above as well as off-street parking violations and nuisance violations. Staff has received complaints related to the parking on the grass, number of items stored outside, vermin onsite (rats, mice, etc.), and inoperable vehicles. Based on initial Planning Commission Review, the Applicant has made significant cleanup.

Staff has completed an inspection of the site since the previous Planning Commission meeting, per the Planning Commission's recommendation. Inspection on December 12, 2019 showed that there was significant progress made onsite. The owner mentioned that approximately 20 tons of metal were removed from the site. Items still stored outside after cleanup included:

- One truck parked on grass in rear yard (potentially inoperable)
- Three cars parked on grass in rear yard (potentially inoperable)
- Three garbage trucks (one was off-site in use for business)
- One blue van in side yard on grass
- One black truck in side yard on grass
- Tractor
- Trailer (hooked to black truck)
- 7 commercial sized dumpsters
- One white boat
- Truck and fish house on driveway
- 3 or 4 piles of rubbish and tires

The site is allowed six (6) items of outdoor storage and they have approximately twelve (12). An updated inventory with notes is attached to this case. While the Applicant has made progress, there are still numerous items that are out of compliance, specifically vehicles and nuisance/junk items piled onsite.

Permits/Licenses

The Applicants have stated they have permits with Wright and Sherburne County but do not have a permit with Anoka County. Anoka County has stated a permit would be required for a Base Operation. The Applicants have never received a business license from the City. If approved, the Applicant needs to receive the proper permits before continuing operation.

If the City Council approves an HOP for the Applicants, it would be a requirement that they get proper licensing immediately and update the Secretary of State for proper business filing, as they are not currently registered with the State. The HOP also requires that the Applicant live on site so the site does not act as a strictly commercial site.

This would be another condition of the HOP if approved by the City Council.

History

The Applicant and their attorney has stated that the business has operated onsite for approximately 37 years. The City Code has had nuisance violations outlined since the City's incorporation, prior to 37 years ago. While the Business may have been operating for some years, it has not been operating as a permitted business by the City, nor has Staff been aware of the business until 2019. Additional information from the Applicant's attorney is attached.

Options

Alternative 1: Approve the Home Occupation Permit (HOP) as originally requested. This would continue the operation as-is. Staff is not supportive of this alternative, as the use is quite intensive and there was significant outdoor storage. This alternative would be inconsistent with recent actions. The Planning Commission did not seem supportive of this action.

Alternative 2: Approve an amended Home Occupation Permit (HOP) allowing bookkeeping and two (2) garbage trucks onsite. This permit would not allow any outdoor storage besides the one garbage truck parked outside, the other would need to be kept inside when onsite. The Planning Commission seemed supportive of this action at the previous meeting. Staff does have some concerns with this alternative, but believes the City can place strict conditions on the use to ensure it remains as approved. Staff would support this alternative once the site is fully in compliance with City Code. Staff would not support an HOP for the site until the items noted above that are out of compliance (e.g. inoperable vehicles, number of vehicles, parking on grass, junk items) are addressed.

Alternative 3: Table action until February meeting. If the Planning Commission feels the Applicant needs more time to clean up the site or needs additional information, Staff would support tabling until the next meeting. Staff will be completing an onsite inspection the morning of the Planning Commission meeting (1/2/19) and will provide a verbal update of the code enforcement items onsite that will better indicate if this alternative is needed.

Alternative 4: Deny the HOP. Staff originally recommended denial of the HOP, and based upon Planning Commission feedback, is working towards a compromise to allow the use onsite. Planning Commission recommendation would not support this alternative.

Funding Source:

The Applicant is responsible for all costs related to this request.

Recommendation:

Based on Planning Commission feedback, Staff recommends approving an amended request for a Home Occupation Permit for a Garbage Hauling Company at 17030 Baugh St NW. This would be a less-intensive permit than originally applied for, with book-keeping and two trucks.

Action:

Motion to Recommend that the City Council adopt Resolution #19-252 approving a Home Occupation Permit for a Garbage Hauling Company at 17030 Baugh St NW.

or

Motion to table action until February 2020 Planning Commission meeting to allow additional clean up onsite.

Attachments

Site Location

Aerial Photos

July 2019 Photos

December 2019 Photos

Road View Photos

Resolution #19-228 (Code Enforcement Procedure)

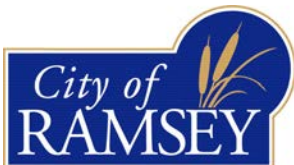
Application and Letter from Attorney

Inventory and Progress December 2019

Resolution #19-252


Form Review

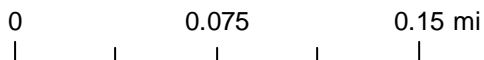
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Chris Anderson	Chris Anderson	12/17/2019 08:24 AM
Tim Gladhill	Chloe McGuire Brigl	12/27/2019 01:23 PM
Chris Anderson	JoAnn Shaw	12/27/2019 02:27 PM
Tim Gladhill	JoAnn Shaw	12/27/2019 02:27 PM
Form Started By: Chloe McGuire Brigl		Started On: 12/16/2019 10:26 AM
Final Approval Date: 12/27/2019		



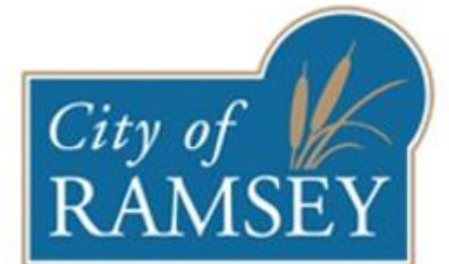
Site Location Map

Legend

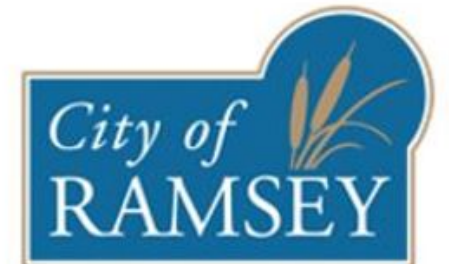
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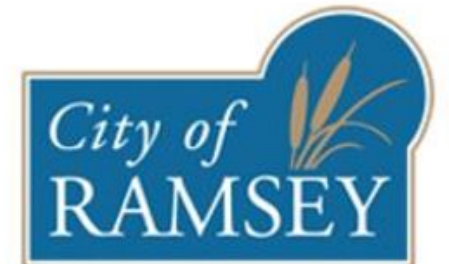
BIRCHEM SANITATION



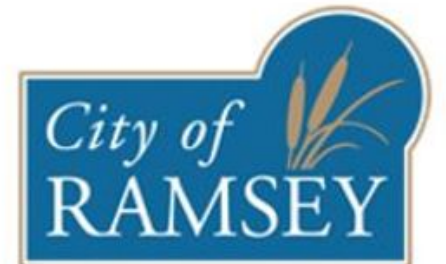
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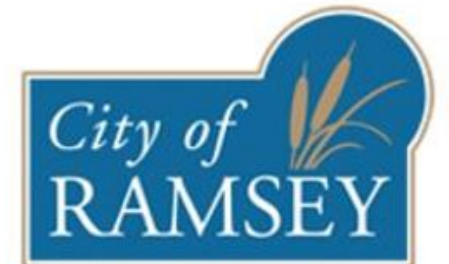
BIRCHEM SANITATION



