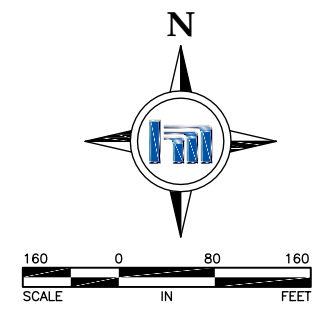


Municipality:	City of Ramsey	Building Setbacks:	Front yard: 30 feet Side yard: 6/10 feet Rear yard: 30 feet
Existing Zoning:	R-1 MUSA	Lot Summary:	76 Single Family Residential Lots (80' Minimum Lot Width measured at the front setback line)
Proposed Zoning:	R-1 MUSA	Owner:	Ronald & Judith Hunt 17455 Nowthen Blvd. NW Ramsey, MN 55303
Proposed Use:	Urban Residential	Subdivider:	Platinum Land LLC 15363 Radium St. NW Ramsey, MN 55303 Jason Bebeau (763) 301-4550
Road Mileage:	4,373 LF or 0.83 Miles	Designer/Surveyor:	Hakanson Anderson Assoc. 3601 Thurston Avenue Anoka, MN 55303 (763) 427-5860
Street Lighting:	as required		
Proposed Utilities:	Sewer: Municipal (Needs Extension) Water: Municipal (Needs Extension)		
Plot Area:	Total Area: 1,656,232 Sq.Ft. = 38.02 Acres Proposed ROW: 458,727 Sq.Ft. = 10.53 Acres Park Area: 0 Sq.Ft. = 0.00 Acres		
Density:	2 units/acre		



Aug 03, 2020 - 10:47am
 K:\end_sun\Land Desktop 2008\4455.02 Hunt Plot Ramsey\wg\4455.02 Sketch MS WORKING.dwg

DATE	REVISION
07/24/20	revised layout per City comments

DESIGNED BY:
 BP/BAW
 DRAWN BY:
 RM/SMM
 CHECKED BY:
 BP/SMM



Hakanson Anderson
 Civil Engineers and Land Surveyors
 3601 Thurston Ave., Anoka, Minnesota 55303
 763-427-5860 FAX 763-427-0520
 www.haa-inc.com

PLATINUM LAND, LLC

SKETCH PLAN
 CITY OF RAMSEY, MINNESOTA

SHEET	1
OF	1
SHEETS	1

1 - Gas Line Easement

Created by: Chris Anderson
On: 08/06/2020 07:02 PM

This easement boundary should be marked in field so that future property owners can clearly see where the boundary is as it will potentially restrict or impact future proposed improvements (fences, sheds, etc.).

----- 0 Replies -----

2 - Lot Depth

Created by: Chris Anderson
On: 08/06/2020 07:12 PM

Does this lot have 100 feet of depth, excluding wetland, wetland setback area, etc?

----- 0 Replies -----

3 - Density Transitioning

Created by: Chris Anderson
On: 08/06/2020 07:15 PM

Transitioning will be required along the western boundary, as well as the SE corner (lots 36-39 and 43-45).

----- 0 Replies -----

4 - Depth

Created by: Chris Anderson
On: 08/06/2020 07:19 PM

Is there sufficient depth to account for transitioning if landscaping were to be used? Requires at least a 35 foot wide corridor with a berm (or 45 foot corridor with no berm) and 4 overstory, 4 understory, and 4 evergreen trees per 100 feet of common lot line (or 8 each if no berm). These are to remain in place and cannot be removed by future property owner(s).

----- 0 Replies -----

5 - Tree Inventory

Created by: Chris Anderson
On: 08/06/2020 07:22 PM

A Tree Inventory is required, completed by an ISA Certified Arborist. Must include all oaks and evergreens 4" or greater DBH and all other deciduous trees with a DBH of 8 inches or greater. Inventory must include species, diameter, general condition, status (save or remove), and if remove, reason (e.g. mass grading, stormwater pond, etc).