BIRCHEM SANITATION



BIRCHEM SANITATION





07/24/2019 12:36



07/24/2019 12:37



MN-3019FJ

Shore Landr

AMERIKAST

WARNING
DO NOT OPEN
FROM INSIDE

07/24/2019 12:37



07/24/2019 12:37



07/24/2019 12:35



07/24/2019 12:35



07/24/2019 12:36



07/24/2019 12:35



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INTERNATIONAL

1482

Bem
Salvation
763-3572





WEDIAK
TRUCKS

CAUTION
STOP DRIVING AND
REMOVE IGNITION
KEY BEFORE
EXTENDING BODY

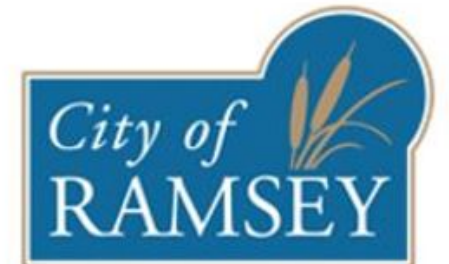
DANGER



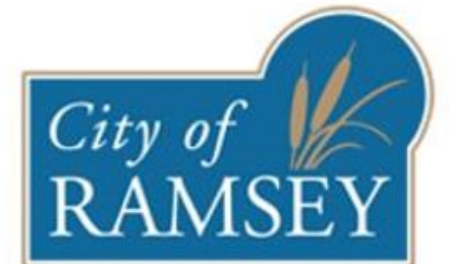




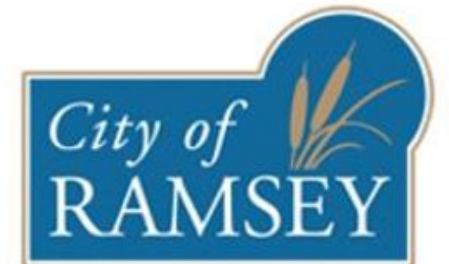
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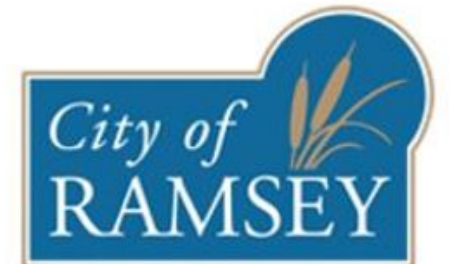
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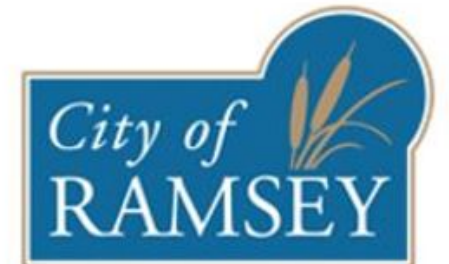
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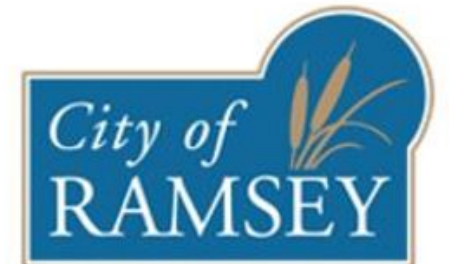
BIRCHEM SANITATION



BIRCHEM SANITATION



BIRCHEM SANITATION



Councilmember _____ introduced the following resolution and moved for its adoption:

RESOLUTION #19-228

**A RESOLUTION APPROVING CODE ENFORCEMENT ACTION PLAN FOR 17030
BAUGH STREET NW IN THE CITY OF RAMSEY, MINNESOTA**

WHEREAS, the property owners Allen and Joyce Bircherm (the “Property Owners”) have an open code enforcement case on the property generally known as 17030 Baugh Street NW and legally described as follows:

UNPLATTED RAMSEY TWP THE S 200 FT OF THE N 1633 FT OF THE E 416 FT OF THE E1/2 OF THENW1/4 OF SEC 7-32-25 IN ANOKA CNTY, MN AS MEAS ALONG THE E & N LINES OF SD E1/2 OF THE NW1/4(SUBJ TO AN EASE FOR RDPURP OVER THE E 66 FT THEREOF)(SUBJ TO EASE FOR RD & UTIL TO RAMSEY TWP)

(the “Subject Property”); and

WHEREAS, the Subject Property is zoned R-1 Residential (Rural Developing); and

WHEREAS, the Subject Property is approximately 1.6 acres; and

WHEREAS, there have been no documented City Code violations until this year, with a notice of violation regarding the operation of a home-based business without a permit, the accumulation of garbage, waste, or refuse, and off-street parking; and

WHEREAS, conversations with the Property Owners have confirmed that a garbage hauling business (the “Home Occupation”) is being operated on the Subject Property; and

WHEREAS, City Staff have in their possession photographs that find the property and business to be non-compliant with City Code; and

WHEREAS, the City sent a formal notice of violation on July 29, 2019 for the operation of the Home Occupation, the accumulation of garbage, waste, or refuse, and off-street parking; and

WHEREAS, the City of Ramsey City Code would allow the Subject Property to have six (6) total items to be stored outdoors, including one (1) unlicensed or inoperable vehicle so long as said items are on an approved parking surface; and

WHEREAS, the City of Ramsey City Code would allow the Property Owners to apply for a Home Occupation Permit to operate their business, but that approval of said Permit is at the discretion of the Ramsey City Council; and

WHEREAS, the Property Owners would need to obtain a license from Anoka County due to the nature of the business if not already obtained; and

WHEREAS, the Nuisance Regulations in the City Code prohibit the outdoor storage of junk, debris, items that are not being put to their intended use, construction debris, and other stockpiles of materials; and

WHEREAS, the City Staff have confirmed that the Subject Property has two garbage trucks, a multitude of garbage bins and garbage dumpsters (estimated at 50 garbage bins and 5 garbage dumpsters), inoperable or unlicensed vehicles, boats, trailers, and miscellaneous garbage, waste, or refuse; and

WHEREAS, a code enforcement action plan is required to bring the Subject Property and Business into compliance with City Code.

WHEREAS, City Staff sent notice of violation letter to the Property Owners on August 28, 2019; and

WHEREAS, City Staff and the Property Owners had agreed to meet on Tuesday, August 20, 2019 but the Property Owners cancelled the meeting; and

WHEREAS, City Staff and the Property Owners rescheduled the meeting for September 12, 2019 and met to discuss the outstanding code violations on the Subject Property; and

WHEREAS, City Staff feels that they have allotted more than a reasonable amount of time to the Property Owners to come into compliance with City Code; and

WHEREAS, the Property Owners stated that they were seeking legal counsel to file suit against the City of Ramsey.

NOW THEREFORE, BE IT RESOLVED BY THIS CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

That the Ramsey City Council hereby grants approval of the proposed code enforcement action plan on the Subject Property as outlined below, contingent upon verification of any violation(s) of City Code:

1. By Tuesday, October 8, 2019 the Property Owners should have applied for a Home Occupation Permit for the operation of their home-based garbage hauling business. If the Property Owners fail to apply for a Home Occupation Permit or refuse to apply for one, they have until Tuesday October 22, 2019 to remove any and all equipment and materials associated with the home-based garbage hauling business.

2. By Tuesday, November 26, 2019 the Property Owners will have removed any and all additional junk or garbage not associated with the home-based business but that is in violation of City Code.
3. That future violations within twelve (12) months of the same type will result in financial penalties and quicker escalation of violation notices.
4. That the City Council reserves the right to escalate future violations directly to District Court for Temporary Restraining Order.
5. That if the Property Owner misses one of the aforementioned deadlines, Staff has the approval to:
 - a. Reinspect the Subject Property and document all items out of compliance.
 - b. Issue an abatement notice for specific items outlined in step (a).
 - c. Abate the Subject Property of items and charge abatement back to the Property Owners.

The motion for the adoption of the foregoing resolutions was duly seconded by Councilmember _____, and upon vote being taken thereon, the following voted in favor:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 24th day of September, 2019.

BERGLUND & BERGLUND, LTD.

ATTORNEYS AT LAW

2140 FOURTH AVENUE NORTH
ANOKA, MINNESOTA 55303

JOHN J. BERGLUND
MARK E. BERGLUND

TELEPHONE (763) 427-5950
FACSIMILE (763) 427-7136

Writer's E-Mail:
markberglund@berglund-law.net

October 3, 2019

Tim Gladhill
City of Ramsey – Community Development
7550 Sunwood Drive NW
Ramsey, MN 55303

Re: Allen and Joyce Birchem
Land Use Application for 17030 Baugh St. NW

Dear Mr. Gladhill:

Please be advised our office represents Allen and Joyce Birchem in the above matter. I understand that the City has taken action on a Resolution regarding my clients' use of their property located in Ramsey. As part of that action, the City is requiring the Birchems complete a Land Use Application seeking a Home Occupation Permit for operation of their home-based business by October 8, 2019.

Enclosed herewith for your review, please find my clients' executed Land Use Application with the attached exhibits. Also attached is a site location map for 17030 Baugh St. NW as well as the Home Application Supplemental Questionnaire, which the City already has in its possession. Finally, also enclosed you will find a check payable to the City of Ramsey in the amount of \$1000.00, representing the Application Fee of \$200.00 and the minimum escrow for a Level 2 Home Occupation Permit of \$800.00.

As you are aware, the Birchems have been operating their waste-hauling business from their property for approximately 37 years. This Application seeks permission to continue to operate that business in the same fashion as it has been. No changes to business operations are being sought.

Further, the City's Resolution requires my clients to remove any and all additional junk/garbage not associated with their home-based business from their property. They have already begun to do this and intend to fully comply with the City in that regard. However, my clients would request to have until Friday, December 27, 2019 to remove all necessary items from their property. Apparently, this timeline, ending on December 27, 2019, had been discussed between City Staff and the Birchems prior to the Resolution being drafted and

Re: Allen and Joyce Birchem
October 3, 2019
Page Two

approved. It is my understanding that this extension is something the City is agreeable to. However, please advise if that is the case as the Birchems do want to remain compliant with the City and its Resolution.

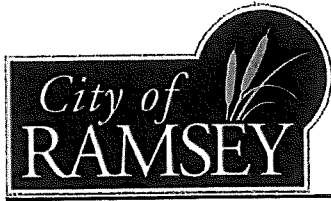
Should you need anything further from the Birchems, please do not hesitate to contact me as necessary.

Sincerely,

A handwritten signature in black ink, appearing to read 'MEB', with a long horizontal flourish extending to the right.

Mark E. Berglund

MEB:gmb
Enclosures
cc: Clients



Land Use Application

<input type="checkbox"/> Plat – Sketch Plan	<input type="checkbox"/> Plat – Preliminary Plat	<input type="checkbox"/> Plat – Final Plat
<input type="checkbox"/> Administrative Plat	<input type="checkbox"/> Site Plan Review	<input type="checkbox"/> Easement/ROW Vacation
<input type="checkbox"/> Conditional Use Permit	<input type="checkbox"/> Interim Use Permit	<input type="checkbox"/> Comprehensive Plan Amendment
<input type="checkbox"/> Zoning Amendment	<input type="checkbox"/> Home Occupation Permit	<input type="checkbox"/> Variance
<input type="checkbox"/> Dwelling Moving Permit	<input type="checkbox"/> Environmental Permit	<input type="checkbox"/> Registered Land Survey
<input type="checkbox"/> Non-Traditional Animal License	<input type="checkbox"/> Beekeeping License	<input type="checkbox"/> Private Kennel License

Applicant Contact Information

Please note: All official communication will be routed through this contact.

Name:		Al and Joyce Birchem	
Street Address:		17030 Baugh Street NW	
City, State, ZIP:		Ramsey, MN 55303	
Home Phone:	763-441-3572	Work Phone:	
Email:	markberglund@berglundlaw.net	Fax Number:	
Name of Business (if applicable):		Birchem Sanitation	
Business Address (if applicable)			
Business City, State, ZIP			
Business Phone:		Business Fax:	

Subject Property Information

(Location of Application)

Address	17030 Baugh Street NW, Ramsey, MN 55303
PIN	07-32-25-24-0017
Legal Description	See Exhibit A
Zoning District	R1 Residential (Rural Developing)

Contact the Planning Division at 763-433-9824 or planning@cityoframsey.com to request a Zoning Verification

Property Owner Information

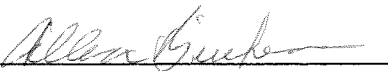

(If different than Applicant)

Name:		Allen Birchem and Joyce Birchem	
Street Address:		17030 Bawn Street NW, Ramsey, MN 55303	
City, State, ZIP:			
Home Phone:		Work Phone:	
Email:	markberglund@berglund-law.net	Fax Number:	


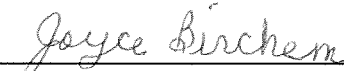
Please provide a detailed description of your request and attached a copy of a scaled site plan

Sec Exhibit B

A "Land Use Sign" will be placed on the Subject Property to allow Ramsey Residents the opportunity to obtain information about your request.

Applicant Signature		Co-Applicant Signature	
Printed Name	Allen Birchem	Printed Name	Joyce Birchem
Title	owner/President	Title	Owner/Vice President
Date	10-1-19	Date	10-1-19

I understand that the application fee is non-refundable. All costs associated with the processing of this application are the responsibility of the applicant whether this application is approved or denied. Any excess of escrow account deposits over expenditures will be refunded at the time of account closure. I also understand that as the applicant, it is my responsibility to obtain all other permits or licenses required by any applicable regulatory agencies for this Land Use Application.

Property Owner Signature		Property Owner Signature	
Printed Name	Allen Birchem	Printed Name	Joyce Birchem
Title	owner	Title	Owner
Date	10-1-19	Date	10-1-19

I hereby certify that I am the fee title owner/contract for deed vendee of record for the above-mentioned property. Failure to prove ownership may void any agreements entered into the City and I will be held liable for any and all costs incurred by the City.

Exhibit A

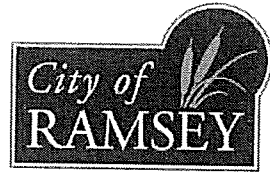
UNPLATTED RAMSEY TWP THE S 200 FT OF THE N 1633 FT OF THE E 416 FT OF THE E1/2 OF THE NW1/4 OF SEC 7-32-25 IN ANOKA CNTY, MN AS MEAS ALONG THE E & N LINES OF SD E 1/2 OF THE NW1/4 (SUBJ TO AN EASE FOR RDPURP OVER THE E 66 FT THEREOF)(SUBJ TO EASE FOR RD & UTIL TO RAMSEY TWP)

Exhibit B

This request is made to seek permission to continue to operate a waste collection business from the Subject Property that has been in existence for 37 years. On site business operations include: bookkeeping, accounting, billing, as well as providing parking space for 2-3 waste hauling trucks, storage of approximately 50 residential waste containers, and 5 waste dumpsters.

The waste collection services occur in Sherburne and Wright Counties, with disposal of the collected waste at a waste management facility in Sherburne County. The trucks are cleaned at the waste management facility upon being emptied. No waste of any kind is taken to the Subject Property at any time. Maintenance of the waste hauling trucks is also done off site.

The waste hauling trucks leave the Subject Property at approximately 8:00 am and return at approximately 4:30 pm Monday through Wednesday. This schedule is consistent unless there is a necessary schedule change related to a holiday or inclement weather.



Site Location Map for 17030 Baugh St NW



Address: 17030 Baugh St. NW

Home Occupation Supplemental Questionnaire

Does the home occupation owner live in the home on the property? Yes -or- No

Does the home occupation owner rent or own the property? Yes -or- No

Will any part of the occupation be conducted in the home? Yes -or- No

If so, what activities will be conducted in the home and in which room(s)?

Billing

What is the gross living area of the home? 3,000 sq. ft.

How much of that area will be used for the occupation? 132 sq. ft. room

Will an attached garage or any detached accessory building or garage be used for the occupation? Yes (X) -or- No ()

If so, explain:

1500 sq. ft. building

Will there be at least 400 square feet of garage space reserved for indoor residential parking and storage related to the residential use on the property? Yes -or- No

Will any structural additions or alterations to home or garages be required for this occupation?

Yes -or- No

If so, explain:

Will you employ persons that do not live in the home on the property? Yes -or- No

VIA ANOKA COUNTY

If yes, how many non-resident employees will work on the site? None

How many non-resident employees will work off-site? None

Will it be necessary employees working off-site to come to the home? No

If so, explain:

Will customers or clients come to the property? Yes -or- No

How many vehicle trips per day do you anticipate entering and leaving the property in a typical 24 hour period? (this includes employees, customers, deliveries, etc.)?

<u>None</u>

Will any vehicles, other than your private car(s), be used in connection with the home occupation? Yes (x) -or- No ()

If so, provide number, size and type of vehicles:

<u>2 Trucks - 3 times Per Week</u>

Do you intend to store supplies and/or materials on the site? Yes -or- No

Please describe items to be stored and where?

<u>5 garbage trucks (2 used, 1 standby, 2 old)</u>
<u>50 garbage cans w/ 7 dumpsters</u>

Are any of the home occupation processes or materials subject to review and permitting by Anoka County Environmental Services? Yes -or- No

If so, explain and/or provide necessary documents.

Homeowner's Name: Allen + Joyce Bischoff Date: 9-3-19

Homeowner's Signature: Allen Bischoff

Email: _____ Phone: 763-441-3572

Brief Description of Home Occupation: Route in Wright + Sherburne Counties

- 2 garbage trucks - allen, shannon drive 3/wk. pick up residential rubbish + drop off in Elk River waste management. Leave 8:00 am, come back 4:30 pm - typically Mon-Wed., Thurs. if holiday
- 37 years
- Barrels onsite need to remain
- Licensed in Wright and Sherburne County
- For HOP, would agree to store 1 truck in pole barn, remove 2, and 2 parked outside. Cans stored in pole barn, 6 or 7 dumpsters stored outside.