----- 0 Replies -----

6 - General Landscaping

Created by: Chris Anderson
On: 08/06/2020 07:24 PM

Project will require at least two (2) front yard trees per lot (plus density transitioning plantings if landscaping is proposed to satisfy that requirement). Trees shall be placed in boulevard or, if no sidewalk, about ten (10) feet back from curb.

----- 0 Replies -----

7 - Wetland Setback

Created by: Chris Anderson
On: 08/06/2020 07:25 PM

A 16.5 foot wetland setback is required and shall be encumbered by drainage and utility easement. Silt fence is to be placed at the boundary of the easement and vegetation within setback area shall not be disturbed.

----- 0 Replies -----

8 - Rear Yard Plantings

Created by: Chris Anderson
On: 08/06/2020 07:27 PM

Staff would encourage additional plantings in the rear yards of lots along Nowthen Blvd to buffer against noise and traffic.

----- 0 Replies -----

9 - Noise Study

Created by: Chris Anderson
On: 08/06/2020 07:28 PM

A noise study should be completed due to proximity to Nowthen Blvd.

----- 0 Replies -----

10 - Gas Line Easement

Created by: Logan Czech
On: 08/12/2020 09:23 AM

In addition to fences, sheds, etc., easement should be marked because it will limit constructable space for houses in lots 14 and 49.

----- 0 Replies -----

11 - Street Frontage

Created by: Logan Czech

On: 08/12/2020 09:25 AM

Correct street frontage value for lot 24

----- 0 Replies -----

12 - Street Frontage 2

Created by: Logan Czech

On: 08/12/2020 09:30 AM

Correct street frontage value for lot 33

----- 0 Replies -----

13 - Lot Size/Buildable Area

Created by: Chloe McGuire Brigl

On: 08/12/2020 01:15 PM

Combine these two lots so each has adequate building location with required setbacks

----- 0 Replies -----

14 - Lot Size

Created by: Chloe McGuire Brigl

On: 08/12/2020 01:16 PM

I'd like to see 80 feet of width without any encumbrance from the easement on this lot.

----- 0 Replies -----

15 - Lot Size

Created by: Chloe McGuire Brigl

On: 08/12/2020 01:16 PM

Lot is encumbered by easement, please give us 80 feet of width without encumbrance of easement

----- 0 Replies -----

16 - Buildable Area

Created by: Chloe McGuire Brigl

On: 08/12/2020 01:17 PM

Rear yard setback for a house is 30 feet, show us how that works on this lot

----- 0 Replies -----

17 - Buffer?

Created by: Chloe McGuire Brigl
On: 08/12/2020 01:21 PM

Density Transitioning

----- 0 Replies -----

18 - Buffer

Created by: Chloe McGuire Brigl
On: 08/12/2020 01:22 PM

----- 0 Replies -----

19 - Realignment

Created by: Chloe McGuire Brigl
On: 08/12/2020 01:22 PM

Is there a way to redraw this project that the easement is only in the backyard of one row of lots as opposed to the backyard of two lots?

----- 0 Replies -----

20 - D&U Easements

Created by: Joe Feriancek
On: 08/12/2020 03:52 PM

Need easements over existing wetlands, plus 16.5' wetland buffer.

----- 0 Replies -----

21 - Ponding Area?

Created by: Joe Feriancek
On: 08/12/2020 03:52 PM

Need to have ponding on-site to meet the requirements of the Lower Rum River WMO.

----- 0 Replies -----

22 - Stormwater Management

Created by: Len Linton
On: 08/13/2020 03:33 PM

Sketch must be redrawn to provide storm water ponding.

Ponds must include access routes in the drainage and utility easement for maintenance equipment. The slopes must be driveable.

----- 0 Replies -----

23 - Gas Line Easement

Created by: Len Linton
On: 08/13/2020 03:37 PM

Lots 57-76 require revision to provide drainage and utility easements for storm water management outside of the Gas pipeline easement.

Grades cannot be changed in the gas line easement.

Verify with the gas company what the restrictions on uses in their easement are. Typically sheds and fences are not permitted.

Verify sewer water and storm sewer crossings will be permitted.

----- 0 Replies -----