July 2019	December 2019	Notes
	One truck parked on grass in rear yard (appear to be inoperable)	Was supposed to be removed/moved by November 26, 2019 per Res 19-228
White chevrolet, white car (inoperable)	Three cars parked on grass in rear yard (appear to be inoperable)	Was supposed to be removed/moved by November 26, 2019 per Res 19-228
Red cart		
~Five garbage trucks (one white, one green photographed)	Three garbage trucks (one was off-site in use for business)	
One blue van in side yard on grass	One blue van in side yard on grass	Was supposed to be removed/moved by November 26, 2019 per Res 19-228
	One black truck in side yard on grass	Was supposed to be removed/moved by November 26, 2019 per Res 19-228
Black trailer	Black trailer	
Flat trailer		
One white/blue boat	One white/blue boat	
	Truck and fish house on driveway	
~10 commercial sized dumpsters	7 commercial sized dumpsters	Appears to have been a slight reduction in number of dumpsters
Tractor	Tractor	
Large piles of garbage/metal near pole building	3 or 4 piles of rubbish and tires	Much of the metal pile was removed
~40 brown residential garbage cans/carts	1 brown residential garbage cart	Almost all carts were removed

*Allowed 6 total items of outdoor storage (vehicles, boats, trailers) and only one inoperable on proper surfacing. Automobiles cannot be on grass.

Councilmember _____ introduced the following resolution and moved for its adoption:

RESOLUTION #19-252

**A RESOLUTION APPROVING THE REQUEST FOR A HOME OCCUPATION PERMIT
TO OPERATE A GARBAGE HAULING BUSINESS
ON THE PROPERTY LOCATED AT 17030 BAUGH STREET NW**

RECITALS

1. The City of Ramsey received an application from Allen and Joyce Birchem requesting a home occupation permit to operate a garbage hauling business on the property generally known as 17030 Baugh Street NW and legally described as follows:

UNPLATTED RAMSEY TWP THE S 200 FT OF THE N 1633 FT OF THE E 416 FT OF THE E1/2 OF THENW1/4 OF SEC 7-32-25 IN ANOKA CNTY, MN AS MEAS ALONG THE E & N LINES OF SD E1/2 OF THE NW1/4(SUBJ TO AN EASE FOR RDPURP OVER THE E 66 FT THEREOF)(SUBJ TO EASE FOR RD & UTIL TO RAMSEY TWP)

(the “Subject Property”)

2. That on October 3, 2019, Allen and Joyce Birchem (the “Applicants”), owners of the Subject Property, submitted an application for a Home Occupation Permit to operate a garbage hauling business (the “Home Occupation”) on the Subject Property.
3. That the City Council passed Resolution 19-228 related to Code Enforcement on the Subject Property which required the Applicants stop all business use onsite, or apply for a home occupation permit.
4. That the Applicant appeared before the Ramsey Planning Commission for a public hearing pursuant to Section 117-51 of the City Code on November 7, 2019, and that said public hearing was properly advertised.
5. That the City Council reviewed the request on _____, 2020.
6. That the Subject Property is zoned R-1 Residential (Rural Developing) and the surrounding parcels are zoned R-1 Residential (Rural Developing).
7. That the Subject Property is approximately 1.6 acres and is surrounded by lots of similar size.
8. That the Subject Property is guided for Rural Developing (residential) in the City’s Future Land Use Map.
9. That the Applicant owns the dwelling unit on the Subject Property and occupies the dwelling Monday through Wednesday while conducting business and that the Applicant’s son lives on the Subject Property full time.
10. That the Subject Property includes an approximately 2,400 square foot dwelling unit and an approximately 1,200 square foot detached accessory building.

11. That the Home Occupation is proposed to be based out of both the detached accessory building, the dwelling unit, and the outdoor areas of the property.
12. That the Applicants have stated there will be approximately 400 square feet of garage space reserved for indoor residential parking and storage in an attached garage related to residential use on the Subject Property, as established in City Code Section 117-351 (Home Occupation).
13. That the Applicant has stated there is not business signage on the Subject Property.
14. That the Applicants have stated there will be no more than eight (8) vehicle trips per standard eight (8) hour day.
15. That the Home Occupation employs one other person, other than the Applicants, the Applicant's son, that lives on the Subject Property and is related to the Applicants.
16. That the Applicant has proposed to store two (2) commercial trucks onsite, one inside the detached garage and one outside on an allowed parking surface.
17. That the Home Occupation does involve operating methods that include transactions with the public (customers, clients, consultants, subcontractors, etc.) and bookkeeping on the Subject Property via phone call and email in an office inside the home. Customers never come to the Subject Property.
18. That the Applicants have proposed business house from 8:00 a.m. to 4:30 p.m., Monday through Wednesday barring any inclement weather or holidays.
19. That the Applicants operate waste collection services in Sherburne and Wright Counties, with disposal of the collected waste occurring at a waste management facility in Sherburne County.
20. That the Applicants do not have a license with Anoka County, though Anoka County stated a business license (base license) is required for the use.
21. That the Applicants have stated that the garbage hauling trucks will be cleaned at the waste management facility upon being emptied and that no waste of any kind will be taken to the Subject Property at any time.
22. That the City finds the Home Occupation operates beyond the parameters of general and administrative home occupation permit requirements (City Code Section 117-351) and therefore requires Planning Commission and City Council review and approval.
23. That the City of Ramsey received complaint(s) about the home-based business in relation to the traffic of garbage trucks on a residential street, garbage trucks parked on a residential property, the volume of exterior evidence related to the home-based business, and other code violations related to exterior storage, junk, nuisance regulations, and vermin onsite.
24. The property is not in compliance with City Code requirements related to home-based businesses, outdoor storage of inoperable vehicles, number of items stored outside, off-street parking violations, and nuisance violations.

FINDINGS OF FACT

1. That the proposed use **will/will not** adversely impact traffic in the area.
2. That the proposed use **will/will not** be compatible with the residential neighborhood due to (in part) density, lot size and use of the surrounding lots.
3. That the proposed use **will/will not** be unduly dangerous or otherwise detrimental to persons residing or working in the vicinity of the use or the public welfare.
4. That the proposed use **will/will not** substantially or adversely impair the use, enjoyment, or market value of neighboring properties.
5. That the proposed use **will/will not** be hazardous or disturbing to existing or future neighboring uses.
6. That the proposed use **will/will not** be served adequately by public facilities and services such as highways and streets.
7. That the proposed use **will/will not** create excessive additional requirements at public cost for public facilities and services, and it **will** be detrimental to the economic welfare of the community.
8. That the proposed use **will/will not** involve activities and uses that would be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, or odors.
9. That the operation of a waste hauling company with outdoor storage of multiple commercial vehicles and commercial equipment is not consistent with the intent of the R-1 Residential (Rural Developing) District (the "District") which is to accommodate single-family dwellings.
10. That the salvage of inoperable commercial vehicles for purposes of parts for other operable commercial vehicles is not a permitted use within the District and is declared a public nuisance.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

That the request for a Home Occupation Permit for the operation of Birchem Sanitation on the Subject Property is hereby approved pursuant to Sections 117-51 and 117-351 of the Ramsey City Code with the following conditions:

1. That this agreement shall permit the operation of a garbage hauling business (the "Home Occupation") on the Subject Property consisting in entirety of:
 - a. Two garbage trucks onsite
 - b. Bookkeeping inside the home office

2. That customers may never visit the Subject Property.
3. That there shall never be any signs onsite.
4. That the Permittee agrees there will be no exterior evidence of the Home Occupation permitted on the Subject Property unless in compliance with Chapter 117-351 (Home Occupations) of City Code except:
 - a. One garbage truck may be parked onsite but must be in the side or rear yard on an allowed parking surface. A permit must be obtained for any new parking surface or significant alteration of an existing parking surface (e.g. driveway expansion).
5. That the Permittee is responsible to verify and ensure that the structure(s) is compliant with all applicable state and local codes.
6. That should the Permittee die or should the Subject Property be sold, the Permit shall be automatically terminated, except that in the case of death, should a surviving spouse or child, residing at the same address, desire to continue the Home Occupation, written notice to that effect shall be given to the Zoning Administrator and the City Council may authorize continuation of the Permit without further hearing.
7. The Permittee shall reside on the Subject Property; if the Permittee does not reside on the Subject Property, the Permit shall be automatically terminated.
8. That the Permittee agrees that if the operation expands, they will notify the City of Ramsey and reapply for a Permit.
9. That adequate water supply and on-site sewage disposal facilities shall be the responsibility of the Permittee.
10. The Permittee shall be responsible for obtaining and having in full force and effect all applicable State, County and City licenses. This includes a Business License with the City, registering with the State of Minnesota, and a Base License with Anoka County. The permit will not be issued until all required permits/licenses are received.
11. The Permittee shall be responsible for all costs incurred in the administration and enforcement of this Permit.
12. That the Permittee agrees there shall never be waste brought back to the Subject Property.
13. That the Permittee agrees the two garbage trucks shall be washed offsite.
14. That the Permittee agrees there shall never be curbside containers, dumpsters, nor any other items related to the business stored on the Subject Property.

15. That the City Administrator, or his/her designee, shall have the right to inspect the Subject Property for compliance and safety purposes annually or at any time, upon reasonable request to the Permittee.
16. That the Permittee agrees to take additional measures to keep the Subject Property in compliance with City Code regulations related to off-street parking and nuisance violations.
17. That the allowed hours of operation are 8:00 a.m. to 4:30 p.m., Monday through Wednesday barring any inclement weather or holidays. If holiday or weather changes the regular schedule, the Permittee may shift hours of operation to another weekday, but may not operate on Saturday or Sunday. The Permittee may not expand the hours of operation on any day without express consent from the City. The Permittee is limited to three (3) total workdays per week.
18. That the Permittee agrees to take additional measures to be thoughtful of the residential neighborhood including:
 - a. No idling or warming up of vehicles.
 - b. No honking or skidding of the vehicles.
 - c. Parking in the side or rear yard at all times.
 - d. Keeping one of the two allowed garbage trucks parked inside the pole barn when onsite at all times.
 - e. No salvaging of auto parts at any time.
19. That this Permit does not authorize a future homeowner of the Subject Property from utilizing the detached accessory building for a home-based business.
20. That the Permittee agrees there are no lawful, nonconforming rights to the garbage hauling business on the Subject Property.
21. That the City reserves the right to revoke the permit for any violation of the above conditions

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember _____, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Whereupon said resolution was declared duly denied and adopted by the Ramsey City Council this _____ the day of _____, 2020.

CITY OF RAMSEY:

By: _____
Mayor

By: _____
City Clerk

STATE OF MINNESOTA)
) ss.
COUNTY OF ANOKA)

On this _____ day of _____, _____, before me, a Notary Public, personally appeared Mayor John LeTourneau and Colleen Lasher, to me personally known, who, being each by me duly sworn did say that they are respectively the Mayor and City Clerk of the City of Ramsey, the Municipal Corporation named in the foregoing instrument, and seal affixed to said instrument is the corporate seal of said Municipal corporation, and the said instrument was signed and sealed on behalf of said Municipal Corporation by authority of its City Council and said John LeTourneau and Colleen Lasher acknowledge said instrument to be the free act and deed of said Municipal Corporation.

Notary Public

The document drafted by:
The City of Ramsey
7550 Sunwood Dr NW
Ramsey, Minnesota 55303

This document reviewed by:
Ratwik, Roszak & Maloney, P.A.
300 U.S. Trust Building
730 Second Avenue South
Minneapolis, MN 55402

Regular Planning Commission

7. 2.

Meeting Date: 01/02/2020

By: Chloe McGuire Brigl, Community Development

Information

Title:

Consider Amended Sketch Plan for Odyssey Homes; Case of Odyssey Homes (Project No. 19-140)

Purpose/Background:

The purpose of this case is to review an application from Odyssey Homes (the "Applicant") for a 26-unit, attached townhome project on the property generally known as 14600, 15444, and 14520 Nowthen Blvd NW (the "Subject Properties"), on the southwestern corner of 146th Avenue NW and Nowthen Boulevard NW. The Subject Property is currently four (4) parcels with one residential home and detached structures that would be removed with the project.

The Planning Commission previously saw a concept on one of these parcels. The Developer now has a Purchase Agreement for other parcels in this area and is proposing to expand the project.

Notification:

No notification is required for Sketch Plan. However, Staff attempted to send a notice of this meeting via Standard US Mail to property owners, as noted in the Anoka County Property Records, within 700 feet of the Subject Property.

Observations/Alternatives:

Summary of Property

The Subject Property consists 14600, 15444, and 14520 Nowthen Blvd NW along with Anoka County PID 253225230020 (no address assigned). The Subject Property consists of four parcels and is approximately 950 feet long running parallel to Nowthen Boulevard from 146th Avenue NW. The Subject Property is approximately 5.55 acres and fronts both 146th Avenue NW and Nowthen Boulevard NW. There is currently one detached accessory building (pole barn) on each of the two most northern parcels and a home and detached building on the southern parcel that are proposed to be removed with this project. The Applicant is proposing 26 attached townhome units on the site.

Bulk Standards

From a Planning and Zoning perspective, the proposal appears to generally meet all of the requirements of the Medium Density Residential Classification (Comprehensive Plan) R-2 Residential District (attached) section of City Code (Section 117-112). With the preliminary plat, density transitioning will be required due to the existing single family residential neighborhood to the west. At that time, a tree inventory and preservation plan will also be required. Engineering has recommended widening the turning radiuses into the site and has also noted that storm water management (ponding) must also be addressed.

All Staff comments are attached.

Streets and Access

The Applicant has proposed a 24 foot wide private street running north-south through the Subject Property. The Applicant has also proposed one connection to Nowthen Boulevard on the south end of the site. The home on the southern most parcel does have a driveway onto Nowthen Boulevard. Staff has sent the Sketch Plan to Anoka County for review.

Code Sections

- Section 117-112: R-2 Bulk Standards
- Section 117-588: Major Plat Requirements

Funding Source:

The Applicant is responsible for all costs associated with this project and review.

Recommendation:

City Staff recommends that the Applicant proceed to the Preliminary Plat phase.

Action:

No formal action required. Provide Applicant feedback on Sketch Plan and preparation of a preliminary plat for the proposed project.

Attachments

[Site Location Map](#)

[Sketch Plan \(Updated\)](#)

[City Code Section 117-112](#)

[Sketch Plan Review](#)

[ProjectDox Comments \(Staff Comments\)](#)

Form Review

Inbox

Chris Anderson

Tim Gladhill

Form Started By: Chloe McGuire Brigl

Final Approval Date: 12/27/2019

Reviewed By

Chris Anderson

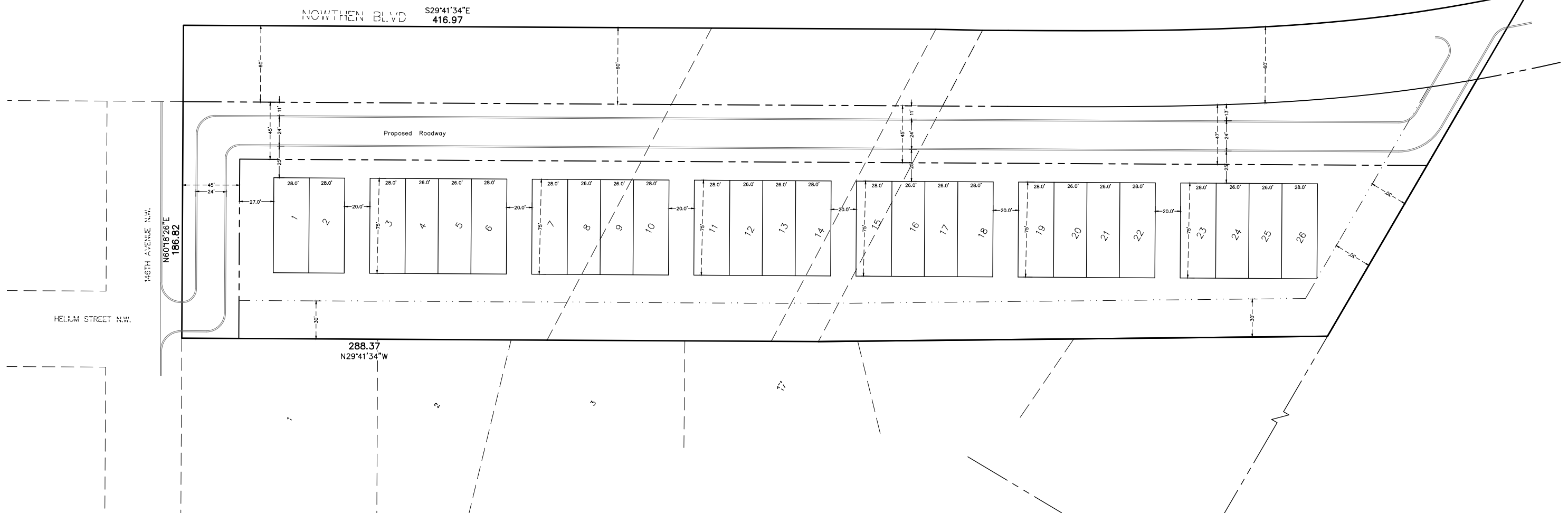
Tim Gladhill

Date

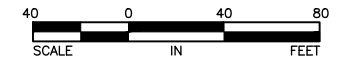
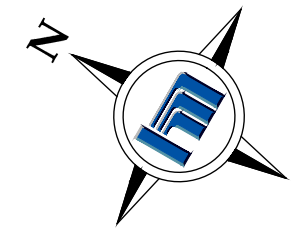
12/18/2019 11:43 AM

12/27/2019 08:11 AM

Started On: 12/16/2019 09:50 AM



Total Area of Property = 241,658 sq. ft. or 5.55 acres including Anoka County right of way



DATE	REVISION

DESIGNED BY: BP	
DRAWN BY: MSS	DATE: 07/02/19
CHECKED BY: BP	FILE NO. 3373.16



Hakanson Anderson
 Civil Engineers and Land Surveyors
 3601 Thurston Ave., Anoka, Minnesota 55303
 763-427-5860 FAX 763-427-0520
 www.haa-inc.com

SKETCH PLAN
 4-PLEX BUILDING

SHEET
 1
 OF
 1
 SHEETS

Sec. 117-112. - R-2 Residential District intent, permitted uses, and bulk standards.

- (a) *Intent.* The intent of the R-2 Residential District is to accommodate multiple dwellings at a density of four to seven dwelling units per acre and multiple-dwelling complexes within the 2040 MUSA. All lots created by subdivision located within the 2040 MUSA shall be serviced by sanitary sewer and municipal water.
- (b) *Permitted uses.*
 - (1) Multiple-dwelling structures which include attached townhomes, duplexes, twinhomes, townhomes, and apartment buildings containing no more than ten units.
 - (2) Detached townhomes, including villas or cottage homes.
 - (3) State licensed group homes in accordance with state statutes.
 - (4) Licensed home daycares in accordance with state statutes.
 - (5) Home occupations as permitted by section 117-351.
 - (6) Accessory uses as permitted by section 117-349.
- (c) *Uses permitted by conditional use permit.*
 - (1) Religious Institutions.
 - (2) Keeping of wild animals in accordance with chapter 10, article IV.
 - (3) Increased accessory structure height/size.
 - (4) Oversizing of signs.
 - (5) Expansion or enlargement of lawful nonconforming uses.
 - (6) Micro-scale WECS.
- (d) *R-2 bulk standards.*

	Detached Villa	Multifamily or Townhome (Attached)
Minimum Lot Size	.15 Acres	None
Minimum density (net)	4.0	4.0
Maximum density (net)	7.0	7.0
Lot width	50 feet	N/A
Building setback from private street measured from back of curb or public street right-of-way	25 feet	
Building setback from exterior development boundary line	25 feet	30 feet

Front yard setback	25 feet	30 feet
Side yard setback	5 feet	30 feet
Side yard setback corner lot	25 feet	30 feet
Rear yard setback	20 feet	30 feet
Maximum lot coverage for all principal and accessory buildings (excludes impervious or prepared surface)	35%	
Maximum building height (measured from lowest adjacent grade to average height between eaves and highest ridge)	35 feet	
Open space required	N/A	40% general open space 10% of which must be identifiable community space
Minimum separation between multifamily buildings, appurtenances thereto (i.e., patios, decks)	N/A	20 feet
Parking node setback from exterior development boundary line	30 feet	30 feet
Parking node setback from structure	15 feet	15 feet
Accessory structure setbacks:		
Front	30 feet or same as principal structure, whichever is greater	N/A
Rear	5 feet	N/A
Side	6 feet	N/A
Side corner	30 feet	N/A

(e) *General R-2 residential performance standards.*

(1) *Miscellaneous standards.*

Miscellaneous Standards	
Townhouse with garage	1 bedroom - 700 square feet
	2 bedrooms - 800 square feet
	3 bedrooms - 960 square feet
	Each additional bedroom - 125 square feet
	Efficiency unit - 400 square feet
Duplex dwelling	800 square feet per unit
Twinhome dwelling	912 square feet per unit
Multifamily dwellings	1 bedroom - 700 square feet
	2 bedrooms - 800 square feet
	3 bedrooms - 960 square feet
	Each additional bedroom - 125 square feet
	Efficiency unit - 400 square feet
No. of required off-street parking spaces	Duplex - 2 enclosed
	Twinhome - 2 enclosed
	Townhome - 2 off-street, 1 of which must be enclosed.
	Multifamily - 2½ off-street spaces per unit, 1 parking space must be enclosed, the remaining required parking spaces must be located within the development

Maximum building lot	35%
Maximum driveway width	20 feet
Side yard setback for driveways	5 feet
Required driveway surface	Bituminous or concrete

(2) *Parking.*

- a. The surfaces of parking stalls, aisles, and access driveways shall be constructed with blacktop or concrete and properly maintained. The term "properly maintained" includes keeping the blacktop or concrete in good condition and free from chuckholes and other types of surface cracks and breakage.
- b. The entire perimeter of the parking stalls, aisles and access driveways shall be curbed with six-inch-high curbing of poured concrete.
- c. All required parking stalls shall be located on the premises of the principal building.
- d. A parking stall shall not be less than 180 square feet in area, with a minimum width of nine feet.
- e. Additional parking spaces may be required by the city.

(3) *Streets.*

- a. *Public streets.* Residential developments in this district must provide one main thoroughfare through the development and main thoroughfares must be dedicated as public streets.
- b. *Private streets.* Private streets or driveway collectors are permitted if they serve as access driveways from dwelling units to public streets and meet the city engineer's street standards together with the dimension standards described below:
 1. Minimum private street width with no parking permitted: 24 feet.
 2. Minimum private street width with parking permitted on one side of street: 28 feet.
 3. Minimum private street width with parking permitted without restriction: 32 feet.
 4. Maximum private street length without a turnaround provided: 200 feet.
 5. Maximum private street length with a turning provision provided: 300 feet.
 6. Maximum private street length with a cul-de-sac provided: 600 feet, except that when exceeding 300 feet, the entire length of the private street must be 32 feet wide.
 7. Minimum access road width at street frontage: 24 feet.
 8. Minimum parking aisle width: 24 feet.
 9. Maximum driveway width at road frontage: 20 feet.

- 10. Edge of curb opening shall not be closer to nearest portion of a street right-of-way intersection than 27 feet or two-thirds of the lot width, whichever is smaller (where a "T" intersection exists, a drive may be located opposite the end of the intercepted street).
- 11. Minimum access drive angle to the street: 75 degrees.
- 12. Building setback from private street, measured from back of curb: 25 feet.
- 13. Minimum radius at intersections: 20 feet.

(4) *Fences.*

- a. Fencing or walls (except retaining walls) located in the front yard shall not exceed four feet height. Fencing or walls located in the side or rear yard shall not exceed six feet in height. Fences outside the 2020 MUSA are allowed up to eight feet in height in any yard but must be set back a minimum of 100 feet from the front property line unless they have at least 75 percent clear visible opening. Fences may be constructed of barbed wire to accommodate agricultural activities and the raising of livestock and animals as defined by chapter 10, Animals. Lots of record as of July 1, 2002, within the MUSA that are currently used for agricultural activities or the raising of livestock and animals also qualifies under this provision.
- b. Fencing material shall consist only of wood or chain link. No other types of materials will be permitted.
- c. Fence framing must face inward on the fence owner's lot.
- d. Fencing must be located 100 percent on the fence owner's lot.

(5) *Garbage receptacle storage.* Outdoor garbage receptacles serving multifamily units must be in either the rear or side yard and must be screened from public view and adjacent lots.

(6) *Lot landscaping.*

- a. *Minimum landscaping requirements.* All open space areas of a lot which are not used or improved for required parking areas, drives or storage shall be landscaped with a combination of overstory trees, ornamental trees, shrubs, flowers, ground cover, decorative walks, or other similar site design materials in a quantity and placement suitable for the lot. A reasonable attempt should be made to preserve as many existing trees as practicable in order to incorporate the trees into the development.
- b. *Minimum planting requirements.* The minimum number of plantings required shall be determined based on crown or canopy cover. To fulfill the planting requirements, a combination of trees and shrubs shall meet or exceed the minimum required canopy cover square footage. The minimum canopy cover shall be calculated as follows:

- 1. Determine ratio of impervious area to entire site area.
- 2. Multiply the impervious area/site area ratio by the square footage of the pervious area to calculate the required canopy cover square footage for the project area.
- 3. The following formula shall be utilized to determine the average canopy cover of a species:

$$[(\text{Minimum} + \text{Maximum Spread}) \div 4]^2 \times \pi \times (0.65 \text{ for preferred species or } 0.50 \text{ for acceptable species, as identified in the Ramsey Tree Book}).$$

- c. *Minimum size of plantings.* Required trees shall be of the following minimum planting size:

Planting Type	Size

Deciduous trees	1-inch diameter as measured six inches above ground
Coniferous trees	5 feet in height
Deciduous shrubs	2 feet in height
Evergreen shrubs	2 feet in height or 2 feet in width, whichever applies
Ornamental trees	1-inch diameter as measured six inches above ground

- d. *Planting types.* Acceptable and preferred plantings shall be identified in the Ramsey Tree Book. The compliment of trees fulfilling the landscaping requirements shall not be less than 25 percent deciduous and not less than 25 percent coniferous. No more than 25 percent of the canopy cover requirements shall be fulfilled with the use of shrubs and ornamental trees.
- e. *Irrigation.* If a landscape irrigation system is provided, the system shall be equipped with the following:
 - 1. Technology that inhibits or interrupts operation of the irrigation system during periods of sufficient moisture (rain sensor).
 - 2. One or more water efficient technologies. This could include, but is not limited to, WasterSense labeled weather-based irrigation controllers, soil moisture sensors, and/or evapotranspiration (ET) sensors.
- f. *Open space.* Each townhouse development shall have at a minimum, 40 percent open space for the enjoyment of its residents that may be held as private lots or in common areas. Qualifying areas include grassed lawns, landscape areas, gardens, natural areas, landscape rock, mulch, wetlands, and ponding areas. Of the 40 percent open space, ten percent is to be dedicated as an identifiable common area for use by residents of the development.

(7) *Screening.*

- a. *Bufferyards.* The table below establishes the minimum bufferyard and additional plantings required when a higher density zoning district is adjacent to a lower density zoning district. The screening requirements are applicable when any portion of a lot with a higher zoning designation shares a property line with a lot of a lower zoning designation. Within that bufferyard, an additional percentage of landscaping is also required based on the minimum landscape plantings. The additional percentage of plantings required, are to be planted within the bufferyard.

		Adjacent Existing Development	
		R-1	R-2
Proposed Development			
	R-1	-	-

	R-2	30 ft.	-
	% increase required	10%	-
	R-3	40 ft.	30 ft.
	% increase required	20%	10%

- b. The additional landscaping materials shall be in addition to the number of plantings required in the site landscaping section of this district and shall be located within the required bufferyard.
 - c. Screening shall be installed in accordance with section 117-356.
- (8) *Lighting.* Lighting used to illuminate an off-street parking area, sign or structure, shall be arranged to deflect light away from adjacent residential districts or public streets. Bulbs emitting in excess of 3,000 lumens (150 watts) shall be directed so that the bulb is not visible from off the property where the light source is located.
- (9) *Architectural standards.* The purpose of this section is to encourage the development of high-quality, diverse multiple-dwelling structures in the city while permitting flexibility in the development process.
- a. General standards. The requirements in this section apply to the front facade of all multiple-dwelling structures, as defined under permitted uses in this section.
 - 1. The type of building materials used on exterior walls of all structures in the R-2 Residential District shall be face brick; natural stone; stucco; aluminum, steel, or vinyl siding; wood; masonite products; or other compatible residential materials that may be approved by the city. Exterior Insulation and Finish Systems (EIFS) material is prohibited. The front exterior building finish of multiple-family buildings shall consist of a minimum of 35 percent face brick, natural stone, or stucco (excluding window and door area in the calculation). This requirement shall also apply to the side of a building when it faces a public street.
 - 2. Multiple-dwelling developments that face county highways, state highways, or MSA roads shall vary structure orientation.
 - 3. A minimum of three colors shall be used for each multiple-dwelling building. Elements that may count towards this requirement include siding, trim, doors, and garage doors. A color palette shall be included as a part of the building elevation submittal at the time of preliminary plat review.
 - 4. All multiple-dwelling structures shall include at least two of the following architectural elements:
 - (i) Articulated/cantilevered facade.
 - (ii) Dormers.
 - (iii) Articulated roofline.
 - (iv) Projected or inset windows.
 - (v) Balconies, porches, or decks.

- (vi) Window treatments, such as shutters and window boxes.
 - (vii) Other elements as approved by the city council.
- b. The 35 percent masonry requirement (under subsection (e)(9)a.1 of this section) may be waived in whole or in part based on inclusion of one or more of the following criteria:
- 1. Two additional architectural elements from the list in subsection (e)(9)a.4 of this section are included.
 - 2. Two additional colors are included in the overall color palette, for a total of five colors.
 - 3. Decorative sidewalks (brick, stone inlays, etc.).
 - 4. Other aesthetic enhancements deemed to be appropriate by the city council.

(Code 1978, § 9.20.12; Ord. No. 73-9, 6-1-1973; Ord. No. 86-2, 8-25-1986; Ord. No. 93-13, 8-30-1993; Ord. No. 96-17, 10-28-1996; Ord. No. 96-23, 1-13-1997; Ord. No. 02-17, 7-15-2002; Ord. No. 03-21, 8-25-2003; Ord. No. 04-08, 5-17-2004; Ord. No. 06-24, § 2, 8-8-2006; Ord. No. 09-06, § 2, 4-28-2009; Ord. No. 09-12, § 2, 9-8-2009; Ord. No. 17-04, § 2, 5-9-2017; Ord. No. 19-02, § 2, 3-12-2019)

State Law reference— Permitted single-family uses, Minn. Stats. § 462.357, subd. 7; permitted multifamily uses, Minn. Stats. § 462.357, subd. 8.

**CITY OF RAMSEY LAND USE APPLICATION
TECHNICAL REVIEW FILE**

Date	9/26/2019 Updated 10/21/19 Updated 12/18/19	Project Site	PID: 25-32-25-23-0006 Address: 14600 Nowthen Blvd
Project Title	19-140 Odyssey Homes Townhome Development (146 th /Nowthen)		
Escrow #	117171		
Department:	Community Development: Planning Division		
Technical Reviewer:	Name: Chloe McGuire Phone: 763-433-9821 Email: cmcguire@cityoframsey.com		

Required Steps

1. Sketch Plan – Planning Commission
2. Site Plan – Planning Commission + City Council
3. Final Plat – City Council

Site Plan Review

Notes:

- Maximum driveway width at street is 20 feet
- At least one enclosed parking space must be provided per townhome
- City Code requires 10% open community space
- Police/fire/engineering have noted that the entrance radiuses are very tight and should be widened
- Tree inventory will be required with preliminary plat
- Water main must be looped through site

General: The property is currently unplatted and is addressed as 14600, 15444, and 14520 Nowthen Blvd NW and PID 253225230020. The site is four properties approximately 950 feet long running parallel to Nowthen Blvd from 146th Ave NW. The site is approximately 5.55 acres and fronts both 146th Ave NW and Nowthen Blvd NW. There is currently one detached accessory building (pole barn) on each of the two most northern properties and a home and detached building on the southern property that are proposed to be removed with this project. The Applicant is proposing 26 detached townhome units on the site.

Zoning: The site is currently zoned as R-2 Medium Density Residential. The properties to the north, west, and east are zoned R-1 MUSA (Detached Single Family Homes with City Utilities).

Product: The Applicant has proposed 26 slab-on-grade 2 story, attached townhomes.

Intent: The intent of the R-2 Residential District is to accommodate multiple dwellings at a density of four to seven dwelling units per acre and multiple-dwelling complexes within the 2040 MUSA. All lots created by subdivision located within the 2040 MUSA shall be serviced by sanitary sewer and municipal water.

R-2 Townhome (Attached) Standards		
<i>Standard</i>	<i>Required</i>	<i>Proposed</i>
Minimum Lot Size	None	5.55 Acres (Total Site)
Density Range	4 – 7 Units/Acre	~4.7 Units/Acre
Minimum Lot Width	N/A	
<i>Building Setbacks</i>		
Front, Side Corner	30 Feet	30 Feet (North) 60 Feet (East)
Rear	30 Feet	30 Feet (South)
Side	30 Feet	50 Feet (West)
From Development Boundary	30 Feet	30 Feet (noted on all lot lines)
From Private Street (Back of Curb)	25 Feet	25 feet
Density Transitioning	Level 1 25 Feet of Buffer with Plantings	30 Feet of Buffer, No Plantings Noted (However there is a significant tree stand shown on aerial photos)
Maximum Lot Coverage (All Buildings, Excludes Paving)	35%	~20%
Minimum Building Size for Townhouse with Garage	1 Bedroom – 700 sq ft 2 Bedroom – 800 sq ft 3 Bedroom – 960 sq ft Each additional bedroom – 125 sq ft	Not noted. Each Building Approx 1800 sq ft. 75 foot long building
Required Parking Stalls	2 off-street, 1 must be enclosed	2 enclosed
Maximum Driveway Width at Street	20 feet	Not noted.
Driveway Surface	Bituminous or Concrete	Paved
Minimum Driveway Length	25 feet	25 feet
Wetland Setback	16.5 feet	N/A
Minimum Private Street Width (With No Parking)	24 feet	24 feet
Maximum Height	35 Feet	2 Story Slab On-Grade
Separation Between Buildings	20 Feet	20 Feet
Open Space Required	40% general open space 10% must be community space	Not noted.
Accessory Structures	Not Allowed	N/A

Floodplains: The property is not within the Ramsey Floodplain.

Wetlands: There do not appear to be any wetlands onsite, though they would be required to be identified during the preliminary plat process via survey and delineation.

Streets and Access: The Applicant has proposed a 24 foot wide private street running north-south through the site. The Applicant has also proposed one connection to Nowthen Blvd on the south end of the site. The home on the southern most property does have a driveway onto Nowthen Blvd. Staff has sent to Anoka County for review.

Parking: The City will require no parking signs on the private road.

Lighting: The applicant should submit a lighting plan as part of site plan review with preliminary plat for any street lighting.

Utilities and Municipal Services: The property will be connected to City Utilities. A Grading and Utility Plan should be submitted with preliminary plat.

Density Transitioning: Under the City Code, density transitioning is typically required for R-2 to R-1 MUSA. No density transitioning will be required on the southern or eastern lot boundary. Level 1, Vegetative Buffer "A" will be required for the western property line which includes:

- A minimum 25 feet width in common ownership with the following planting schedule per 100 feet of property boundary adjacent to an impacted use:
 - o 2 overstory trees
 - o 2 evergreen trees
 - o 2 understory trees

Tree Inventory: Will be required with preliminary plat.

A Tree Inventory and Preservation Plan is required and must include all oaks and evergreens with the Diameter at Breast Height (DBH) of 4 inches or greater and all other deciduous trees with a DBH of 8 inches or more. At least 40% of the significant tree inches must be preserved on site or reforestation and/or restitution will be required.

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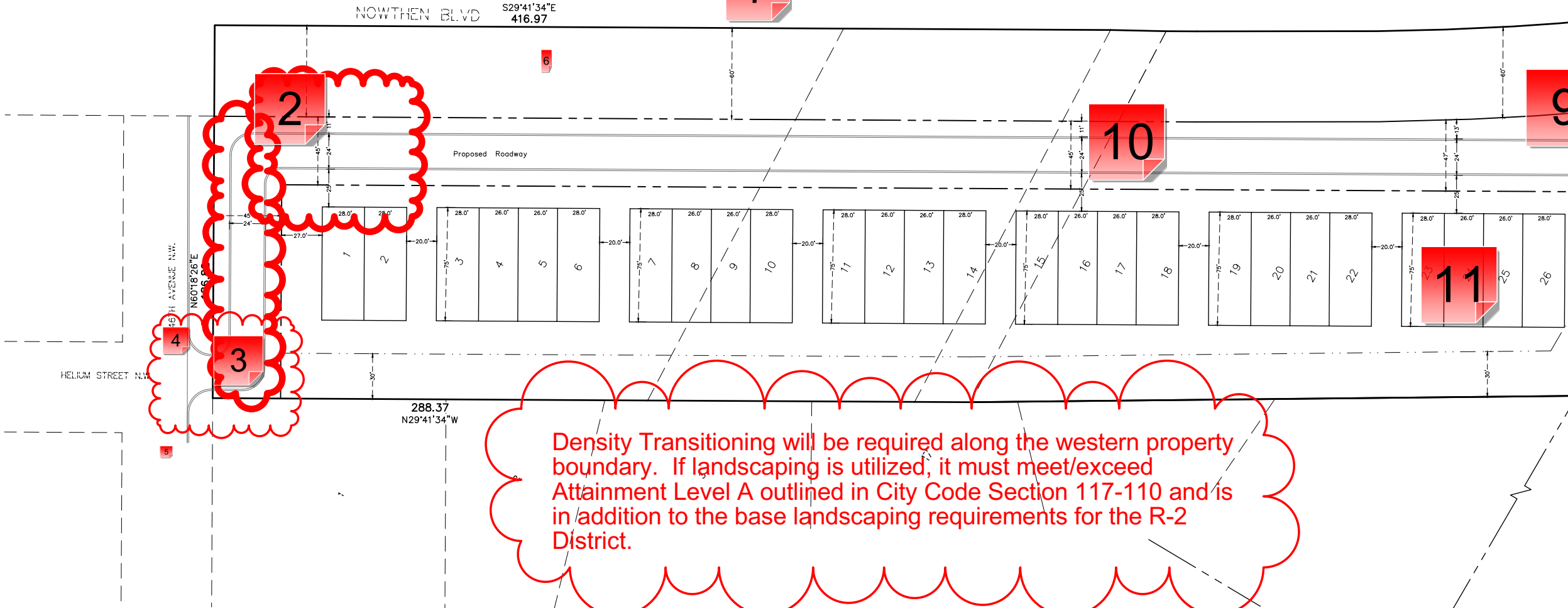
4

3

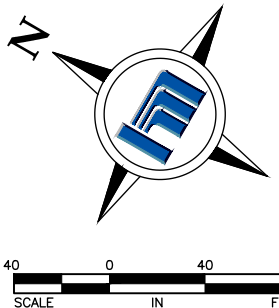
11

Density Transitioning will be required along the western property boundary. If landscaping is utilized, it must meet/exceed Attainment Level A outlined in City Code Section 117-110 and is in addition to the base landscaping requirements for the R-2 District.

8



Total Area of Property = 241,658 sq. ft. or 5.55 acres including Anoka County right of way



DATE	REVISION

DESIGNED BY: BP	
DRAWN BY: MSS	DATE: 07/02/19
CHECKED BY: BP	FILE NO. 3373.16



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SKETCH PLAN
4-PLEX BUILDING

SHEET
1
OF
1
SHEETS

1 - Changemark #01

Created by: Tim Frankfurth
On: 12/11/2019 08:57 AM

Is this going to connect to Nowthen BLVD?

----- 0 Replies -----

2 - Private road?

Created by: Grant Riemer
On: 12/11/2019 09:49 AM

----- 0 Replies -----

3 - Radius

Created by: Logan Czech
On: 12/12/2019 08:16 AM

This radius, along with the one to the east are both very tight. Consider pushing road slightly to the south and stretching the radii to 15-20 ft?

----- 0 Replies -----

4 - Entrance / North Curve

Created by: Joe Feriancek
On: 12/12/2019 10:53 AM

Very tight, consider widening the entrance/curve to eliminate potential conflicts off of 164th Avenue.

----- 0 Replies -----

5 - 164th Street Section

Created by: Joe Feriancek
On: 12/12/2019 10:55 AM

164th Avenue was reconstructed in 2019, any patching into the road would be required to go full width of street, and meet existing pavement section.

----- 0 Replies -----

6 - Existing Watermain & Sanitary Sewer

Created by: Joe Feriancek
On: 12/16/2019 08:46 AM

Water & Sewer existng on the east side in the western ditch of Nowthen Blvd. Sanitary is 8" PVC, Water is 12" DIP. 146th Avenue water is on the north side of the road, and sanitary is

centerline, same size as above.
Sewer & Water Asbuilts have been uploaded into the Documents Folder.

----- 0 Replies -----

7 - Legend

Created by: Joe Feriancek
On: 12/16/2019 09:09 AM

Several Different Line Types, The major ones need to be identified, preferably add a legend, at a minimum label the lines.

----- 0 Replies -----

8 - Stormwater Management

Created by: Len Linton
On: 12/16/2019 03:12 PM

Stormwater ponding for rate control of the 2, 10 and 100 year storms will be required.
Infiltration (volume reduction) will also be required.

Meeting the stormwater requirements will most likely require loss of units or installation of underground storage devices.

----- 0 Replies -----

9 - County Highway Access

Created by: Len Linton
On: 12/16/2019 04:06 PM

Verify that the county will allow an access in this location before proceeding too far with plan development.

Lot 26 is over 1000 feet from 146th Avenue, exceeding the maximum length for dead-end streets.

----- 0 Replies -----

10 - Access location

Created by: Len Linton
On: 12/16/2019 04:09 PM

The county prefers driveways aligned with each other, which would put the access near this spot.
See comments on County Highway Access.

----- 0 Replies -----

11 - Sewer Availability

Created by: Len Linton
On: 12/16/2019 04:11 PM

Verify Gravity sewer can serve lot 26.

----- 0 Replies -----

12 - Watermain Looping

Created by: Len Linton

On: 12/16/2019 04:11 PM

Watermain must be looped through the project.

----- 0 Replies -----